



## NIGHT CLUB C.U.P.

1235 WASHINGTON AVE.  
MIAMI BEACH, FL.

FOR

**1235 REDUX, LLC.**

1235 WASHINGTON AVE.  
MIAMI BEACH, FL 33140

COMM. NO. 21105A  
June 2, 2024

**PLANNING BOARD**  
**File # PB24-0656**  
FINAL SUBMISSION

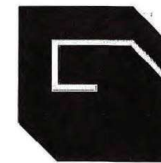


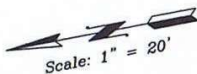
Digitally  
signed by Ira D  
Giller  
Date:  
2024.05.30  
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-04'00'

### Giller & Giller, Inc.

The Giller Building  
975 Arthur Godfrey Road  
Miami Beach, Florida 33140  
(305) 538-6324 Reg. #AA C001364

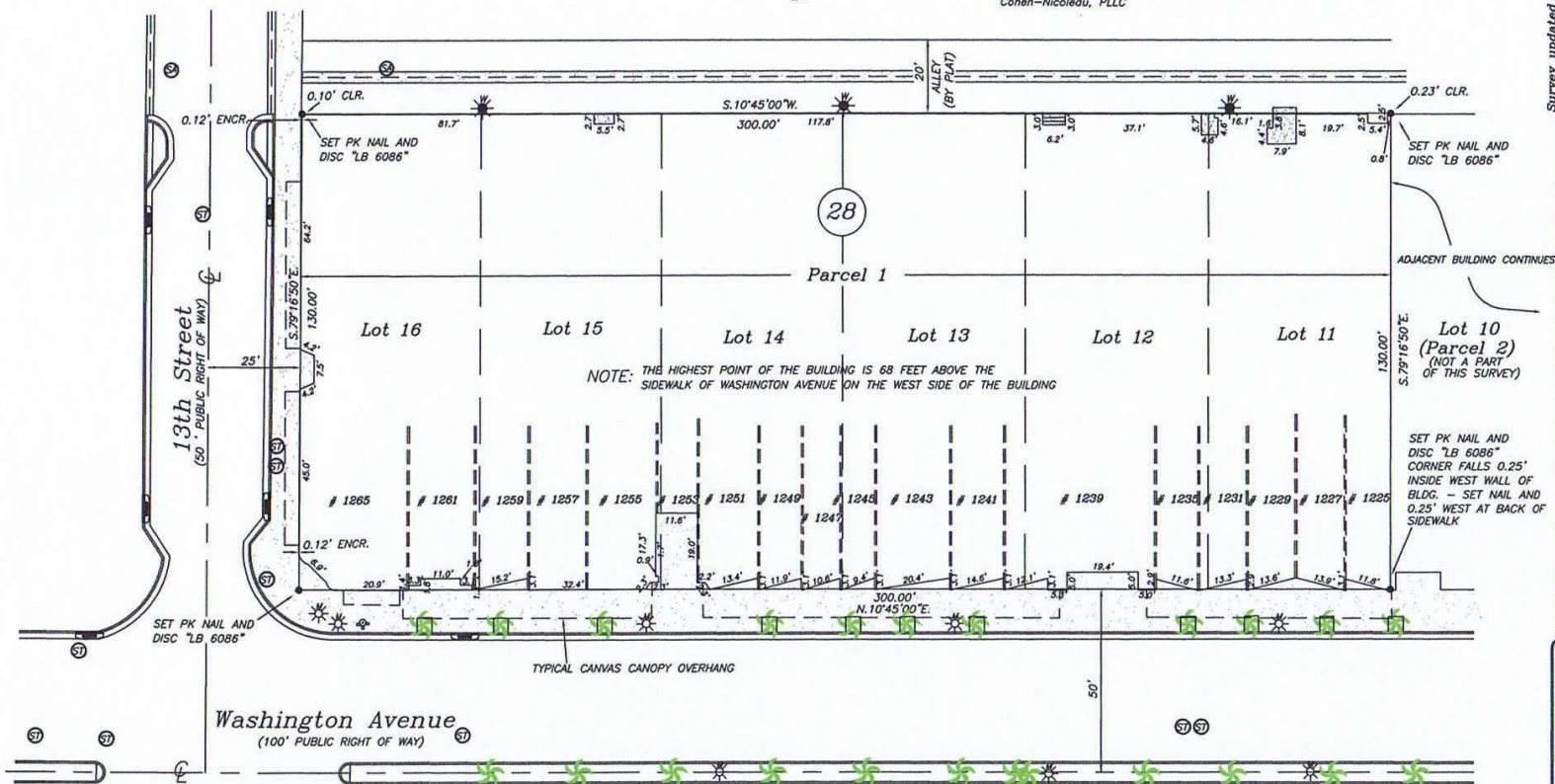
ARCHITECTS INTERIOR DESIGNERS CONSTRUCTION MANAGERS





CERTIFIED TO:

Pix Realty, L.P., a Delaware limited partnership  
Chicago Title Insurance Company  
Sabadell United Bank, N.A., its successors and/or assigns  
Cohen-Nicoleau, PLLC



This is to certify that this map or plot and the survey on which it is based were made in accordance with the 2011 Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 2, 3, 4, 7(a), 7(b)(1), 7(c), 8, 9, 10(a) (if party walls exist), 11(a) and 20(a) of Table A thereof. The field work was completed on May 13, 2014.

Date: 7-01-2014

By:

William O. High

Professional Land Surveyor No. 4632  
State of Florida

PARCEL 1

Legal Description

Lots 11 through 16, inclusive, in Block 28 of OCEAN BEACH ADDITION NO. 2 according to the Plat thereof as recorded in Plat Book 2, at page 56 of the Public Records of Miami-Dade County, Florida.

Easement created by Easement Agreement recorded December 2, 1955 in Deed Book 4190, page 225 for the benefit of Parcel 1 over and on a portion of Parcel 11 which is occupied by an existing building; said Parcel 11 being described as follows:

PARCEL 11

Lpt 10 in Block 28 of OCEAN BEACH ADDITION NO. 2, according to the Plat thereof as recorded in Plat Book 2, at page 56 of the Public Records of Miami-Dade County, Florida.

