

DENBORA BAY III

2125 Bay Dr.
MIAMI BEACH | FL | 33141



DRB FINE NUMBER: DRB23 -0961

SCOPE OF WORK:
NEW RESIDENTIAL BUILDING MULTI - FAMILY

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PROJECT AND OWNER: DENBORA BAY III

2125 Bay Dr.
MIAMI BEACH | FL | 33141
2125 BAY DR LLC
3179 HOLYLAKE RD.
LAKE WORTH | FL | 33467

ARCHITECT:

2030 HABERSHAM TRCE | CUMMING | GA 30041
954 812 6650
RICARDO@MUVEARCH.COM
AA#26003161



DESIGNER:



1555 NORTH PARK DRIVE #102 WESTON
FL 33326
954 850 9965
ADMIN@REDOCTOPUSLLC.COM

DRB SUBMITAL

PERMIT APPLICATION DATE: 05-05-2024
SHEET ISSUE DATE: 03-31-2023
PROJECT NO.: 2312
DRAWN BY: RV APPROVED BY: YM

ALL DRAWINGS AND WRITTEN MATERIALS HEREIN
CONSTITUTE ORIGINAL WORK OF THE DESIGNER AND
MAY ONLY BE DUPLICATED WITH THEIR WRITTEN
CONSENT

SEAL:

SIGNATURE:

RICARDO J. MUNIZ-GUILLET
LIC# AR97841

SHEET TITLE:

COVER SHEET

SCALE:

N.T.S.

SHEET NO:

G-0

9/11/2024 4:35:08 PM

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NOTES, SYMBOLS & SCABBREVIATIONS

N.T.S.

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G-1

9/11/2024 4:35:15 PM

ABBREVIATIONS			
A	AND	FA	FIRE ALARM
@	AT	FAB	FABRICATED
AB	ANCHOR BOLT	FBO	FURNISHED BY OTHERS
ABV	ABOVE	FC	FLOOR COVERING
AC	AIR CONDITIONING	FD	FLOOR DRAIN
ACC	ACCESS	FE	FIRE EXTINGUISHER
AD	AREA DRAIN	FEC	FIRE EXTINGUISHER CABINET
ADD	ADDENDUM	FEL	FIRE EXTINGUISHER LOCKER
ACL	ACCESS FLOOR	FEM	FEMALE
ACT	ACOUSTICAL TILE	FEL	FINISH FLOOR LINE
ADH	ADHESIVE	FH	FIRE HYDRANT
ADI	ADJACENT	FHC	FIRE HOSE CABINET
ADJ	ADJUSTABLE	FN	FINISHED
AFF	ABOVE FINISH FLOOR	FF	FLUSH JOINT
AGG	AGGREGATE	FLAM	FLAMMABLE
ALT	ALTERNATE	FLASH	FLASHING
ALUM	ALUMINUM	FLR	FLOORING
ANC	ANCHOR ANCHORAGE	FLX	FLEXIBLE
ANDC	ANCHOR	FLCD	FLOOR CLEANOUT
AP	ACCESS PANEL	FLUC	FLUORESCENT
APPROX	APPROXIMATE(LY)	F.M.	FRAMED MIRROR
ARCH	ARCHITECTURAL	FND	FOUNDATION
ASC	ABOVE SUSPENDED CEILING	FOC	FACE OF CONC.
ASPH	ASPHALTIC	F.O.M.	FACE OF MASONRY
AUTO	AUTOMATIC	F.O.S.	FACE OF STUDS
AVG	AVERAGE	FR	FRAME (ING)
AXIS	AXIS	FRG	FORGED
		FS	FULL SIZE
B	BASE	FT	FOOT, FEET
BNG	BEARING	FTS	FOOTING
BPL	BEARING PLATE	FUR	FURRING
BIT	BED JOINT	FUT	FUTURE
BEL	BELOW		
BET	BETWEEN		
BVA	BEVELED		
BT	BITUMINOUS	GA	GAGE, GAUGE
BD	BLOCK	GALV	GALVANIZED
BS	BOTH SIDES	GB	GRAB BAR
BW	BOTH WAYS	GB	GRAB BAR
BLK	BLOCK	GC	GENERAL CONTRACTOR
BLKG	BLOCKING	GC	GLAZED CONC. MASONRY UNIT
BM	BENCH MARK	GD	GRADE, GRADING
B.M.	BENCH MARK	GF	GROUND FACE
B.O.F.	BOTTOM OF FOOTING	GI	GALVANIZED IRON
BO	BOTTOM	GKT	GASKETED
BR	BRICK	GL	GLASS, GLAZING
BRZ	BRONZE	GP	GALVANIZED PIPE
BLDG	BUILDING	GL	GRID LINE
BUR	BUILT UP ROOFING	GLB	GLASS BLOCK
BU	BULLETIN BOARD	GLF	GLASS FIBER
BO	BY OTHER	GN	GENERAL NOTES
BRKT	BRACKET	GP	GYPSSUM LATH
		GPT	GYPSSUM TILE
CL	CENTER LINE	G.W.B.	GYPSSUM WALL BOARD
CAB	CABINET	GP.L	GYPSSUM PLASTER
CB	CATCH BASIN	GLV	GALVANIZED
GRN	GRANITE	OP	OPEN WEB JOIST
CEM	CEMENT	GSS	GALVANIZED STEEL SHEET
CEM	CERAMIC	GST	GLAZED STRUCTURAL TILE
CF	COUNTER FLASHING	GHT	GROUT
CG	CORNER GUARD	GVL	GRAVEL
CHAM	CHAMFER		
CHT	CEILING HEIGHT	PAR	PARALLEL
C.I.	CAST-IN-PLACE	P.B.	PANIC BAR
C.I.P.	CAST-IN-PLACE	PB	PANIC BAR
CR	CIRCUMFERENCE	PB	PANIC BAR
CR	CIRCLE	PB	PANIC BAR
CJT	CONTROL JOINT	PC	PARTICLE BOARD
CK	CALL OR CALLK (ING)	PC	PARTICLE BOARD
CLD	CEILING	PC	PARTICLE BOARD
CLO	CLOSET	PCG	POUNDS PER CUBIC FT.
CLR	CLEAR (ANCE)	PCG	POUNDS PER CUBIC FT.
CLS	CLOSURE	PE	PEDESTAL
CMU	CONCRETE MASONRY UNIT	PERF	PERFORATE
COL	COLUMN	PH	PERIMETER
COMP.	COMPONENT	PH	PERIMETER
CONC	CONCRETE	PI	PISTON
CONF	CONFERENCE	PL	PROPERTY LINE PLATE
CONSTR	CONSTRUCTION	PL	PROPERTY LINE PLATE
CONT	CONTINUOUS, CONTINUE	PL	PROPERTY LINE PLATE
CONTR	CONTRACTOR	PL	PROPERTY LINE PLATE
CONT	CONTINUOUS, CONTINUE	PL	PROPERTY LINE PLATE
CONTR	CONTRACTOR	PL	PROPERTY LINE PLATE
CR	CHROMIUM (PLATED)	PL	PROPERTY LINE PLATE
C.R.	CURTAIN ROD	PL	PROPERTY LINE PLATE
CSMT	CASEMENT	PL	PROPERTY LINE PLATE
CT	CERAMIC TILE	PL	PROPERTY LINE PLATE
CT	CURT. FT. (FOOT)	PL	PROPERTY LINE PLATE
CUN.	CUBIC INCH	PL	PROPERTY LINE PLATE
CUYD	CUBIC YARD	PL	PROPERTY LINE PLATE
CB	CHALKBOARD	PL	PROPERTY LINE PLATE
CONN	CONNECTION	PL	PROPERTY LINE PLATE
CONR	CORRIDOR	PL	PROPERTY LINE PLATE
CTR	CENTER	PL	PROPERTY LINE PLATE
CTSK	COUNTER SUNK	PL	PROPERTY LINE PLATE
D	DRAIN	INT	INTERIOR
DA	DOUBLE ACTING	INS	INSULATED (ION)
DBL	DOUBLE	INT	INTERIOR
DEM	DEMOLISH, DEMOLITION	INT	INTERIOR
DEPT	DEPARTMENT	INT	INTERIOR
DET	DETAIL	INT	INTERIOR
DIAG	DIAGONAL	INT	INTERIOR
DIAM	DIAMETER	INT	INTERIOR
DIAM	DIAMETER	INT	INTERIOR
DIV.	DIVISION	INT	INTERIOR
DMT	DEMOUNTABLE	INT	INTERIOR
DN	DOWN	INT	INTERIOR
D.O.	DOOR OPENING	INT	INTERIOR
DPR	DAMPER	INT	INTERIOR
DR	DOOR	INT	INTERIOR
D.F.	DRAINING FOUNTAIN	INT	INTERIOR
DA	DIAMETER DOWNSPOUT	INT	INTERIOR
DWG	DRAWING	INT	INTERIOR
DWR	DRAWER	INT	INTERIOR
DSP	DISPENSER	INT	INTERIOR
D.S.	DOWNSPOUT	INT	INTERIOR
L	LENGTH		
LAB	LABORATORY		
LAD	LADDER		
LAM	LAMINATED		
E	EAST		
E/A	EXHAUST AIR		
E.H.D.	ELECTRIC HAND DRYER		
EXP	EXPANSION BOLT		
ELEV	ELEVATION		
ELV	ELEVATOR		
ELEC	ELECTRICAL		
EMERG	EMERGENCY		
ENCL	ENCLOSURE		
EP	ELECTRICAL PANELBOARD		
EQ	EQUAL		
EQUIP	EQUIPMENT		
E/W	EACH WAY		
EXH	EXHAUST		
EXIST	EXISTING		
EXP	EXPOSED		
EXP.	EXPANSION JOINT		
EXT	EXTERIOR		
EWC	ELECTRIC WATER COOLER		
M	MIRROR		
MACH	MACHINE		
MB	MACHINE BOLT		
MAT	MATERIAL(S)		
MAX	MAXIMUM		
M.B.H.	MOP AND BROOM HOLDER		
MBR	MEMBER		
MCC	MECHANICAL		
MED	MEDIUM		
MFR	MANUFACTURER		
MID	METAL FLOOR DECKING		
MIN	MINIMUM		
MISC	MISCELLANEOUS		
MMB	MEMBRANE		
MO	MAGNIFYING OPENING		
MJ	MACHINE		
MNH	MANHOLE		
MOD	MODULAR MODULE		
MOV	MOVABLE		
MRE	MARBLE		
MRD	METAL ROOF DECKING		
MTD	MOUNTED		
MTHR	METAL THRESHOLD		
MTR	METAL FURNISHING		
MTL	METAL		
MUL	MULLION		
MW	MILLYWORK		
MW	MASONRY		
MIR	MIRROR		
S.Y.	SQUARE YARD		
N	NORTH		
N.A.V.D.	NORTH AMERICAN VERTICAL DATUM		
N.G.V.D.	NATIONAL GEODETIC VERTICAL DATUM		
NIC	NOT IN CONTRACT		
NL	NAILABLE		
NL	NO LONGER REQUIRED		
NV	NUMBER		
NOM	NOMINAL		
NMT	NONMETALLIC		
NOR	NOSE REDUCTION		
NRC	NOISE REDUCTION COEFFICIENT		
N.T.S.	NOT TO SCALE		
N	NORTH		
N.A.V.D.	NORTH AMERICAN VERTICAL DATUM		
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MULTIFAMILY - COMMERCIAL - ZONING DATA SHEET

ITEM #	Zoning Information			
1	Address:	2125 BAY DRIVE, MIAMI, FL 33141		
2	Board and file numbers :	DRB23-0961		
3	Folio number(s):	02-3210-011-0730		
4	Year constructed:	1940	Zoning District:	RM-1-MULTIFAMILY, LOW INTENSITY
5	Based Flood Elevation:	8.0 N.G.V.D.	Grade value in NGVD:	4.44' N.G.V.D.
6	Adjusted grade (Flood+Grade/2):	6.22' N.G.V.D.	Lot Area:	7,789 SF
7	Lot width:	57'-6"/53'-6"	Lot Depth:	140'
8	Minimum Unit Size	600 SF	Average Unit Size	795.5
9	Existing use:	SINGLE FAMILY	Proposed use:	MULTI-FAMILY

	Maximum	Existing	Proposed	Deficiencies	
10	Height	50 FT	15'-0"	41' 5"	N/A
11	Number of Stories	4	1	4	N/A
12	FAR	7,789 X 1.25 = 9736 SF	2397 SF	9,736 SF	N/A
13	Gross square footage	N/A			
14	Square Footage by use	N/A			
15	Number of units Residential	N/A			
16	Number of units Hotel	N/A			
17	Number of seats	N/A			
18	Occupancy load	N/A			

	Setbacks	Required	Existing	Proposed	Deficiencies
Subterranean:					
19	Front Setback:	N/A			
20	Side Setback:	N/A			
21	Side Setback:	N/A			
22	Side Setback facing street:	N/A			
23	Rear Setback:	N/A			
At Grade Parking:					
24	Front Setback:	20'-0"	26'-2"	20'-0"	
25	Side Setback:	5'-0"	5'-9"	7'-6"	
26	Side Setback:	5'-0"	9'-6"	7'-6"	
27	Side Setback facing street:	N/A			
28	Rear Setback:	10% LOT DEPTH=14'	37'-2"	14' 0"	
Pedestal:					
29	Front Setback:	20'-0"	26'-2"	20'-0"	
30	Side Setback:	7'-5"	5'-9"	7'-6"	
31	Side Setback:	7'-5"	9'-6"	7'-6"	
32	Side Setback facing street:	N/A			
33	Rear Setback:	10% LOT DEPTH=14'	37'-2"	14' 0"	
Tower:					
34	Front Setback:	N/A			
35	Side Setback:	N/A			

ITEM #	Setbacks	Required	Existing	Proposed	Deficiencies
36	Side Setback:	5'-0"		7'-6"	
37	Side Setback facing street:	N/A			
38	Rear Setback:	10% LOT DEPTH=14'		14' 0"	
	Front Setback:	20'-0"		20'-0"	

	Parking	Required	Existing	Proposed	Deficiencies
39	Parking district	1	1	1	
40	Total # of parking spaces	0	1	5	
41	# of parking spaces per use (Provide a separate chart for a breakdown calculation)	N/A			
42	# of parking spaces per level (Provide a separate chart for a breakdown calculation)	N/A			
43	Parking Space Dimensions	8 1/2' X 18'		8 1/2' X 18'	
44	Parking Space configuration (45o,60o,90o,Parallel)			90o	
45	ADA Spaces	N/A			
46	Tandem Spaces	N/A			
47	Drive aisle width	12'		12'	
48	Valet drop off and pick up	N/A			
49	Loading zones and Trash collection areas	N/A			
50	racks	N/A			

	Restaurants, Cafes, Bars, Lounges, Nightclubs	Required	Existing	Proposed	Deficiencies
51	Type of use	N/A			
52	Total # of seats	N/A			
53	Total # of seats per venue (Provide a separate chart for a breakdown calculation)	N/A			
54	Total occupant content	N/A			
55	Occupant content per venue (Provide a separate chart for a breakdown calculation)	N/A			

56	Is this a contributing building?		N/A		
57	Located within a Local Historic District?		NO		

Notes:

If not applicable write N/A

All other data information may be required and presented like the above format.

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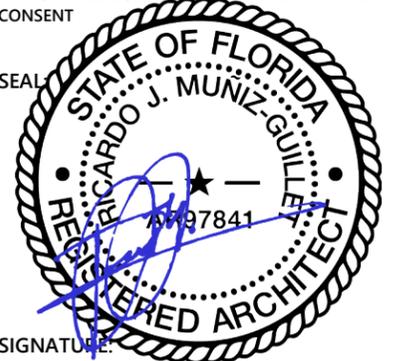
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LIC# AR97841

SHEET TITLE:

ZONING DATA SHEET

SCALE:

N.T.S.

SHEET NO:

G-2.01

9/11/2024 4:35:17 PM

GENERAL SITE INFORMATION:

PROPERTY ADDRESS 2125 BAY DR. | MIAMI BEACH | FL 33141
 FOLIO # 02-3210-011-0730
 LEGAL DESCRIPTION MIAMI VIEW SEC-ISLE OF NORMANDY PART 3 PB 40-33 LOT 8 BLK 41 LOT SIZE 55.640 X 140 OR 18522-2792 03 1999 1 COC 26277-2048 02 2008 5

LOT NET AREA: +/- 7,789 SF.
 YEAR BUILT: 1940

SCOPE OF WORK

NEW CONSTRUCTION OF A MULTIFAMILY RESIDENTIAL BUILDING WITH 10 DWELING UNITS

GOVERNING CODES

FLORIDA FIRE PREVENTION CODE 2023
 FLORIDA BUILDING CODE 2023 8th EDITION
 2023 NATIONAL ELECTRIC CODE
 2023 FBC MECHANICAL
 2023 FBC PLUMBING
 2023 FBC ACCESSIBILITY

ZONING GUIDELINES:

ZONING: RM-1 - MULTIFAMILY, LOW INTENSITY

FLOOD ZONE: AE ELEVATION: 8'

UNIT BREAKDOWN

	UNIT #	UNITS	UNIT AREA	TOTAL UNITS	MIN UNIT SIZE	AVERAGE UNIT SIZE
	4	UNIT A	600 SF	2,397 SF		
	2	UNIT B	685 SF	1,361 SF		
	3	UNIT C	1,019 SF	3,022 SF		
	1	UNIT D	1,176 SF	1,176 SF		
TOTAL	10 UNITS			7,956 SF	600 SF	795.5 SF

PARKING NOTES:

- (a) PARKING SHALL BE AT GROUND LEVEL ONLY, MECHANICAL LIFTS ARE PERMITTED FULLY SCREENED FROM ADJACENT PROPERTIES AND R.O.W.
- (b) EXT PARKING AND DRIVEWAY SHALL BE OF SEMI-PERVIOUS OR PERVIOUS MATERIALS
- (c) WHEEL STOPS SHALL BE LOW PROFILE AND 5 FT MAX.
- (d) ALL PARKING AREAS SHALL MEET THE MINIMUM FRONT AND REAR YARD SETBACK REQUIREMENTS FOR BUILDINGS
- (e) ONE-WAY DRIVEWAY CURB CUT, 10 FT MAX WIDTH / IF APPROVED BY DRB TWO SEPARATE ONE-WAY CURB CUTS MAY BE PERMITTED.
- (f) N/A

DESIGN AND RESILIENCY STANDARDS

- (a) N/A
- (b) N/A
- (c) DWELLING UNITS TO INCORPORATE NATURAL LIGHT FROM AT LEAST TWO ELEVATIONS FROM THE BUILDING VOLUME
- (d) INCORPORATE NATURALLY LANDSCAPE AREAS AT GROUND LEVEL, IN ADDITION TO THE MINIMUM SETBACK, 5% OF LOT AREA
- (e) A NON-EMERGENCY STAIR FROM LOBBY OR EXTERIOR AND ACCESSING THE 1ST THREE RESIDENTIAL FLOORS, DESIGN OPENED IS REQUIRED
- (f) RETAINING WALLS WITH HIGH QUALITY APPEARANCE
- (g) LANDSCAPING WITHIN VIEW CORRIDORS SHALL BE MAINTAINED AT 3 FT MAX FROM SIDEWALK ELEVATION
- (h) IF EXISTING ELEVATION IS MODIFIED, RETAIN ALL STORMWATER ON SITE

NOTE:

NEW CONSTRUCTION HERE WILL REQUIRE REVIEW AND APPROVAL OF THE DESIGN REVIEW BOARD. ONCE A DESIGN SET OF DRAWINGS IS READY TO SUBMIT AS PER A CHECK LIST TO BE PROVIDED AND AN APPLICATION IS COMPLETED ONLINE, THE PROCESS TAKES 3-4 MONTHS. IT MAY ALSO REQUIRE SOME LEVEL OF TRAFFIC STUDY. THE FIRST STEP IN THE PROCESS IS TO FILE THE APPLICATION ONLINE ONCE THERE IS SOME DRAWINGS TO REVIEW. AFTER THIS THE AHJ WILL SCHEDULE A PRE-APPLICATION MEETING TO REVIEW THE PROJECT AND PROVIDE COMMENTS BEFORE A FORMAL SUBMITTAL.

