

NOTE: This sketch is not valid without the signature and the original raised seal of a Florida licensed surveyor andappers.

JOSE L. SANFIEL, ASSISTANT VICE PRES.	Order No. 181797	FB2149	Scale: 1" = 30'	Checked By:	Date:
Registered Land Surveyor No. 5636 State of Florida	PC1 & SKETCHES				
Registered Engineer No. _____ State of Florida	File No. AJ-3801				Sheet No. 2 of 2 Sheet

File name: K:\225342\FLORMOYA

Section 22-T53S-R42E

REVISIONS		BY
1	04/05/21	F.A.
2	04/06/23	F.A.

STRUCTURAL DESIGN, INC.
RESIDENTIAL, COMMERCIAL & INDUSTRIAL
13014 S.W. 130TH ST., MIAMI, FL 33186
TEL: (305) 235-4200 CERTIFICATE # 00000803
EMAIL: SDI@SDINC.COM

FARROKH RASEKH, P.E.
FL. LIC. # 38001

CONTRACTOR: HURRICANE WINDOWS
ADDRESS: 6515 SW 129 TERRACE
MIAMI, FL 33156
TELEPHONE: 305-235-8110

PROJECT: NEW GLAZING AT:
4701 N. MERIDIAN AVE. SKY HOUSE
MIAMI BEACH, FL. 33140

DATE:	01/03/23
SCALE:	AS SHOWN
DRAFTER:	F.A.
JOB:	22-284
SHEET:	

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SCOPE OF WORK:

- ENCLOSE EXISTING EXTERIOR COURTYARD:
- 2 S.G.D. DOORS.

GENERAL NOTES:

- UTILITIES SERVING OTHER UNITS MUST BE KEPT UNDISTURBED AND FUNCTIONING AS REQUIRED BY APPLICABLE CODES AND BUILDING REGULATIONS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING AND DAMAGE TO COMMON UTILITIES AND RESTORING THE SYSTEMS TO THEIR ORIGINAL CONDITION AS REQUIRED BY BY BUILDING MANAGEMENT.
- CONTRACTOR SHALL ABIDE BY THE STANDARDS AND INSTRUCTIONS IN THE BUILDING CONDOMINIUM ASSOCIATION'S "AMAF".