Surveyor's Notes

- 1) Bearings are based on the centerline of Washington Avenue which bears N10°45'00"E.
- 2) Only those easements and other matters of record which appear in Chicago Title Insurance Company Commitment for Title, NBU No. 21401613, Local No. 4804408, Issued 5/15/2014 Effective Date: April 28, 2014 at 11:00 PM are reflected here.
- 3) Subject property is subject to an Easement Agreement as recorded in Deed Book 4190 page 225, Public Records of Miami-Dade County, Florida.
- 4) Total area of subject property = 39,000 square feet, more or less.
- 5) Subject property falls in FEMA Zone AE, having a Base Flood Elevation of 8.0, N.G.V.D. per FEMA Map No. 12086C0317L, revised Sept. 11, 2009.
- 6) This Survey is not valid unless it bears the signature and embossed seal of the surveyor.

- STORM SEWER MANHOLE
- SANITARY SEWER MANHOLE
- WOOD UTILITY POLE
- METAL PUMP POST
- FIRE HYDRANT
- DRAINAGE INLET
- PALM TREE

Symbols Legend

1415.DWG  
WASHINGTON.CRD

Survey updated 4-27-15

Date 6-13-14  
Proj. 1415  
P.B. 181  
Pg. 47

ALTA/ACSM Survey  
1225 - 1265 Washington Avenue,  
Miami Beach, Florida

Certificate of Authorization No. LB 6086  
HIGH SURVEYING & MAPPING  
12240 S.W. 132nd Court, Suite 216, Miami, FL 33186  
Tel(305) 252-0650, Fax(305) 252-9551

Sheet  
1 of 1

## COMMERCIAL - ZONING DATA SHEET

ALL INFORMATION REQUIRED BELOW MUST BE SUBMITTED AS REQUESTED. THE FORMAT OF THIS DOCUMENT MAY NOT BE MODIFIED OR ALTERED IN ANY WAY. SUBMITTALS FOUND INSUFFICIENT OR INCOMPLETE MAY RESULT IN A FAILED REVIEW

ITEM #	Project Information				
1	Address:	Folio number(s):	02-3234-008-1091	Year built:	1934
2	Board file number(s), Determination of Architectural Significance:			Lot Area:	39,000
3	Located within a Local Historic District (Yes or No): Yes	Zoning District:	CD-3	Lot width:	300'
4	Individual Historic Site (Yes or No): No			Lot Depth:	130'
5	Base Flood Elevation:	+8.0' NGVD	Grade value in NGVD:		+5.0
6	Future Adjusted Grade (BFE+Grade / 2):	N/A	Free board:	N/A	
7	Proposed Use:	NIGHT CLUB			
8	Proposed Accessory Use:				
9	Signed and sealed Landscape Plans (Tree/Vegetation Survey, Tree Disposition Plan, and Irrigation Plan):	N/A			
	<b>ZONING INFORMATION / CALCULATION</b>	<b>Required</b>	<b>Existing</b>	<b>Proposed</b>	<b>Deficiencies</b>
13	Floor Area Ratio (FAR)	2.25	1.98	1.98	
14	Building Height	75' MAX	68'	68'	
15	At grade parking lot on the same lot	N/A			
a	Front setbacks	0'	0'	0'	
b	Side interior setback	0'	0'	0'	
c	Side facing street setback	0'	0'	0'	
d	Rear setback	0'	0'	0'	
16	Subterranean, Pedestal & Tower (non-Oceanfront)	<b>Required</b>	<b>Existing</b>	<b>Proposed</b>	<b>Deficiencies</b>
a	Front setbacks	0'	0'	0'	
b	Side interior setback	0'	0'	0'	
c	Side facing street setback	0'	0'	0'	
d	Rear setback	0'	0'	0'	
17	Subterranean, Pedestal & Tower (non-Oceanfront)	<b>Required</b>	<b>Existing</b>	<b>Proposed</b>	<b>Deficiencies</b>
a	Front setbacks	0'	0'	0'	
b	Side interior setback	0'	0'	0'	
c	Side facing street setback	0'	0'	0'	
d	Rear setback	0'	0'	0'	
18	Minimum Apartment Unit Size	<b>Required</b>	<b>Existing</b>	<b>Proposed</b>	<b>Deficiencies</b>
a	New Construction	N/A			
b	Rehabilitated Buildings				
c	Hotel Unit				
19	Average Apartment Unit Size	<b>Required</b>	<b>Existing</b>	<b>Proposed</b>	<b>Deficiencies</b>
a	New Construction	N/A			
b	Rehabilitated Buildings				
c	Hotel Unit				
20	Required Open-space ratio (RPS, CPS)	N/A			
21	Parking	0	0	0	
22	Loading	0	0	0	

## DRAWING INDEX

COVER SHEET  
SURVEY

A-1 DRAWING INDEX, SCOPE, LEGAL, ZONING, AERIAL  
A-2 CONTEXT LOCATION PLAN

A-3 SITE PLAN  
A-4 FIRST FLOOR PLAN & SECTION  
A-5 MEZZANINE & SECOND FLOOR PLANS  
A-6 LIFE SAFETY PLAN

A-7 ENTRY DETAILS

A-8 SECTION

A-1 ROUGH DIMENSIONS - 1ST FL

A-2 ROUGH DIMENSIONS - 2ND FL.

PH-1 EXTERIOR PHOTOS  
PH-2 CONTEXT PHOTO  
PH-3 INTERIOR PHOTOS

## SCOPE OF CONDITIONAL USE PERMIT REQUEST:

CONDITIONAL USE PERMIT TO INCREASE THE OCCUPANT LOAD OF AN EXISTING 24,366 SF NIGHT CLUB FROM 1,466 TO 2,471 PERSONS. NO INCREASE IN AREA. THE NIGHT CLUB WILL BECOME A NEIGHBORHOOD IMPACT ESTABLISHMENT

## LEGAL DESCRIPTION:

FOLIO #02-3234-008-1091.  
LOTS 11 THRU 16, BLK 28, OCEAN BEACH ADDITION NO. 2, PB 2-6 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FL.



Giller & Giller, Inc.  
1700 Convention Center Drive, 2nd Floor  
Miami Beach, Florida 33139  
305.673.7550

NIGHT CLUB C.U.P.  
FOR 1235 REDUX, LLC  
1235 WASHINGTON AVE, WASHINGTON AVE  
MIAMI BEACH, FL



DATE	2024/08/23
TIME	10:00 AM
LOCATION	1235 WASHINGTON AVE, WASHINGTON AVE, MIAMI BEACH, FL

INDEX, SCOPE, LEGAL,  
ZONING, AERIAL

A-1  
TOTAL  
4 SHEETS





1/2 mile rad.

