



<u>PERVIOUS OPEN SPACE</u>	<u>SQ. FT</u>	
REAR YARD		35,012.50 SF
 REQUIRED PERVIOUS OPEN SPACE 70% OF REAR YARD		24,508.75 SF
 PROVIDED PERVIOUS OPEN SPACE		23,235 SF
+50% OF POOL AREA = 71.38% OF REAR YARD		1,758.91 SF
<u>TOTAL PROVIDED PERVIOUS OPEN SPACE</u>		<u>24,993.91 SF</u>
<u>SURPLUS</u>		485.16 SF



REAR YARD PERVIOUS OPEN SPACE DIAGRAM
1" = 50'-0"

BOA
SUBMITTAL

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 CCLA
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786.536.2961

PROJECT NUMBER
2201

PROJECT NAME
PRIVATE
RESIDENCE

8 - 14 STAR ISLAND
DRIVE MIAMI BEACH,
FL. 33139

DRAWING

REAR YARD
OPEN SPACE
DIAGRAM

DIGITAL SEAL



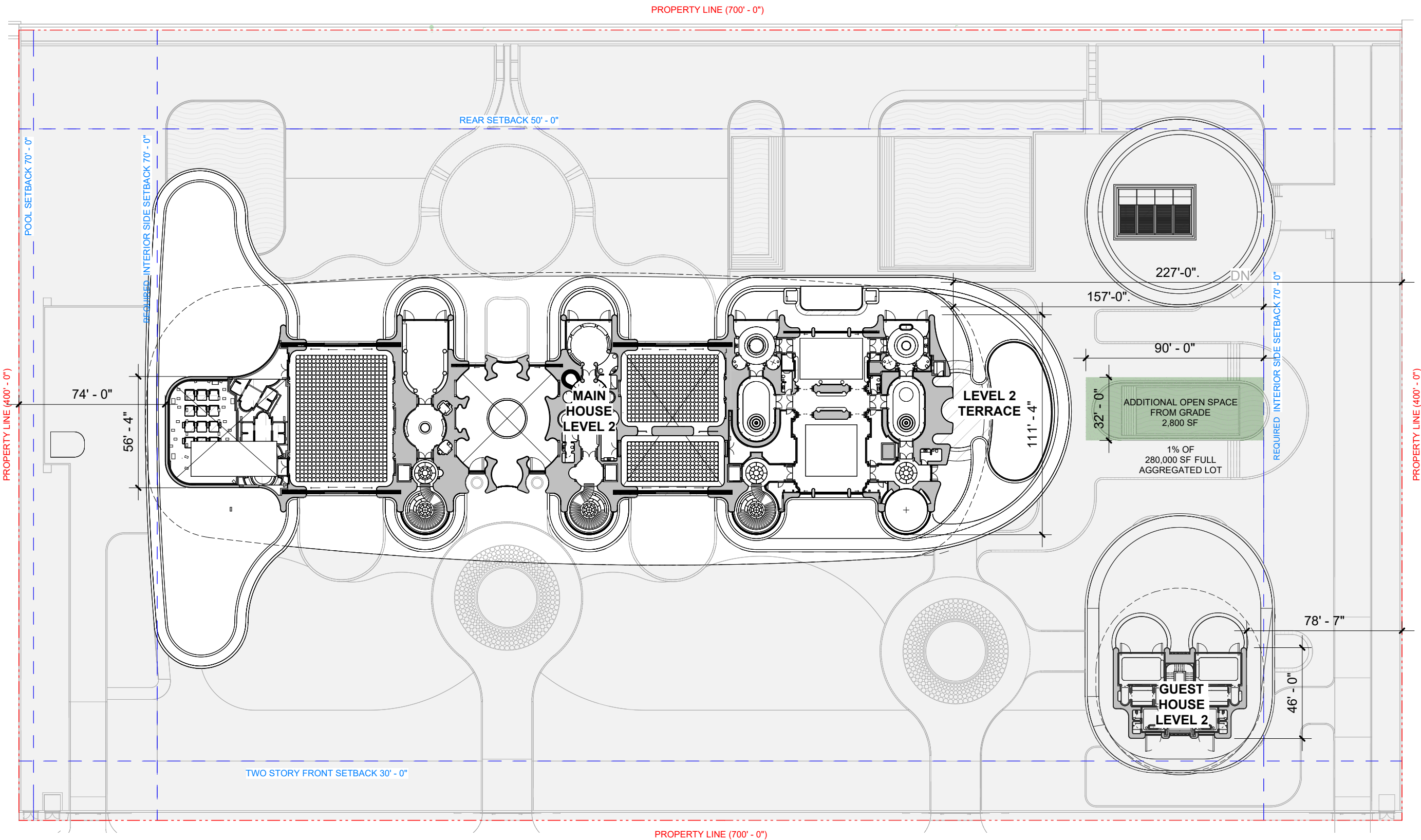
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2-STORY SIDE ELEVATION- REQUIREMENT:

