

BEFORE THE BOARD OF ADJUSTMENT
CITY OF MIAMI BEACH, FLORIDA

FILE NO. ZBA 22-0143

IN RE: APPEAL OF THE PLANNING
DIRECTOR'S NOVEMBER 15, 2022
ADMINISTRATIVE DETERMINATION
REGARDING 153 COLLINS AVENUE
AND 157 COLLINS AVENUE

**157 COLLINS AVE LLC'S RESPONSE TO APPELLANT'S PETITION
FOR ADMINISTRATIVE APPEAL TO BOARD OF ADJUSTMENT**

Appellee 157 Collins Ave LLC ("Appellee" or "157 Collins"), by and through undersigned counsel and pursuant to Section 118-9(b) of the Land Development Regulations ("LDRs"), hereby responds to the Petition for Administrative Appeal to Board of Adjustment ("Petition") filed by 125 Collins, LLC ("Appellant" or "125 Collins") and, as grounds for the Board of Adjustment's affirmance of the Planning Director's November 15, 2022 Administrative Determination (the "Determination"), states as follows:¹

I. OVERVIEW

Here's the short version. Appellee owns the building that houses both the "Big Pink" restaurant and "Ted's Hideaway" lounge. These two businesses are local institutions – with long and rich connections to the

¹ A true and correct copy of the Determination is attached hereto as **Exhibit 1**.

community – that have been operating in the same location in the City of Miami Beach (“City”) for over twenty-five (25) years. It is undisputed that the Strip provides the Big Pink and Ted’s Hideaway with essential life safety fire access, gas lines, utility meter access, trash room access, houses Ted’s Hideaway’s grease trap, and provides access to the Big Pink’s grease trap (all collectively, the “Improvements”).² It is likewise undisputed – as the Planning Director correctly concluded – that the Improvements within the Strip are critical to the operation of the Big Pink and Ted’s Hideaway.

The Planning Director based the Determination on his faithful application of the plain text of the LDRs and the undisputed record facts that confirm that the Strip, the Big Pink, and Ted’s Hideaway are all part of one building site by operation of Section 114-1 of the LDRs. The Board should deny the appeal and affirm the Determination in all respects.

II. SUMMARY STATEMENT OF BACKGROUND FACTS RELEVANT TO THE DETERMINATION

A. The Commercial Property – the Strip – Its Use and Function

157 Collins Avenue LLC is the owner of the property located at 157 Collins Avenue (the “Commercial Property”).³ (Ex. 2.) The Commercial

² We assign the same meaning to the word “Strip” that the Planning Director used in his Determination. (See Ex. 1.)

³ A true and correct copy of the Warranty Deed, dated June 30, 2008, for the Commercial Property is attached hereto as **Exhibit 2**.

Property is identified by Miami-Dade County Tax Folio No. 02-4203-003-0300 and is legally described as Lot 16 of Block 2 in the Ocean Beach Subdivision. (Ex. 2.) The Commercial Property is improved with a 2-story building that was constructed in 1925 and fronts on Collins Avenue. (See Ex. 1.) Built by J.G. Leinecker, the property is individually listed in the City of Miami Beach’s Historic Properties Database as a contributing building in the Ocean Beach Local Historic District. (See Ex. 5.)⁴ The Commercial Property has been in continuous use for commercial purposes since the time of the building’s construction and now serves as the home of the Big Pink restaurant and Ted’s Hideaway lounge. (See Exs. 1, 5.)

The uses on the Commercial Property have long been served by a 25’ wide strip of land which abuts Appellee’s property and serves as an accessory alleyway behind the restaurants (the “Strip”). (See Exs. 1, 5.) The Strip, identified by Miami-Dade County Tax Folio No. 02-4203-003-0290 and legally described as the North ½ of Lot 15 of Block 2 in the Ocean Beach Subdivision, has been used for decades to service “back of the house” facilities for the Big Pink and Ted’s Hideaway.⁵ (See Exs. 1, 3.) It serves

⁴ See *infra* note 7.

⁵ A true and correct copy of the Warranty Deed, dated August 9, 2022, for the Strip is attached hereto as **Exhibit 3**.

vitaly important operational needs of the Big Pink and Ted’s Hideaway. It provides (i) emergency means of ingress and egress through the fire exit emergency doors; (ii) life/safety egress; (iii) access for utilities, delivery, garbage, and trash removal and storage; and (iv) access to the grease traps that serve the Big Pink and Ted’s Hideaway. (Ex. 1 at 2-3, Exs. A, B.) The relationship of the Strip to the Commercial Property is illustrated below:

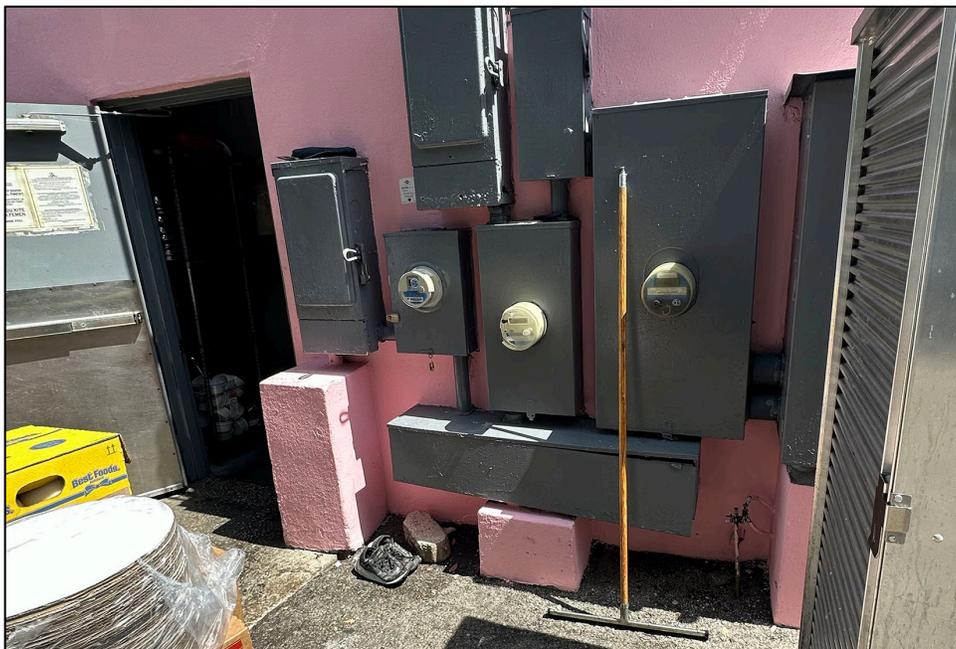


(Aerial image from Google Earth Pro / Map data © 2023 Google (Jan. 4, 2021)) (shading and callouts added for emphasis).

The Improvements within the Strip that serve the Commercial Property are shown in the pictures that follow:



(Photograph above, taken from the Strip facing North, shows the following Improvements along the South façade of the Commercial Property: on the left Big Pink’s trash room, only accessible from the Strip via the roll-up gate shown; in the center two bollards protect the gas meters for the Commercial Property; and to the right the door that provides access to Big Pink’s foyer (including its grease trap), as well as emergency/life safety ingress and egress for the Commercial Property (the “**Big Pink Access Door**”).)



(Photograph above, taken from the Strip facing North, shows the following Improvements along the South façade of the Commercial Property: on the left the Big Pink Access Door; and on the right the electrical service panels for the Commercial Property.)



(Photograph above, taken from the Strip facing Northwest, shows the following Improvements along the South façade of the Commercial Property: on the left the grease traps for Ted's Hideaway; and on the right access for trash removal and storage for the Commercial Property.)

B. The Ownership Reflects Joint Use

The ownership of both sites over the last several decades reflects their joint use. The previous owner of the Strip, Mr. Kaine, purchased what is now our client's property in 1983. (Ex. 1.) Mr. Kaine purchased the Strip in 1986. (Ex. 1.) During Mr. Kaine's ownership of the parcels, significant utilities, access points, and services for what is now our client's property were installed and maintained on the Strip. (Ex. 1 at 2-3, Exs. A, B; see *also* Ex. 5.) By way of illustration, gas lines, electrical utilities and trash dumpsters were allowed to encroach into the Strip and grease traps were installed therein.

The location of Ted's Hideaway's grease traps within the Strip is shown shaded in yellow in the image below:



(Photographs above, taken from the East side of the Strip facing Westward, showing the location of the grease traps for Ted's Hideaway within the Strip) (yellow shading added for emphasis).

Similarly, the Big Pink's grease trap is only serviceable from the Strip, utilizing the Big Pink Access Door. The location of the grease trap within Big Pink's foyer is shown shaded in yellow in the image below:



(Photographs above, taken from the Strip looking North through the Big Pink Access Door, showing the location of the grease trap within Big Pink's foyer) (yellow shading added for emphasis).

It is important to note that a fence was also installed, separating the Strip from Appellant's parking lot to the south.⁶ (See Ex. 4.) The fence leaves the Strip connected to and accessible from the Commercial Property. The location of the fence is shown in the image that follows:



(Photograph above, taken from the East side of the Strip facing West, shows the green fence on the left dividing Appellant's commercial parking lot from the Strip. The Commercial Property is shown on the right.)

III. Relevant City Code Sections and Definitions

The definition of Building Site within the City's LDRs is clear and unambiguous. See § 114-1 (Building Site), LDRs. It is defined as:

[A]ny improved lot, plot, or parcel of land where there may exist a main permitted structure and any accessory/auxiliary building or structure including, but not limited to, swimming pools, tennis

⁶ A true and correct copy of Building Permit plans (B2204174), entitled Kaine Parking, are attached hereto as **Exhibit 4**. The City's approval of the plans, dated October 17, 2012, included the fence (as shown on Sheet 4).

courts, walls, fences, **or any other improvement** which was heretofore constructed on property containing one or more platted lots or portions thereof shall constitute one building site.

Id. (emphasis added). In addition, the LDRs clearly and unambiguously define the term “improvement” broadly to mean:

[A]ny building, structure, fence, gate, wall, walkway, parking facility, light fixture, bench, fountain, sign, work of art, earthworks **or other manmade object constituting a physical betterment of real property.**

§ 114-1 (Improvement), LDRs (emphasis added).

IV. PROCEDURAL HISTORY

On September 8, 2022, 157 Collins requested a “written determination [from the City’s Planning Director] regarding the properties located at 153 Collins Avenue and 157 Collins Avenue” (“Request for Zoning Determination”).⁷ (Ex. 1; see *also* Ex. 5.) Specifically, the Request for Zoning Determination sought the Planning Director’s determination as to: (1) whether the Strip and the Commercial Property “constitute ‘one building site’ pursuant to Section 114-1 of the City Code” and (2) whether “a lot split would be required to develop the Strip, including erecting a fence immediately adjacent to [the Commercial Property].” (Ex. 1 at 1; see *also* Ex. 5.)

⁷ A true and correct copy of the Request for Zoning Determination is attached hereto as **Exhibit 5**.

In response, on November 15, 2022, the Planning Director issued the Determination answering (1) and (2) in the affirmative. (Ex. 1 at 3.) The Determination sets forth the Planning Director’s analysis of the properties under the relevant provisions of the LDRs, and concludes that (i) the Strip and the Commercial Property “constitute ‘one building site’,” (ii) “[a]ny modifications to, or development of the Strip, including, but not limited to, site improvements (e.g., fencing), as well as new construction, would require a joint application by both the owner of the Strip and the owner of [the Commercial Property] for permit approval,” and (iii) “[t]o develop the Strip independently from [the Commercial Property], including the erection of a fence, a lot split approval by the Planning Board would be required.” (Ex. 1 at 3.)

On December 13, 2022, Appellant filed its Petition for Administrative Appeal of the Determination to Board of Adjustment (“Petition”).

V. ARGUMENT

A. The Planning Director Correctly Determined that the Strip Contains “Improvements”

The Appellant argues that the Strip does not contain improvements. (Pet. 5-6.) The argument is without merit. The Appellant overlooks the fact

that the term “improvement” is expressly defined by the City Code, by caselaw, and by treatise. The City Code defines the word “improvement” as:

[A]ny building, structure, fence, gate, wall, walkway, parking facility, light fixture, bench, fountain, sign, work of art, earthworks **or other manmade object constituting a physical betterment of real property.**

§ 114-1, LDRs (emphasis added). Case law teaches that an “improvement” need not be permanent. *See Harrell v. Ryland Grp.*, 277 So. 3d 292, 295 (Fla. 1st DCA 2019) (defining “improvement” as “[a]n addition to property, usu. real estate, *whether permanent or not*; esp., one that increases its value or utility or that enhances its appearance”) (emphasis added) (quoting *Improvement*, BLACK’S LAW DICTIONARY (11th ed. 2019)); *accord* Dictionary of Architecture & Construction (4th ed.) (defining “improvement” as “[a] structure or public utility or any other installation or physical change made in a property to increase its value and utility or to improve its appearance”).

The Appellant argues that the grease trap is not an improvement. (Pet. 5-6.) The argument misses the mark. The grease trap is indisputably a “manmade object” located within, upon, and under the Strip that provides vital utility to Ted’s Hideaway – it was specifically installed by Mr. Kaine (the prior owner) to benefit Ted’s Hideaway. (See Ex. 1 at 2, Ex. B.) Indeed, Ted’s Hideaway cannot function without it. While the Appellant argues that the

Improvements can be “detached and/or relocated” (Pet. 6), the point is irrelevant because an improvement constitutes an improvement “*whether permanent or not.*” *Harrell*, 277 So. 3d at 295 (emphasis added).

The Commercial Property contains other improvements that rely upon the Strip. These include essential fire and life safety access, utility meters, gas lines, electrical service panels, trash rooms and storage, a foyer, and service room shown in the photos above. (*See supra* pp. 5-6.) Plainly, these are “manmade objects” that were installed within, encroach upon, and rely upon the Strip for the betterment of the Commercial Property. Consequently, they unquestionably qualify as “improvements” under the City’s LDRs. See § 114-1, LDRs.

B. The Planning Director Correctly Concluded that the Strip and the Commercial Property Constitute One Building Site

By operation of the plain text of Section 114-1 of the City’s LDRs, the construction of the Improvements within the Strip operate to conjoin it with the Commercial Property as “one building site.” The Planning Director correctly reached this conclusion, the Appellant does not show error in it, and the record reveals none. In the interest of brevity, we adopt and incorporate as our own the City’s analysis on the building site issue set forth in the City Planning Department Staff Report & Recommendation together with its exhibits, dated September 8, 2023, submitted in response to the Petition.

C. The Appellant Provides No Basis for Reversal

1. The Covenant Argument is Without Merit

The Appellant argues that a recorded covenant somehow merits reversal of the Determination. (Pet. 3-4.) It does no such thing. The covenant ostensibly operates to join three parcels of land to function as “one plot and parcel of land” and it prohibits the sale, transfer, or conveyance of the lands for anything other than a parking lot for the property located at 136 Collins Avenue. (Pet. Ex. B.) The covenant does not impact the scope or reach of Section 114-1 because the “building site” definition applies to “**any** improved lot, plot, or parcel of land.” § 114-1 (Building Site), LDRs (emphasis added).

The word “any” means all. See *Acceleration Nat’l Serv. Corp. v. Brickell Fin. Servs. Motor Club, Inc.*, 541 So. 2d 738, 739 (Fla. 3d DCA 1989) (“‘any’ is ‘often synonymous with either, every, or all’” and “‘any’ is defined as ‘[o]ne or another without restriction or exception’”) (internal citations omitted). Further, Section 118-321 expressly defines as “one building site” any improvements that are “constructed on property containing **one or more platted lots or portions thereof.**” § 118-321, LDRs (emphasis added). Thus, contrary to the Appellant’s theory, the Strip and the Commercial Property constitute one building site regardless of how many lots or portions of lots are connected to the Strip.

2. The Unified Development Site Argument is Without Merit

The Appellant repeatedly argues that based upon the covenant the Strip is part of a “unified development site.”⁸ (Pet. 2, 3-4, 8.) Not so. The Appellant conflates the phrase “unified development site” with the phrase “one building site.” By operation of the LDRs, a “unified development site” cannot be bisected by a public right-of-way. See § 118-5, LDRs (“A ‘unified development site’ does not include any lots separated by a public right-of-way.”).

The covenant expressly states that its purpose is to provide parking for the property located at 136 Collins Avenue – the west side of Collins Avenue. (Pet. Ex. B.) It therefore cannot possibly be part of a “unified development site” because it involves properties located on opposite sides of Collins Avenue. The picture that follows proves the point.

⁸ The Appellant uses the terms “building site” and “unified development site” interchangeably in its Petition. This ignores the separate and distinct definitions provided in the LDRs for each. Compare § 114-1 (Building Site), LDRs, with § 118-5, LDRs.



(Aerial image from Google Earth Pro / Map data © 2023 Google (Jan. 4, 2021)) (shading and callouts added for emphasis).

Assuming solely for argument purposes that the covenant created a “unified development site” that included the Strip (it does not), this fact does not change the Planning Director’s analysis under the “building site” definition. Indeed, nothing in the City Code prohibits a property from being part of two building sites.⁹

⁹ The Appellant’s conclusory statement that it is “axiomatic that a property cannot be part of two separate development sites at the same time” is not supported by citation to the City Code or any other legal authority. (See Pet. 3.)

3. The Grease Trap Device Argument is Without Merit

The Appellant argues that the “grease trap” is not an improvement because it is a “device.” (Pet. 5-6.) As support, the Appellant cites to a manual published by Miami-Dade County. (See Pet. 5-6, Ex. F.) As set forth above, however, the City’s LDRs specifically define the term “improvement” and a Miami-Dade County Manual does not alter, modify, or affect the City’s definition in any way. The “grease trap” clearly satisfies the City’s definition of “improvement.” See § 114-1 (Improvement), LDRs.

4. The Building Permit Argument is Without Merit

The Appellant devotes substantial attention to a building permit argument that is irrelevant to this appeal. (Pet. 7.) The plain text of the LDRs relate to “any” constructed improvement. See § 114-1, LDRs. Once again, the word “any” means all without limitation. See *Acceleration Nat’l Servs. Corp.*, 541 So. 2d at 739. The plain text of the LDRs does not distinguish between “permitted” and “unpermitted” improvements. Consequently, the LDRs apply to any improvement – whether permitted or not. In *Velez v. City of Coral Gables*, 819 So. 2d 895 (Fla. 3d DCA 2002), the Third District Court of Appeal addressed precisely this issue under a nearly identical provision

of the City of Coral Gables Code regulating building sites. In construing the plain language of the City of Coral Gables Code, the Court ruled:

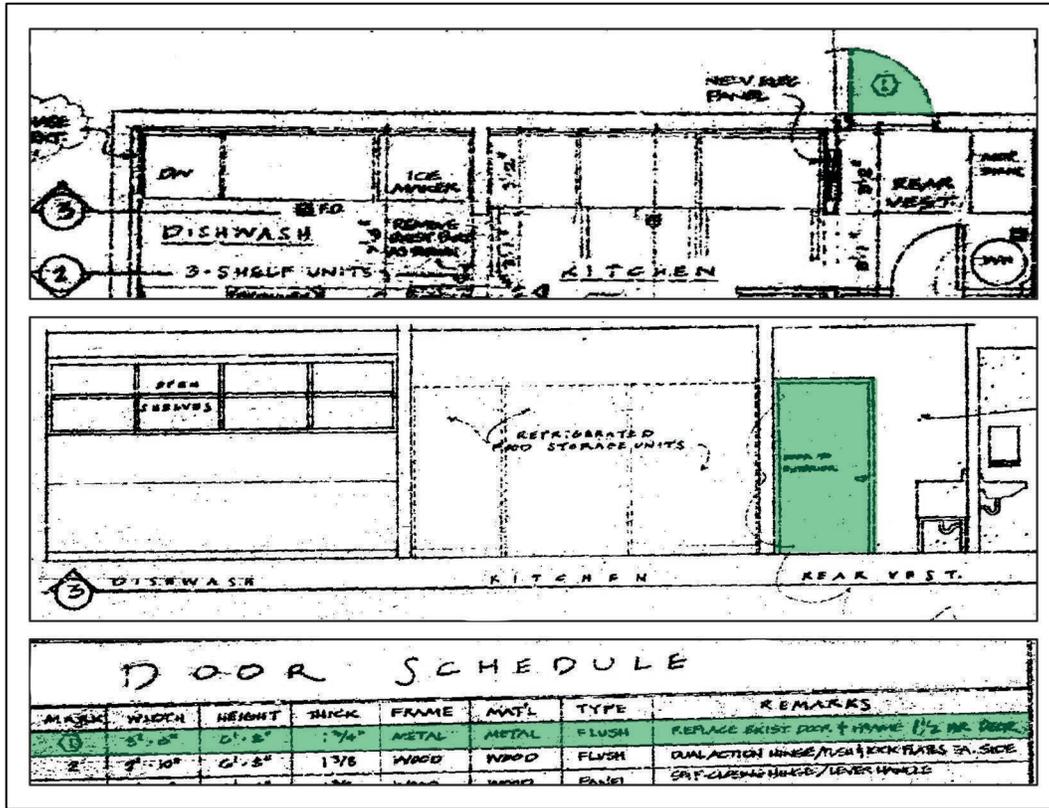
No differentiation is made by this section between permitted and unpermitted structures, and neither the city staff nor this court can read additional language into the legislation in order to alter its meaning. It must be read as written.

Id. at 897.

That said, the record is quite clear that the Commercial Property was constructed pursuant to lawful permits. The Big Pink was renovated pursuant to a lawful permit (Ex. 1 at 2, Ex. A) and Ted's Hideaway obtained a permit for its buildout – including its grease trap (Ex. 1 at 2, Ex. B). These improvements were all constructed when Mr. Kaine owned both the Strip and the Commercial Property.

But more to the point, the permit plans for the Big Pink and Ted's Hideaway show that both businesses depend upon the Strip to provide essential fire and life safety access. The plans for each – approved by the City of Miami Beach Fire Department – show secondary means of egress

The approved plans for Ted's Hideaway show the secondary exits onto the Strip below:



(Top Image: Portion of the ground floor plan showing the rear vestibule door opens outward toward the Strip (Ex. 1, Ex. B at Sheet A-1); Middle Image: Portion of internal cross-section #3 showing the location of the rear vestibule door in elevation (Id. at Sheet A-3); Bottom Image: Portion of door schedule showing the dimensions and materials of the rear vestibule door (Id. at Sheet A-1).)

(Ex. 1, Ex. B) (shading added for emphasis).

The Planning Director correctly concluded that the Strip provides vitally important life safety egress points that the Commercial Property historically relied upon for its operation and construction. (See Ex. 1.) Appellant does not dispute this historical fact – nor can it.

5. The Fence that Separates the Strip from the Parking Lots Demonstrates the Joint Use of the Strip with the Commercial Property

As the photo below confirms, the Appellant has fenced in its own property and left the Strip to function as part of the Commercial Property.



(See *supra* p. 8; see also Ex. 4.) It is clear that the parking lots to the south can continue to function as parking lots without the Strip – they have functioned without it for approximately 10 years. (See Ex. 4.) It is equally clear that the Commercial Property functions together with the Strip – it has done so for over 25 years. The Determination simply allows the status quo condition that has prevailed for decades to continue.

CERTIFICATE OF SERVICE

I HEREBY CERTIFY that on this 11th day of August 2023 a true and correct copy of the foregoing was served via electronic mail as follows:

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*Planning Director for Appellee,
City of Miami Beach*

/s/ Jeffrey S. Bass

Exhibit “1”

MIAMIBEACH

PLANNING DEPARTMENT

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Tel: (305) 673-7550, Fax: (305) 673-7559

November 15, 2022

Paul A. Shelowitz
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**Subject: Request for Zoning Determination
153 Collins Avenue (Folio 02-4203-003-0290) & 157 Collins Avenue (Folio 02-4203-003-0300), Miami Beach, Florida**

Dear Mr. Shelowitz:

This correspondence is in response to your September 8, 2022 request (attached) for a written determination regarding the properties located at 153 Collins Avenue and 157 Collins Avenue. Specifically, you have requested a determination pertaining to the following:

1. Whether the property located at 153 Collins Avenue (the "Strip") and the property located at 157 Collins Avenue ("157 Collins") constitute "one building site" pursuant to Section 114-1 of the City Code.¹
2. Whether a lot split would be required to develop the Strip, including erecting a fence immediately adjacent to 157 Collins.

Property Description and Ownership

For purposes of this determination letter, the following are the applicable properties and ownership:

1. 153 Collins Avenue (the "Strip"), which is legally described as the North ½ of Lot 15 of Block 2 in the Ocean Beach Subdivision. Lawrence F. Kaine purchased the Strip in 1986. The current owner of the Strip, 125 Collins LLC, purchased the property from the Patricia M Kaine Trust and Lawrence F Kaine Living Trust in 2022.
2. 157 Collins Avenue ("157 Collins"), which is legally described as Lot 16 of Block 2 in the Ocean Beach Subdivision. Lawrence F. Kaine purchased 157 Collins in 1983. In 2008, 157 Collins was sold to the current owner, 157 Collins Ave LLC.

The determination herein is specific to the Strip and 157 Collins, and does not include or provide any conclusions regarding the properties to the immediate south of the Strip. As more specifically noted herein, it appears that the Strip is not currently part of a unified development site or single

¹ While on page 3 of the letter dated September 8, 2022 addressed to the Planning Director, the applicant references Section 118-564 of the City Code, the term "building site" is defined in Section 114-1 of the City Code.

building site with the properties to the immediate south (i.e., the lots at 137 - 151 Collins Avenue, which have a combined legal description of the South ½ of Lot 15 and Lots 12 - 14 of Block 2 in the Ocean Beach Subdivision).

Building Site Analysis

In accordance with Section 114-1 of the City's Land Development Regulations (LDRs), a building site is defined as follows:

*"...Building site means any improved lot, plot, or parcel of land where there may exist a main permitted structure and any accessory/auxiliary building or structure including, but not limited to, swimming pools, tennis courts, walls, fences, **or any other improvement which was heretofore constructed on property containing one or more platted lots or portions thereof shall constitute one building site.**" (Emphasis added).*

The subject site consists of two abutting lots on the east side of Collins Avenue, between 1st Street and 2nd Street. Both lots are zoned R-PS3 and located in the Ocean Beach Historic District.

The Strip was initially developed in the 1920s with a one-story hotel building. According to City Building Department records, a permit was issued for the total demolition of this structure on May 21, 1971. Shortly thereafter, a permit to pave the lot and install a ten (10') foot driveway was issued.

157 Collins was first developed in 1925 when a building permit was issued for the construction of a two-story commercial building. This building remains substantially intact and is occupied by two commercial tenants at the ground level: (i). Big Pink Restaurant, located within the western portion of the building; and (ii). Ted's Hideaway, located within the eastern portion of the building.

On September 6, 1994, the City issued a building permit for "Renovations to Big Pink".² The approved plans include the construction of a one-story addition located along the south property line of 157 Collins, immediately abutting the north property line of the Strip. As shown on Sheet A-1 the addition contained a foyer, trash room and storage room. Access to the foyer is provided via a single door located on the south property line and internally through the kitchen and back of house area of the restaurant. The trash room is accessible only from the Strip via a roll-up gate.

Also, on February 10, 1998, the City issued a building permit for the buildout of Ted's Hideaway.³ Sheet P.1 of the approved plans includes the installation of a grease trap within the Strip. A sub permit was issued for the new grease trap (BP980583) on March 13, 1998 and a Certificate of Completion was issued for the project on March 4, 1999 after City inspections were performed.

The aforementioned improvements were constructed when the previous property owner (Lawrence F. Kaine) was the sole owner of the Strip. Additionally, gas meters and electrical service panels are shown encroaching into the Strip on the property survey submitted by the current owner of 157 Collins.⁴

² Building Permit plans B9400397 entitled "Renovations for Big Pink" are attached as **Exhibit A**.

³ Building Permit plans B9801070 entitled "Interior Renovations for Ted's Hideaway" are attached as **Exhibit B**.

⁴ Property Survey dated 10-05-22 is attached as **Exhibit C**.

The Strip serves as a means of ingress and egress to 157 Collins and contains improvements critical to the operations of the restaurant and bar located within 157 Collins. Consequently, 157 Collins and the Strip, together, meet the definition noted above pertaining to a “building site” and therefore constitute one building site.

Lot Split Requirements

In accordance with Section 118-321 of the LDRs, a lot split is required as follows:

*“.....wherever there may exist a main permitted structure and any accessory/auxiliary building or structure including, but not limited to, swimming pools, tennis courts, walls, fences, or any other improvement that was heretofore constructed on property containing one or more platted lots or portions thereof, such lots shall thereafter constitute only **one building site** and no permit shall be issued for the construction of more than one main permitted structure on the site unless the site is approved for the division or lot split by the planning board.”* (Emphasis added).

As noted above, the Strip and 157 Collins together constitute one building site. As such, any modifications to, or development of the Strip, including, but not limited to, site improvements (e.g., fencing), as well as new construction, would require a joint application by both the owner of the Strip and the owner of 157 Collins for permit approval. Additionally, the separation of the Strip from 157 Collins would require lot split approval from the Planning Board.

Conclusion

Based upon the foregoing, the following is noted regarding the requested determination:

1. The property located at 153 Collins Avenue (the “Strip”) and the property located at 157 Collins Avenue (“157 Collins”) constitute “one building site”, in accordance with the regulations of the City Code. Any modifications to, or development of the Strip, including, but not limited to, site improvements (e.g., fencing), as well as new construction, would require a joint application by both the owner of the Strip and the owner of 157 Collins for permit approval
2. To develop the Strip independently from 157 Collins, including the erection of a fence, a lot split approval by the Planning Board would be required. The request for a lot split would require a joint application by both the owner of the Strip and the owner of 157 Collins.

In accordance with City Code Section 118-9, this administrative determination will be published on the City’s website for a period of at least 30 days. An eligible party, as defined in Section 118-9 of the City Code, shall have up to 30 days from the posting on the web page to appeal this administrative determination.

Sincerely,



Thomas R. Mooney, AICP
Planning Director

TRM/DJT

Exhibit “A”

Renovations to: BIG PINK

157 Collins Avenue

Miami Beach, Florida

LIST OF DRAWINGS

ARCHITECTURAL

- A-0 COVER SHEET
- A-1 GROUND LEVEL FLOOR PLAN
- A-2 GROUND LEVEL REFLECTED CEILING PLAN
- A-3 SECOND FLOOR PLAN
- A-4 SECOND FLOOR REFLECTED CEILING PLAN
- A-5 ROOF PLAN
- A-6 GENERAL NOTES
- A-7 INTERIOR ELEVATIONS AND DETAILS
- A-7a INTERIOR ELEVATIONS AND DETAILS
- A-8 ENLARGED PUBLIC RESTROOMS
- A-8a ENLARGED BATHROOMS
- A-9 ARCHITECTURAL DETAILS
- A-10 SCHEDULES AND SPECIFICATIONS

EQUIPMENT

- Q-1 EQUIPMENT PLAN
- Q-2 PLUMBING ROUGH-IN
- Q-3 ELECTRICAL ROUGH-IN

PLUMBING

- P-1 GROUND FLOOR PLUMBING PLAN
- P-2 SECOND FLOOR PLUMBING PLAN
- P-3 DIAGRAMS
- P-4 DIAGRAMS AND DETAILS

ELECTRICAL

- E-1 GROUND FLOOR ELECTRICAL POWER PLAN
- E-2 SECOND FLOOR ELECTRICAL POWER PLAN
- E-3 GROUND FLOOR LIGHTING PLAN
- E-4 SECOND FLOOR LIGHTING PLAN
- E-5 PANELS, RISER
- E-6 NOTES

MECHANICAL

- M-1 GROUND FLOOR HVAC PLAN
- M-2 SECOND FLOOR HVAC PLAN
- M-3 NOTES AND DETAILS

STRUCTURAL

- S-1 FOUNDATION/GROUND FLOOR FRAMING PLAN
- S-2 SECOND FLOOR AND LOW ROOF FRAMING PLAN
- S-3 ROOF FRAMING PLAN
- S-4 STRUCTURAL BUILDING SECTIONS
- S-5 STRUCTURAL DETAILS

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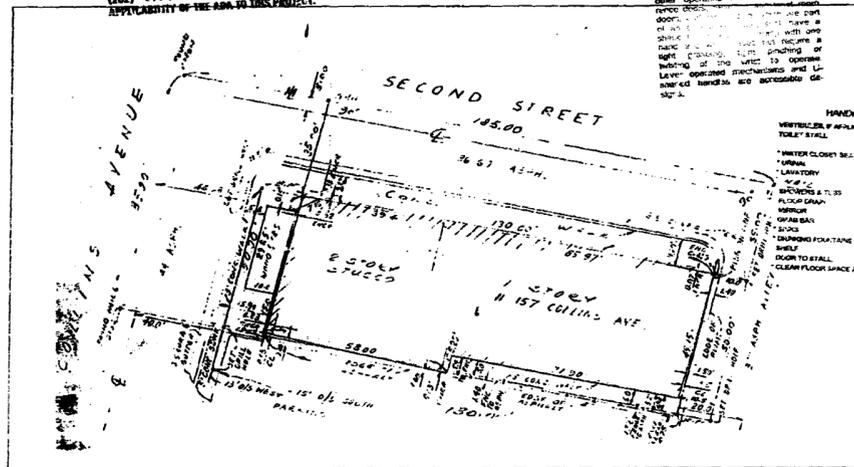
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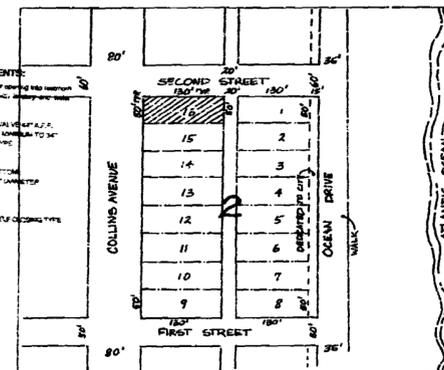
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 FIRE PREVENTION: *[Signature]*
 ENGINEERING: *[Signature]*
 PUBLIC WORKS: *[Signature]*
 STRUCTURAL: *[Signature]*
 ACCESSIBILITY: *[Signature]*
 ELEVATOR: *[Signature]*

NOTICE TO OWNER, DESIGNER & CONTRACTOR
 THIS PLAN HAS BEEN REVIEWED FOR COMPLIANCE WITH THE PRESENT REQUIREMENTS OF THE SOUTH FLORIDA BUILDING CODE ONLY. PLEASE CONTACT THE OFFICE ON THE AMERICANS WITH DISABILITIES ACT (ADA) AT (305) 514-0301 IF YOU HAVE CONCERNS ABOUT THE APPLICABILITY OF THE ADA TO THIS PROJECT.

