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architecture  
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CITTERIO-VIEL  
& PARTNERS

FINAL CAP SUBMITTAL 03/08/2021  
APPLICATION HPB No. 20-0442

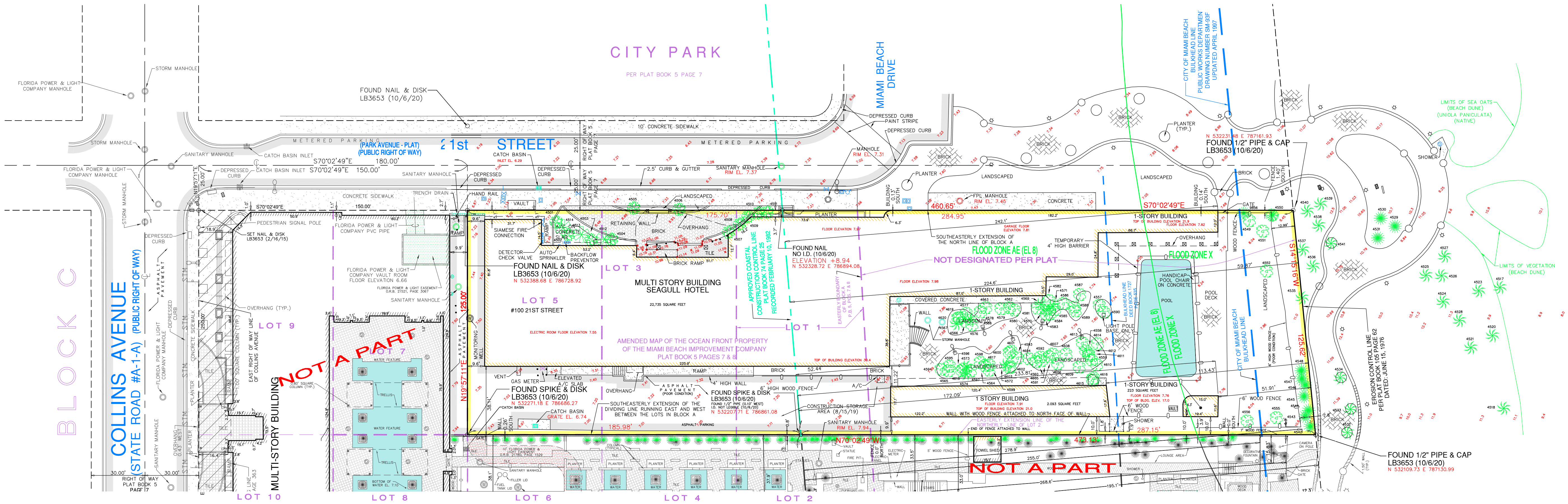
BVLGARI HOTEL  
MIAMI BEACH

100 21ST STREET  
MIAMI BEACH, FLORIDA, 33139

HISTORIC PRESERVATION BOARD  
APRIL 13, 2021







TITLE COMMITMENT REVIEW:

Lands shown hereon were abstracted for easements and/or rights-of-way of records per Fidelity National Title Insurance Company Order No. 7811715 with a commitment date of July 15, 2019. Easements and/or rights of way of record per title commitment that are plottable are shown on this "ALTA/NSPS Land Title Survey".

SCHEDULE B SECTION II

1-5 Standard Exceptions not addressed.

6. Notwithstanding the legal description in Schedule A, this Policy does not insure title to any lands lying below the mean or ordinary high water line of any navigable or tidally influenced waters.

Standard Exception. Document not provided. Not a survey matter.

7. Rights, if any, of the public to use as a public beach or recreation area any part of the land lying between the body of water abutting the subject property and the natural line of vegetation, bluff, extreme high water line, or other apparent boundary line separating the publicly used area from the upland private area.

Standard Exception. Document not provided. Not a survey matter.

8. Any land described in Schedule A which is artificially filled land in what was formerly navigable waters, is subject to the rights of the United States government, arising by said government's control over navigable waters involving navigation and commerce.

Standard Exception. Document not provided. Not a survey matter.

9. Terms and conditions of the easement provisions only in the Agreement Creating Easements and Providing for Restrictions of the property described between Phillip Liberman, et al, and Rebecca Shoppell and Clayton E. Shoppell, her husband recorded in Deed Book 1727, page 535, as affected by Agreement recorded in Deed Book 1974, page 1.

Encumbers parcel and is shown on the survey.

10. Hotel/Motel Bulk Rate Agreement for Cable Television Service between Rifkin/Narragansett South Florida CATV Limited Partnership d/b/a Gold Coast Cablevision and Charles Bernard, Ltd., a Florida limited partnership recorded in Official Records Book 15990, page 1123.

Benefits and encumbers parcel but not subject to location. Blanket in nature. Not a survey matter.