Two-story side elevations located parallel to a side property line shall not exceed 50 percent (50%) of the lot depth, or 60 feet, whichever is less, without incorporating additional open space, in excess of the minimum required side yard, directly adjacent to the required side yard.
50% LOT DEPTH = (0.50)(400 FT) = 200 FT >60 FT
PROPOSED:
LENGHT OF NORTH SIDE ELEVATION= 111'-4"FT > 60FT
SUPPORTING POINTS FOR APPROVAL (SEE RENDERING):
157'-1" AWAY FROM SETBACK
227'-1" FROM NORTH PROPERTY LINE
TWO (2) PAVILLIONS INBETWEEN SECOND STORY ELEVATION AND PROPERTY LINE
ADDITIONAL OPEN SPACE FROM GRADE (2,800 SF, 1% OF THE 280,000 SF FULL AGGREGATED LOT)
ENTIRE LEVEL 2 SIDE ELEVATION HAS LEVEL 1 VOLUME AND GARDEN TERRACE IN FRONT OF ITS PLANE



VIEW FROM NORTH



VIEW FROM NORTH-WEST

2ND FLOOR SIDE DIAGRAM
1" = 50'-0"

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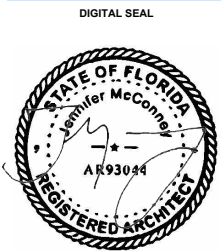
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DRAWING
2ND FLOOR SIDE ELEVATION DIAGRAM