SURVEY

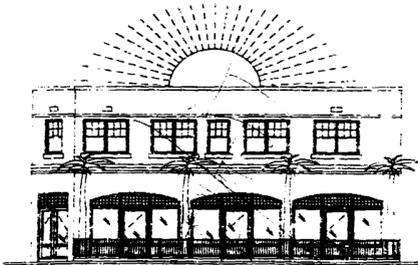


LOCATION MAP



LEGAL DESCRIPTION

LOT 16, BLOCK 2, OCEAN BEACH, FLORIDA SUBDIVISION, RECORDED IN PLAT BOOK 2 AT PAGE 38 OF THE PUBLIC RECORDS OF DADE COUNTY, FLORIDA. AREA OF LOT IS 6500 SQ.FT. OR 0.149 AC. ±



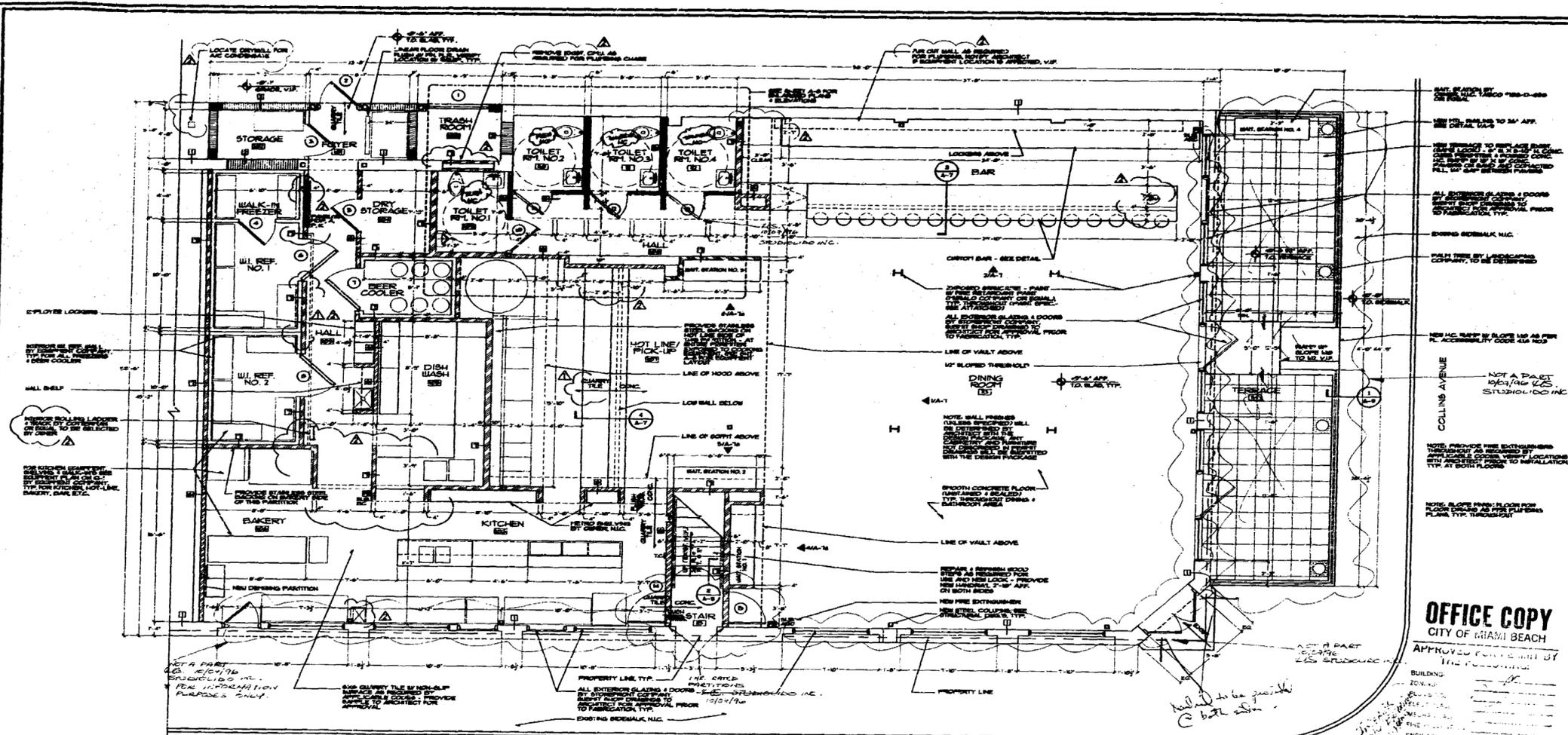
studiolido inc. • architecture • interiors • furniture • 940 Lincoln road • suite 314 • miami beach • florida 33139

STRUCTURAL ENGINEER
ED LANDERS
(305) 823-3938

M.E.P. ENGINEER
DAVID PUGA & ASSOCIATES
(305) 861-7700

SURVEYORS
ZURWELLE-WHITAKER, INC.
(305) 534-4658

EQUIPMENT BY ARROW INDUSTRIES
RALPH PINERO
(305) 635-6500



GROUND FLOOR PLAN
 SCALE: 1/4" = 1'-0"
 INTERIOR ELEVATIONS

PARTITION TYPES

[Symbol]	EXISTING 8" CEMENT WALL TO REMAIN - 1/2" SMOOTH SANDED BRUCCO FINISH ON INTERIOR OF WALLS, MATCH EXTERIOR AS REQUIRED
[Symbol]	NEW 8" CEMENT WALL, 1/2" SMOOTH SANDED BRUCCO FINISH ON INTERIOR
[Symbol]	NEW PARTITION - HTL. STUDS @ 16" O.C. WITH 1/2" GYPSUM BOARD ON BOTH SIDES
[Symbol]	NEW PARTITION - HTL. STUDS @ 16" O.C. WITH 1/2" GYPSUM BOARD ON BOTH SIDES
[Symbol]	NEW PARTITION - HTL. STUDS @ 16" O.C. WITH 1/2" GYPSUM BOARD ON BOTH SIDES
[Symbol]	NEW PARTITION - HTL. STUDS @ 16" O.C. WITH 1/2" GYPSUM BOARD ON BOTH SIDES
[Symbol]	NEW PARTITION - HTL. STUDS @ 16" O.C. WITH 1/2" GYPSUM BOARD ON BOTH SIDES
[Symbol]	NEW PARTITION - HTL. STUDS @ 16" O.C. WITH 1/2" GYPSUM BOARD ON BOTH SIDES
[Symbol]	NEW PARTITION - HTL. STUDS @ 16" O.C. WITH 1/2" GYPSUM BOARD ON BOTH SIDES

NOTES:

1. PROVIDE GUARDROCK WHERE REQUIRED FOR TILE INSTALLATION, UNLESS OTHERWISE NOTED
2. PROVIDE PAINT FINISH AS PER ARCHITECT/OWNER INSTRUCTIONS
3. DETAIL ALL JOINTS TO BE TYPED BY FABRICATOR, TYPE AND CORNERING PARTS. DETAIL ALL CORNER WALLS AND STAIRS AS PER TRADE/OWNER'S RECOMMENDATIONS. CORNERING AND OTHER ACCESSORIES TO BE GALV. STEEL.
4. USE 2" X 4" GALV. HTL. STUDS FOR PARTITIONS NOTED AS 4" HIGH PARTS. USE OTHER SIZES AS NEEDED TO ACCOMMODATE SPECIAL CONDITIONS.
5. PROVIDE FINISH FROM BACKING OVER PARTITION CONSTRUCTION WHERE PARTITION IS NOT TO COVER WALL. BACKING SHALL BE OVER 1/2" MIN. THICK. ETC. SEE PLAN.

RENOVATIONS TO:
BIG PINK
 157 Collins Avenue
 Miami Beach, Florida 33139

GROUND FLOOR/SITE PLAN

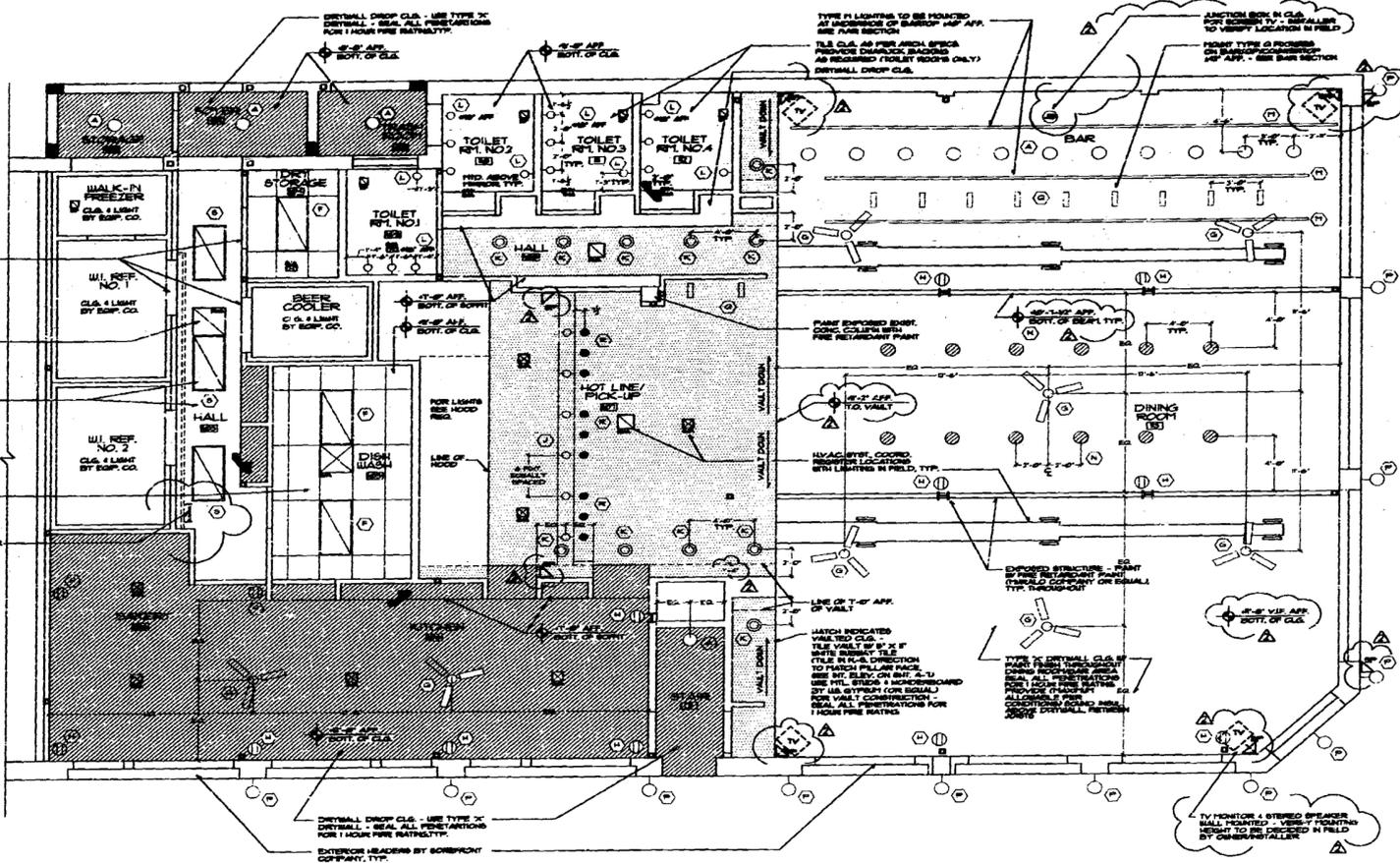
PROVISIONS:
 01-19-96
 02-07-96

STREET DATE: 07-08-96
 STREET CREDITED TO: BP
 TITLE: 1/4" = 1'-0"
 DRAWN BY: V.B.
 CHECKED BY: [Signature]

A-1

OFFICE COPY
 CITY OF MIAMI BEACH
 APPROVED FOR THE CITY BY
 [Signature]

BUILDING:
 [Signature]
 ELECTRICAL:
 [Signature]
 MECHANICAL:
 [Signature]
 ENGINEERING:
 [Signature]
 PUBLIC WORKS:
 [Signature]
 STRUCTURAL:
 [Signature]
 ACCESSIBILITY:
 [Signature]
 ELEVATOR:
 [Signature]



LIGHTING SYMBOLS

- ⊙ SURFACE MOUNTED UTILITY PICTURE (2'-0" DIA)
- ⊙ SURFACE MOUNTED PICTURE (2'-0" DIA)
- ⊙ TRACK LIGHTING
- ⊙ RECESSED CAN FIXTURE
- ⊙ GLASS TYPE 1 RECESSED VENTILATED PICTURE BALL BEFIT
- ⊙ RECESSED ALIGNMENT (2'-0" DIA) SEE ALL SCHEDULES
- ⊙ GLASS TYPE 2 RECESSED VENTILATED PICTURE BALL BEFIT
- ⊙ CEILING MOUNTED OUTLET FOR 1/2" DIA QUARTZ HALOGEN LIGHT FIXTURE TO BE PLACED 12" FROM WALL
- ⊙ CABLE LIGHT SYSTEM (2 VOLT)
- ⊙ RECESSED 12 VOLT FIXTURE UP INTERNAL TRANSFORMER
- ⊙ CHARGE FIXTURE (2 VOLT) IN SERVICE TRANSFORMER TO 120V SPECIAL RECESSED TRACKING
- ⊙ WIRE LIGHTING UNDER BARTOP
- ⊙ HUD SURFACE MOUNTED FIXTURE
- ⊙ EXTERIOR BREATHER LIGHT WALL SOURCE (2'-0" DIA)
- ⊙ BARTOP LIGHT FIXTURE TO MATCH BAR TOP (2'-0" DIA) SEE SCHEDULE
- ⊙ PENDANT MEAT LAMP (2'-0" DIA) SEE SCHEDULE

HVAC SYMBOLS

- ⊠ EXHAUST FAN
- ⊠ RETURN AIR REGISTER
- ⊠ SUPPLY AIR REGISTER
- ⊠ SPECIAL SUPPLY AIR REGISTER
- ⊠ EXHAUST EXHAUSTER
- ⊠ EXHAUST FAN
- ⊠ RETURN AIR REGISTER
- ⊠ SUPPLY AIR REGISTER
- ⊠ SPECIAL SUPPLY AIR REGISTER
- ⊠ EXHAUST EXHAUSTER

NOTE: FOR HVAC SYSTEM RECOMMENDATIONS AND SPECIFICATIONS SEE MECHANICAL DRAWING ELEVATOR.
 NOTE: HIGHT EXPOSED OVERHEAD AS HIGH AS POSSIBLE THROUGHOUT.
 NOTE: IN CASE OF DISCREPANCY, NOTIFY ARCHITECT PRIOR TO PROCEEDING.

OFFICE COPY
 CITY OF MIAMI BEACH

Approved for permit by:

BUILDING	_____
ZONING	_____
PLUMBING	_____
ELECTRICAL	_____
Mechanical	_____
FIRE & ALARM	_____
ENGINEERING	_____
PUBLIC WORKS	_____
STRUCTURAL	_____
ACCESSIBILITY	_____
ELEVATOR	_____

REFLECTED CEILING PLAN
 SCALE: 1/4" = 1'-0"

RENOVATIONS TO:
BIG PINK
 187 Collins Avenue
 Miami Beach, Florida 33139

**GROUND FLOOR
 REFL. CLG. PLAN**

PERMIT NO. 06-07-96

PROJECT DATE: 07-08-96

PROJECT LOCATION: 187 Collins Ave. Miami Beach, FL 33139

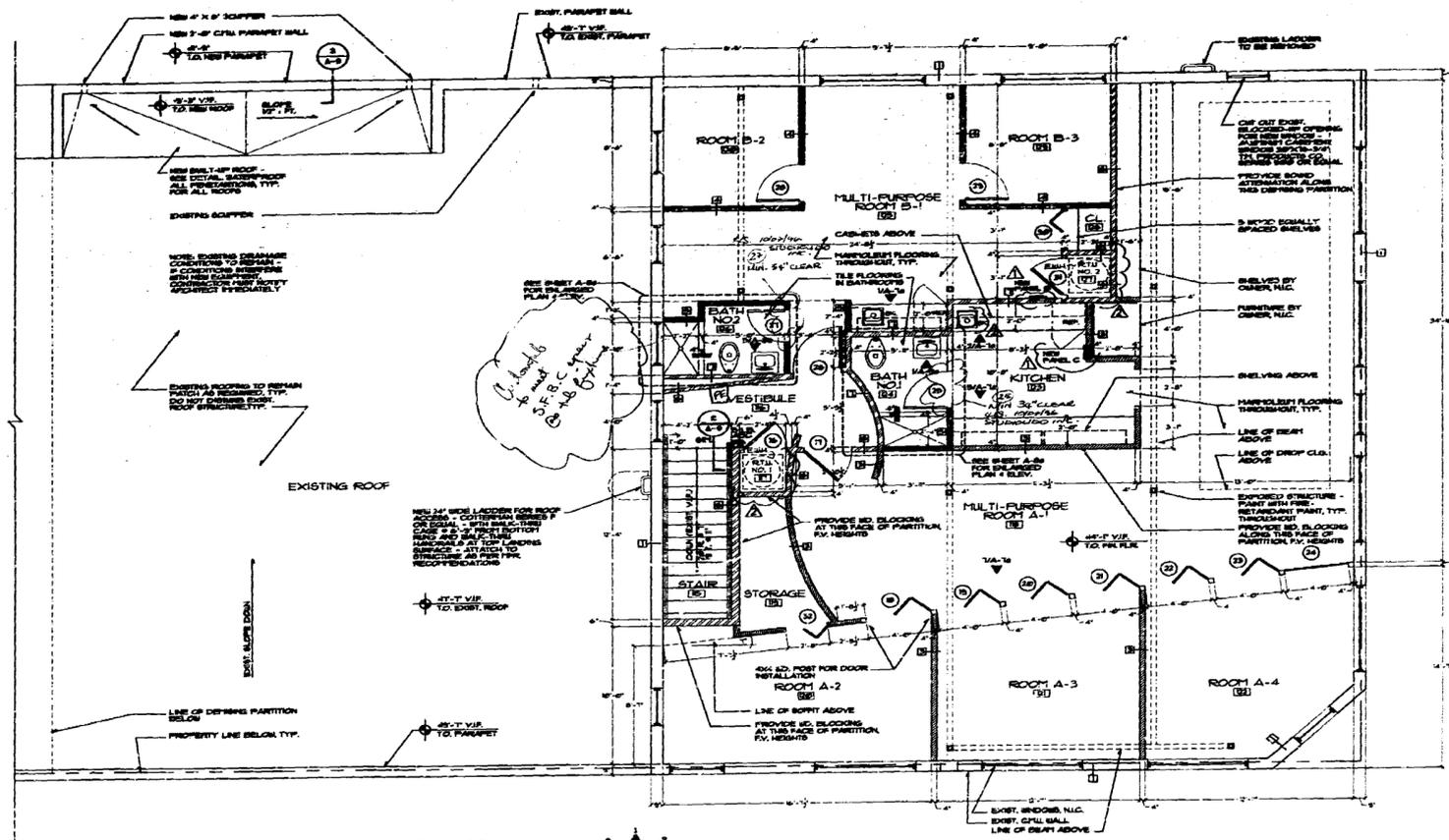
SCALE: 1/4" = 1'-0"

Drawn by: V.B.

Approved: _____

A-2

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⊕ **SECOND FLOOR PLAN**
SCALE: 1/4" = 1'-0"



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CITY OF MIAMI BEACH
APPROVED FOR PERMIT BY
THE FOLLOWING:

BUILDING:	
ZONING:	
PLANNING:	
ELECTRICAL:	
Mechanical:	
Fire/Police:	
Engineering:	
Public Works:	
Structural:	
Accessibility:	
Elevator:	

RENOVATIONS TO:
BIG PINK
157 Collins Avenue
Miami Beach, Florida 33139

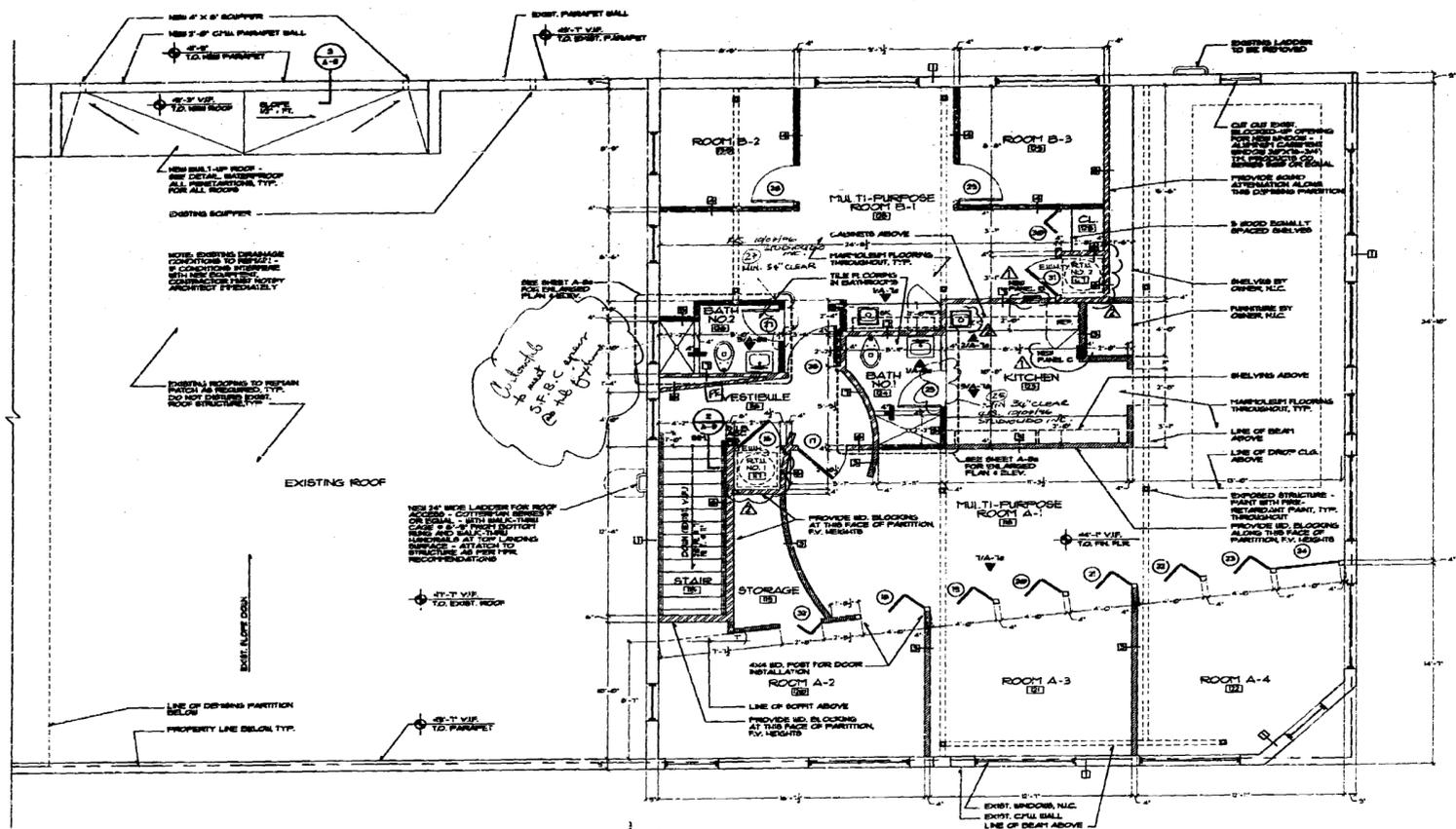
SECOND FLOOR PLAN

PERMIT NO. 07-19-96
08-07-96

PROJECT NO. 87-88-96
STRUCTURAL ENGINEER NAME
DATE 1/8/97
DRAWN BY V.B.
CHECKED

A-3

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INCLUDING PHOTOCOPYING, RECORDING,
OR BY ANY INFORMATION STORAGE AND
RETRIEVAL SYSTEM, WITHOUT THE
WRITTEN PERMISSION OF THE ARCHITECT.



⊕ SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"



OFFICE COPY
CITY OF MIAMI BEACH
APPROVED FOR PERMIT BY
THE FOLLOWING:

BUILDING:	_____
ZONING:	_____
PLUMBING:	_____
ELECTRICAL:	_____
Mechanical:	_____
FIRE PROTECTION:	_____
ENGINEERING:	_____
PUBLIC WORKS:	_____
STRUCTURAL:	_____
ACCESSIBILITY:	_____
ELEVATOR:	_____

RENOVATIONS TO:
BIG PINK
157 Collins Avenue
Miami Beach, Florida 33139

SECOND FLOOR PLAN

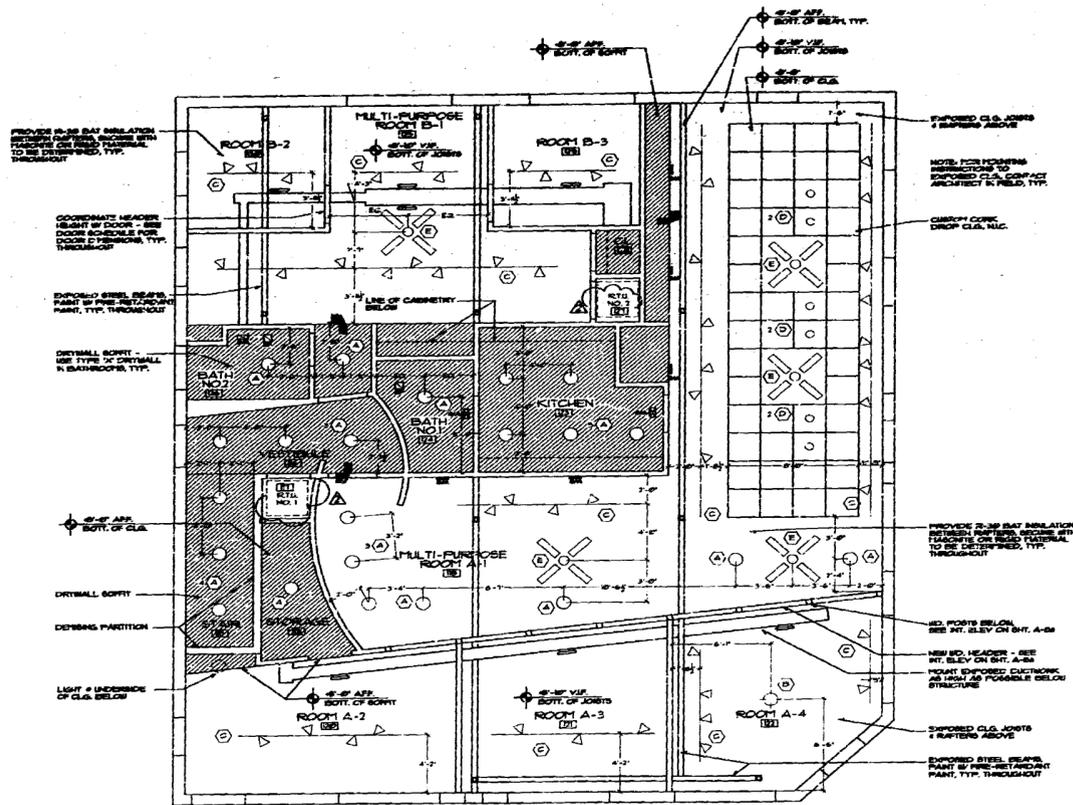
07-19-96
08-07-96

07-09-96
PROJECT CONSULTING NAME
SP
SCALE 1/4" = 1'-0"
DRAWN BY V.B.
APPROVED

[Signature]

A-3

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REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"

- LIGHTING SYMBOLS**
- (A) ○ SURFACE MOUNTED UTILITY FIXTURE (S-MU)
 - (B) ○ SURFACE MOUNTED RECESSED FIXTURE (S-RF)
 - (C) △ TRACK LIGHTING
 - (D) ○ RECESSED CAN FIXTURE
 - (E) ✕ CLG. PANEL TYPE II RECESSED CAN FIXTURE
- NOTE: SEE LIGHTING FIXTURE SCHEDULES ON SHEET A-10 FOR LIGHTING SPECIFICATIONS

- HVAC SYMBOLS**
- EXHAUST FAN
 - RETURN AIR REGISTER
 - SUPPLY AIR REGISTER
 - SPECIAL SUPPLY AIR REGISTER
 - SHIPPED CLG. JOISTS & RAFTERS ABOVE
 - EXPANDED STEEL REINFORCEMENT
- NOTE: FOR HVAC, SEE MECHANICAL DRAWINGS AND SPECIFICATIONS, SEE MECHANICAL DRAWINGS
- NOTE: FLOOR FINISH EXPANDED GRANITE AS HIGH AS POSSIBLE THROUGHOUT
- NOTE: IN CASE OF DISCREPANCY, NOTIFY ARCHITECT PRIOR TO PROCEEDING

OFFICE COPY
CITY OF MIAMI BEACH

APPROVED FOR PERMIT BY THE FOLLOWING:

BUILDING: _____
 ELECTRICAL: _____
 MECHANICAL: _____
 FIRE PREVENTION: _____
 ENGINEERING: _____
 PUBLIC WORKS: _____
 STRUCTURAL: _____
 ACCESSIBILITY: _____
 ELEVATOR: _____

RENOVATIONS TO:
BIG PINK
157 Collins Avenue
Miami Beach, Florida 33139

SECOND FLOOR
REFL. CLG. PLAN

PERMIT NO: 08-07-96

DATE: 07-08-96
 PROJECT CREDIT: DP
 SCALE: 1/4" = 1'-0"
 DRAWN BY: V.B.
 APPROVED: _____

A-4

Architectural general notes

DIVISION 1 - GENERAL REQUIREMENTS

- 1.1 **General Work:**
The work includes all work specified and everything of existing building areas of the structure. All work shall be done in a neat workmanlike manner and in accordance with all codes, rules and regulations and in accordance with the contract.
- 1.2 **Construction:**
The contractor shall be responsible for obtaining all applicable permits, licenses, and pay all necessary fees in performing this contract.
- 1.3 **Materials:**
The contractor shall obtain all materials and supplies through the project and comply with all requirements, safety standards and specifications and comply with the schedule of any and all applicable codes, rules and regulations. The contractor shall obtain all materials and supplies through the project and comply with all requirements, safety standards and specifications and comply with the schedule of any and all applicable codes, rules and regulations. The contractor shall obtain all materials and supplies through the project and comply with all requirements, safety standards and specifications and comply with the schedule of any and all applicable codes, rules and regulations.
- 1.4 **Method of Work:**
The contractor shall use the most appropriate method of work for the work to be performed. The contractor shall use the most appropriate method of work for the work to be performed. The contractor shall use the most appropriate method of work for the work to be performed.
- 1.5 **Subcontractors:**
The contractor shall provide a schedule of subcontractors for the project. The contractor shall provide a schedule of subcontractors for the project. The contractor shall provide a schedule of subcontractors for the project.
- 1.6 **Shop Drawings, Fabrication and Erection:**
The contractor shall provide shop drawings for all steel work, including but not limited to, steel beams, columns, girders, joists, and bracing. The contractor shall provide shop drawings for all steel work, including but not limited to, steel beams, columns, girders, joists, and bracing. The contractor shall provide shop drawings for all steel work, including but not limited to, steel beams, columns, girders, joists, and bracing.
- 1.7 **Construction Schedule:**
The contractor shall provide a construction schedule for the project. The contractor shall provide a construction schedule for the project. The contractor shall provide a construction schedule for the project.
- 1.8 **Quality Control:**
The contractor shall provide a quality control plan for the project. The contractor shall provide a quality control plan for the project. The contractor shall provide a quality control plan for the project.
- 1.9 **Shop Drawings:**
The contractor shall provide shop drawings for all steel work, including but not limited to, steel beams, columns, girders, joists, and bracing. The contractor shall provide shop drawings for all steel work, including but not limited to, steel beams, columns, girders, joists, and bracing. The contractor shall provide shop drawings for all steel work, including but not limited to, steel beams, columns, girders, joists, and bracing.