PROJECT AND OWNER:

DENBORA BAY III

2125 Bay Dr.
 MIAMI BEACH | FL | 33141
 2125 BAY DR LLC
 3179 HOLYLAKE RD.
 LAKE WORTH | FL | 33467

ARCHITECT:

2030 HABERSHAM TRCE | CUMMING | GA 30041
 954 812 6650
 RICARDO@MUVEARCH.COM
 AA#26003161



DESIGNER:



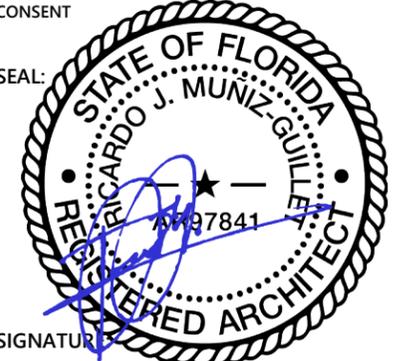
1555 NORTH PARK DRIVE #102 WESTON
 FL 33326
 954 850 9965
 ADMIN@REDOCTOPUSLLC.COM

DRB SUBMITAL

PERMIT APPLICATION DATE: 05-05-2024
 SHEET ISSUE DATE: 03-31-2023
 PROJECT NO.: 2312
 DRAWN BY: RV APPROVED BY: YM

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SEAL:



SIGNATURE: RICARDO J. MUNIZ-GUILLET
 LIC# AR97841

SHEET TITLE: **ZONING & LOCATION**

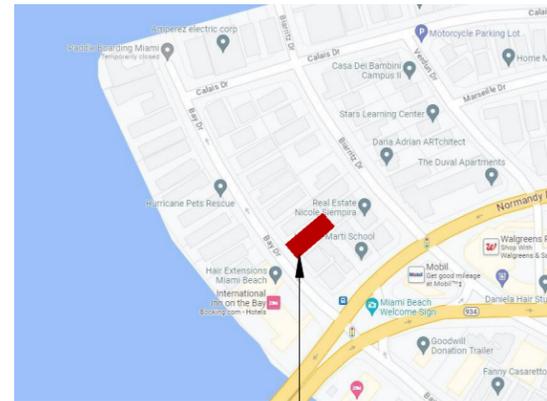
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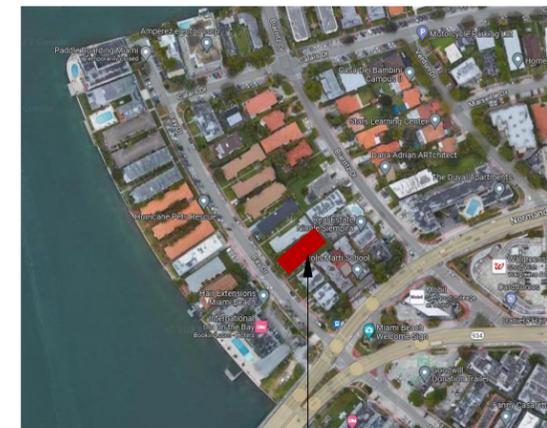
SUBJECT LOCATION
 2125 BAY DR. | MIAMI BEACH | FL 33141



1

LOCATION MAP

1/2" = 1'-0"



SUBJECT LOCATION
 2125 BAY DR. | MIAMI BEACH | FL 33141



2

AREAL VIEW

1/2" = 1'-0"

PROJECT AND OWNER:
DENBORA BAY III

2125 Bay Dr.
 MIAMI BEACH | FL | 33141
 2125 BAY DR LLC
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 LAKE WORTH | FL | 33467

ARCHITECT:
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DESIGNER:

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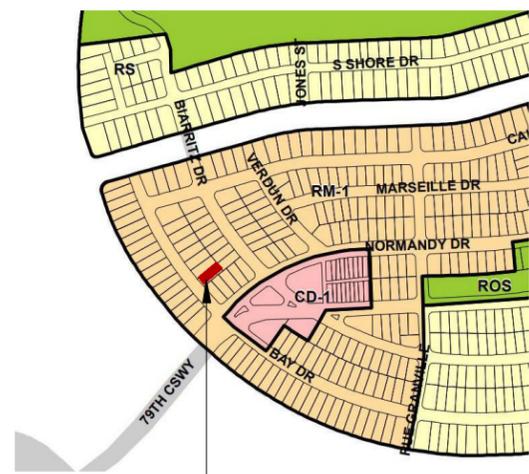
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 RICARDO J. MUNIZ-GUILLET
 LIC# AR97841

SHEET TITLE:
ZONING & LOCATION

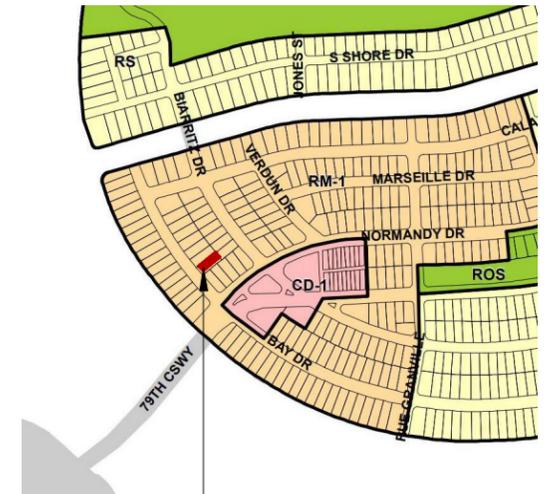
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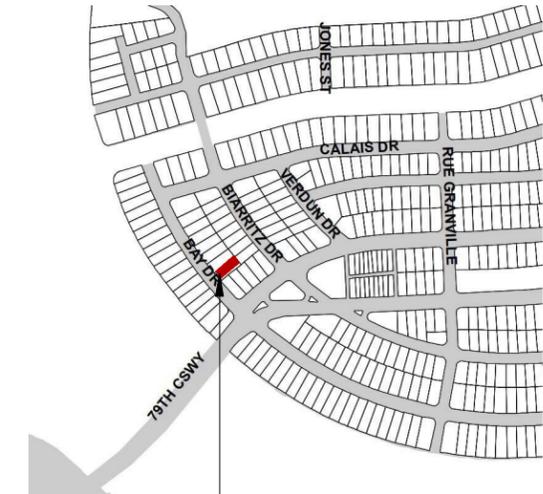
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SUBJECT LOCATION
 2125 BAY DR. | MIAMI BEACH | FL 33141



SUBJECT LOCATION
 2125 BAY DR. | MIAMI BEACH | FL 33141



SUBJECT LOCATION
 2125 BAY DR. | MIAMI BEACH | FL 33141

1 ZONING MAP.
 3/8" = 1'-0"

2 FUTURE ZONING MAP.
 3/8" = 1'-0"

3 HISTORIC DISTRICT MAP.
 3/8" = 1'-0"

PROJECT AND OWNER:
DENBORA BAY III

2125 Bay Dr.
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 2125 BAY DR LLC
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DESIGNER:



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 LIC# AR97841

SHEET TITLE:
ZONING & LOCATION

SCALE:
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SHEET NO:
G-2.04

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SUBJECT LOCATION
 2125 BAY DR. | MIAMI
 BEACH | FL 33141



1

AERIAL VIEW - 1/2 MILE RADIUS
 1/2" = 1'-0"

PROJECT AND OWNER:
DENBORA BAY III

2125 Bay Dr.
 MIAMI BEACH | FL | 33141
 2125 BAY DR LLC
 3179 HOLYLAKE RD.
 LAKE WORTH | FL | 33467

ARCHITECT:
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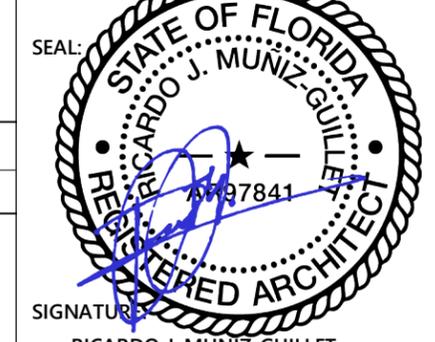
DESIGNER:

 1555 NORTH PARK DRIVE #102 WESTON
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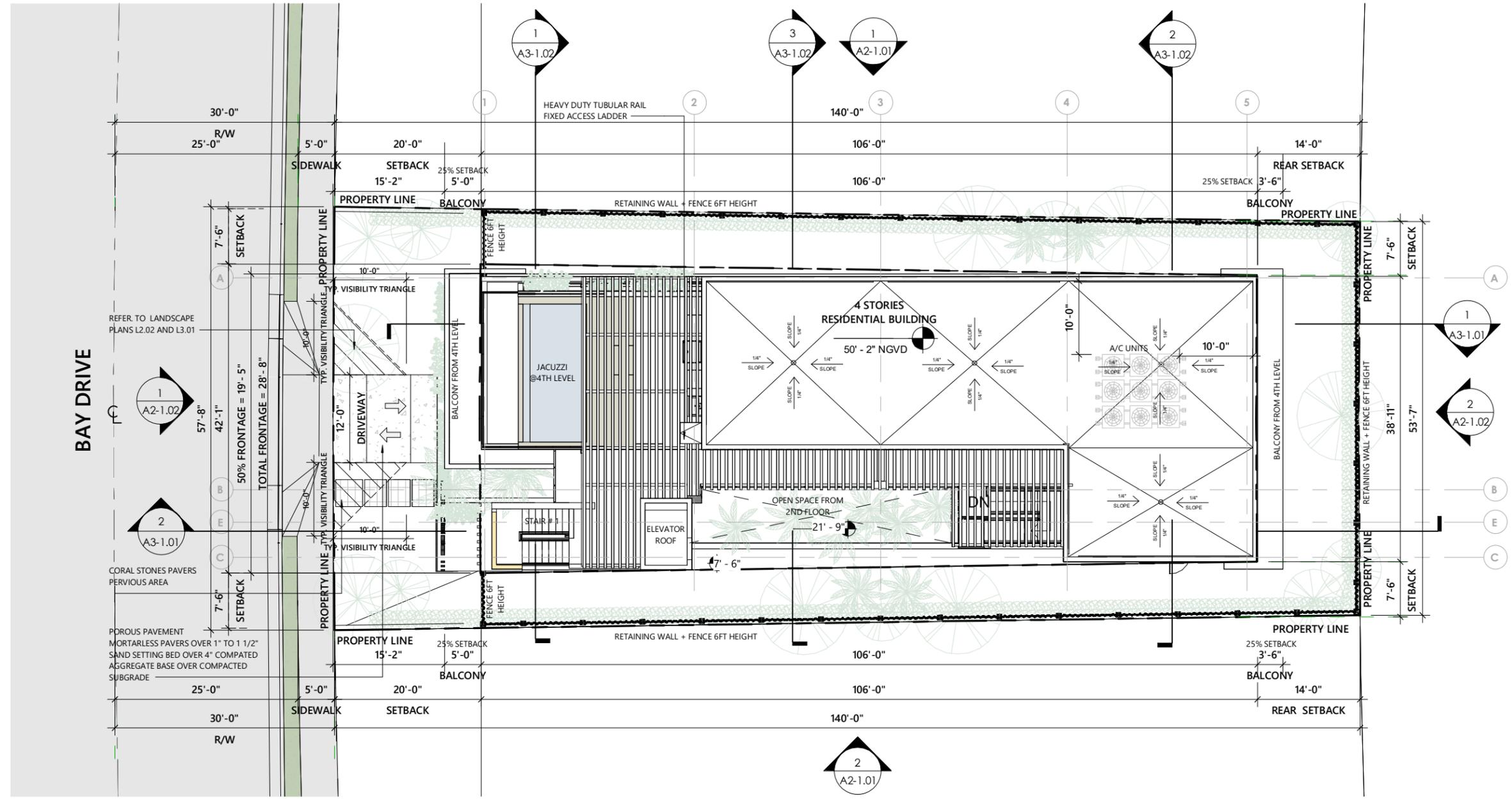
SIGNATURE:
 RICARDO J. MUNIZ-GUILLET
 LIC# AR97841

SHEET TITLE:
SITE PLAN

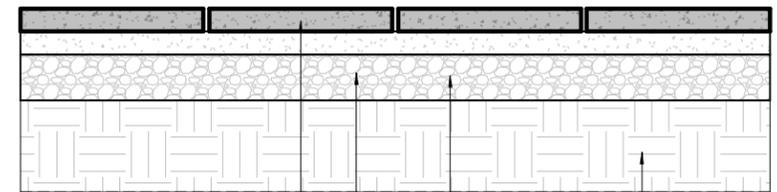
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 SHEET NO:

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1 SITE PLAN .
 1/16" = 1'-0"



MORTARLESS INTERLOCKING CONCRETE
 PAVERS, GAPS IN BETWEEN TO ALLOW THE
 STORWATER DRAINAGE
 1" TO 1 1/2" SAND SETTING BED
 4" COMPACTED AGGREGATE BASE
 COURSE
 COMPACTED SUBGRADE

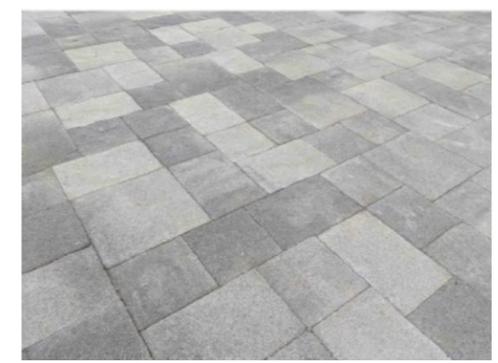


IMAGE ONLY FOR REFERENCE

CONCRETE PAVERS, PLACED WITH A SMALL GAP IN BETWEEN TO
 ALLOW WATER TO SOAK INTO THE GROUND DURABLE TO HEAVY
 TRAFFIC.
 PERVIOUS INTERLOCKING CONCRETE PAVERS CAN PREVENT
 RUN-OFF FROM HEAVY RAINS.
 THE PAVERS FILTER STORM WATER THROUGH THEIR JOINTS TO
 THE BASE LAYERS THAT TRAP MOST OF POLLUTANTS.
 IN FACT, PERMEABLE PAVERS CAN LOWER NEARLY 80% OF THE
 TOTAL SUSPENDED SOLID LEVELS IN STORM WATER.
 BY ENSURING THE INFILTRATION OF RAIN THROUGH ITS LAYERS,
 PERMEABLE INTERLOCKING CONCRETE PAVERS MAINTAIN
 HEALTH GOUNDWATER LEVELS, AND SUPPORT THE GROWTH
 AND SURVIVAL OF PLANT LIFE

2 PAVERS DETAILS.
 1/2" = 1'-0"

PROJECT AND OWNER:
DENBORA BAY III

2125 Bay Dr.
 MIAMI BEACH | FL | 33141
 2125 BAY DR LLC
 3179 HOLYLAKE RD.
 LAKE WORTH | FL | 33467

ARCHITECT:
 2030 HABERSHAM TRCE | CUMMING | GA 30041
 954 812 6650
 RICARDO@MUVEARCH.COM
 AA#26003161



DESIGNER:



1555 NORTH PARK DRIVE #102 WESTON
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DRB SUBMITAL

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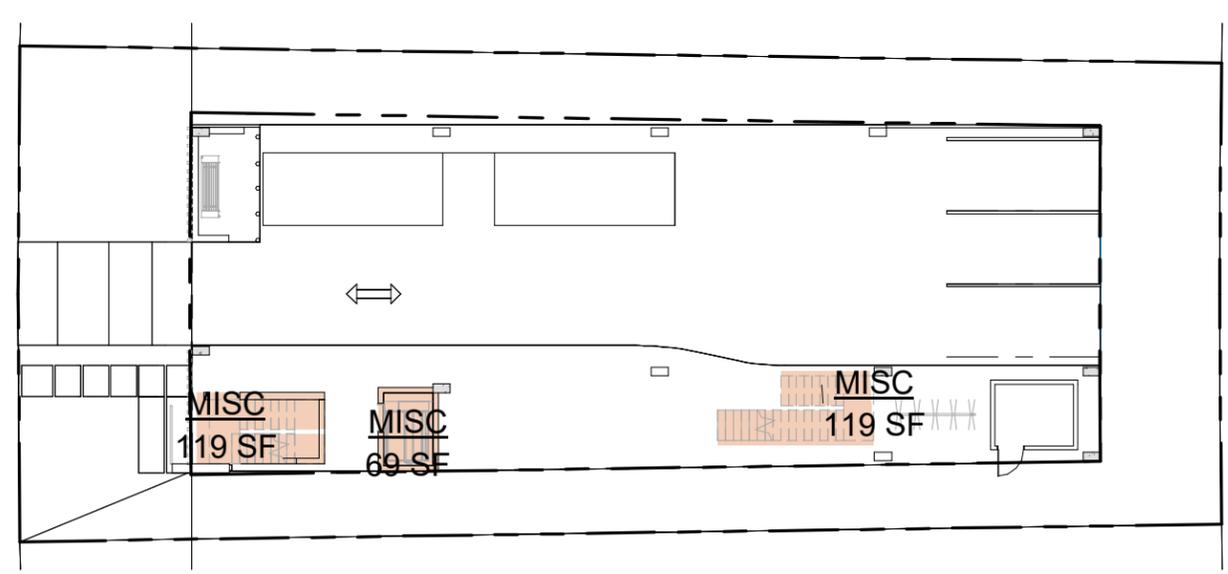
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 LIC# AR97841

SHEET TITLE:
AREA DIAGRAMS

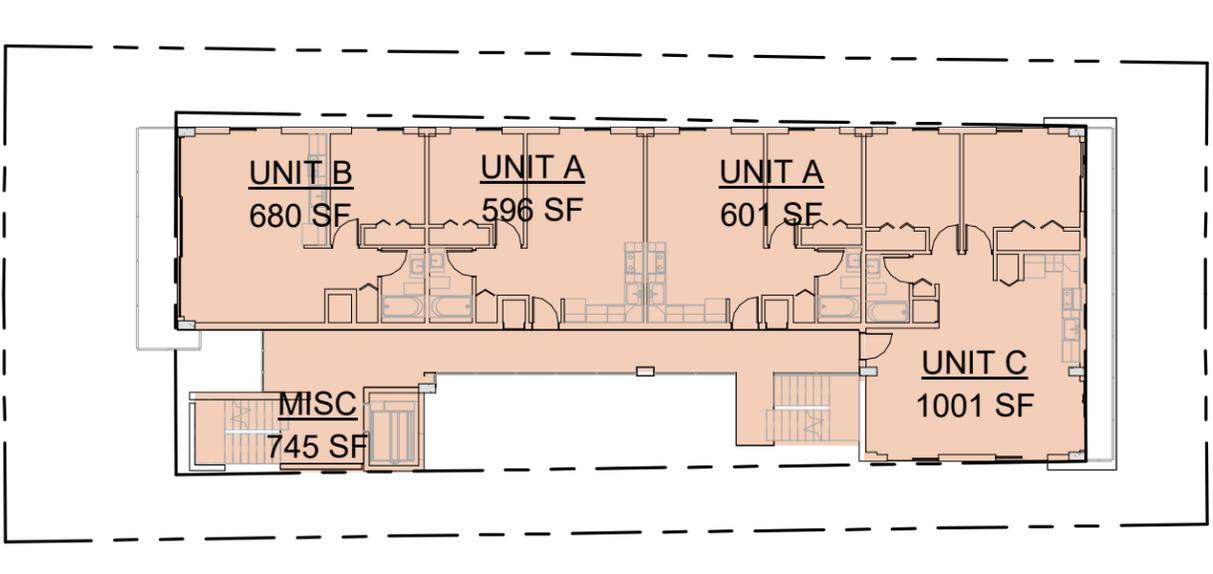
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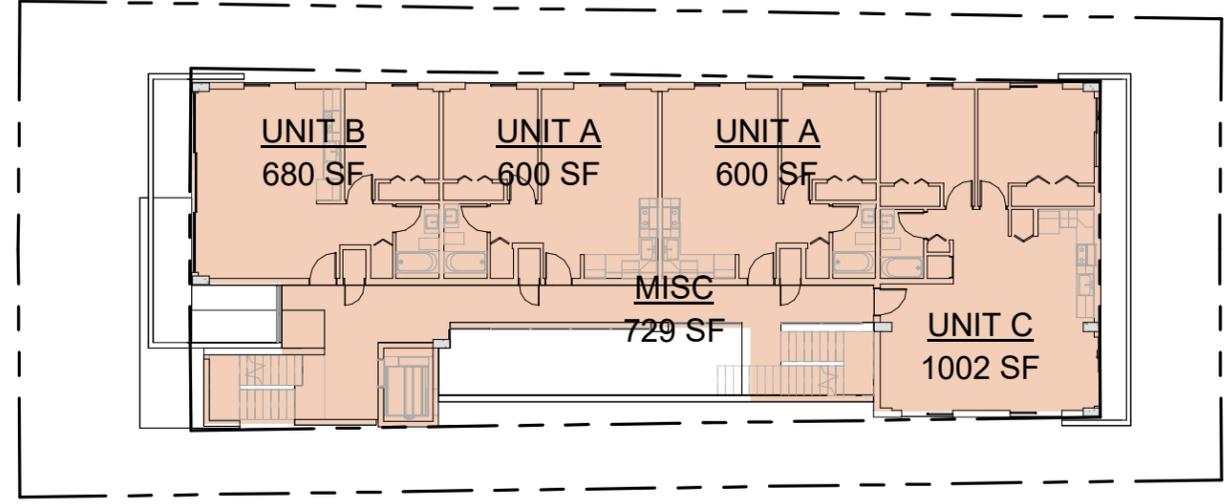
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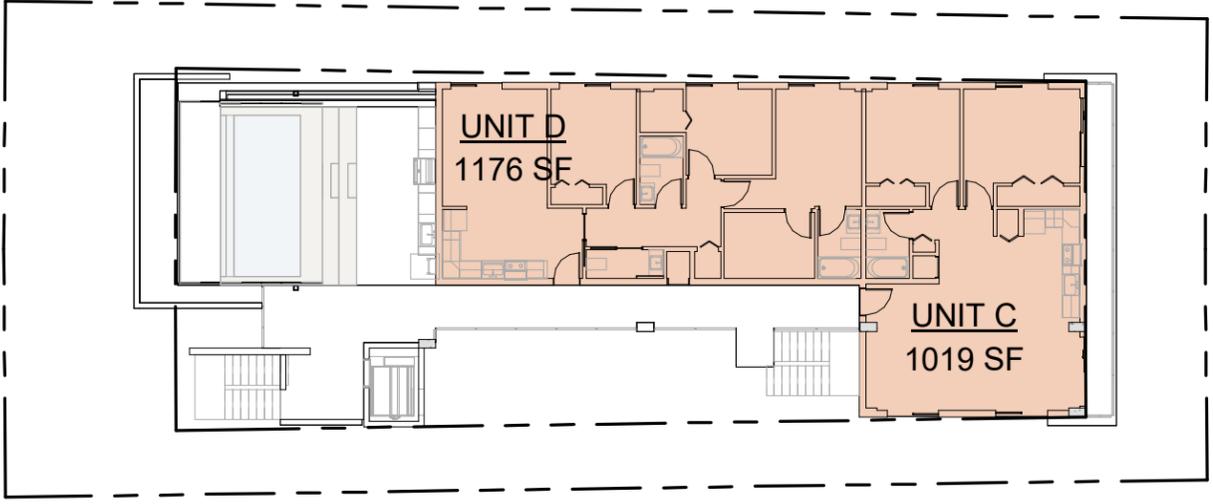
1 LEVEL 1 0'-0".
 3/64" = 1'-0"