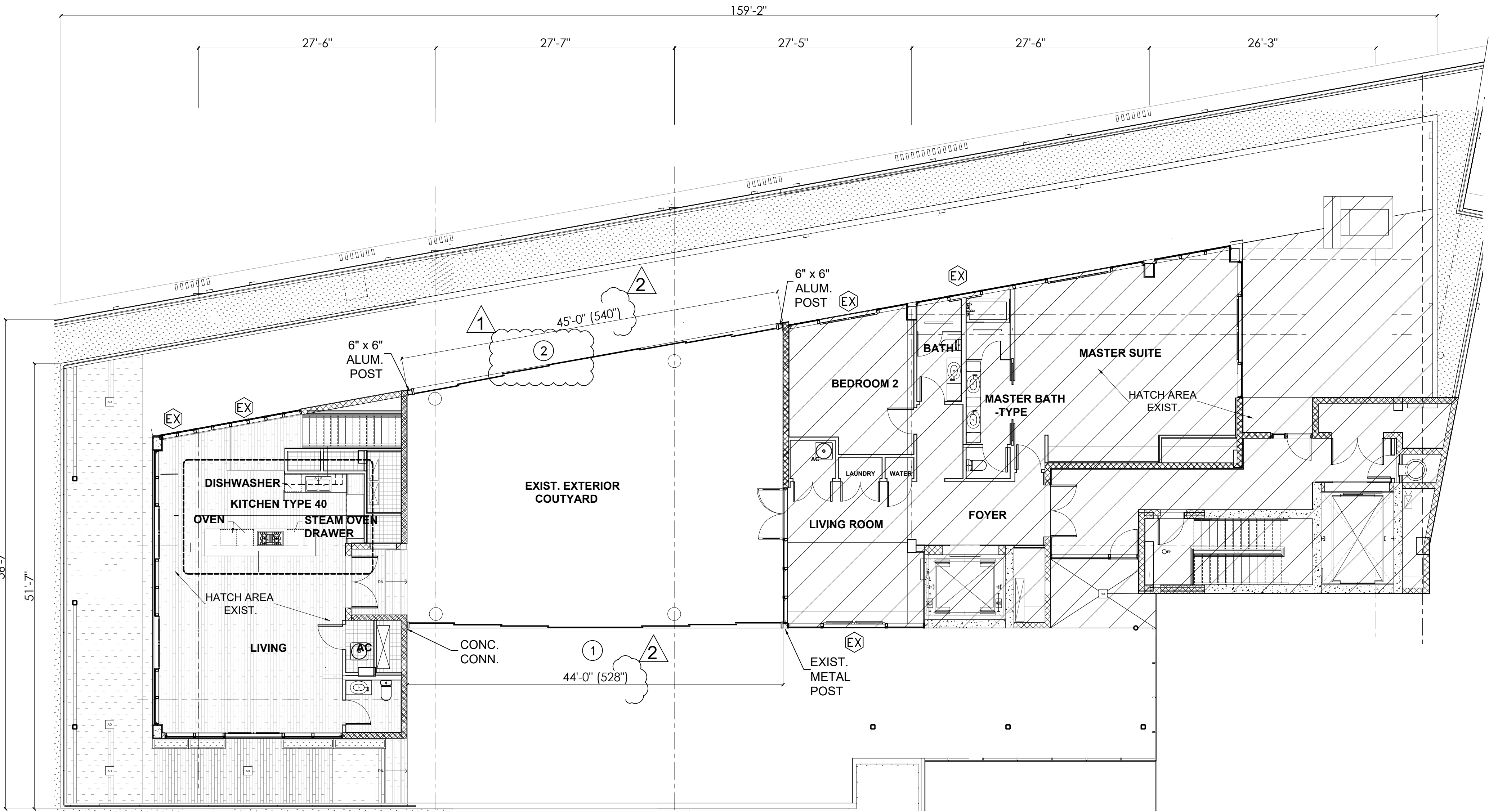
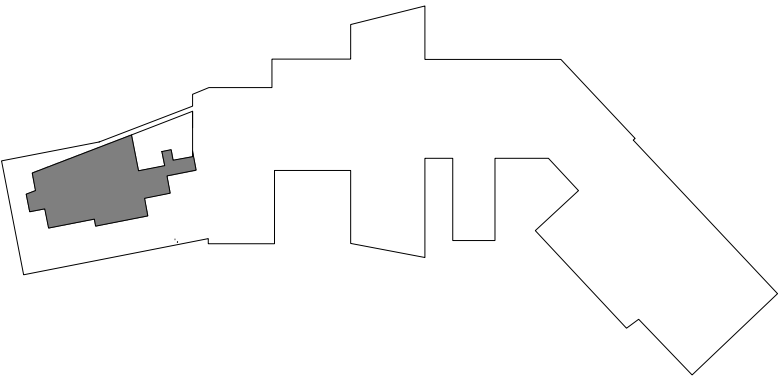
GLAZING SPECIFICATIONS:

- THESE GLAZING HAVE BEEN DESIGNED TO COMPLY WITH REQUIREMENT OF THE F.B.C. 2020 (7TH EDITION) AND ASCE 7-16.
- ALL EXPOSED SURFACES SHALL BE FREE FROM UNSIGHTLY SCRATCHES AND BLEMISHES.
- ALL FRAMING TO BE CONNECTED IN ACCORDANCE WITH THE PRODUCT APPROVALS.
- ALL DIMENSIONS SHALL BE VERIFIED AT THE JOB SITE PRIOR TO FABRICATION.
- DEFLECTION LIMITS=SPAN/180
- ALL ALUMINUM MEMBERS HAVE BEEN DESIGNED TO MEET THE REQUIREMENTS OF THE ALUMINUM CONSTRUCTION MANUAL.
- ALL FRAME TO BE WHITE TO MATCH EXISTING.
- ALL GLASS TO BE GRAY CLEAR TO MATCH EXISTING.