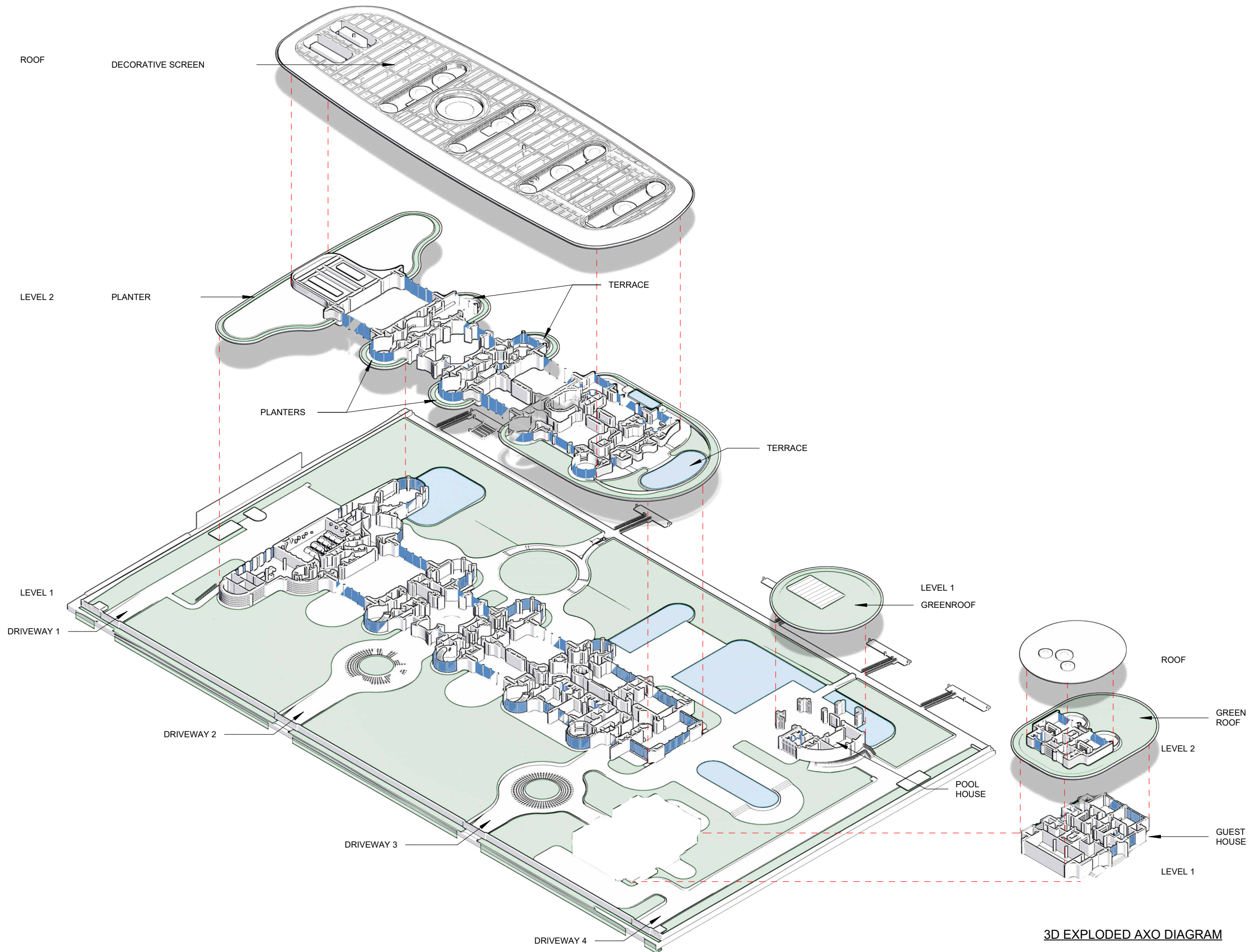


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3D EXPLODED AXO DIAGRAM

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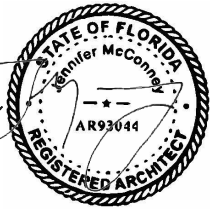
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DRAWING

EXPLODED AXO DIAGRAM

DIGITAL SEAL



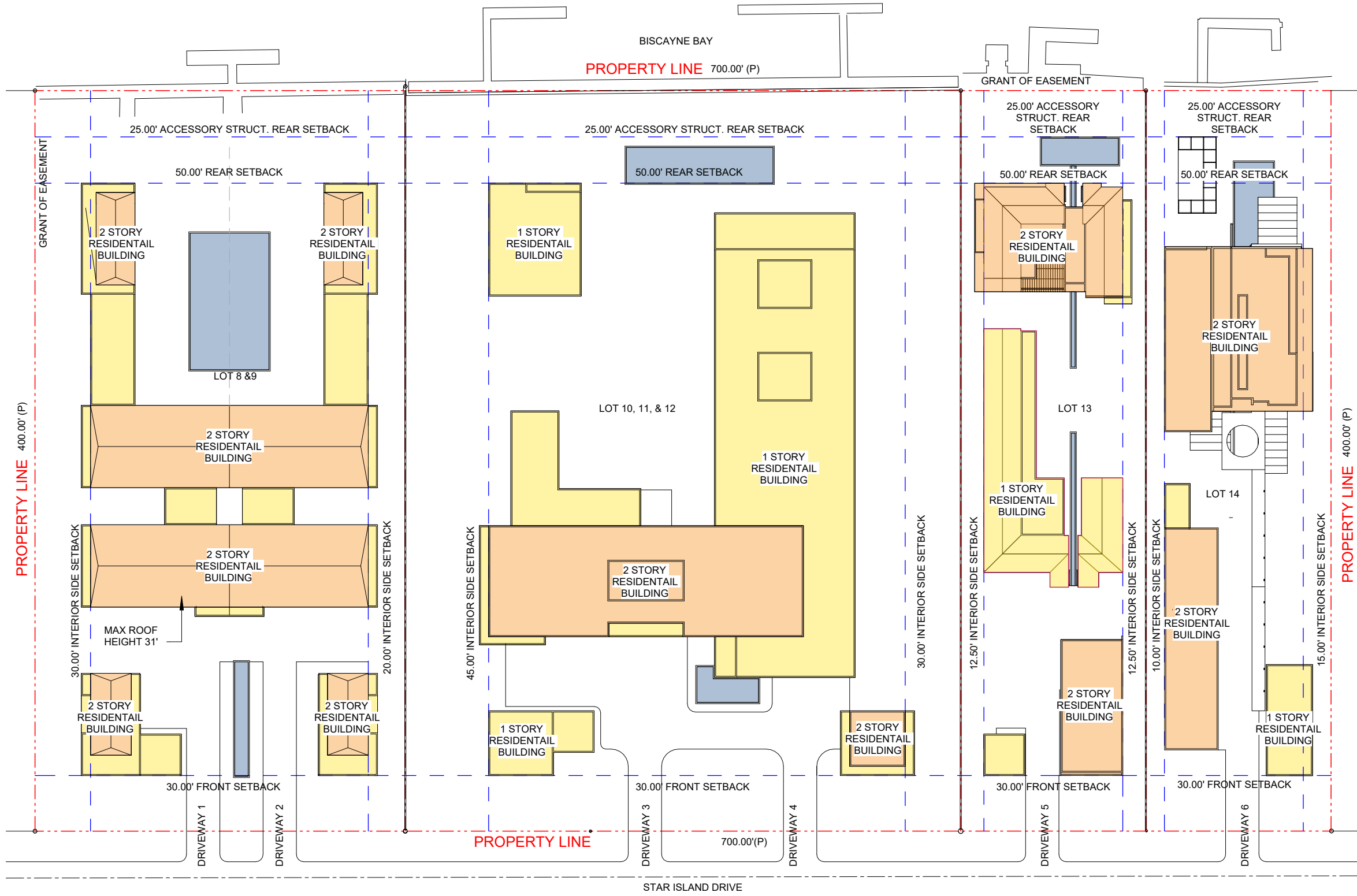
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LOTS 8 & 9
80,000 SF

