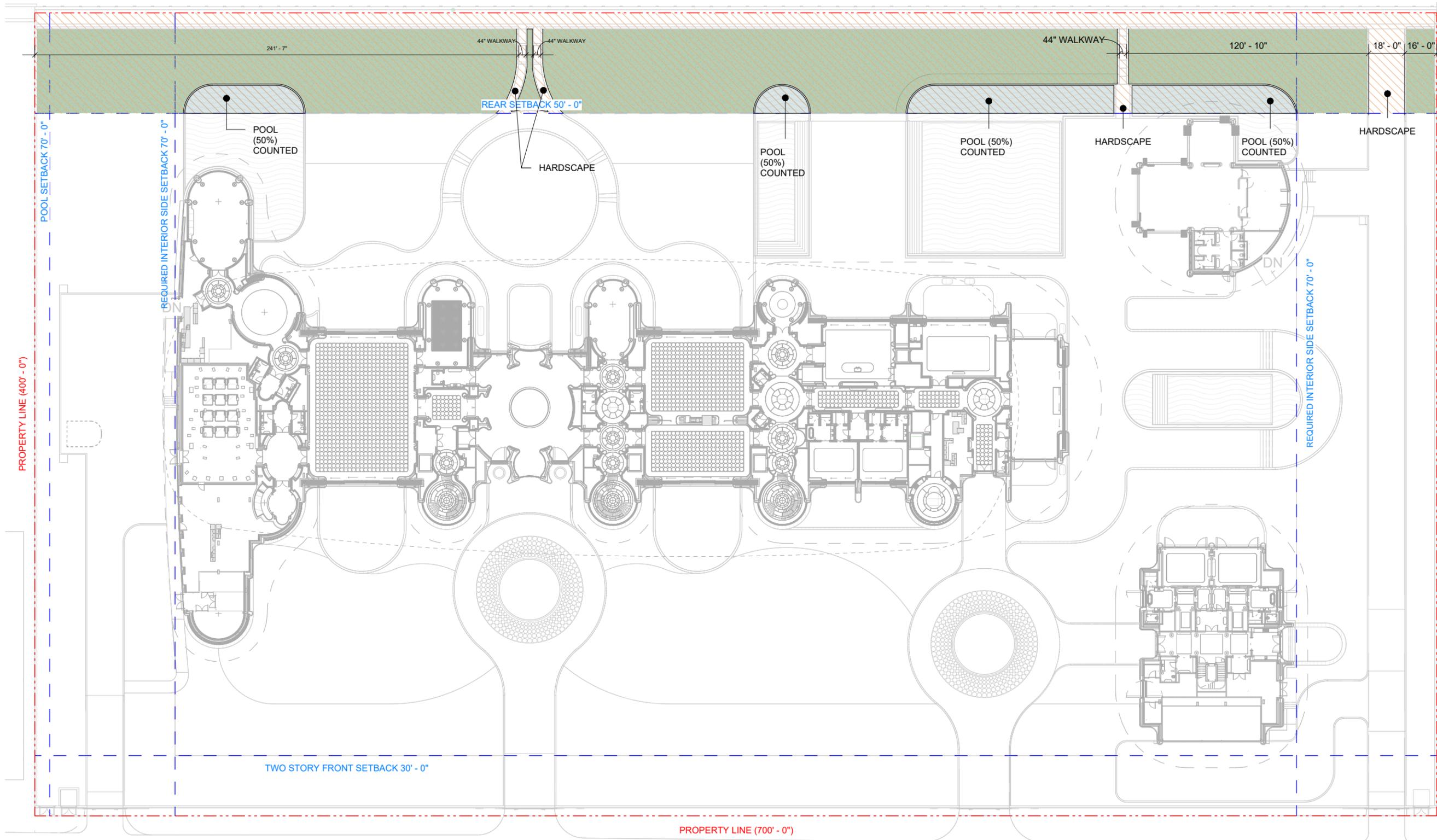


PROPERTY LINE (700' - 0")