SHEET NO. **A-2**  
 TOTAL SHEETS **2**  
 PROJECT NO. **1235**  
 DATE **08/20/20**

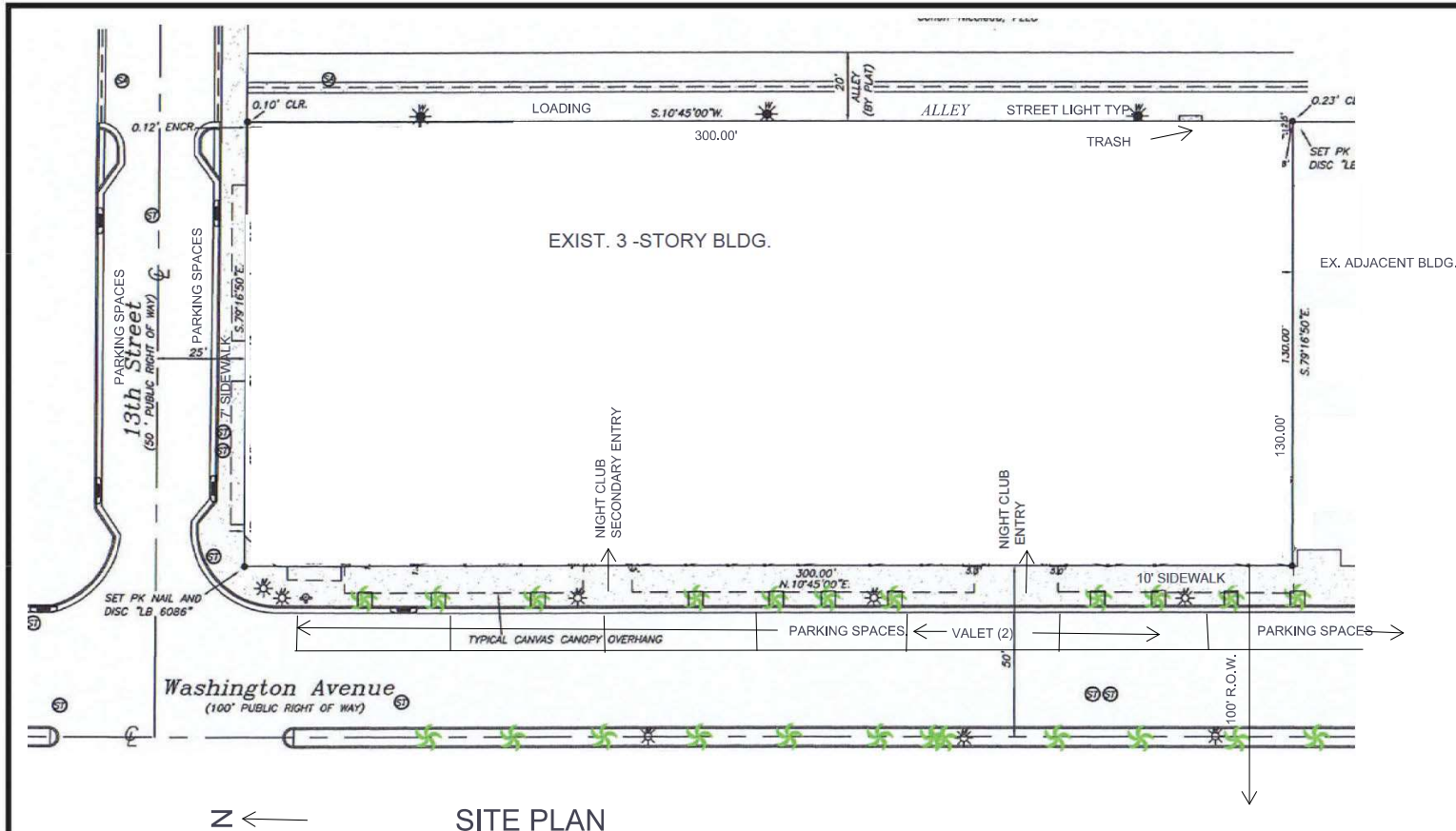
CONTEXT LOCATION  
 PLAN



NIGHT CLUB C.U.P.  
 FOR 1235 REDUX, LLC  
 1235 WASHINGTON AVE, WASHINGTON AVE  
 MIAMI BEACH, FL

Giller & Giller, Inc.  
 1235 WASHINGTON AVE, WASHINGTON AVE  
 MIAMI BEACH, FL





## SITE PLAN

SCALE - 1/16" = 1'-0"



**Giller & Giller, Inc.**

**NIGHT CLUB C.U.P.**  
FOR 1235 REDUX, LLC

1235 WASHINGTON AVE, WASHINGTON AVE  
MIAMI BEACH, FL



DATE	REVISION DESCRIPTION

**SITE PLAN**

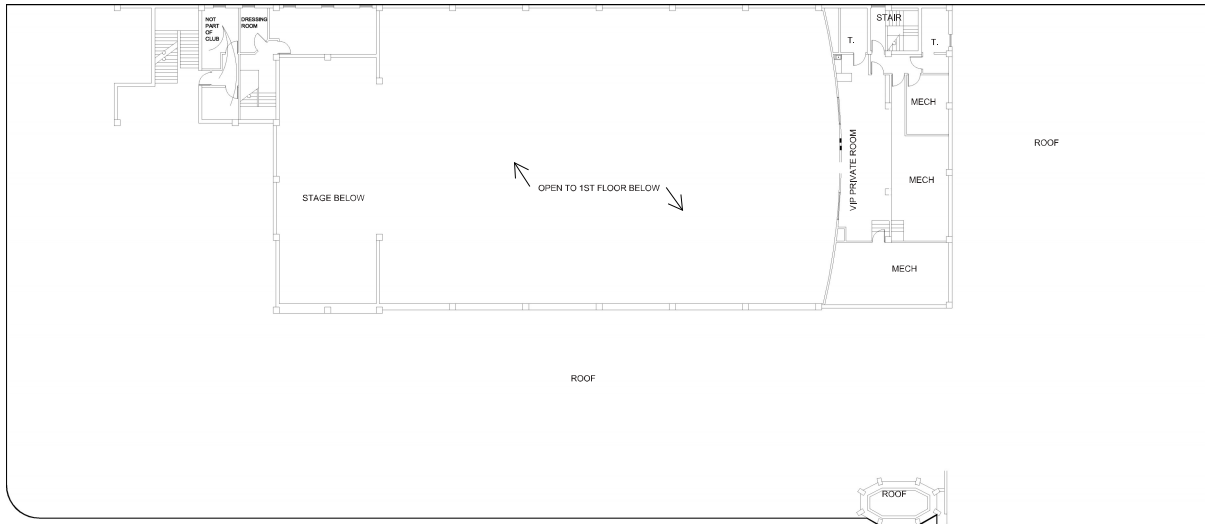
**A-2**

DATE: 10/1/2023  
BY: [Signature]  
CHECKED BY: [Signature]  
APPROVED BY: [Signature]