11. All of the terms and provisions set forth and contained in that certain Sublease Ninety Nine (99) Year Lease between Beach 21st Corporation, a Florida corporation and 100-21st Street Realty Corporation, a Florida corporation recorded in Deed Book 3258, page 281, as amended by that Modification of Sublease of Ninety Nine (99) Year Lease recorded in Official Records Book 53, page 331, and as assigned by mesne instruments to Charles Bernard, Ltd., a Florida limited partnership by and Assumption of Ninety Nine (99) Year Sublease recorded in Official Records Book 15817, page 72, as modified by that Second Modification to Sub-Lease of Ninety Nine (99) Year Lease recorded January 30, 2018 in Official Records Book 30846, Page 2364, and as encumbered by Mortgage in favor of Mellon United National Bank, recorded in Official Records Book 23420, Page 2093, as modified by instrument recorded in Official Records Book 29027, Page 1806, and in Official Records Book 30088, Page 3651, and in Official Records Book 30708, Page 1324, Assignment of Leases, Rents and Profits in favor of Mellon United National Bank, recorded in Official Records Book 23420, Page 2108 and UCC-1 in favor of Mellon United National Bank, recorded in Official Records Book 30088, Page 3656.

Encumbers parcel but not subject to location. Blanket in nature. Not a survey matter.

12. Terms and provisions set forth and contained in that certain unrecorded Sub-Sublease, by Charles Bernard, Ltd., a Florida limited partnership and JHMB, LLC, a Delaware limited liability company, a Memorandum of Sub-Sublease of which was recorded in Official Records Book 25612, page 2337 and in Official Records Book 25707, page 3335.

Encumbers parcel but not subject to location. Blanket in nature. Not a survey matter.

13. Notice Pursuant to Florida Statute 713.10 recorded in Official Records Book 24046, Page 2135. Encumbers parcel but not subject to location. Blanket in nature. Not a survey matter.

14. Order Before the Board of Adjustment City of Miami Beach, File No. 4714, recorded July 3, 2007, in Official Records Book 25750, Page 4191.

Encumbers parcel but not subject to location. Blanket in nature. Not a survey matter.

15. Order Before the Board of Adjustment City of Miami Beach, File No. 3464, recorded August 17, 2010, in Official Records Book 27390, Page 2240.

Benefits and encumbers parcel but not subject to location. Blanket in nature. Not a survey matter.

16. Order Before the Board of Adjustment City of Miami Beach, File No. 7247, recorded September 27, 2011, in Official Records Book 27839, Page 3400, and re-recorded January 25, 2012, in Official Records Book 27973, Page 4040.

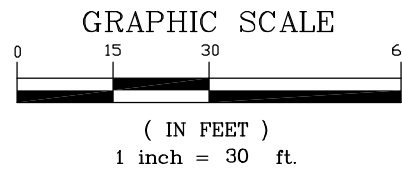
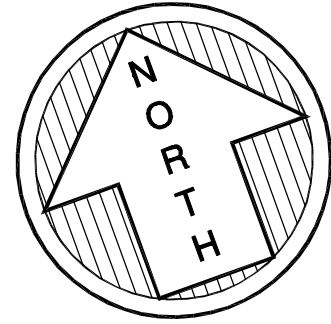
Encumbers parcel but not subject to location. Blanket in nature. Not a survey matter.

17. Terms, conditions of that Memorandum of Option in favor of 100 21st Street Manager, LLC, recorded December 8, 2015 in Official Records Book 29880, Page 3839.

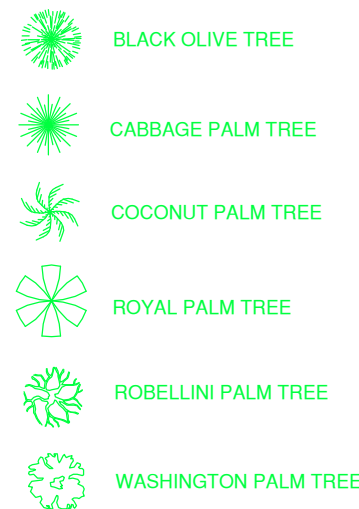
Encumbers parcel but not subject to location. Blanket in nature. Not a survey matter.

18. Restrictions, if any, on the Insured's ability to construct new improvements on the land or to reconstruct existing improvements after destruction or demolition as a result of the Coastal Construction Control Line recorded in Plat Book 74, Page 25, of the Public Records of Miami-Dade County, Florida.

Encumbers parcel and is shown on the survey.

