

# NEW RESIDENCE

SINGLE FAMILY  
1265 NORTH BISCAYNE POINT ROAD  
MIAMI BEACH, FLORIDA 33141



**YODEZEEN**  
5555 BISCAYNE BLVD  
4TH FLOOR SPACE 2 MIAMI, FL 33137 USA  
PHONE: +1 305 213 1321  
HTTPS://WWW.YODEZEEN.COM/

**GONZALEZARCHITECTURE**  
1035 NORTH MIAMI AVENUE, SUITE 406  
MIAMI FLORIDA 33136  
create@gonzalezarchitecture.com  
WWW.GONZALEZARCHITECTURE.COM

## SCOPE OF WORK

1. 2-STORY NEW RESIDENCE
2. ARCHITECTURE NEW CONSTRUCTION
  - 2.1. NEW GATE AND FENCE WALL
  - 2.2. NEW MAIN HOUSE
  - 2.3. NEW POOL (UNDER SEPARATE PERMIT)
  - 2.4. NEW LANDSCAPING
3. NEW SITE GRADING

## FINAL SUBMITTAL

FILE NO. DRB24-1038

AUGUST 4, 2024

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### LANDSCAPE

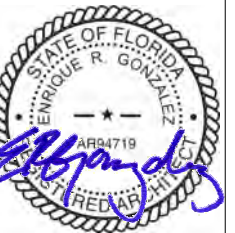
- L-01 PROPERTY SURVEY & TREE DISPOSITION PLAN
- L-02 LANDSCAPE PLAN
- L-03 LANDSCAPE DETAILS & GENERAL NOTES

DIGITAL SIGNATURE

1035 N MIAMI AVENUE  
SUITE 406  
MIAMI, FLORIDA 33136



ENRIQUE RENE GONZALEZ  
REGISTERED ARCHITECT



STATE OF FLORIDA  
AR94719

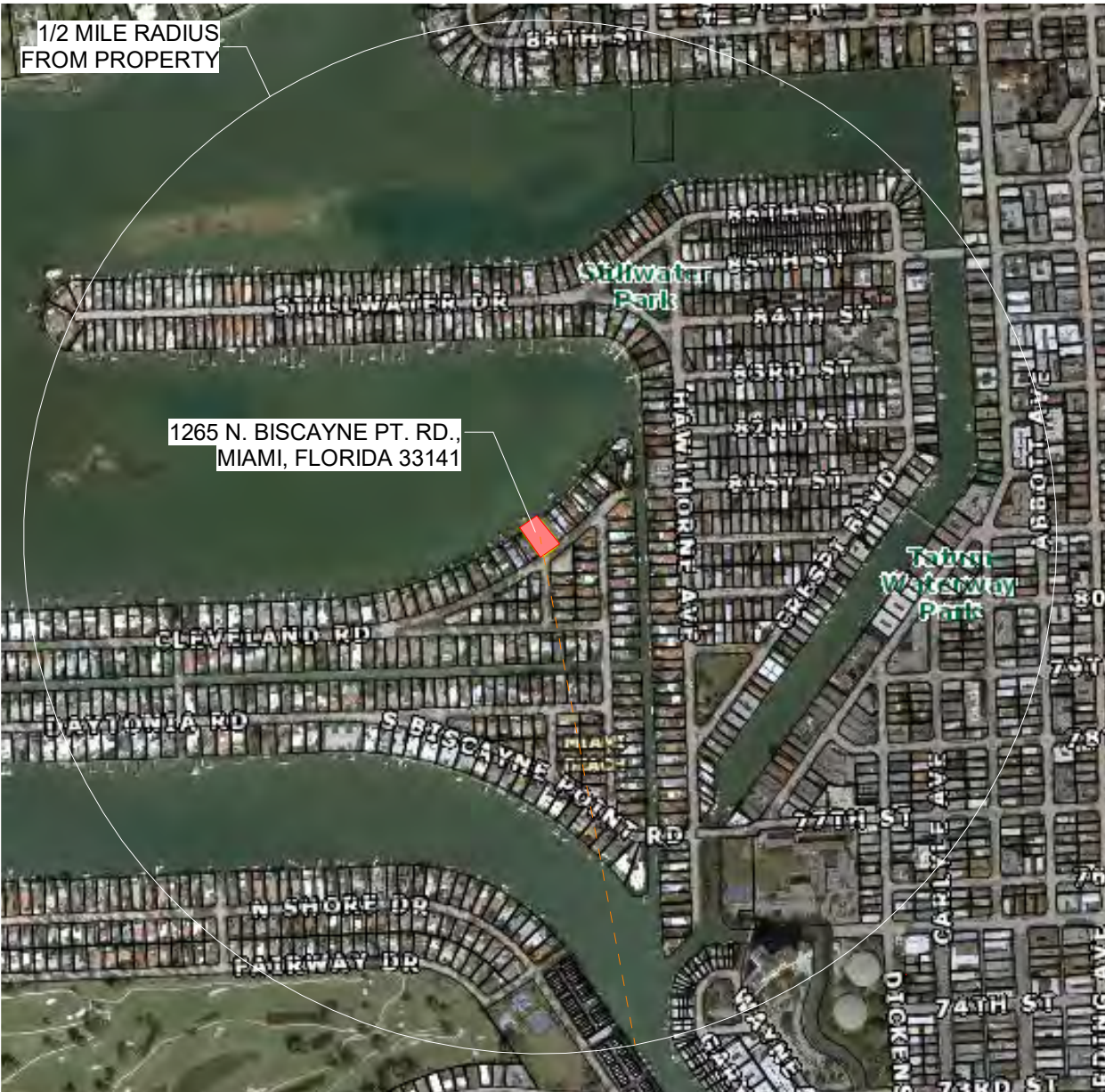
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07-14-24 FIRST SUBMITTAL

08-04-24 FINAL SUBMITTAL

**A00**





01

AERIAL (1/2 MILE RADIUS)

SCALE: N.T.S.

# MIAMI BEACH

Planning Department, 1700 convention Center Drive  
Miami Beach, Florida 33139, www.miamibeachfl.gov  
305.671.7550

## SINGLE FAMILY RESIDENTIAL ZONING DATA SHEET

| ITEM # | Zoning Information   |  |  |                     |
|--------|--|--|--|---------------------|
| 1      | Address:   | 1265 N. BISCAYNE PT. RD., MIAMI BEACH, FLORIDA 33141 |  |                     |
| 2      | Folio number(s):   | 02-3203-001-2400                                     |  |                     |
| 3      | Board and file numbers :   | DRB24-1038   |  |                     |
| 4      | Year built:  | 1953 (Original)                                      | Zoning District:   | RS-3                |
| 5      | Base Flood Elevation:  | 8.00' NGVD   | Grade value in NGVD:   | 4.1' NGVD           |
| 6      | Adjusted grade (Min.Flood+Grade/2):                                | 6.55' NGVD   | Free board:  | 5'-0" (13.00' NGVD) |
| 7      | Lot Area:  | 11,360.2 SF  |  |                     |
| 8      | Lot width: Taken at 20' from property line.                        | 74'- 3"  | Lot Depth:   | 157'-5"             |
| 9      | Max Lot Coverage SF and %:   | 3,408 SF (30%)                                       | Proposed Lot Coverage SF and %:  | 3,381.9 SF(29.7%)   |
| 10     | Existing Lot Coverage SF and %:                                    | 3,492 SF (30.7%)                                     | Lot coverage deducted (garage-storage) SF:   | N/A                 |
| 11     | Front Yard Open Space SF and %:                                    | 1,575.1 SF(71.2%)                                    | Rear Yard Open Space SF and %:   | 1,203 SF(73.1%)     |
| 12     | Max Unit Size SF and %:  | 5,680.1 SF (50%)                                     | Proposed Unit Size SF and %:   | 5,662 SF(49.8%)     |
| 13     | Existing First Floor Unit Size:                                    | 3,492.9 SF(30.7%)                                    | Proposed First Floor Unit Size:  | 2,656 SF            |
| 14     | Existing Second Floor Unit Size                                    | N/A  | Proposed Second Floor volumetric Unit Size SF and % (Note: to exceed 70% of the first floor of the main home require DRB Approval) | N/A                 |
| 15     |  |  | Proposed Second Floor Unit Size SF and % :   | 2,718.1 SF (23.9%)  |
| 16     |  |  | Proposed Roof Deck Area SF and % (Note: Maximum is 25% of the enclosed floor area immediately below):                              | N/A                 |
|        |  | Required   | Existing   | Proposed            |
| 17     | Height:  | 34'-0"   | N/A  | 32'-1"              |
| 18     | Setbacks:  |  |  |                     |
| 19     | Front First level:   | 30'-0"   | N/A  | 30'-0"              |
| 20     | Front Second level:  | 30'-0"   | N/A  | 30'-0"              |
| 21     | Side 1:  | 10'-0"   | N/A  | 10'-0"              |
| 22     | Side 2 or (facing street):   | 10'-0"   | N/A  | 10'-0"              |
| 23     | Rear:  | 23' - 6 1/2"   | N/A  | 42'-10"             |
|        | Accessory Structure Side 1:  | N/A  | N/A  | N/A                 |
| 24     | Accessory Structure Side 2 or (facing stree...                     | N/A  | N/A  | N/A                 |
| 25     | Accessory Structure Rear:  | N/A  | N/A  | N/A                 |
| 26     | Sum of Side yard :   | 20'-0"   | N/A  | 20'-0"              |
| 27     | Located within a Local Historic District?                          | NO   |  |                     |
| 28     | Designated as an individual Historic Single Family Residence Site? | NO   |  |                     |
| 29     | Determined to be Architecturally Significant?                      | NO   |  |                     |

Notes:  
If not applicable write N/A  
All other data information should be presented like the above format

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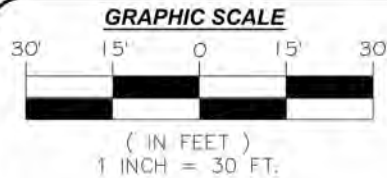
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A01





# MAP OF BOUNDARY SURVEY

## LEGAL DESCRIPTION:

LOT 26, BLOCK 10, OF "BISCAYNE POINT",  
ACCORDING TO THE PLAT THEREOF, AS RECORDED  
IN PLAT BOOK 14, AT PAGE 35, OF THE PUBLIC  
RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

## PROPERTY ADDRESS:

FOLIO NO. 02-3203-001-2400

1265 NORTH BISCAYNE POINT ROAD,  
MIAMI BEACH, FLORIDA 33141-1703.

AREA OF PROPERTY: 11,435 SQUARE FEET AND/OR  
TO EDGE OF WATER 0.262 ACRES MORE OR LESS.

## CERTIFIED TO:

THIS BOUNDARY SURVEY HAS BEEN PREPARED FOR THE  
EXCLUSIVE USE OF THE ENTITIES NAME HEREON. THE  
CERTIFICATIONS DO NOT EXTEND TO ANY UNNAMED  
PARTIES.

— 1265 NBP LLC.