LOT MAXIMUM COVERAGE 30%
80,000 X .3 = 24,000 SF
COVERAGE SHOWN: **24,000 SF**
MAXIMUM UNIT SIZE: (50% of Lot Area) **40,000 SF**
UNIT SIZE SHOWN: 40,000 SF

LOT 10, LOT 11, LOT 12
120,000 SF

LOT MAXIMUM COVERAGE 30%
120,000 X .3 = 36,000 SF
COVERAGE SHOWN: **36,000 SF**
MAXIMUM UNIT SIZE: (50% of Lot Area) **60,000 SF**
UNIT SIZE SHOWN: 60,000 SF

LOT 13
40,000 SF

LOT MAXIMUM COVERAGE 30%
40,000 X .3 = 12,000 SF
COVERAGE SHOWN: **12,000 SF**
MAXIMUM UNIT SIZE: (50% of Lot Area) **20,000 SF**
UNIT SIZE SHOWN: 20,000 SF

LOT 14
40,000 SF

LOT MAXIMUM COVERAGE 30%
40,000 X .3 = 12,000 SF
COVERAGE SHOWN: **12,000 SF**
MAXIMUM UNIT SIZE: (50% of Lot Area) **20,000 SF**
UNIT SIZE SHOWN: 20,000 SF



1 SITE PLAN STUDY (4 SEPARATE LOTS)

1" = 60'-0" (ILLUSTRATIVE ONLY, NOT PROPOSED)

TOTAL LOT COVERAGE IF DEVELOPED INDIVIDUALLY
24,000 + 36,000 + 12,000 + 12,000 = 84,000 SF 30%

TOTAL MAX UNIT SIZE IF DEVELOPED INDIVIDUALLY
40,000 + 60,000 + 20,000 + 20,000 = 140,000 SF 50%

TOTAL PROPOSED LOT COVERAGE:
76,141.06 SF 27.19%

TOTAL PROPOSED UNIT SIZE:
75,585.23 SF 26.99%

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8 - 14 STAR ISLAND
DRIVE MIAMI BEACH,
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DRAWING

SITE PLAN
STUDY OF
FOUR
SEPARATE
LOTS
DEVELOPMENT
"AS OF RIGHT"