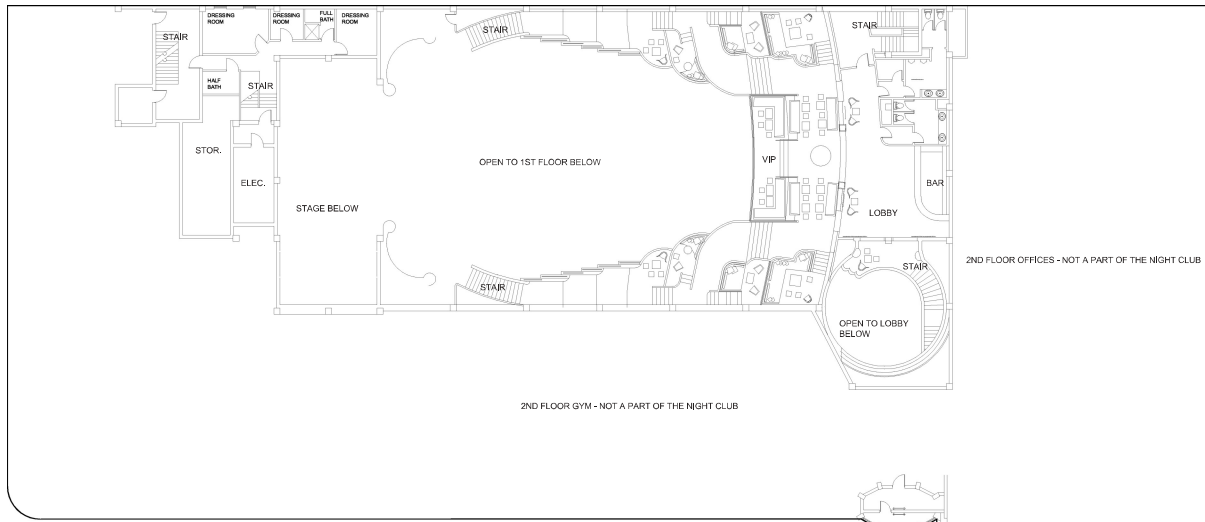
THIS IS A PRELIMINARY DESIGN. IT IS NOT TO BE USED FOR CONSTRUCTION WITHOUT THE APPROVAL OF THE DESIGNER. ANY CHANGES MUST BE MADE IN WRITING AND SIGNED BY THE DESIGNER.



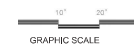




**2ND FLOOR PLAN**



**MEZZANINE FLOOR PLAN**



**Giller & Giller, Inc.**  
The Giller Building  
1235 Washington Ave., Suite 200  
Miami Beach, Florida 33139  
ARCHITECTS INTERIOR DESIGNERS CONSTRUCTION MANAGERS

**NIGHT CLUB C.U.P.  
FOR 1235 REDUX, LLC**  
1235 WASHINGTON AVE, WASHINGTON AVE  
MIAMI BEACH, FL

Digitally signed by  
F. D. Giller  
Date: 2014.05.30 11:14:14  
Reason: I am the author

DATE	REVISION	BY	DATE

DATE	REVISION	BY	DATE

DATE: 12/15/14  
PROJECT: MEZZANINE & 2ND FLOOR PLANS  
SHEET: A-5  
TOTAL: 10

## EXIT CAPACITY ANALYSIS

1ST FLOOR EXIT CALCULATION DETAILS		
EXIT #	NOM WIDTH	NET WIDTH CAPACITY
1	6 DOORS, 7 EACH	204 INCHES / 0.20 1020 PERSONS
2	2 DOORS, 7 EACH	68 INCHES / 0.20 340 PERSONS
3	1 DOOR, 7	34 INCHES / 0.20 170 PERSONS
4	2 DOORS, 7 EACH	68 INCHES / 0.20 340 PERSONS
5	2 DOORS, 7 EACH	68 INCHES / 0.20 340 PERSONS
6	2 DOORS, 7 EACH	68 INCHES / 0.20 340 PERSONS
7	1 DOOR, 7	34 INCHES / 0.20 170 PERSONS
8	1 DOOR, 7	34 INCHES / 0.20 170 PERSONS

MEZZ FLOOR EXIT CALCULATION DETAILS		
EXIT #	NOM WIDTH	NET WIDTH CAPACITY
9	48" WIDE STAIRS	48 INCHES / 0.30 160 PERSONS
10	44" WIDE STAIRS	44 INCHES / 0.30 147 PERSONS
11	50" WIDE STAIRS	50 INCHES / 0.30 167 PERSONS
12	50" WIDE STAIRS	50 INCHES / 0.30 167 PERSONS
13	50" WIDE STAIRS	50 INCHES / 0.30 167 PERSONS
14	50" WIDE STAIRS	50 INCHES / 0.30 167 PERSONS
15	50" WIDE STAIRS	50 INCHES / 0.30 167 PERSONS
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EXIT #	NOM WIDTH	NET WIDTH CAPACITY
15	44" WIDE STAIRS	44 INCHES / 0.30 147 PERSONS
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95	44" WIDE STAIRS	44 INCHES / 0.30 147 PERSONS
96	44" WIDE STAIRS	44 INCHES / 0.30 147 PERSONS
97	44" WIDE STAIRS	44 INCHES / 0.30 147 PERSONS
98	44" WIDE STAIRS	44 INCHES / 0.30 147 PERSONS
99	44" WIDE STAIRS	44 INCHES / 0.30 147 PERSONS
100	44" WIDE STAIRS	44 INCHES / 0.30 147 PERSONS

OCCUPANT LOAD AT 2ND FLOOR = 1,635 / 15 = 109 PERSONS OK!!!

OCCUPANT LOAD AT MEZZANINE = 4,137 / 15 = 277 PERSONS OK!!!