3 LEVEL 3.
 3/64" = 1'-0"



2 LEVEL 2.
 3/64" = 1'-0"



4 LEVEL 4.
 3/64" = 1'-0"

AREA LEGEND

MISC	UNIT C	UNIT G
TRASH	UNIT D	
UNIT A	UNIT E	
UNIT B	UNIT F	

F.A.R. CALCULATION

MISC	1780 SF	18%
UNIT A	2397 SF	25%
UNIT B	1361 SF	14%
UNIT C	3022 SF	31%
UNIT D	1176 SF	12%
TOTAL SF:	9736 SF	



CURRENT EXTERIOR PHOTOGRAPHS, DATED OCTOBER 01TH, 2023

PROJECT AND OWNER:
DENBORA BAY III

2125 Bay Dr.
 MIAMI BEACH | FL | 33141
 2125 BAY DR LLC
 3179 HOLYLAKE RD.
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ARCHITECT:
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 RICARDO@MUVEARCH.COM
 AA#26003161



DESIGNER:



1555 NORTH PARK DRIVE #102 WESTON
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SHEET TITLE:
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SHEET NO:
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CURRENT EXTERIOR PHOTOGRAPHS, DATED OCTOBER 01TH, 2023

PROJECT AND OWNER:
DENBORA BAY III

2125 Bay Dr.
 MIAMI BEACH | FL | 33141
 2125 BAY DR LLC
 3179 HOLYLAKE RD.
 LAKE WORTH | FL | 33467

ARCHITECT:
 2030 HABERSHAM TRCE | CUMMING | GA 30041
 954 812 6650
 RICARDO@MUVEARCH.COM
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DESIGNER:



1555 NORTH PARK DRIVE #102 WESTON
 FL 33326
 954 850 9965
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DRB SUBMITAL

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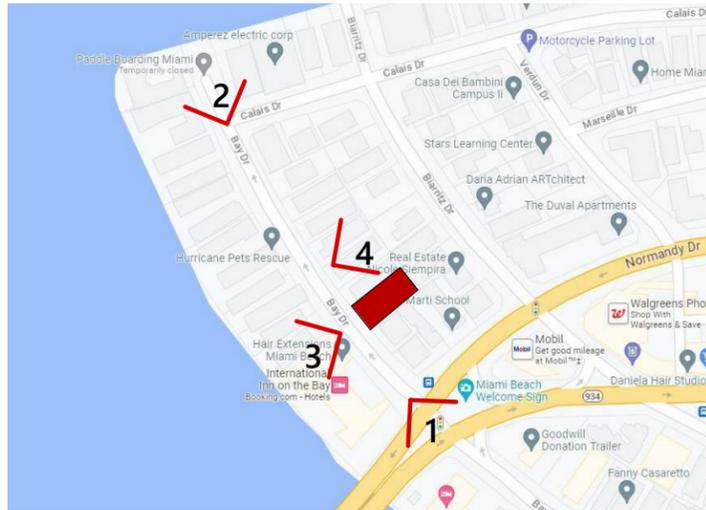


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 LIC# AR97841

SHEET TITLE:
EXISTING EXT. PICTURES

SCALE:
N.T.S.

SHEET NO:
G-7



SUBJECT LOCATION
2125 BAY DRIVE | MIAMI BEACH | FL 33141



1

KEY DIRECTIONAL PLAN.

1 1/2" = 1'-0"



CORNER TO CORNER VIEW 1



CORNER TO CORNER VIEW 2

CONTEXT PHOTOGRAPHS, DATED MARCH 24TH, 2023

PROJECT AND OWNER:
DENBORA BAY III

2125 Bay Dr.
MIAMI BEACH | FL | 33141
2125 BAY DR LLC
3179 HOLYLAKE RD.
LAKE WORTH | FL | 33467

ARCHITECT:
2030 HABERSHAM TRCE | CUMMING | GA 30041
954 812 6650
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AA#26003161



DESIGNER:



1555 NORTH PARK DRIVE #102 WESTON
FL 33326
954 850 9965
ADMIN@REDOCTOPUSLLC.COM

DRB SUBMITAL

PERMIT APPLICATION DATE: 05-05-2024
SHEET ISSUE DATE: 03-31-2023
PROJECT NO.: 2312
DRAWN BY: RV APPROVED BY: YM

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SIGNATURE:
RICARDO J. MUNIZ-GUILLET
LIC# AR97841

SHEET TITLE:
SITE & CONTEXT PICTURES

SCALE:

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SHEET NO:

G-8

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CORNER TO CORNER VIEW 3



CORNER TO CORNER VIEW 4



CONTEXT PHOTOGRAPHS, DATED MARCH 24TH, 2023

PROJECT AND OWNER:
DENBORA BAY III

2125 Bay Dr.
MIAMI BEACH | FL | 33141
2125 BAY DR LLC
3179 HOLYLAKE RD.
LAKE WORTH | FL | 33467

ARCHITECT:
2030 HABERSHAM TRCE | CUMMING | GA 30041
954 812 6650
RICARDO@MUVEARCH.COM
AA#26003161



DESIGNER:
REDOCTOPUS.LLC
INTEGRAL ARCHITECTURAL SERVICES
1555 NORTH PARK DRIVE #102 WESTON
FL 33326
954 850 9965
ADMIN@REDOCTOPUSLLC.COM

DRB SUBMITAL

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LIC# AR97841

SHEET TITLE:
SITE & CONTEXT PICTURES

SCALE:
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PROJECT AND OWNER:
DENBORA BAY III

2125 Bay Dr.
 MIAMI BEACH | FL | 33141
 2125 BAY DR LLC
 3179 HOLYLAKE RD.
 LAKE WORTH | FL | 33467

ARCHITECT:
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 954 812 6650
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DESIGNER:

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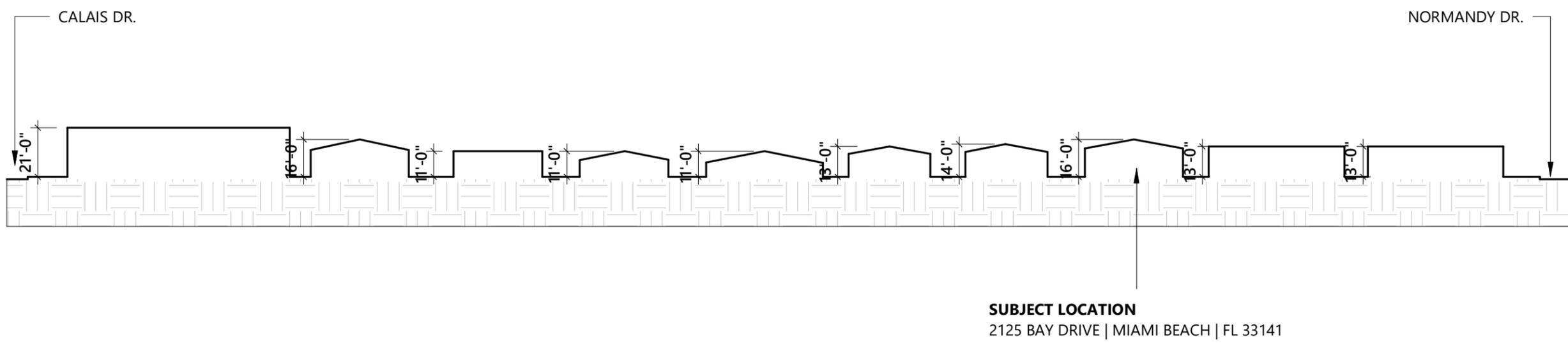
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 LIC# AR97841

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CONTEXTUAL ELEVATION

SCALE:
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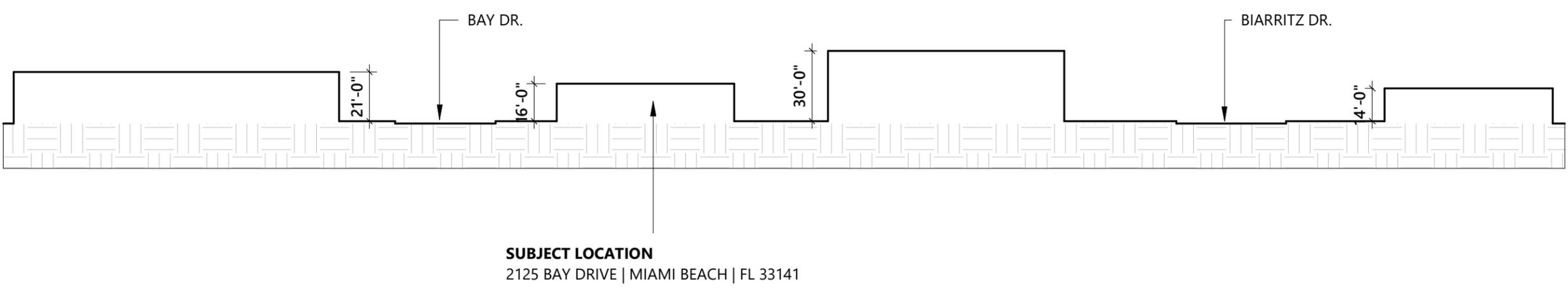
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1

CONTEXTUAL ELEVATION - CORNER TO CORNER.
 1" = 50'-0"



2

CONTEXTUAL ELEVATION - ACROSS THE STREET AND SURROUNDING PROPERTIES.
 1" = 50'-0"

WALL LEGEND		
1		TYPICAL 4" INTERIOR PARTITION NON-RATED
2		EXTERIOR - EXISTING TO REMAIN
3		INTERIOR - EXISTING TO REMAIN
		TO BE DEMOLISHED

DEMOLITION NOTES

02110 DEMOLITION

1. PROVIDE LABOR, MATERIALS AND EQUIPMENT TO PERFORM ALL DEMOLITION AND REMOVAL WORK SHOWN, SPECIFIED OR REQUIRED TO COMPLETE THE WORK.

"TITLE OF PROPERTY": EXCEPT AS OTHERWISE SPECIFIED, OR INDICATED, ALL SALVAGE- ABLE MATERIAL AND EQUIPMENT TO BE DISCONNECTED AND REMOVED SHALL BECOME THE PROPERTY OF THE OWNER TO BE ASSIGNED AND DISPOSED OF BY THE CONTRACTOR AT THE OWNERS DIRECTION. CONTRACTOR SHALL SUBMIT TO OWNER REFERENCES AND EXPERIENCE OF TRADES FOR REVIEW AND APPROVAL. THESE ITEMS MAY INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:

- EQUIPMENT, CONDUIT, LIGHT FIXTURES, TOILET FIXTURES AND FITTINGS, WINDOWS/DOORS AND MECHANICAL ITEMS. PROTECTION OF PERSONS AND PROPERTY: SHALL BE PROVIDED THROUGHOUT THE PROGRESS OF THE WORK. THE WORK SHALL PROCEED IN SUCH A MANNER AS TO MINIMIZE THE SPREAD OF DUST AND FLYING PARTICLES AND TO PROVIDE SAFE WORKING CONDITIONS FOR PERSONNEL.
- DISCONNECTION OF SERVICES: BEFORE STARTING THE WORK, ALL AFFECTED UTILITIES SHALL BE DISCONNECTED UNLESS OTHERWISE INDICATED OR DIRECTED. ALL UTILITY MAINS SHALL BE SEALED IN AN APPROVED MANNER. IF IT BECOMES NECESSARY TO INTERRUPT THE UTILITY SERVICE TO UTILITIES NOT PART OF THIS CONTRACT, PRIOR APPROVAL SHALL BE OBTAINED IN WRITING FROM THE OWNER.
- CONTRACTOR SHALL INVESTIGATE THE EXISTENCE OF ASBESTOS AND NOTIFY THE OWNER BEFORE PROCEEDING WITH DEMOLITION WORK.

SCOPE OF WORK
CONTRACTOR TO OBTAIN ALL NECESSARY BUILDING PERMITS. DEMOLITION AND REMOVAL FOR BUILDING AS INDICATED ON DRAWINGS. CONTRACTOR TO REMOVE ALL PARTITIONS, WALLS, PLUMBING AS INDICATED IN THE DRAWINGS. THE ABOVE SCOPE OF WORK IS NOT EXHAUSTIVE. REFERENCE SHOULD BE MADE TO EXISTING SITE CONDITIONS TO VERIFY EXTENT OF REMOVALS TO COMPLETE THE PROJECT. SHOULD THERE BE A QUESTION AS TO THE REMOVAL OF ANY PORTION OF THE PROJECT, THE CONTRACTOR SHOULD REQUEST CLARIFICATION FROM THE OWNER.

EXECUTION
ALL DEMOLITION SHALL BE CARRIED OUT WITH MINIMUM DAMAGE TO ADJOINING WORK. HOLES OR OTHER DAMAGE LEFT BY THE CONTRACTOR IN EXISTING BUILDING SURFACES SHALL BE REPAIRED TO MATCH THE EXISTING ADJACENT SURFACE. ASSIGN REMOVAL AND CUTTING WORK TO TRADES EXPERIENCED IN THE PARTICULAR WORK TO AVOID UNNECESSARY DAMAGE DUE TO UNSKILLED WORKMANSHIP. REMOVE ALL DEBRIS AND MATERIAL RESULTING FROM DEMOLITION OFF THE SITE AT THE END OF EACH WORKING DAY. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PREVENT DAMAGE TO EXISTING WIRING, PIPING, TUBING AND EQUIPMENT. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ALL DAMAGE TO EXISTING STRUCTURE CAUSED BY HIS OPERATIONS. ALL DEMOLITION WORK SHALL BE UNDERTAKEN IN ACCORDANCE WITH REQUIREMENTS OF REGULATIONS OSHA AND OF LOCAL AUTHORITIES AND APPLICABLE BUILDING CODES. DEMOLITION WORK SHALL BE COORDINATED WITH BUILDING MANAGEMENT.

PROJECT AND OWNER:
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954 812 6650
RICARDO@MUVEARCH.COM
AA#26003161



DESIGNER:

ALL LIFE SAFETY EQUIPMENT TO REMAIN OPERABLE DURING DEMOLITION

NOTE:

- THE REMOVAL OF THE WALLS MUST BE PERFORMED CAREFULLY TO ENSURE EXISTING PLUMBING VENT AND SANITARY STACKS WILL NOT BE DAMAGED AND/OR MODIFIED IN ANY MANNER. IF A PLUMBING/VENT STACK IS TO BE CONCEALED WITHIN A WALL THE GENERAL CONTRACTOR NEEDS TO ASCERTAIN THAT, BEFORE THE PLUMBING STACK IS COVERED WITHIN ANY ARCHITECTURAL FINISH, COLUMN ELEMENT OR WALL SECTION, THAT THE FIRE RATED SEALANTS THAT SEPARATE THE UNITS AT THE SLABS ARE C PRESENT.
- THE EXISTING/REMAING SMOKE DETECTORS AS WELL AS FIRE ALARM SYSTEM SPEAKERS AND ASSOCIATED WIRING SHOULD BE PROTECTED FROM DUST, PAINT OR ANY TYPE OF DAMAGE DURING CONSTRUCTION.
- ANY NEW OPENINGS, PENETRATIONS, AND/OR MODIFICATIONS TO EXISTING STRUCTURAL COMPONENTS (INCLUDING AND NOT LIMITED TO WALLS, SLABS, COLUMNS, BEAMS, ETC) ARE STRICTLY NOT PERMITTED WITHOUT PRIOR APPROVAL BY THE BUILDING'S ASSOCIATION.
- ANY AND ALL FIRE SPRINKLER SYSTEM WORK SHOULD BE PERFORMED BY THE ASSOCIATION'S FIRE SPRINKLER CONTRACTOR THAT IS RESPONSIBLE FOR MAINTAINING AND REPAIRING THE FIRE SPRINKLER SYSTEM ON A BUILDING WIDE BASIS.