## SURVEYOR'S NOTES:

- 1.) THE ABOVE CAPTIONED PROPERTY WAS SURVEYED AND DESCRIBED BASED ON THE ABOVE LEGAL DESCRIPTION; PROVIDED BY CLIENT.
- 2.) THIS CERTIFICATION IS ONLY FOR THE LANDS AS DESCRIBED. IT IS NOT A CERTIFICATION OF TITLE, ZONING, EASEMENTS, OR FREEDOM OF ENCUMBRANCES. ABSTRACT NOT REVIEWED.
- 3.) THERE MAY BE ADDITIONAL RESTRICTIONS NOT SHOWN ON THIS BOUNDARY SURVEY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY. AN EXAMINATION OF ABSTRACT OF TITLE WILL HAVE TO BE MADE TO DETERMINE RECORDED INSTRUMENTS, IF ANY AFFECTING THIS PROPERTY.
- 4.) ACCURACY: THE MINIMUM RELATIVE DISTANCE ACCURACY FOR THIS BOUNDARY SURVEY IS 1 FOOT IN 7,500 FEET, THE ACCURACY OBTAINED BY FIELD MEASUREMENT AND OFFICE CALCULATION OF A CLOSED GEOMETRIC FIGURE WAS FOUND TO EXCEED THIS.
- 5.) FOUNDATIONS AND/OR FOOTINGS THAT MAY CROSS BEYOND THE BOUNDARY LINES OF THE PARCEL HEREIN DESCRIBED ARE NOT SHOWN.
- 6.) TYPE OF SURVEY: BOUNDARY SURVEY.
- 7.) ELEVATIONS SHOWN HEREON ARE BASED ON TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (N.A.V.D.88) AND ARE BASED ON TO THE NATIONAL GEODETIC VERTICAL DATUM OF 1929 (N.G.V.D.29).
- 8.) ALL MEASUREMENTS ARE IN ACCORDANCE WITH THE UNITED STATES STANDARD U.S. SURVEY FEET.
- 9.) CONTACT THE APPROPRIATE AUTHORITY PRIOR TO ANY DESIGN WORK ON THE HEREIN DESCRIBED PARCEL FOR BUILDING AND ZONING INFORMATION.
- 10.) UNDERGROUND UTILITIES ARE NOT DEPICTED HEREON. CONTACT THE APPROPRIATE AUTHORITY PRIOR TO ANY DESIGN WORK OR CONSTRUCTION ON THE PROPERTY HEREIN DESCRIBED. SURVEYOR SHALL BE NOTIFIED AS TO ANY DEVIATION FROM UTILITIES SHOWN HEREON.
- 11.) ENCUMBRANCES NOT SHOWN ON THE PLAT.
- 12.) THE WRITTEN CONSENT OF LANDMARK SURVEYING & ASSOCIATES, INC. UNDERGROUND PORTIONS OF FOOTING, FOUNDATIONS OR OTHER IMPROVEMENTS WERE NOT LOCATED.
- 13.) ONLY VISIBLE AND ABOVE GROUND ENCROACHMENTS LOCATED.
- 14.) WALL TIES ARE TO THE FACE OF THE WALL.
- 15.) FENCE OWNERSHIP NOT DETERMINED.
- 16.) BASIS OF BEARINGS REFERENCED TO LINE NOTED AS B.B.
- 17.) BOUNDARY SURVEY MEANS A DRAWING AND/OR GRAPHIC REPRESENTATION OF THE SURVEY WORK PERFORMED IN THE FIELD.
- 18.) NO IDENTIFICATION FOUND ON PROPERTY CORNERS UNLESS NOTED.
- 19.) THE SOURCES OF DATA USED FOR THE PREPARATION OF THIS BOUNDARY SURVEY IS "BISCAYNE POINT" RECORDED IN PLAT BOOK 14, AT PAGE 35.
- 20.) THIS MAP OF SURVEY IS INTENDED TO BE DISPLAYED AT A SCALE OF ONE INCH EQUALS 30 FEET.

**C1:**  
Δ=02°02'36"  
L=75.00'  
R=2103.05'

**C2:**  
Δ=02°02'36"  
L=69.65'  
R=1953.05'

## LOCATION MAP

SECTION 3, TOWNSHIP 53 SOUTH, RANGE 42 EAST  
LYING AND BEING IN MIAMI-DADE COUNTY FLORIDA  
(NOT TO SCALE)



| TREE INVENTORY |                  |                |              |              |
|----------------|------------------|----------------|--------------|--------------|
| NO.            | TREE             | DIAMETER (IN.) | HEIGHT (FT.) | CANOPY (FT.) |
| 1              | PALMS (3)        | 5.0            | 12.0         | 6.0          |
| 2              | PALM             | 7.0            | 20.0         | 8.0          |
| 3              | TREE             | 36.0           | 25.0         | 15.0         |
| 4              | PALMS (2)        | 8.5            | 30.0         | 10.0         |
| 5              | PALMS (22)       | 3.5            | 15.0         | 10.0         |
| 6              | PALM             | 8.5            | 25.0         | 10.0         |
| 7              | PALMS (3)        | 8.5            | 15.0         | 10.0         |
| 8              | PALM             | 9.5            | 18.0         | 10.0         |
| 9              | PALM             | 12.0           | 25.0         | 10.0         |
| 10             | BANANA TREE      | 5.0            | 10.0         | 6.0          |
| 11             | PALM             | 8.5            | 12.0         | 6.0          |
| 12             | PALMS (3)        | 8.5            | 12.0         | 5.0          |
| 13             | AVOCADO          | 8.5            | 12.0         | 15.0         |
| 14             | MANGO TREE       | 12.0           | 15.0         | 15.0         |
| 15             | PALM             | 5.0            | 12.0         | 6.0          |
| 16             | PALM             | 12.0           | 12.0         | 6.0          |
| 17             | BANANA TREES (3) | 5.0            | 15.0         | 6.0          |
| 18             | PALM             | 12.0           | 10.0         | 5.0          |
| 19             | OAK              | 24.0           | 29.0         | 20.0         |
| 20             | TREE             | 5.0            | 10.0         | 8.0          |



LB No. 7633

PROFESSIONAL SURVEYORS AND MAPPERS  
8532 S.W. 8 STREET, SUITE "282"  
MIAMI, FL 33144  
PHONE: (305) 556-4002 FAX: (305) 556-4003  
WWW.LMSURVEYING.COM  
EMAIL: REQUEST@LMSURVEYING.COM

## ABBREVIATIONS AND LEGEND:


|          |                                      |
|----------|--------------------------------------|
| A/C      | =DENOTES AIR CONDITIONING UNIT       |
| B.B.     | =DENOTES BASIS OF BEARINGS           |
| ASPH.    | =DENOTES ASPHALT                     |
| P        | =DENOTES PROPERTY LINE               |
| B.B.L.   | =DENOTES BUILDING BASE LINE          |
| B.M.     | =DENOTES BENCH MARK                  |
| C.B.S.   | =DENOTES CONCRETE BLOCK STUCCO       |
| CONC.    | =DENOTES CONCRETE                    |
| L.P.     | =DENOTES LIGHT POLE                  |
| CB       | =DENOTES CATCH BASIN                 |
| C.L.     | =DENOTES CENTERLINE                  |
| M.E.     | =DENOTES MONUMENT LINE               |
| EASEMENT | =DENOTES LAKE & MAINTENANCE EASEMENT |
| D.E.     | =DENOTES DRAINAGE EASEMENT           |
| D.H.     | =DENOTES DRILL HOLE                  |
| (M)      | =DENOTES MEASURE                     |
| (R)      | =DENOTES RECORD                      |
| WPP      | =DENOTES WOOD POWER POLE             |
| U.E.     | =DENOTES UTILITY EASEMENT            |
| P.B.     | =DENOTES PLAT BOOK                   |
| P.D.     | =DENOTES PAGE                        |
| P.C.P.   | =DENOTES PERMANENT CONTROL POINT     |
| P.O.B.   | =DENOTES POINT OF BEGINNING          |
| TYP.     | =DENOTES TYPICAL                     |
| M.H.W.   | =DENOTES MEAN HIGH WATER LINE        |
| F.F.E.   | =DENOTES FINISH FLOOR ELEVATION      |
| W.M.     | =DENOTES WATER METER                 |
| CAT-TV   | =DENOTES CABLE TELEVISION            |
| D.M.     | =DENOTES DRAINAGE MANHOLE            |
| S.M.     | =DENOTES SANITARY MANHOLE            |
| W.V.     | =DENOTES WATER VALVE                 |
| HYD.     | =DENOTES HYDRANT                     |
| W        | =DENOTES WOOD FENCE                  |
| X        | =DENOTES CHAIN LINK FENCE            |
| ○        | =DENOTES IRON FENCE                  |
| △        | =DENOTES FOUND IRON PIPE (NO ID.)    |
| △        | =DENOTES FOUND NAIL AND DISC         |
| X,XX     | =DENOTES ASPHALT PAVEMENT            |
| ■        | =DENOTES ELEVATIONS                  |
| ■        | =DENOTES BRICK                       |
| ■        | =DENOTES CONCRETE PAD                |

ALL BEARINGS AND DISTANCES SHOWN  
HEREON ARE RECORD AND MEASURED  
UNLESS OTHERWISE NOTED.

|                                 |          |                    |
|---------------------------------|----------|--------------------|
| FLOOD ZONE:                     |          | AE                 |
| ELEVATION:                      |          | 8.0 FEET           |
| COMMUNITY:                      |          | 120651             |
| PANEL:                          |          | 12086C0307         |
| DATE OF FIRM:                   |          | 09/11/2009         |
| SUFFIX:                         |          | L                  |
| ORIGINAL FIELD WORK SURVEY DATE |          | 02/26/2022         |
| BENCH MARK:                     |          | D-180              |
| ELEVATION:                      |          | 3.51               |
| DATE                            | DRAWN BY | SCALE              |
| 02/26/2022                      | J.FEE    | 1"=30'             |
| REVISION / UPDATE OF SURVEY     |          |                    |
| DATE                            | DRAWN BY | DESCRIPTION        |
| 03/22/2024                      | D.DIAZ   | TOPOGRAPHIC SURVEY |
| 06/14/2024                      | EG       | ADD (NAV088) ELEV. |
| JOB No.                         |          |                    |
| 2202.0193-01                    |          |                    |

## SURVEYOR'S CERTIFICATION:

I HEREBY CERTIFY TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THIS "MAP OF BOUNDARY SURVEY" IS A TRUE AND CORRECT REPRESENTATION OF A SURVEY PREPARED UNDER MY DIRECTION. THAT IT MEETS THE STANDARDS OF PRACTICE AS SET FORTH BY THE STATE OF FLORIDA BOARD OF PROFESSIONAL LAND SURVEYORS IN CHAPTER 5J-17.050 THROUGH 5J-17.052 OF THE FLORIDA ADMINISTRATIVE CODE AND ITS IMPLEMENTING LAW, PURSUANT TO CHAPTER 4202, FLORIDA STATUTE.

SIGNED:  FOR THE FIRM  
ARTURO MENDIGUTIA, P.S.M., C.O.R.T. P.S.M. No. 5844-STATE OF FLORIDA  
NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA  
LICENSED SURVEYOR AND MAPPER. ADDITIONS OR DELETIONS TO SURVEY MAPS OR  
REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT  
WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES AND/OR NOT VALID WITHOUT AN  
AUTHENTIC ELECTRONIC SIGNATURE AND AUTHENTICATED ELECTRONIC SEAL.