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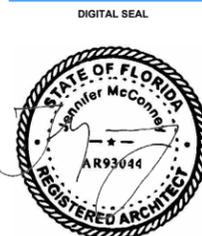
LANDSCAPE ARCHITECT
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786.536.2961

PROJECT NUMBER
2201

PROJECT NAME
**PRIVATE
RESIDENCE**

8 - 14 STAR ISLAND
DRIVE MIAMI BEACH,
FL. 33139

DRAWING
**REAR YARD
OPEN SPACE
DIAGRAM**



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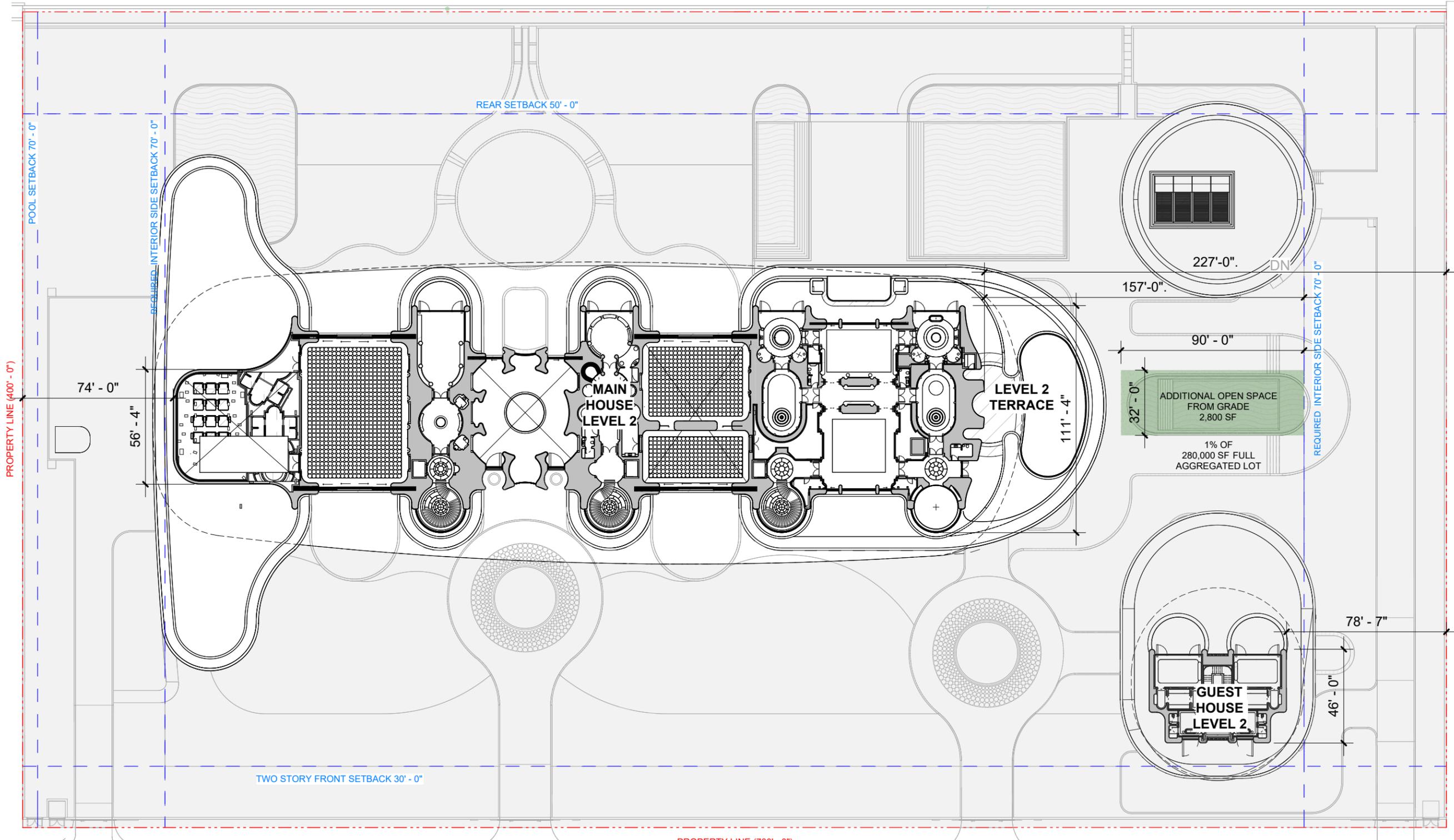
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PERVIOUS OPEN SPACE	SQ.FT	
REAR YARD		35,012.50 SF
REQUIRED PERVIOUS OPEN SPACE 70% OF REAR YARD		24,508.75 SF
PROVIDED PERVIOUS OPEN SPACE		23,235 SF
+50% OF POOL AREA = 71.38% OF REAR YARD		1,758.91 SF
TOTAL PROVIDED PERVIOUS OPEN SPACE		24,993.91 SF
SURPLUS		485.16 SF