DIVISION 2 - STEEL WORK

- 2.1 **Steelwork:**
2.1.1 **Fabrication:** Steelwork shall be fabricated in accordance with the contract. Steelwork shall be fabricated in accordance with the contract. Steelwork shall be fabricated in accordance with the contract.
- 2.1.2 **Installation:** Steelwork shall be installed in accordance with the contract. Steelwork shall be installed in accordance with the contract. Steelwork shall be installed in accordance with the contract.
- 2.1.3 **Finishing:** Steelwork shall be finished in accordance with the contract. Steelwork shall be finished in accordance with the contract. Steelwork shall be finished in accordance with the contract.
- 2.1.4 **Painting:** Steelwork shall be painted in accordance with the contract. Steelwork shall be painted in accordance with the contract. Steelwork shall be painted in accordance with the contract.
- 2.1.5 **Welding:** Steelwork shall be welded in accordance with the contract. Steelwork shall be welded in accordance with the contract. Steelwork shall be welded in accordance with the contract.
- 2.1.6 **Inspection:** Steelwork shall be inspected in accordance with the contract. Steelwork shall be inspected in accordance with the contract. Steelwork shall be inspected in accordance with the contract.
- 2.1.7 **Testing:** Steelwork shall be tested in accordance with the contract. Steelwork shall be tested in accordance with the contract. Steelwork shall be tested in accordance with the contract.
- 2.1.8 **Documentation:** Steelwork shall be documented in accordance with the contract. Steelwork shall be documented in accordance with the contract. Steelwork shall be documented in accordance with the contract.
- 2.1.9 **Quality Control:** Steelwork shall be quality controlled in accordance with the contract. Steelwork shall be quality controlled in accordance with the contract. Steelwork shall be quality controlled in accordance with the contract.
- 2.2 **Site Conditions:**
The contractor shall be responsible for obtaining all applicable permits, licenses, and pay all necessary fees in performing this contract.
- 2.3 **Material and Workmanship:**
The contractor shall provide a schedule of subcontractors for the project. The contractor shall provide a schedule of subcontractors for the project. The contractor shall provide a schedule of subcontractors for the project.

DIVISION 3 - WOOD AND PLASTER

- 3.1 **Woodwork:**
3.1.1 **Installation:** Woodwork shall be installed in accordance with the contract. Woodwork shall be installed in accordance with the contract. Woodwork shall be installed in accordance with the contract.
- 3.1.2 **Finishing:** Woodwork shall be finished in accordance with the contract. Woodwork shall be finished in accordance with the contract. Woodwork shall be finished in accordance with the contract.
- 3.1.3 **Painting:** Woodwork shall be painted in accordance with the contract. Woodwork shall be painted in accordance with the contract. Woodwork shall be painted in accordance with the contract.
- 3.1.4 **Welding:** Woodwork shall be welded in accordance with the contract. Woodwork shall be welded in accordance with the contract. Woodwork shall be welded in accordance with the contract.
- 3.1.5 **Inspection:** Woodwork shall be inspected in accordance with the contract. Woodwork shall be inspected in accordance with the contract. Woodwork shall be inspected in accordance with the contract.
- 3.1.6 **Testing:** Woodwork shall be tested in accordance with the contract. Woodwork shall be tested in accordance with the contract. Woodwork shall be tested in accordance with the contract.

DIVISION 4 - GENERAL AND SYSTEMS PROVISIONS

- 4.1 **General:**
4.1.1 **Installation:** General provisions shall be installed in accordance with the contract. General provisions shall be installed in accordance with the contract. General provisions shall be installed in accordance with the contract.
- 4.1.2 **Finishing:** General provisions shall be finished in accordance with the contract. General provisions shall be finished in accordance with the contract. General provisions shall be finished in accordance with the contract.
- 4.1.3 **Painting:** General provisions shall be painted in accordance with the contract. General provisions shall be painted in accordance with the contract. General provisions shall be painted in accordance with the contract.
- 4.1.4 **Welding:** General provisions shall be welded in accordance with the contract. General provisions shall be welded in accordance with the contract. General provisions shall be welded in accordance with the contract.
- 4.1.5 **Inspection:** General provisions shall be inspected in accordance with the contract. General provisions shall be inspected in accordance with the contract. General provisions shall be inspected in accordance with the contract.
- 4.1.6 **Testing:** General provisions shall be tested in accordance with the contract. General provisions shall be tested in accordance with the contract. General provisions shall be tested in accordance with the contract.

DIVISION 5 - DOORS AND WINDOWS

- 5.1 **Doors and Windows:**
5.1.1 **Installation:** Doors and windows shall be installed in accordance with the contract. Doors and windows shall be installed in accordance with the contract. Doors and windows shall be installed in accordance with the contract.
- 5.1.2 **Finishing:** Doors and windows shall be finished in accordance with the contract. Doors and windows shall be finished in accordance with the contract. Doors and windows shall be finished in accordance with the contract.
- 5.1.3 **Painting:** Doors and windows shall be painted in accordance with the contract. Doors and windows shall be painted in accordance with the contract. Doors and windows shall be painted in accordance with the contract.
- 5.1.4 **Welding:** Doors and windows shall be welded in accordance with the contract. Doors and windows shall be welded in accordance with the contract. Doors and windows shall be welded in accordance with the contract.
- 5.1.5 **Inspection:** Doors and windows shall be inspected in accordance with the contract. Doors and windows shall be inspected in accordance with the contract. Doors and windows shall be inspected in accordance with the contract.
- 5.1.6 **Testing:** Doors and windows shall be tested in accordance with the contract. Doors and windows shall be tested in accordance with the contract. Doors and windows shall be tested in accordance with the contract.

DIVISION 6 - FINISHES

- 6.1 **Interior Finishes:**
6.1.1 **Installation:** Interior finishes shall be installed in accordance with the contract. Interior finishes shall be installed in accordance with the contract. Interior finishes shall be installed in accordance with the contract.
- 6.1.2 **Finishing:** Interior finishes shall be finished in accordance with the contract. Interior finishes shall be finished in accordance with the contract. Interior finishes shall be finished in accordance with the contract.
- 6.1.3 **Painting:** Interior finishes shall be painted in accordance with the contract. Interior finishes shall be painted in accordance with the contract. Interior finishes shall be painted in accordance with the contract.
- 6.1.4 **Welding:** Interior finishes shall be welded in accordance with the contract. Interior finishes shall be welded in accordance with the contract. Interior finishes shall be welded in accordance with the contract.
- 6.1.5 **Inspection:** Interior finishes shall be inspected in accordance with the contract. Interior finishes shall be inspected in accordance with the contract. Interior finishes shall be inspected in accordance with the contract.
- 6.1.6 **Testing:** Interior finishes shall be tested in accordance with the contract. Interior finishes shall be tested in accordance with the contract. Interior finishes shall be tested in accordance with the contract.

OFFICE COPY
CITY OF MIAMI BEACH
APPROVED FOR SUBMIT BY
[Signature]
BUILDING _____
ZONING _____
PLANNING _____
ENGINEERING _____
PUBLIC WORKS _____
STRUCTURAL _____
ACCESSIBILITY _____
ELEVATOR _____

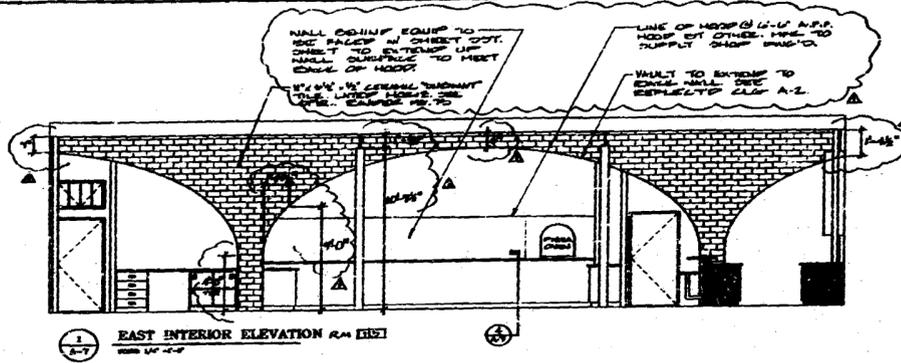
RENOVATIONS TO:
BIG PINK
157 Collins Avenue
Miami Beach, Florida 33139

GENERAL NOTES

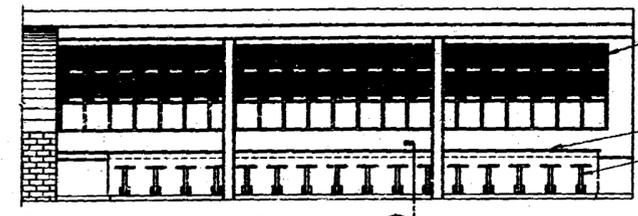
REVISIONS

DATE: 07-01-06
PROJECT: 0607710-000
SCALE: 1/8" = 1'-0"
DRAWN BY: V.B.
CHECKED BY:

A-6



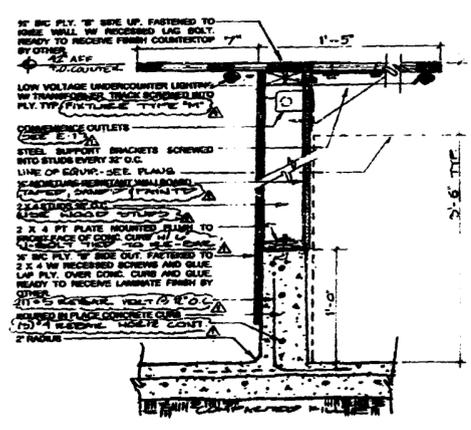
1 EAST INTERIOR ELEVATION
SCALE 1/4" = 1'-0"



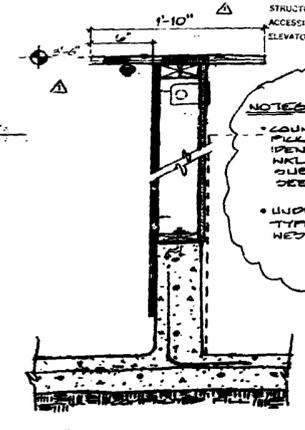
2 SOUTH INTERIOR ELEVATION
SCALE 1/4" = 1'-0"

WALL TO BE GENERAL MOUNT
TYPE LAMINATE FINISH
SEE LAMINATE FINISH
DETAILS 211 A-L

WALL TO EXTEND TO
EDGE WALL SEE
DETAILS 211 A-L



3 BAR WALL SECTION
SCALE 1/4" = 1'-0"



4 PICK-UP WALL SECTION
SCALE 1/4" = 1'-0"

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CITY OF MIAMI BEACH

APPROVED FOR PERMIT BY THE FOLLOWING:

BUILDING:	
ZONING:	
PLANNING:	
ELECTRICAL:	
Mechanical:	
FIRE & SAFETY:	
ENGINEERING:	
PUBLIC WORKS:	
STRUCTURAL:	
ACCESSIBILITY:	
ELEVATOR:	

NOTES

COUNTER DETAIL @
PICK-UP WALL TO BE
IDENTICAL TO BAR
WALL EXCEPT PLY.
SIDE TOP TO BE 1/2" H.
SEE @

UNDERCOUNTER LIGHTING
TYPE "M" TO BE ON
WEST SIDE OF WALL ONLY.

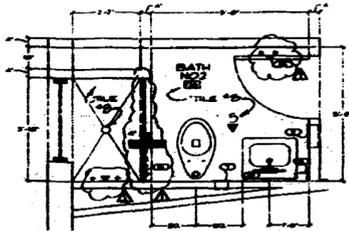
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BIG PINK
187 Collins Avenue
Miami Beach, Florida 33139

INT. ELEVATIONS
AND DETAILS

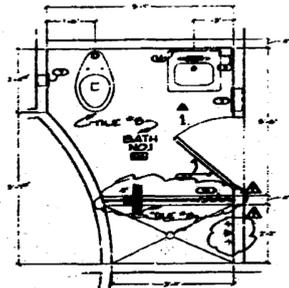
DATE: 07-20-80
PROJECT: RESTORATION OF
BY:
SCALE: 1/4" = 1'-0"
DRAWN BY: V.B.
CHECKED BY:

A-7



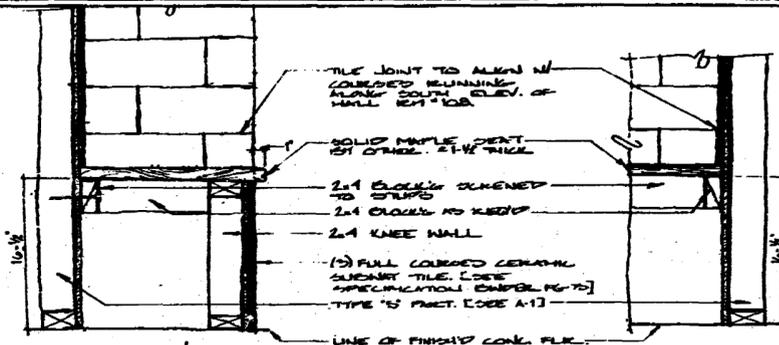
BATHROOM NO.1

SCALE: 1/2" = 1'-0"



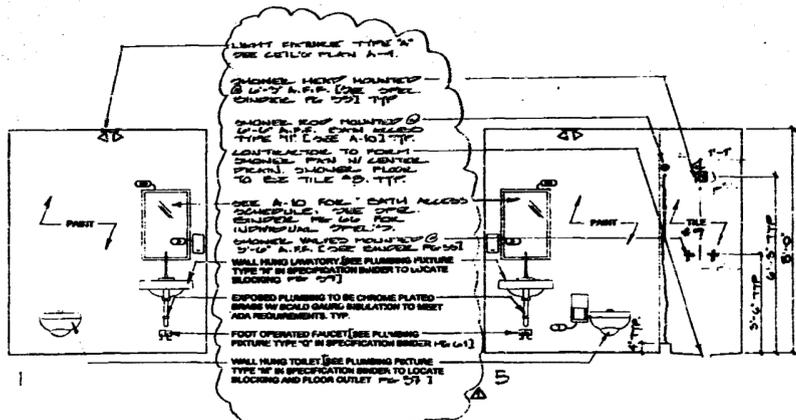
BATHROOM NO.2

SCALE: 1/2" = 1'-0"



B BENCH SECTION
SCALE: 2" = 1'-0"

A A BENCH SECTION
SCALE: 2" = 1'-0"



INTERIOR ELEVATIONS

SCALE: 1/2" = 1'-0"

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APPROVED FOR PERMIT BY THE FOLLOWING:

BUILDING:	
PLUMBING:	
ELECTRICAL:	
Mechanical:	
ENGINEERING:	
PUBLIC WORKS:	
STRUCTURAL:	
ACCESSIBILITY:	
ELEVATOR:	

NOTES

- SEE A-1 FOR PARTITION LEGEND
- SEE A-18 FOR PLUMBING FIXTURE SCHEDULE
- SEE A-19 FOR BATHROOM ACCESSORY SCHEDULE
- SEE SPECIFICATION BINDER FOR BLOCKING REQUIREMENTS FOR EACH ITEM
- SEE FINISH SCHEDULE FOR FINISHES, COORDINATION, FINISH AND COLOR, TYPE, ETC. (REFER TO T-2)
- SEE A-4 FOR FIXTURE MOUNTING HEIGHTS

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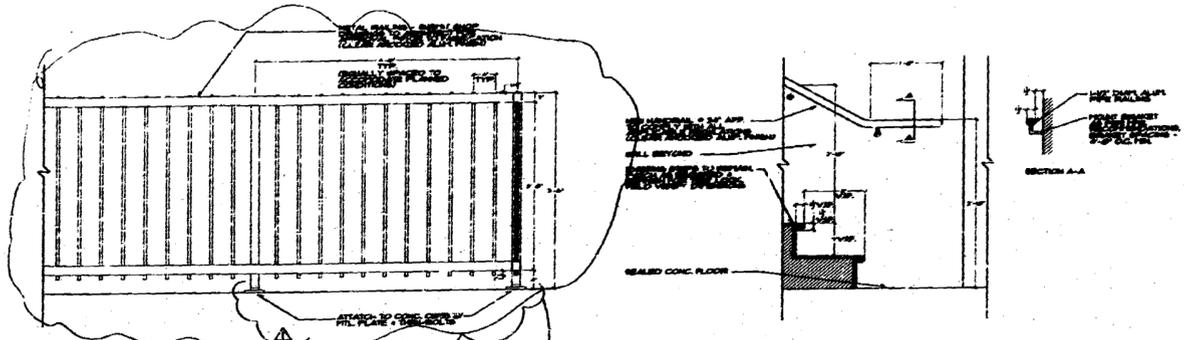
RENOVATIONS TO
BIG PINK
157 Collins Avenue
Miami Beach, Florida 33139

INT. ELEVATIONS
& DETAILS

DATE: 17 JULY 1996

PROJECT: 97-00-96
AS NOTED
BY: V.B.

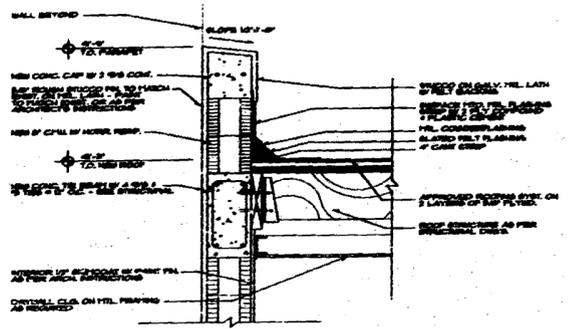
A-8a



1
A-9
RAILING DETAIL
SCALE 1" = 1'-0"

Not part of this permit

2
A-9
RISER/RAILING DETAIL
SCALE 1" = 1'-0"



3
A-9
PARAPET DETAIL
SCALE 1" = 1'-0"

OFFICE COPY
CITY OF MIAMI BEACH

Approved for Permit by _____
Date: _____

BUILDING	_____
ZONING	_____
PLUMBING	_____
ELECTRICAL	_____
Mechanical	_____
Fire Protection	_____
Structural	_____
Accessibility	_____
ELEVATOR	_____

RENOVATIONS TO
BIG PINK
157 Collins Avenue
Miami Beach, Florida 33139

DETAILS

Permit No. **07-19-96**

Project Code/Title Code
BP

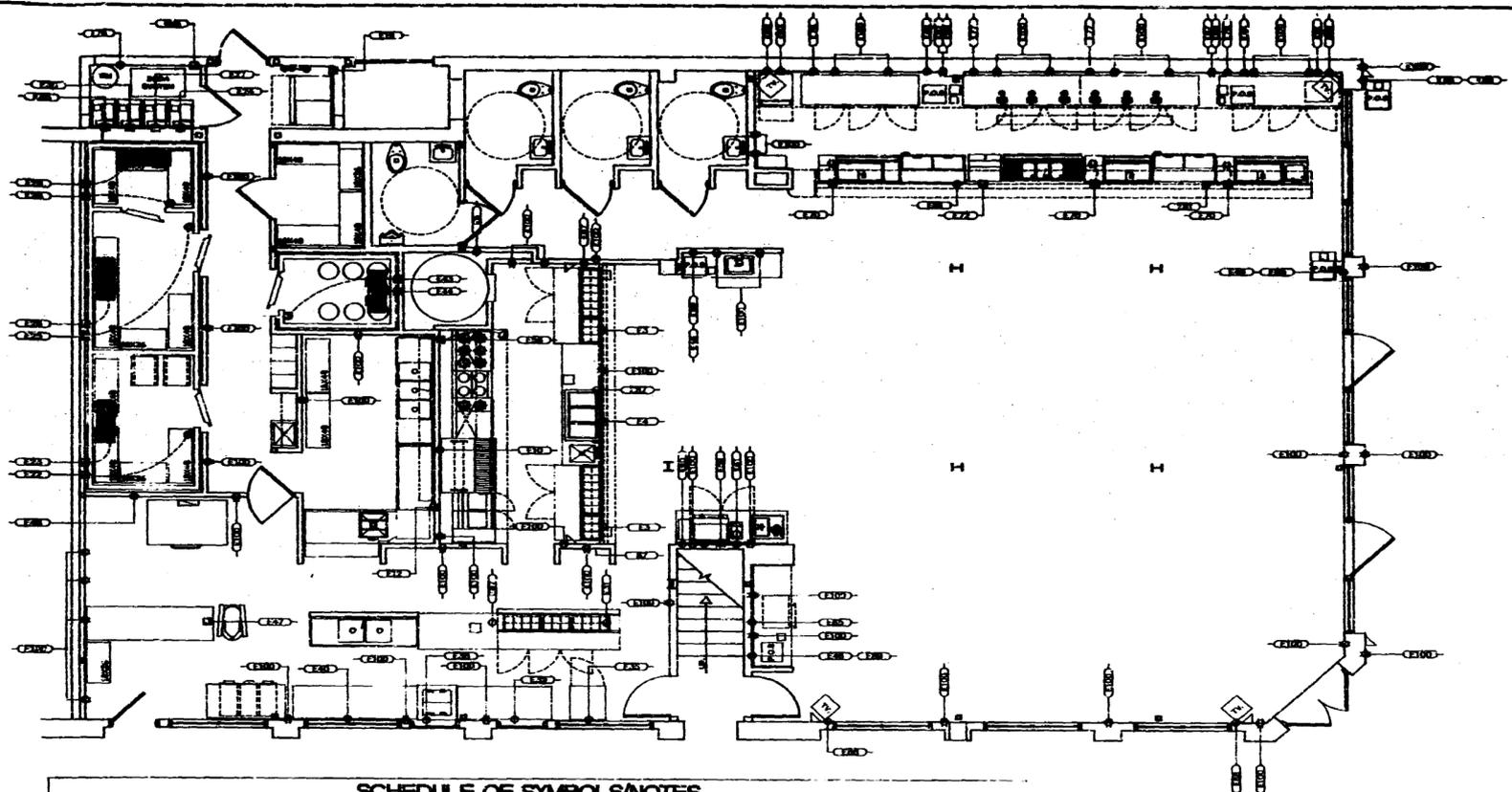
Scale AS NOTED

Drawn by V.B.

Checked by _____

A-9

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SCHEDULE OF SYMBOLS/NOTES

E-3 = 120V/1PH/60Hz 1/3 HP. +4" AFF.	E-70 = 120V/1PH/60Hz 11.5 AMPS (EACH) +12" AFF.
E-4 = 208-230V/1PH/60Hz 3/3.7. +4" AFF.	E-72 = 115-230V/1PH/60Hz 2 KW. +12" AFF.
E-5 = 120V/1PH/60Hz 20 AMPS. +12" AFF.	E-75 = (EQUIPMENT BY OTHERS VERIFY ELECTRICAL REQUIREMENTS WITH SUPPLIER)
E-10 = 120V/1PH/60Hz 1/20 HP. +12" AFF.	E-77 = 120V/1PH/60Hz 1/3 HP. +12" AFF.
E-12 = 200-230V/1PH/60Hz 50 AMPS. (1 HP.) +12" AFF.	E-78 = 120V/1PH/60Hz 1/3 HP. +12" AFF.
E-18 = 208-230V/1PH/60Hz 20 AMPS. +80" AFF.	E-81 = 120V/1PH/60Hz 1/3 HP. +48" AFF.
E-22 = 120V/1PH/60Hz 20 AMPS. +108" AFF. (FOR LIGHT ETC.)	E-83 = 120V/1PH/60Hz 1/2 HP. +12" AFF.
E-23 = 208V/1PH/60Hz 20 AMPS. +108" AFF. (COOLER COIL)	E-86 = (EQUIPMENT BY OTHERS VERIFY ELECTRICAL REQUIREMENTS WITH SUPPLIER)
E-24 = 208V/3PH/60Hz 1 HP. +108" AFF. (REMOTE COMPRESSOR)	E-87 = COORDINATE INSTALLATION AS REQ.
E-25 = 120V/1PH/60Hz 20 AMPS. +108" AFF. (FOR LIGHT ETC.)	E-88 = COORDINATE INSTALLATION AS REQ.
E-28 = 120V/1PH/60Hz 20 AMPS. +108" AFF. (COOLER COIL)	E-89 = COORDINATE INSTALLATION AS REQ.
E-27 = 208V/3PH/60Hz 1 HP. +108" AFF. (REMOTE COMPRESSOR)	E-91 = 120V/1PH/60Hz 20 AMPS. +48" AFF. (DEDICATED CIRCUIT)
E-28 = 120V/1PH/60Hz 20 AMPS. +108" AFF. (FOR LIGHT ETC.)	E-100 = 120V/1PH/60Hz 20 AMPS. (UTILITY) +48" AFF.
E-29 = 120V/1PH/60Hz 20 AMPS. +108" AFF. (FREEZER COIL)	
E-30 = 208V/3PH/60Hz 1 HP. +108" AFF. (REMOTE COMPRESSOR)	
E-31 = 120V/1PH/60Hz 1/4 HP. +4" AFF.	
E-35 = 120V/1PH/60Hz 1/4 HP. +60" AFF.	
E-38 = 120V/1PH/60Hz 1/5 HP. +12" AFF.	
E-39 = 120V/1PH/60Hz 20 AMPS. +48" AFF.	
E-40 = 120V/1PH/60Hz 20 AMPS. +48" AFF.	
E-43 = 120V/1PH/60Hz 20 AMPS. +108" AFF. (FOR LIGHT ETC.)	
E-44 = 208V/1PH/60Hz 20 AMPS. +108" AFF. (COOLER COIL)	
E-45 = 208V/3PH/60Hz 1 HP. +108" AFF. (REMOTE COMPRESSOR)	
E-48 = 120V/1PH/60Hz 20 AMPS. +48" AFF. (DEDICATED CIRCUIT)	
E-47 = 230V/1PH/60Hz 2 HP. +4" AFF.	
E-46 = 120V/1PH/60Hz 1/3 HP. (EACH) +36/88" AFF.	
E-56 = 120V/1PH/60Hz 20 AMPS. HOOD LIGHTS JB. +108" AFF. ON & OFF SWITCH MOUNT +80" AFF. W/ANSUL FIRE SUPP. SYSTEM	
E-58 = 120V/1PH/60Hz 1/5 HP. +12" AFF.	
E-59 = 120V/1PH/60Hz 20 AMPS. +48" AFF.	
E-60 = 120V/1PH/60Hz 20 AMPS. +48" AFF.	
E-61 = 120V/1PH/60Hz 20 AMPS. +48" AFF.	
E-65 = 120V/1PH/60Hz 7.5 AMPS. (800 WATTS.) +48" AFF.	

LEGEND

○	NEW WIRE
○	EXIST. WIRE
○	NEW CONDUIT
○	EXIST. CONDUIT
○	NEW GROUND
○	EXIST. GROUND
○	NEW WIRE IN CONDUIT
○	EXIST. WIRE IN CONDUIT
○	NEW WIRE IN WALL
○	EXIST. WIRE IN WALL
○	NEW WIRE IN CEILING
○	EXIST. WIRE IN CEILING
○	NEW WIRE IN FLOOR
○	EXIST. WIRE IN FLOOR
○	NEW WIRE IN CHASE
○	EXIST. WIRE IN CHASE
○	NEW WIRE IN RACEWAY
○	EXIST. WIRE IN RACEWAY
○	NEW WIRE IN TRUNKING
○	EXIST. WIRE IN TRUNKING
○	NEW WIRE IN CABLE TRAY
○	EXIST. WIRE IN CABLE TRAY
○	NEW WIRE IN DUCT
○	EXIST. WIRE IN DUCT
○	NEW WIRE IN TUBING
○	EXIST. WIRE IN TUBING
○	NEW WIRE IN UNFINISHED SPACE
○	EXIST. WIRE IN UNFINISHED SPACE
○	NEW WIRE IN FINISHED SPACE
○	EXIST. WIRE IN FINISHED SPACE
○	NEW WIRE IN CONCEALED SPACE
○	EXIST. WIRE IN CONCEALED SPACE
○	NEW WIRE IN OPEN SPACE
○	EXIST. WIRE IN OPEN SPACE
○	NEW WIRE IN UNIDENTIFIED SPACE
○	EXIST. WIRE IN UNIDENTIFIED SPACE

- ELECTRICAL NOTES:**
- THIS DRAWING LOCATES ELECTRICAL POINTS OF CONNECTION FOR EACH ITEM OF FOOD SERVICE EQUIPMENT. THE DESIGN OF SYSTEMS TO ACCOMMODATE THIS REQUIREMENTS IS BY OTHERS AND IS TO BE IN ACCORDANCE WITH ALL LOCAL CODES AND MEET THE APPROVAL OF ALL GOVERNING AUTHORITIES. LOCATION, SIZE AND HEIGHTS ABOVE FLOOR ARE APPROXIMATELY.
 - ALL MAIN SWITCHES, SAFETY CUT OUTS, FUSES, BOXES, DISCONNECTS SWITCHES AND/OR OTHERS ELECTRICAL CONTROLS, FITTINGS AND CONNECTIONS IN KITCHEN AND OTHER AREAS SHALL BE FURNISHED AND INSTALLED BY MECHANICAL (ELECTRICAL) CONTRACTORS.
 - FIRE PROTECTION SYSTEMS SHALL BE WIRED TO THE ELECTRICAL EMERGENCY SERVICE. ALL ELECTRICAL CONTROL SWITCHES REQUIRED FOR VENT EXHAUST AND FIRE PROTECTION SYSTEMS SHALL BE FURNISHED AND INSTALLED BY OTHERS UNLESS SPECIFIED OTHERWISE.
 - ALL ELECTRICAL WIRING CONNECTION CONDUIT AND EXTERNAL CONNECTION FROM POINT OF CONNECTION ON EQUIPMENT TO HOUSE-IN POINT AS SHOWN ON THESE PLANS WILL BE DONE BY MECHANICAL (ELECTRICAL) CONTRACTOR.
 - UNLESS OTHERWISE IS SPECIFIED NOTED ALL WIRING METHODS EXCEEDING 1 HP. OR 3 KW. HEATED ELEMENTS SHALL BE CONNECTED TO 2 PHASE CURRENT AND SHALL HAVE OVERLOAD PROTECTORS PROVIDED BY ELECTRICAL CONTRACTORS.
 - ONLY AND THIS DRAWING MUST BE USED IN CONJUNCTION WITH ELECTRICAL DRAWINGS FOR OTHERS REQUIRED UTILITIES.
 - PROVIDE COMPUTER GRADE CLEAN GROUND SERVICE FOR ELECTRONIC CASH REGISTERS.