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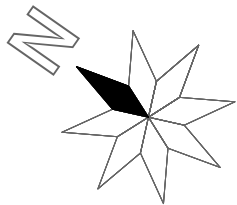
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**A02**





01

RIGHT OF WAY AERIAL

SCALE 1" = 50'-0"

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**A03**









01 CONTEXT PHOTO



02 CONTEXT PHOTO



03 CONTEXT PHOTO



04 CONTEXT PHOTO



05 CONTEXT PHOTO



06 CONTEXT PHOTO

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**A05**





07 CONTEXT PHOTO



08 CONTEXT PHOTO



09 CONTEXT PHOTO

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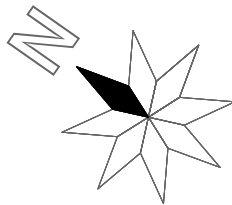
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|                          |
|                          |
|                          |

A06





01

SITE PHOTOS KEY PLAN

SCALE 1" = 30'-0"

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**A07**





01 SITE PHOTO



02 SITE PHOTO



03 SITE PHOTO



04 SITE PHOTO



05 SITE PHOTO



06 SITE PHOTO

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**A08**





07 SITE PHOTO



08 SITE PHOTO



09 SITE PHOTO



10 SITE PHOTO



11 SITE PHOTO



12 SITE PHOTO

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**A09**





13 SITE PHOTO



14 SITE PHOTO



15 SITE PHOTO



16 SITE PHOTO



17 SITE PHOTO



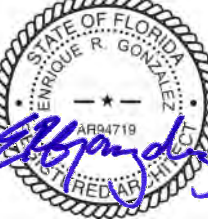
18 SITE PHOTO

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STATE OF FLORIDA  
AR94719

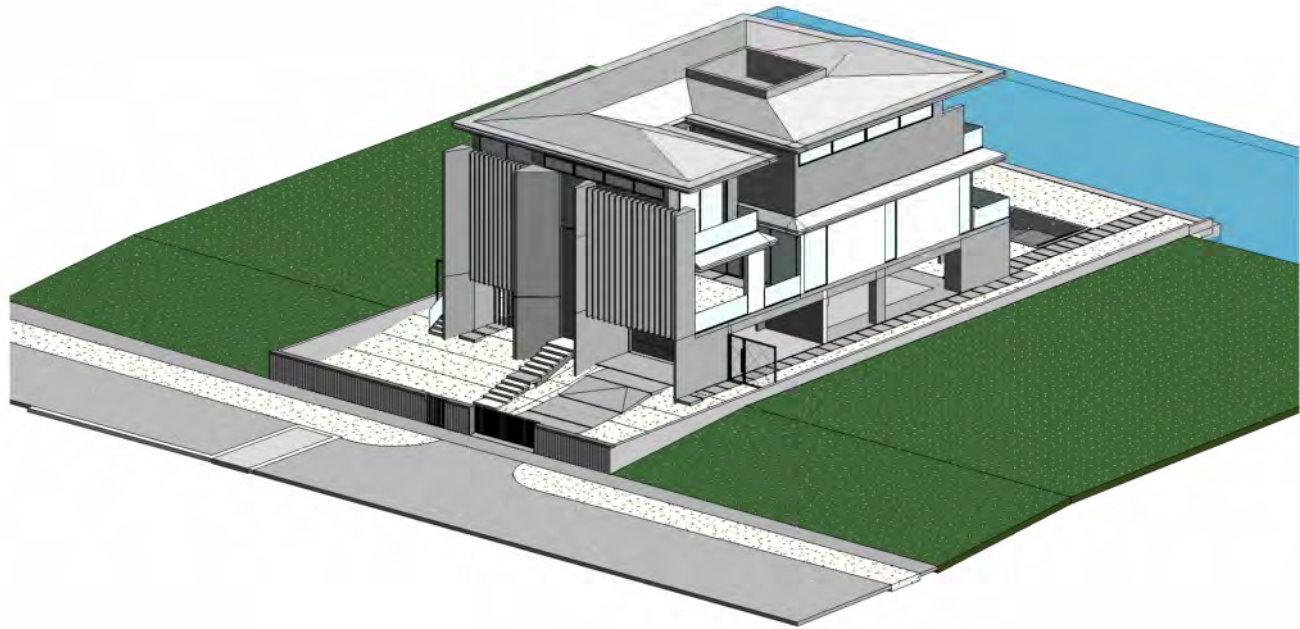
**NEW RESIDENCE**  
SINGLE FAMILY  
1265 NORTH BISCAYNE POINT ROAD  
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**A10**

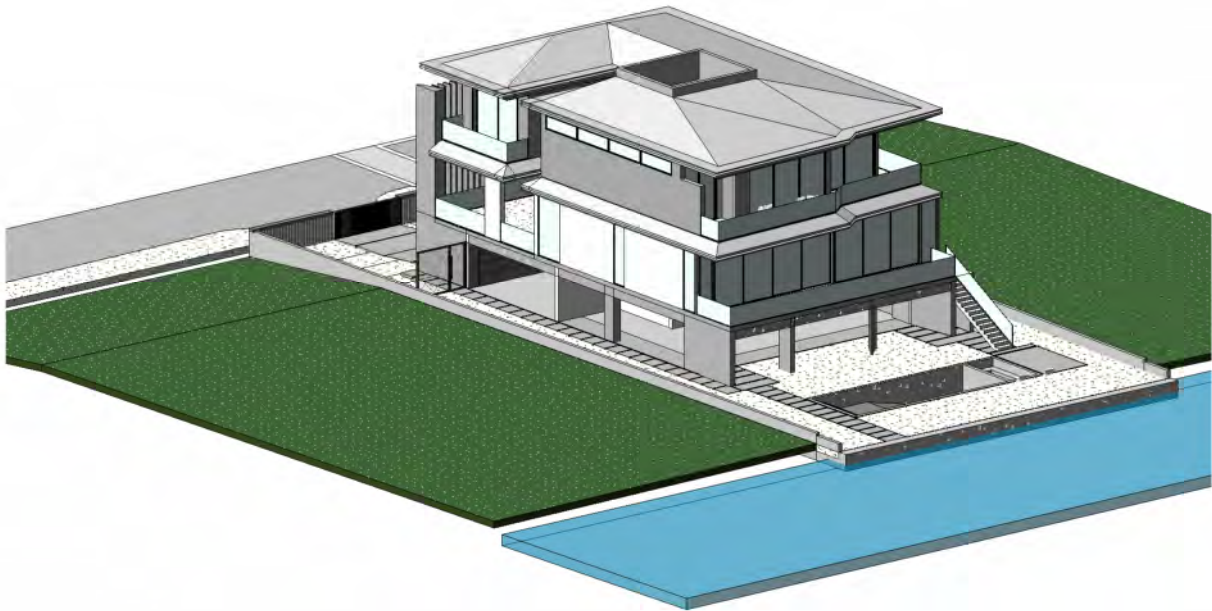




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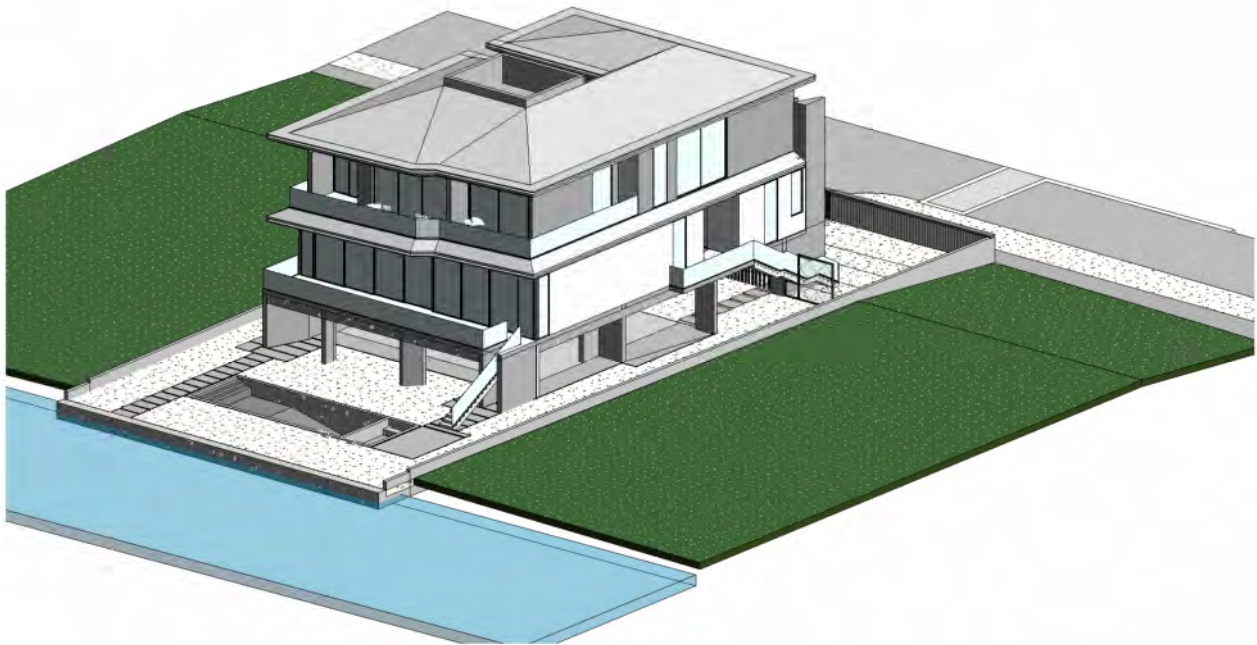
SCALE