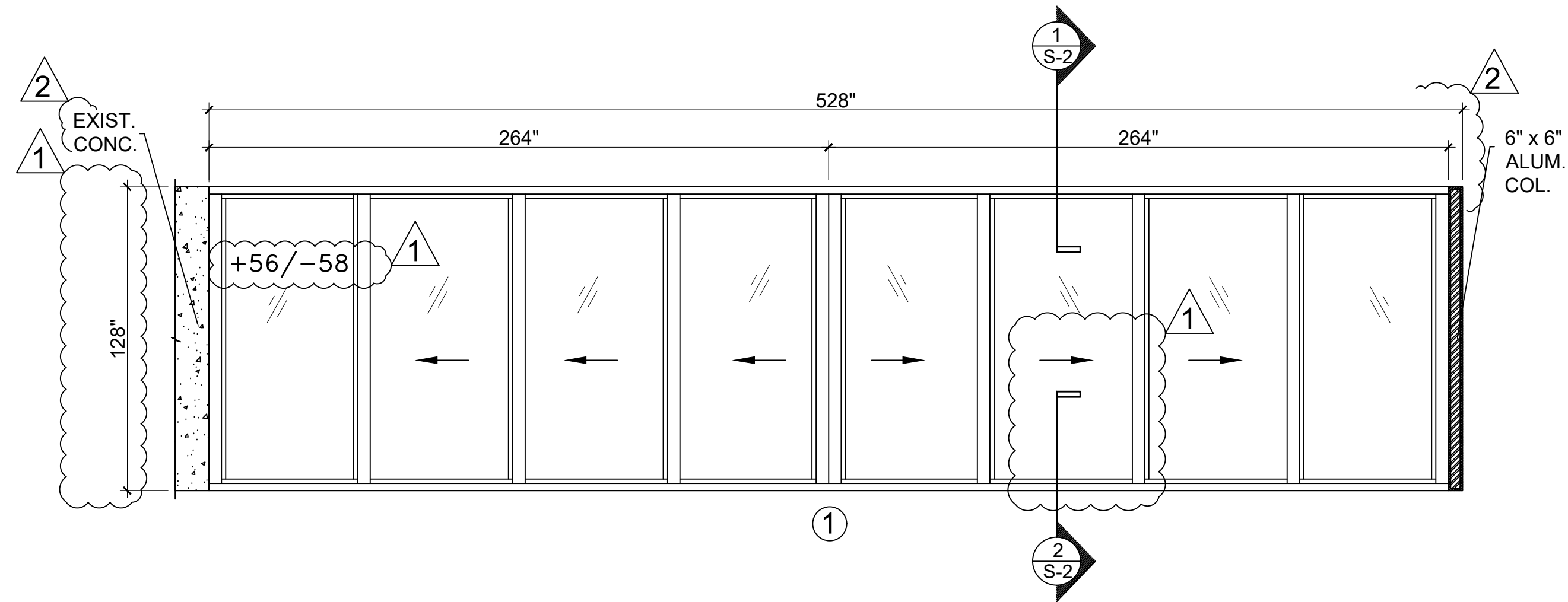
DESIGN LOADS:

- WIND LOADS AS PER ASCE 7-16
- * BLDG. HT. = 91'-0"
- * FBC 2020 (7th EDITION)
- * EXPOSURE 'D'
- * BUILDING RISK CATEGORY II
- * WIND SPEED = 175
- * DIRECTIONALITY FACTOR: Kd = 0.85