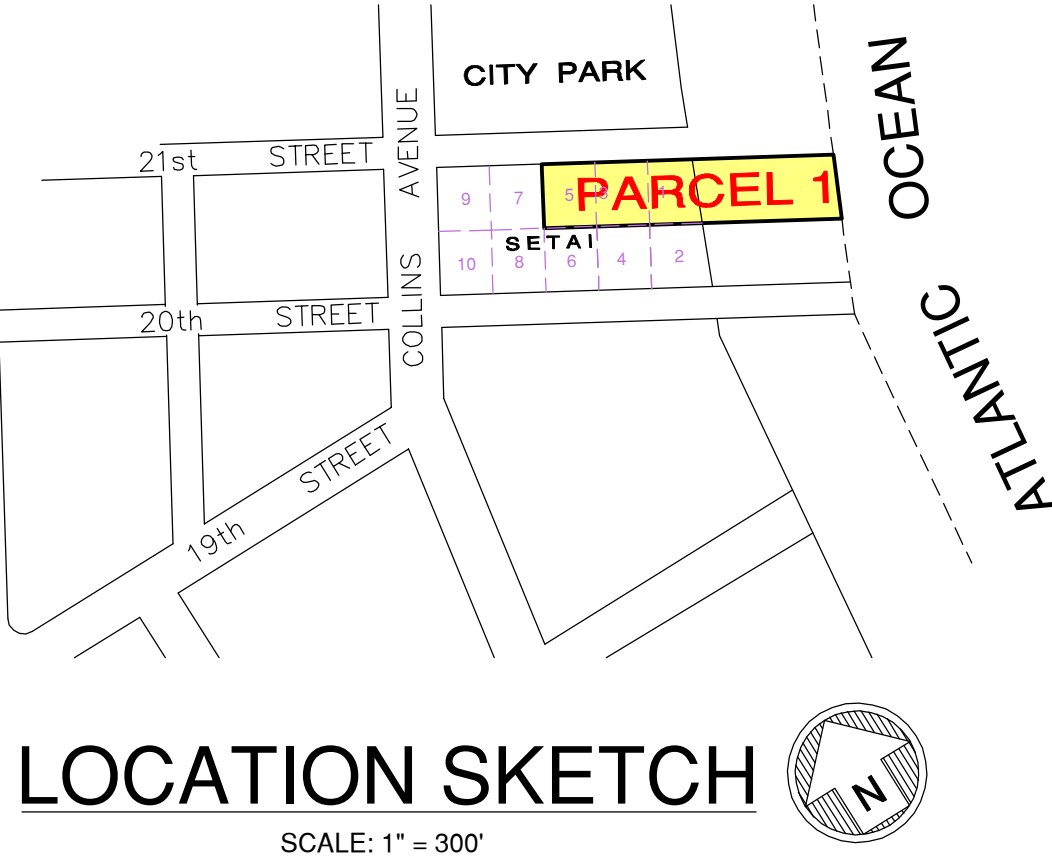


TREE LEGEND



TREE LEGEND

Point #	Diameter	Height (a)	Drip Radius	Type
4501	4"	8'	6'	Robellini
4502	4"	8'	6'	Robellini
4503	4"	10'	6'	Robellini Tree
4504	4"	10'	6'	Robellini Single
4505	4"	6'	6'	Robellini Single
4506	4"	8'	6'	Robellini Single
4507	4"	8'	6'	Robellini Single
4508	4"	10'	6'	Robellini Single
4509	4"	8'	6'	Robellini Tree
4510	4"	8'	6'	Robellini Single
4511	4"	8'	6'	Robellini Tree
4512	24"	60'	25'	Royal Palm
4513	12"	25'	12'	Royal Palm
4514	25"	60'	25'	Royal Palm
4517	10"	17'	12'	Coconut Palm
4518	10"	20'	14'	Coconut Palm
4519	10"	20'	14'	Coconut Palm
4523	8"	12'	10'	Coconut Palm
4525	12"	30'	25'	Coconut Palm
4526	12"	120'	25'	Coconut Palm
4529	10"	30'	20'	Coconut Palm
4529-31	10"	30'	20'	Coconut Palm
4529-32	10"	30'	20'	Coconut Palm
4532-34	10"	25'	15'	Cabbage Palm
4535	10"	20'	25'	Coconut Palm
4536	10"	20'	25'	Coconut Palm
4537	10"	20'	25'	Coconut Palm
4538	10"	20'	25'	Coconut Palm
4539	10"	25'	15'	Coconut Palm
4540	10"	25'	15'	Coconut Palm
4541	10"	25'	22'	Coconut Palm
4542	10"	15'	15'	Cabbage Palm
4543-47	12"	25'	10'	Cabbage Palm
4548	12"	18'	10'	Cabbage Palm
4549	12"	35'	8'	Washington Palm
4550	12"	20'	10'	Green Buttonwood
4551	12"	45'	15'	Washington Palm
4552-54	12"	50'	10'	Washington Palm
4555-56	20"	50'	15'	Washington Palm
4557-60	20"	50'	15'	Washington Palm
4560	30"	50'	25'	Royal Palm
4562	8"	40'	20'	Coconut Palm
4568	8"	25'	20'	Coconut Palm
4569-71	8"	20'	20'	Coconut Palm
4572	10"	25'	20'	Coconut Palm
4573	8"	25'	20'	Coconut Palm
4576-87	8"	15'	15'	Washington Palm
4588-90	8"	120'	120'	Washington Palm
4591-92	8"	25'	12'	Washington Palm
4593-902	8"	15'	15'	Washington Palm
4603-04	8"	12'	15'	Washington Palm
4604-06	8"	4'	10'	Washington Palm
4607	8"	12'	15'	Washington Palm
4608-11	8"	12'	15'	Washington Palm
4614-20	8"	8'	8'	Washington Palm
9856	14"	20'	25'	Seagrape



LEGAL DESCRIPTION:

Parcel 1:

Lots 1, 3 and 5 in Block A, of AMENDED MAP OF THE OCEAN FRONT PROPERTY of the MIAMI BEACH IMPROVEMENT COMPANY, according to the Plat thereof, as recorded in Plat Book 5, at Pages 7 and 8, of the Public Records of Miami-Dade County, Florida.