03

NE AXONOMETRIC

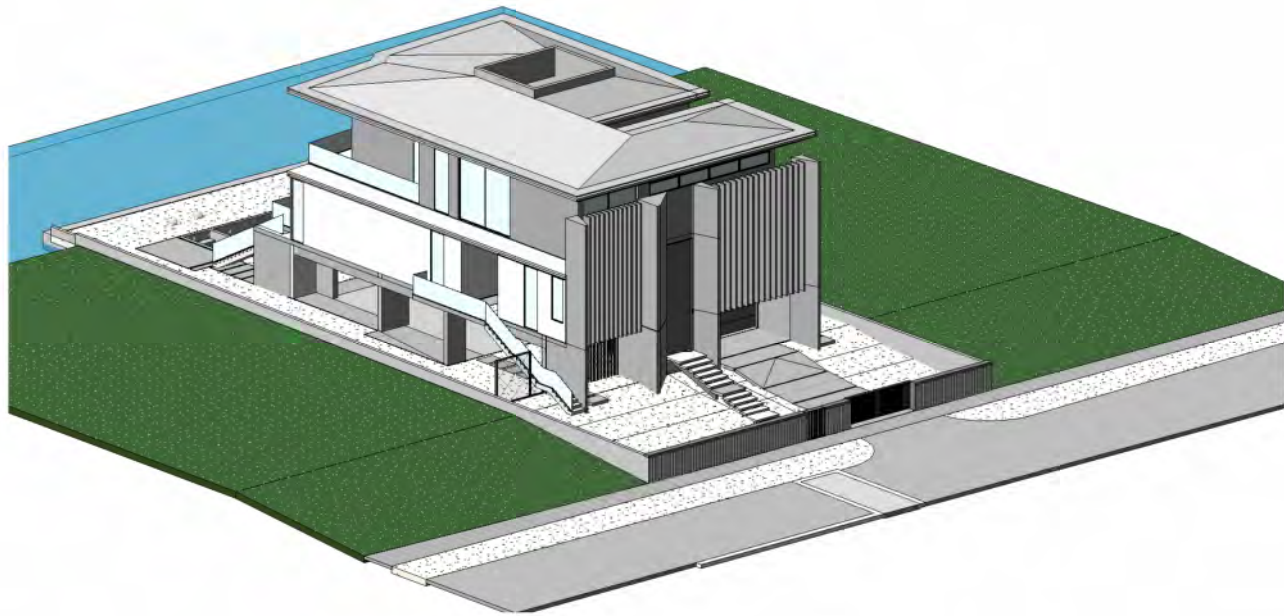
SCALE



02

NW AXONOMETRIC

SCALE



01

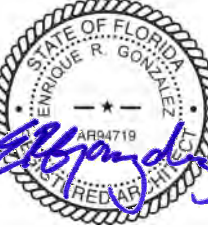
SW AXONOMETRIC

SCALE

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**A11**





RENDERING AT MAIN FACADE

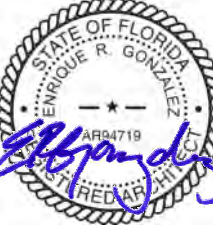


RENDERING AT HOUSE ENTRY & GARAGE

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**A12**  
REVISED SHEET





RENDERING AT ENTRANCE GATE



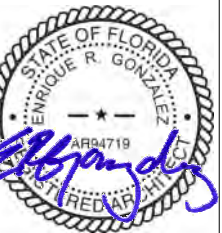
RENDERING AT DRIVEWAY

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RENDERING AT COURTYARD

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G/A

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1

A14

NEW SHEET





RENDERING AT SOUTHEAST CORNER



RENDERING AT SOUTHWEST CORNER

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1  
**A15**  
REVISED SHEET





RENDERING AT REAR YARD OF HOUSE FROM BISCAYNE BAY



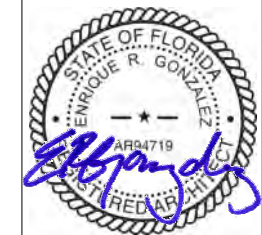
RENDERING AT POOL

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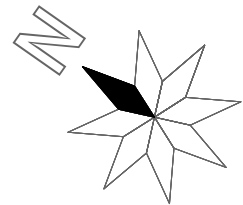
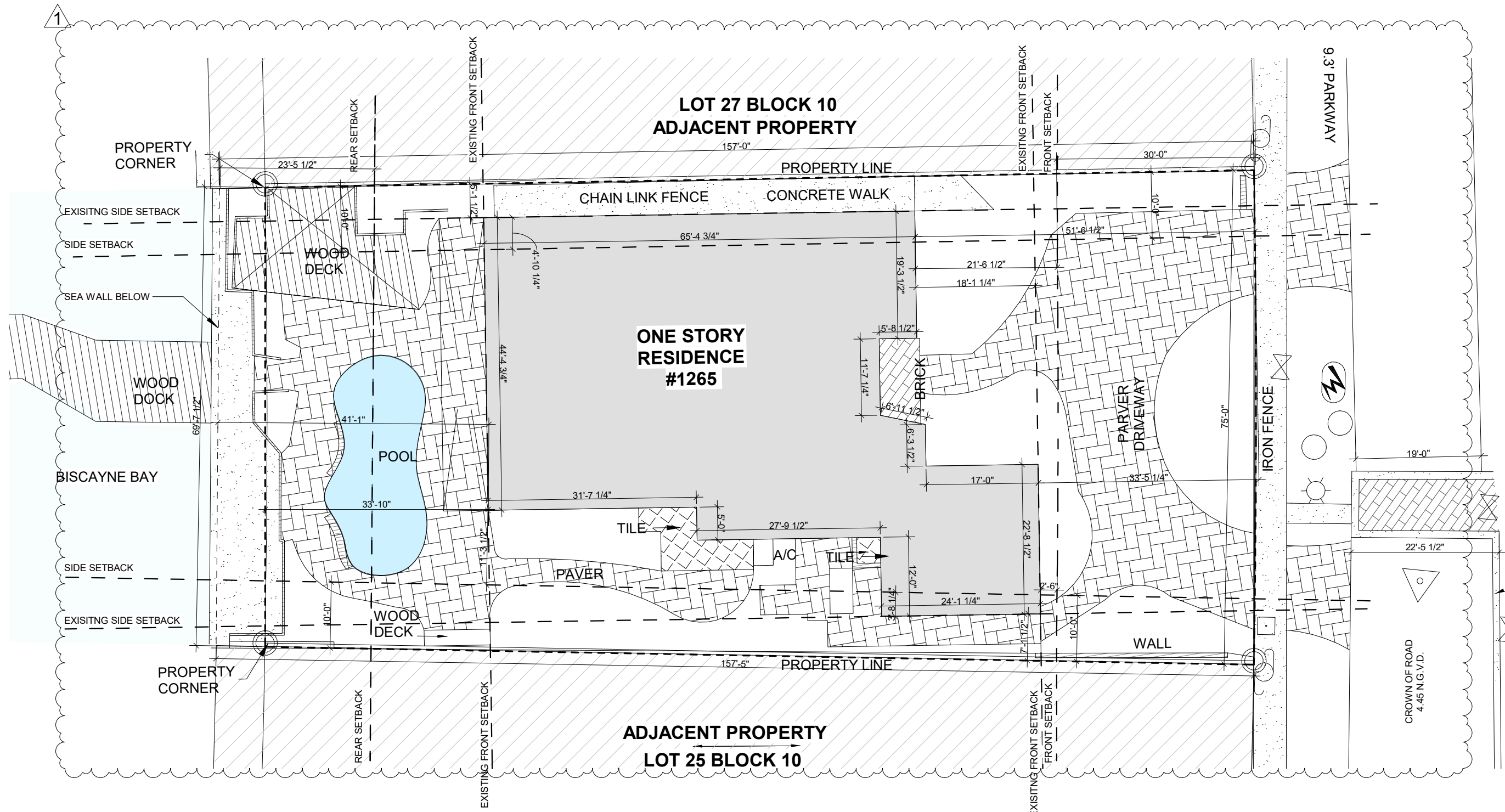
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**A16**





01

EXISTING SITE PLAN GROUND LEVEL

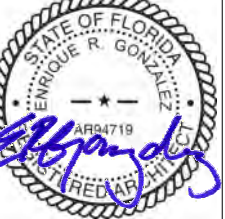
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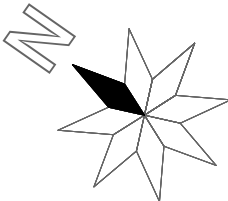
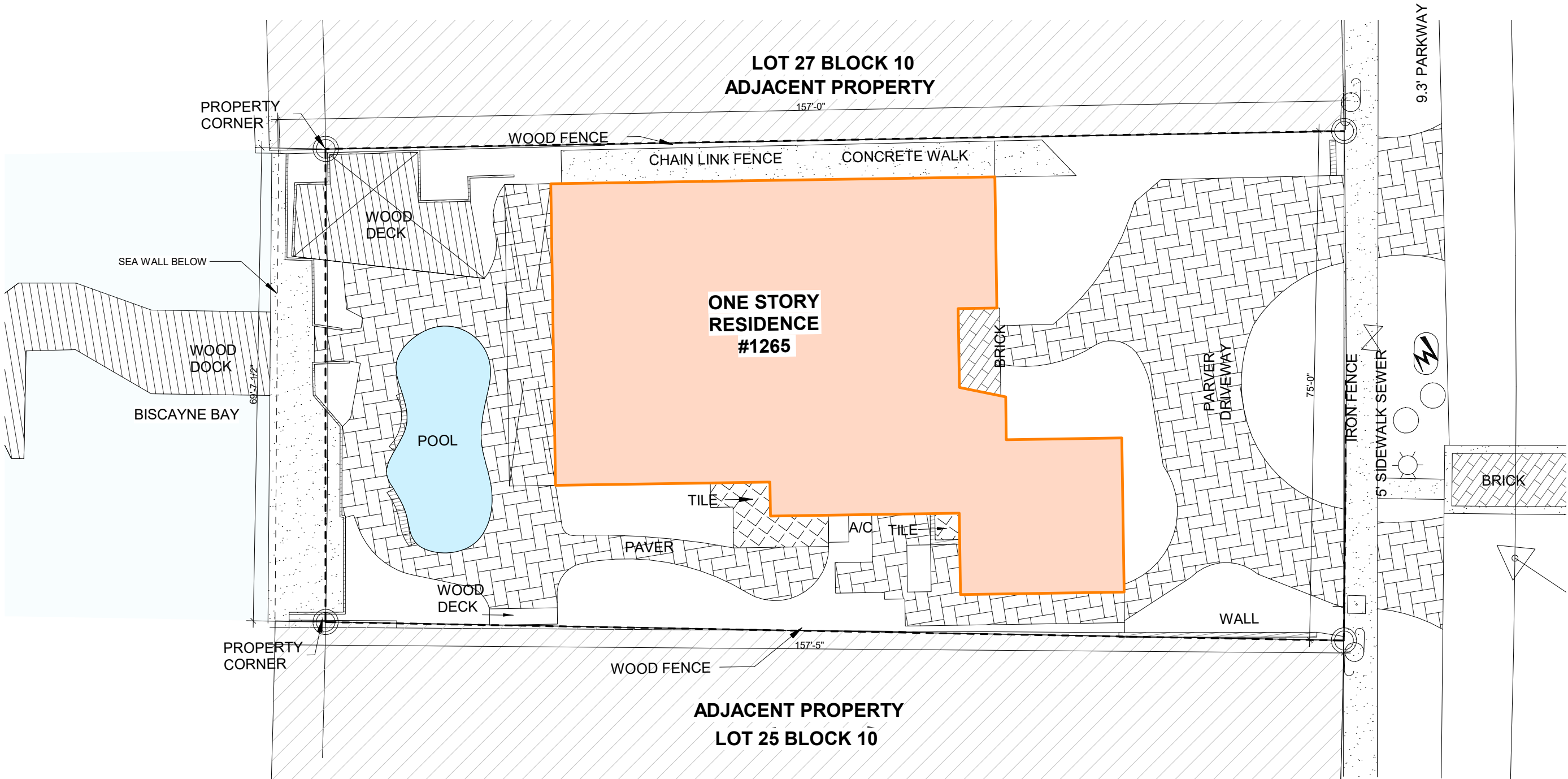
08-04-24 FINAL SUBMITTAL

A17



PROPOSED LOT COVERAGE CALCULATIONS

EXISTING LOT COVERAGE: 3,492.99 SF (30,7%)  
MAIN HOUSE FIRST LEVEL : 3,492.99 SF



01

EXISTING LOT COVERAGE

SCALE 1/16" = 1'-0"