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DEMOLITION PLAN KEYNOTES

- REMOVE EXISTING INTERIOR PARTITION
 - REMOVE EXISTING DOOR
 - REMOVE PLUMBING FIXTURES, CAP EXISTING CONNECTIONS AND COVER ALL SANITARY AND DRAINAGE LINES TO PREVENT THE INTRUSION OF DEBRIS
 - REMOVE FINISH FLOOR
 - REMOVE KITCHEN APPLIANCES CABINETS AND COUNTERTOPS
 - REMOVE EXISTING CEILING
- COORDINATE SELECTIVE REMOVAL / RELOCATION OF LIGHT LIXTURES, ELECTRICAL WIRES, CONDUITS, "J" BOXES, DUCT WORK, DIFFUSERS, GRILLS.
- REMOVE ALL DUCTWORK, DIFFUSERS, GRILLS, LIGHTS, AND CLEAN THE BOTTOM OF THE SLAB FROM REMAINING DEBRIS.
- SPRINKLER LINES TO REMAIN AND BE RELOCATED PER REVISED PLAN

GENERAL DEMOLITION NOTES

- BEFORE BEGINNING WORK AT THE SITE, WHERE POSSIBLE, AND THROUGH THE COURSE OF THE WORK, INSPECT AND VERIFY THE LOCATION AND CONDITION OF EVRY ITEM AFFECTED BY THE WORK UNDER THIS CONTRACT AND REPORT ANY DISCREPANCIES TO THE OWNER BEFORE DOING WORK RELATED OT THAT INSPECTION.
- DRAWINGS SHOW PRINCIPAL AREAS WHERE WORK MUST BE COMPLETED UNDER THIS CONTRACT, INCIDENTAL WORK MUST ALSO BE NECESSARY ON AREAS NOT SHOWN IN THE DRAWINGS DUE TO CHANGES AFFECTING EXISTING MECHANICAL, ELECTRICAL, PLUMBING OR OTHER SYSTEMS, SUCH INCIDENTAL WORK IS ALSO AS PART OF THIS CONTRACT. INSPECT THOSE AREAS, AND AS CERTAIN WORKNEEDED AND TO THAT WORK ACCORD WITH THE CONTRACT REQUIREMENTS, AT NO ADDITIONAL COST.
- TAKE ALL NECESSARY PRECAUTIONS TO GUARD AGAINST ANY AND ALL POSSIBLE HAZARDOUS CONDITIONS (I.E. EXPOSED "HOT" WIRING, MATERIALS PLACED IN TRAFFIC PATHS CREATING A "TRIPPING" HAZARD, ETC.) WHICH MIGHT OCCUR AS A RESULT OF DEMOLITION AND CONSTRUCTION.
- IF UNANTICIPATED MECHANICAL, ELECTRICAL OR STRUCTURAL ELEMENTS, WHICH CONFLICT WITH INTENDED FUNCTION OR DESIGN AR ENCOUNTERED, INVESTIGATE AND MEASURE BOTH NATURE OF EXTENT OF THE CONFLICT. SUBMIT REPORT TO OWNERS REPRESENTATIVE IN WRITTEN, ACCURATE DETAIL.
- IN ALL ACTIVITIES, COMPLY WITH PERTINENT REGULATIONS OF GOVERNMENTAL AGENCIES HAVING JURISDICTION.
- UPON COMPLETION OF DEMOLITION WORK, REMOVE DEBRIS, RUBBISH AND OTHER MATERIALS FROM BUILDING SITE. TRANSPORT AND LEGALLY DISPOSE OF MATERIALS OFF SITE. LEAVE RESULTING DEBRIS FROM INTERIOR AREAS BROOM CLEAN.
- USE SAW CUT TO REMOVE MASONRY WHERE REMAINING MASONRY IS TO BE EXPOSED.
- PROVIDE INTERIOR AND EXTERIOR SHORING, BRACING OR SUPPORT TO PREVENT MOVEMENT, SETTLEMENT OR COLLAPSE OF STRUCTURES TO BE DEMOLISHED AND ADJACENT EXISTING STRUCTURES TO REMAIN. TAKE PRECAUTIONS TO PROPERLY SUPPORT STRUCTURE. DO NOT RESUME OPERATIONS UNTIL SAFETY IS RESTORED.
- BEFORE ANY STRUCTURAL DEMOLITION CAN START, CONTRACTOR SHALL NOTIFY THE STRUCTURAL ENGINEER FOR AUTHORIZATION.
- DEMOLITION OPERATION SHALL BE EXECUTED BY ADEQUATE NUMBER OF SKILLED WORKERS EXPERIENCED IN THE NECESSARY CRAFTS. SHUT OFF, CAP AND OTHERWISE PROTECT MECHANICAL AND ELECTRICAL INSTALLATIONS, WORK IN PUBLIC UTILITY LINES SHALL BE COORDINATED WITH THE AGENCY OR UTILITY HAVING JURISDICTION AND THE CONTRACTOR SHALL PROTECT EXISTING INSTALLATIONS ACCORDING TO THEIR REQUIREMENTS.
- ITEMS INDICATED TO BE REMOVED BUT OF SALVABLE VALUE TO THE CONTRACTOR, AND NOT TO BE KEPT BY THE OWNER, MAY BE REMOVED FROM THE STRUCTURE AS WORK PROGRESSES. TRANSPORT SALVAGED ITEMS FROM THE SITE AS THEY ARE REMOVED. STORAGE OR SALE OF REMOVED ITEMS ON SITE WILL NOT BE PERMITTED. MATERIALS AND EQUIPMENT TO BE REUSED SHALL BE TREATED WITH CARE AND REINSTALLED AS SHOWN ON PLANS.
- G.C. SHALL REPAIR AT HIS OWN COST ANY DAMAGES TO THE PREMISES OR ADJACENT WORK CAUSED BY HIS OPERATION. FIRE PROTECTION WILL BE PROVIDED FROM THE OCCUPIED SIDE OF THE BUILDING TO THE DEMO SIDE.

DRB SUBMITAL

PERMIT APPLICATION DATE: 05-05-2024
SHEET ISSUE DATE: 03-31-2023
PROJECT NO.: 2312
DRAWN BY: RV APPROVED BY: YM

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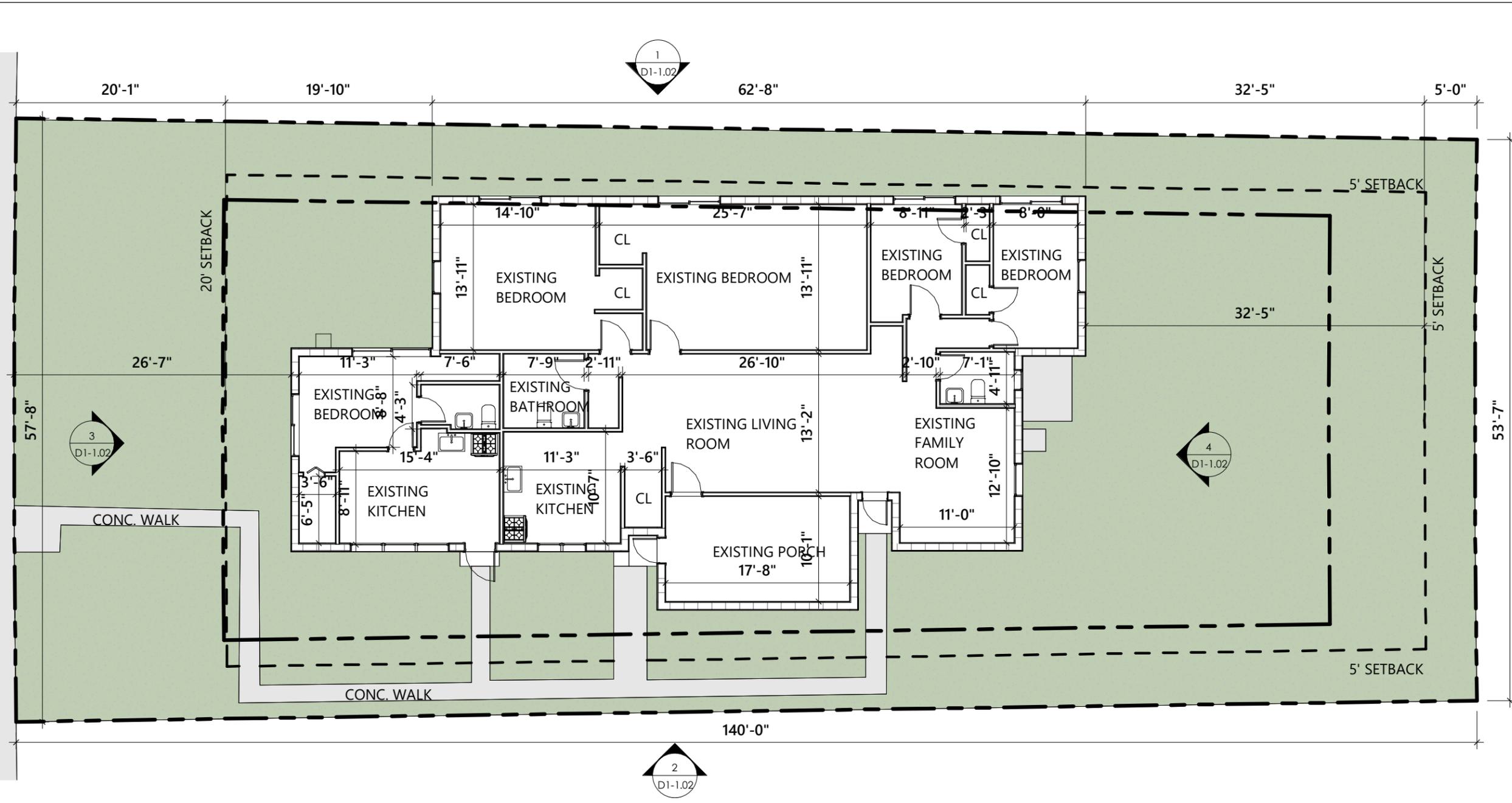
SIGNATURE: RICARDO J. MUNIZ-GUILLET
LIC# AR97841

SHEET TITLE: **DEMOLITION NOTES**

SCALE: N.T.S.

SHEET NO: **D1-1.00**

9/11/2024 4:35:50 PM



PROJECT AND OWNER:
DENBORA BAY III
 2125 Bay Dr.
 MIAMI BEACH | FL | 33141
 2125 BAY DR LLC
 3179 HOLYLAKE RD.
 LAKE WORTH | FL | 33467

ARCHITECT:
 2030 HABERSHAM TRCE | CUMMING | GA 30041
 954 812 6650
 RICARDO@MUVEARCH.COM
 AA#26003161



DESIGNER:

 1555 NORTH PARK DRIVE #102 WESTON
 FL 33326
 954 850 9965
 ADMIN@REDOCTOPUSLLC.COM

DRB SUBMITAL

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SIGNATURE:
 RICARDO J. MUNIZ-GUILLET
 LIC# AR97841

SHEET TITLE:
**EXISTING GROUND LEVEL
 scPLAN**

N.T.S.
 SHEET NO:

D1-1.01

9/11/2024 4:35:51 PM

1 EXISTING GROUND LEVEL PLAN
 3/32" = 1'-0"

PROJECT AND OWNER:
DENBORA BAY III

2125 Bay Dr.
 MIAMI BEACH | FL | 33141
 2125 BAY DR LLC
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DESIGNER:



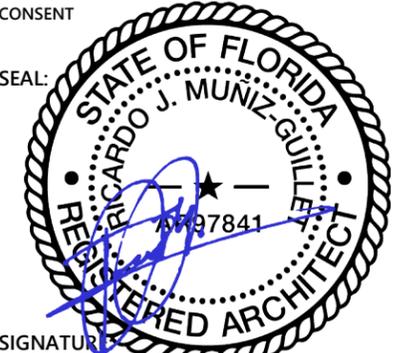
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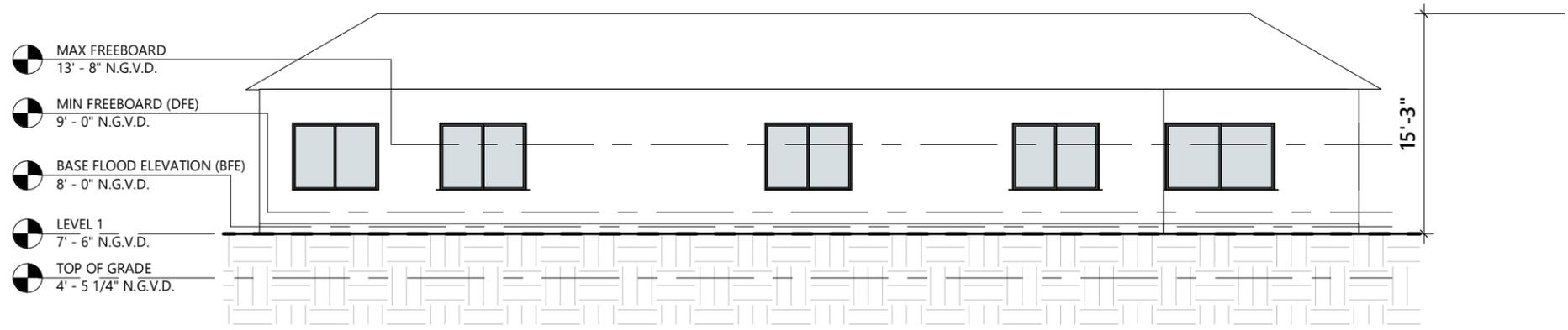
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 RICARDO J. MUNIZ-GUILLET
 LIC# AR97841

SHEET TITLE:
EXISTING ELEVATION

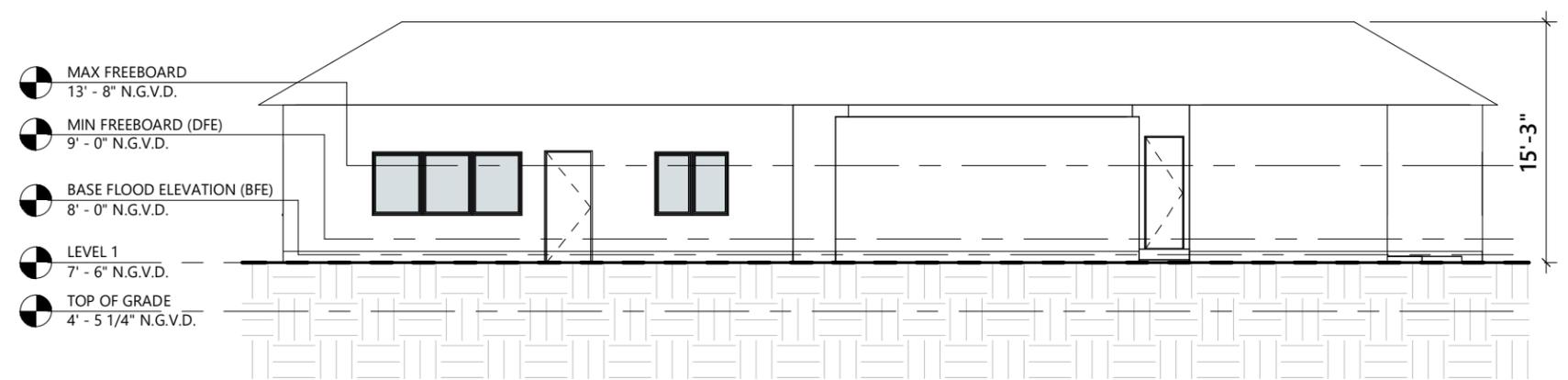
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 SHEET NO:

D1-1.02

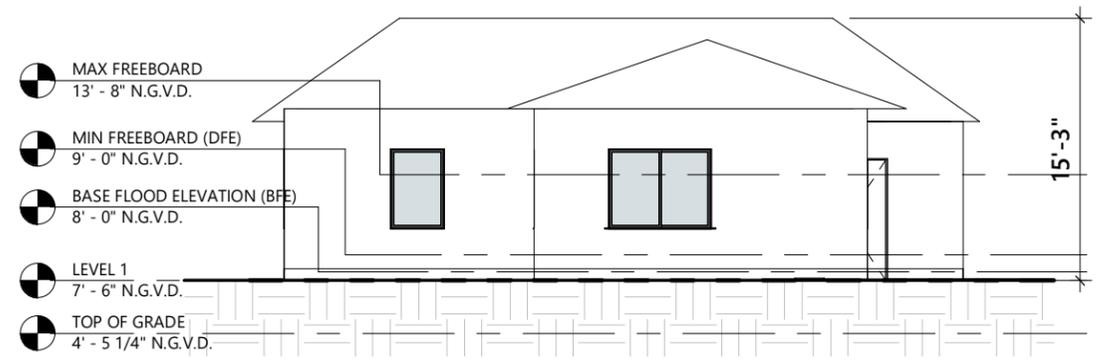
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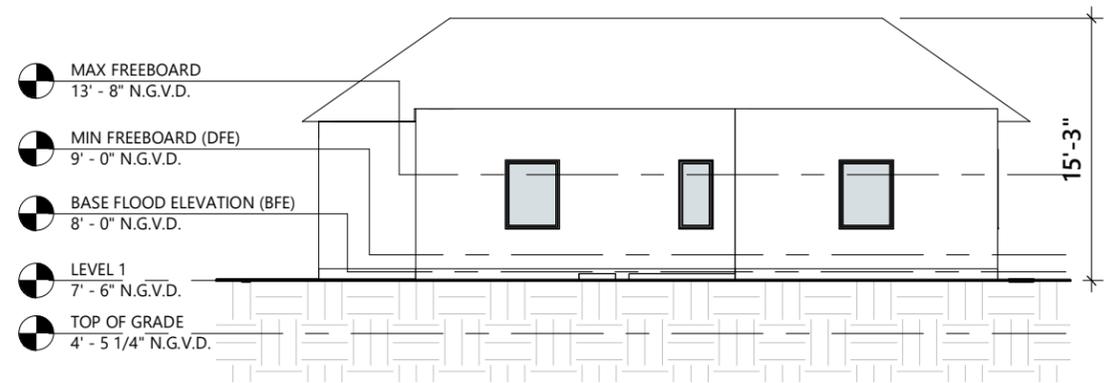
1 EXISTING NORTH ELEVATION.
 3/32" = 1'-0"



2 EXISTING SOUTH ELEVATION.
 3/32" = 1'-0"



3 EXISTING WEST ELEVATION.
 3/32" = 1'-0"



4 EXISTING EAST ELEVATION.
 3/32" = 1'-0"

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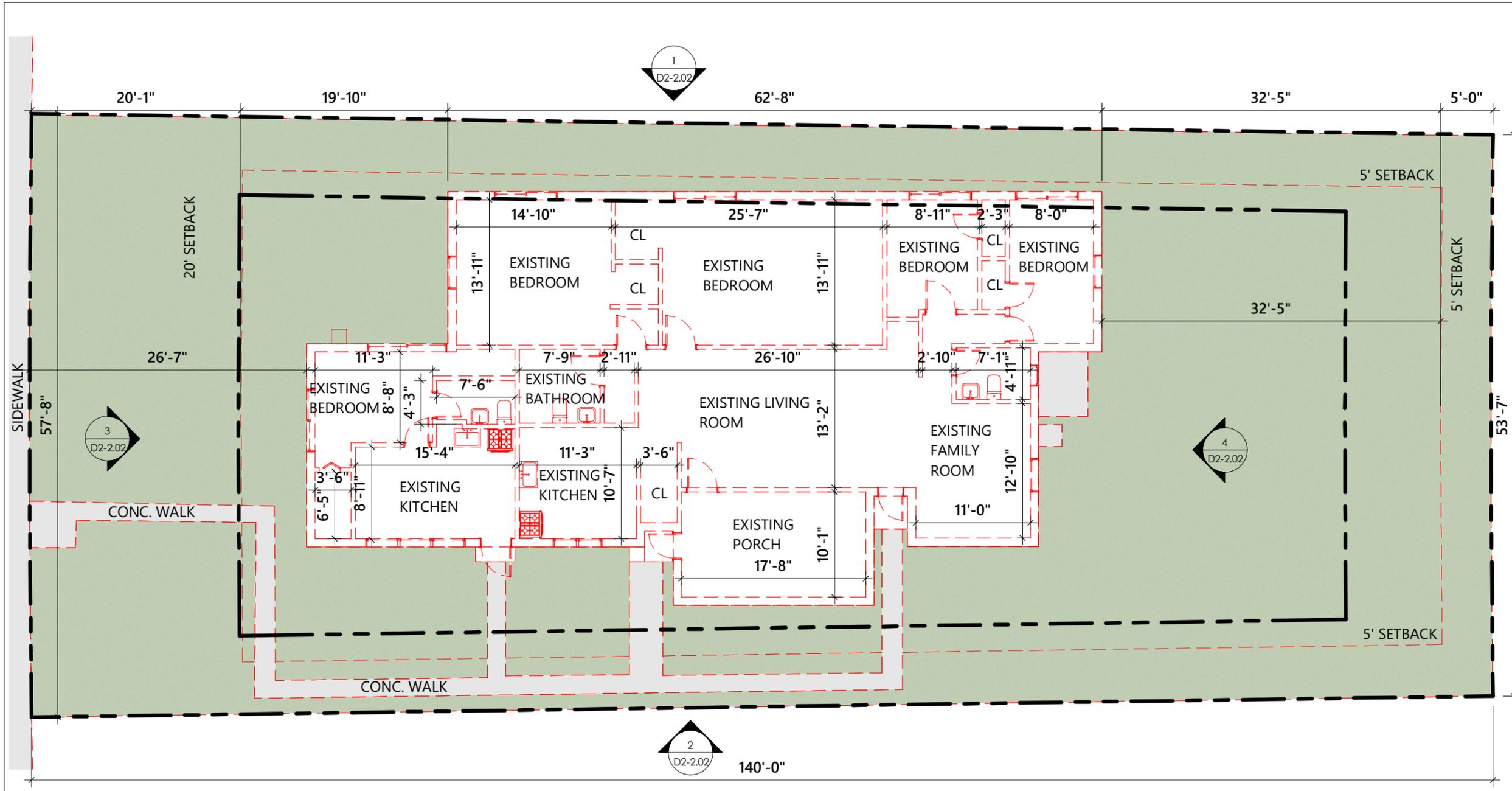
SIGNATURE:
RICARDO J. MUNIZ-GUILLET
LIC# AR97841

SHEET TITLE:
DEMO GROUND LEVEL PLAN

SCALE:
N.T.S.