## OVERALL OCCUPANT LOAD ANALYSIS

- EXIT CAPACITY BY DOORS & CORRIDORS @ 1ST FL ALLOWS FOR 2,550 PERSONS
- OCCUPANT LOAD BY SF ALLOWS FOR 2,471 PERSONS
- 2,550 > 2,471, THEREFORE OCCUPANT LOAD SHALL BE 2,471 PERSONS

**MAX OCCUPANT LOAD SHALL BE 2,471 PERSONS**

- NORTH MEZZANINE & 2ND FLOOR EXIT ANALYSIS:** OCC LOAD BY SF ALLOWS FOR 1,449/15=97 PERSONS
- DOORS 7 & 8 ALLOW FOR 340 PERSONS
- 340 > 97, THEREFORE OCCUPANT LOAD AT MEZZ & 2ND FLOOR NORTH SHALL BE 97

## TRAVEL DISTANCE

- MAX TRAVEL DISTANCE IN AN A-2 OCCUPANCY WITH AUTOMATIC SPRINKLERS IS 250'
- MAX TRAVEL DISTANCE PROVIDED IS 171' (2ND FLOOR TO EXTERIOR DOOR AT EAST)

## LIFE SAFETY NOTES

- DESIGN SHALL COMPLY WITH THE FLORIDA FIRE PREVENTION CODE 8TH ED
- AUTOMATIC FIRE SPRINKLERS** ARE EXISTING TO REMAIN AT ALL EXISTING LAYOUTS.
- FIRE ALARM SYSTEM** IS EXISTING TO REMAIN AT ALL EXISTING LAYOUTS.
- PORTABLE FIRE EXTINGUISHERS** (AS PER 37.3.5.3) SHALL BE PROVIDED IN ALL ASSEMBLY OCCUPANCIES IN ACCORDANCE WITH 9.7.4.1. (EVERY 75', MIN - SEE PLAN FOR LOCATIONS)
- EXISTING EMERGENCY LIGHTING AND EXIT LIGHTS** SHALL REMAIN, SEE PLAN FOR LOCATIONS THERE SHALL BE NO CHANGES OF **FLOOR ELEVATION** GREATER THAN 1/2", ALL FLOORING SHALL SLIP RESISTANT
- ALL INTERIOR FURNISHINGS & FINISHES** SHALL COMPLY WITH THE FFPC 7TH ED 101-10.2, CHAP 10; TABLE A.10.2.2; AND FBCB TABLE 803.11 & 805 - CLASS "A" OR CLASS "B" (BLDG IS FULLY SPRINKLERED SO CLASS "B" FINISHES AT THE EXIT COMPONENTS ARE ALLOWED )
- THE RATING OF ANY EXISTING SURROUNDING DEMISING WALLS SHALL BE MAINTAINED AS A 2 HOUR FIRE RATED WALL, IN COMPLIANCE WITH THE FFPC 7TH ED TABLES 6.1.14.4.1(A)(B)
- THE FRONT ENTRY DOORS (#1) SHALL BE FREE SWINGING, HAVE A KEY OPERATED LOCK ON BOTH SIDES AND SHALL HAVE A SIGN POSTED AT DOORS THAT THEY SHALL REMAIN UNLOCKED DURING BUSINESS HOURS. SIGN COPY SHALL READ, "THESE DOORS SHALL REMAIN UNLOCKED DURING BUSINESS HOURS".
- ALL OTHER EXIT DOORS (#2 THROUGH #8) HAVE PANIC DEVICES AND SHALL REMAIN

## NET SF & OCCUPANT LOAD OVERVIEW (PER FFPC 14.8.1.2)

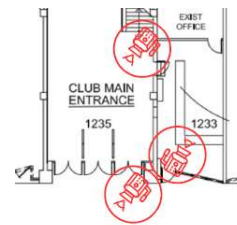
### NET SF & OCCUPANT LOAD OVERVIEW (PER FFPC 14.8.1.2)

	STAGE 1	STAGE 2	STAGE 3	STAGE 4	STAGE 5	STAGE 6	STAGE 7	STAGE 8	STAGE 9	STAGE 10	STAGE 11	STAGE 12	STAGE 13	STAGE 14	STAGE 15	STAGE 16	STAGE 17	STAGE 18	STAGE 19	STAGE 20	STAGE 21	STAGE 22	STAGE 23	STAGE 24	STAGE 25	STAGE 26	STAGE 27	STAGE 28	STAGE 29	STAGE 30	STAGE 31	STAGE 32	STAGE 33	STAGE 34	STAGE 35	STAGE 36	STAGE 37	STAGE 38	STAGE 39	STAGE 40	STAGE 41	STAGE 42	STAGE 43	STAGE 44	STAGE 45	STAGE 46	STAGE 47	STAGE 48	STAGE 49	STAGE 50	STAGE 51	STAGE 52	STAGE 53	STAGE 54	STAGE 55	STAGE 56	STAGE 57	STAGE 58	STAGE 59	STAGE 60	STAGE 61	STAGE 62	STAGE 63	STAGE 64	STAGE 65	STAGE 66	STAGE 67	STAGE 68	STAGE 69	STAGE 70	STAGE 71	STAGE 72	STAGE 73	STAGE 74	STAGE 75	STAGE 76	STAGE 77	STAGE 78	STAGE 79	STAGE 80	STAGE 81	STAGE 82	STAGE 83	STAGE 84	STAGE 85	STAGE 86	STAGE 87	STAGE 88	STAGE 89	STAGE 90	STAGE 91	STAGE 92	STAGE 93	STAGE 94	STAGE 95	STAGE 96	STAGE 97	STAGE 98	STAGE 99	STAGE 100	STAGE 101	STAGE 102	STAGE 103	STAGE 104	STAGE 105	STAGE 106	STAGE 107	STAGE 108	STAGE 109	STAGE 110	STAGE 111	STAGE 112	STAGE 113	STAGE 114	STAGE 115	STAGE 116	STAGE 117	STAGE 118	STAGE 119	STAGE 120	STAGE 121	STAGE 122	STAGE 123	STAGE 124	STAGE 125	STAGE 126	STAGE 127	STAGE 128	STAGE 129	STAGE 130	STAGE 131	STAGE 132	STAGE 133	STAGE 134	STAGE 135	STAGE 136	STAGE 137	STAGE 138	STAGE 139	STAGE 140	STAGE 141	STAGE 142	STAGE 143	STAGE 144	STAGE 145	STAGE 146	STAGE 147	STAGE 148	STAGE 149	STAGE 150	STAGE 151	STAGE 152	STAGE 153	STAGE 154	STAGE 155	STAGE 156	STAGE 157	STAGE 158	STAGE 159	STAGE 160	STAGE
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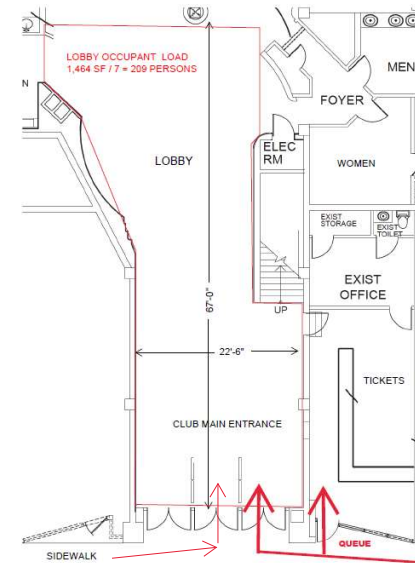