OFFICE COPY
CITY OF MIAMI BEACH

Approved for permit by:

BUILDING	_____
PLUMBING	_____
ELECTRICAL	_____
Mechanical	_____
Fire	_____
Public Works	_____
Structural	_____
Accessibility	_____
Elevator	_____



2886 N.W. 85TH STREET
MIAMI, FLORIDA 33148 U.S.A.
PHONE 530-8800
FAX 530-8800

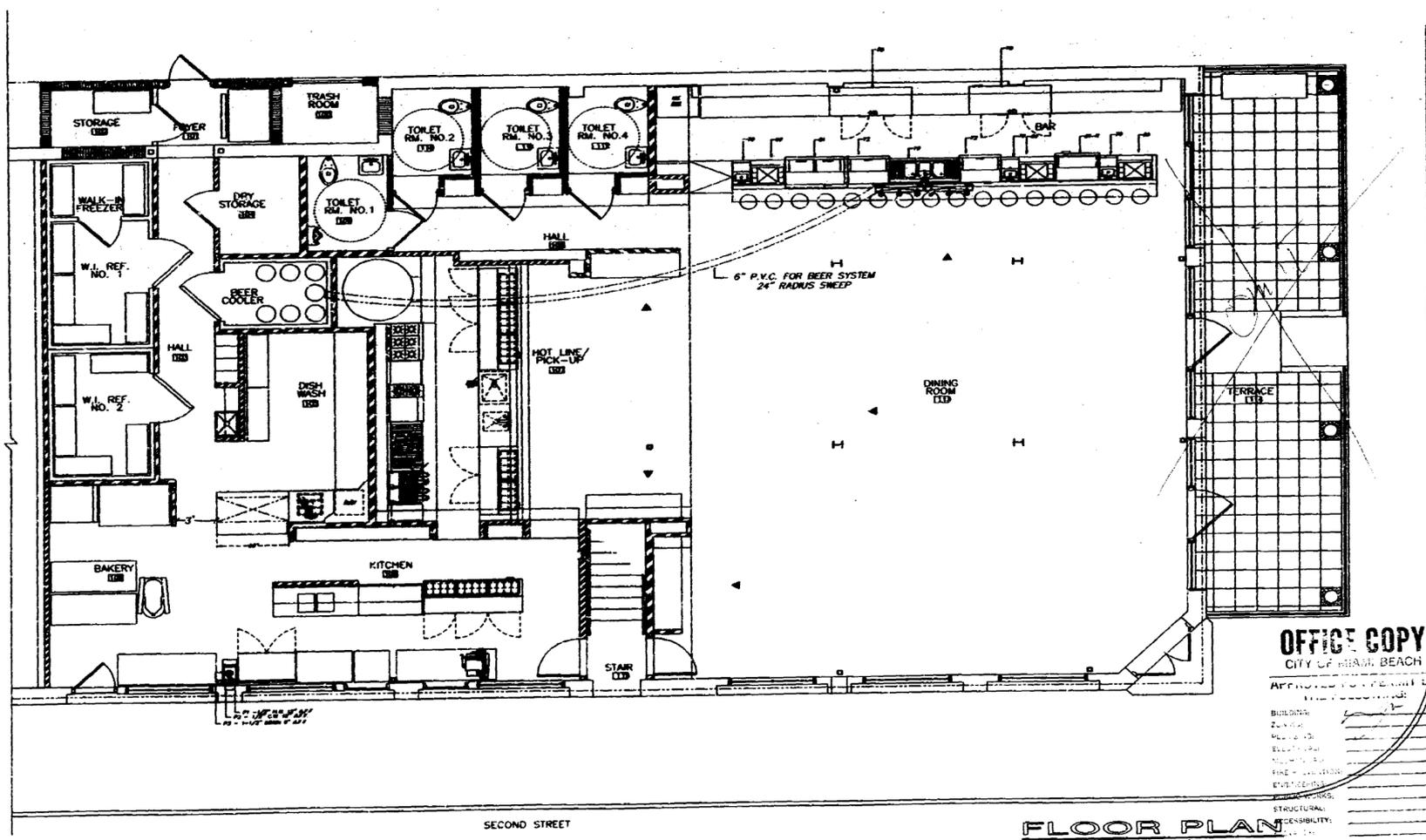
DATE	DESCRIPTION NO.

BIG PINK

DATE: 9-3-88
SCALE: 1/4"=1'-0"
DRAWN BY: RPT
JOB # 29621

**ELECTRICAL
ROUGH-IN**

Q-3



COLLINS AVENUE

REV.	DATE	BY

JOB NAME :
BIG PINK
 COLLINS AVE. & SECOND STREET

LEE EQUIPMENT CO.
 1000 PEMBROKE ROAD
 HALLANDALE, FLORIDA 33008 USA
 Tel #: (954) 486-7500
 Fax #: (954) 486-7888

DATE :
 07/29/96
DRAWING #:
 729-96R
FOOD SERVICE DESIGNER:
 J. BRANDT

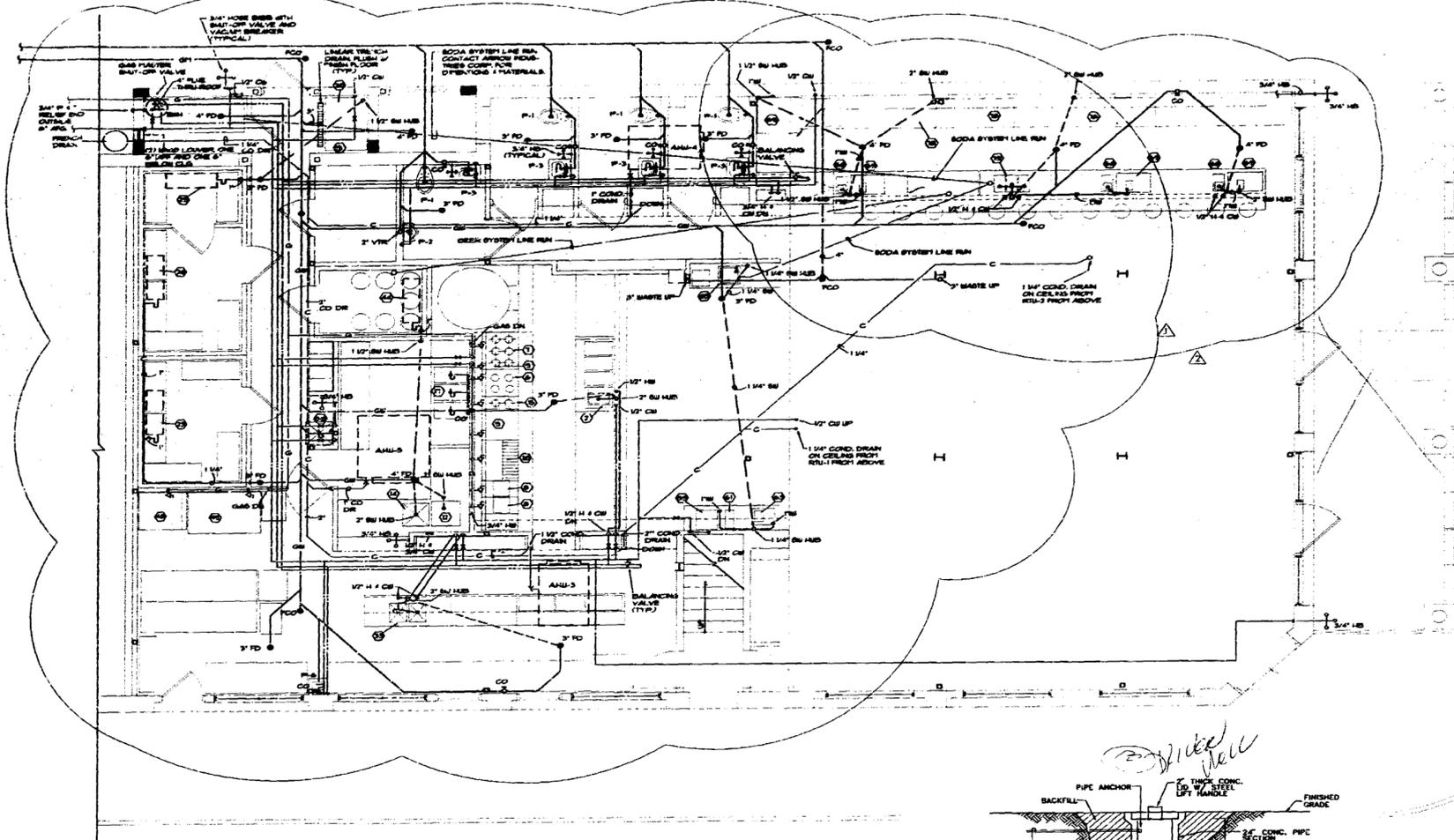
EQUIPMENT LAYOUT
K-2
 SHEET 2 OF 2

OFFICE COPY
 CITY OF BEACH BEACH
 APPROVED FOR PERMIT

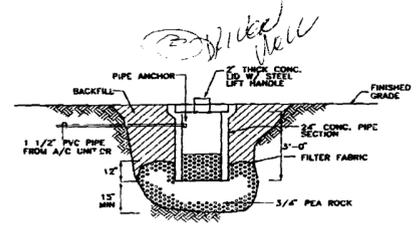
BUILDING	
ZONING	
MECHANICAL	
ELECTRICAL	
PLUMBING	
FIRE PROTECTION	
ENVIRONMENTAL	
WORKS	
STRUCTURAL	
DESIGN	

FLOOR PLAN
 SCALE: 1/4" = 1'-0"

○ CAD. BY J. RAUGH LEE EQUIPMENT COMPANY ○ ○ ○




PLUMBING PLAN
 SCALE: 1/4" = 1'-0" GROUND FLOOR



COND. FRENCH DRAIN DETAIL
 N.T.S.

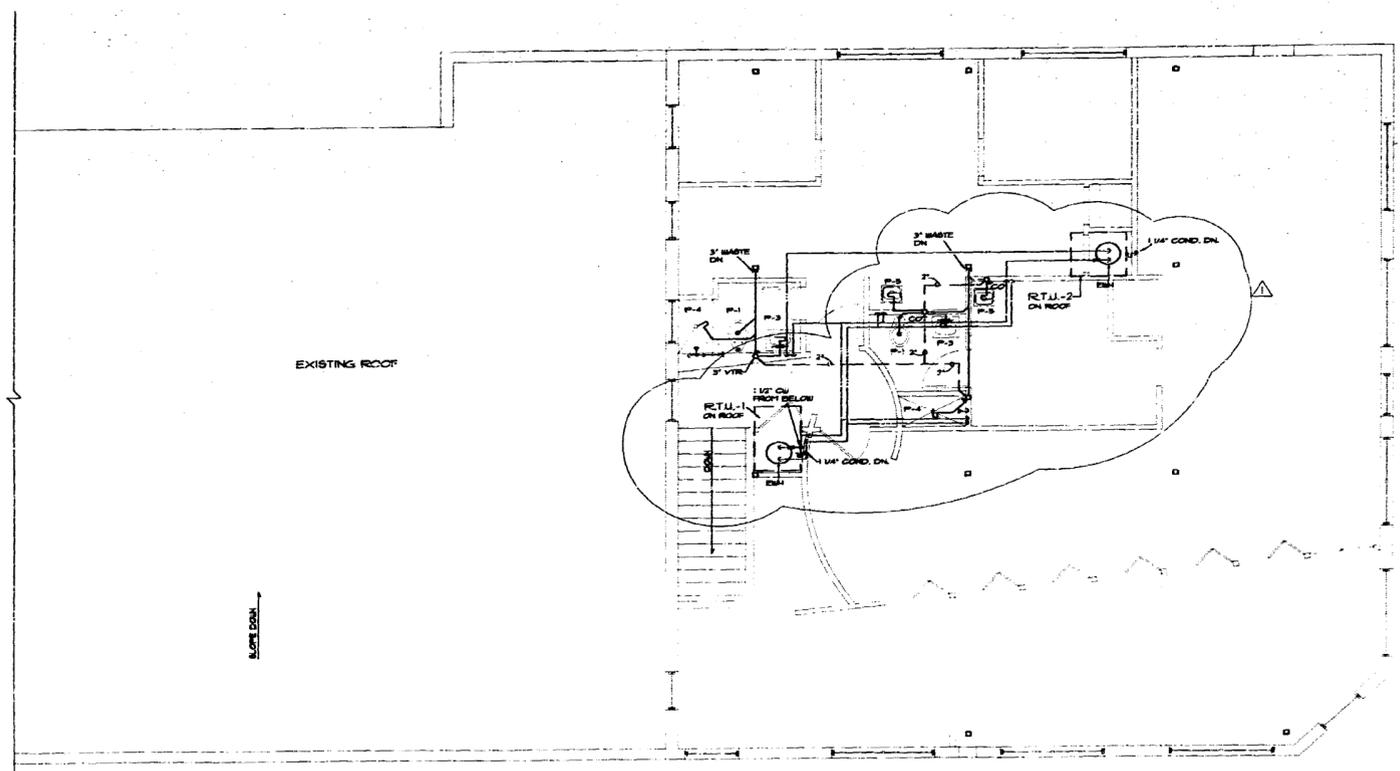
OFFICE COPY
 CITY OF MIAMI BEACH

APPROVED FOR PERMIT BY
 (Signature)
 BUILDING
 ELECTRICAL
 MECHANICAL
 FIRE & ALARM
 ENGINEERING
 PUBLIC WORKS
 STRUCTURAL
 ACCESSIBILITY
 Etc.


Page and Associates, Inc.
 Engineers/Consultants
 # 22 000513
 4870 S.W. 72 Avenue, #107
 Miami, Florida 33155
 (305) 681-7700

RENOVATIONS TO: BIG PINK 157 Collins Avenue Miami Beach, Florida 33139
GROUND FLOOR PLUMBING PLAN
REVISIONS: 8-8-96 8-16-96
Print date: 07-08-96 Project code: 16-1000 Scale: BP Drawn by: J/Cat-07 Checked by:

P-1




PLUMBING PLAN
 SCALE: 1/4" = 1'-0" SECOND FLOOR

OFFICE COPY
CITY OF MIAMI BEACH

Approved for record by
the following:

- DESIGNER: 
- PROJECT ENGINEER: _____
- INSPECTOR: _____
- PLUMBER: _____
- ELECTRICIAN: _____
- PUBLIC WORKS: _____
- STRUCTURAL: _____
- ACCESSIBILITY: _____
- ELEVATOR: _____


Page and Associates, Inc.
 Engineers/Consultants
 # 23 0005813
 4970 S.W. 72 Avenue, #107
 Miami, Florida 33155
 (305) 661-7700

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RENOVATIONS TO:
BIG PINK
 157 Collins Avenue
 Miami Beach, Florida 33139

SECOND FLOOR
 PLUMBING PLAN

REVISIONS
 8-8-96

DATE: 07-26-96
 PROJECT ENGINEER: [Signature]
 SCALE: 1/4" = 1'-0"
 DRAWN BY: [Signature]

CHECKED BY: [Signature]

[Signature]

P-2

PERMIT #

B 94000397

ADDRESS

1680 Michigan Av.



CITY OF MIAMI BEACH
 Building Department
 1680 Michigan Avenue, Suite 701
 Miami Beach, Florida 33139
 (305) 673-7610 Hours of Operation 8:30 to 5:00

SPECIAL INSPECTOR

DATE: 4/13/95
 ATTN: Building Official

I, the undersigned, a Professional Engineer Registered Architect, registered in the State of Florida, have been retained by the owners, LAURENCE F. KAINE of the property located at: 157 Collins Ave Miami Beach, FL to perform all the duties of a Special Inspector, as defined in Section 305.3 of the South Florida Building Code.

This office will be responsible to the Building Official of the City of Miami Beach for the inspection of the structural elements of the building, including all excavations, piling, foundation, all reinforced concrete and structural steel, and will file written weekly reports for the same as to progress, compliance or non-compliance with the plans and the South Florida Building Code. In immediately so that appropriate action can be taken. The file logs and all concrete test reports will be submitted to the Building Official within one week after their completion.

Upon completion of the structure, I will submit to the City of Miami Beach a certificate of compliance with the South Florida Building Code and approved plans.

Engineers Signature: James H. Hall
 License Number: FL Lic # 38001
 Building Permit #: 89400397
 Owner/Agent Signature: Laurence F. Kaine
 Owner/Agent Name (Printed): LAURENCE F. KAINE

BUILDING DEPARTMENT, Accepted by: [Signature]
 Date: 4/13/95

BOOKS OF THIS AND/OR TYPE OF INSPECTION TO BE KEPT ALL BUILDINGS SUSPECTING STRUCTURAL

305000397

CITY OF MIAMI BEACH
 Building Department
 1680 Michigan Avenue, Suite 701
 Miami Beach, Florida 33139
 (305) 673-7610 Hours of Operation 8:30 to 5:00

Project Number: 89400397
 Permitted: 04/26/95 09:49
 Version: BUILD 9401

157 COLLINS AV
 Permit Number: 89400397

Project Number: 89400397
 Inspected by: [Signature]
 Date Applied: 07/01/94
 Date Approved: 07/01/94
 Date Completed: 09/05/94
 Date To Expire: 09/05/94

THIS TYPE: CONSTRUCTION INT'L INC
 PARCEL NUMBER: 4202-003-0300
 GROUP-OCCUP/USE: COMM

OWNER: LAURENCE F KAINE
 APPLICANT: CONSTRUCTION INT'L INC
 APPLICANT ADDR: 453 NW 28TH ST MIAMI, FL 33127
 PHONE NUMBER: 305637-91212
 CLASS CODE: RECON
 VALUATION: 19,000
 CONSTRUCTION: OTH
 PERMIT TO DO: INT'L REPAIRS WINDOWS/DOORS/STRUCTL REPS
 JOB ADDRESS: 157 COLLINS AV

SS NO OR TAXPAYER ID NO
 BENEFIT DISTRICT NO. 8

Activity	Units	Fee/Unit	Ext Fee	Date
ENTER COST ALTERATION BLDG/STRUCT	4000.00	19.00	76.00	
IF WALK-THRU ENTER VALDAT (ZONING)	19000	1.00	19.00	
EN NO. INST UNITS: WINDOW-DOOR-ETC (MINIMUM \$65)	31	124.00	3844.00	
SUBTOT BLDG PERMIT FEE + PENALTY			242.00	
TOTAL BUILD FEE + RADON + FIRE FEE	19000.00	21.85	417.10	
SUBTOT FIRE SAFETY PROCESS FEE			263.85	
TOTAL BUILD FEE + RADON + FIRE FEE	19000.00	9.50	180.50	
EN COST FOR OTHER CONSTR SURCHARGE	10	4.75	47.50	
SUBTOT SFBC COMPLIANCE SURCHARGE			4.75	
EN VALUATION OF PERMIT FOR TRAINING	11	1.75	19.25	
SUBTOTAL TRAINING FEE			19.25	
TOT BLD+RADN+FIRE+RENE+CONSP+TRN FEE			278.10	

NET DADE COUNTY ROAD IMPACT FEE > 13

TOTAL BLDG PERMIT FEE & SURCHARGES 278.10

CITY OF MIAMI BEACH
 Building Department
 1680 Michigan Avenue, Suite 701
 Miami Beach, Florida 33139
 (305) 673-7610 Hours of Operation 8:30 to 5:00

Project Number: 89400397
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 Building Department
 1680 Michigan Avenue, Suite 701
 Miami Beach, Florida 33139
 (305) 673-7610 Hours of Operation 8:30 to 5:00

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157 COLLINS AV
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 Date To Expire: 09/05/94

THIS TYPE: CONSTRUCTION INT'L INC
 PARCEL NUMBER: 4202-003-0300
 GROUP-OCCUP/USE: COMM

OWNER: LAURENCE F KAINE
 APPLICANT: CONSTRUCTION INT'L INC
 APPLICANT ADDR: 453 NW 28TH ST MIAMI, FL 33127
 PHONE NUMBER: 305637-91212
 CLASS CODE: RECON
 VALUATION: 19,000
 CONSTRUCTION: OTH
 PERMIT TO DO: INT'L REPAIRS WINDOWS/DOORS/STRUCTL REPS
 JOB ADDRESS: 157 COLLINS AV

SS NO OR TAXPAYER ID NO
 BENEFIT DISTRICT NO. 8

Activity	Units	Fee/Unit	Ext Fee	Date
ENTER COST ALTERATION BLDG/STRUCT	4000.00	19.00	76.00	
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NET DADE COUNTY ROAD IMPACT FEE > 13

TOTAL BLDG PERMIT FEE & SURCHARGES 278.10

CITY OF MIAMI BEACH
 Building Department
 1680 Michigan Avenue, Suite 701
 Miami Beach, Florida 33139
 (305) 673-7610 Hours of Operation 8:30 to 5:00

Project Number: 89400397
 Permitted: 04/26/95 09:49
 Version: BUILD 9401

157 COLLINS AV
 Permit Number: 89400397

Project Number: 89400397
 Inspected by: [Signature]
 Date Applied: 07/01/94
 Date Approved: 07/01/94
 Date Completed: 09/05/94
 Date To Expire: 09/05/94

THIS TYPE: CONSTRUCTION INT'L INC
 PARCEL NUMBER: 4202-003-0300
 GROUP-OCCUP/USE: COMM

OWNER: LAURENCE F KAINE
 APPLICANT: CONSTRUCTION INT'L INC
 APPLICANT ADDR: 453 NW 28TH ST MIAMI, FL 33127
 PHONE NUMBER: 305637-91212
 CLASS CODE: RECON
 VALUATION: 19,000
 CONSTRUCTION: OTH
 PERMIT TO DO: INT'L REPAIRS WINDOWS/DOORS/STRUCTL REPS
 JOB ADDRESS: 157 COLLINS AV

SS NO OR TAXPAYER ID NO
 BENEFIT DISTRICT NO. 8

Activity	Units	Fee/Unit	Ext Fee	Date
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NET DADE COUNTY ROAD IMPACT FEE > 13

TOTAL BLDG PERMIT FEE & SURCHARGES 278.10

CITY OF MIAMI BEACH
 Building Department
 1680 Michigan Avenue, Suite 701
 Miami Beach, Florida 33139
 (305) 673-7610 Hours of Operation 8:30 to 5:00

Project Number: 89400397
 Permitted: 04/26/95 15:08
 Version: BUILD 9401

157 COLLINS AV
 Permit Number: 89400397

Project Number: 89400397
 Inspected by: [Signature]
 Date Applied: 07/01/94
 Date Approved: 09/06/94
 Date Completed: 09/05/94
 Date To Expire: 09/05/94

THIS TYPE: APPLICATION BUILD
 PARCEL NUMBER: 4202-003-0300
 GROUP-OCCUP/USE: COMM

OWNER: LAURENCE F KAINE
 APPLICANT: CONSTRUCTION INT'L INC
 APPLICANT ADDR: 453 NW 28TH ST MIAMI, FL 33127
 PHONE NUMBER: 305637-91212
 CLASS CODE: RECON
 VALUATION: 19,000
 CONSTRUCTION: OTH
 PERMIT TO DO: INT'L REPAIRS WINDOWS/DOORS/STRUCTL REPS
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SS NO OR TAXPAYER ID NO
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 (305) 673-7610 Hours of Operation 8:30 to 5:00

Project Number: 89400397
 Permitted: 04/26/95 15:08
 Version: BUILD 9401

157 COLLINS AV
 Permit Number: 89400397

Project Number: 89400397
 Inspected by: [Signature]
 Date Applied: 07/01/94
 Date Approved: 09/06/94
 Date Completed: 09/05/94
 Date To Expire: 09/05/94

THIS TYPE: APPLICATION BUILD
 PARCEL NUMBER: 4202-003-0300
 GROUP-OCCUP/USE: COMM

OWNER: LAURENCE F KAINE
 APPLICANT: CONSTRUCTION INT'L INC
 APPLICANT ADDR: 453 NW 28TH ST MIAMI, FL 33127
 PHONE NUMBER: 305637-91212
 CLASS CODE: RECON
 VALUATION: 19,000
 CONSTRUCTION: OTH
 PERMIT TO DO: INT'L REPAIRS WINDOWS/DOORS/STRUCTL REPS
 JOB ADDRESS: 157 COLLINS AV

SS NO OR TAXPAYER ID NO
 BENEFIT DISTRICT NO. 8

Activity	Units	Fee/Unit	Ext Fee	Date
ENTER COST ALTERATION BLDG/STRUCT	4000.00	19.00	76.00	
IF WALK-THRU ENTER VALDAT (ZONING)	19000	1.00	19.00	
EN NO. INST UNITS: WINDOW-DOOR-ETC (MINIMUM \$65)	31	124.00	3844.00	
SUBTOT BLDG PERMIT FEE + PENALTY			242.00	
TOTAL BUILD FEE + RADON + FIRE FEE	19000.00	21.85	417.10	
SUBTOT FIRE SAFETY PROCESS FEE			263.85	
TOTAL BUILD FEE + RADON + FIRE FEE	19000.00	9.50	180.50	
EN COST FOR OTHER CONSTR SURCHARGE	10	4.75	47.50	
SUBTOT SFBC COMPLIANCE SURCHARGE			4.75	
EN VALUATION OF PERMIT FOR TRAINING	11	1.75	19.25	
SUBTOTAL TRAINING FEE			19.25	
TOT BLD+RADN+FIRE+RENE+CONSP+TRN FEE			278.10	

NET DADE COUNTY ROAD IMPACT FEE > 13

TOTAL BLDG PERMIT FEE & SURCHARGES 278.10

CITY OF MIAMI BEACH
 Building Department
 1680 Michigan Avenue, Suite 701
 Miami Beach, Florida 33139
 (305) 673-7610 Hours of Operation 8:30 to 5:00

Project Number: 89400397
 Permitted: 07/01/94 10:30
 Version: BUILD 9401

157 COLLINS AV
 Permit Number: 89400397

Project Number: 89400397
 Inspected by: [Signature]
 Date Applied: 07/01/94
 Date Approved: 07/01/94
 Date Completed: 07/01/94
 Date To Expire: 07/01/94

THIS TYPE: APPLICATION BUILD
 PARCEL NUMBER: 4202-003-0300
 GROUP-OCCUP/USE: COMM

OWNER: LAURENCE F KAINE
 APPLICANT: MAGNA BLDG CORP
 APPLICANT ADDR: 2145 SW 82ND CT MIAMI, FL 33155
 PHONE NUMBER: 305-266-6272
 CLASS CODE: RECON
 VALUATION: 19,000
 CONSTRUCTION: OTH
 PERMIT TO DO: INT'L REPAIRS WINDOWS/DOORS/STRUCTL REPS
 JOB ADDRESS: 157 COLLINS AV

SS NO OR TAXPAYER ID NO
 BENEFIT DISTRICT NO. 8

Activity	Units	Fee/Unit	Ext Fee	Date
ENTER COST ALTERATION BLDG/STRUCT	4000.00	19.00	76.00	
IF WALK-THRU ENTER VALDAT (ZONING)	19000	1.00	19.00	
EN NO. INST UNITS: WINDOW-DOOR-ETC (MINIMUM \$65)	31	124.00	3844.00	
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TOT BLD+RADN+FIRE+RENE+CONSP+TRN FEE			278.10	

NET DADE COUNTY ROAD IMPACT FEE > 13

TOTAL BLDG PERMIT FEE & SURCHARGES 278.10

Receipts No. 84197 Date 07/01/94 Payment 168.30

PAID
 JUL 01 1994
 CITY OF MIAMI BEACH
 BUILDING DEPARTMENT

POBOX 330368 MIAMI 33233 CONSTRUCTION LATER

B94000397

INSTRUCTION FOR SPECIAL INSPECTORS

1. A special inspector and a threshold special inspector are each private professionals who are working for and with the consent of the Building Official.

2. No matter who is paying the bills, when it comes to the inspections to be made, only the requirements of the code, the Building Official and your own expertise and experience should be considered.

3. As an inspector you (the Special Inspector) are present to observe and to reach one of the three possible conclusions:
a. "this is correct", it is in close compliance with approved drawings and the code.
b. "this is not correct", it is not close compliance etc.
c. "no decision can be made" usually due to insufficient information, the following is needed:

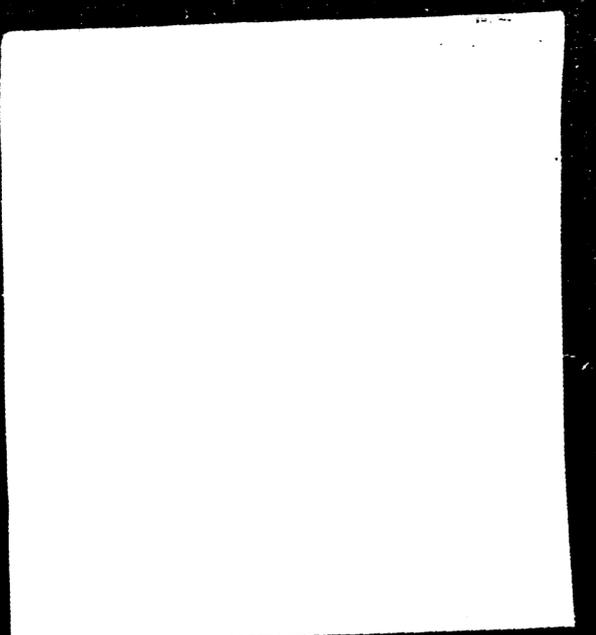
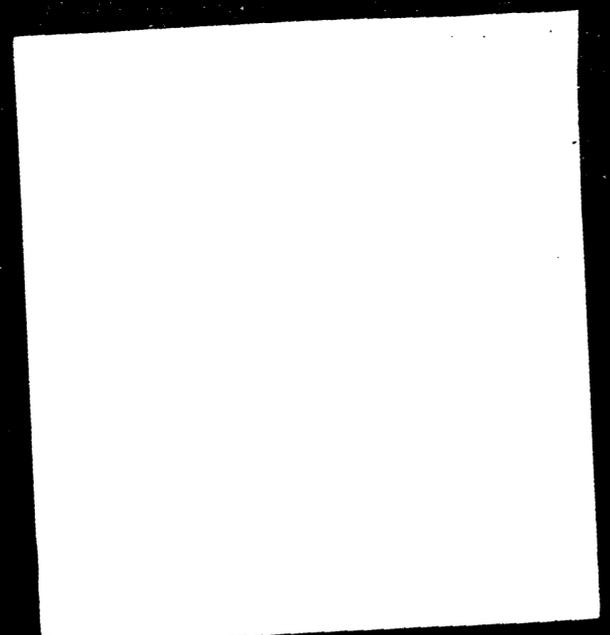
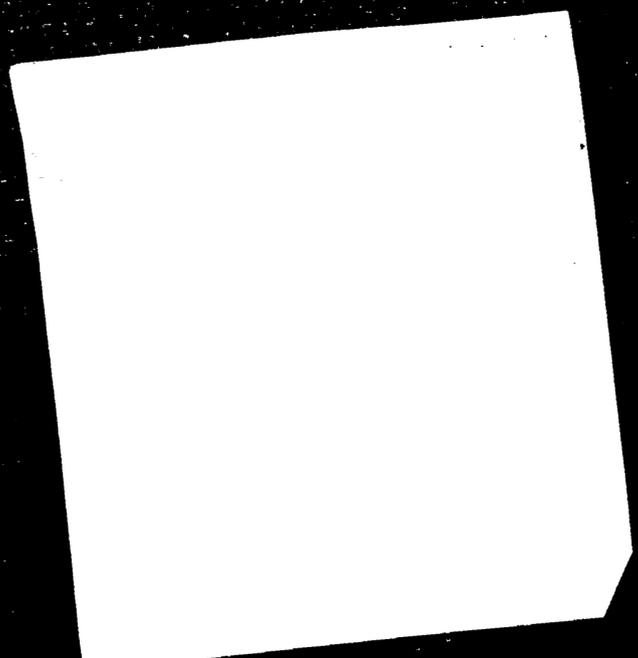
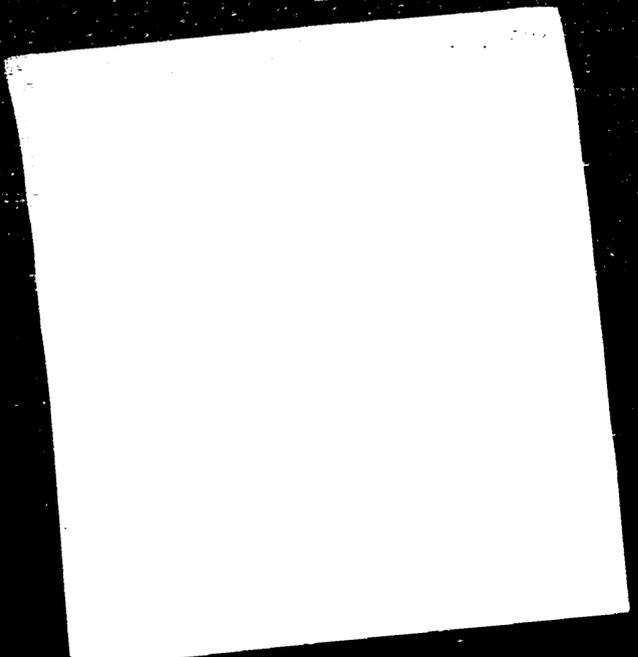
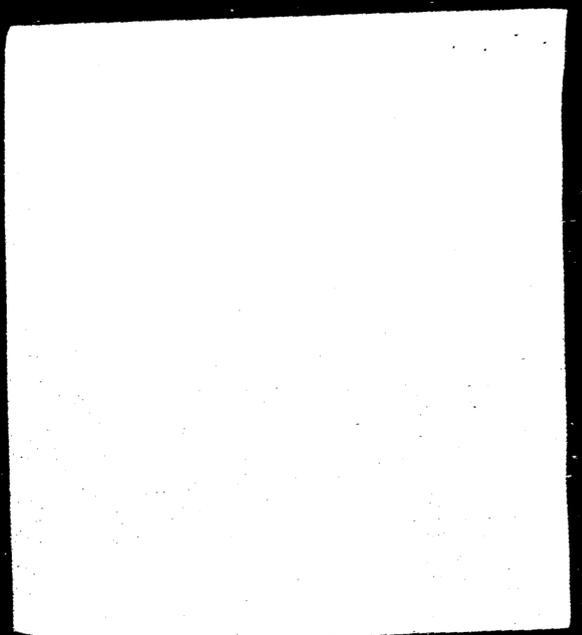
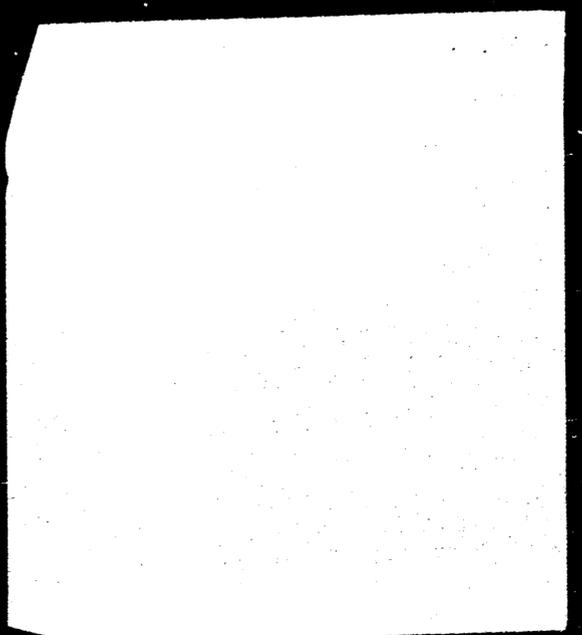
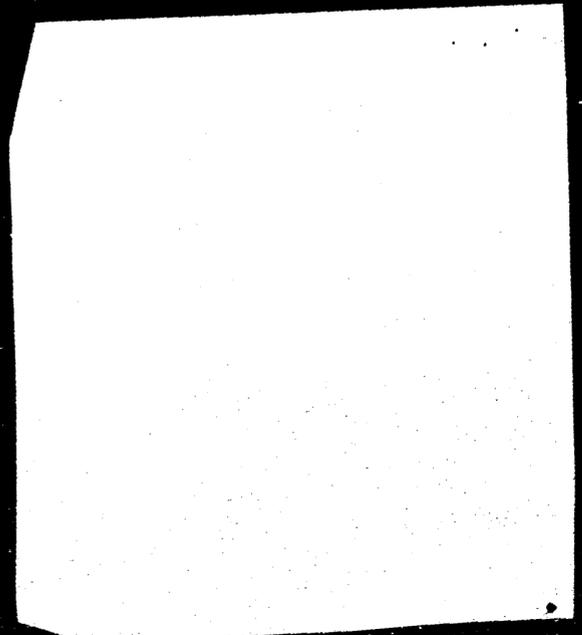
Inspections are made on an as required basis, the only exception to this is threshold buildings which require by law that all work of structural nature be inspected by a threshold Certified Special Inspector on a continuous basis. As a special inspector you must remind the contractor that he/she still has a responsibility to notify the Building Official and perform a complimentary inspection desired.