DIGITAL SEAL



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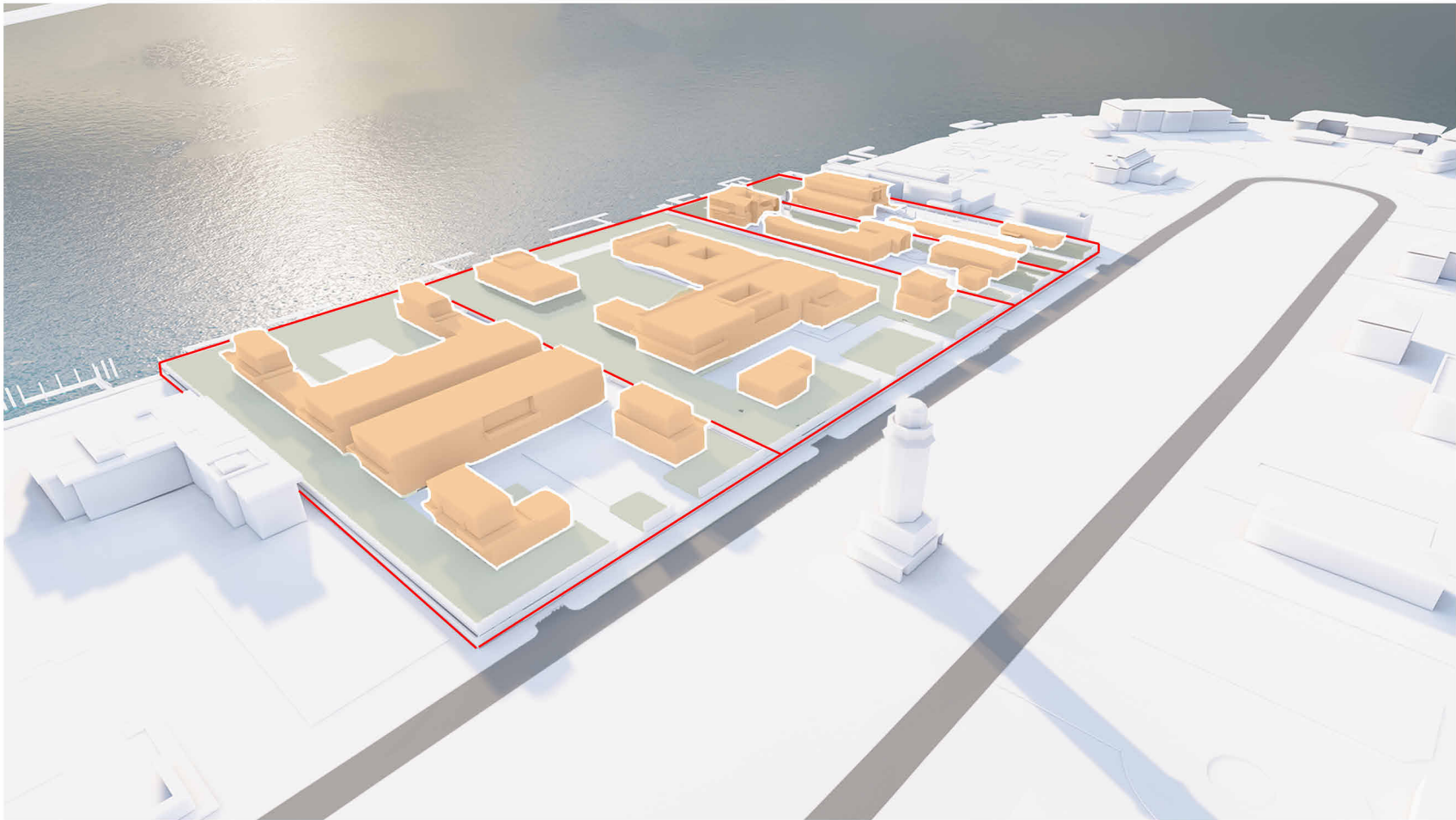
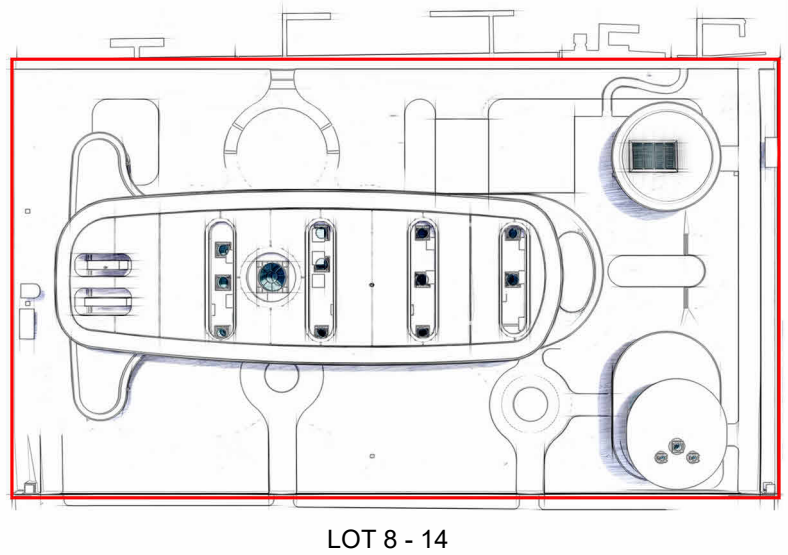
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