1 REAR YARD PERVIOUS OPEN SPACE DIAGRAM
1" = 50'-0"

PROPERTY LINE (700' - 0")



PROPERTY LINE (700' - 0")

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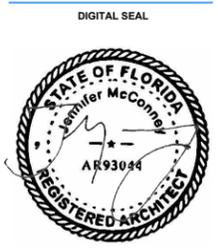
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8 - 14 STAR ISLAND DRIVE MIAMI BEACH, FL. 33139

DRAWING
2ND FLOOR SIDE ELEVATION DIAGRAM



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2-STORY SIDE ELEVATION- REQUIREMENT:

Two-story side elevations located parallel to a side property line shall not exceed 50 percent (50%) of the lot depth, or 60 feet, whichever is less, without incorporating additional open space, in excess of the minimum required side yard, directly adjacent to the required side yard.
 50% LOT DEPTH = (0.50)(400 FT) = 200 FT >60 FT
 PROPOSED:
 LENGTH OF NORTH SIDE ELEVATION= 111'-4"FT > 60FT
 SUPPORTING POINTS FOR APPROVAL (SEE RENDERING):
 157'-1" AWAY FROM SETBACK
 227'-1" FROM NORTH PROPERTY LINE
 TWO (2) PAVILIONS IN BETWEEN SECOND STORY ELEVATION AND PROPERTY LINE
 ADDITIONAL OPEN SPACE FROM GRADE (2,800 SF, 1% OF THE 280,000 SF FULL AGGREGATED LOT)
 ENTIRE LEVEL 2 SIDE ELEVATION HAS LEVEL 1 VOLUME AND GARDEN TERRACE IN FRONT OF ITS PLANE