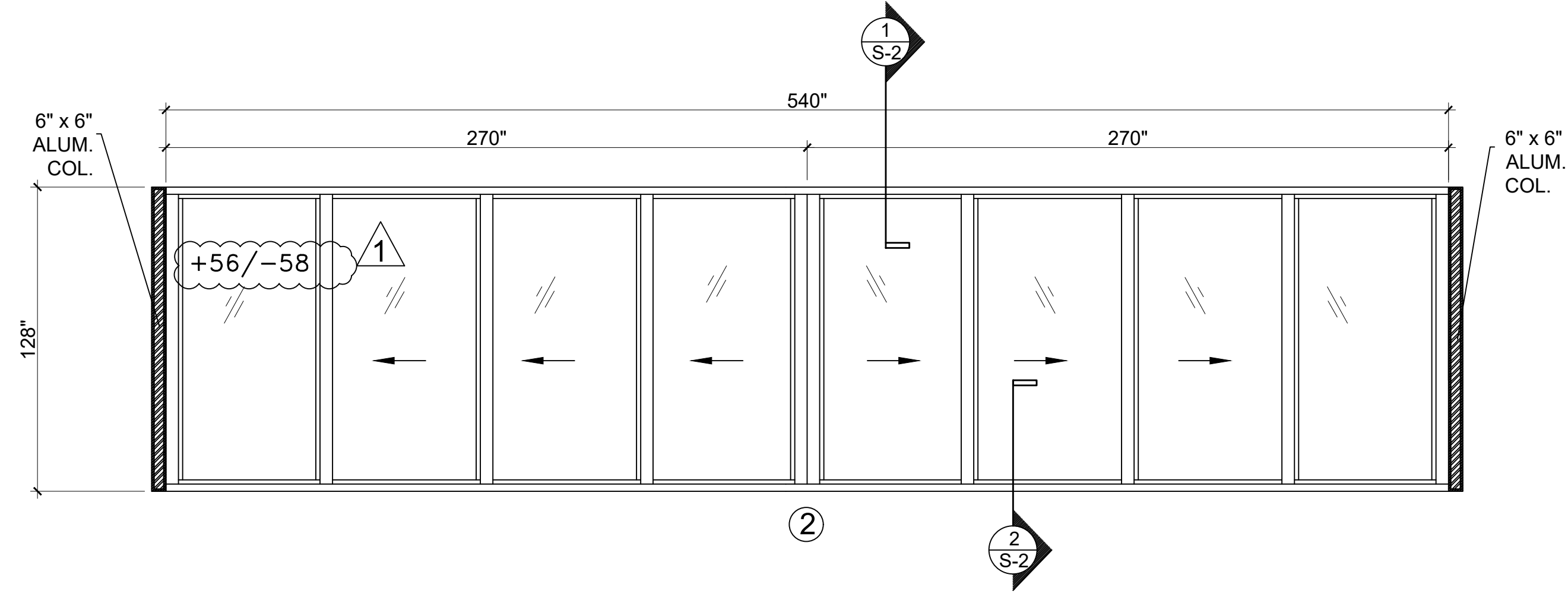
KEY PLAN
N.T.S.



FLOOR PLAN
SCALE: 1/8"=1'-0"



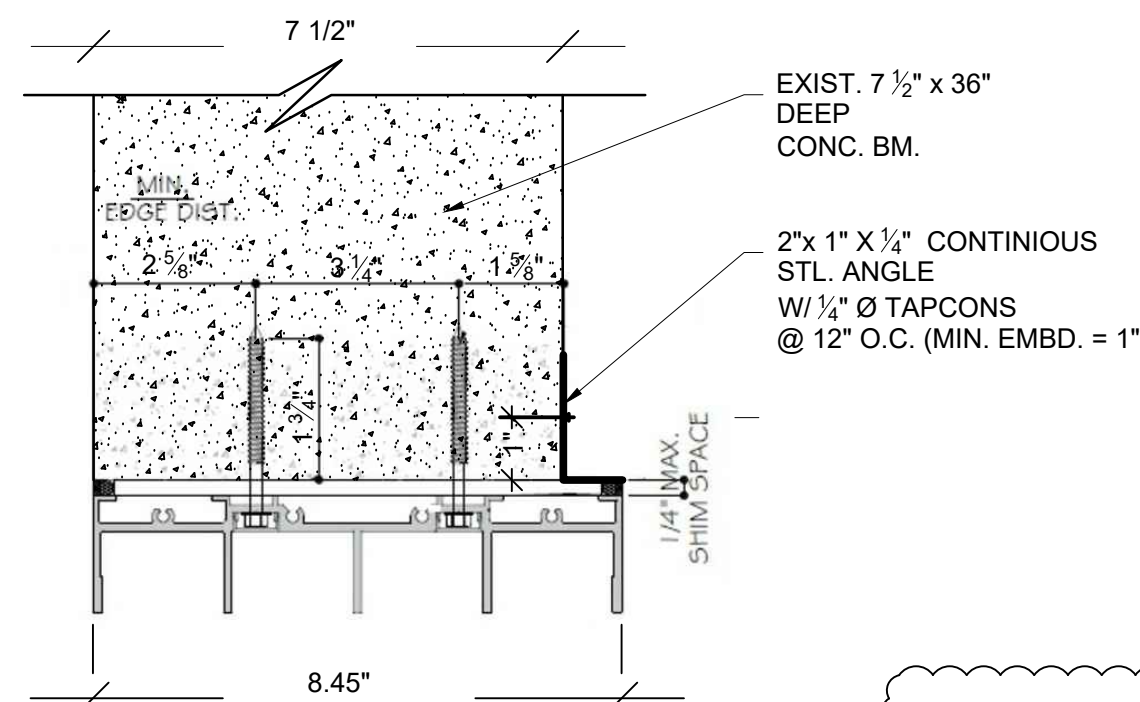
S.G.D. ELEVATION 1
SCALE: 1/4" = 1'-0"