# ENTRY LINE PROCEDURES:

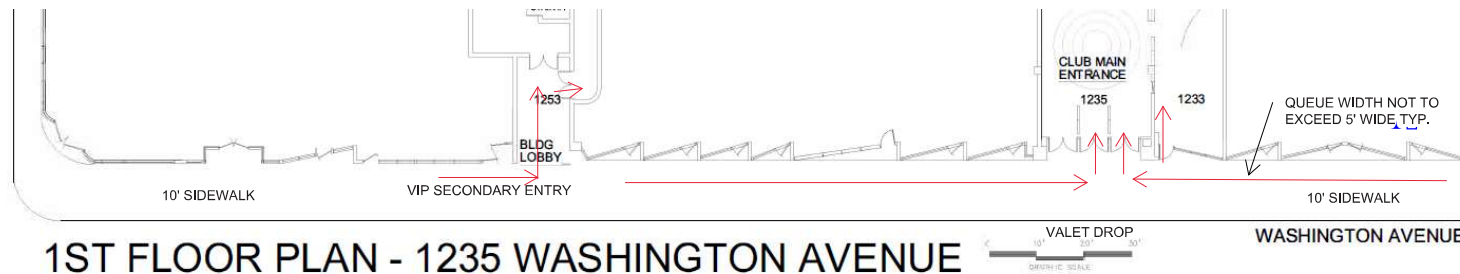
1. MAIN ENTRANCE WILL BE AT THE FRONT DOORS TO THE LOBBY. TICKETS WILL BE CHECKED AT THE DOOR. MOST TICKETING IS ELECTRONIC VIA SMARTPHONES.
2. LINES WILL BE FORMED IN FRONT OF THE MAIN ENTRANCE AS NEEDED AND EXTEND NORTH AND SOUTH ALONG THE STOREFRONTS AS SHOWN. THE LINE WILL BE MAINTAINED NEXT TO THE STOREFRONTS SO THAT 5' OF THE SIDEWALK IS CLEAR.
3. A SECONDARY/V.I.P. ENTRANCE WILL BE PROVIDED AT BUILDING LOBBY (1253) TO RELIEVE THE MAIN ENTRANCE LINE BACK-UP.
4. SECURITY WILL BE POSTED AT BOTH ENTRANCES (7 @ MAIN AND 3@ V.I.P.) TO MANGE THE DOOR AS WELL AS THE SIDEWALK QUEUES.
5. TICKETS CAN BE PURCHASED AT THE OFFICE WITH INTERNAL ACCESS TO THE LOBBY. THIS IS LIMITED AS MOST TICKETS ARE PRE-PURCHASED AND SMARTPHONE BASED.
6. TEMPORARY REMOVEABLE, ROPE & STANCHIONS MAY BE PROVIDED TO DIRECT THE LINES PARALLEL WITH THE STOREFRONTS.
7. SECURITY CAMERAS ARE PROVIDED AT THE ENTRY AS SHOWN.



ENTRY CAMERAS



ENTRY DETAIL



1ST FLOOR PLAN - 1235 WASHINGTON AVENUE

**Giller & Giller, Inc.**  
The Giller Building  
1235 Washington Ave, Suite 200  
Miami Beach, Florida 33139  
ARCHITECTS INTERIOR DESIGNERS CONSULTING MANAGER

**NIGHT CLUB C.U.P.**  
FOR 1235 REDUX, LLC  
1235 WASHINGTON AVE, WASHINGTON AVE  
MIAMI BEACH, FL

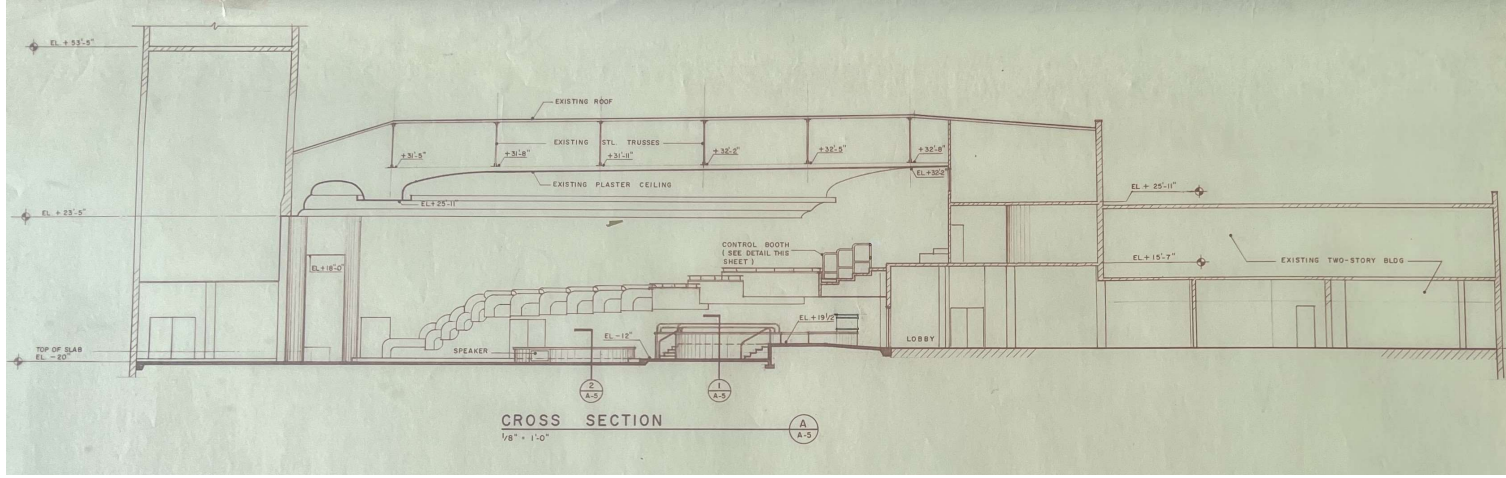
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Date: 2024.05.30 10:11:01 -0400