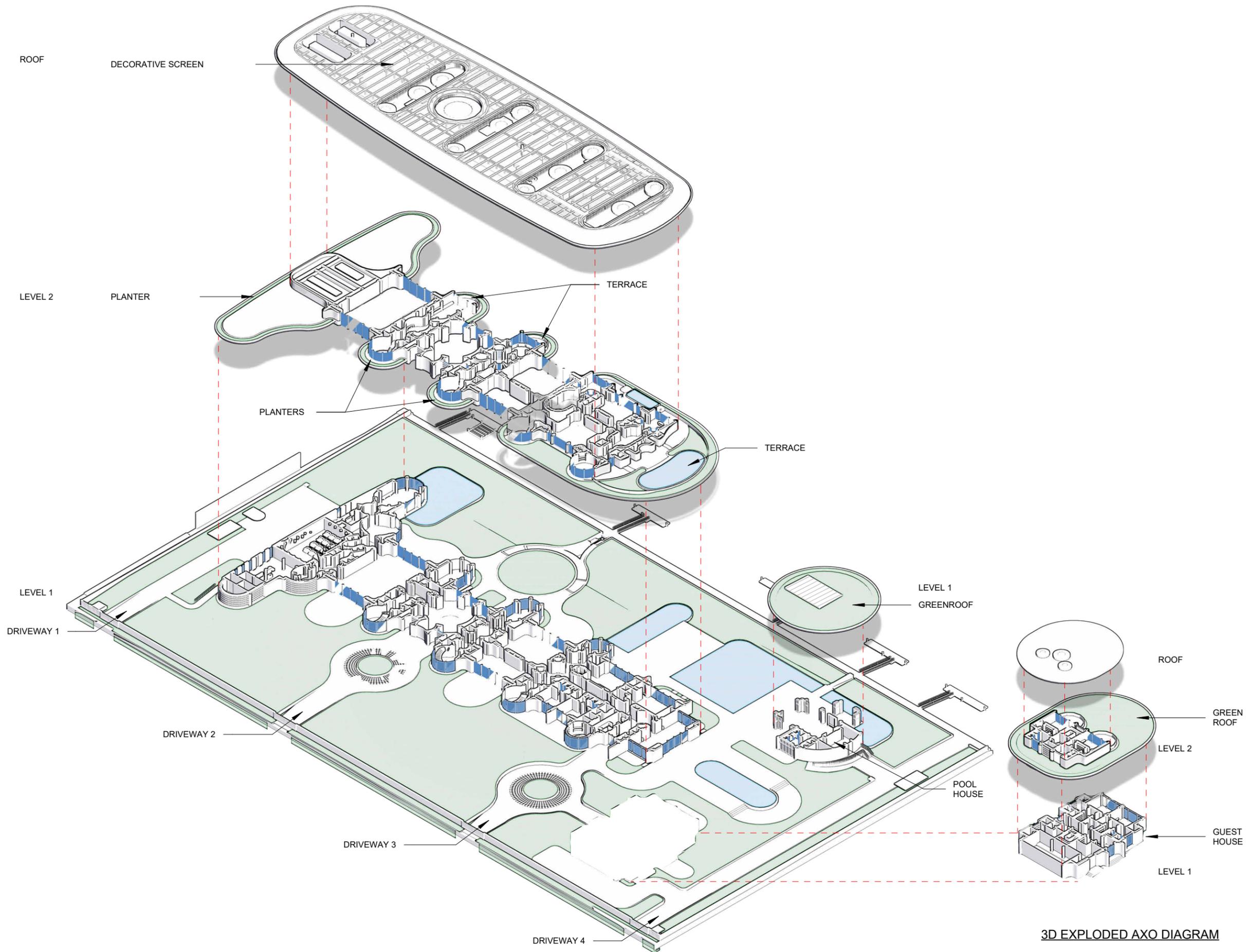


VIEW FROM NORTH



VIEW FROM NORTH-WEST

1 2ND FLOOR SIDE DIAGRAM
1" = 50'-0"



3D EXPLODED AXO DIAGRAM

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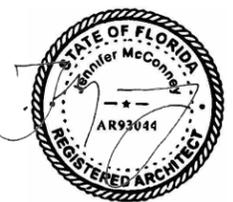
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DRAWING