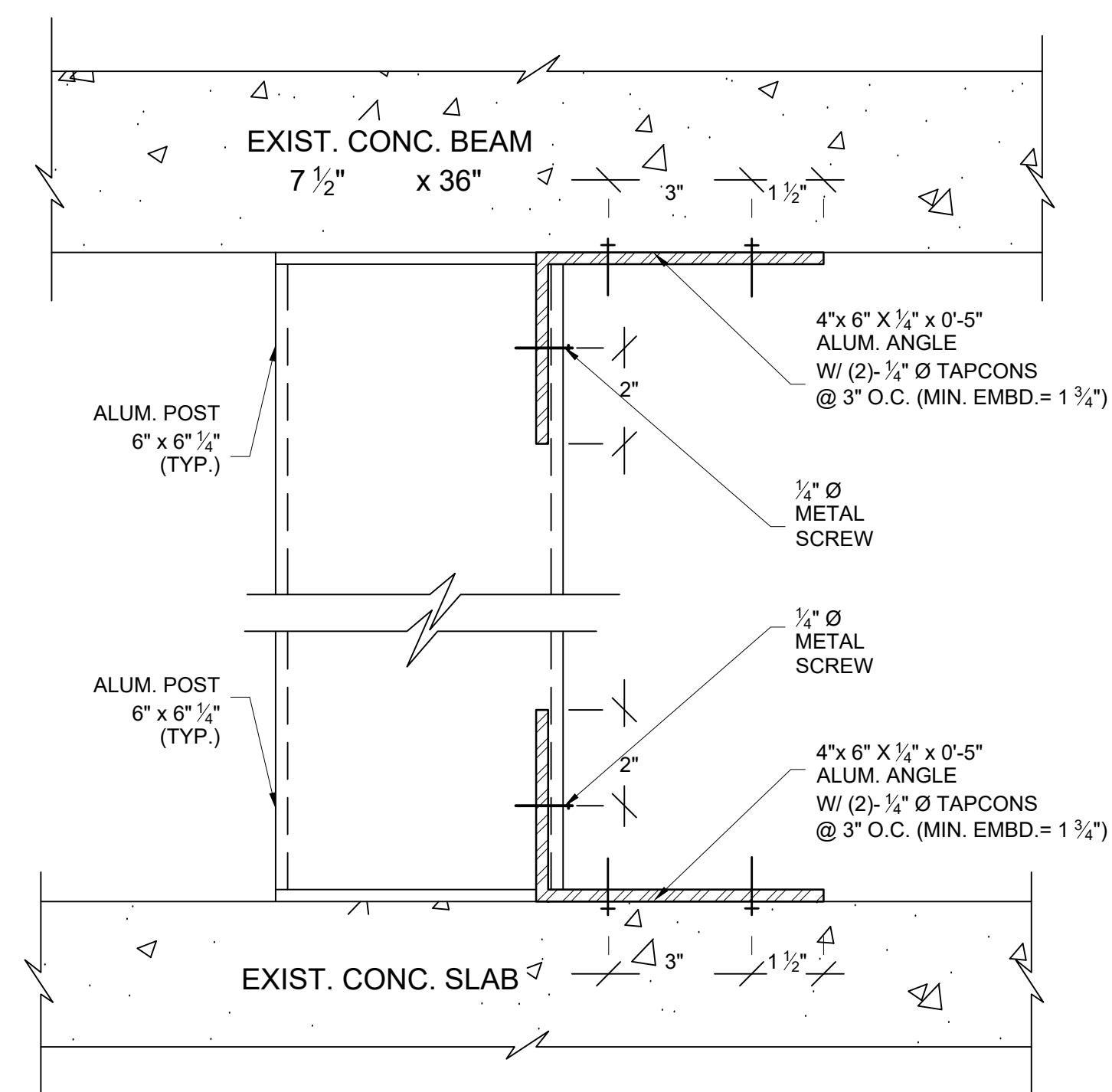
S.G.D. ELEVATION 2
SCALE: 1/4" = 1'-0"