REVISIONS TO SUBMIT

NO.	DATE	DESCRIPTION
1	05/30/24	ISSUED FOR PERMIT

ENTRY DETAILS

DATE: 05/30/24  
DRAWN BY: H&G Giller  
CHECKED BY: H&G Giller  
PROJECT NO.: 1235 WASHINGTON AVE



**Giller & Giller, Inc.**

1235 Washington Ave., Suite 200  
Miami Beach, FL 33139  
Tel: 305.673.1111  
Fax: 305.673.1112  
www.gillerandgiller.com

**NIGHT CLUB C.U.P.  
FOR 1235 REDUX, LLC**

1235 WASHINGTON AVE, WASHINGTON AVE  
MIAMI BEACH, FL



DATE	03/01/2018
BY	03/01/2018
CHECKED BY	03/01/2018
APPROVED BY	03/01/2018
DATE	03/01/2018
BY	03/01/2018
CHECKED BY	03/01/2018
APPROVED BY	03/01/2018

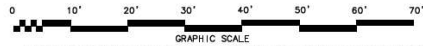
**SECTION**

**A-8**

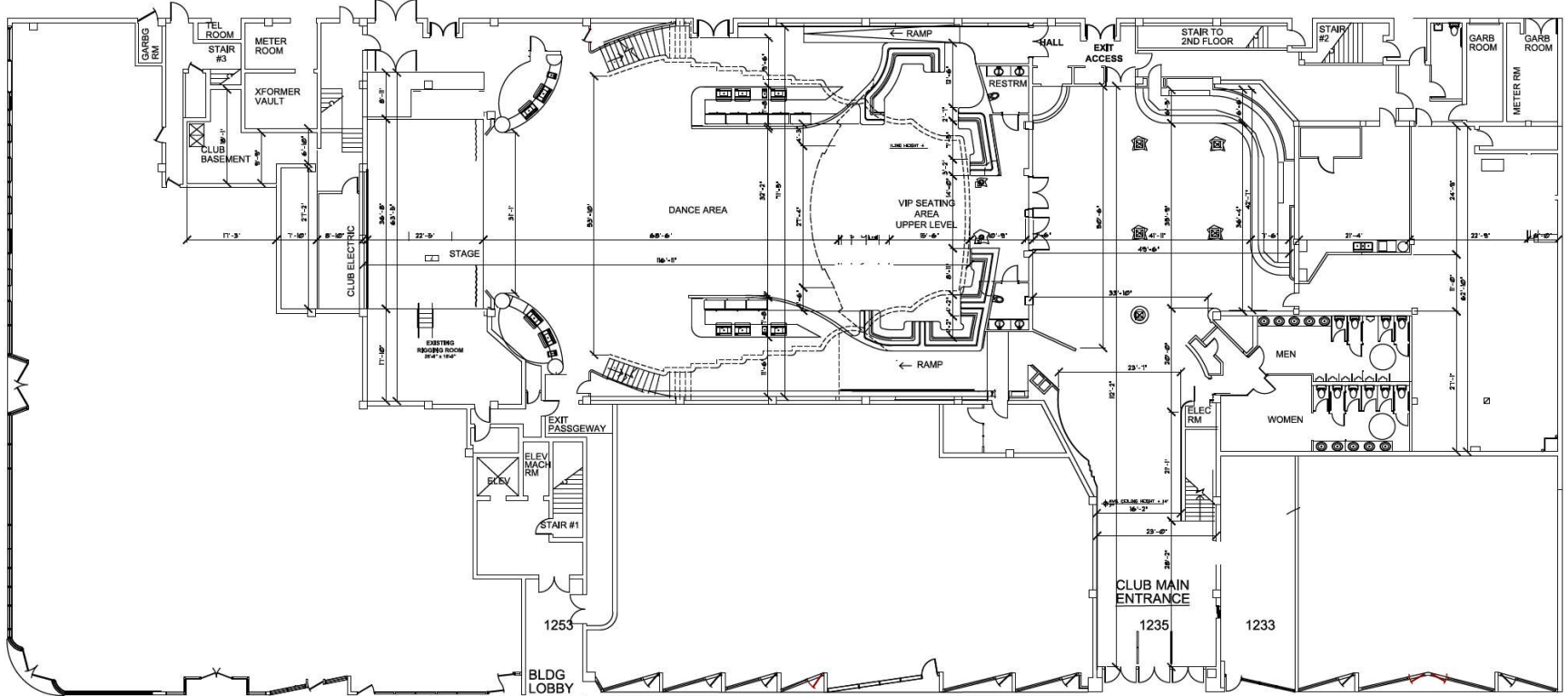
2/1/2018

1ST FLOOR PLAN

SCALE: 1/8" = 1'-0"



NOTE: DIMENSIONS SHOWN ARE APPROXIMATE AND SHOULD BE FIELD VERIFIED



Giller & Giller, Inc.

1235 WASHINGTON AVE. MB, FL 33501  
PH: 813.255.1235  
FAX: 813.255.1236  
WWW.GILLERANDGILLER.COM  
ARCHITECTS INTERIOR DESIGNERS CONSTRUCTION MANAGERS