EXPLODED AXO DIAGRAM

DIGITAL SEAL



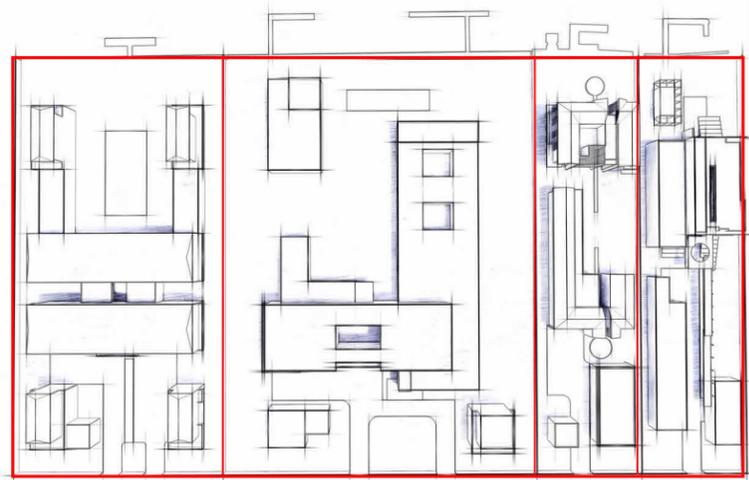
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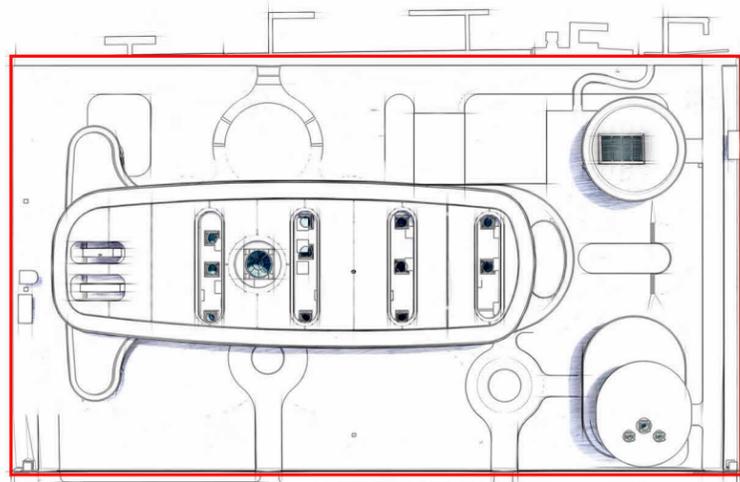