(WINDOW - DOOR) - SCHEDULE

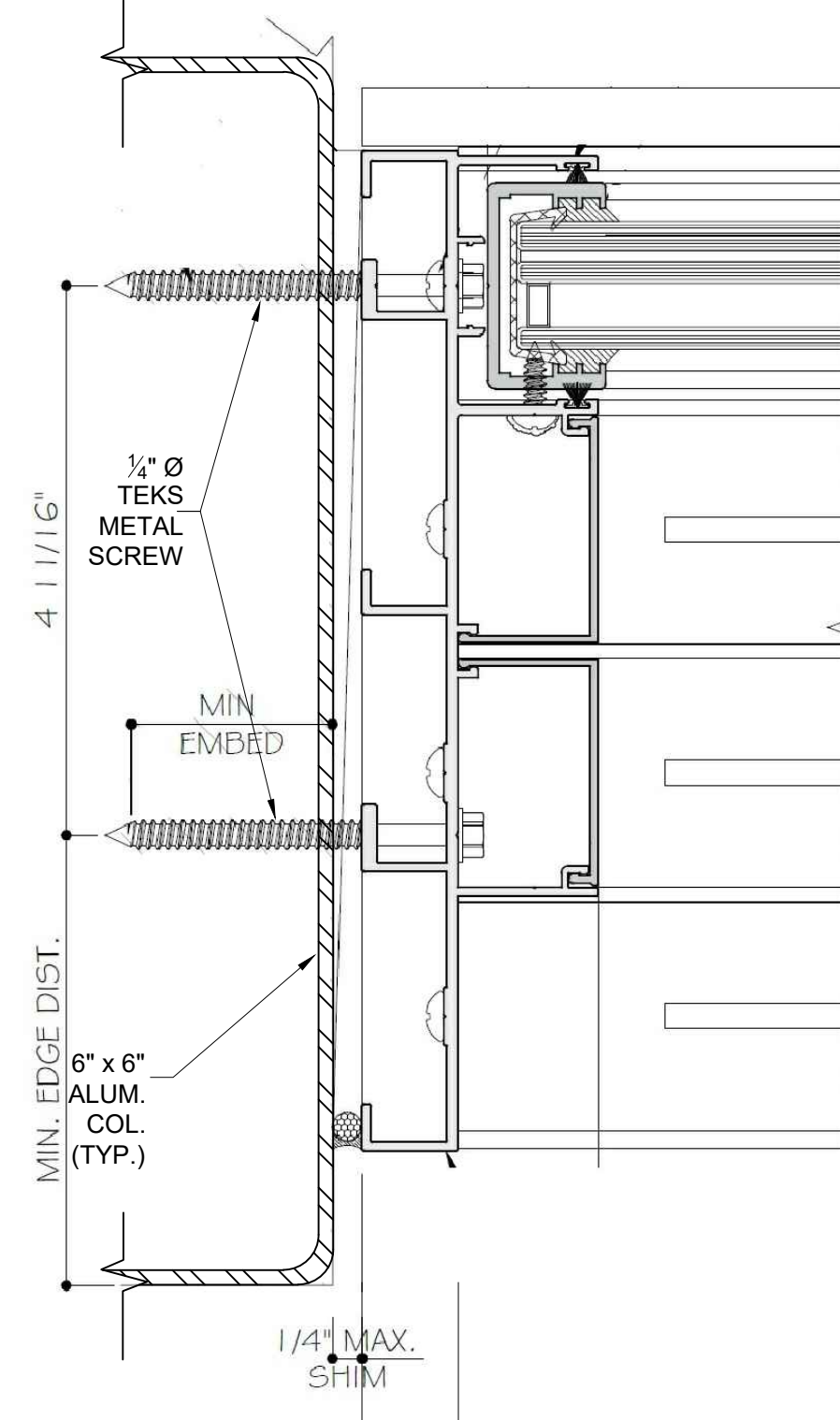
MARK	SIZE (WxH)	TYPE	MANUFACTURER	NOA	WIND PRESSURE (p)(PSF)	WIND PRESSURE ALLOWABLE (PSF)	ZONE
1	528" X 128"	S.G.D.	E.S. WINDOWS, LLC	FL# 22267.1	+56/-58	±64.7	4
2	540" X 128"	S.G.D.	E.S. WINDOWS, LLC	FL# 22267.1	+56/-58	±64.7	4