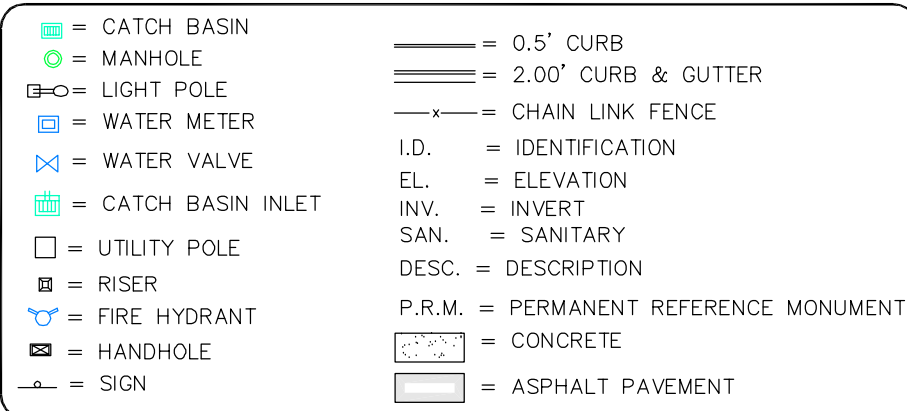
Together with:

That certain strip of land lying between the Easterly boundary of said Block A and the Atlantic Ocean and bounded on the North by the Southeastly extension of the North line of said Block A and bounded on the South by the Southeastly extension of the dividing line running East and West between the lots in said Block A, as the same appears of record in Plat Book 5, Page 7, of the Public Records of Miami-Dade County, Florida.

Parcel 2:

Together with appurtenant driveway easement contained in Deed Book 1727, Page 535 as modified by Agreement recorded in Deed Book 1974, Page 1 of the Official Public Records of Miami-Dade County, Florida.

LEGEND



SURVEYOR'S NOTES:

- This site lies in Section 34, Township 53 South, Range 42 East, City of Miami Beach, Miami-Dade County, Florida.
- All documents are recorded in the Public Records of Miami-Dade County, Florida, unless otherwise noted.
- Bearings hereon are referred to an assumed value of S 70°02'49" E for the South right of way line of 21st Street and evidenced by found nail & disk and found 1/2" pipe & cap.
- Elevations shown hereon are relative to the National Geodetic Vertical Datum of 1929, based on D.N.R. Monument R-63, Elevation +7.43, located before September 2008 at 22nd Street, East of Collins Avenue.
- Lands shown hereon are located within an area having a Zone Designation AE (EL 8) & X by the Federal Emergency Management Agency (FEMA), on Flood Insurance Rate Map No. 12086C0317L, for Community No. 120651, dated September 11, 2009, and index map revised September 11, 2009, and is relative to the National Geodetic Vertical Datum of 1929.
- Dimensions indicated hereon are field measured by electronic measurement, unless otherwise noted.
- Lands shown hereon containing 58,361 square feet, or 1.340 acres, more or less.
- Roof overhang not located unless otherwise shown.
- No existing parking spaces on site.
- Underground improvements and/or underground encroachments not shown unless otherwise indicated.
- The approximate location of all utilities shown hereon were determined from As-Built plans and/or on-site locations and should be verified before construction.
- Pursuant to Florida State Statutes in Chapter 161.181, it designates that an upland property landward of the established Erosion Control Line shall remain the property of the upland owner.
- Location of utilities existing on or serving the surveyed property as determined by: observed evidence collected pursuant to Section 5.E.iv, PER ALTA/NSPS.
- Trees shown are surveyed for their horizontal location and/or size. Identification and/or name verification of all trees should be confirmed by the Division of Forestry, a certified Arborist or a professional in that field.
- There is observed evidence of current building construction or building additions, as shown on survey.
- To the best of our knowledge there are no proposed changes in street right-of-way lines and there is no visible evidence of recent road construction work.
- There is no visible evidence or knowledge of any location of wetlands, as delineated by the proper authorities.

CERTIFICATION TO:

City of Miami Beach

SURVEYOR'S CERTIFICATION:

I hereby further certify that this "Boundary and Topographic Survey" was made under my responsible charge on June 25, 2007, and last updated on October 6, 2020, and meets the applicable codes as set forth in the Florida Administrative Code, pursuant to Section 472.027, Florida Statutes. The fieldwork was completed on October 6, 2020.