4. A written report is required for each day of inspection on each project. This report will list inspections made and conclusions reached. If any action is taken, said actions will be detailed. If any item of inspection is "not approved" or any other problem is perceived, it shall be presented to the Building Official as part of the inspection report. All problems and failures reported must be followed up in subsequent reports detailing what actions were taken to correct the deficiencies.

5. Copies of all field reports and such other information as shall be necessary to specify the "conditions" of the structure under construction shall be kept on the job site as an inspection log. Signed and sealed copies of all field reports, and such other information as is necessary shall be submitted at regular intervals not to exceed 30 (thirty) working days. The special inspector will make himself/herself available should the Building Official require additional information.

6. As a special inspector, you have a great responsibility to help preserve the public safety. All dangerous conditions must be reported in writing to the Building Official as quickly as possible. Conditions which are immediately dangerous will require further action. Common sense will be required in determining a proper response to any situation.

B94000397



Date: 07/01/94 10:30
 Version: BUILD 9401
 CITY OF MIAMI BEACH
 Building Department
 555 West Meridian Blvd. (17th St.)
 Miami Beach, Florida 33139
 (305) 673-7610 Hours of Operation 8:30 to 5:00

157 COLLINS AV
 Parcel Number: 89408397
 Project Number: A9418755

TOTAL THIS DATE		*****	
Fees Required		Fees Collected & Credits	
Fees:	168.30		168.30
Adjustments:	.00	Total Credits:	.00
Total Fees:	168.30	Total Payments:	168.30
		Balance Due:	.00

Distribution: 1-Building Inspection Cop (with Cashier Stamp); 2-Building Insp
 3-City Accounting Division; 4-Metro Dade Co. Tax Assessor Dept.; 5-Applicant
 (Rev: 9001, PFBLDG01.en)

CITY OF MIAMI BEACH
 Building Department
 1600 Wickham Avenue, #201
 Miami Beach, Florida 33139

DATE: 4/18/95
 ATTENTION: BUILDING OFFICIAL

OWNER'S AFFIDAVIT
 I, LAWRENCE F. KAINE certify that I am the owner of the
 property described as:
 ADDRESS: 157 COLLINS AVE
 LOT: 116 BLOCK: 2 SUBDIVISION: OCEAN BEACH

I authorize to obtain a building permit for the following work: as by agent
WINDOWS & DOORS STRUCTURAL REPAIRS
TO BEHOLDERS RESTAURANT

Lawrence F. Kaine
 On this the 18 day of April, 1995
 before me, the undersigned Notary Public of the State of
 Florida, personally appeared:
LAWRENCE F. KAINE
 and whose name(s) is/are subscribed to the within
 instrument, and he/she/they, acknowledge that he/she/they
 executed it.
 My commission expires: 04/18/96
 NOTARY PUBLIC, STATE OF FLORIDA

(Type of Notary Public: Print or Type as Commissioner)
 Personally known to me, or
 Produced ID: _____ (Type of ID Produced)
 DID take an oath, or
 DID NOT take an oath.

NOTICE OF COMMENCEMENT MUST BE FILED IF JOB VALUATION
 EXCEEDS \$ 2,500.00 IN LABOR AND MATERIAL.
 NOTICE OF COMMENCEMENT MUST BE POSTED PRIOR TO JOB COMMENCING
 NOTICE OF COMMENCEMENT CAN BE FILED AT:
 44 WEST FLAGLER STREET, 5TH FLOOR, MIAMI, FLORIDA

SPECIAL NOTIFICATION
 BY NOTARY PUBLIC
 COMMERCIAL BY 306.18.00

WARNING TO OWNER

Your failure to record a notice of commencement may result in your paying twice for improvements to your property.

If you intend to obtain financing, consult with your lender or an attorney before recording your Notice of Commencement. If not seeking financing, consult your attorney or the Florida Department of Agriculture and Consumer Services. A failure to understand your rights and responsibilities may result in your either having to pay for the work two (2) times or losing your property if you do not pay.

1. What is the Construction Lien Law?

The new Florida "Construction Lien Law" (Chapter 713, Florida Statutes, as amended) is the current law which replaces the older Mechanics Lien Law. The Construction Lien Law is a method by which a contractor may claim a lien on real property which they have performed work or provided materials.

2. How does the Construction Lien Law apply to me?

1. If I am the owner of real property that is being improved...

* You own an interest in real property that is being improved.
* The cost of the improvements exceeds \$2,500.00.
* You are employing someone other than yourself to supply materials & labor.

3. When must the contractor file the Notice of Commencement?

Section 13, (conditional payment of bonds, certificate of payment, section 17, (assignment of funds) and section 29, (section paragraph) take effect January 1, 1981. These amendments modify the existing mechanics Lien Law.

4. Why should I, as a person who will own the property, know the Construction Lien Law?

1. Because a failure to make proper construction payments can result in a lien being filed which may result in your property being sold to satisfy the debt.
2. The new amendments are compulsory in that they apply to all contractors and subcontractors.

5. Yes! When the homeowner doesn't make sure the construction payments are proper, he can again be required to pay an unpaid laborer, material man,

subcontractor, or subcontractor to the extent of services rendered and not compensated.

6. How is payment by the contractor to the lien?

(With few exceptions), every person who is involved in the improvement of real property in the State of Florida...

7. As a homeowner, what steps can I take to prevent trouble?

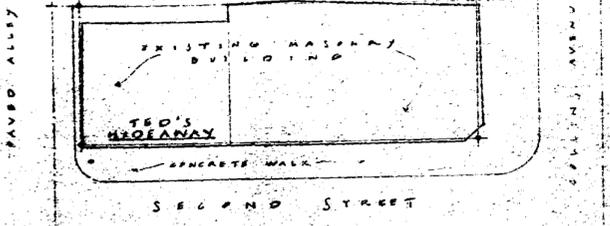
1. Before you begin construction, file a Notice of Commencement with the Clerk of the Circuit Court in the county where the work will be performed, and post a certified copy at the job site.

2. Before you make any payment on the job, make sure you receive partial release of lien covering the work performed.

3. Before final payment is made, make sure you receive a final release of lien from your contractor (owner, contractor, laborer, material supplier, subcontractor and subcontractors).

UNDER NO CIRCUMSTANCES should you make payment without receiving a release!

Exhibit “B”

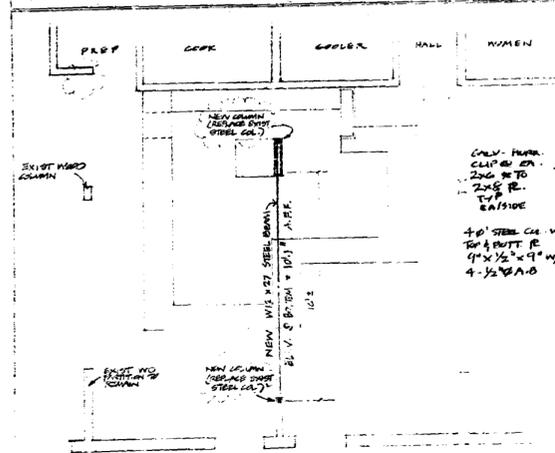


LOCATION PLAN

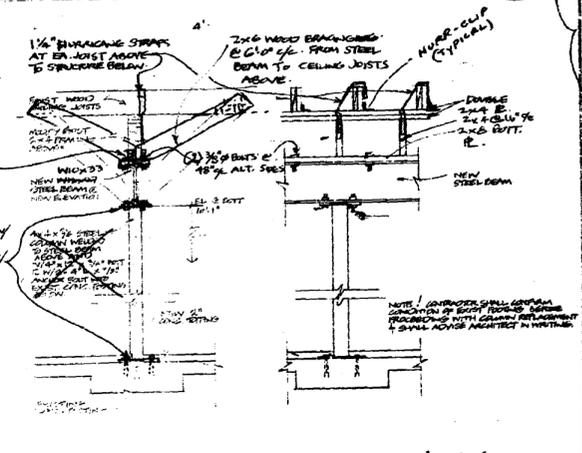
DOOR SCHEDULE

NO.	WIDTH	HEIGHT	THICK	FRAME	MAT'L	TYPE	REMARKS
1	2'-0"	6'-8"	1 3/4"	WOOD	WOOD	FLUSH	REPLACE EXIST. DOOR & FRAME 1/2" BR. DOOR
2	2'-0"	6'-8"	1 3/4"	WOOD	WOOD	FLUSH	DUAL ACTION HINGE/FLUSH DOOR FLATS IN SIDE
3	2'-0"	6'-8"	1 3/4"	WOOD	WOOD	PANEL	SPY-GLASS HINGE/LEVER HANDLE
4	2'-0"	6'-8"	1 3/4"	WOOD	WOOD	PANEL	SELF-CLOSING HINGE/LEVER HANDLE
5	2'-0"	6'-8"	1 3/4"	WOOD	WOOD	PANEL	SELF-CLOSING HINGE/LEVER HANDLE
6	2'-0"	6'-8"	1 3/4"	WOOD	WOOD	PANEL	SELF-CLOSING HINGE/LEVER HANDLE
7	2'-0"	6'-8"	1 3/4"	WOOD	WOOD	PANEL	SPY-GLASS HINGE/LEVER HANDLE
8	2'-0"	6'-8"	1 3/4"	WOOD	WOOD	PANEL	SPY-GLASS HINGE/LEVER HANDLE

NOTES:
 1. HINGERS SHALL HAVE BRUSHED BRASS FINISH (NUMBER - PART SPEC)
 2. METALL LEVER LOCK HANDLES & LOCK CLOSING IS FRONT ENTRY DOOR.
 3. HINGERS AT COURT DOORWAYS SHALL BE 1 3/4" x 5" x 7 1/2" W/ TAPERED WINGS



PARTIAL PLAN 1/4" = 1'-0"



SECTION DETAILS 1/4" = 1'-0"

BRANDED PLANS ARE REQUIRED FOR FIRE ALARMS AND LIFE SAFETY SYSTEMS BRANDED AND SIGNED BY A STATE OF FLORIDA P.E.
 JURISDICTION REQUIREMENTS SHALL BE COMPLIED WITH PER 90A.03

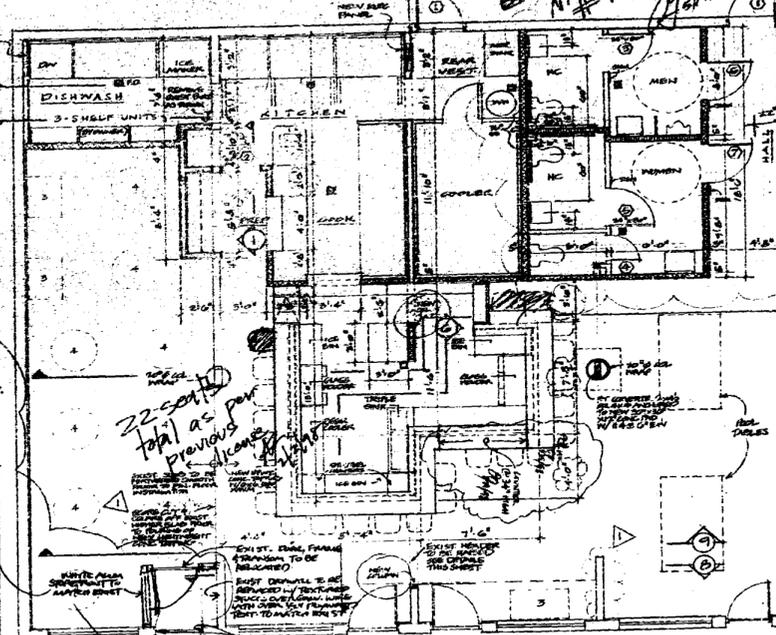
MAINTAIN EFFECTIVENESS OF FIRE SUPPRESSION / LIFE SAFETY SYSTEMS IN ACCORDANCE WITH SFBC CHAPTER 33.

APPROVAL IS CONTINGENT ON PERFORMANCE OF FIRE SUPPRESSION LIFE SAFETY SYSTEMS IN ACCORDANCE WITH SFBC CHAPTER 33.

FIRE STOPPING REQUIREMENT
 Penetrations thru walls and floors shall be sealed with a material capable of withstanding the requirements of the Test Standard specified for Fire Stops ASTM E-81.

"SHOP DRAWINGS ARE REQUIRED FOR FIRE ALARMS, FIRE SPRINKLERS, AND LIFE SAFETY SYSTEMS. SEALED AND SIGNED BY A STATE OF FLORIDA P.E."

CONTRACTOR OR APPROVED OCCUPANT TO BE RESPONSIBLE FOR THE PROTECTION OF EXISTING UTILITIES. ALL UTILITIES SHALL BE PROTECTED AND NOT TO BE DAMAGED BY THE WORK.



FLOOR PLAN 1/4" = 1'-0"

- GENERAL NOTES**
- ALL WORK SHALL COMPLY WITH ALL APPLICABLE LOCAL & NATIONAL GOVERNING AGENCIES AND ORDINANCES INCLUDING BUT NOT LIMITED TO THE GOVERNMENTAL BUILDING CODE, FPMR, EDITION 1984, N.E.C., N.F.P.A., CITY OF MIAMI BEACH, AND MIAMI-DADE COUNTY ORDINANCES.
 - ALL CONTRACTORS & THEIR SUBCONTRACTORS SHALL BE FULLY LICENSED & QUALIFIED TO WORK IN THE CITY OF MIAMI BEACH AND SHALL OBTAIN NECESSARY PERMITS & LIABILITY INSURANCE AS REQUIRED BY CITY.
 - REVISIONS 22
 - NEW FINISHES AT EXISTING PARTITIONS SHALL RECEIVE MIN. CLASS 2ND FINISH.
 - ALL EXISTING FINISHED PARTITIONS SHALL BE PROTECTED WITH 1/2" BR. DOOR AT 2x6 BR. AT CROWN BY THE CONTRACTOR.
 - NEW PARTITIONS SHALL BE 2x6 BR. AT 2x6 BR. AT CROWN. ALL PARTITIONS SHALL BE 1/2" BR. DOOR AT 2x6 BR. AT CROWN. ALL PARTITIONS SHALL BE 1/2" BR. DOOR AT 2x6 BR. AT CROWN.
 - EXISTING & NEW PARTITIONS SHALL BE PROTECTED WITH 1/2" BR. DOOR AT 2x6 BR. AT CROWN BY THE CONTRACTOR.

EXTERIOR DOORS UNDER SEPARATE PERMIT

OFFICE COPY
 CITY OF MIAMI BEACH
 APPROVED FOR PERMIT BY THE FOLLOWING:

BUILDING	1/21/98
PLANNING	1/21/98
ELECTRICAL	1/21/98
MECHANICAL	1/21/98
FIRE PREVENTION	1/21/98
PUBLIC WORKS	1/21/98
STRUCTURAL	1/21/98
ACCESSIBILITY	1/21/98
ELEVATOR	1/21/98

REVISIONS
 JANUARY 22, 1998

OVIDIO OXIOS, A.I.A.
 Architecture Design Services
 118 West 3rd Street - Miami Beach, Florida 33139
 Phone: 305.352.0030
 Date: December 22, 1997
 Sheet A-1

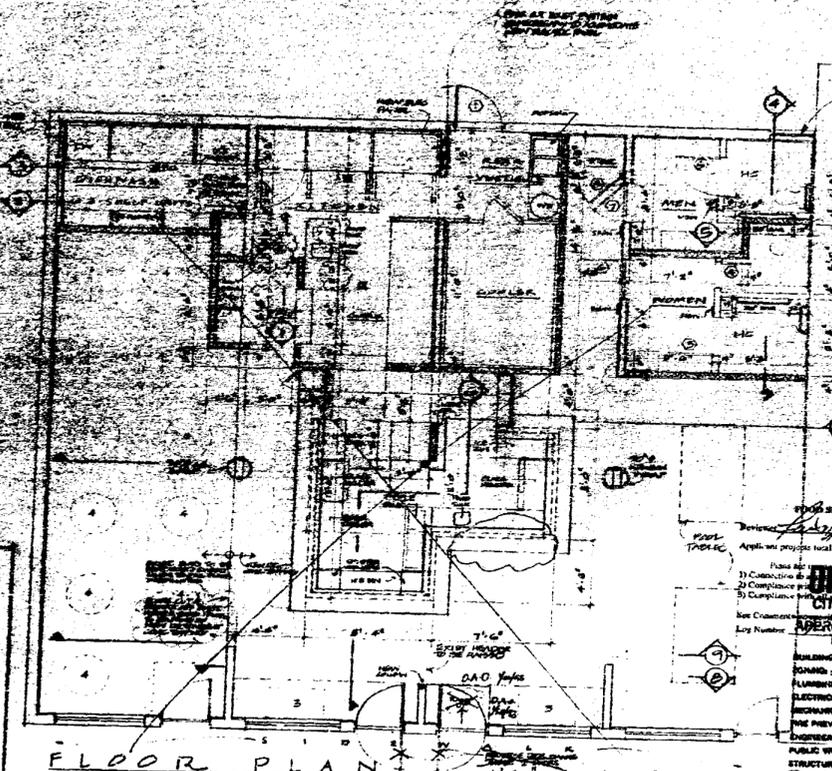
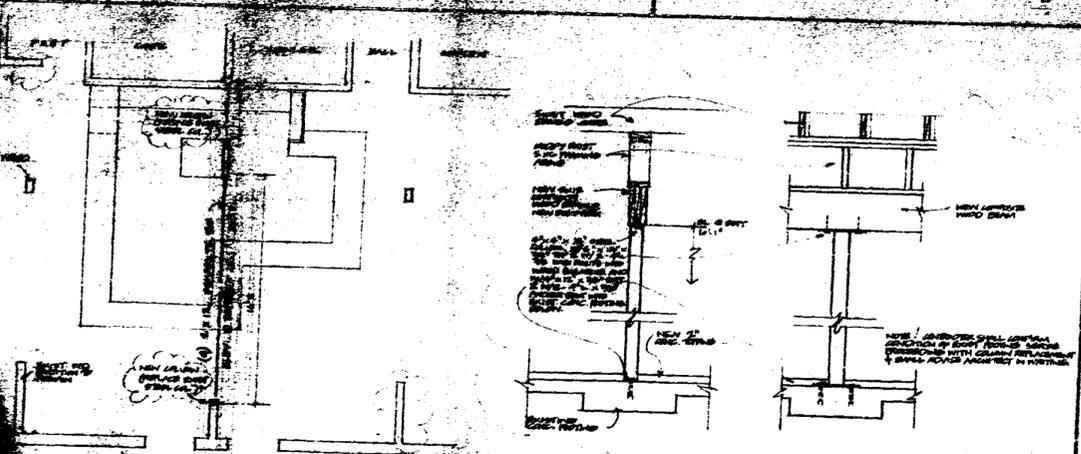
00405

PROJECT: [Illegible]
 DATE: [Illegible]

WALKER PLAN

MECHANICAL SCHEDULE

NO.	DESCRIPTION	QUANTITY	UNIT	PRICE	TOTAL
1
2
3
4
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50



- GENERAL NOTES**
1. ALL WORK SHALL COMPLY WITH ALL APPLICABLE LOCAL & NATIONAL BUILDING CODES AND REGULATIONS INCLUDING BUT NOT LIMITED TO THE INTERNATIONAL BUILDING CODE, FIRE CODE, NBC, WITH CITY OF MIAMI BEACH, AND MIAMI DADE COUNTY.
 2. ALL ARCHITECTURE & TRADE CONTRACTORS SHALL BE FULLY LICENSED & QUALIFIED TO PERFORM IN THE CITY OF MIAMI BEACH AND SHALL OBTAIN NECESSARY PERMITS & LICENSES AS REQUIRED BY THE CITY.
 3. **SECURITY:**

DOORS	40
WALLS	20
ROOF	10
TOTAL	70
 4. NEW WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF MIAMI BEACH BUILDING CODE.
 5. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY OF MIAMI BEACH BUILDING CODE.
 6. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY OF MIAMI BEACH BUILDING CODE.
 7. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY OF MIAMI BEACH BUILDING CODE.
 8. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY OF MIAMI BEACH BUILDING CODE.
 9. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY OF MIAMI BEACH BUILDING CODE.
 10. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY OF MIAMI BEACH BUILDING CODE.
 11. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY OF MIAMI BEACH BUILDING CODE.
 12. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY OF MIAMI BEACH BUILDING CODE.
 13. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY OF MIAMI BEACH BUILDING CODE.
 14. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY OF MIAMI BEACH BUILDING CODE.
 15. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY OF MIAMI BEACH BUILDING CODE.
 16. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY OF MIAMI BEACH BUILDING CODE.
 17. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY OF MIAMI BEACH BUILDING CODE.
 18. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY OF MIAMI BEACH BUILDING CODE.
 19. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY OF MIAMI BEACH BUILDING CODE.
 20. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY OF MIAMI BEACH BUILDING CODE.

APPROVED FOR PERMIT BY THE FOLLOWING:

OFFICE COPY
 CITY OF MIAMI BEACH

APPROVED FOR PERMIT BY THE FOLLOWING:

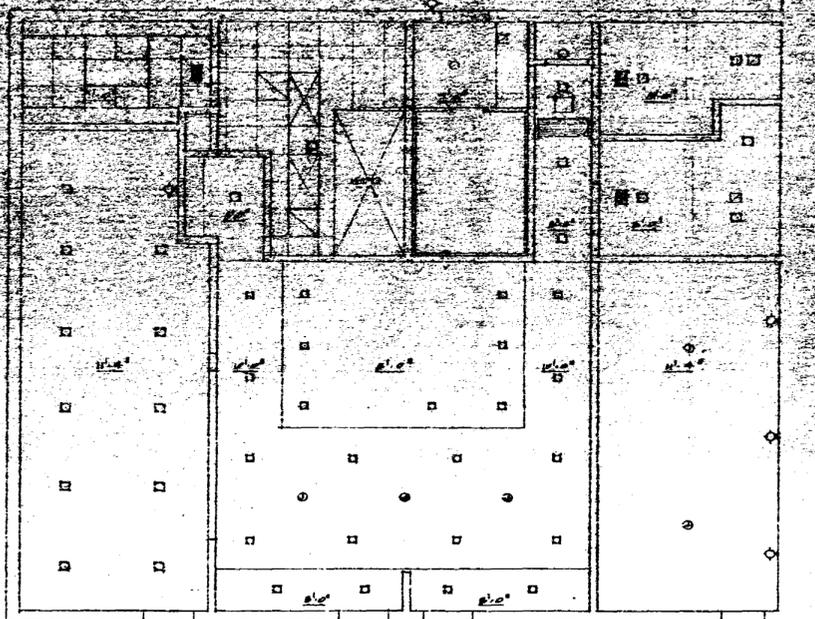
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 ELECTRICAL: [Signature]
 MECHANICAL: [Signature]
 PLUMBING: [Signature]
 STRUCTURAL: [Signature]

VOID

OXIDIO OXIOS, AIA
 Architecture Design Services
 118 West 5th Court - Miami Beach, FL 33139
 Phone: 305.371.1111
 Fax: 305.371.1112

TED'S HIDEAWAY
 170 5th Street
 Miami Beach, FL 33139
 Phone: 305.371.1111

000406



REFLECTED CEILING PLAN

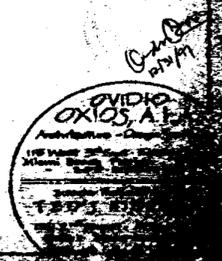
OFFICE COPY

CITY OF MIAMI BEACH

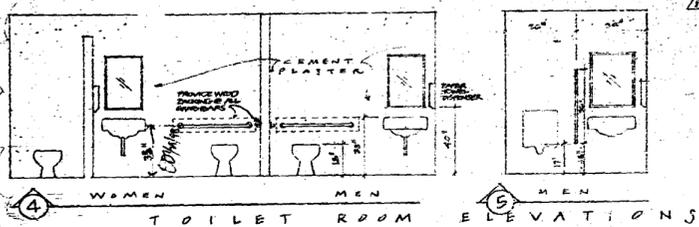
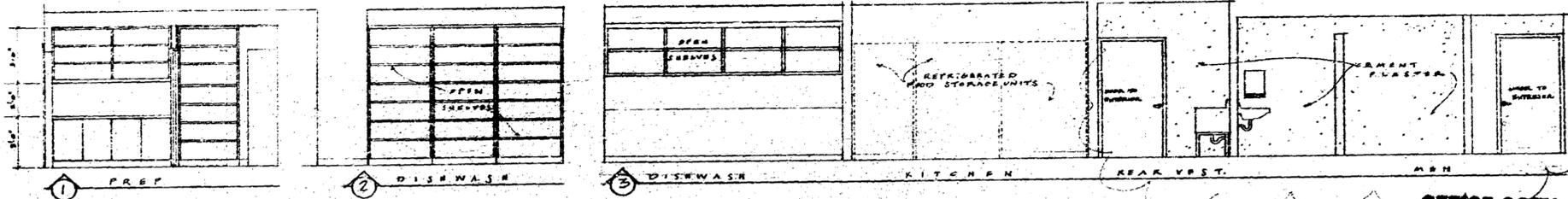
APPROVED FOR PERMIT BY

THE FOLLOWING:

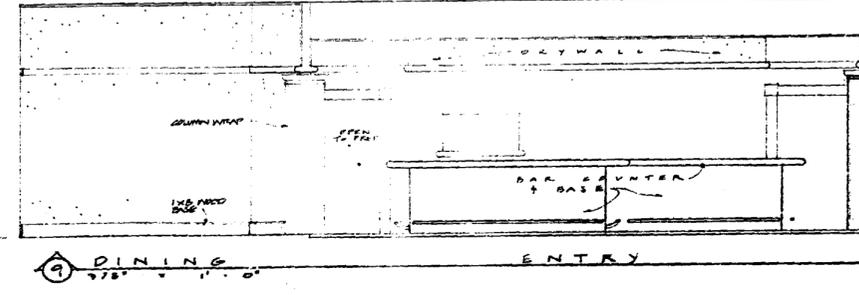
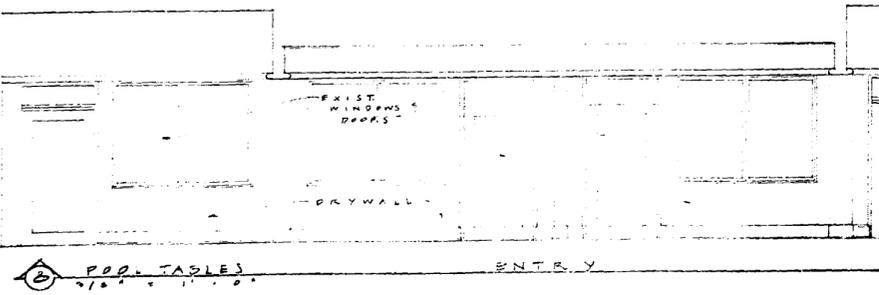
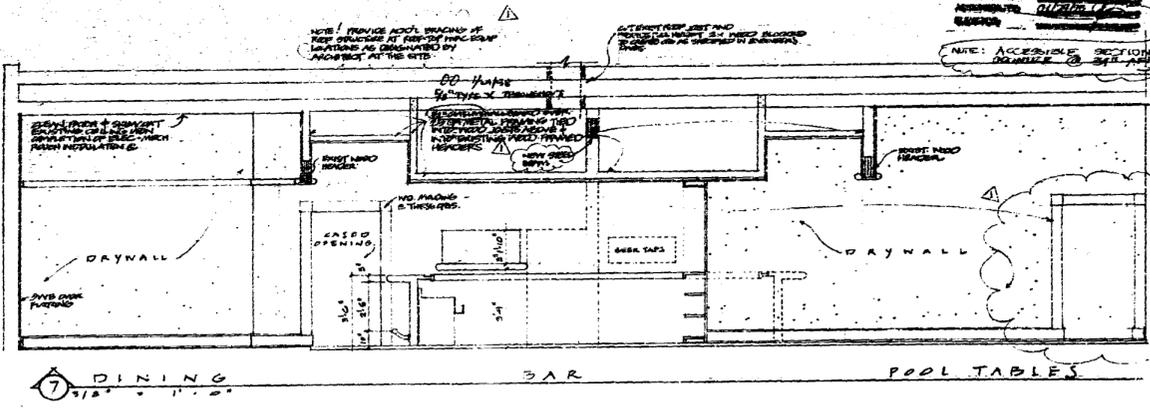
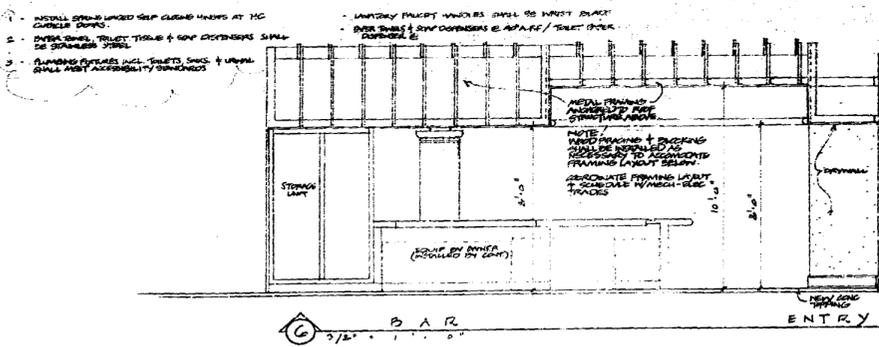
- BUILDING: *[Signature]*
- ZONING: *[Signature]*
- ELECTRICAL: *[Signature]*
- MECHANICAL: *[Signature]*
- FIRE PREVENTION: *[Signature]*
- ENGINEERING: *[Signature]*
- PUBLIC WORKS: *[Signature]*
- STREETS: *[Signature]*
- PLANNING: *[Signature]*
- PERMITS: *[Signature]*