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**A18**

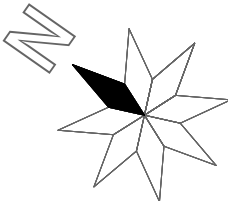
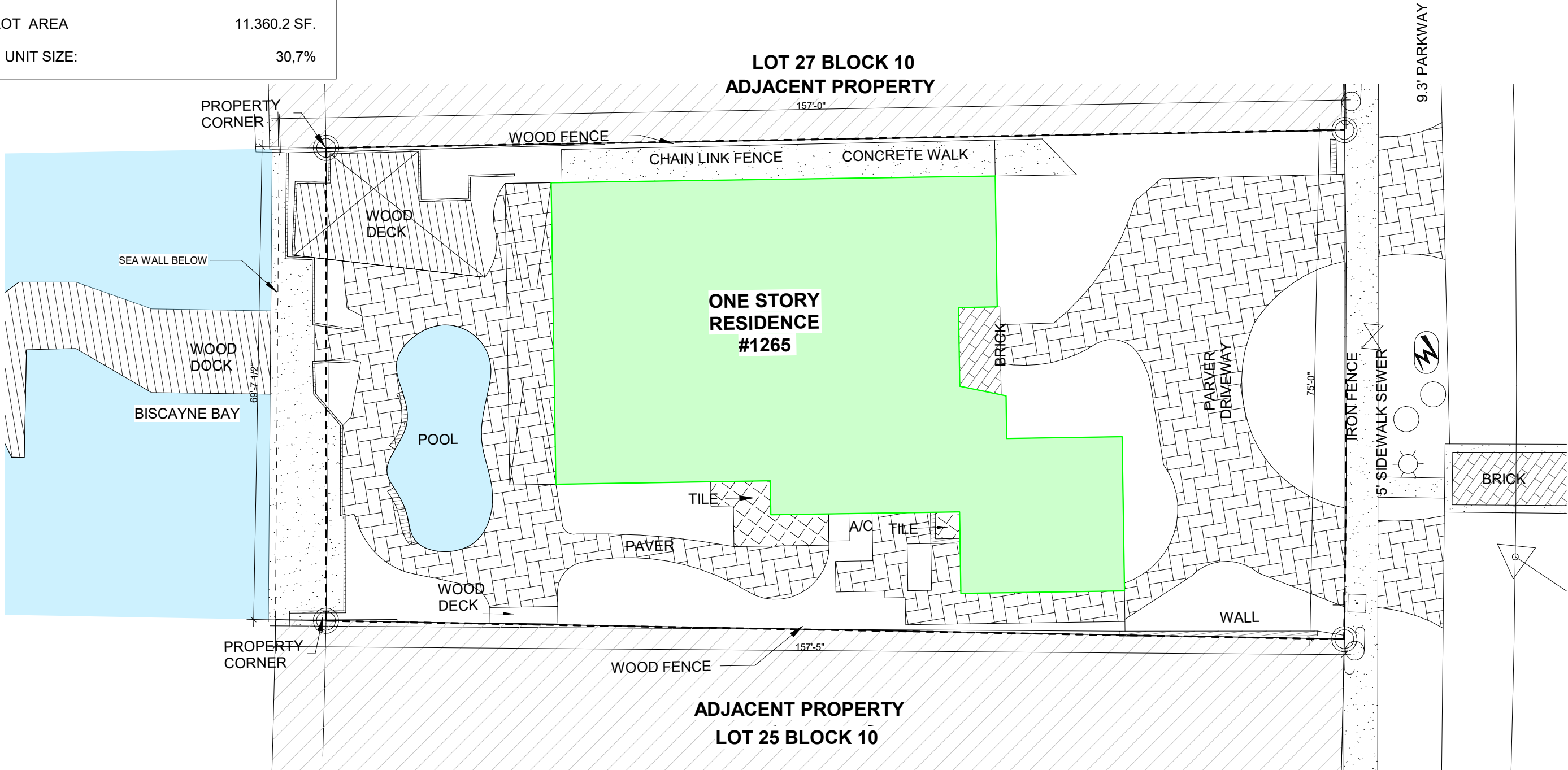


UNIT SIZE  
EXISITNG

MAXIMUM ALLOWED:  
50% OF LOT AREA  
11,360.2 S.F. X 50,0% = 5,680 SF

PROPOSED UNIT SIZE CALCULATION

|              |              |
|--------------|--------------|
| GROUND FLOOR | 3,492.99 SF  |
| TOTAL        | 3,492.99 SF  |
| LOT AREA     | 11.360.2 SF. |
| UNIT SIZE:   | 30,7%        |



01

EXISTING UNIT SIZE GROUND FLOOR

SCALE 1/16" = 1'-0"

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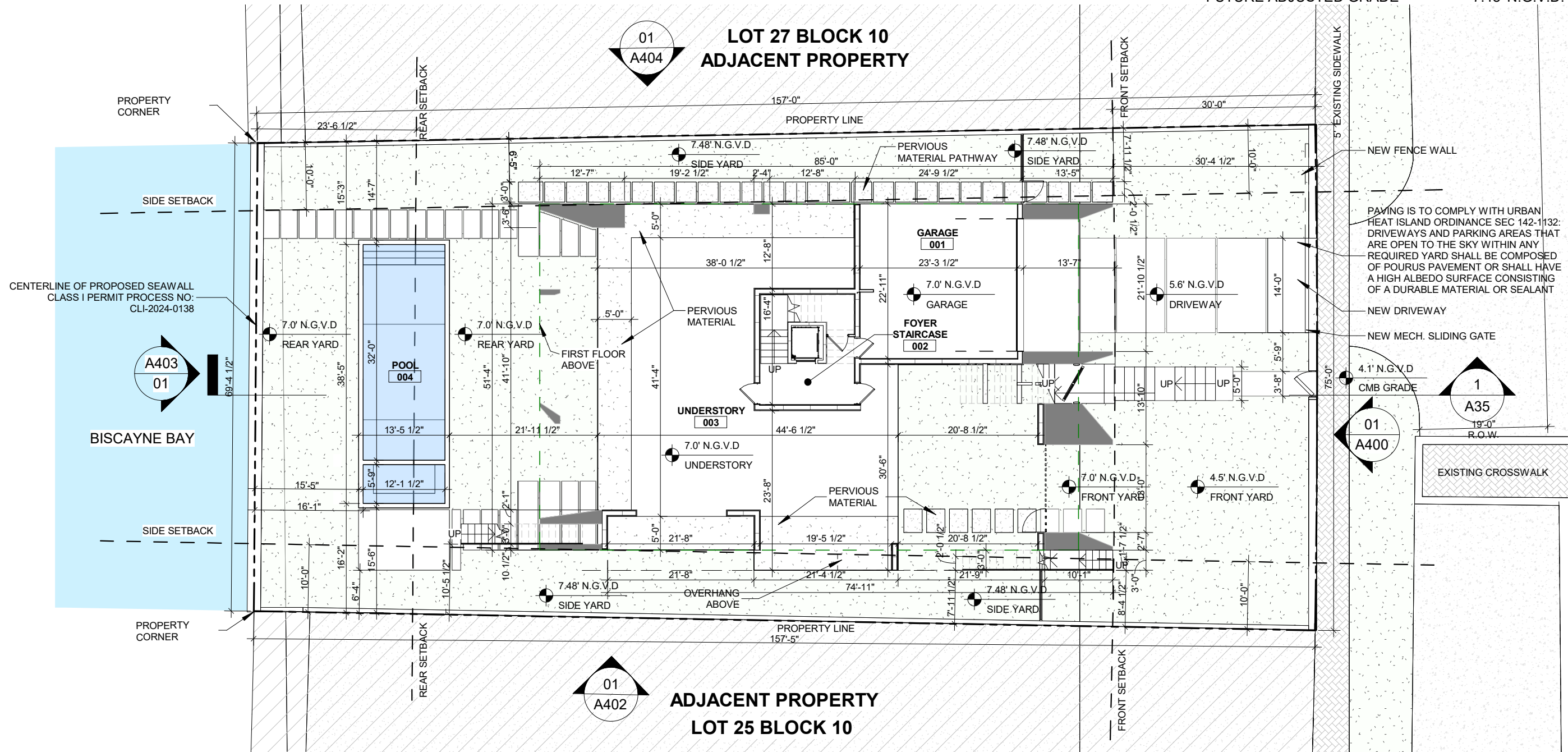
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**A19**





|                             |                                   |
|-----------------------------|-----------------------------------|
| NOTE:                       |                                   |
| FUTURE CROWN OF THE ROAD    | 5.96' N.G.V.D.<br>(4.4' N.A.V.D.) |
| MIN. DESIGN FLOOD ELEVATION | 9.0' N.G.V.D.                     |
| FUTURE ADJUSTED GRADE       | 7.48' N.G.V.D.                    |

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**GONZALEZ ARCHITECTURE**

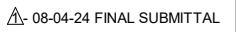
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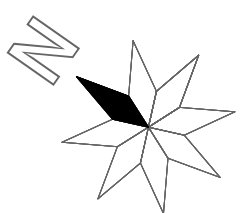
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1

**A20**  
NEW SHEET



**01**

**PROPOSED SITE PLAN**  
SCALE 1/16" = 1'-0"



### PROPOSED LOT COVERAGE CALCULATIONS

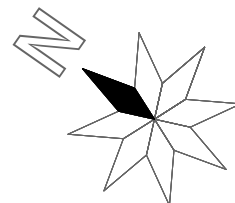
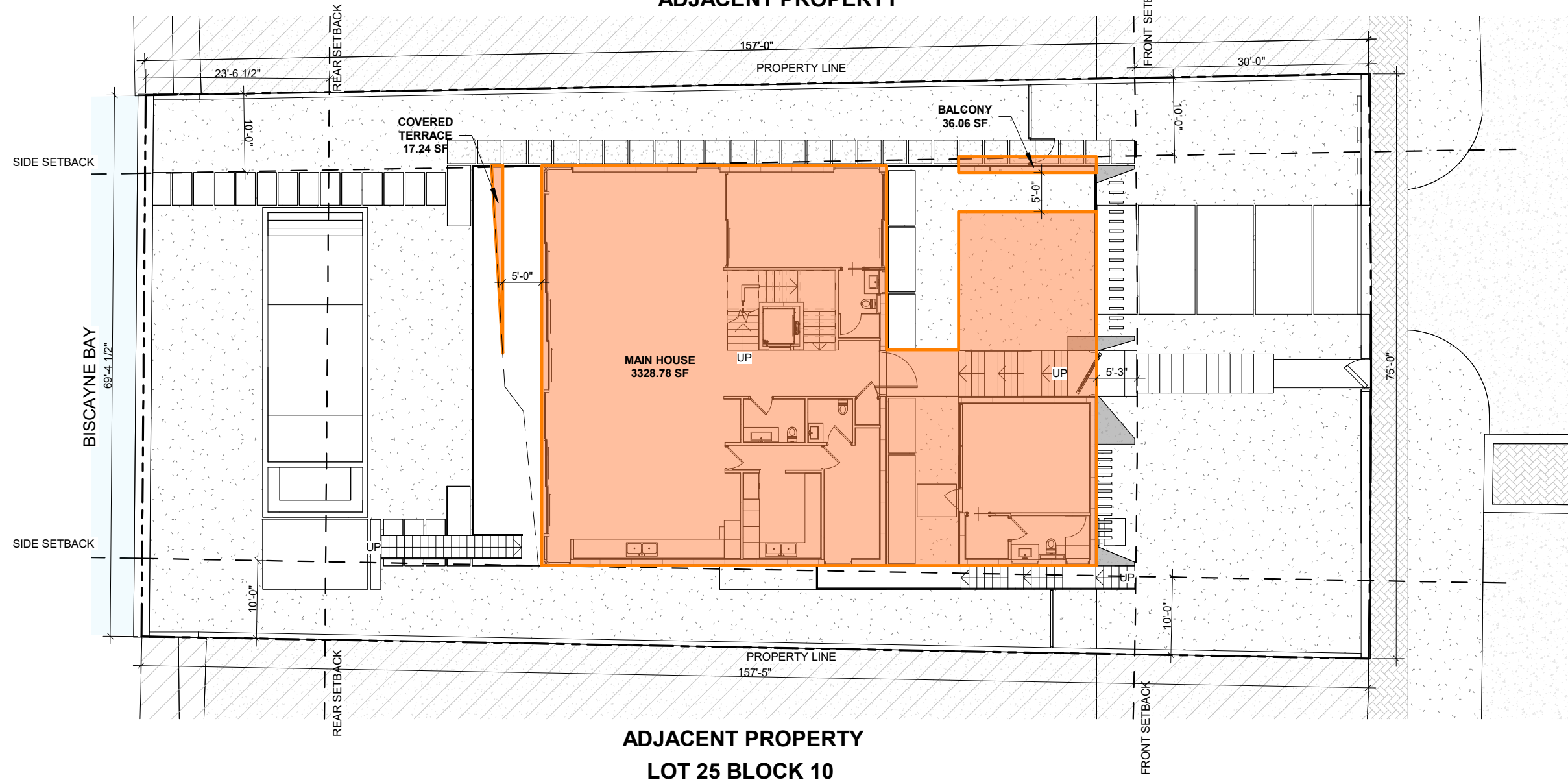
**LOT COVERAGE MAX:**  
**PROPOSED LOT COVERAGE:**