NIGHTCLUB  
ROUGH DIMENSIONS

FOR PK REALTY, L.P.  
1235 WASHINGTON AVE. MB, FL



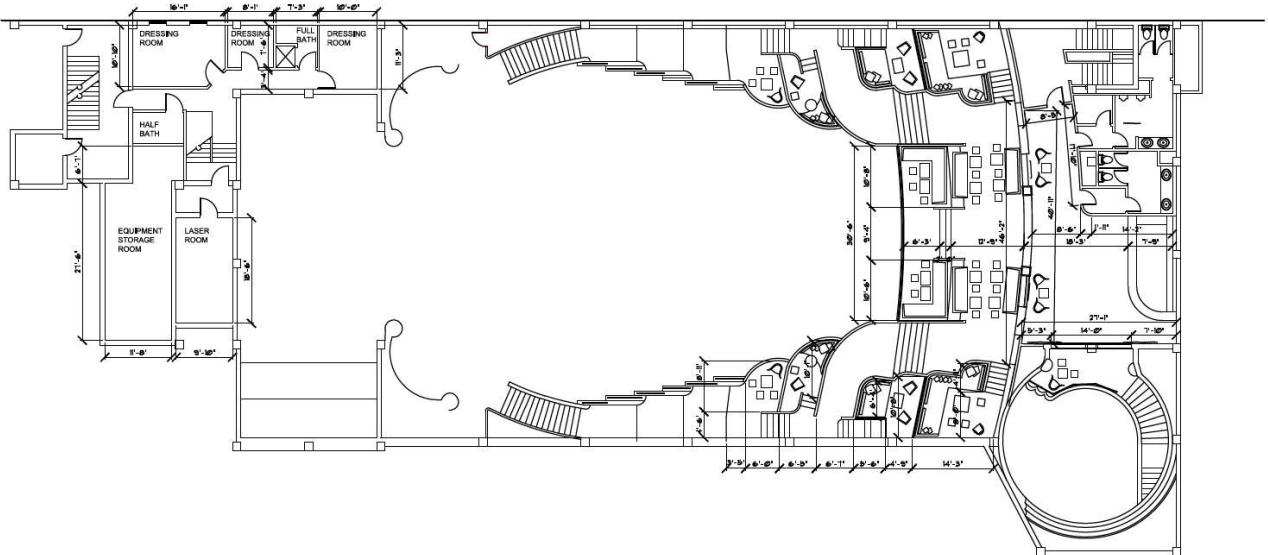
DATE	REVISION DESCRIPTION

SHEET #	SHEET TITLE	DESIGNED BY	APPROVED BY
A-1	1ST FLOOR PLAN		
OF TOTAL			
PRINT DATE			
UNITS			



2ND FLOOR PLAN

SCALE: 1/8" = 1'-0"



NOTE: DIMENSIONS SHOWN ARE APPROXIMATE AND SHOULD BE FIELD VERIFIED



Giller & Giller, Inc.  
1234 5th Ave, Suite 100  
Washington, DC 20001  
ARCHITECTS INTERIOR DESIGNERS CONSTRUCTION MANAGERS

NIGHTCLUB  
ROUGH DIMENSIONS  
FOR PPK REALTY L.P.  
1235 WASHINGTON AVE. MB, FL

Digitally  
signed by  
J. D. Giller  
Date:  
2024.04.24  
010:12:15  
+04'00'

DATE	REVISION DESCRIPTION

SHEET #	SHEET TITLE
A-2	2ND FLOOR PLAN
OF TOTAL	
APPROVED BY:	
DATE:	

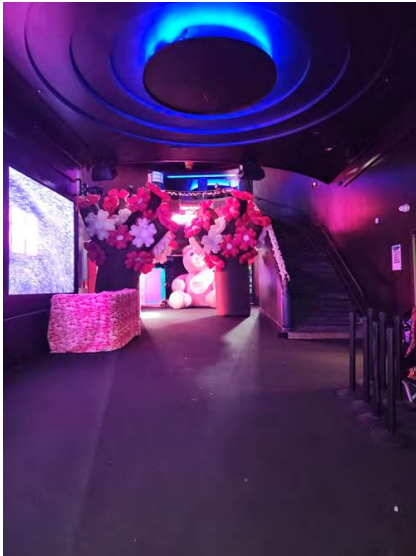


<b>PHOTOS - EXTERIOR</b> PH-1 PHOTO COUNT: 1 TOTAL: 1	<b>REVISION RESUBMISSION</b> DATE: _____ REVISION: _____		Digital signed by J. D. Giller, Inc. Date: 10/12/24 10:12 AM -0400	<b>Giller &amp; Giller, Inc.</b> 1235 Washington Ave, Washington Ave Miami Beach, FL 33139 305.670.0001 ARCHITECTS INTERIOR DESIGNERS CONSTRUCTION MANAGERS
	CHECKED BY: _____ DATE: _____ APPROVED BY: _____ DATE: _____			





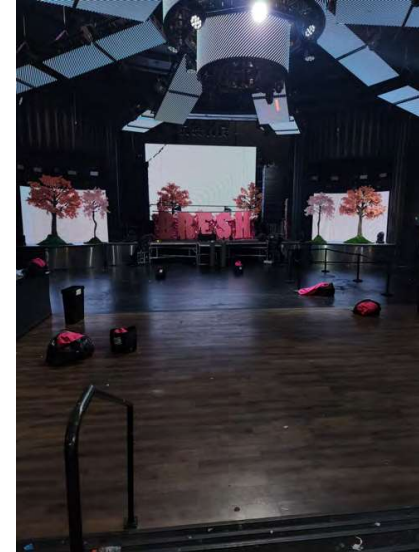




ENTRY LOBBY



MAIN ROOM FROM BALCONY



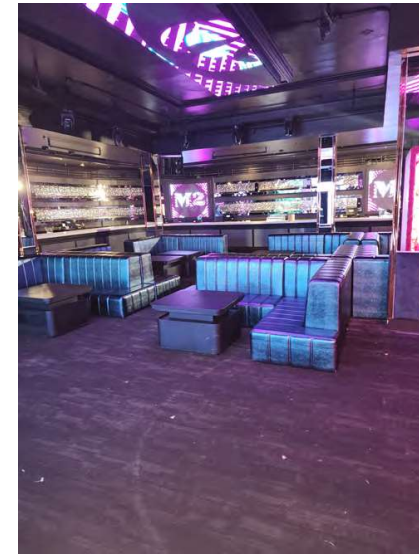
DANCE FLOOR & STAGE



BALCONY MEZZANINE



MAIN LEVEL VIP AREA



LOBBY BAR

 <p><b>Giller &amp; Giller, Inc.</b>          1235 Washington Ave, Suite 100          Miami Beach, FL 33139          (305) 673-1234          www.gillerandgiller.com</p>	<p><b>NIGHT CLUB C.U.P.</b>          FOR 1235 REDUX, LLC          1235 WASHINGTON AVE, WASHINGTON AVE          MIAMI BEACH, FL</p>	
	<p>Digitally signed by          Giller &amp; Giller, Inc.          Date: 2024.05.30          15:15:17 -0400</p>	
<p>DATE: _____</p> <p>REVISION: _____</p>	<p>PHOTOS - INTERIOR</p>	
<p>PHOTOGRAPH # _____</p> <p>OF TOTAL _____</p>	<p>CHECKED BY: _____</p> <p>DATE: _____</p>	<p>APPROVED BY: _____</p> <p>DATE: _____</p>