SHEET NO.:
D1-2.01

9/11/2024 4:35:54 PM



1 DEMO GROUND LEVEL PLAN
3/32" = 1'-0"

WALL LEGEND	
	TYPICAL 4" INTERIOR PARTITION NON-RATED
	EXTERIOR - EXISTING TO REMAIN
	INTERIOR - EXISTING TO REMAIN
	TO BE DEMOLISHED

GENERAL DEMOLITION NOTES	
1.	BEFORE BEGINNING WORK AT THE SITE, WHERE POSSIBLE, AND THROUGH THE COURSE OF THE WORK, INSPECT AND VERIFY THE LOCATION AND CONDITION OF EVERY ITEM AFFECTED BY THE WORK UNDER THIS CONTRACT AND REPORT ANY DISCREPANCIES TO THE OWNER BEFORE DOING WORK RELATED TO THAT INSPECTION.
2.	DRAWINGS SHOW PRINCIPAL AREAS WHERE WORK MUST BE COMPLETED UNDER THIS CONTRACT, INCIDENTAL WORK MUST ALSO BE NECESSARY ON AREAS NOT SHOWN IN THE DRAWINGS DUE TO CHANGES AFFECTING EXISTING MECHANICAL, ELECTRICAL, PLUMBING OR OTHER SYSTEMS, SUCH INCIDENTAL WORK IS ALSO AS PART OF THIS CONTRACT. INSPECT THOSE AREAS, AND AS CERTAIN WORK NEEDED AND TO THAT WORK ACCORD WITH THE CONTRACT REQUIREMENTS, AT NO ADDITIONAL COST.
3.	TAKE ALL NECESSARY PRECAUTIONS TO GUARD AGAINST ANY AND ALL POSSIBLE HAZARDOUS CONDITIONS (I.E. EXPOSED "HOT" WIRING, MATERIALS PLACED IN TRAFFIC PATHS CREATING A "TRIPPING" HAZARD, ETC.) WHICH MIGHT OCCUR AS A RESULT OF DEMOLITION AND CONSTRUCTION.
4.	IF UNANTICIPATED MECHANICAL, ELECTRICAL OR STRUCTURAL ELEMENTS, WHICH CONFLICT WITH INTENDED FUNCTION OR DESIGN ARE ENCOUNTERED, INVESTIGATE AND MEASURE BOTH NATURE OF EXTENT OF THE CONFLICT. SUBMIT REPORT TO OWNER'S REPRESENTATIVE IN WRITTEN, ACCURATE DETAIL.
5.	IN ALL ACTIVITIES, COMPLY WITH PERTINENT REGULATIONS OF GOVERNMENTAL AGENCIES HAVING JURISDICTION.
6.	UPON COMPLETION OF DEMOLITION WORK, REMOVE DEBRIS, RUBBISH AND OTHER MATERIALS FROM BUILDING SITE. TRANSPORT AND LEGALLY DISPOSE OF MATERIALS OFF SITE. LEAVE RESULTING DEBRIS FROM INTERIOR AREAS BROOM CLEAN.
7.	USE SAW CUT TO REMOVE MASONRY WHERE REMAINING MASONRY IS TO BE EXPOSED.
8.	PROVIDE INTERIOR AND EXTERIOR SHORING, BRACING OR SUPPORT TO PREVENT MOVEMENT, SETTLEMENT OR COLLAPSE OF STRUCTURES TO BE DEMOLISHED AND ADJACENT EXISTING STRUCTURES TO REMAIN. TAKE PRECAUTIONS TO PROPERLY SUPPORT STRUCTURE. DO NOT RESUME OPERATIONS UNTIL SAFETY IS RESTORED.
9.	BEFORE ANY STRUCTURAL DEMOLITION CAN START, CONTRACTOR SHALL NOTIFY THE STRUCTURAL ENGINEER FOR AUTHORIZATION.
10.	DEMOLITION OPERATION SHALL BE EXECUTED BY ADEQUATE NUMBER OF SKILLED WORKERS EXPERIENCED IN THE NECESSARY CRAFTS. SHUT OFF, CAP AND OTHERWISE PROTECT MECHANICAL AND ELECTRICAL INSTALLATIONS, WORK IN PUBLIC UTILITY LINES SHALL BE COORDINATED WITH THE AGENCY OR UTILITY HAVING JURISDICTION AND THE CONTRACTOR SHALL PROTECT EXISTING INSTALLATIONS ACCORDING TO THEIR REQUIREMENTS.

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 2125 BAY DR LLC
 3179 HOLYLAKE RD.
 LAKE WORTH | FL | 33467

ARCHITECT:
 2030 HABERSHAM TRCE | CUMMING | GA 30041
 954 812 6650
 RICARDO@MUVEARCH.COM
 AA#26003161



DESIGNER:



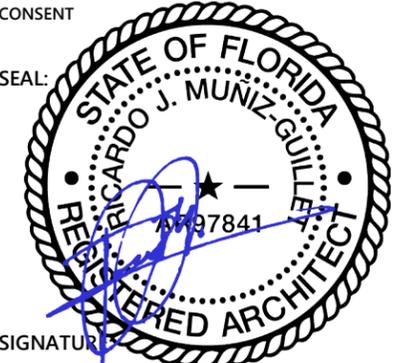
1555 NORTH PARK DRIVE #102 WESTON
 FL 33326
 954 850 9965
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DRB SUBMITAL

PERMIT APPLICATION DATE: 05-05-2024
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 CONSENT

SEAL:



SIGNATURE:
 RICARDO J. MUNIZ-GUILLET
 LIC# AR97841

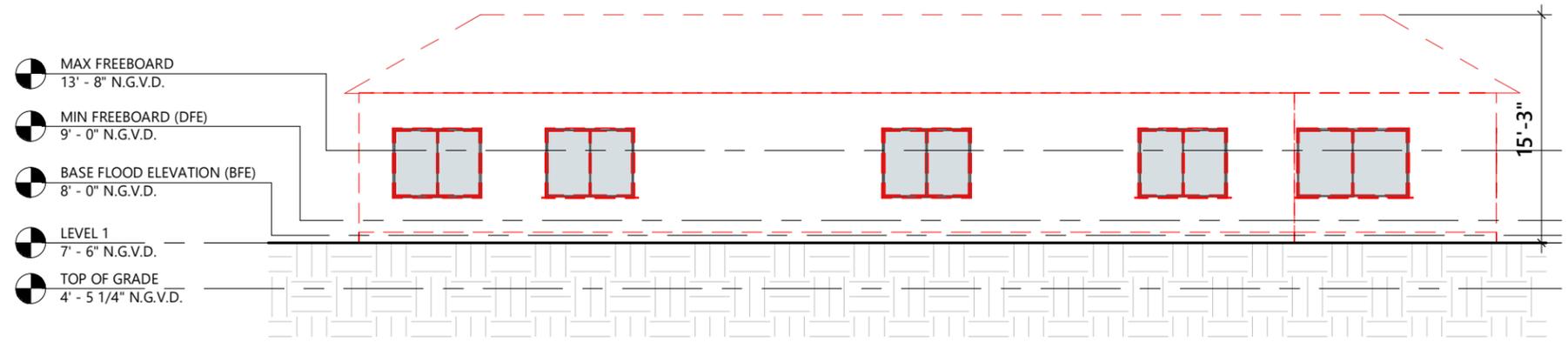
SHEET TITLE:
DEMOLITION ELEVATION

SCALE:
 N.T.S.

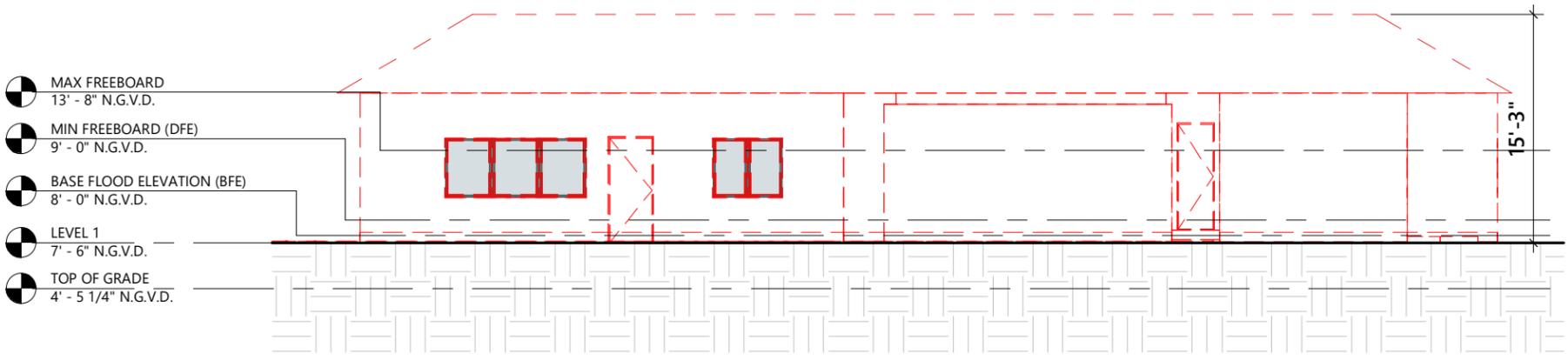
SHEET NO:

D2-2.02

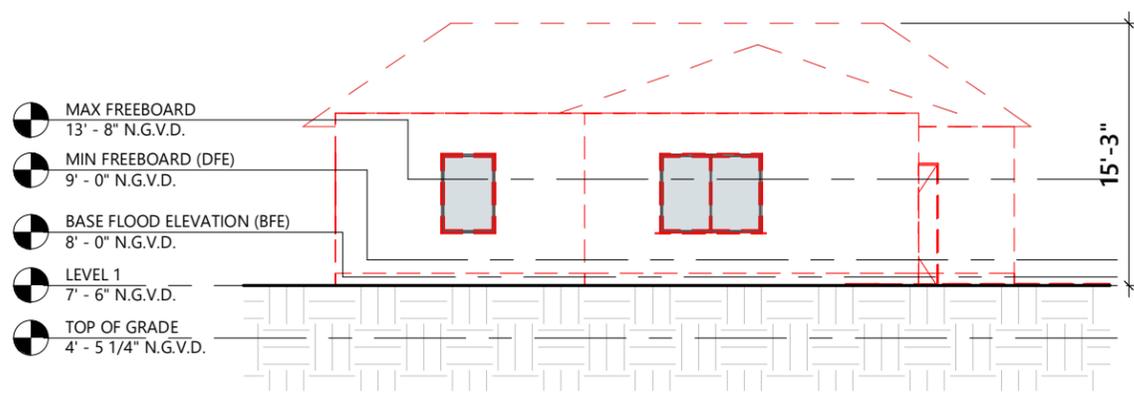
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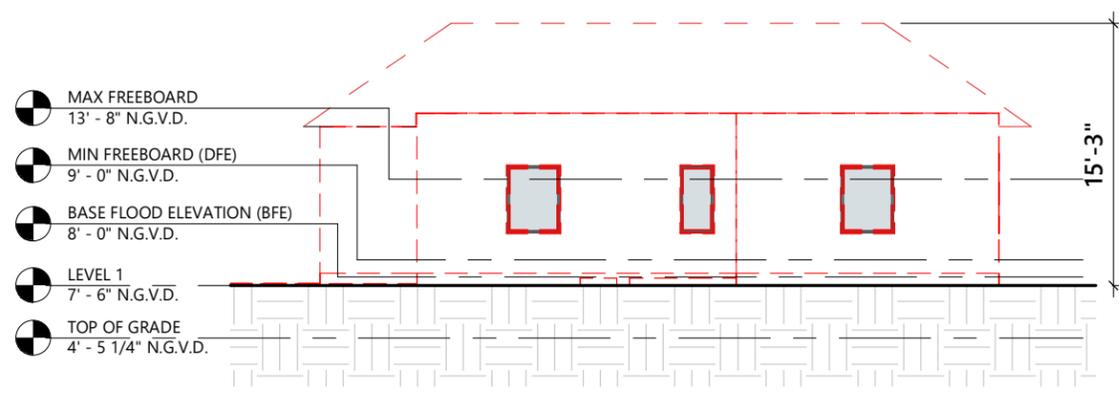
1 DEMOLITION NORTH ELEVATION.
 3/32" = 1'-0"



2 DEMOLITION SOUTH ELEVATION.
 3/32" = 1'-0"



3 DEMOLITION WEST ELEVATION.
 3/32" = 1'-0"



4 DEMOLITION EAST ELEVATION.
 3/32" = 1'-0"

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DESIGNER:

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DRB SUBMITAL

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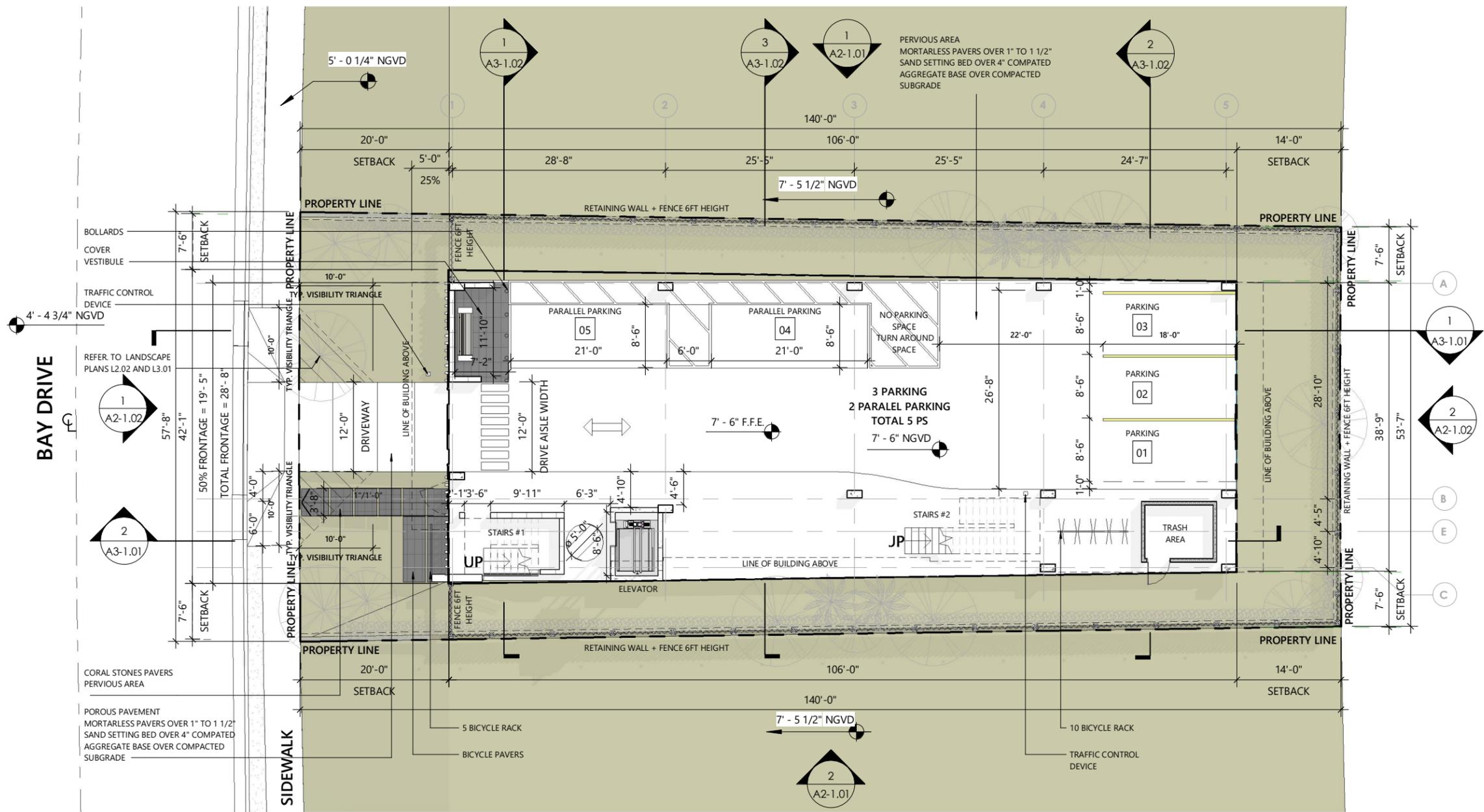
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SIGNATURE:
 RICARDO J. MUNIZ-GUILLET
 LIC# AR97841

SHEET TITLE:
GROUND LEVEL FLOOR PLAN

SCALE:
 N.T.S.
 SHEET NO:
A1-1.01
 9/11/2024 4:36:04 PM



1 GROUND LEVEL PLAN.
 1/16" = 1'-0"

GROUND LEVEL AREA: 269 S.F.

CONSTRUCTION NOTES

- REFER TO DRAWINGS G-1 ADDITIONAL NOTES AND SPECIFICATIONS.
- GENERAL CONTRACTOR SHALL VISIT THE JOBSITE TO FAMILIARIZE HIMSELF WITH THE EXISTING CONDITIONS AND THE GENERAL SCOPE OF WORK. ANY EXISTING ITEMS AND/OR CONDITIONS NOT SHOWN ON THESE DRAWINGS OR THOSE THAT FOLLOW, AND/OR ARE INFERABLE AND NECESSARY TO BE REMOVED OR MODIFIED, SHALL BE DONE SO WITHOUT ANY ADDITIONAL TIME AND/OR EXPENSE TO THIS CONTRACT. ANY DISCREPANCY IN THE CONTRACT DOCUMENTS MUST BE BROUGHT TO THE ATTENTION OF ARCHITECT, FAILURE TO DO SO MAY RESULT IN REDO OF FINISHED WORK THAT DOES NOT ADHERE TO THE INTENT OF THE CONTRACT DOCUMENTS.
- DO NOT SCALE THE DRAWING, USED FIGURED DIMENSIONS ONLY. LARGE SCALE DETAILS GOVERN OVER SMALL SCALE, ARCHITECT SHALL BE NOTIFIED OF ANY DISCREPANCIES ON THE DRAWINGS.
- G.C SHALL COORDINATE ARCHITECTURAL DRAWINGS WITH MECHANICAL, ELECTRICAL, PLUMBING AND SPRINKLER DRAWINGS. ALL WORK SHALL BE EXECUTED IN A CLASS 'A' MANNER AND SHALL NOT BE SIGNED OFF UNTIL ACCEPTABLE TO OWNER.
- ALL INTERIOR CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE CODES AND ORDINANCES IN PLACE IN THE LOCATION OF WORK, CORRIDORS AND ALL OTHER CLEARANCES SHOULD BE CHECKED WITH ARCHITECT PRIOR THE FABRICATION OF ANY WORK, CONTRACTOR SHALL BE RESPONSIBLE FOR CORRECTING SAME AT HIS OWN EXPENSE.
- ALL SUB CONTRACTORS PERFORMING WORK IN THIS BUILDING SHALL APPLY FOR THE "RULES AND REGULATIONS FOR TENANT ALTERATIONS" WITH THE BUILDING MANAGER'S OFFICE AND CONFORM ACCORDINGLY. ALL ROUGH CARPENTRY WOODWORK SHALL BE TREATED FOR FIRE RETARDATION WITH U.L. APPROVED MATERIAL. FLAME SPREAD RATING NOT TO EXCEED 25.
- CONTRACTOR SHALL FURNISH AND INSTALL NEW ACCESS DOORS WHEREVER REQUIRED FOR PLUMBING, ELECTRICAL, HVAC, SPRINKLER, ETC. SYSTEMS FOR WORK ACCESS AND MAINTENANCE
- NEW WALLS ARE DIMENSIONED TO THE FINISH FACE OF WALL THICKNESS UNLESS OTHERWISE NOTED, ALL GYPSUM IN BOARDS TO BE 5/8" THK. TYPE 'X', UNLESS OTHERWISE NOTED. GREEN BOARD TO BE USED IN TOILETS WHERE PAINT IS USED AND DURLOCK IN TOILETS WHERE TILE IS USED.
- ALL THERMAFIBER SOUND ATTENUATING BLANKETS SHALL BE A MINIMUM OF 2" THK FOR 2 1/2" STUDS, 4" THK FOR 3 5/8" & 4" STUDS AND 6" THK FOR 6" STUDS UNLESS OTHERWISE NOTED.
- ALL CEILINGS SEPARATING RETAIL SPACE FROM TENANT ABOVE SHALL BE ONE