**3,408.0 SF (30.0%)**  
**3,381.9 SF (29.7%)**

PRINCIPAL AND ACCESSORY BUILDINGS  
FRONT TERRACE EXCEEDING 5'  
REAR TERRACE EXCEEDING 5'

3,328.7 SF  
36.05 SF  
17.24 SF

**LOT 27 BLOCK 10  
ADJACENT PROPERTY**



01

## PROPOSED LOT COVERAGE

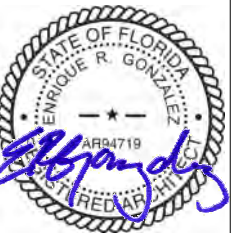
SCALE 1/16" = 1'-0"

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[create@gonzalezarchitecture.com](mailto:create@gonzalezarchitecture.com)



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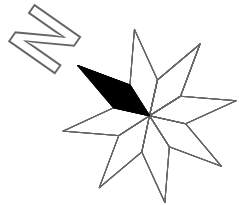
**NEW RESIDENCE**  
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# A21

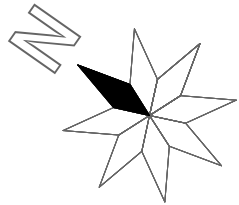
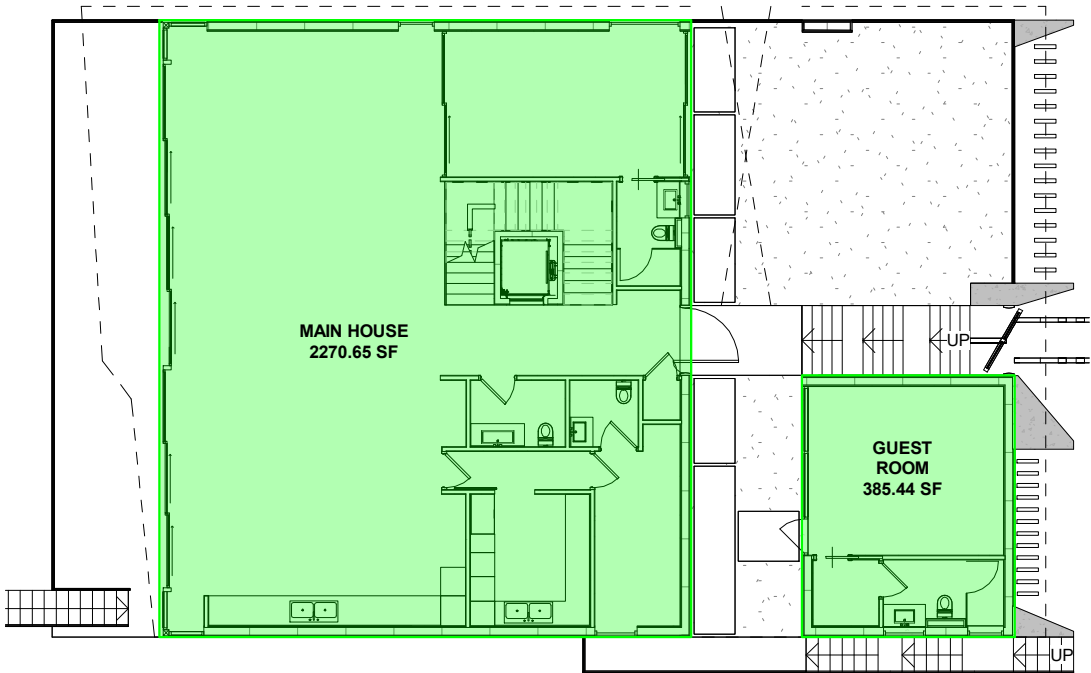




03

UNIT SIZE SECOND LEVEL

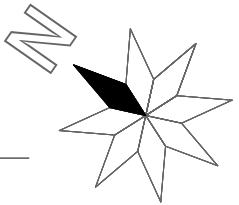
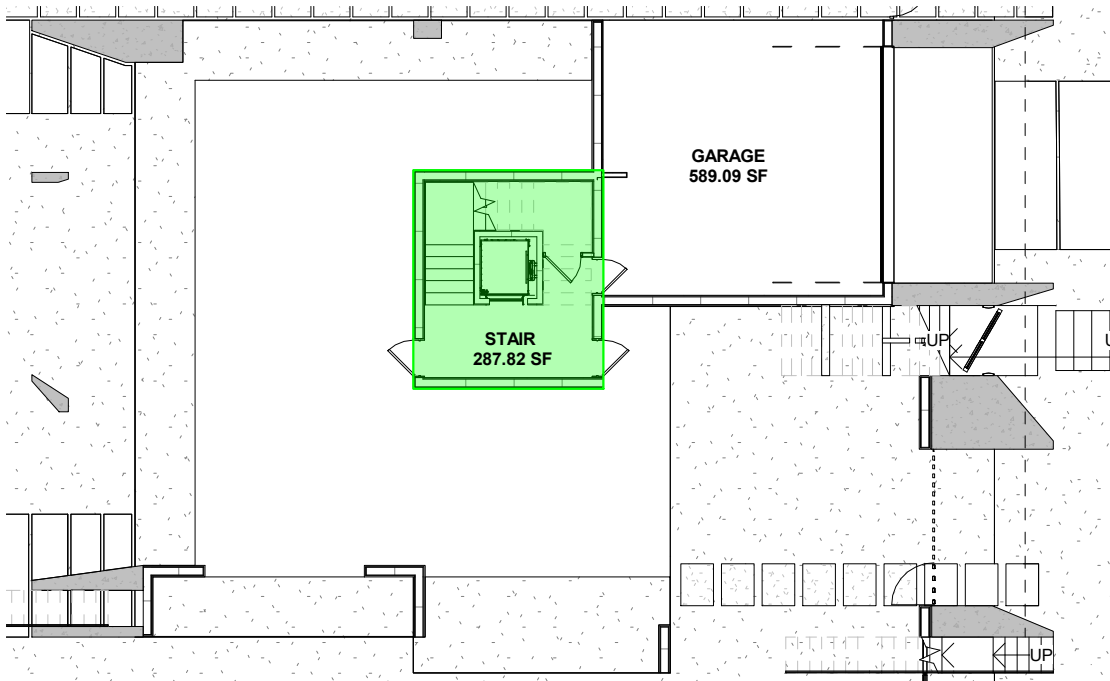
SCALE 1/16" = 1'-0"



02

UNIT SIZE FIRST FLOOR

SCALE 1/16" = 1'-0"



01

UNIT SIZE UNDERSTORY

SCALE 1/16" = 1'-0"

UNIT SIZE PROPOSED

MAXIMUM ALLOWED:  
50% OF LOT AREA  
11,360.2 S.F. X 50.0% = 5,680.1 SF

PROPOSED UNIT SIZE CALCULATION

|                             |             |
|-----------------------------|-------------|
| GARAGE & STORAGE (EXCLUDED) | 589.09 SF   |
| UNDERSTORY FLOOR            | 287.82 SF   |
| GROUND FLOOR                | 2,656.09 SF |
| SECOND FLOOR                | 2,718.13 SF |

TOTAL PROPOSED 5,662.04 SF

LOT AREA 11,360 SF

UNIT SIZE: 49.8 %

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**A22**



## REAR YARD

## PROPOSED PERVIOUS OPEN SPACE

|                   |            |
|-------------------|------------|
| REAR YARD AREA:   | 1,644.1 SF |
| EXCLUDE 50% POOL: | 146.9 SF   |
| PARVERS AT POOL:  | 294.1 SF   |

PERVIOUS OPEN SPACE: 1203.1 SF

% OPEN: 1203.1 SF / 1,644.1 SF = 73.1%

REAR YARD FOR RS-3:  
70% MINIMUM SODDED OR  
LANDSCAPED PERVIOUS OPEN SPACE

## FRONT YARD

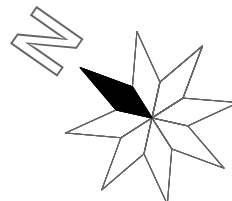
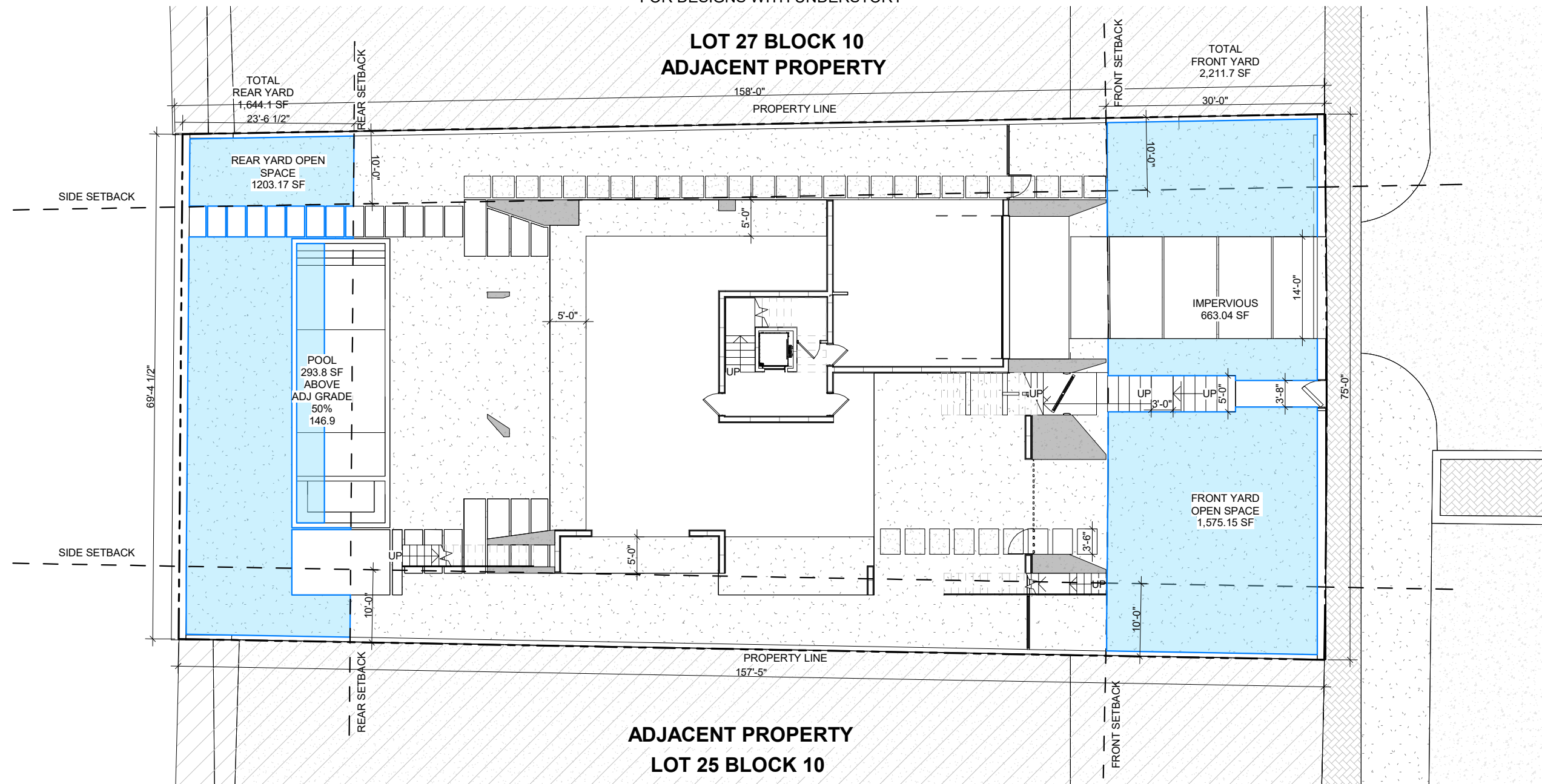
## PROPOSED PERVIOUS OPEN SPACE

|                                   |             |
|-----------------------------------|-------------|
| FRONT YARD AREA:                  | 2,211.70 SF |
| EXCLUDE DRIVEWAY AND FENCE WALLS: | 529.52 SF   |
| PAVERS IN FRONT:                  | 133.52 SF   |