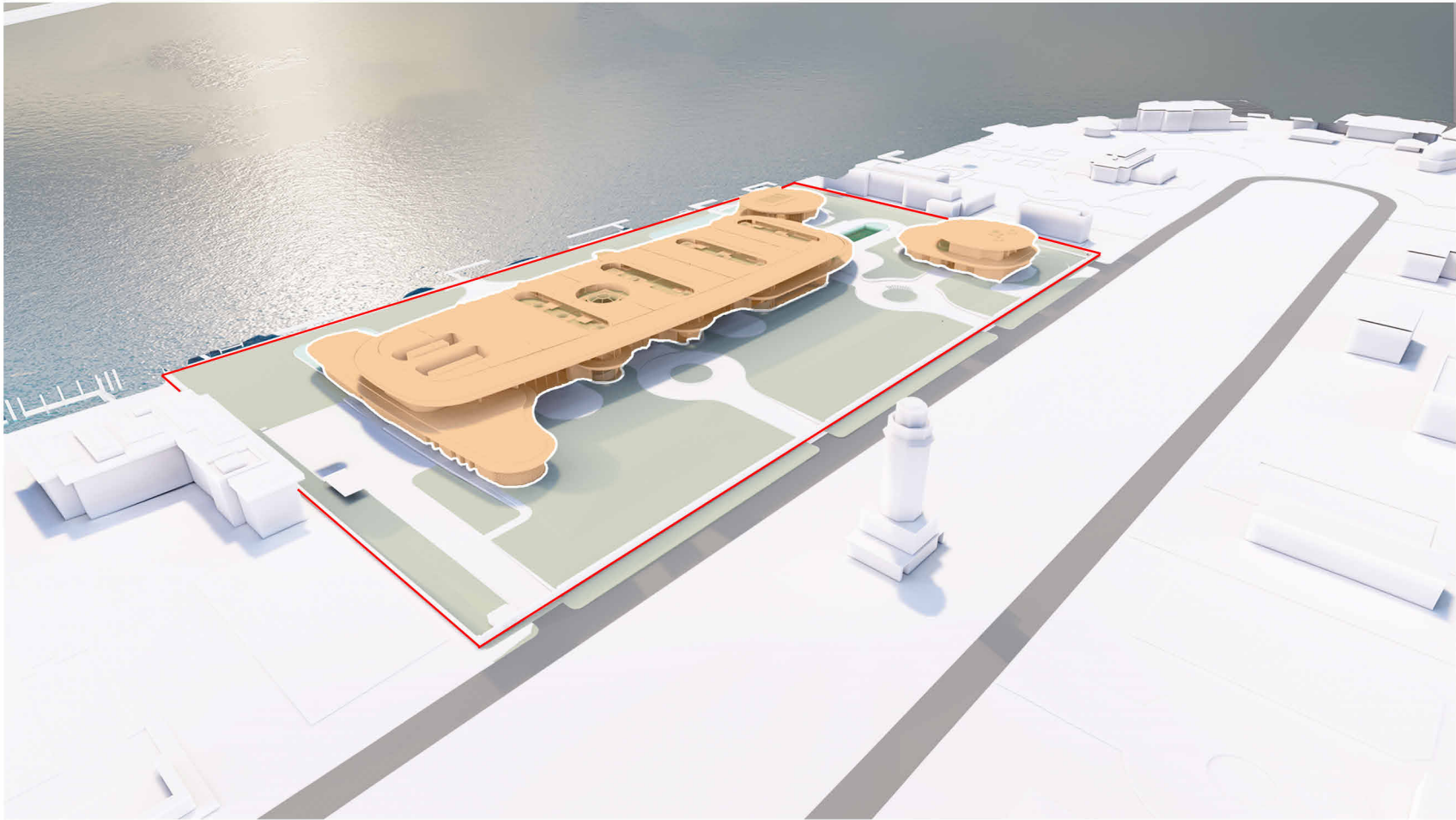
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FOUR SEPARATE LOTS - AERIAL VIEW (ILLUSTRATIVE ONLY, NOT PROPOSED)