- HOUR FIRE RATED AND PATCHED SMOOTH TO RECEIVE NEW FINISHES, REFER TO REFLECTED CEILING PLAN FOR GWD CEILINGS, AND REFER TO FINISH PLAN FOR FINISH SPECIFICATIONS.
- GENERAL CONTRACTOR TO SUPPLY SPECIFIED FIRE EXTINGUISHERS, LOCATION OF EXTINGUISHERS AS REQUIRED BY LOCAL AUTHORITY.
- FILL AND SEAL ALL EXISTING CORE DRILLED HOLES LEFT UNUSED IN THE FLOOR SLAB AND CEILING SLAB.
- PATCH AND REPAIR OR REPLACE ALL EXISTING AND NEW WORK DAMAGED BY CONSTRUCTION.
- LAMINATE AND OR PLASTER ALL EXISTING EXPOSED CORE WALLS AND PERIMETER COLUMNS AND WALL SURFACES WHICH ARE MISSING WITH ONE NEW LAYER OF GYPSUM BOARD SHIM AS REQ.
- FIRESTOP AND FIRESAFE ALL EXISTING DEMISING PARTITIONS, CORE WALLS, ETC. AS REQUIRED BY BUILDING DEPARTMENT RULES AND REGULATIONS.
- THE CONTRACTOR IS RESPONSIBLE FOR THE FINAL CLEAN UP OF THE ENTIRE PREMISES, TO INCLUDE, BUT NOT LIMITED TO, FLOORS, MILLWORK, FIXTURES, ETC., FOLLOWING THE INSTALLATION OF MILLWORK, TO THE SATISFACTION OF THE OWNERS REPRESENTATIVE.
- CONTRACTOR TO REBUILD ANY PERIMETER WALLS AS TIGHT AS POSSIBLE TO ANY EXISTING PLUMBING RISERS, PLASTERS OR LAMINATE WITH 5/8" GYPSUM BOARD.
- ALL METAL STUDS SHALL REPAIR ANY LOOSE OR MISSING FIREPROOFING FROM STRUCTURAL ELEMENTS AND OTHER RATED ELEMENTS OF THE SPACE.
- GENERAL CONTRACTOR SHALL REPAIR ANY LOOSE OR MISSING FIREPROOFING FROM STRUCTURAL ELEMENTS AND OTHER RATED ELEMENTS OF THE SPACE.
- G.C TO SUPPLY AND INSTALL 3/4" F.R. BLOCKING OR APPROVED METAL FLAT STOCK BEHIND ALL GYP, BRD, WALLS, WITH MILLWORK, G.C. SHALL COORDINATE WITH MILLWORKER FOR REQUIRED LOCATIONS & ADEQUACY OF BLOCKING REQUIREMENTS AND PROVIDE ALL SUCH BLOCKING PRIOR TO CLOSING UP ANY AND ALL WALLS, COLUMNS, ETC. TO MEET SUCH REQUIREMENTS, SEE MILLWORK SHOP DRAWINGS FOR ALL FIXTURE INFORMATION.
- INTERIOR WALL AND CEILING FINISH MATERIALS SHALL BE CLASSIFIED FOR FIRE PERFORMANCE AND SMOKE AND SHALL BE CLASSIFIED IN ACCORDANCE WITH ASTM E84 OR UL 723.
- ALL SPACES EXCEPT GRAYBOX AREAS SHALL HAVE WHITE-PAINTED WOOD BASEBOARD 4" HEIGHT EXCEPT OTHERWISE SPECIFIED
- ALL INTERIOR WALLS TO BE PAINTED FLAT WHITE COLOR EXCEPT OTHERWISE SPECIFIED

ELEVATION LEGEND AND NOTES

- UNLESS OTHERWISE INDICATED ALL ELEVATIONS SHOWN IN N.G.V.D = 1.56'
- 0'-0" = 7'-6" N.G.V.D.
 - ALL SHOP DRAWINGS REQUIRE APPROVAL OF THE CITY OF MIAMI BEACH.
 - ALL CONSTRUCTION AND FINISH MATERIAL INSTALLED BELOW BFE SHALL BE FLOOD RESISTANT MATERIAL

PROJECT AND OWNER:
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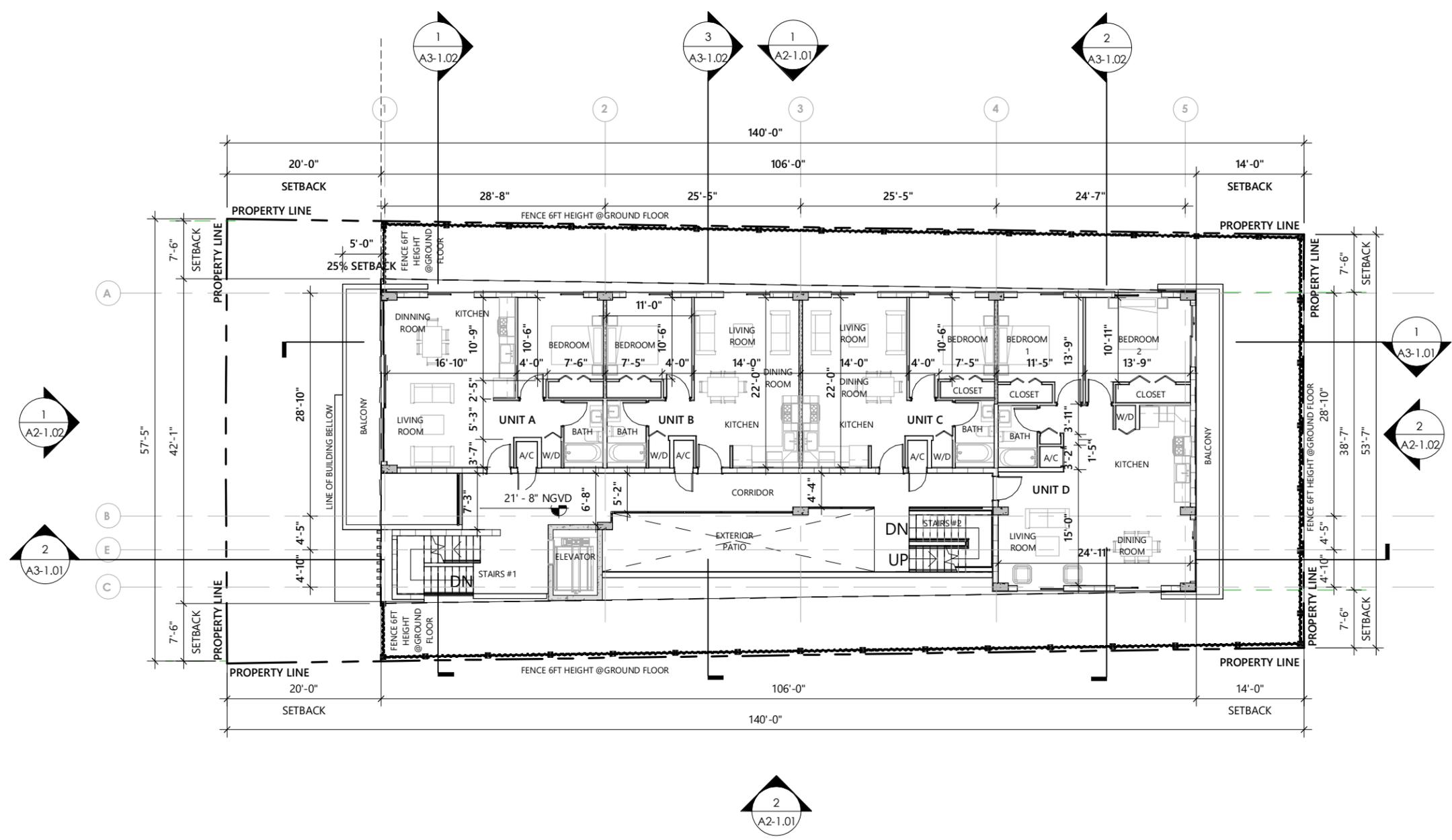
SIGNATURE:
 RICARDO J. MUNIZ-GUILLET
 LIC# AR97841

SHEET TITLE:
2ND LEVEL FLOOR PLAN

SCALE:
N.T.S.
 SHEET NO:

A1-1.02

9/11/2024 4:36:08 PM



1

FLOOR PLAN LEVEL 02.
 1/16" = 1'-0"

SECOND LEVEL AREA: 3.637 S.F.

CONSTRUCTION NOTES

- REFER TO DRAWINGS G-1 ADDITIONAL NOTES AND SPECIFICATIONS.
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- DO NOT SCALE THE DRAWING. USED FIGURED DIMENSIONS ONLY. LARGE SCALE DETAILS GOVERN OVER SMALL SCALE. ARCHITECT SHALL BE NOTIFIED OF ANY DISCREPANCIES ON THE DRAWINGS.
- G.C SHALL COORDINATE ARCHITECTURAL DRAWINGS WITH MECHANICAL, ELECTRICAL, PLUMBING AND SPRINKLER DRAWINGS. ALL WORK SHALL BE EXECUTED IN A CLASS 'A' MANNER AND SHALL NOT BE SIGNED OFF UNTIL ACCEPTABLE TO OWNER.
- ALL INTERIOR CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE CODES AND ORDINANCES IN PLACE IN THE LOCATION OF WORK. CORRIDORS AND ALL OTHER CLEARANCES SHOULD BE CHECKED WITH ARCHITECT PRIOR THE FABRICATION OF ANY WORK, CONTRACTOR SHALL BE RESPONSIBLE FOR CORRECTING SAME AT HIS OWN EXPENSE.
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- ALL CEILINGS SEPARATING RETAIL SPACE FROM TENANT ABOVE SHALL BE ONE

- HOUR FIRE RATED AND PATCHED SMOOTH TO RECEIVE NEW FINISHES. REFER TO REFLECTED CEILING PLAN FOR GWD CEILINGS, AND REFER TO FINISH PLAN FOR FINISH SPECIFICATIONS.
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- FILL AND SEAL ALL EXISTING CORE DRILLED HOLES LEFT UNUSED IN THE FLOOR SLAB AND CEILING SLAB.
- PATCH AND REPAIR OR REPLACE ALL EXISTING AND NEW WORK DAMAGED BY CONSTRUCTION.
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PROJECT AND OWNER:
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2125 Bay Dr.
 MIAMI BEACH | FL | 33141
 2125 BAY DR LLC
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 LAKE WORTH | FL | 33467

ARCHITECT:
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 954 812 6650
 RICARDO@MUVEARCH.COM
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DESIGNER:

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 954 850 9965
 ADMIN@REDOCTOPUSLLC.COM

DRB SUBMITAL

PERMIT APPLICATION DATE: 05-05-2024
 SHEET ISSUE DATE: 03-31-2023
 PROJECT NO.: 2312
 DRAWN BY: RV APPROVED BY: YM

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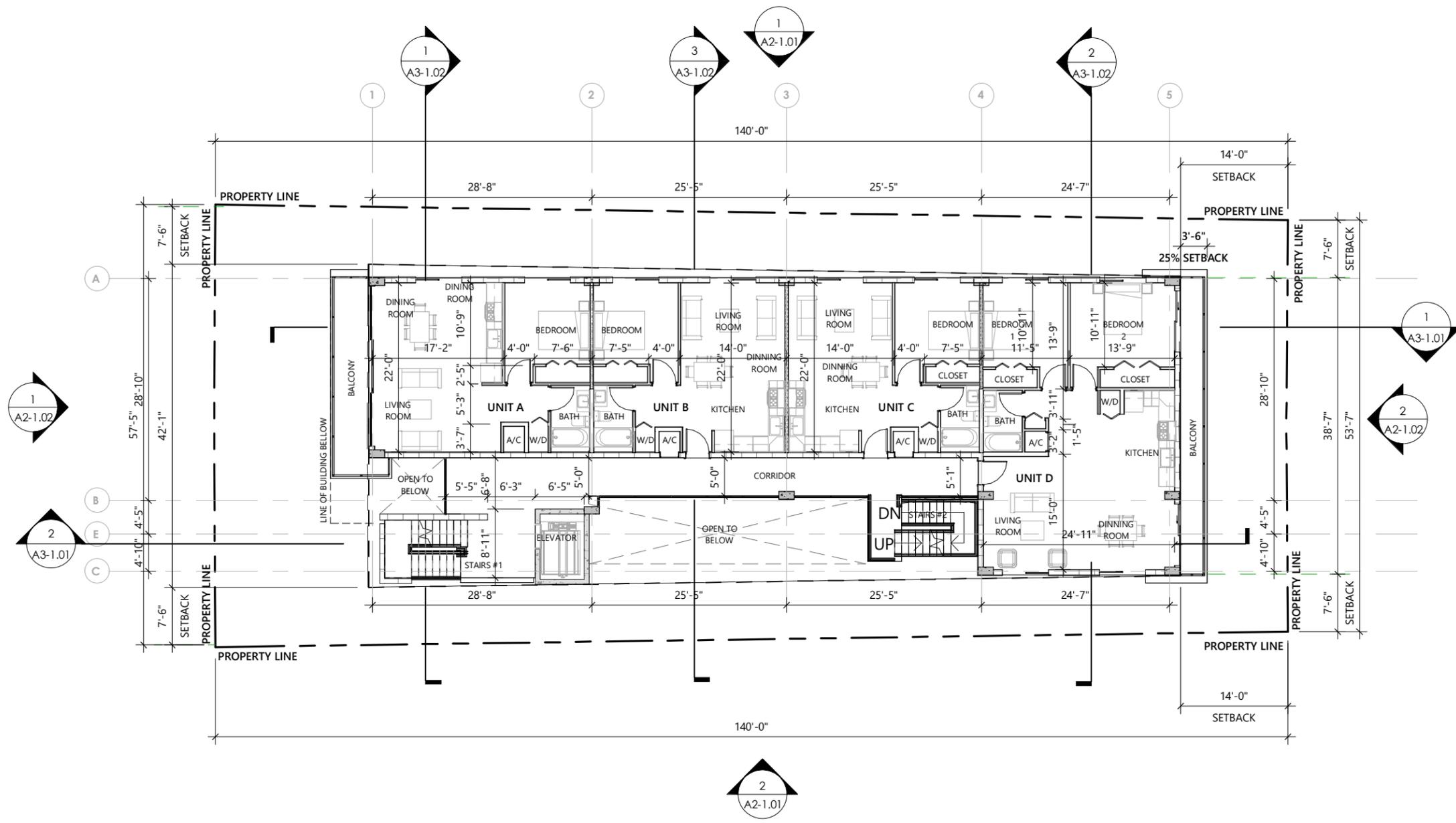
SIGNATURE:
 RICARDO J. MUNIZ-GUILLET
 LIC# AR97841

SHEET TITLE:
3TH LEVEL FLOOR PLAN

SCALE:
 N.T.S.
 SHEET NO:

A1-1.03

9/11/2024 4:36:09 PM



1 FLOOR PLAN LEVEL 03.
 1/16" = 1'-0"

THIRD LEVEL AREA: 3.637 S.F.

CONSTRUCTION NOTES

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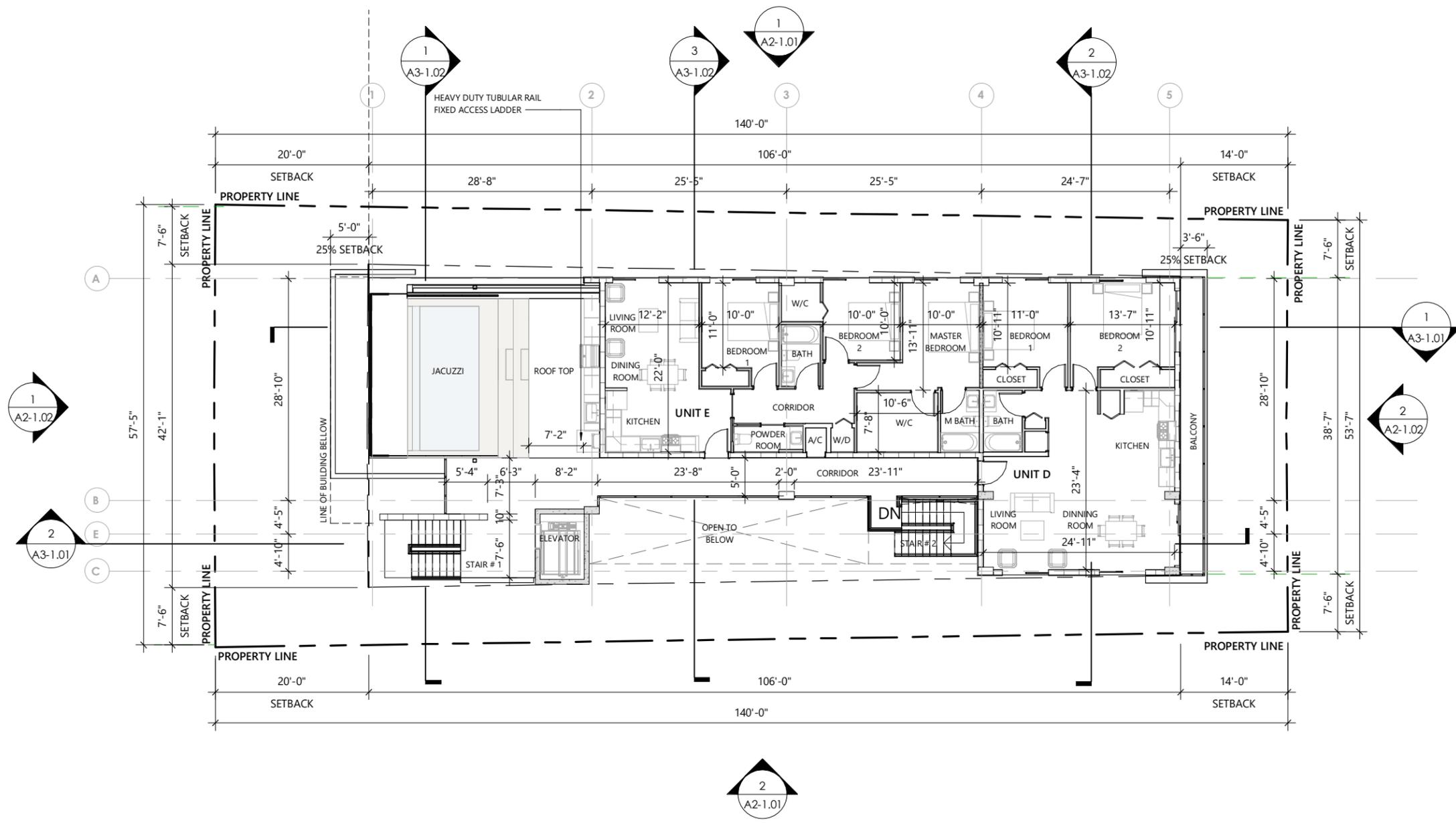
SIGNATURE: RICARDO J. MUNIZ-GUILLET
 LIC# AR97841

SHEET TITLE:
4TH LEVEL FLOOR PLAN

SCALE:
N.T.S.
 SHEET NO:

A1-1.04

9/11/2024 4:36:11 PM



1

FLOOR PLAN LEVEL 04.
 1/16" = 1'-0"

FOURTH LEVEL AREA: 2.195 S.F.

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DESIGNER:

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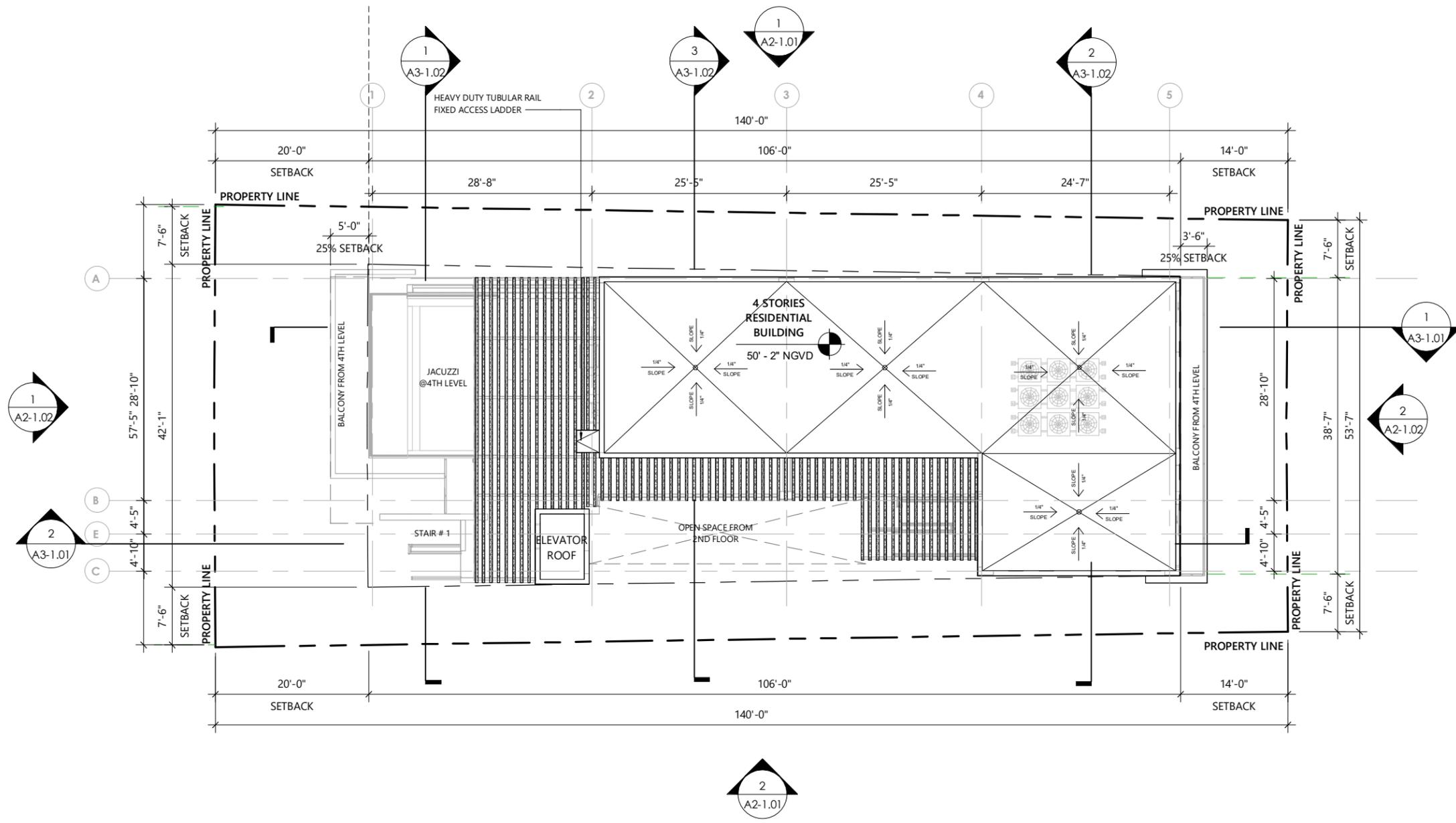
PERMIT APPLICATION DATE: 05-05-2024
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SIGNATURE: RICARDO J. MUNIZ-GUILLET
 LIC# AR97841
SHEET TITLE:
ROOF LEVEL FLOOR PLAN

SCALE: N.T.S.
 SHEET NO: **A1-1.05**
 9/11/2024 4:36:13 PM



1

TOP OF ROOF.
 1/16" = 1'-0"

ROOF LEVEL AREA: 2.095 S.F.