000407



TOILET ROOM ELEVATIONS



OFFICE COPY
CITY OF MIAMI BEACH
APPROVED FOR PERMIT BY THE FOLLOWING:

DRAWING	2/1/80
DESIGN	2/1/80
PLANNING	2/1/80
ELECTRICAL	2/1/80
Mechanical	2/1/80
FIRE PROTECTION	2/1/80
Structural	2/1/80
Public Works	2/1/80
Sanitation	2/1/80
Water	2/1/80
Other	2/1/80

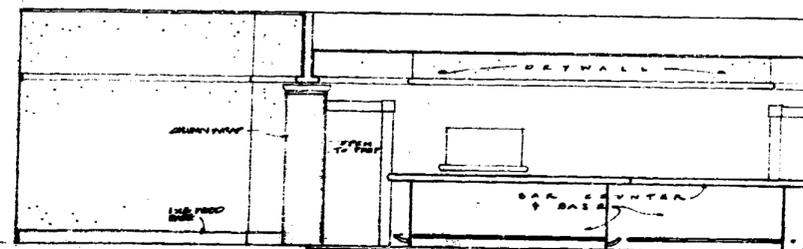
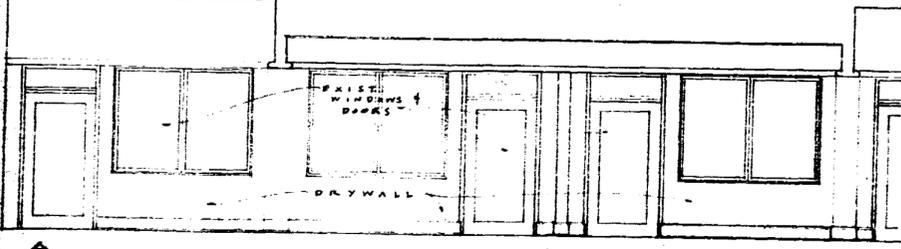
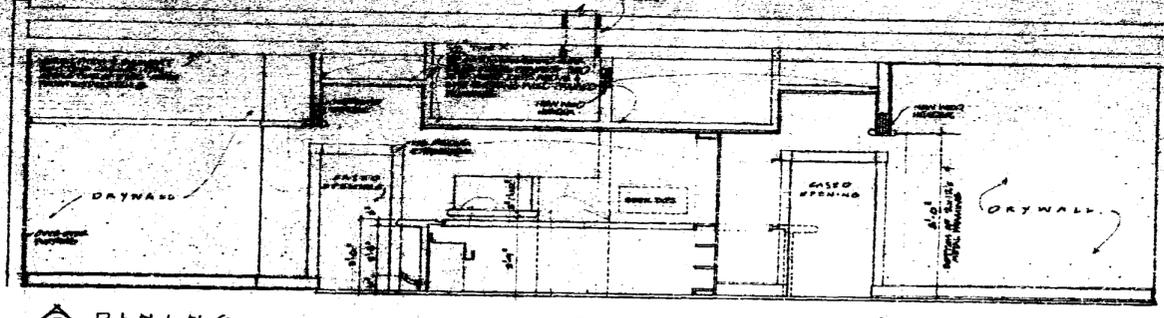
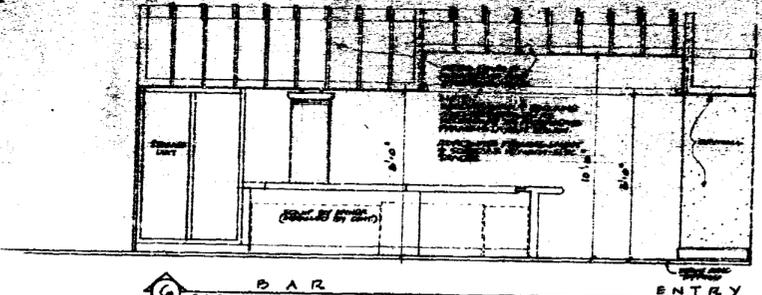
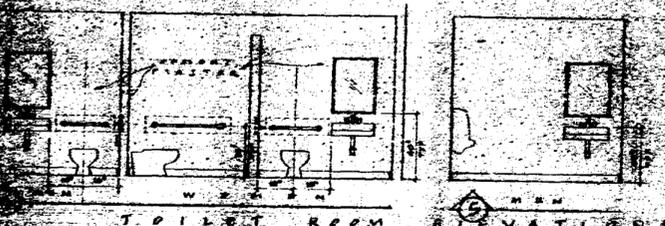
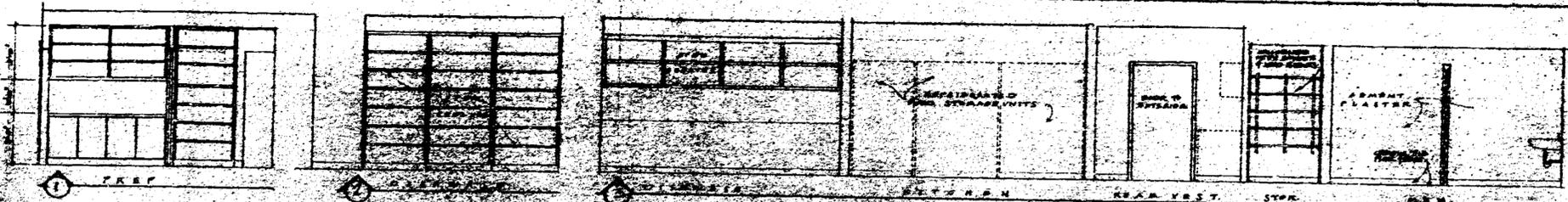
NOTE: ACCESSIBLE SECTION SEE DRAWING 3-341-A

REVISIONS
January 26, 1980

OVIDIO OXIOS, AIA.
Architecture - Design Services
110 West 24th Street, Suite 100
Miami Beach, Florida 33139
Tel: 305-358-0000

Interior Remodeling for
TED'S HIDEAWAY
120 24th Street - Miami Beach
Date: December 20, 1977
Sheet A-3 of 3

00408



OFFICE COPY

CITY OF MIAMI BEACH

APPROVED FOR PERMIT BY THE FOLLOWING:

PLUMBING	
ELECTRICAL	
Mechanical	
Structural	
Fire	
Health	
Sanitation	
Public Works	
Administration	
Engineering	
Architecture	
Interior Design	
Other	

VOID

OIDIO OKIOS, AIA
 Architect - Design
 2215 N.W. 1st St., Suite 200
 Miami, FL 33136
 Phone: 305-375-1111
 Interior Review:
TED'S RIDGE
 Date: _____
 Signature: _____

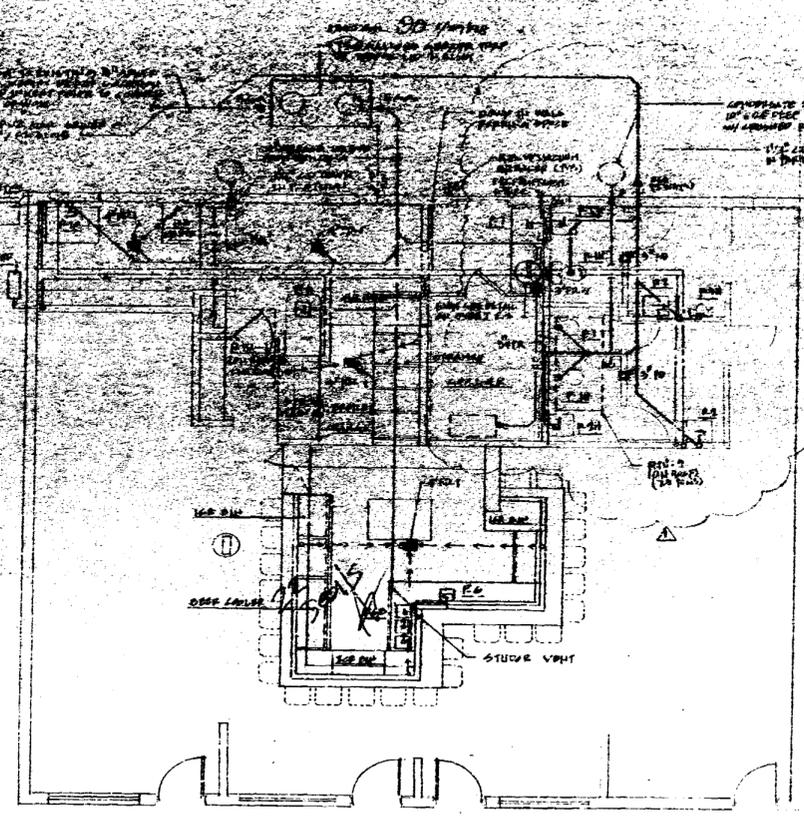
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GENERAL PLUMBING NOTES

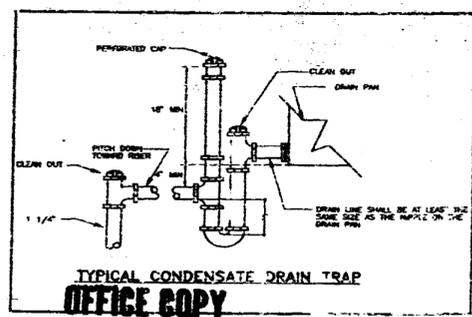
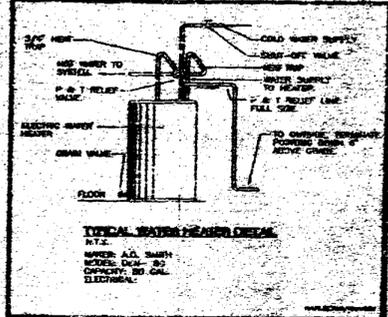
1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE SOUTH FLORIDA BUILDING CODE AND ALL CITY OF MIAMI BEACH ORDINANCES.
2. WORKMAN: Refer to all drawings for coordination of the plumbing work.
3. APPROVE AND PAY FOR ALL PERMITS, LICENSES, INSPECTIONS AND TESTS. OBTAIN THE REQUIRED CERTIFICATION AND PRINTED TO CODE.
4. CONTRACTOR: No completed installation shall be fully inspected until the contractor is notified by the building department for inspection of work per the approved and stamped drawings.
5. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY OF MIAMI BEACH ORDINANCES AND ALL CITY OF MIAMI BEACH DEPARTMENTS.
6. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY OF MIAMI BEACH ORDINANCES AND ALL CITY OF MIAMI BEACH DEPARTMENTS.
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13. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY OF MIAMI BEACH ORDINANCES AND ALL CITY OF MIAMI BEACH DEPARTMENTS.
14. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY OF MIAMI BEACH ORDINANCES AND ALL CITY OF MIAMI BEACH DEPARTMENTS.
15. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY OF MIAMI BEACH ORDINANCES AND ALL CITY OF MIAMI BEACH DEPARTMENTS.
16. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY OF MIAMI BEACH ORDINANCES AND ALL CITY OF MIAMI BEACH DEPARTMENTS.

PLUMBING SYMBOL LEGEND	
SYMBOL	DESCRIPTION
(Symbol)	SANITARY LINE
(Symbol)	VENT LINE
(Symbol)	CONDENSATE LINE
(Symbol)	WATER SUPPLY
(Symbol)	WATER DRAIN
(Symbol)	PLUMBING FIXTURE
(Symbol)	PLUMBING EQUIPMENT
(Symbol)	PLUMBING MATERIAL
(Symbol)	PLUMBING CONNECTION
(Symbol)	PLUMBING ACCESSORY
(Symbol)	PLUMBING FINISH
(Symbol)	PLUMBING DIMENSION
(Symbol)	PLUMBING NOTE
(Symbol)	PLUMBING REFERENCE
(Symbol)	PLUMBING SYMBOL
(Symbol)	PLUMBING DIMENSION
(Symbol)	PLUMBING NOTE
(Symbol)	PLUMBING REFERENCE

PIPE SCHEDULES	
PIPE	SCHEDULE
1/2" SCH 40	1/2" SCH 40
3/4" SCH 40	3/4" SCH 40
1" SCH 40	1" SCH 40
1 1/2" SCH 40	1 1/2" SCH 40
2" SCH 40	2" SCH 40
2 1/2" SCH 40	2 1/2" SCH 40
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3 1/2" SCH 40	3 1/2" SCH 40
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99 1/2" SCH 40	99 1/2" SCH 40
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PLUMBING FLOOR PLAN
SCALE: 1/4" = 10'



OFFICE COPY
CITY OF MIAMI BEACH
APPROVED FOR PERMIT BY THE FOLLOWING:

ENGINEER: _____
 ARCHITECT: _____
 PLUMBING: _____
 ELECTRICAL: _____
 MECHANICAL: _____
 STRUCTURAL: _____
 CIVIL: _____
 ENVIRONMENTAL: _____
 PUBLIC WORKS: _____
 COMMUNITY DEVELOPMENT: _____
 UTILITIES: _____

OXIDIO A.I.A.
 Architecture Design Services
 110 West 5th Street - Miami Beach
 Miami, Florida 33139
 305-557-0550
 305-557-0551
 www.oxidio.com
 OXIDIO A.I.A.
 Registered Professional Engineer
 State of Florida
 License No. 12,121
 Date: October 25, 1997
 Sheet P-1 of 2

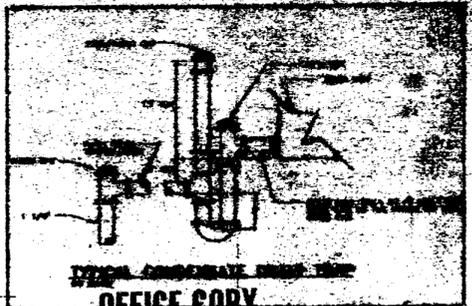
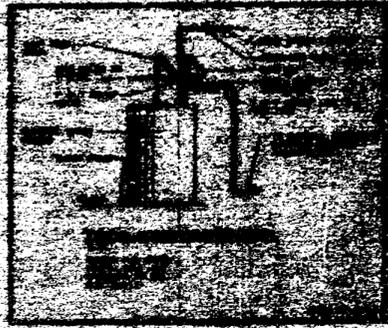
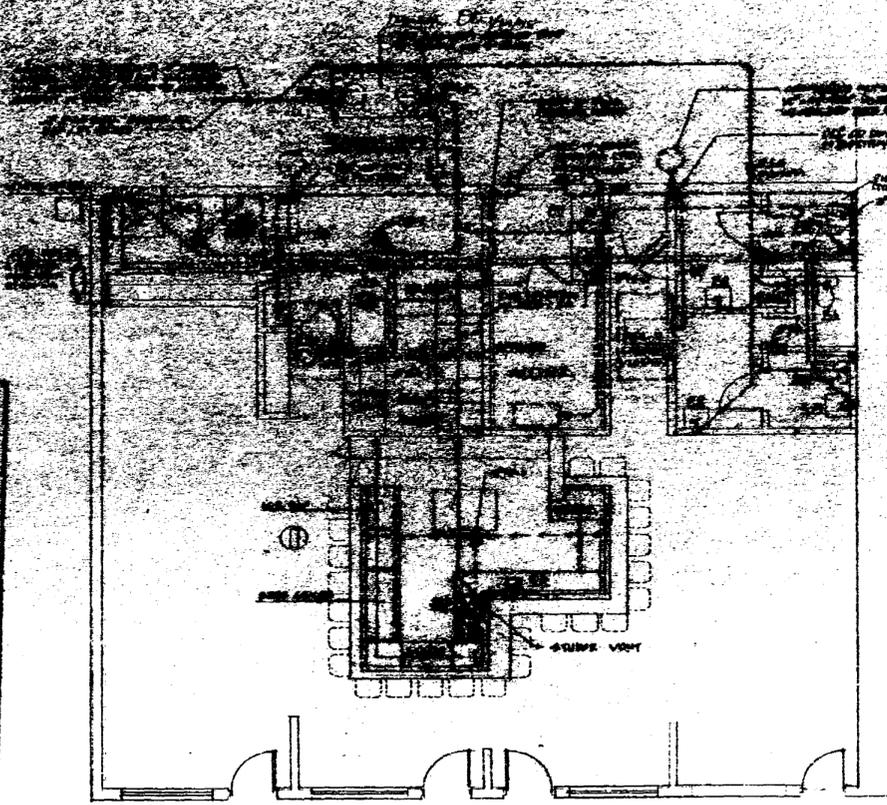
004000

NOTES:

1. All work shall be in accordance with the City of Miami Beach Building Code, Chapter 23, and the Florida Building Code, Chapter 6, unless otherwise specified.
2. All plumbing fixtures shall be installed in accordance with the manufacturer's instructions and the Florida Building Code, Chapter 6.
3. All plumbing fixtures shall be installed in accordance with the Florida Building Code, Chapter 6, and the City of Miami Beach Building Code, Chapter 23.
4. All plumbing fixtures shall be installed in accordance with the Florida Building Code, Chapter 6, and the City of Miami Beach Building Code, Chapter 23.
5. All plumbing fixtures shall be installed in accordance with the Florida Building Code, Chapter 6, and the City of Miami Beach Building Code, Chapter 23.
6. All plumbing fixtures shall be installed in accordance with the Florida Building Code, Chapter 6, and the City of Miami Beach Building Code, Chapter 23.
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9. All plumbing fixtures shall be installed in accordance with the Florida Building Code, Chapter 6, and the City of Miami Beach Building Code, Chapter 23.
10. All plumbing fixtures shall be installed in accordance with the Florida Building Code, Chapter 6, and the City of Miami Beach Building Code, Chapter 23.

1/2" = 1'-0"	1/4" = 1'-0"	3/8" = 1'-0"	1/8" = 1'-0"
1/4" = 1'-0"	3/8" = 1'-0"	1/8" = 1'-0"	1/16" = 1'-0"
3/8" = 1'-0"	1/8" = 1'-0"	1/16" = 1'-0"	1/32" = 1'-0"
1/8" = 1'-0"	1/16" = 1'-0"	1/32" = 1'-0"	1/64" = 1'-0"

1/2" = 1'-0"	1/4" = 1'-0"	3/8" = 1'-0"	1/8" = 1'-0"
1/4" = 1'-0"	3/8" = 1'-0"	1/8" = 1'-0"	1/16" = 1'-0"
3/8" = 1'-0"	1/8" = 1'-0"	1/16" = 1'-0"	1/32" = 1'-0"
1/8" = 1'-0"	1/16" = 1'-0"	1/32" = 1'-0"	1/64" = 1'-0"



PLUMBING FLOOR PLAN
SCALE: 1/4" = 1'-0"

OFFICE COPY
CITY OF MIAMI BEACH

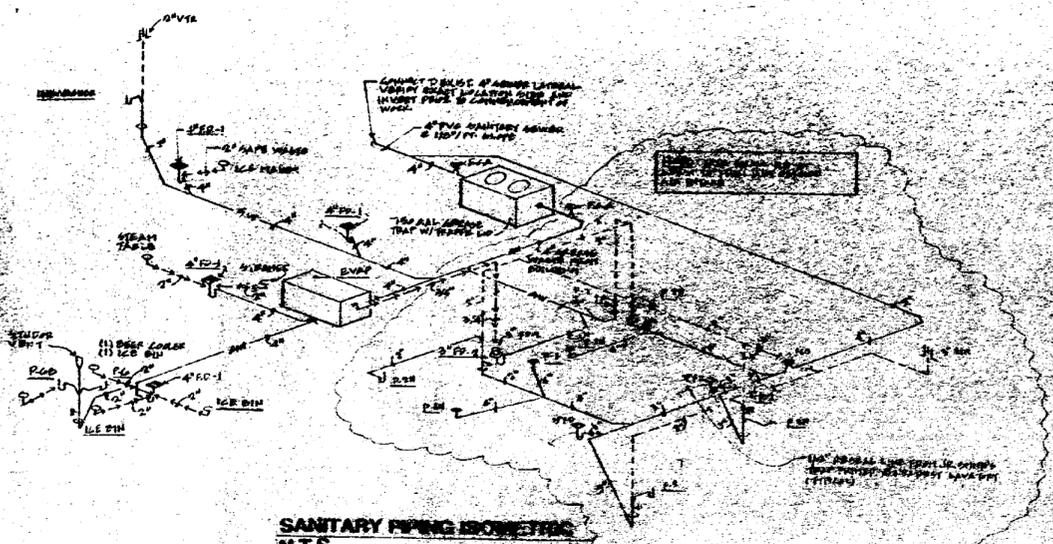
APPROVED FOR PERMIT BY THE FOLLOWING:

BUILDING _____
 ZONING _____
 PLUMBING VP/ABH
 ELECTRICAL _____
 MECHANICAL _____
 FIRE PREVENTION _____
 ENGINEERING _____
 PUBLIC WORKS _____
 STRUCTURAL _____
 ACCESSIBILITY _____
 TELEVISION _____

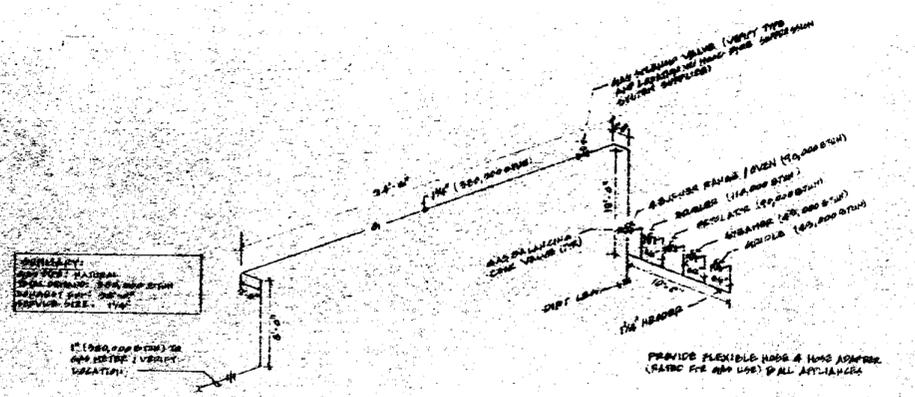
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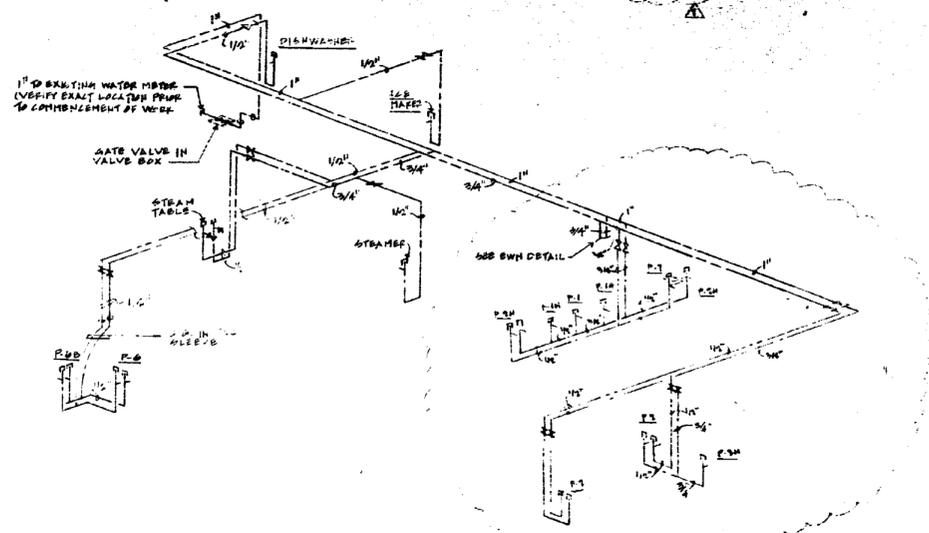
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**SANITARY PIPING ISOMETRIC
N.T.S.**



**GAS PIPING ISOMETRIC
N.T.S.**



**WATER PIPING ISOMETRIC
N.T.S.**

000412

OFFICE COPY
CITY OF MIAMI BEACH
APPROVED FOR PERMIT BY:
THE FOLLOWING:

ENGINEER	_____
PLUMBER	_____
ELECTRICIAN	_____
Mechanical	_____
Fire Protection	_____
Structural	_____
Accessibility	_____
Electrician	_____

Handwritten signature

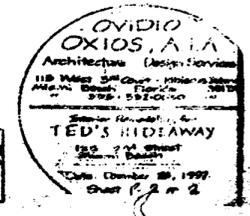
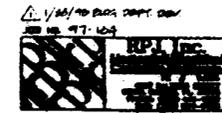
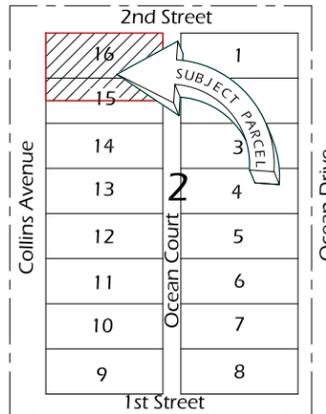
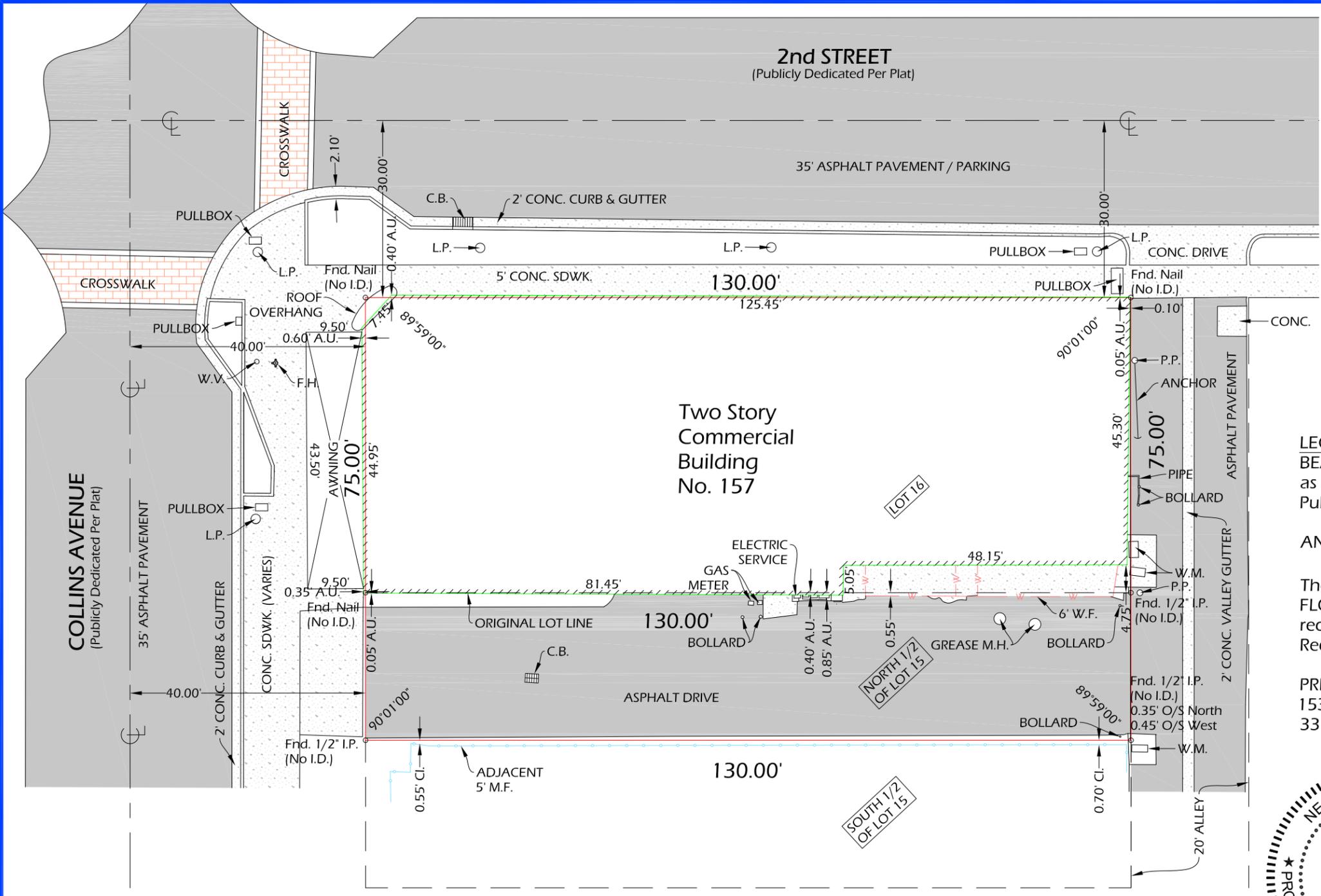


Exhibit “C”



Location Sketch
NTS

LEGEND

- Δ = Central Angle
- A.U. = Apparent Usage
- A/C = Air Conditioner
- BBQ = Barbecue
- C = Calculated
- CB = Catch Basin
- CBS = Concrete Block Structure
- C.E. = Covered Entry
- CH = Chord
- Chatta. = Chattahoochee
- € = Center Line
- CLF = Chain Link Fence
- Cl. = Clear
- Conc. = Concrete
- D = Deed
- Ø = Diameter
- DH = Drill Hole
- DME = Drainage & Maintenance Easmt
- Easmt = Easement
- Enc. = Encroachment
- F.H. = Fire Hydrant
- FIP = Found 1/2" Iron Pipe
- FPL = Florida Power & Light
- I.C.V. = Irrigation Control Valve
- ID = Identification
- I.P. = Iron Pipe
- LB = Licensed Business
- LME = Lake Maintenance Easement
- L.P. = Light Pole
- M = Measured
- ME = Maintenance Easement
- M.F. = Metal Fence
- Mon. = Monument Line
- Mon. = Monument
- N/A = Not Applicable
- N/D = Nail & Disc
- N" = Number
- NTS = Not to Scale
- O/S = Offset
- O.U.L. = Overhead Utility Lines
- P = Plat
- PB = Plat Book
- PC = Point of Curvature
- PCP = Permanent Control Point
- P.E. = Pool Equipment
- P.I. = Point of Intersection
- PKWY = Parkway
- PL = Property Line
- PL = Planter
- PLS = Professional Land Surveyor
- P.O.B. = Point of Beginning
- P.O.C. = Point of Commencement
- P.P. = Power Pole
- PRC = Point of Reverse Curvature
- PRM = Point of Reference Monument
- PT = Point of Tangency
- R = Radius
- Res. = Residence
- R.L.S. = Registered Land Surveyor
- RNG = Range
- R/R = Railroad
- RSM = Registered Surveyor & Mapper
- R/W = Right-of-Way
- Sdwb = Sidewalk
- Sec. = Section
- T = Tangent
- TWP = Township
- U.E. = Utility Easement
- UTIL = Utility
- W.F. = Wood Fence
- W.M. = Water Meter
- WME = Wall Maintenance Easement

LEGAL DESCRIPTION: Lot 16, Block 2, OCEAN BEACH FLORIDA, according to the Plat thereof, as recorded in Plat Book 2, Page 38, of the Public Records of MIAMI-DADE County, Florida.

AND

The North 1/2 of Lot 15, Block 2, OCEAN BEACH FLORIDA, according to the Plat thereof, as recorded in Plat Book 2, Page 38, of the Public Records of MIAMI-DADE County, Florida.

PREPARED FOR: 157 Collins Avenue, LLC,
153-157 Collins Avenue, Miami Beach, FL
33139



- Surveyor's Notes:
- All clearances and/or encroachments shown hereon are of apparent nature. Fence ownership by visual means. Legal ownership of fences not determined.
 - Underground structures, if any, not located.
 - Bearings, if shown, are based on assumed meridian or Plat of Record.
 - Lands shown hereon were not abstracted for easements and/or right-of-ways of records.
 - Legal description provided by client.
 - This certification is only for land as described. It is not a certification of title, zoning, easements, or freedom from encumbrances. ABSTRACT NOT REVIEWED.
 - There may be additional restrictions not shown on this survey that may be found in the public records of this county. ABSTRACT NOT REVIEWED.
 - This BOUNDARY SURVEY has been prepared for the exclusive use of the entities named hereon. The Certificate does not extend to any unnamed party.
 - This survey was based on the monuments found on the field.