"Not valid without the signature and original raised seal or a digital signature of the Florida Licensed Surveyor and Mapper shown below"

FORTIN, LEAVY, SKILES, INC., LB3653

By: Daniel C. Fortin Jr., For The Firm  
Surveyor and Mapper, LS6435  
State of Florida.

This Drawing is the Property of Fortin, Leavy, Skiles, Inc. and is an instrument of Service not to be Reproduced in Whole or in Part without the Express WRITTEN Permission of Same.

BLS	ADD	CERTIFICATION TO	DATE	REVISION	DESCRIPTION
9	201125	UPDATE SURVEY	10/6/20	TC	
8	200999	REMOVE DB 1727-535	PER TITLE POLICY	DANR	
7	200073	SHOW TOP OF BUILDING	EL'S (2/11/20)-TWC	DWF	
6	200073	UPDATE SURVEY	(8/15/19) RLL	CEM	
5	100818	ON			

**FORTIN, LEAVY, SKILES, INC.**  
CONSULTING ENGINEERS, SURVEYORS & MAPPERS  
FLORIDA CERTIFICATE OF AUTHORIZATION NUMBER: 00003653  
180 Northeast 168th Street / North Miami Beach, Florida 33162  
Phone 305-653-4493 / Fax 305-651-7132 / Email fls@flsurvey.com

**BOUNDARY & TOPOGRAPHIC SURVEY**  
**PLUM HOTEL - 100 21ST STREET**  
CITY OF MIAMI BEACH, MIAMI-DADE COUNTY, FLORIDA

Original Date	6/25/07
Scale	1"=30'
Drawn By	MAP
CAD No.	021172
Plotted	12/18/20 11:40a
Ref. Dwg.	297D-158-S
Field Book	54356-JWL
Job No.	201099
Dwg. No.	2007-084-NGVD
Sheet	1 of 1



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The Contractor Must Check And Verify All Dimensions Of The Job And Be Responsible For Same. Reporting Any Discrepancies To The Architects Before Commencing work. Drawings Not to be Scaled.  
The Blinded Out Bill Color 25. 1. Blinded Out Basic for ARCHICAD 23/2020. Serial: PLUN2003 PLUN. By: 03/05/2021.

NOT FOR CONSTRUCTION

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DESIGN ARCHITECT

CITTERIO-VIEL  
& PARTNERS

Project

BVLGARI HOTEL  
MIAMI BEACH  
100 21st STREET  
MIAMI BEACH, FL 33139

Revisions

Owner Information

BHI Miami Limited Corp.  
1521 Alton Rd.  
Suite 403  
Miami Beach, FL 33139  
(786) 785-6504

Consultant

Luis O. Revuelta

AR-0007972

HPB SET

Date

03/05/2021

Scale

AS SHOWN

Project No.

2005

Sheet Name

INDEX

Sheet No.

A-001

INDEX





An aerial photograph of a coastal urban area. A red dashed line runs diagonally across the image, separating a residential area on the left from a commercial area on the right. A red rectangle highlights a specific building in the commercial area, which appears to be a large, modern structure with a flat roof. The building is situated near a parking lot and a road. The surrounding area includes various other buildings, streets, and a beach area on the right side of the image.

002



100 21st STREET



NAME: SEA GULL HOTEL a.k.a. DAY'S INN a.k.a. PROJECT PLUM  
ADDRESS: 100 21st Street  
DATE OF CONSTRUCTION: 1950  
ARCHITECT: ALBERT ANIS  
ARCHITECTURAL STYLE: STREAMLINE MODERNE  
HISTORIC STATUS: CONTRIBUTING  
LOCATED IN THE: 1992 Ocean Drive / Collins Avenue Historic District Expansion Designation

100 21st Street was designed in 1950 in the MiMo or Mid-20th-Century Modern Style of architecture, as it meets the International Style of architecture. The hotel arguably commands one of the best sites in Miami Beach - overlooking the ocean and beach and Collins Park.

According to the CMB Building Card the hotel has 145 rooms and stores and rises 7 levels with an overall height of 77'-0". It features a 186'-0" long elevation facing Collins Park.

Architect Albert Anis really brings the design to life with his incorporation of the unique exterior lighting shown above, which accented the architectural lines of the building and accentuated the streamlining of the hotel

design. Thankfully this electrical moment in time has been immortalized in this circa1950 so photograph.

The Sea Gull was advertised as: "A new aspect on resort living...where every room was an ocean view...and also featured a fully equipped Turkish Bath and swimming pool and deck." (8)

The Sea Gull featured a wonderful location not he ocean with view not only of the ocean yet most rooms had the very best view of the palatial Roney Plaza Hotel just across Collins Park fro the Sea Gull.

PHOTOGRAPH ABOVE; 1964 HISTORIC POSTCARD VIEW FROM eBAY

100 21st



HISTORIC POSTCARDS

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Date  
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Sheet Name  
HISTORIC POSTCARDS  
Sheet No.