LOTS INTEGRATED - AERIAL VIEW (PROPOSED)

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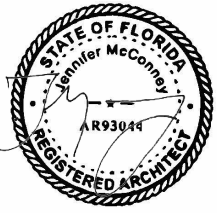
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**PRIVATE
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**8 - 14 STAR ISLAND
DRIVE MIAMI BEACH,
FL. 33139**

DRAWING

**MASSING
STUDY OF
FOUR
SEPARATE
LOTS**

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1 CONTEXTUAL ELEVATION 1 EXISTING
1" = 40'-0"



3 CONTEXTUAL ELEVATION 1 PROPOSED
1" = 40'-0"

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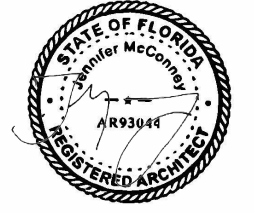
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DRAWING

CONTEXT
ELEVATION

DIGITAL SEAL



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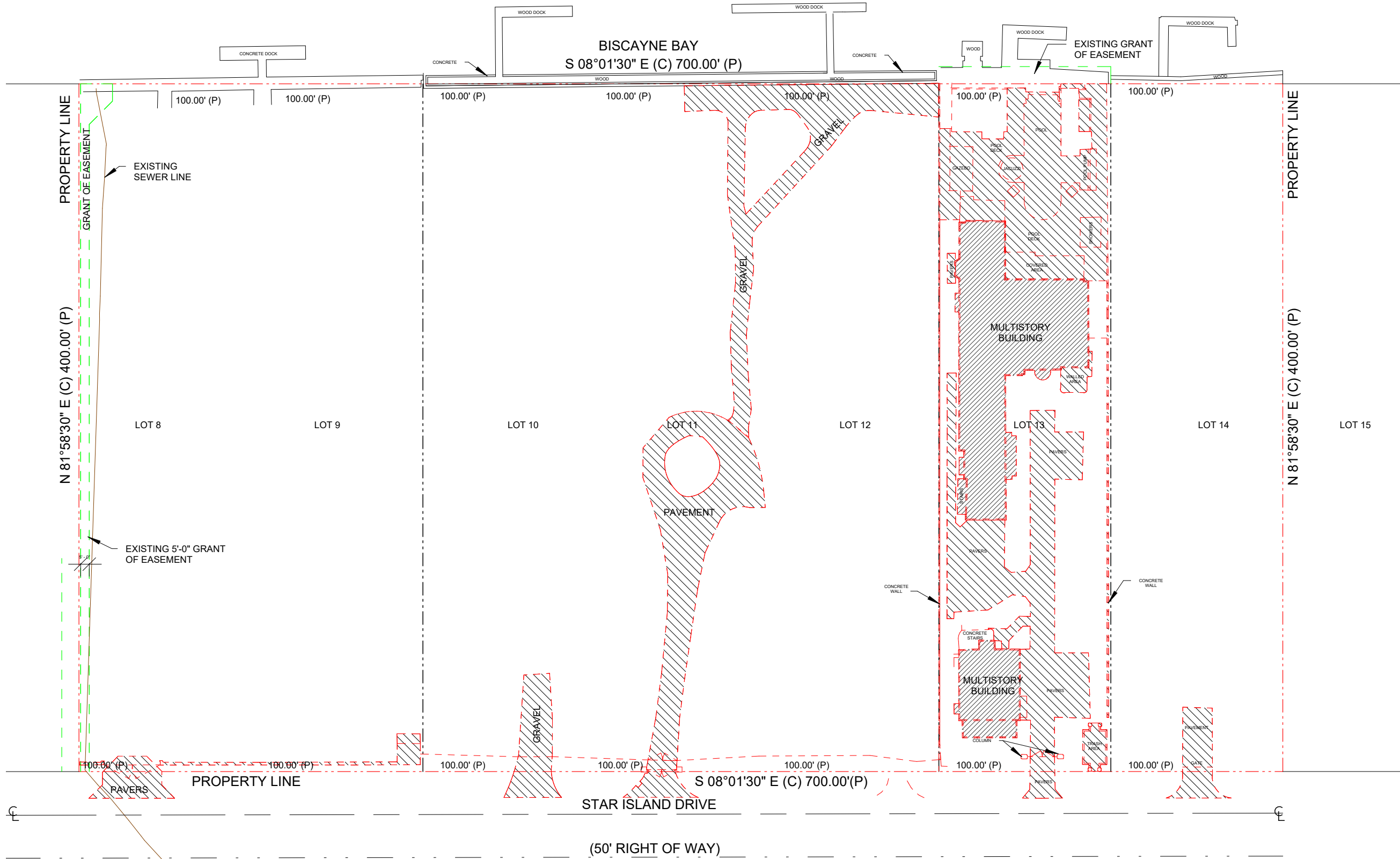
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1