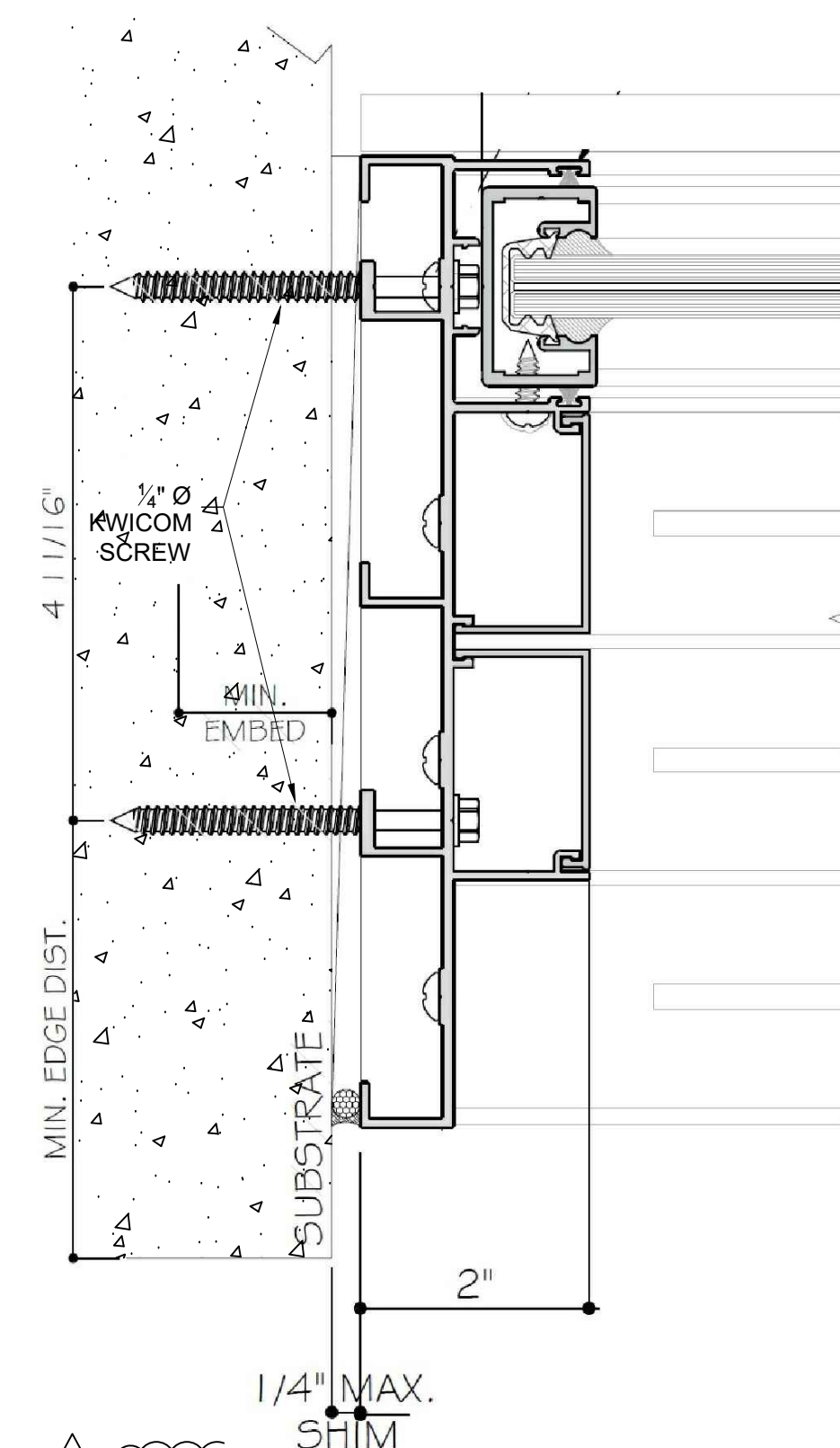
TYPICAL HEAD CONN. DETAIL 1
N.T.S.