A-003



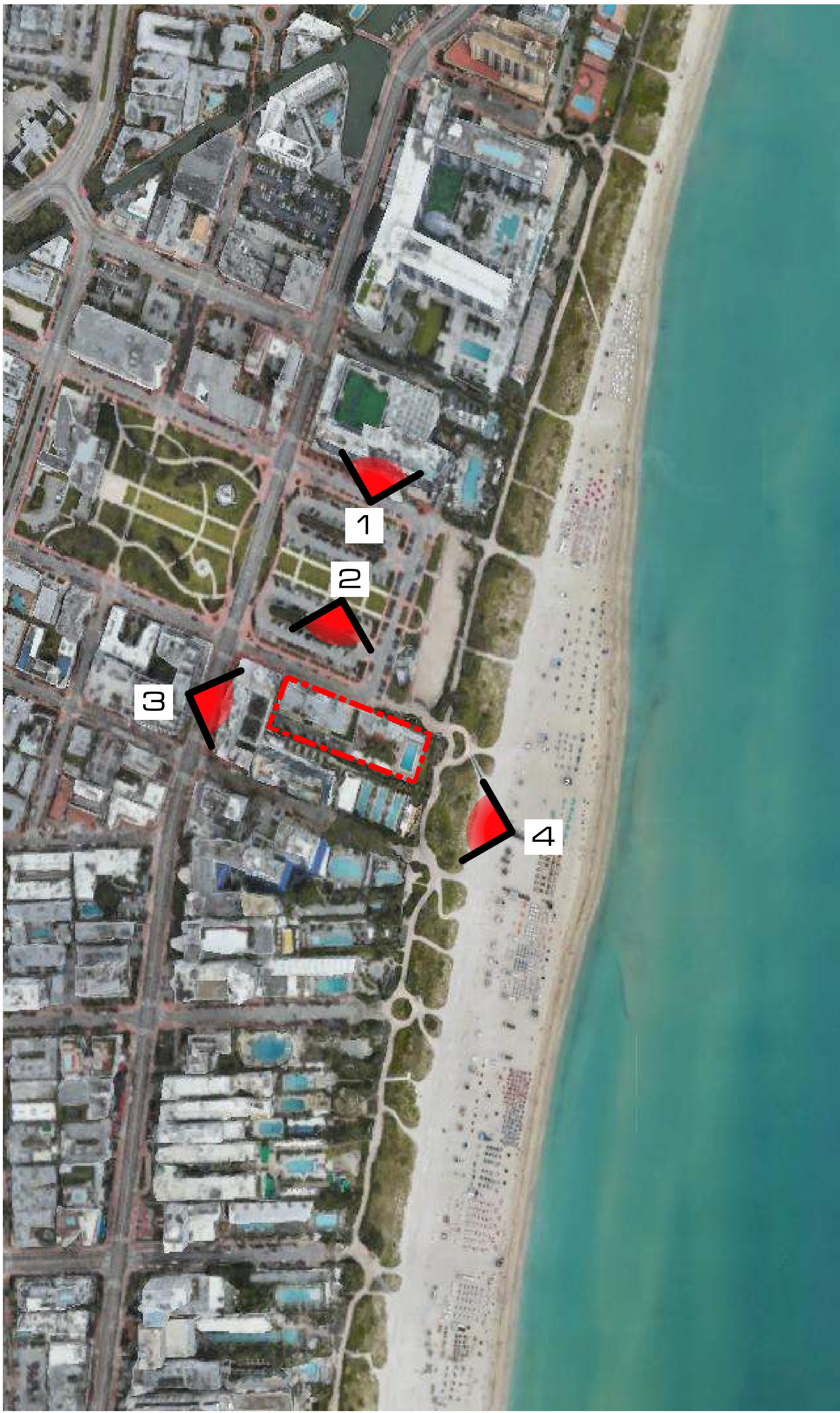
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CONTEXT PHOTOGRAPHS ( 1,2,3 & 4 )

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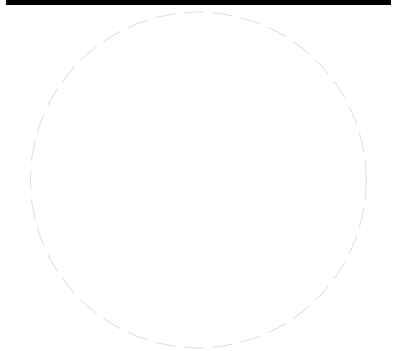
Revisions

B

Owner Information

**BHI Miami Limited Corp.**  
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Miami Beach, FL 33139  
(786) 785-6504

Consultant



Luis O. Revuelta  
AR-007972

HPB SET

Date

03/05/2021

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Project No.

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Sheet Name

PHOTOS - CONTEXT 1/2

Sheet No.