CONSTRUCTION NOTES

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- TOP OF ELEVATOR
55' - 1 1/4" N.G.V.D.
- TOP OF ROOF
50' - 2" N.G.V.D.
- LEVEL 4
40' - 8" N.G.V.D.
- LEVEL 3
31' - 2" N.G.V.D.
- LEVEL 2
21' - 8" N.G.V.D.
- MAX FREEBOARD
13' - 8" N.G.V.D.
- MIN FREEBOARD (DFE)
9' - 0" N.G.V.D.
- BASE FLOOD ELEVATION (BFE)
8' - 0" N.G.V.D.
- LEVEL 1
7' - 6" N.G.V.D.
- TOP OF GRADE
4' - 5 1/4" N.G.V.D.



PROJECT AND OWNER:
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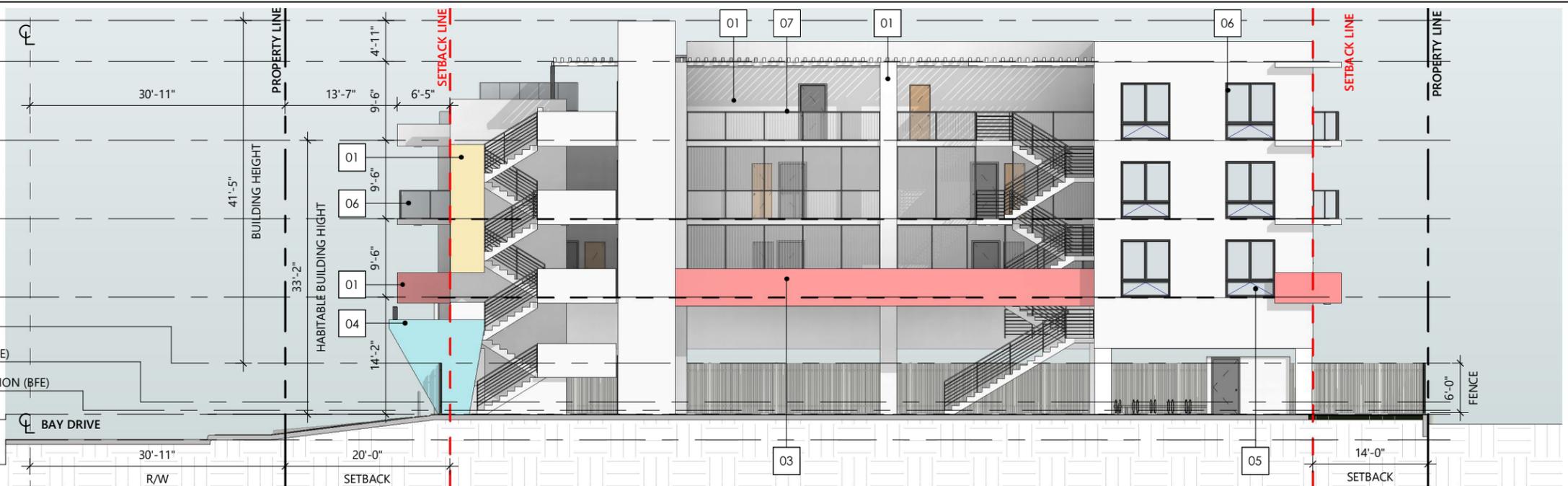


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ADMIN@REDOCTOPUSLLC.COM

1 NORTH ELEVATION

1/16" = 1'-0"

- TOP OF ELEVATOR
55' - 1 1/4" N.G.V.D.
- TOP OF ROOF
50' - 2" N.G.V.D.
- LEVEL 4
40' - 8" N.G.V.D.
- LEVEL 3
31' - 2" N.G.V.D.
- LEVEL 2
21' - 8" N.G.V.D.
- MAX FREEBOARD
13' - 8" N.G.V.D.
- MIN FREEBOARD (DFE)
9' - 0" N.G.V.D.
- BASE FLOOD ELEVATION (BFE)
8' - 0" N.G.V.D.
- LEVEL 1
7' - 6" N.G.V.D.
- TOP OF GRADE
4' - 5 1/4" N.G.V.D.



2 SOUTH ELEVATION

1/16" = 1'-0"

MATERIAL LEGEND

	1 WHITE STUCCO, FINISH PAINT SHERWIN-WILLIAMS PURE WHITE SW 7005		3 METAL STRUCTURE ALUCOBOND FINISH RGB 255-151-151		5 LAMINATED GLASS		7 VERTICAL ALUMINUM BALUSTERS
	2 YELLOW STUCCO SMOOTH FINISH		4 METAL STRUCTURE ALUCOBOND FINISH RGB 179-232-236		6 ALUMINUM FRAMING		8 WHITE STEEL FRAMING C CHANNEL

ELEVATION LEGEND AND NOTES

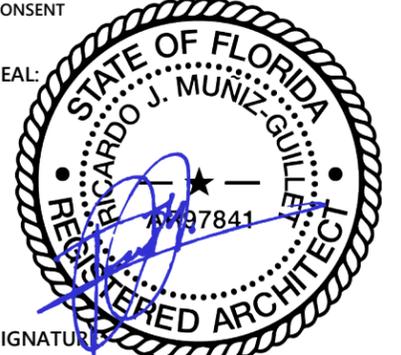
- UNLESS OTHERWISE INDICATED ALL ELEVATIONS SHOWN IN N.G.V.D = 1.56'
1. 0'-0" = 7'-6" N.G.V.D.
 2. ALL SHOP DRAWINGS REQUIRE APPROVAL OF THE CITY OF MIAMI BEACH.
 3. ALL CONSTRUCTION AND FINISH MATERIAL INSTALLED BELOW BFE SHALL BE FLOOD RESISTANT MATERIAL

DRB SUBMITAL

PERMIT APPLICATION DATE: 05-05-2024
SHEET ISSUE DATE: 03-31-2023
PROJECT NO.: 2312
DRAWN BY: BK APPROVED BY: YM

ALL DRAWINGS AND WRITTEN MATERIALS HEREIN CONSTITUTE ORIGINAL WORK OF THE DESIGNER AND MAY ONLY BE DUPLICATED WITH THEIR WRITTEN CONSENT

SEAL:



SIGNATURE:
RICARDO J. MUNIZ-GUILLET
LIC# AR97841

SHEET TITLE:
NORTH & SOUTH ELEVATION

SCALE:

N.T.S.

SHEET NO:

A2-1.01

9/11/2024 4:36:26 PM

PROJECT AND OWNER:
DENBORA BAY III

2125 Bay Dr.
 MIAMI BEACH | FL | 33141
 2125 BAY DR LLC
 3179 HOLYLAKE RD.
 LAKE WORTH | FL | 33467

ARCHITECT:
 2030 HABERSHAM TRCE | CUMMING | GA 30041
 954 812 6650
 RICARDO@MUVEARCH.COM
 AA#26003161



DESIGNER:



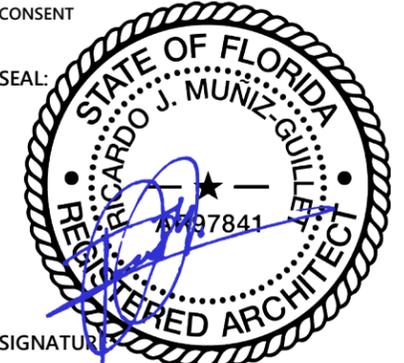
1555 NORTH PARK DRIVE #102 WESTON
 FL 33326
 954 850 9965
 ADMIN@REDOCTOPUSLLC.COM

DRB SUBMITAL

PERMIT APPLICATION DATE: 05-05-2024
 SHEET ISSUE DATE: 03-31-2023
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SEAL:



SIGNATURE:
 RICARDO J. MUNIZ-GUILLET
 LIC# AR97841

SHEET TITLE:
EAST & WEST ELEVATION

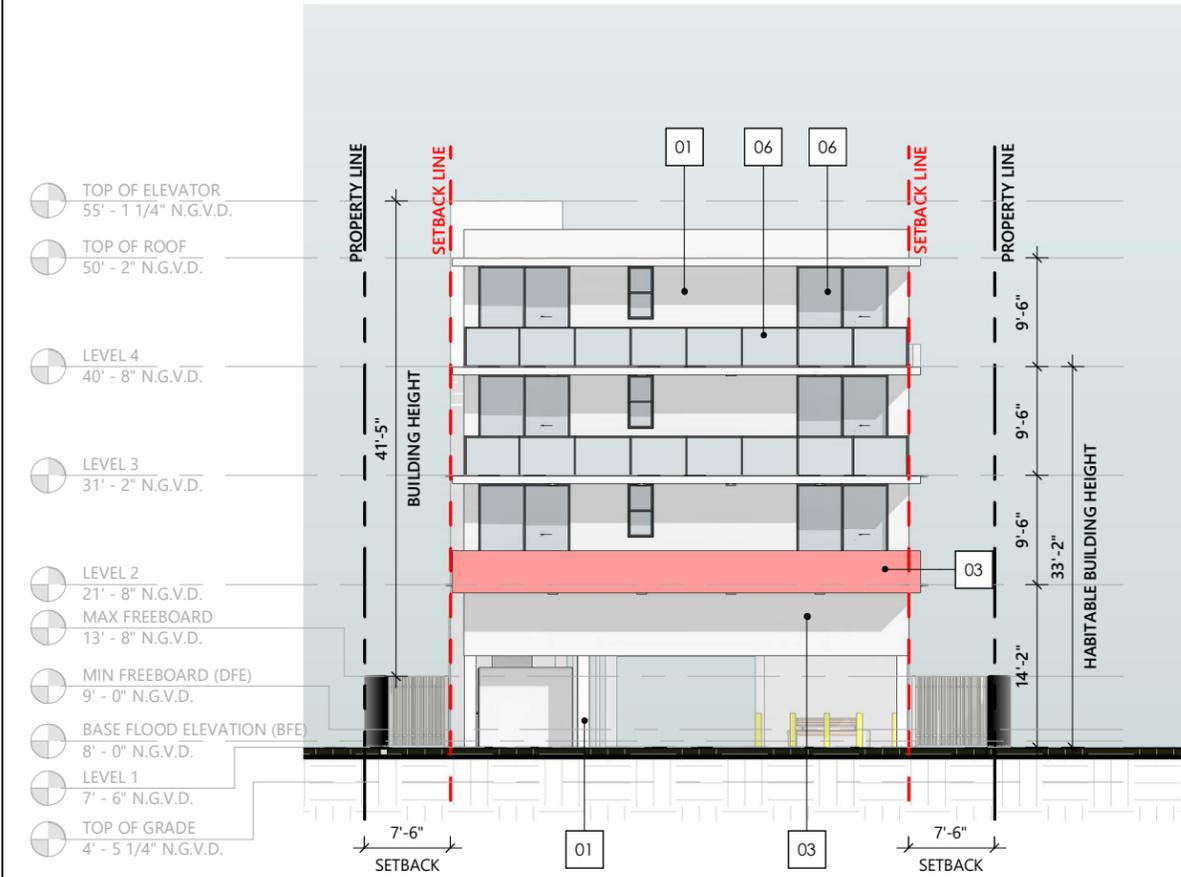
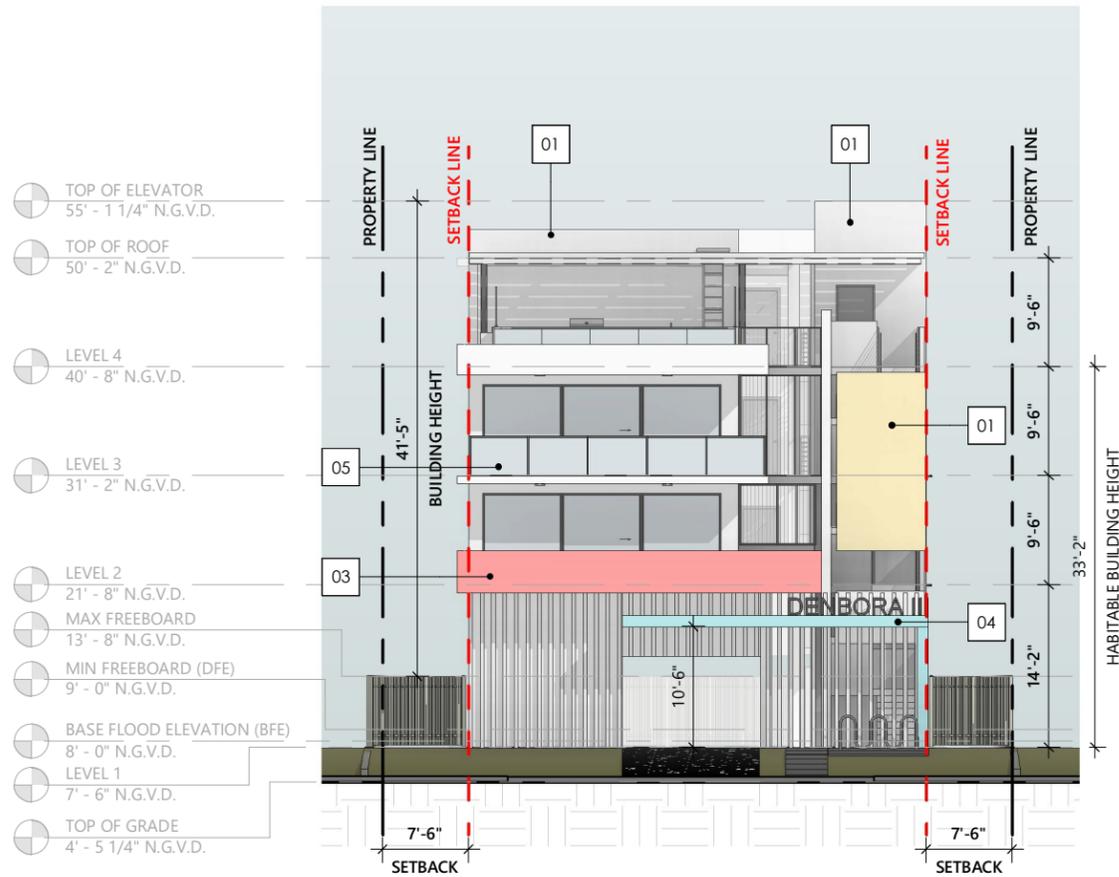
SCALE:

N.T.S.

SHEET NO:

A2-1.02

9/11/2024 4:36:37 PM



1 WEST ELEVATION
 1/16" = 1'-0"

2 EAST ELEVATION
 1/16" = 1'-0"

MATERIAL LEGEND

	1 WHITE STUCCO, FINISH PAINT SHERWIN-WILLIAMS PURE WHITE SW 7005		3 METAL STRUCTURE ALUCOBOND FINISH RGB 255-151-151		5 LAMINATED GLASS
	2 YELLOW STUCCO SMOOTH FINISH		4 METAL STRUCTURE ALUCOBOND FINISH RGB 179-232-236		6 ALUMINUM FRAMING
	7 VERTICAL ALUMINUM BALUSTERS		8 WHITE STEEL FRAMING C CHANNEL		

ELEVATION LEGEND AND NOTES

UNLESS OTHERWISE INDICATED ALL ELEVATIONS SHOWN IN N.G.V.D = 1.56'

- 0'-0" = 7'-6" N.G.V.D.
- ALL SHOP DRAWINGS REQUIRE APPROVAL OF THE CITY OF MIAMI BEACH.
- ALL CONSTRUCTION AND FINISH MATERIAL INSTALLED BELOW BFE SHALL BE FLOOD RESISTANT MATERIAL

PROJECT AND OWNER:
DENBORA BAY III

2125 Bay Dr.
 MIAMI BEACH | FL | 33141
 2125 BAY DR LLC
 3179 HOLYLAKE RD.
 LAKE WORTH | FL | 33467

ARCHITECT:
 2030 HABERSHAM TRCE | CUMMING | GA 30041
 954 812 6650
 RICARDO@MUVEARCH.COM
 AA#26003161



DESIGNER:

 INTEGRAL ARCHITECTURAL SERVICES
 1555 NORTH PARK DRIVE #102 WESTON
 FL 33326
 954 850 9965
 ADMIN@REDOCTOPUSLLC.COM

DRB SUBMITAL

PERMIT APPLICATION DATE: 05-05-2024
 SHEET ISSUE DATE: 03-31-2023
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 DRAWN BY: BK APPROVED BY: YM