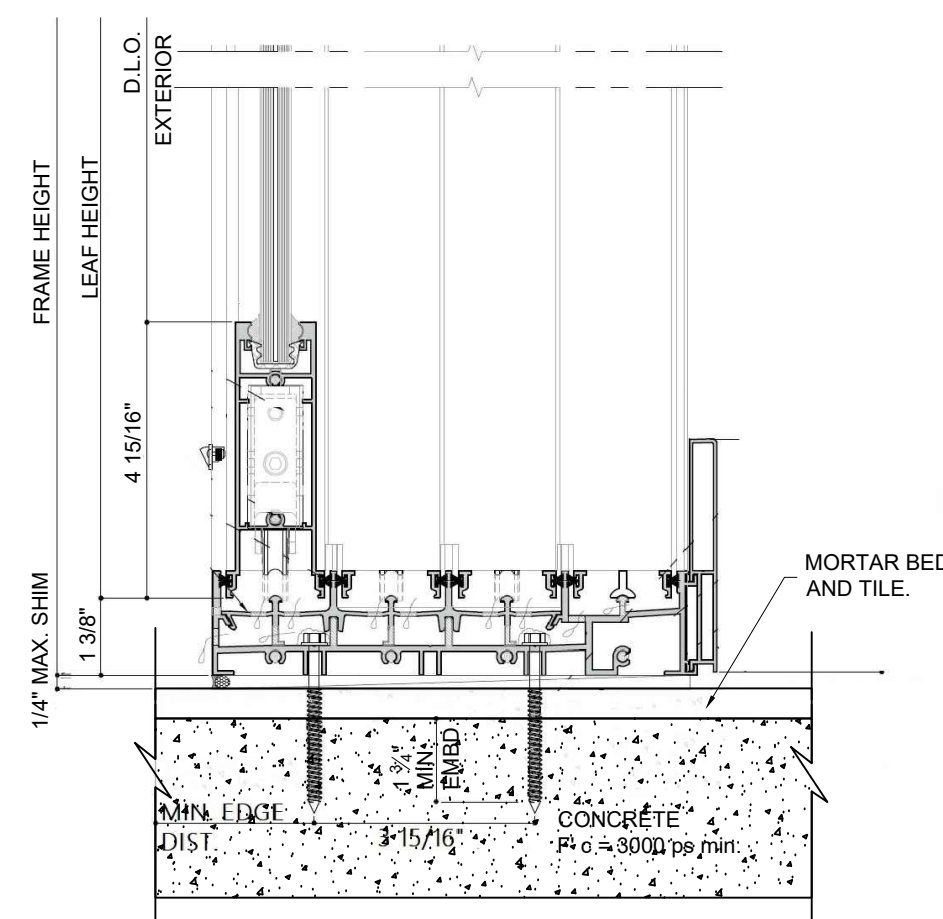
TYPICAL POST CONN. DETAIL (TOP & BOT.) 1
N.T.S.



TYPICAL JAM TO MTL. COL. CONNECTION 2
N.T.S.



JAM TO CONC. CONNECTION 2
N.T.S.



TYPICAL SILL CONN. DETAIL 2
N.T.S.

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