**A-004**





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6



7



8



CONTEXT PHOTOGRAPHS (5,6,7 & 8)

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Sheet Name

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Sheet No.

**A-005**





SITE PHOTOGRAPHS

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AR-0007972

HPB SET

Date

03/05/2021

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Project No.

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Sheet Name

PHOTOS - CURRENT CONDITION -  
EXTERIOR

Sheet No.

**A-006**

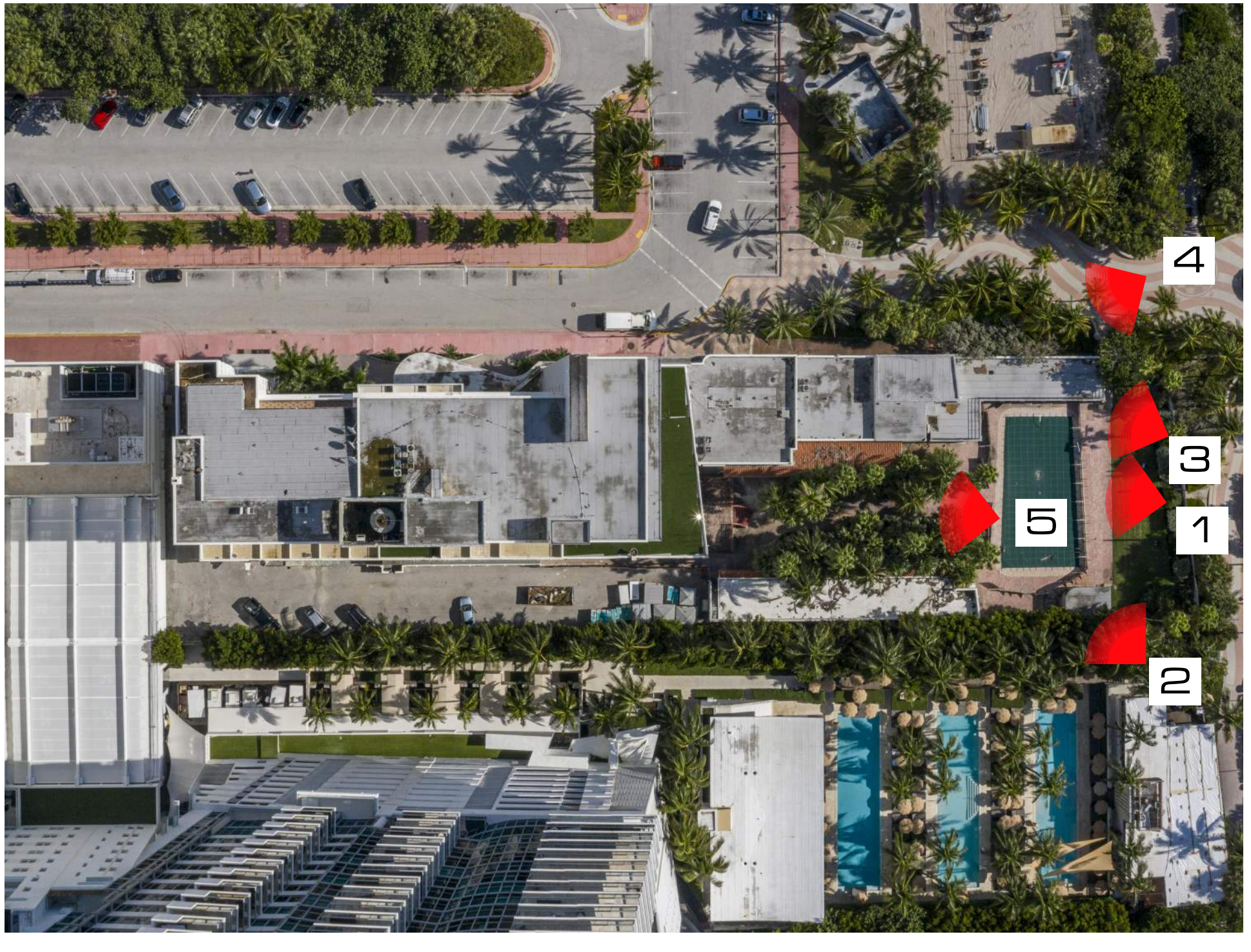


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PHOTOS - CURRENT CONDITIONS - EXTERIOR - REAR YARD

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DESIGN ARCHITECT

CITTERIO-VIEL  
& PARTNERS

Project

**BVLGARI HOTEL  
MIAMI BEACH**  
100 21st STREET  
MIAMI BEACH, FL 33139

Revisions

Owner Information

**BHI Miami Limited Corp.**  
1521 Alton Rd.  
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(786) 785-6504

Consultant

Luis O. Revuelta  
AR-0007972

HPB SET

Date  
03/05/2021  
Scale  
AS SHOWN  
Project No.  
2005

Sheet Name  
PHOTOS - CURRENT CONDITION -  
EXTERIOR - REAR YARD  
Sheet No.