LOT 8 & 9

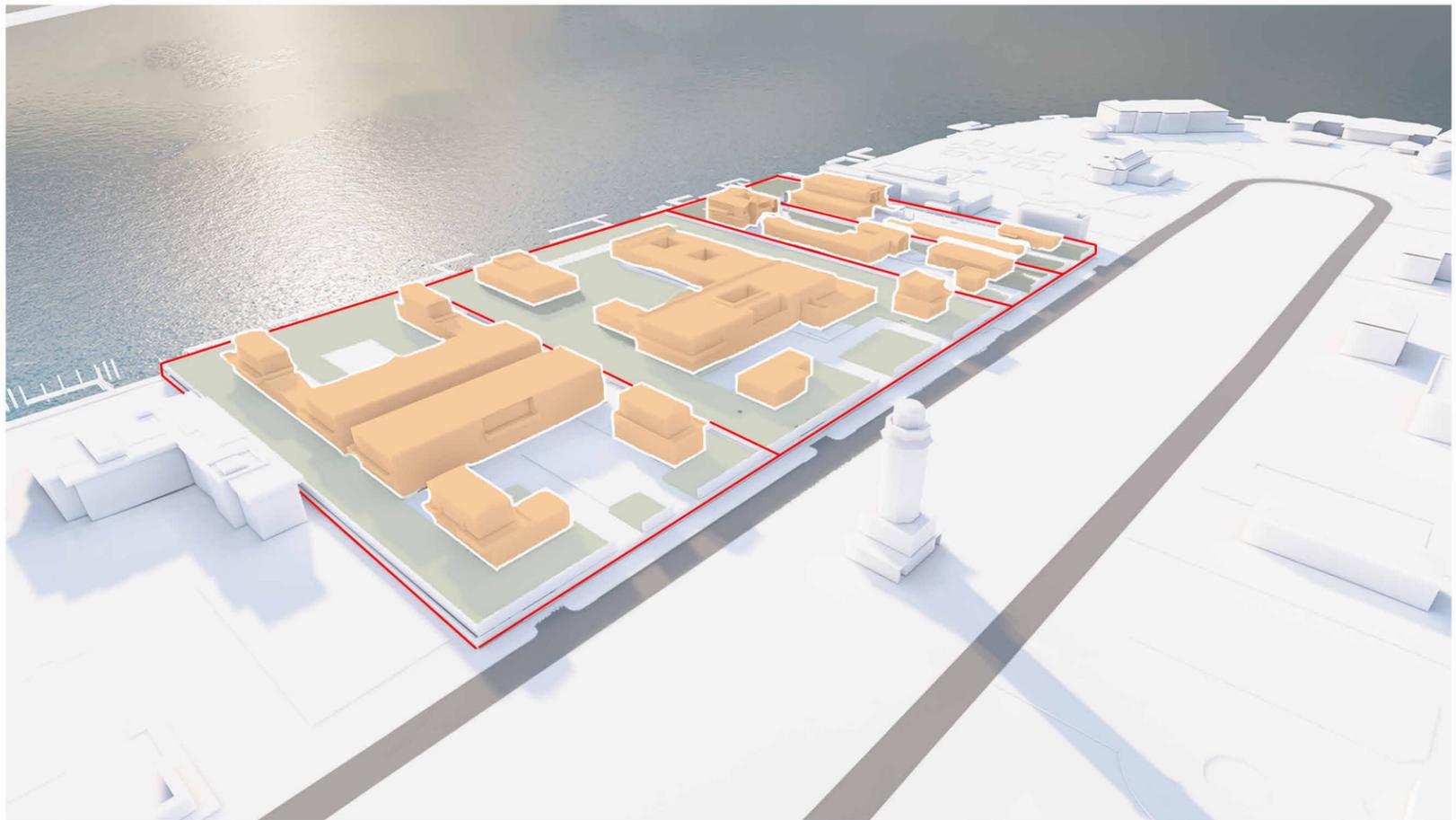
LOT 10, 11 & 12

LOT 13

LOT 14



LOT 8 - 14



FOUR SEPARATE LOTS - AERIAL VIEW (ILLUSTRATIVE ONLY, NOT PROPOSED)



LOTS INTEGRATED - AERIAL VIEW (PROPOSED)

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PROJECT NAME

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8 - 14 STAR ISLAND
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FL. 33139

DRAWING

**MASSING
STUDY OF
FOUR
SEPARATE
LOTS**

DIGITAL SEAL



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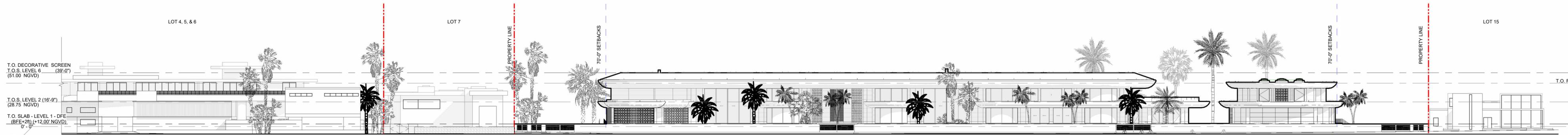
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1 CONTEXTUAL ELEVATION 1 EXISTING
1" = 40'-0"



3 CONTEXTUAL ELEVATION 1 PROPOSED
1" = 40'-0"

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2201

PROJECT NAME
PRIVATE
RESIDENCE
8 - 14 STAR ISLAND
DRIVE MIAMI BEACH,
FL. 33139
8 - 14 STAR ISLAND
DRIVE MIAMI BEACH,
FL. 33139

DRAWING
CONTEXT
ELEVATION

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PRIVATE RESIDENCE

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DRIVE MIAMI
BEACH,
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SITE PLAN



① SITE PLAN
1" = 30'-0"

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