SURVEYOR'S SEAL
This survey has been digitally signed and sealed by Nelson Mojarena, P.S.M. on the date adjacent to the seal. Printed copies are not considered signed and sealed and the signature must be verified on any electronic copies.

REVISSED:

Nelson Mojarena
NELSON MOJARENA
Registered Surveyor & Mapper No. 5504
State of Florida

MOJARENA & ASSOCIATES, INC.
Land Surveyors & Mappers
Certificate of Authorization No. 6698
P.O. Box 56-0126
Miami, FL 33256-0126 (305) 278-2494

FLOOD ZONE: AE		BASE: 8	
DATE: 10-05-22	SCALE: 1" = 20'	DWN. BY: N.M.	JOB NO.: 22-0170A

Exhibit “2”



CFN 20080544293
 OR Bk 26460 Pgs 1553 - 1554 (2pgs)
 RECORDED 07/02/2008 09:40:07
 DEED DOC TAX 42,000.00
 SURTAX 31,500.00
 HARVEY RUVIN, CLERK OF COURT
 MIAMI-DADE COUNTY, FLORIDA

Prepared by and return to:
Carla C. Jackson
Legal Assistant
Blass & Frankel, P.A.
One S.E. Third Avenue Suite 2130
Miami, FL 33131

File Number: **KAINE-PINK**
 Will Call No.:

Parcel Identification No. **02-4203-003-0300**

[Space Above This Line For Recording Data]

Warranty Deed

(STATUTORY FORM - SECTION 689.02, F.S.)

This Indenture made this **30th** day of **June, 2008** between **LAWRENCE F. KAINE, a married man** whose post office address is **170 N.E. 29th Street, Miami, FL 33137** of the County of **Miami-Dade, State of Florida**, grantor*, and **157 COLLINS AVE., LLC, a Florida limited liability company** whose post office address is **157 Collins Avenue, 2nd Floor, Miami, FL 33139** of the County of **Miami-Dade, State of Florida**, grantee*,

Witnesseth that said grantor, for and in consideration of the sum of **TEN AND NO/100 DOLLARS (\$10.00)** and other good and valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, has granted, bargained, and sold to the said grantee, and grantee's heirs and assigns forever, the following described land, situate, lying and being in **Miami-Dade County, Florida**, to-wit:

Lot 16, Block 2, OCEAN BEACH, according to the Plat thereof, as recorded in Plat Book 2 at Page 38, of the Public Records of Miami-Dade County, Florida.

Subject to real estate taxes and all assessments for the year 2008 and subsequent years, which are not yet due and payable.

Subject to zoning ordinances and other municipal, state or Federal laws as may be applicable, covenants, conditions, restrictions, limitations, reservations and easements of record, if any, none of which shall be deemed reimposed hereby.

Grantor warrants that at the time of this conveyance, the subject property is not the Grantor's homestead within the meaning set forth in the constitution of the state of Florida, nor is it contiguous to or a part of homestead property.

and said grantor does hereby fully warrant the title to said land, and will defend the same against lawful claims of all persons whomsoever.

* "Grantor" and "Grantee" are used for singular or plural, as context requires.

In Witness Whereof, grantor has hereunto set grantor's hand and seal the day and year first above written.

Signed, sealed and delivered in our presence.

[Signature]
Witness Name: MELVIN F. FRANKEL

Lawrence F. Kaine (Seal)
LAWRENCE F. KAINE, a married man

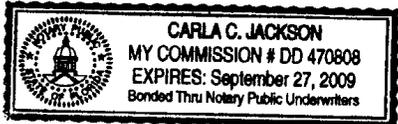
[Signature]
Witness Name: CARLA C. JACKSON

State of Florida

County of Miami-Dade

The foregoing instrument was acknowledged before me this 22nd day of May, 2008 by LAWRENCE F. KAINE, a married man, who is personally known or has produced a driver's license as identification.

[Notary Seal]



[Signature]
Notary Public

Printed Name: CARLA C. JACKSON

My Commission Expires: 9/27/2009
DD-470808

Exhibit “3”

This Instrument prepared by
Richard A. Crisonino Esq.
2101 SW 13th. Street,
Miami Fl. 33145

After recording return to:
Brenden D. Soucy Esq.
Levine Kellogg Lehman Schneider + Grossman LLP
100 SE 2nd Street, 36th. Floor
Miami, Fl. 33131

Folio No.: 02-4203-003-0290

WARRANTY DEED

This Warranty Deed made this the 9th day of August, 2022, by and between PATRICIA M. KAINE, AS TRUSTEE OF THE LAWRENCE F. KAINE LIVING TRUST DATED FEBRUARY 8, 2021 , whose address is 2650 Biscayne Boulevard, Miami, Fl. 33137, Grantor, to 125 COLLINS, LLC, a Florida limited liability company, whose address is P.O. Box 190778, Miami Beach, FL 33139, Grantee:

WITNESSETH, that Grantor, for and in consideration of the sum of Ten (\$10.00) Dollars in hand paid by Grantee and other valuable consideration, grants, bargains and sells to the said Grantee, and to Grantee's heirs, successors and assigns, forever, all of Grantor's right, title and interest in and to the following described land in Miami-Dade County, Florida:

The North ½ of Lot 15, Block 2, OCEAN BEACH, FLA., according to the Plat thereof as recorded in Plat Book 2, Page 38, Public Records of Miami-Dade County, Florida

Subject to easements, restrictions and reservations of record, however this provision shall not serve to reimpose any of same which have been barred by operation of law or otherwise; and real property taxes for the calendar year 2022 and subsequent years.

Together with all the tenements, hereditaments and appurtenances thereto belonging or in anyway appertaining.

To Have and to Hold, the same in fee simple forever.

And the grantor hereby covenants with said grantee that the grantor is fully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land: that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever, and that said land is free of all encumbrances, except taxes accruing subsequent to December 31, 2021.

The above property does not constitute the Homestead of the Grantor, Patricia M. Kaine, within the meaning set forth in the Constitution of the State of Florida, does not adjoin the Homestead of the Grantor, no member of Grantor's family resides thereon.

IN WITNESS WHEREOF, the Grantor has executed this instrument the 9th day of August, 2022.

Signed, sealed and delivered
In the presence of:

GRANTOR:

PATRICIA M. KAINE, AS TRUSTEE OF
THE LAWRENCE F. KAINE LIVING TRUST
DATED FEBRUARY 8, 2021

Sign name: [Signature]
Print name: ADRIANA LEON

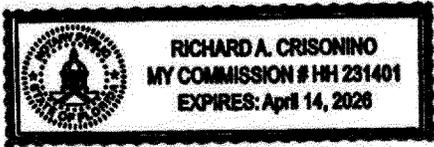
[Signature]
By: Patricia M. Kaine Trustee

Sign name: [Signature]
Print name: RICHARD A CRISONINO

STATE OF FLORIDA
COUNTY OF MIAMI-DADE

The foregoing instrument was acknowledged before me by means of physical presence or online notarization this the 9 day of August, 2022, by Patricia M. Kaine, as Trustee of the Lawrence F. Kaine Living Trust dated February 8, 2021, who is personally known to me or who has produced _____ as identification.

(Affix Notary Seal)



[Signature]
NOTARY PUBLIC, State of Florida -Signature
RICHARD A. CRISONINO
Print Name of Notary Public

My Commission Expires: _____

Exhibit “4”

REVISIONS	BY
3-12	
4-12	

PLANT LIST:

SHRUBS:

- 90 GREEN ISLAND FLOPS (3 GAL) (2' TALL) @ 2' O.C. (FICUS MICROCARPA)
- 75 EUGENIA (5 GAL) (5' TALL) @ 2' O.C. (EUGENIA COMPACTA) (TODIARY)
- 250 SILVER BUTTWOOD HEDGE (3 1/2" 5' TALL) @ 2' O.C. (CONOCARPUS ERECTUS VAR. SERICEUS)

TREES:

- 9 GREEN BUTTWOOD TREES (B&B) (10-12' TALL) (CONOCARPUS ERECTUS)
- 5 BULNESIA TREES (B&B) (10-12' TALL) @ 18' O.C. (BULNESIA ARBOREA)

PALMS:

- 3 CHRISTMAS PALMS (B&B) (10-12' TALL) (ADONIDIA MERRILLI)
- 8 COCONUT PALMS (B&B) (14-16' TALL) @ 15' O.C. (COCOS NUCIFERA 'GREEN MALAYAN' (10' C.T.))

GROUND COVER:

- 560 FLAX LILY (1 GAL) (12" TALL) @ 12" O.C. (DIANELLA ENSIIFOLIA)
- 200 PENTAS (1 GAL) (RED/PURPLE) (2' TALL) @ 12" O.C. (PENTAS LAUCEOLATA)

MATERIAL:

- 30 CU. YD. EUCALYPTUS MULCH
- 12 CU. YD. TOPSOIL (MIXED 50/50)

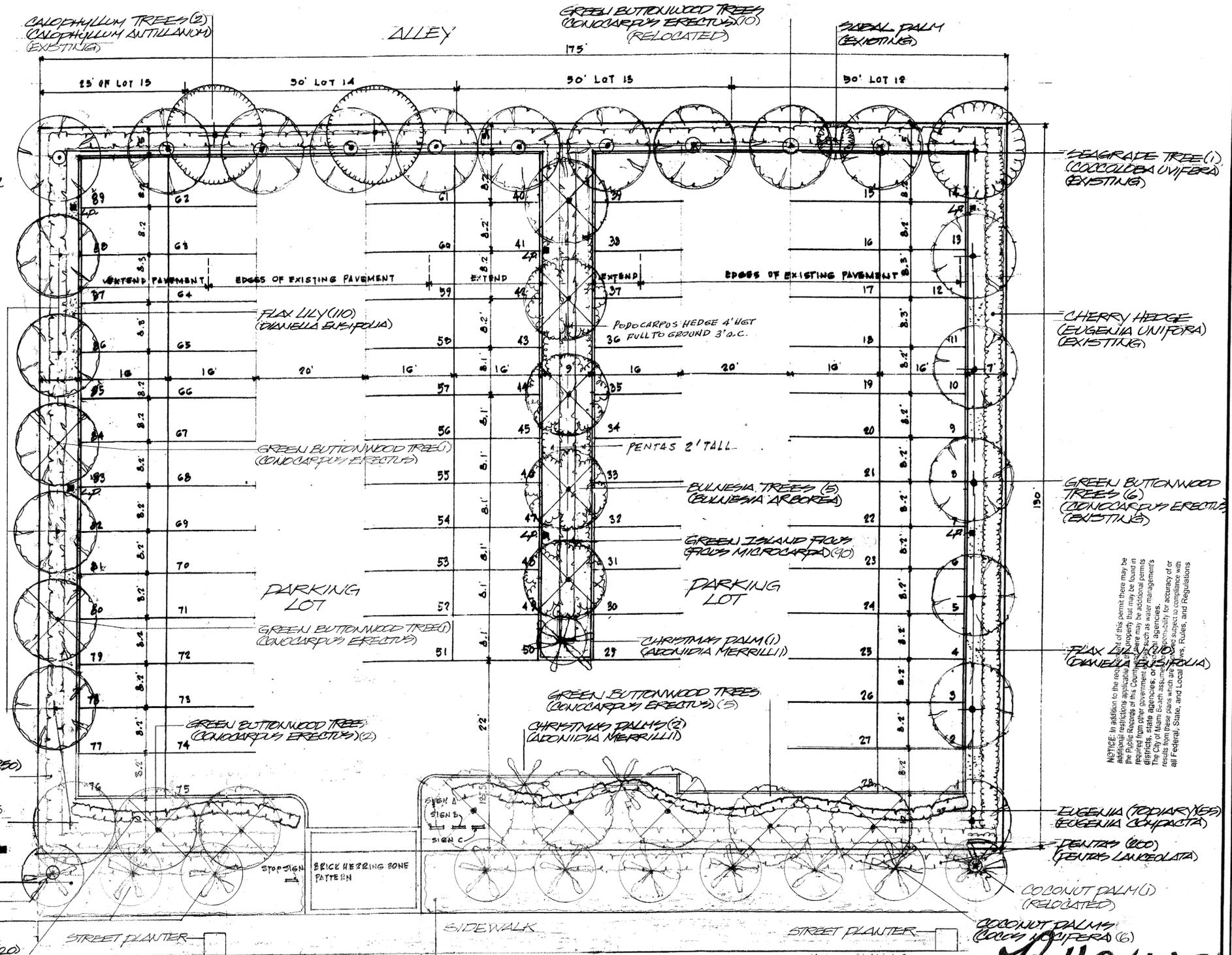
LEGEND:

- DROOPED TREE
- EXISTING TREE
- RELOCATED TREE

- SILVER BUTTWOOD HEDGE (250) (CONOCARPUS ERECTUS VAR. SERICEUS)
- GREEN BUTTWOOD TREES (CONOCARPUS ERECTUS) (5) (EXISTING)
- FLAX LILY (50) (DIANELLA ENSIIFOLIA)
- COCONUT PALM (1) (RELOCATED)
- COCONUT PALM (2) (COCOS NUCIFERA)
- EUGENIA (TODIARY) (20) (EUGENIA COMPACTA)

SPECIAL NOTE:

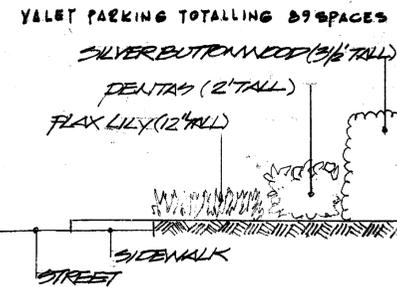
- RESERVE, PROTECT & MAINTAIN ALL EXISTING TREES & PALMS ON SITE
- IF EXISTING TREES INDICATED TO BE RELOCATED ARE NOT FLORIDA #1 OR BETTER PLEASE REPLACE WITH NEW TREE



LANDSCAPING DATA:

LANDSCAPED AREA REQUIRED = 20% OF LOT = 175' x 130' = 22750 S.F. x 20% = 4550 S.F. REQUIRED
 LANDSCAPED AREA PROVIDED = 5145 S.F. OR 22.6% OF LOT AREA
 INTERIOR LANDSCAPING REQUIRED = 5% OF NET INTERIOR = 120' x 130' = 15720 S.F. x 5% = 936 S.F. REQUIRED
 INTERIOR LANDSCAPING PROVIDED = 1798 S.F. OR 9.6%
 TREES REQUIRED ADJACENT TO PUBLIC R.O.W. 1 PER 50 L.F. = 6 REQUIRED; 6 PROVIDED
 INTERIOR LANDSCAPE TREES REQUIRED 1 PER 100 S.F. = 10 REQUIRED; 10 PROVIDED
 SIDE & REAR TREES REQUIRED 1 PER 40 L.F. = 11 REQUIRED; 22 PROVIDED

VALET PARKING TOTALING 39 SPACES



WESTERN LANDSCAPE (ENTRANCE)

NOTICE: In addition to the requirements of this permit there may be other applicable laws, codes, ordinances, rules, and regulations of the City of Miami Beach, State of Florida, and the United States of America. The City of Miami Beach shall not be responsible for the accuracy of or compliance with any laws, codes, ordinances, rules, and regulations of any other jurisdiction.

3104174
 SCALE 1"=10'
 APPROVED FOR PERMIT BY THE FOLLOWING:

DATE: 6/18/12
 DRAWN: JCY
 CHECKED: [Signature]
 ENGINEERING: [Signature]
 CIVIL WORKS: [Signature]
 STRUCTURAL: [Signature]
 ELEVATOR: [Signature]

JOHN C. SHIELDS, AIA
 LANDSCAPE ARCHITECT
 MIAMI, FLORIDA

LANDSCAPE PLAN
 SCALE: 1"=10' 0"

786 242-1949 AR 7124
 ALLAN IRI BASS, ARCHITECT
 8445 SW 120 ST. MIAMI, FLORIDA

KAINE PARKING
 125 COLLINS AVE.
 MIAMI BEACH, FL.

Date	6/18/12
Scale	1"=10' 0"
Drawn	JCY
Job	
Sheet	1
Of 2	Sheets

SCOPE OF WORK

The purpose of this project is to expand the existing parking lots. As the parking lots are new having been completed in 2010 it is the intention to incorporate as many of the existing elements as practical. The following describes the scope of work:

Curb cuts
It is intention to utilize the existing easterly 22' wide curb cut that was built in accordance with Miami Beach standards of red brick and concrete borders. The westerly curb cut will be removed and landscaped as shown on the landscape drawings.

Paving
The existing paving shall remain in place and shall be extended as indicated on the drawings. Some small areas shall be removed to accomplish the final layout. Upon completion of the paving the entire lot shall be recoated and restriped in accordance with the parking layout.

Curbing
Provide a 6" concrete curb around all asphalt paved areas adjoining landscaped areas.

Drainage
There currently exists four catch basins and seepage pits that drain the existing paving that shall remain as is. Provide additional drainage as shown on the drawings.

Fencing
Relocate portions of existing green picket fencing as indicated on the drawings. Remove all chain link fencing.

Lighting
Several light poles and light fixtures shall remain in place. Provide new site lighting poles and fixtures as shown on the drawings. Utilize existing electrical service and equipment and repair and maintain as required.

Irrigation
Extend and relocate as required sprinkler heads, piping, and all components and connect to existing water supply and equipment to achieve the irrigation system as shown on the drawings.

Landscaping
Relocate portions of existing landscaping as indicated on the detailed landscape drawings and add new landscaping as shown on the drawings. Watering, mulching, fertilizing, pesticide applications, pruning, trash pickup and irrigation shall be done on an as needed basis to insure a well maintained site with healthy and neat landscaping.

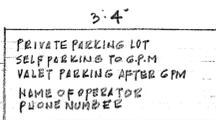
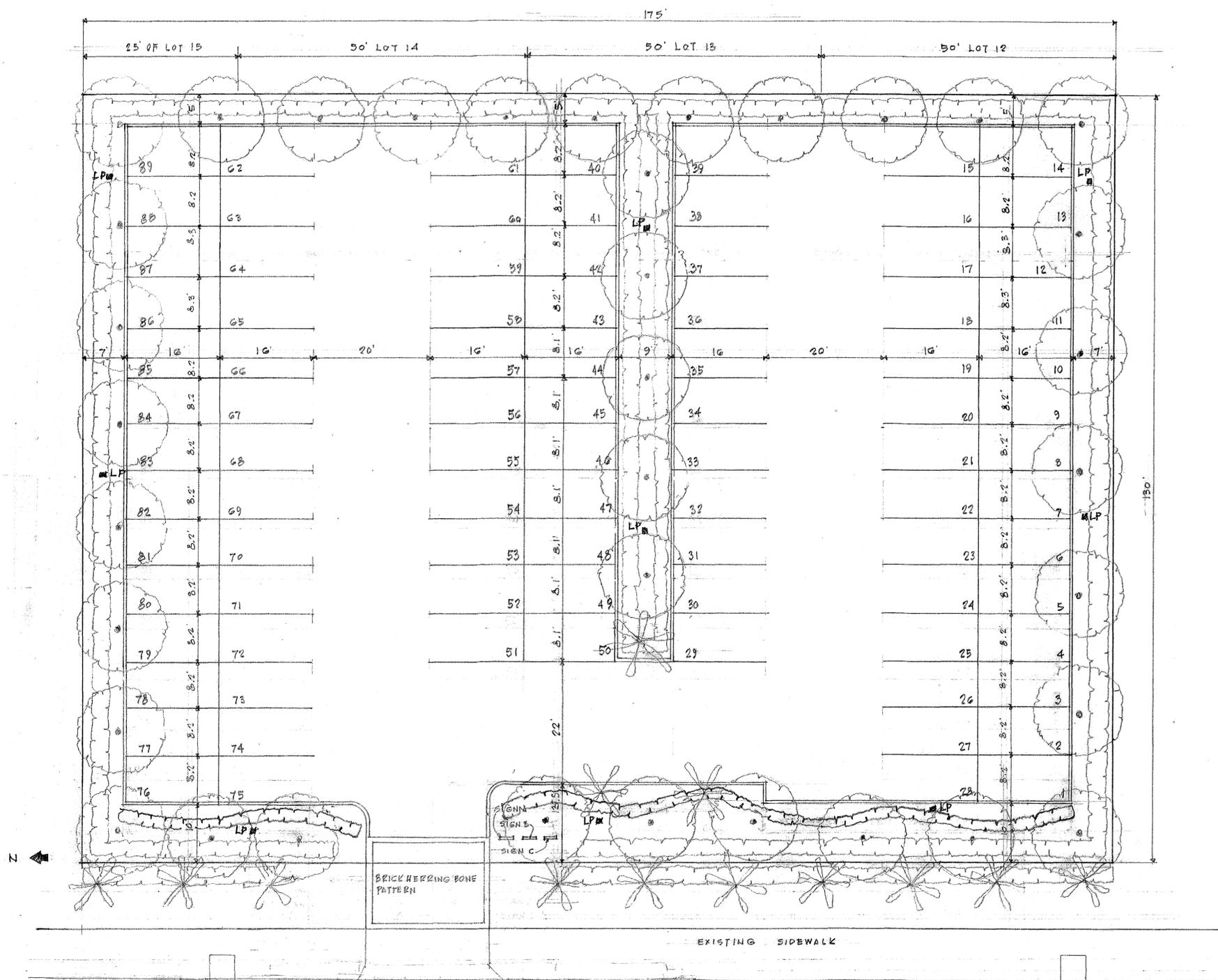
GENERAL NOTES

All work performed shall comply with all requirements of the latest edition of the Florida Building Code & the Zoning ordinance of the City of Miami Beach

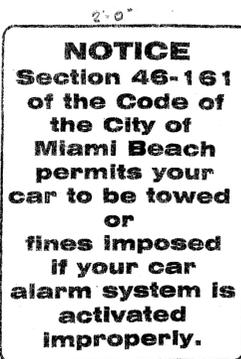
Contractor and all subcontractors doing work on this project shall carry liability, property damage and workmens compensation insurance against accidents and owner shall be furnished with certificates of insurance.

Contractor and all subcontractors shall check all dimensions and conditions at job site and be responsible for checking same. Any discrepancies shall be reported to the Architect before proceeding with the work.

All equipment and products shall be installed and maintained as required.



SIGN C NTS



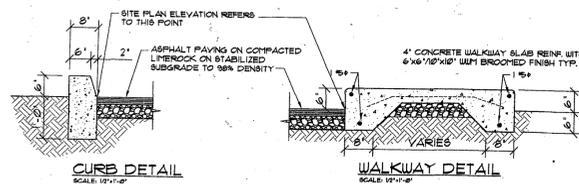
SIGN A NTS AS PER MIAMI BEACH SPECS



SIGN B NTS

LIST OF DRAWINGS

- 1 Landscape Plan
- 1a TREE SUEVEY
- 2 Landscape Notes and Details
- 3 Site Plan
- 4 Paving, Fencing, Irrigation & Drainage
- 5 Electrical and Photometrics
- 6 Survey



COLLINS AVENUE
VALET PARKING TOTALLING 89 SPACES
FOR LANDSCAPING SEE SHEETS 1 & 2. DO NOT USE THIS SHEET FOR LANDSCAPING
PARKING STRIPES SHALL BE PAINTED WHITE.

Wm. Bass 4/11/12
A. I. Bass 4-11-12

REVISIONS	BY
8-8-11	
1-12	

AR 7124
Architect
*
Allan Ira Bass
8445 sw 120 Street
Miami, Florida

786 242-1949

Kaine Parking
125 Collins Avenue Miami Beach, Florida

SITE PLAN

DRAWN	A.I.B.
CHECKED	A.I.B.
DATE	4-19-11
SCALE	AS SHOWN
JOB NO.	
SHEET	3
OF SHEETS	

AREA A Drainage Calculations

Parking Lot = 2645 s.f. = .06072 Acre

$$V = CIA = (.90)(6.2)(.06072) = .3388176$$

Length of trench required:

$$L = \frac{V}{K(H_2W + 2H_2D_u - D_u^2 + H_2D_s) + (1.39 \times 10^{-4}) W D_u}$$

$$L = \frac{.3388176}{.000104(3.7 \times 3 + 2 \times 3.7 \times 2.7 - 2.7^2 + 2 \times 3.7 \times 11.3 + .00039 \times 3 \times 2.7)}$$

$$L = \frac{.3388176}{.0111706 + .003159} = .0143296 = 23.644595 \text{ ft. USE 25 ft.}$$

AREA B Drainage Calculations

Parking Lot = 3364 s.f. = .07723 Acre

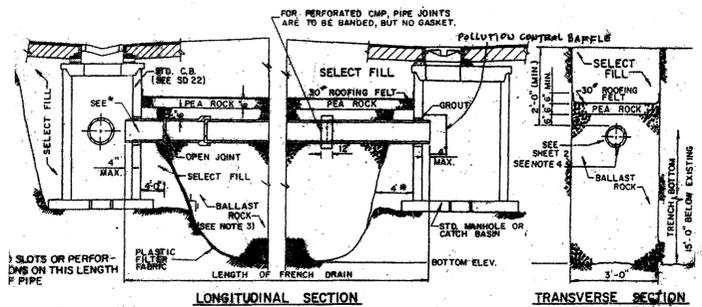
$$V = CIA = (.90)(6.2)(.07723) = .4309434$$

Length of trench required:

$$L = \frac{V}{K(H_2W + 2H_2D_u - D_u^2 + H_2D_s) + (1.39 \times 10^{-4}) W D_u}$$

$$L = \frac{.4309434}{.000104(3.7 \times 3 + 2 \times 3.7 \times 2.7 - 2.7^2 + 2 \times 3.7 \times 11.3 + .00039 \times 3 \times 2.7)}$$

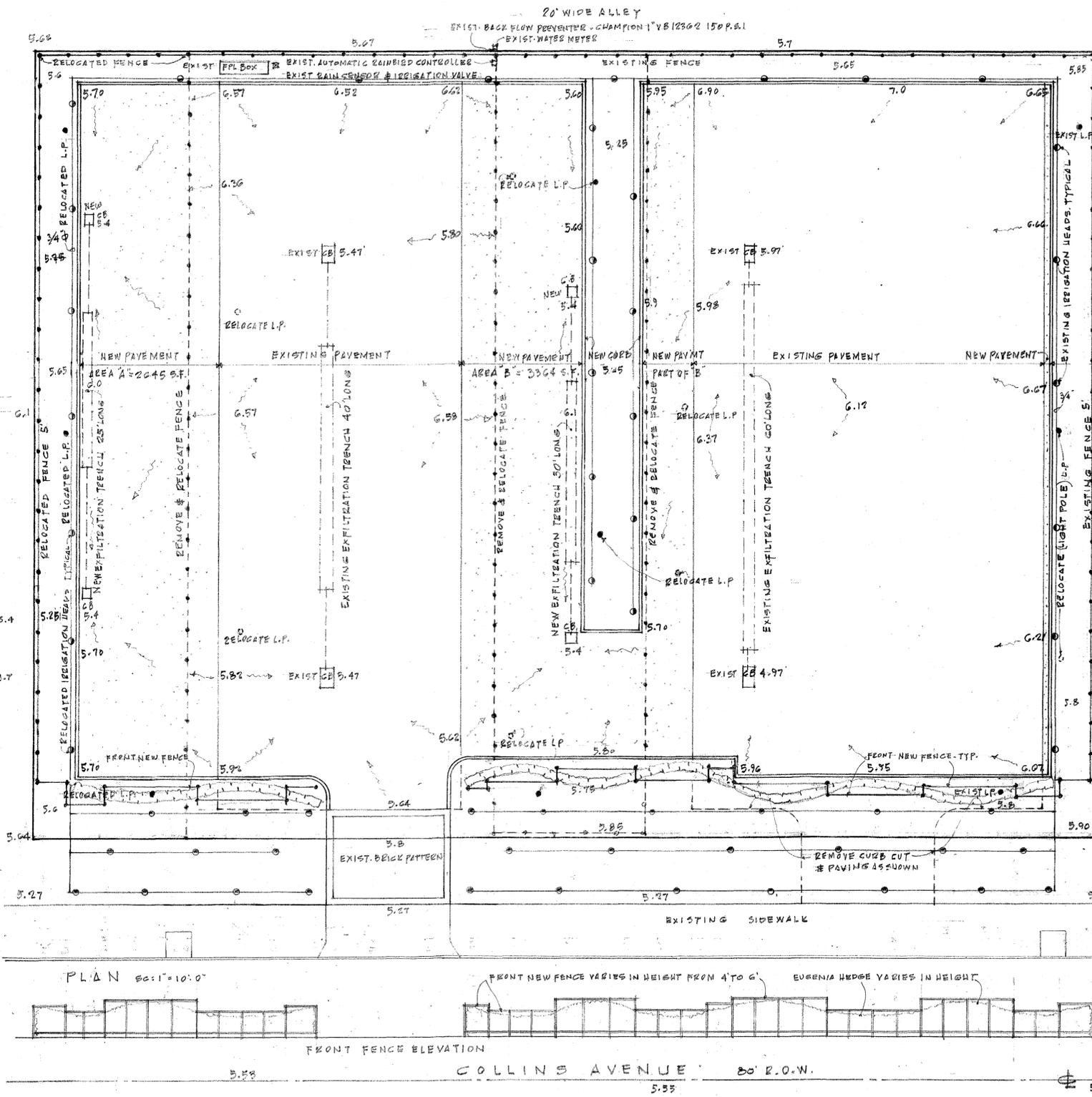
$$L = \frac{.4309434}{.0111706 + .003159} = .014296 = 30.073651 \text{ ft. USE 30 ft.}$$



NOTES:
 PLASTIC FILTER FABRIC (AT EA SIDE) SHALL BE USED IN SANDY AREAS AS NOTED ON PLANS AND/OR AS DIRECTED BY THE ENGINEER.
 THE BOTTOM OF THE INFILTRATION TRENCH SHALL BE 15'-0" BELOW EXISTING GROUND ELEVATION, UNLESS FIELD CONDITIONS WARRANT OTHERWISE.
 AFTER THE BALLAST ROCK HAS BEEN PLACED TO THE PROPER ELEVATION, IT SHALL BE CAREFULLY WASHED DOWN WITH CLEAN WATER IN ORDER TO ALLOW FOR INITIAL SETTLEMENT THAT MAY OCCUR. IF IT DOES TAKE PLACE, ADDITIONAL BALLAST ROCK WILL BE ADDED TO RESTORE THE BALLAST ROCK TO THE PROPER ELEVATION SO THAT THE INFILTRATION TRENCH BE COMPLETED IN ACCORDANCE WITH THE DETAILS.
 INVERT ELEVATION TO BE AS SHOWN IN W.C. 2.2 (AVG. OCTOBER GROUND WATER LEVEL).
 NOTE: IF THIS DETAIL IS TO BE USED FOR PRETREATMENT OF STORMWATER RUN-OFF, THE INVERT OF PIPE TO BE AS SHOWN IN W.C. 2.2. IF PRETREATMENT HAS BEEN PROVIDED THROUGH OTHER MEANS THE INVERT OF PIPE CAN BE LOWER THAN SHOWN IN W.C. 2.2.
 K = 1.04 x 10⁻⁴

EROSION AND SEDIMENT CONTROL NOTES

- THE CONTRACTOR IS RESPONSIBLE FOR REMOVING SILT FROM SITE IF NOT REUSABLE ON SITE AND ASSURING PLAN ALIGNMENT AND GRADE IN ALL DITCHES AND SWALES AT COMPLETION OF CONSTRUCTION.
- THE SITE CONTRACTOR IS RESPONSIBLE FOR REMOVING THE TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES AFTER COMPLETION OF CONSTRUCTION AND ONLY WHEN AREAS HAVE BEEN STABILIZED.
- ADDITIONAL PROTECTION - ON-SITE PROTECTION MUST BE PROVIDED THAT WILL NOT PERMIT SILT TO LEAVE THE PROJECT CORNERS DUE TO UNFORSEEN CONDITIONS OR ACCIDENTS.
- CONTRACTOR SHALL INSURE THAT ALL DRAINAGE STRUCTURES, PIPES, ETC. ARE CLEANED OUT AND WORKING PROPERLY AT TIME OF ACCEPTANCE.
- WIRE MESH SHALL BE LAID OVER THE TOP DROP INLET SO THAT THE WIRE EXTENDS A MINIMUM OF 1 FOOT BEYOND EACH SIDE OF THE INLET STRUCTURE. HARDWARE CLOTH OR COMPARABLE WIRE MESH WITH 1/2 INCH OPENING SHALL BE USED. IF MORE THAN ONE STRIP OF MESH IS NECESSARY, THE STRIPS SHALL BE OVERLAPPED.
- FOOT NO. 1 COARSE AGGREGATE SHALL BE PLACED OVER THE WIRE MESH AS INDICATED ON DETAIL. THE DEPTH OF STONE SHALL BE AT LEAST 12 INCHES OVER THE ENTIRE INLET OPENING. THE STONE SHALL EXTEND BEYOND THE INLET OPENING AT LEAST 18 INCHES ON ALL SIDES.
- IF THE STONE FILTER BECOMES CLOGGED WITH SEDIMENT SO THAT IT NO LONGER ADEQUATELY PERFORMS ITS FUNCTION, THE STONE MUST BE PULLED AWAY FROM THE INLET, CLEANED AND REPLACED.
- BALE SHALL BE EITHER WIRE-BOUND OR STRING-TIED WITH THE BINDINGS ORIENTED AROUND THE SIDES RATHER THAN OVER AND UNDER THE BALES.
- BALES SHALL BE PLACED LENGTHWISE IN SINGLE ROW SURROUNDING THE INLET, WITH THE ENDS OF ADJACENT BALES PRESSED TOGETHER.
- THE FILTER BARRIER SHALL BE ENTRENCHED AND BACKFILLED. A TRENCH SHALL BE EXCAVATED AROUND THE INLET AND WIDTH OF A BALE TO A MINIMUM DEPTH OF FOUR INCHES. AFTER THE BALES ARE STACKED, THE EXCAVATED SOIL SHALL BE BACKFILLED AND COMPACTED AGAINST THE FILTER BARRIER.
- EACH BALE SHALL BE SECURELY ANCHORED AND HELD IN PLACE BY AT LEAST TWO STAKES OR REBARS DRIVEN THROUGH THE BALE.
- LOOSE STRAW SHOULD BE WEDGED BETWEEN BALE STO PREVENT WATER FROM ENTERING BETWEEN BALES.
- HAYBALE BARRIERS SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL.
- CLOSE ATTENTION SHALL BE PAID TO THE REPAIR OF DAMAGED BALES, END RUNS AND UNDERCUTTING BENEATH BALES.
- NECESSARY REPAIRS TO BARRIERS OR REPLACEMENT OF BALES SHALL BE ACCOMPLISHED PROMPTLY.
- SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH RAINFALL. THEY MUST BE REMOVED WHEN THE LEVEL OF DEPOSITION REACHES APPROXIMATELY ONE-HALF THE HEIGHT OF THE BARRIER.
- ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE HAYBALE BARRIER IS NO LONGER REQUIRED SHALL BE DRESSED TO CONFORM TO THE EXISTING GRADE, PREPARED AND SEEDED.
- SILT FENCES AND FILTER BARRIERS SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY.
- SHOULD THE FABRIC ON A SILT FENCE OR FILTER BARRIER DECOMPOSE OR BECOME INEFFECTIVE PRIOR TO THE END OF THE EXPECTED USABLE LIFE AND THE BARRIER IS STILL NECESSARY, THE FABRIC SHALL BE REPLACED PROMPTLY.
- THE STRUCTURE SHALL BE INSPECTED AFTER EACH RAIN AND REPAIRS MADE AS NEEDED.
- SEDIMENT SHALL BE REMOVED AND THE TRAP RESTORED TO ITS ORIGINAL DIMENSIONS WHEN THE SEDIMENT HAS ACCUMULATED TO ONE-HALF THE DESIGN DEPTH OF THE TRAP. REMOVED SEDIMENT SHALL BE DEPOSITED IN A SUITABLE AREA AND IN SUCH A MANNER THAT IT WILL NOT ERODE.
- THE CONTRACTOR IS RESPONSIBLE FOR FOLLOWING THE BEST EROSION AND SEDIMENT CONTROL PRACTICES AS OUTLINED IN THE PLANS, SPECIFICATIONS AND APPLICABLE WATER MANAGEMENT DISTRICT PERMITS FOR THIS PROJECT.
- FOR ADDITIONAL INFORMATION ON SEDIMENT AND EROSION CONTROL REFER TO "THE FLORIDA DEVELOPMENT MANUAL - A GUIDE TO SOUND LAND AND WATER MANAGEMENT" FROM THE STATE OF FLORIDA DEPARTMENT OF ENVIRONMENTAL REGULATION (FDER), CHAPTER 6.
- EROSION AND SEDIMENT CONTROL BARRIERS SHALL BE PLACED ADJACENT TO ALL WETLAND AREAS WHERE THERE IS POTENTIAL FOR DOWNSTREAM WATER QUALITY DEGRADATION.