DEMOLITION PLAN

1" = 60'-0"

TOTAL AREA TO BE DEMOLISHED = 40,558.41 SF

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DRAWING

DEMOLITION
PLAN

DIGITAL SEAL

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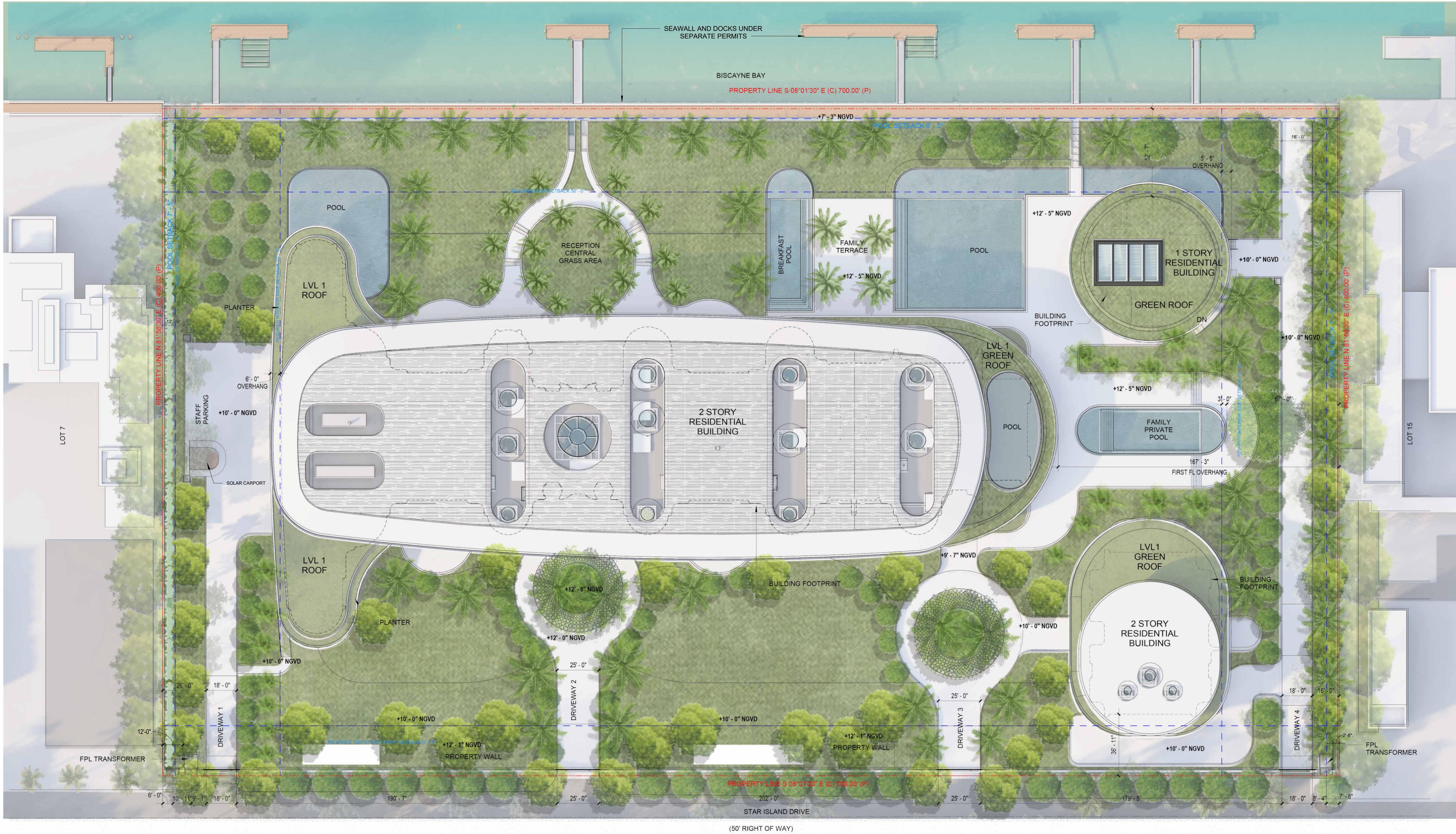
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1 SITE PLAN
1" = 30'-0"

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DRAWING

SITE PLAN

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