**A-007**





LOBBY - ELEVATORS



LOBBY - SITTING AREA



LOBBY - RECEPTION DESK



LOBBY - BAR



LOBBY - CORRIDOR



TERRACE AND CABANAS

PHOTOS - CURRENT CONDITIONS - INTERIOR

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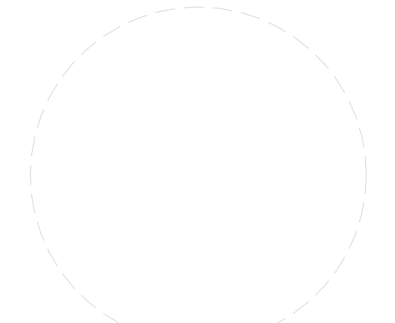
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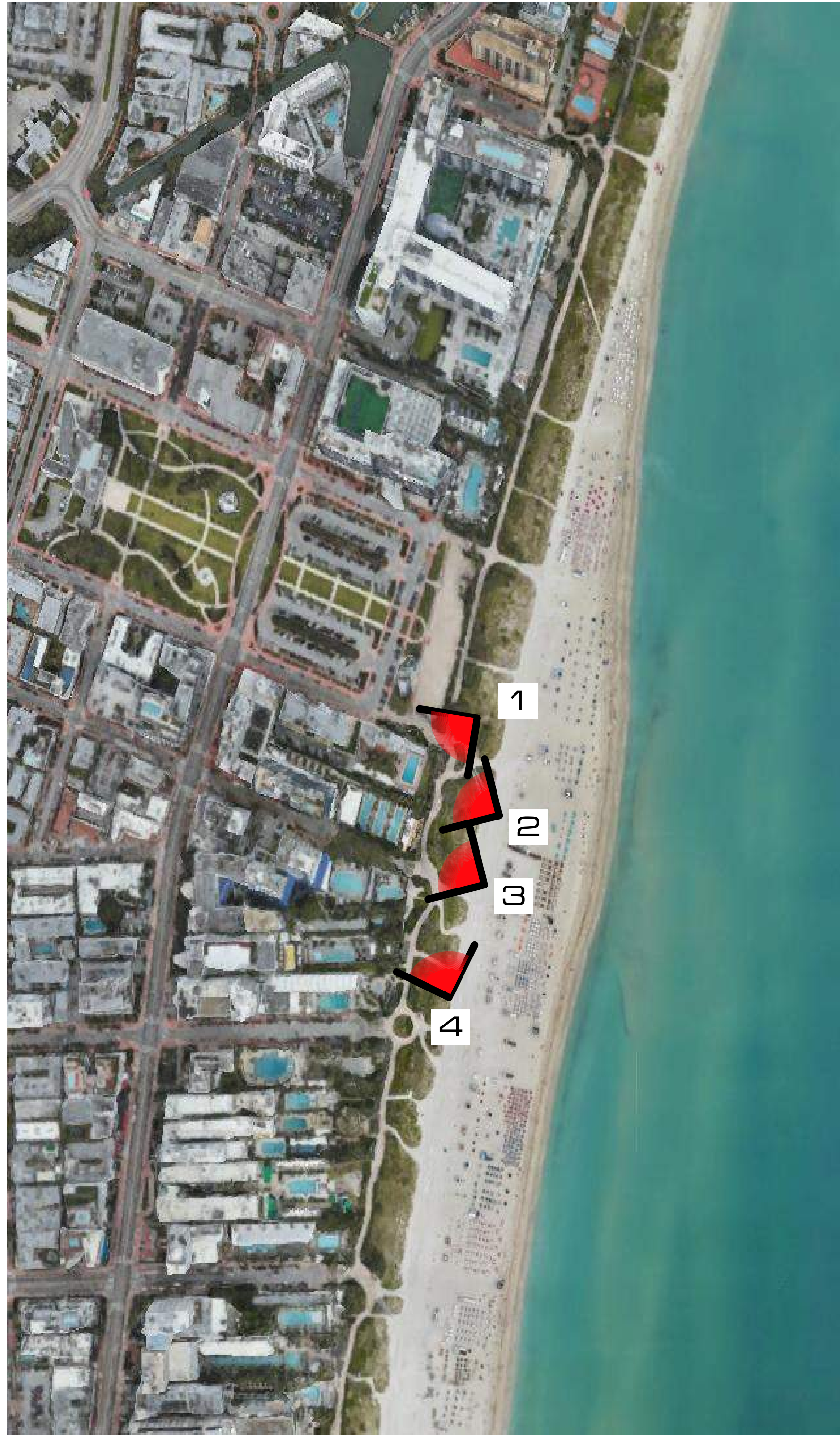
Sheet Name

CURRENT CONDITION - INTERIOR

Sheet No.

**A-008**





PHOTOS - CURRENT CONDITION - AERIAL

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Date

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Scale

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Project No.

2005

Sheet Name

PHOTOS - CURRENT CONDITION -  
AERIAL

Sheet No.

**A-009**