PERVIOUS OPEN SPACE: 1,575.15 SF

% OPEN: 1,575.15 SF / 2,211.70 SF = 71.20%

**FRONT YARD FOR RS-3:  
70% MINIMUM SODDED OR  
LANDSCAPED PERVIOUS OPEN SPACE  
FOR DESIGNS WITH UNDERSTORY**



01

## PROPOSED OPEN SPACE DIAGRAM

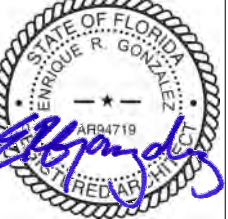
SCALE 1/16" = 1'-0"

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**A23**  
REVISED SHEET



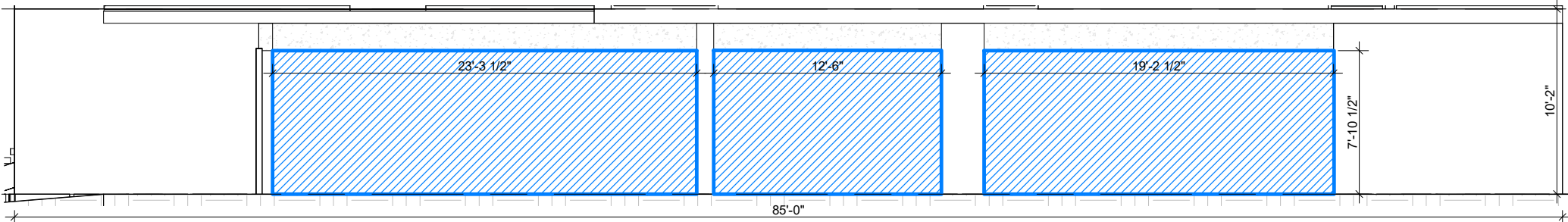
UNDERSTORY PROPOSED ELEVATION OPENESS

ELEVATION EAST: 433.37 SF / 864.07 SF = 50% OPEN

ELEVATION WEST: 464.77 SF / 864.07 SF = 53% OPEN

ELEVATION NORTH: 298.43 SF / 521.82 SF = 67% OPEN

ELEVATION SOUTH: 279.37 SF / 521.82 SF = 53% OPEN



4'-2" (17' - 2" N.G.V.D.)

GROUND FLOOR

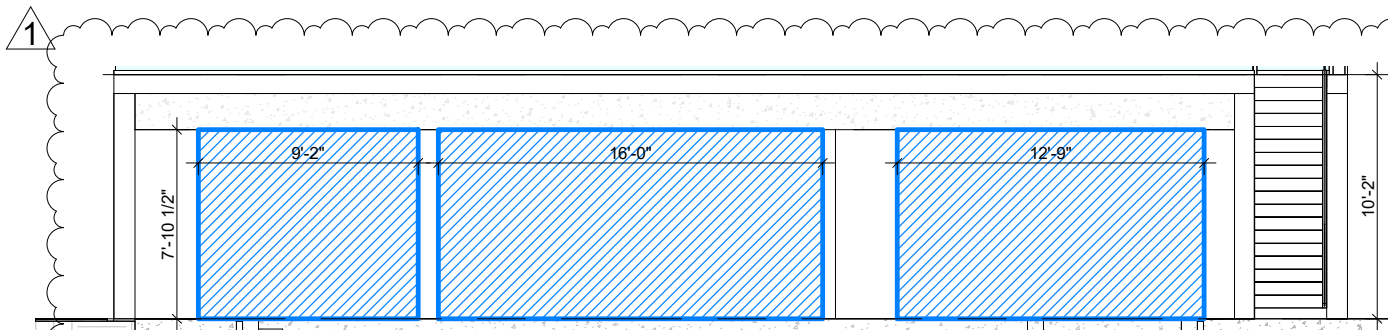
-6'-0" (7.0' N.G.V.D.)

UNDERSTORY LEVEL

04

ELEVATION EAST

SCALE 1/8" = 1'-0"



4'-2" (17' - 2" N.G.V.D.)

GROUND FLOOR

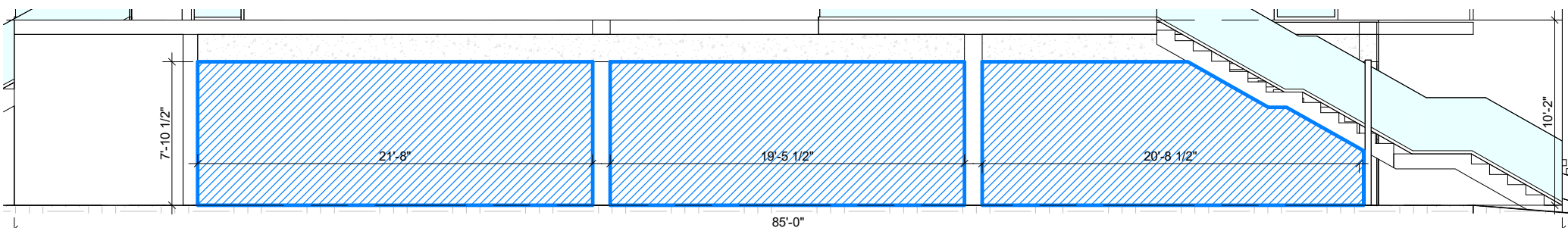
-6'-0" (7.0' N.G.V.D.)

UNDERSTORY LEVEL

03

ELEVATION NORTH

SCALE 1/8" = 1'-0"



4'-2" (17' - 2" N.G.V.D.)

GROUND FLOOR

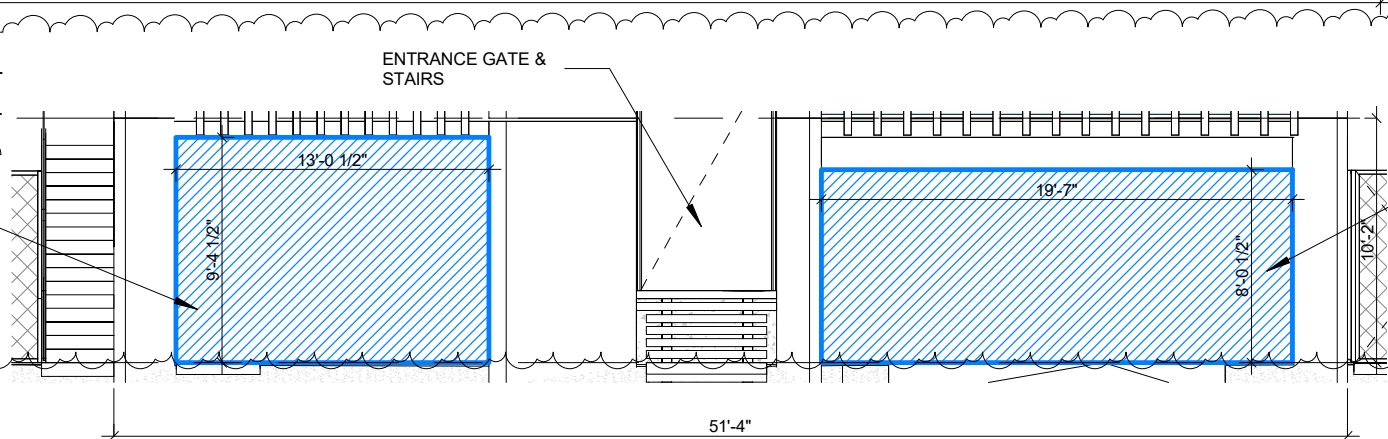
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UNDERSTORY LEVEL

02

ELEVATION WEST

SCALE 1/8" = 1'-0"



4'-2" (17' - 2" N.G.V.D.)

GROUND FLOOR

-6'-0" (7.0' N.G.V.D.)

UNDERSTORY LEVEL

01

ELEVATION SOUTH

SCALE 1/8" = 1'-0"