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 CONSENT



SIGNATURE:
 RICARDO J. MUNIZ-GUILLET
 LIC# AR97841

SHEET TITLE:
LONGITUDINAL SECTION

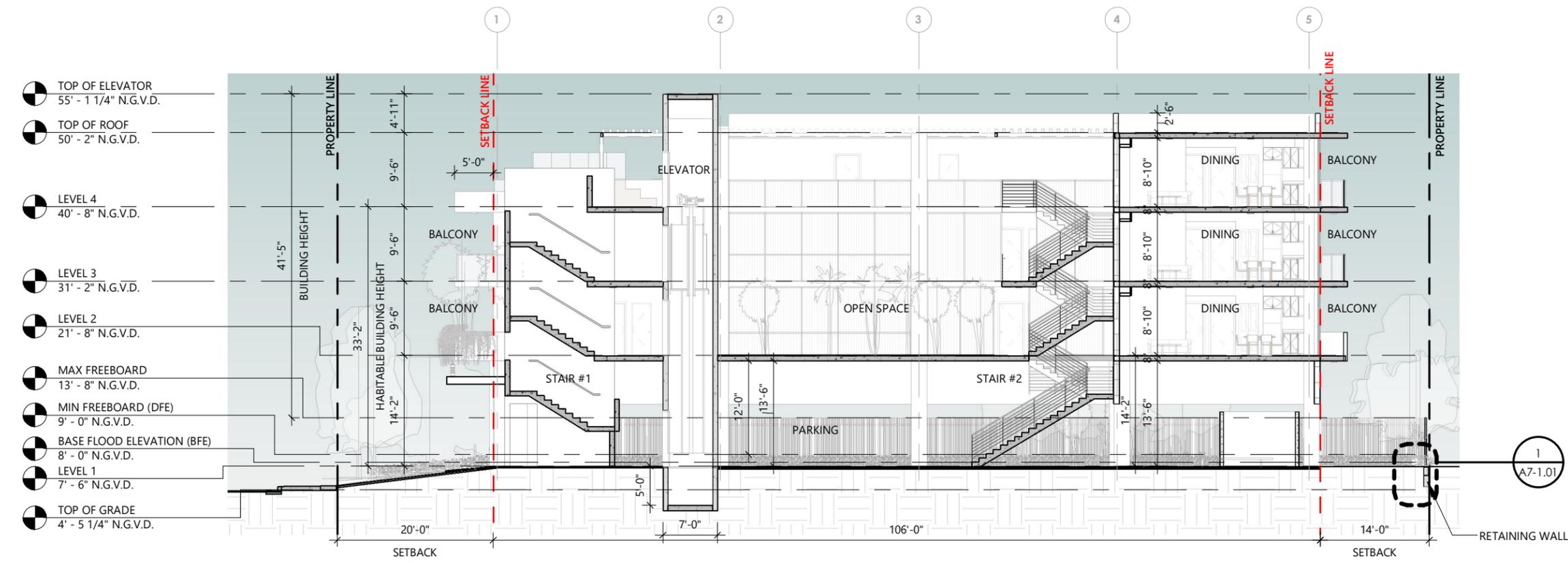
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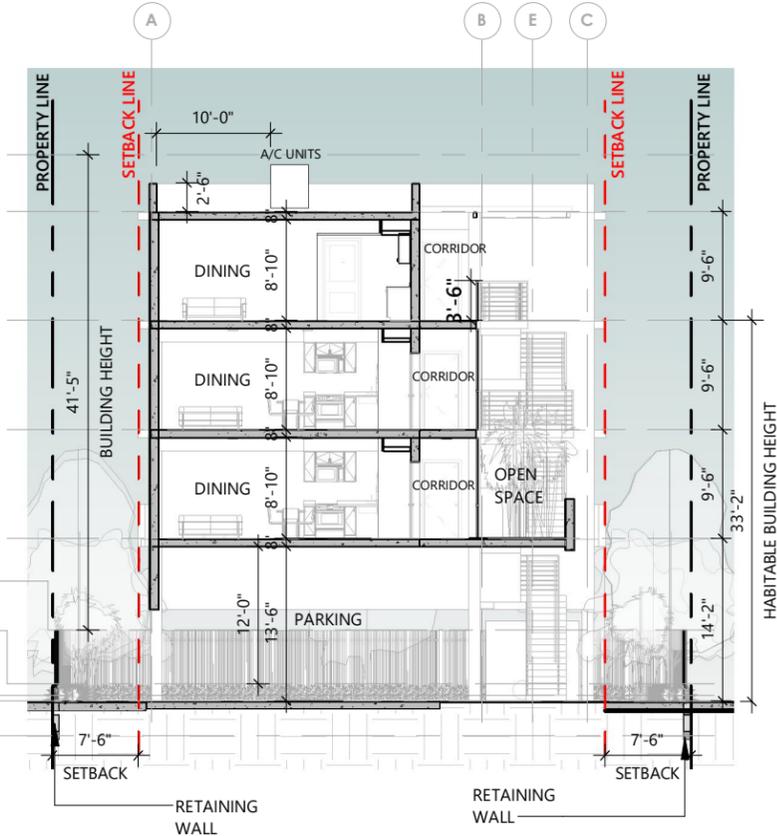
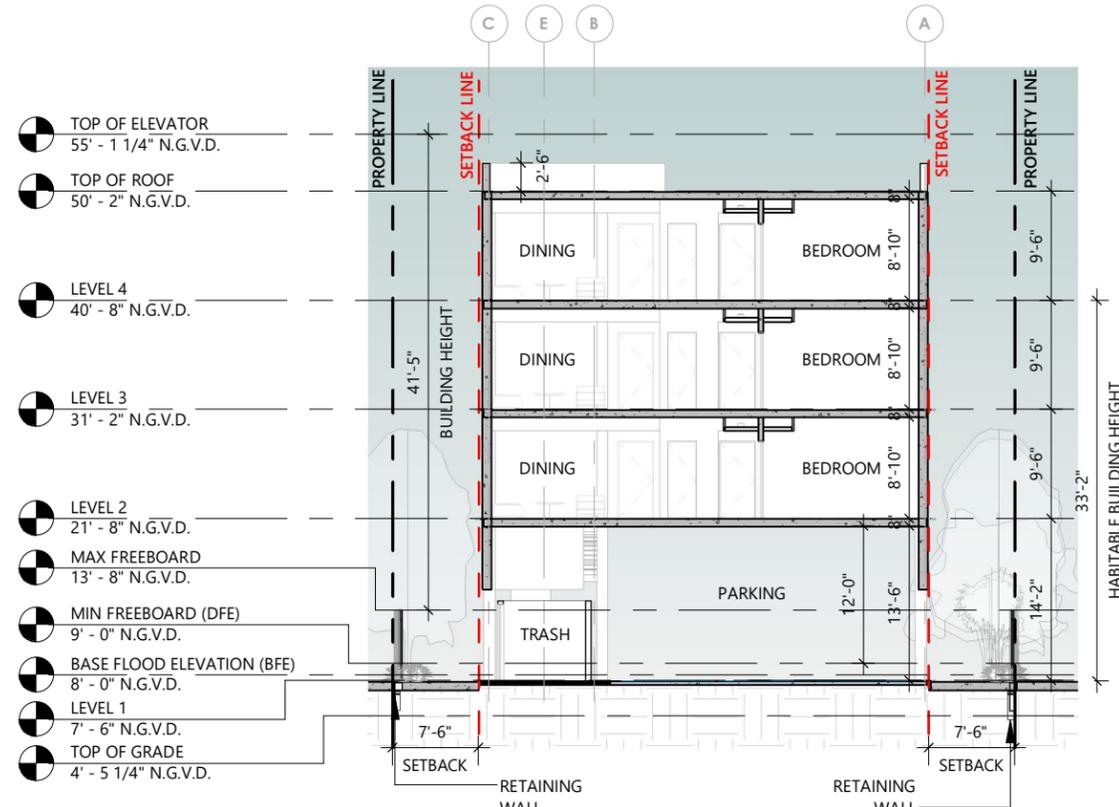
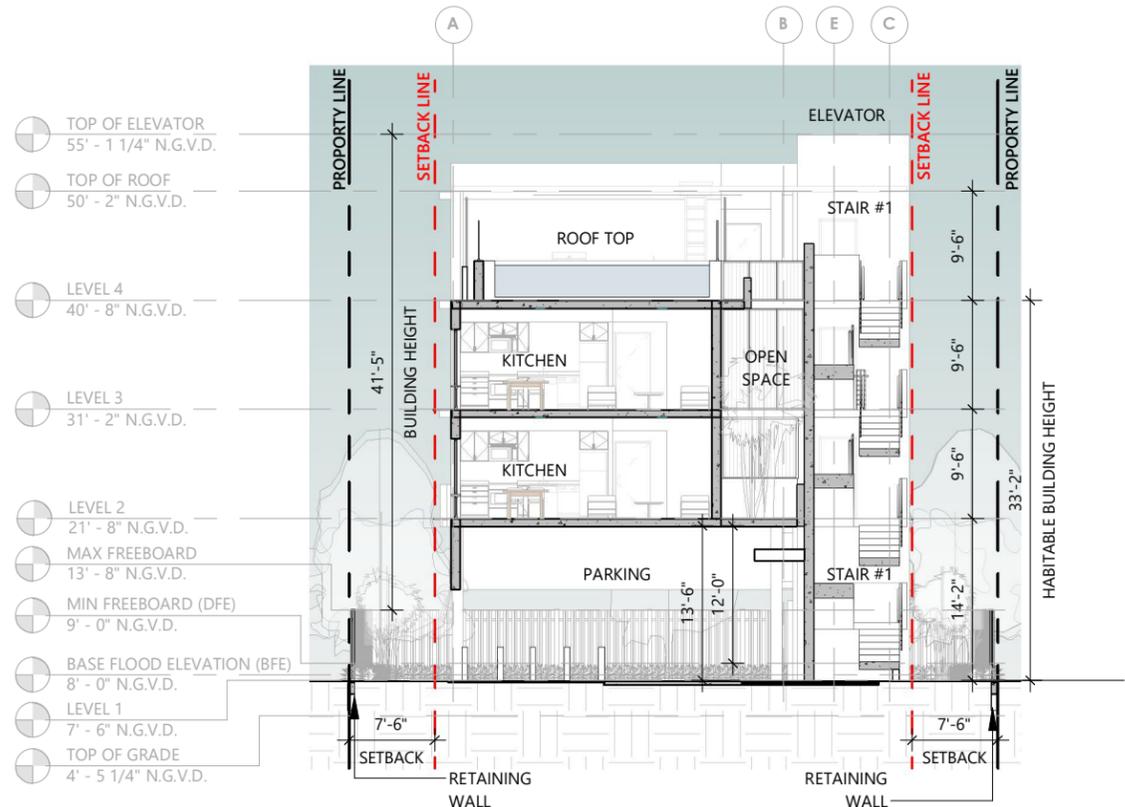
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1 LONGITUDINAL SECTION 01
 1/16" = 1'-0"



2 LONGITUDINAL SECTION 02
 1/16" = 1'-0"



1 CROSS SECTION 1
1/16" = 1'-0"

2 CROSS SECTION 2
1/16" = 1'-0"

3 CROSS SECTION 3
1/16" = 1'-0"

PROJECT AND OWNER:
DENBORA BAY III
 2125 Bay Dr.
 MIAMI BEACH | FL | 33141
 2125 BAY DR LLC
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 LAKE WORTH | FL | 33467

ARCHITECT:
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DESIGNER:

M U V E
 ARCHITECTURE

RED OCTOPUS LLC
 INTEGRAL ARCHITECTURAL SERVICES

1555 NORTH PARK DRIVE #102 WESTON
 FL 33326
 954 850 9965
 ADMIN@REDOCTOPUSLLC.COM

DRB SUBMITAL

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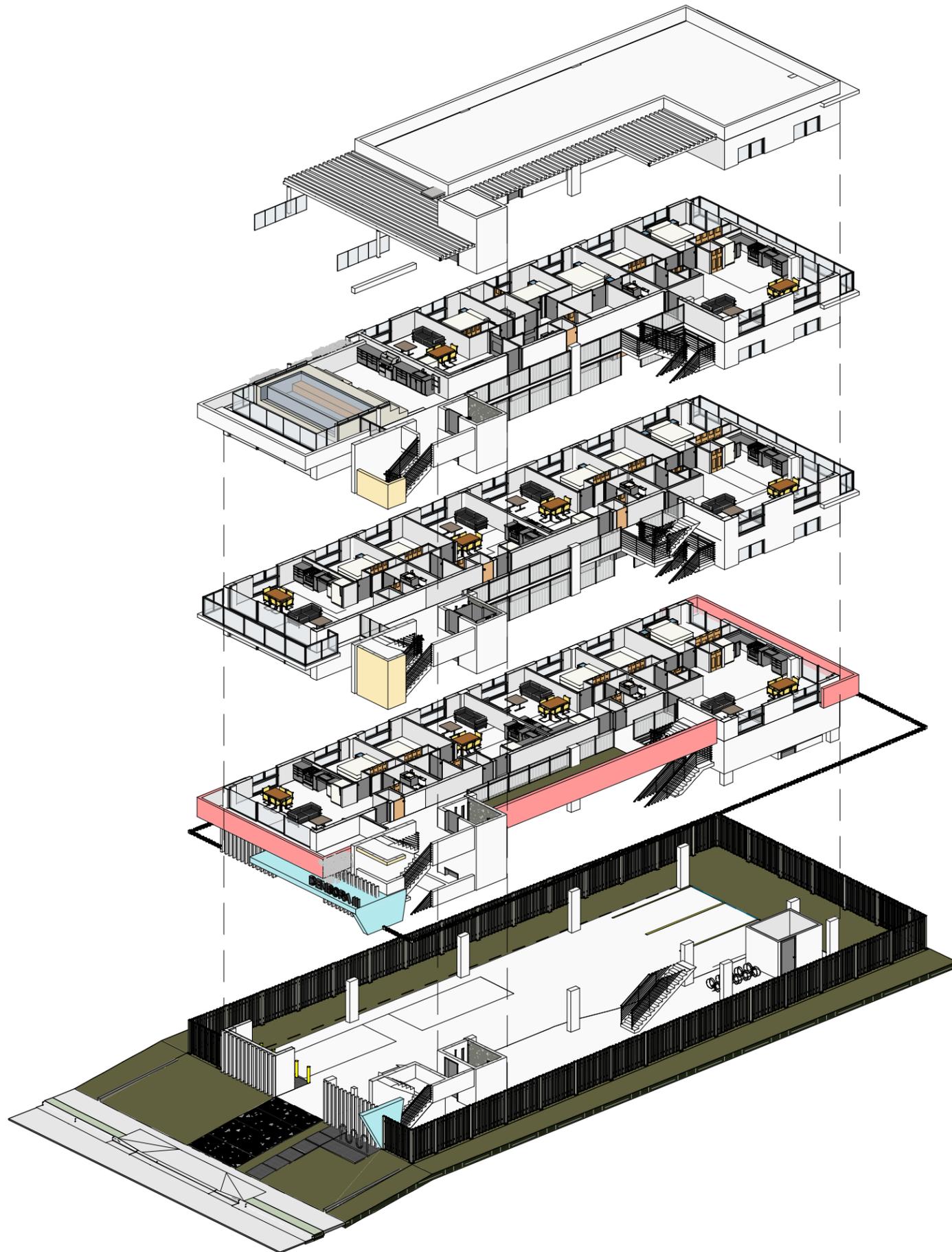
SIGNATURE:
 RICARDO J. MUNIZ-GUILLET
 LIC# AR97841

SHEET TITLE:
CROSS SECTION

SCALE:
N.T.S.
 SHEET NO:

A3-1.02

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PROJECT AND OWNER:
DENBORA BAY III

2125 Bay Dr.
 MIAMI BEACH | FL | 33141
 2125 BAY DR LLC
 3179 HOLYLAKE RD.
 LAKE WORTH | FL | 33467

ARCHITECT:
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 RICARDO@MUVEARCH.COM
 AA#26003161



DESIGNER:

 1555 NORTH PARK DRIVE #102 WESTON
 FL 33326
 954 850 9965
 ADMIN@REDOCTOPUSLLC.COM

DRB SUBMITAL

PERMIT APPLICATION DATE: 05-05-2024
 SHEET ISSUE DATE: 03-31-2023
 PROJECT NO.: 2312
 DRAWN BY: BK APPROVED BY: YM

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 CONSENT



SIGNATURE:
 RICARDO J. MUNIZ-GUILLET
 LIC# AR97841

SHEET TITLE:
EXPLOTED AXONOMETRIC

SCALE:
 N.T.S.

SHEET NO:
A3-1.03

9/11/2024 4:37:34 PM



PROJECT AND OWNER:
DENBORA BAY III

2125 Bay Dr.
 MIAMI BEACH | FL | 33141
 2125 BAY DR LLC
 3179 HOLYLAKE RD.
 LAKE WORTH | FL | 33467

ARCHITECT:
 2030 HABERSHAM TRCE | CUMMING | GA 30041
 954 812 6650
 RICARDO@MUVEARCH.COM
 AA#26003161



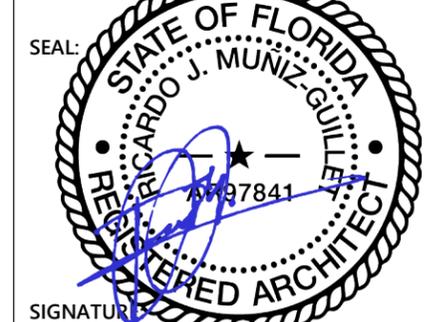
DESIGNER:

 1555 NORTH PARK DRIVE #102 WESTON
 FL 33326
 954 850 9965
 ADMIN@REDOCTOPUSLLC.COM

DRB SUBMITAL

PERMIT APPLICATION DATE: 05-05-2024
 SHEET ISSUE DATE: 03-31-2023
 PROJECT NO.: 2312
 DRAWN BY: RV APPROVED BY: YM

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 CONSENT



SIGNATURE:
 RICARDO J. MUNIZ-GUILLET
 LIC# AR97841

SHEET TITLE:
STREET VIEW

SCALE:
N.T.S.

SHEET NO:
A4-1.01



PROJECT AND OWNER:
DENBORA BAY III

2125 Bay Dr.
 MIAMI BEACH | FL | 33141
 2125 BAY DR LLC
 3179 HOLYLAKE RD.
 LAKE WORTH | FL | 33467

ARCHITECT:
 2030 HABERSHAM TRCE | CUMMING | GA 30041
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 RICARDO@MUVEARCH.COM
 AA#26003161



DESIGNER:

 1555 NORTH PARK DRIVE #102 WESTON
 FL 33326
 954 850 9965
 ADMIN@REDOCTOPUSLLC.COM

DRB SUBMITAL

PERMIT APPLICATION DATE: 05-05-2024
 SHEET ISSUE DATE: 03-31-2023
 PROJECT NO.: 2312
 DRAWN BY: RV APPROVED BY: YM

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 CONSTITUTE ORIGINAL WORK OF THE DESIGNER AND
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 CONSENT



SIGNATURE:
 RICARDO J. MUNIZ-GUILLET
 LIC# AR97841

SHEET TITLE:
FRONT VIEW

SCALE:
N.T.S.

SHEET NO:
A4-1.02

9/11/2024 4:37:36 PM



PROJECT AND OWNER:
DENBORA BAY III

2125 Bay Dr.
 MIAMI BEACH | FL | 33141
 2125 BAY DR LLC
 3179 HOLYLAKE RD.
 LAKE WORTH | FL | 33467

ARCHITECT:
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 954 812 6650
 RICARDO@MUVEARCH.COM
 AA#26003161



DESIGNER:

 1555 NORTH PARK DRIVE #102 WESTON
 FL 33326
 954 850 9965
 ADMIN@REDOCTOPUSLLC.COM

DRB SUBMITAL

PERMIT APPLICATION DATE: 05-05-2024
 SHEET ISSUE DATE: 03-31-2023
 PROJECT NO.: 2312
 DRAWN BY: RV APPROVED BY: YM

ALL DRAWINGS AND WRITTEN MATERIALS HEREIN
 CONSTITUTE ORIGINAL WORK OF THE DESIGNER AND
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 CONSENT



SIGNATURE:
 RICARDO J. MUNIZ-GUILLET
 LIC# AR97841

SHEET TITLE:
**BACK VIEW AND
 SCAXONOMETRIC VIEW**

SHEET NO:
A4-1.03

9/11/2024 4:37:37 PM



PROJECT AND OWNER:
DENBORA BAY III
 2125 Bay Dr.
 MIAMI BEACH | FL | 33141
 2125 BAY DR LLC
 3179 HOLYLAKE RD.
 LAKE WORTH | FL | 33467

ARCHITECT:
 2030 HABERSHAM TRCE | CUMMING | GA 30041
 954 812 6650
 RICARDO@MUVEARCH.COM
 AA#26003161



DESIGNER:

REDOCTOPUS.LLC
 INTEGRAL ARCHITECTURAL SERVICES

1555 NORTH PARK DRIVE #102 WESTON
 FL 33326
 954 850 9965
 ADMIN@REDOCTOPUSLLC.COM

DRB SUBMITAL

PERMIT APPLICATION DATE: 05-05-2024
 SHEET ISSUE DATE: 03-31-2023
 PROJECT NO.: 2312
 DRAWN BY: RV APPROVED BY: YM

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 CONSENT



SIGNATURE:
 RICARDO J. MUNIZ-GUILLET
 LIC# AR97841

SHEET TITLE:
LATERAL VIEW

SCALE:

SHEET NO:
A4-1.04

9/11/2024 4:37:38 PM

PROJECT AND OWNER:
DENBORA BAY III

2125 Bay Dr.
 MIAMI BEACH | FL | 33141
 2125 BAY DR LLC
 3179 HOLYLAKE RD.
 LAKE WORTH | FL | 33467

ARCHITECT:
 2030 HABERSHAM TRCE | CUMMING | GA 30041
 954 812 6650
 RICARDO@MUVEARCH.COM
 AA#26003161



DESIGNER:



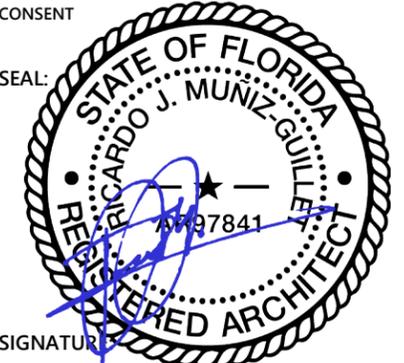
1555 NORTH PARK DRIVE #102 WESTON
 FL 33326
 954 850 9965
 ADMIN@REDOCTOPUSLLC.COM

DRB SUBMITAL

PERMIT APPLICATION DATE: 05-05-2024
 SHEET ISSUE DATE: 03-31-2023
 PROJECT NO.: 2312
 DRAWN BY: RV APPROVED BY:

ALL DRAWINGS AND WRITTEN MATERIALS HEREIN
 CONSTITUTE ORIGINAL WORK OF THE DESIGNER AND
 MAY ONLY BE DUPLICATED WITH THEIR WRITTEN
 CONSENT

SEAL:



SIGNATURE:
 RICARDO J. MUNIZ-GUILLET
 LIC# AR97841

SHEET TITLE:
WALL DETAIL

SCALE:
 1" = 1'-0"

SHEET NO:
A7-1.01

9/11/2024 4:37:48 PM