NOTES:
 • ANY WORK AND/OR IMPROVEMENTS FROM TO THE RIGHT-OF-WAY INCLUDING LANDSCAPING & IRRIGATION REQUIRE A SEPARATE CMB PUBLIC WORKS DEPT. RIGHT OF WAY PERMIT
 • ALL CONSTRUCTION &/OR USE OF EQUIPMENT IN THE RIGHT OF WAY REQUIRES A SEPARATE PUBLIC WORKS DEPARTMENT CONSTRUCTION PERMIT.
 • EXISTING PAVEMENT & DRAINAGE HAS BEEN PERMITTED, COMPLETED & APPROVED
 • THE CALCULATIONS & DETAILS PERTAIN TO THE NEW WORK.
 • CONTRACTOR SHALL INSPECT AND UPGRADE THE EXISTING IRRIGATION SYSTEM TO INSURE THAT A 100% COVERAGE & AN AUTOMATIC RAIN SENSOR EXISTS IN ORDER TO RENDER THE SYSTEM INOPERATIVE IN THE EVENT OF RAIN. ALL LANDSCAPED SHALL BE INCLUDED INCLUDING R.O.W AREAS
 • R.O.W. LANDSCAPING SHALL BE COORDINATED WITH CURRENT C.I.P PROGRAM
 • LANDSCAPING MAINTENANCE: FERTILIZE EVERY THREE MONTHS; PRUNE TREES ANNUALLY PRUNE UNDERSTORY PLANTING EVERY THREE WEEKS; TRASH PICKUP DAILY; PESTICIDE EVERY SIX MONTHS; MULCH EVERY THREE MONTHS TO INSURE 3" THICKNESS.
 • LIGHT POLES ON THE INTERIOR SIDES OF THE LOT & WITHIN THE REQUIRED SETBACKS SHALL NOT EXCEED 10' IN HEIGHT.

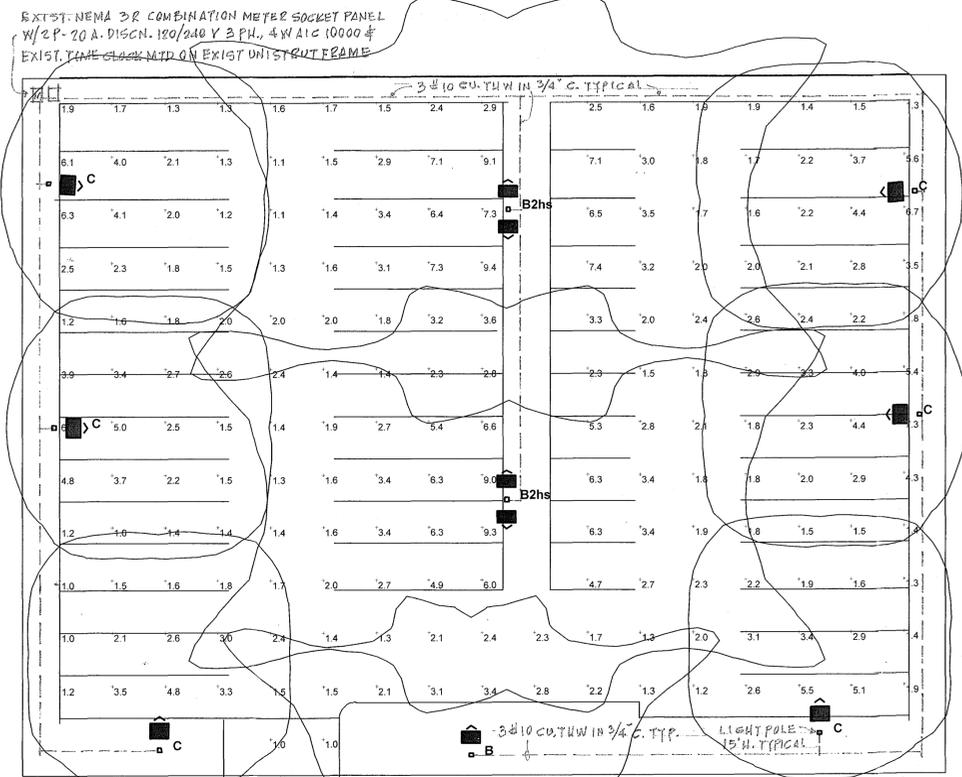
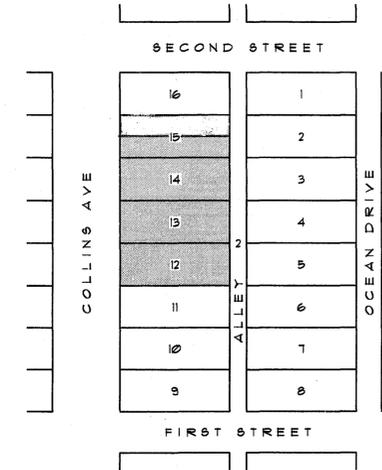
REVISIONS	BY
7-11	
8-11	

AR 7124
 786 242-1949
Alan Ira Bass * Architect
 8445 sw 120 Street
 Miami, Florida

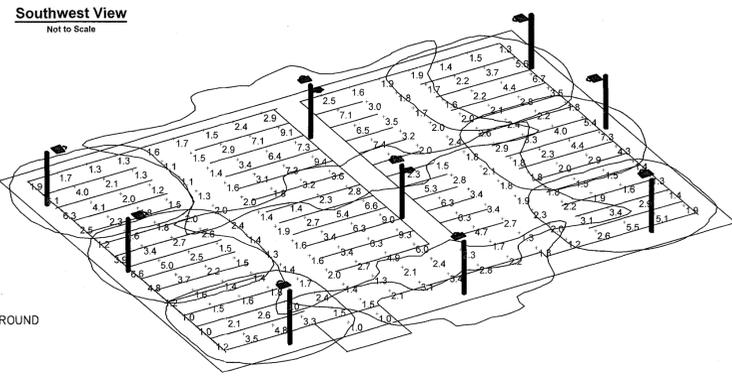
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4
 OF SHEETS

ELECTRICAL NOTES

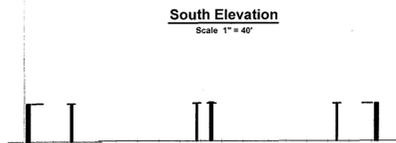
- General
 - All work performed under this contract shall comply with all national, state and local codes having jurisdiction and with the requirements of the utility companies whose services shall be used. All modifications required by these codes shall be made by this contractor without additional charge.
 - Drawings: Refer to all drawings for coordination of the electrical work.
 - Arrange and pay for all permits, licenses, inspections and tests. Obtain the required certificates and present to owner.
 - Guarantee: The completed installation shall be fully guaranteed against defective materials and/or improper workmanship for minimum of one year for material and labor.
- Contractor is directed to review the building plans and specifications for limitations of materials and products, definition of workmanship. This contractor shall include his bid proposal all costs necessary for a complete and operational installation and shall visit the job site prior to a bid date. Contractor needs to establish a field liaison with project supervisor, prior to commencing work.
- All required insurance shall be provided for protection against public liability and property damage for duration of the work.
- It shall not be the intent of these plans and/or specifications to show every minor detail of construction. The electrical contractor shall be expected to furnish and install all items for a complete electrical system and provide all requirements necessary for equipment to be placed in proper working order.
- Electrical contractor shall not scale drawings. Contractor shall refer to architectural plans and elevations for exact locations of all equipment unless otherwise noted.
- All conduit runs are shown diagrammatically. Exact routing shall be determined in the field, unless otherwise noted.
- Electrical contractor shall visit the job site and verify all conditions, locations, dimensions and counts as shown and/or noted on the drawings. This shall include any and all fabrications prior to installations.
- As a minimum, all equipment shall meet applicable standards, for the type of equipment and intended use, of the following:
 - American National Standards Institute (ASTM).
 - Illuminating Engineers Society (IES).
 - American Society for Testing and Materials (ASTM)
 - National Electrical Manufacturer's Association (NEMA).
 Note: These standards are subordinate to codes, and standards set by UL.
- All electrical equipment, devices, wire, ect. shall be listed, for the intended use, with Underwriter laboratories, inc. (UL), where standards have been established by UL.
- As-built drawings shall be furnished to the owner upon completion of work.
- Wiring devices to be spec. grade.
- Where more than one devices is indicated at any location, these shall be ganged under one common cover plate.
- Contractor shall coordinate with electric and telephone utility for service entrance location and any other requirements.



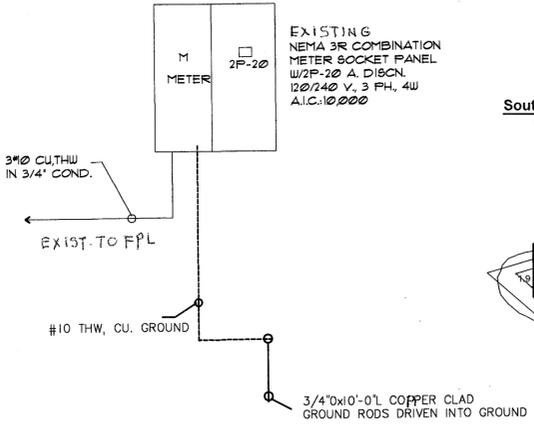
Plan View
Scale 1" = 16'



Southwest View
Not to Scale



South Elevation
Scale 1" = 40'



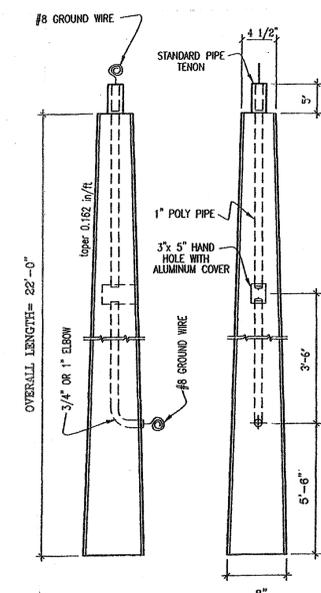
EXISTING ELECTRICAL RISER DIAG. NTS

LENGTH OF POLE	22 FT.
EMBEDMENT SPECIFIED	7 FT.
HEIGHT ABOVE GROUND	15 FT.
WEIGHT	900 LBS.
WIND VELOCITY (mph)	160 170 180
MAXIMUM EPA* (sq. ft.)	5.3 3.5 1.4

Above embedment shown in Sand. Other embedment depth may be required for other soil condition.

STANDARD PIPE TENON SIZE	
Nominal Diameter (in)	Outside Diameter (in)
2"	2 3/8"
2 1/2"	2 7/8"
3"	3 1/2"
3 1/2"	4"
4"	4 1/2"

Please order tenon by nominal diameter.



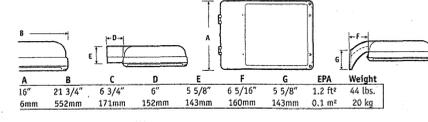
22 ft. TYPE I-0 POLE

1380 N.E. 48th Street
Pompano Beach, FL 33064
PHONE: (954) 781-4040
(800) 749-4041
FAX: (954) 781-3539 SALES & ADMINISTRATIVE
Pre-Cast Specialties, Inc.
Precast and Prestressed Concrete

STATISTICS					
Description	Symbol	Avg	Max	Min	Max/Min
Calc Zone #7	+	2.9 fc	9.4 fc	1.0 fc	9.4:1

LUMINAIRE LOCATIONS										
No.	Label	Location		MH	Orientation	Tilt	Aim		X	Y
		X	Y				X	Y		
1	C	5.0	120.0	15.0	93.8	0.0	6.2	119.9		
2	C	6.0	74.0	15.0	90.0	0.0	7.2	74.0		
3	C	25.9	13.0	15.0	-0.3	0.0	25.9	14.2		
4	C	169.0	118.0	15.0	267.9	0.0	167.8	118.0		
5	C	170.0	76.0	15.0	-90.0	0.0	168.8	76.0		
6	C	151.0	16.0	15.0	0.0	0.0	151.0	17.2		
7	B2hs	91.7	60.3	15.0	180.0	5.0				
8	B2hs	92.0	115.0	15.0	-0.2	5.0				
9	B	85.0	12.0	15.0	0.0	0.0	85.0	13.1		

LUMINAIRE SCHEDULE						
Symbol	Label	Qty	Catalog Number	Description	Lamp	Lumens LLF Watts
■	B	1	CR1-H17-H3-HS	CIMARRON RECTANGULAR AREA LIGHT TYPE III REFLECTOR CLEAR FLAT LENS INTERNAL HOUSE SHIELD	150W CLEAR ED-28 METAL HALIDE HORIZONTAL POSITION	12500 0.72 210
■	C	6	CR1-H17-H4-HS	CIMARRON RECTANGULAR AREA LIGHT TYPE IV REFLECTOR CLEAR FLAT LENS INTERNAL HOUSE SHIELD	150W CLEAR ED-28 METAL HALIDE HORIZONTAL POSITION	12500 0.72 210
■	B2hs	2	CR1-H17-H3-HS	CIMARRON RECTANGULAR AREA LIGHT TYPE III REFLECTOR CLEAR FLAT LENS INTERNAL HOUSE SHIELD	150W CLEAR ED-28 METAL HALIDE HORIZONTAL POSITION	25000 0.72 420



LIGHT FIXTURE NTS

REVISIONS	BY
412	

AR 7124
786 242-1949
Allan Ira Bass * Architect
Miami, Florida
Kaine Parking
125 Collins Avenue Miami Beach, Florida
8445 sw 120 Street

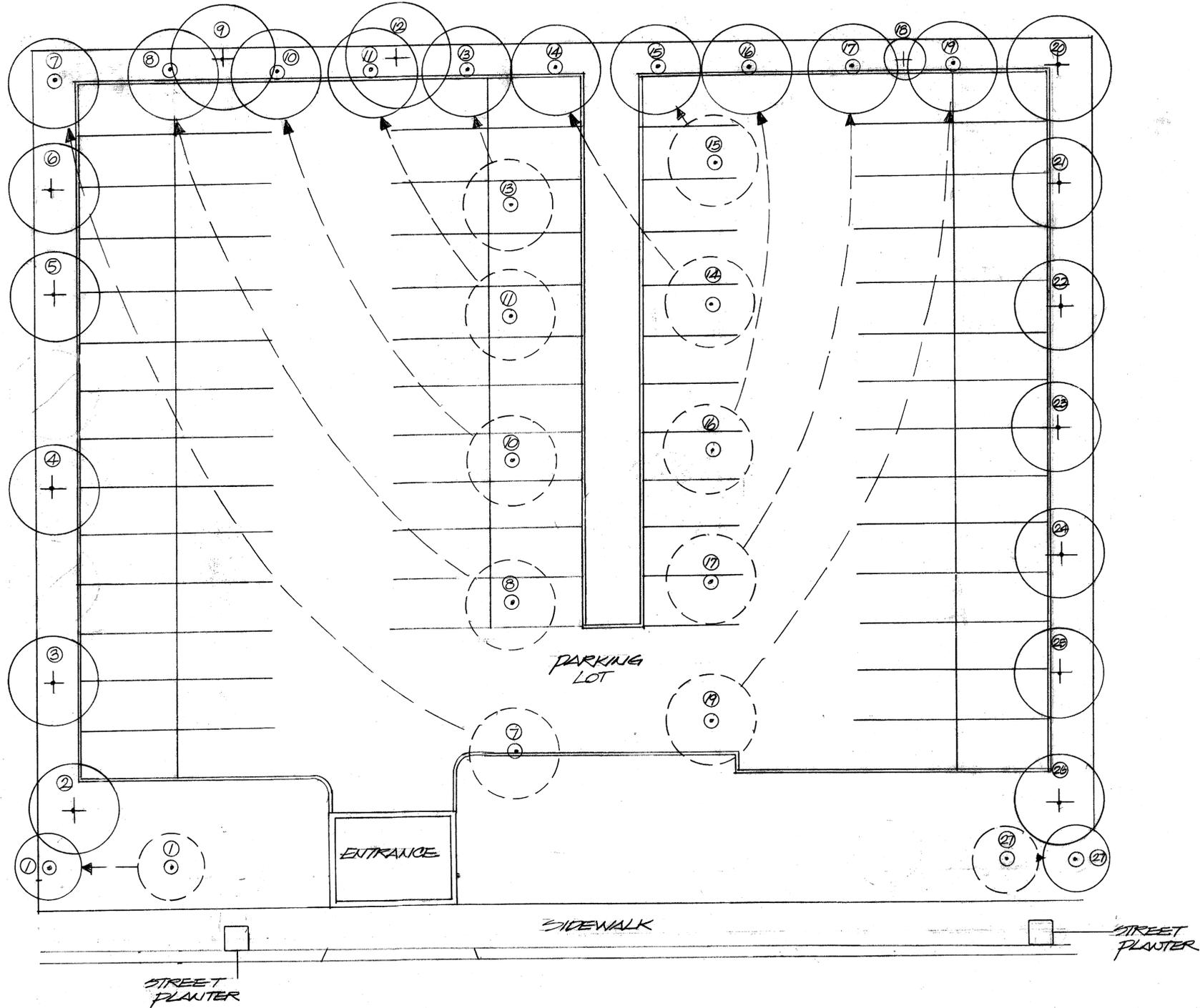
DRAWN	A.L.B.
CHECKED	A.L.B.
DATE	3-11
SCALE	AS SHOWN
JOB NO.	
SHEET	5
OF SHEETS	

Uom. 4/13/12
Apr 11 4-11-12

REVISIONS	BY
4	

TREE SURVEY:
 (EXISTING TREES & PALMS TO
 REMAIN OR RELOCATE ON SITE)

- ① COCONUT PALM (COCOS NUCIFERA)
DBH 8" CANOPY 15' HEIGHT 15' (RELOCATED)
- ② GREEN BUTTONWOOD TREE (CONOCARDUS ERECTUS)
DBH 3" CANOPY 10' HEIGHT 12' (REMAIN)
- ③ GREEN BUTTONWOOD TREE (CONOCARDUS ERECTUS)
DBH 4" CANOPY 12' HEIGHT 12' (REMAIN)
- ④ GREEN BUTTONWOOD TREE (CONOCARDUS ERECTUS)
DBH 3" CANOPY 10' HEIGHT 10' (REMAIN)
- ⑤ GREEN BUTTONWOOD TREE (CONOCARDUS ERECTUS)
DBH 4" CANOPY 10' HEIGHT 12' (REMAIN)
- ⑥ GREEN BUTTONWOOD TREE (CONOCARDUS ERECTUS)
DBH 3" CANOPY 6' HEIGHT 12' (REMAIN)
- ⑦ GREEN BUTTONWOOD TREE (CONOCARDUS ERECTUS)
DBH 3" CANOPY 15' HEIGHT 15' (RELOCATED)
- ⑧ GREEN BUTTONWOOD TREE (CONOCARDUS ERECTUS)
DBH 8" CANOPY 15' HEIGHT 18' (RELOCATED)
- ⑨ CALOPHYLLUM TREE (CALOPHYLLUM ANTILLANUM)
DBH 12" CANOPY 40' HEIGHT 40' (REMAIN)
- ⑩ GREEN BUTTONWOOD TREE (CONOCARDUS ERECTUS)
DBH 10" CANOPY 20' HEIGHT 18' (RELOCATED)
- ⑪ GREEN BUTTONWOOD TREE (CONOCARDUS ERECTUS)
DBH 3" CANOPY 10' HEIGHT 12' (RELOCATED)
- ⑫ CALOPHYLLUM TREE (CALOPHYLLUM ANTILLANUM)
DBH 12" CANOPY 40' HEIGHT 40' (REMAIN)
- ⑬ GREEN BUTTONWOOD TREE (CONOCARDUS ERECTUS)
DBH 12" CANOPY 20' HEIGHT 20' (RELOCATED)
- ⑭ GREEN BUTTONWOOD TREE (CONOCARDUS ERECTUS)
DBH 7" CANOPY 15' HEIGHT 15' (RELOCATED)
- ⑮ GREEN BUTTONWOOD TREE (CONOCARDUS ERECTUS)
DBH 4" CANOPY 10' HEIGHT 12' (RELOCATED)
- ⑯ GREEN BUTTONWOOD TREE (CONOCARDUS ERECTUS)
DBH 6" CANOPY 15' HEIGHT 15' (RELOCATED)
- ⑰ GREEN BUTTONWOOD TREE (CONOCARDUS ERECTUS)
DBH 3" CANOPY 10' HEIGHT 8' (RELOCATED)
- ⑱ SABAL PALM
DBH 12" CANOPY 10' HEIGHT 15' (REMAIN)
- ⑲ GREEN BUTTONWOOD TREE (CONOCARDUS ERECTUS)
DBH 7" CANOPY 15' HEIGHT 12' (RELOCATED)
- ⑳ SEAGRADE TREE (COCOLOBA UNIFERA)
DBH 12" CANOPY 25' HEIGHT 20' (REMAIN)
- ㉑ GREEN BUTTONWOOD TREE (CONOCARDUS ERECTUS)
DBH 8" CANOPY 15' HEIGHT 20' (REMAIN)
- ㉒ GREEN BUTTONWOOD TREE (CONOCARDUS ERECTUS)
DBH 4" CANOPY 15' HEIGHT 15' (REMAIN)
- ㉓ GREEN BUTTONWOOD TREE (CONOCARDUS ERECTUS)
DBH 4" CANOPY 10' HEIGHT 15' (REMAIN)
- ㉔ GREEN BUTTONWOOD TREE (CONOCARDUS ERECTUS)
DBH 12" CANOPY 10' HEIGHT 15' (REMAIN)
- ㉕ GREEN BUTTONWOOD TREE (CONOCARDUS ERECTUS)
DBH 3" CANOPY 6' HEIGHT 10' (REMAIN)
- ㉖ GREEN BUTTONWOOD TREE (CONOCARDUS ERECTUS)
DBH 4" CANOPY 10' HEIGHT 12' (REMAIN)
- ㉗ COCONUT PALM (COCOS NUCIFERA)
DBH 8" CANOPY 15' HEIGHT 15' (RELOCATED)



- LEGEND:**
- ⊕ REMAIN (EXISTING TREES TO STAY IN EXISTING LOCATION)
 - RELOCATED (PRESENT LOCATION)
 - RELOCATED (NEW LOCATION WHERE TREES ARE RELOCATED TO)

JOHN C. SHIELDS, AIA
 LANDSCAPE ARCHITECT
 MIAMI, FLORIDA

TREE SURVEY
 SCALE: 1/4"=10'-0"

786-2421949 A E T I 24
 ALLAN JEA BASS, ARCHITECT
 8445 SW 120 ST. MIAMI, FLORIDA

KAINE PARKING
 125 COLLINS AVE.
 MIAMI BEACH, FL

Date	
Scale	1/4"=10'-0"
Drawn	JCS
Job	
Sheet	1/a
Of	Sheets

Uomp. 6/13/12

Exhibit “5”

VIA EMAIL

September 8, 2022

Paul A. Shelowitz
Direct: 305-789-9394
Email: pshelowitz@stroock.com

Mr. Thomas Mooney
City of Miami Beach
Planning Department
1700 Convention Center Drive
2nd Floor
Miami Beach, FL 33139

Dear Mr. Mooney:

We represent 157 Collins Avenue, LLC, owner of the real property on which Big Pink Restaurant and Ted's Hideaway (Collins Avenue and 2nd Street, Miami Beach) are located.

As you will recall, a "one building site" issue came up with respect to our client's property in early 2016. The then-owner of the adjacent property, Lawrence Kaine, attempted to erect a fence along the driveway next to Big Pink Restaurant. Our client's counsel, Graham Penn, Esq., sent you a letter supporting a determination of a "one building site" (see attached). Based on the facts and circumstances set forth therein (partially restated herein), the City of Miami Beach issued a stop work order. When Mr. Kaine obeyed that order, the issue, at least at that time, appeared to be resolved.

Recently, 125 Collins LLC acquired Mr. Kaine's property. Its north property line is immediately adjacent to our client's property—where Big Pink Restaurant and Ted's Hideaway have operated for more than 25 years. While 125 Collins LLC's precise development plans are unclear, 125 Collins LLC has told our client that it believes it has the right to erect a fence on its property immediately adjacent to our client's property. As you will recall, the close proximity of the two properties is such that: (1) the fire exit emergency doors for both Big Pink Restaurant and Ted's Hideaway exit immediately onto 125 Collins LLC's property; (2) access to 125 Collins LLC's property is necessary for life safety/fire egress from both Big Pink Restaurant and Ted's Hideaway; and (3) access to 125 Collins LLC's property is necessary for Big Pink Restaurant and Ted's Hideaway deliveries and garbage removal. In addition, the grease trap which serves Ted's Hideaway is located on (and under) 125 Collins LLC's property.

DETAILED FACTS: Our client's property is identified by Miami-Dade County Tax Folio No. 02-4203-003-0300 and is legally described as Lot 16 of Block 2 in Ocean Beach Subdivision. It is improved with a 2-story building that was constructed in 1925 and fronts on Collins Avenue. Built by J.G. Leinecker, the Commercial Property is individually listed in the City of Miami Beach ("City") Historic Properties Database as a

contributing building in the Ocean Beach Local Historic District. The site has been in continuous use for commercial purposes since the time of the building's construction and now serves as the home of the "Big Pink" restaurant and "Ted's Hideaway" lounge.

The uses on the site have long been served by a 25' wide strip of land which abuts our client's property and serves as an accessory alleyway behind the restaurant (hereinafter referred to as the "Strip"). Identified by Miami-Dade County Tax Folio No. 02-4203-003-0290 and legally described as the North ½ of Lot 15 of Block 2 in Ocean Beach Subdivision, the Strip has been used for literally decades to service "back of house" facilities for Big Pink Restaurant and Ted's Hideaway. Previously, the Strip, along with the south half of Lot 15, had been developed with a 2,500 square foot building that was demolished and replaced with a paved lot in 1971.

The ownership of both sites over the last several decades reflects their joint use. The previous owner of the Strip, Mr. Kaine, purchased what is now our client's property in 1983. He purchased the Strip in 1986. During Mr. Kaine's ownership of the combined parcels, significant utilities and services for what is now our client's property were installed and maintained on the Strip. For example, electrical utilities were allowed to encroach into the Strip and grease traps were installed.

Since 1996, our client has operated Big Pink Restaurant. Initially, our client leased the Big Pink Restaurant property from Mr. Kaine. Our client acquired fee title to the Big Pink Restaurant property in 2008.

Mr. Kaine never assembled the Strip with any other land i.e., Mr. Kaine owned the adjacent properties, Lots 12, 13, 14, and the south ½ of Lot 15, since 1986 and never sought to join them with the Strip. To the contrary, Mr. Kaine sought and obtained Conditional Use Approval to allow the operation of a parking lot on those neighboring lots and that site is currently an approved lot (the "Parking Lot"). Pursuant to the conditions of the recorded order for Planning Board File No. 1495, dense landscape screening and a fence has been installed along the perimeter boundary of the Parking Lot, including the property line between the Strip and the Parking Lot.

The Strip serves as a means of ingress and egress, and contains several encroaching utility, mechanical, and electrical improvements that serve and support Big Pink Restaurant and Ted's Hideaway's operations. Accordingly, when viewed together, our client's property and the Strip satisfy the Code's definition for "one building site," which is defined in Section 114-1 as:

"any improved lot, plot, or parcel of land where there may exist a main permitted structure and any accessory/auxiliary building or structure including, but not limited to, swimming pools, tennis courts, walls, fences,

Mr. Thomas Mooney
City of Miami Beach
Planning Department
September 8, 2022
Page 3

or any other improvement which was heretofore constructed on property containing one or more platted lots or portions thereof shall constitute one building site.”

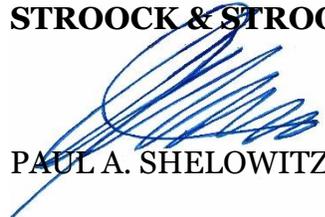
REQUEST FOR FORMAL INTERPRETATION: Based on the above, our client seeks a formal interpretation by the City of Miami Beach that our client’s property and the Strip constitute “one building site” pursuant to Section 118-564 of the Miami Beach Code of Ordinances. We further seek a formal interpretation that, as “one building site,” in order to develop the Strip (including erecting a fence), 125 Collins LLC would be required to process a “lot split” with the City of Miami Beach which would require our client’s written consent.

Should you require any further information, please let us know.

Thank you for your attention to this matter.

Sincerely,

STROOCK & STROOCK & LAVAN LLP



PAUL A. SHELOWITZ

Encl.