50% OPEN SCREENED FENCE  
IS 10' - 2" FROM THE 30'  
SETBACK

ENTRANCE GATE &  
STAIRS

GARAGE DOOR IS 13' - 7" FROM THE 30'  
FRONT YARD SETBACK

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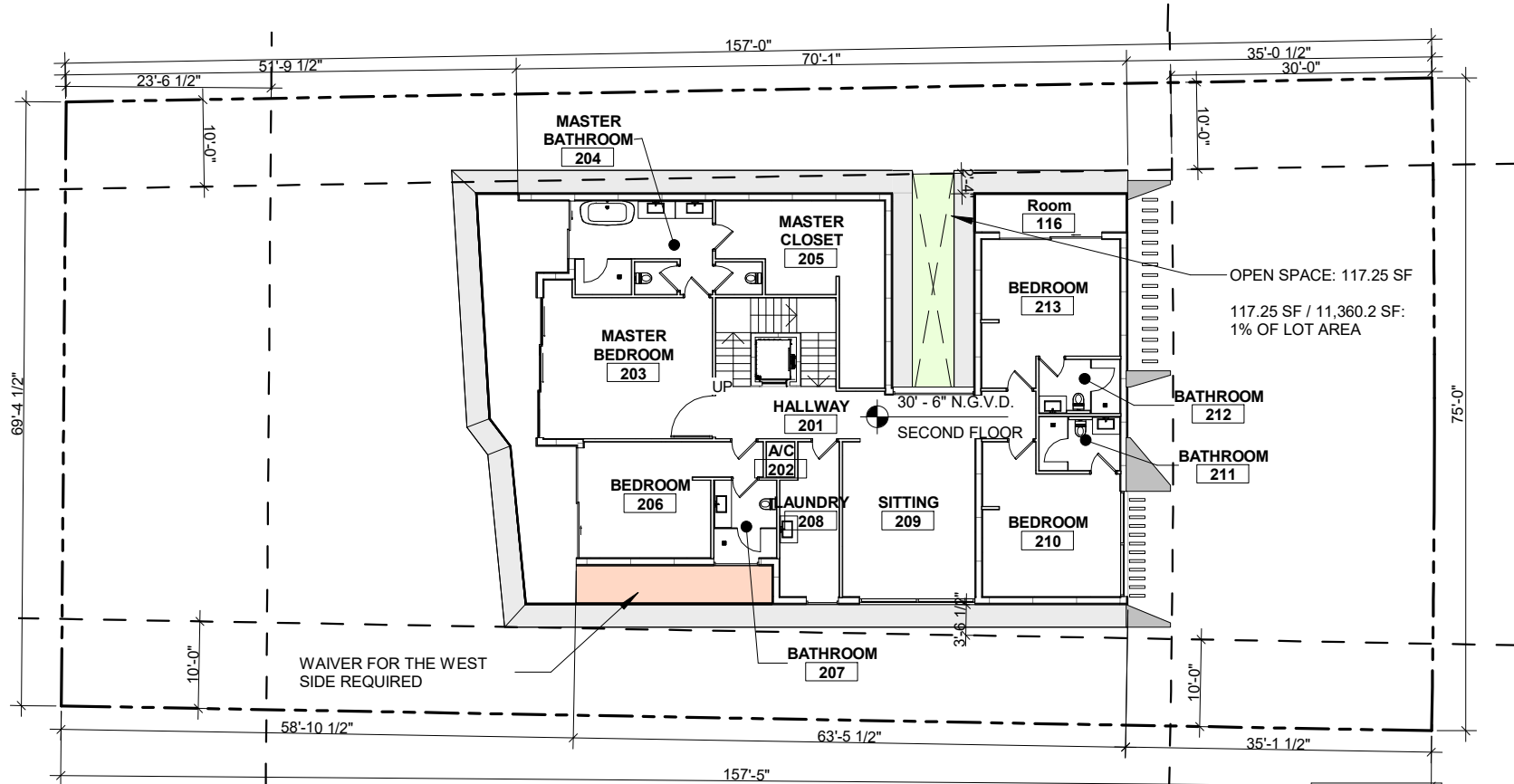
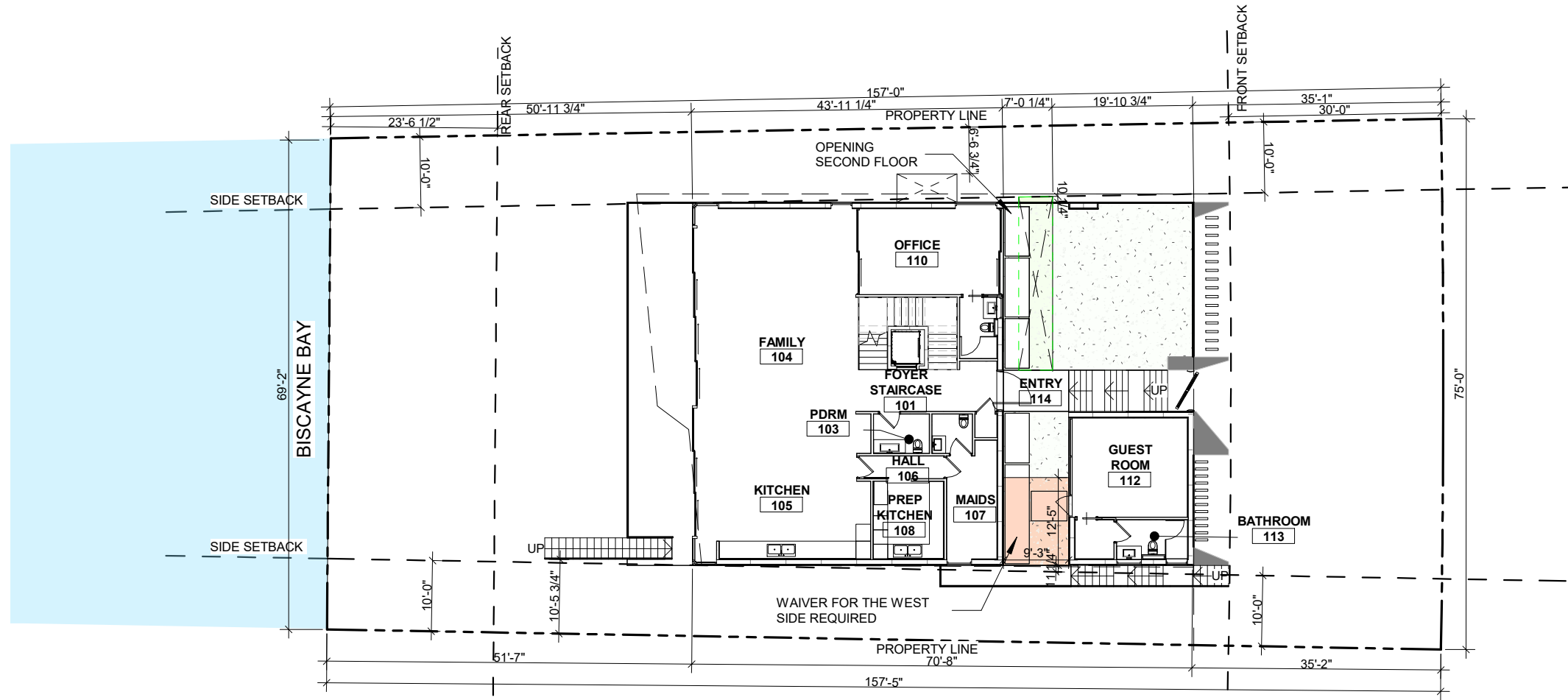
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**A24**





## SIDE YARD OPENESS

MINIMUM FOR OPEN SPACE SHALL BE 1% OF LOT AREA.

11,360.2 SF X 1%: 113.6 SF.

OPENING SECOND FLOOR AREA: 117.25 SF  
SODDED AREA: 79.82 SF

79.82 SF / 117.25 SF: 68% SODDED AREA

EAST ELEVATION COMPLIES WITH SIDE YARD OPENESS

WAIVER FOR WEST SIDE THAT IS NON-COMPLIANT WITH NO OPEN AREAS TO THE SKY

01

## SIDE YARD OPENESS

SCALE 1" = 20'-0"

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**GONZALEZARCHITECTURE**

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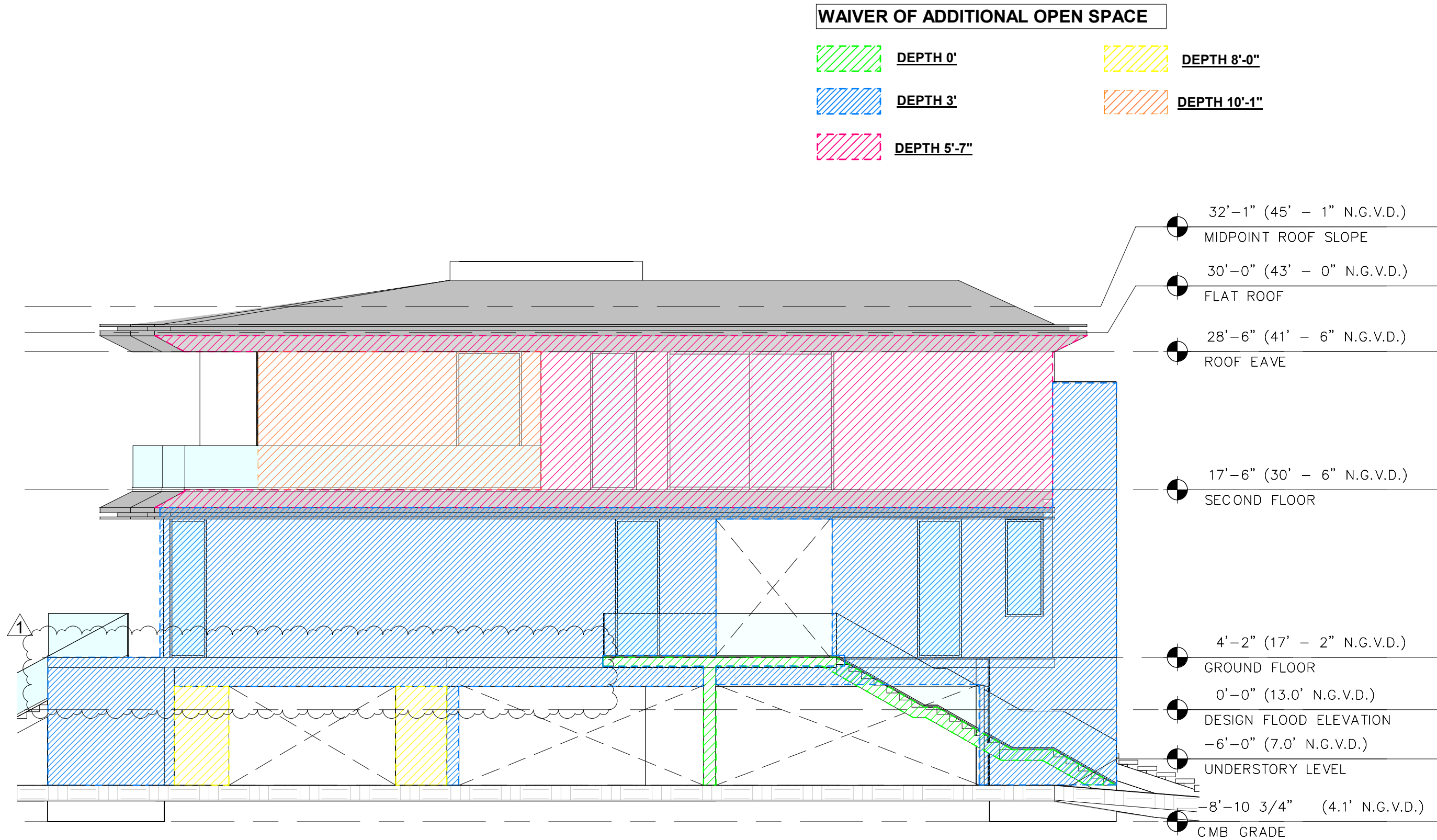
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**A25**  
REVISED SHEET

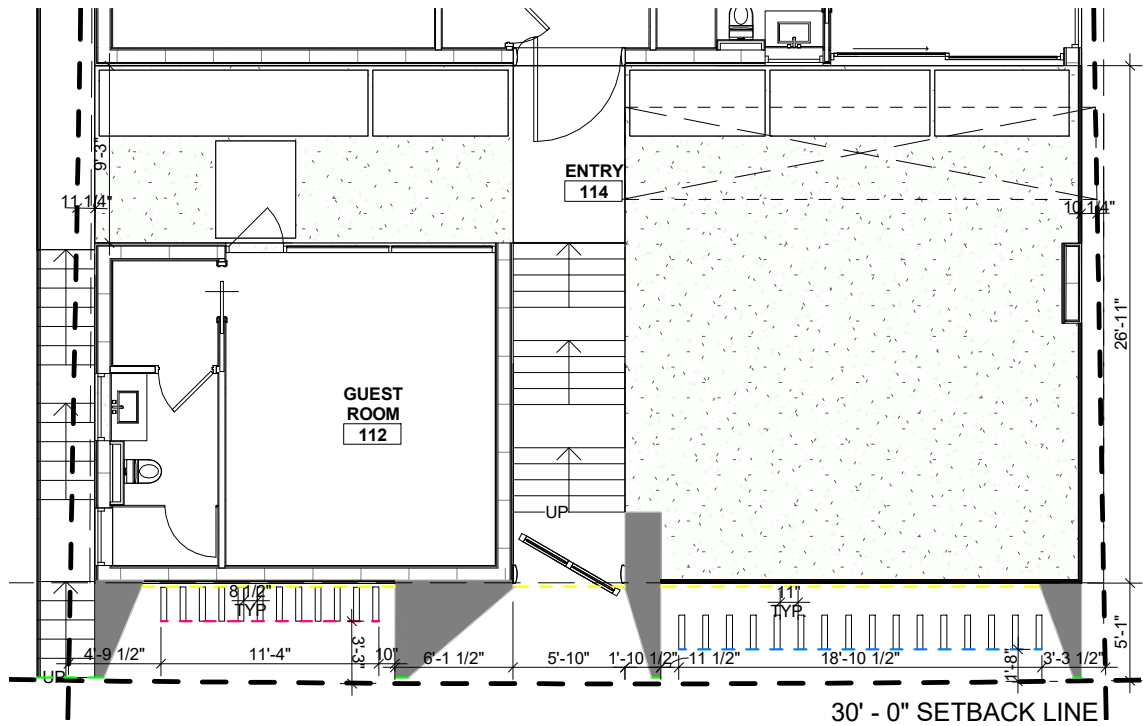




**01** WEST FACADE ELEVATION DEPTHS

SCALE 1/8" = 1'-0"





02

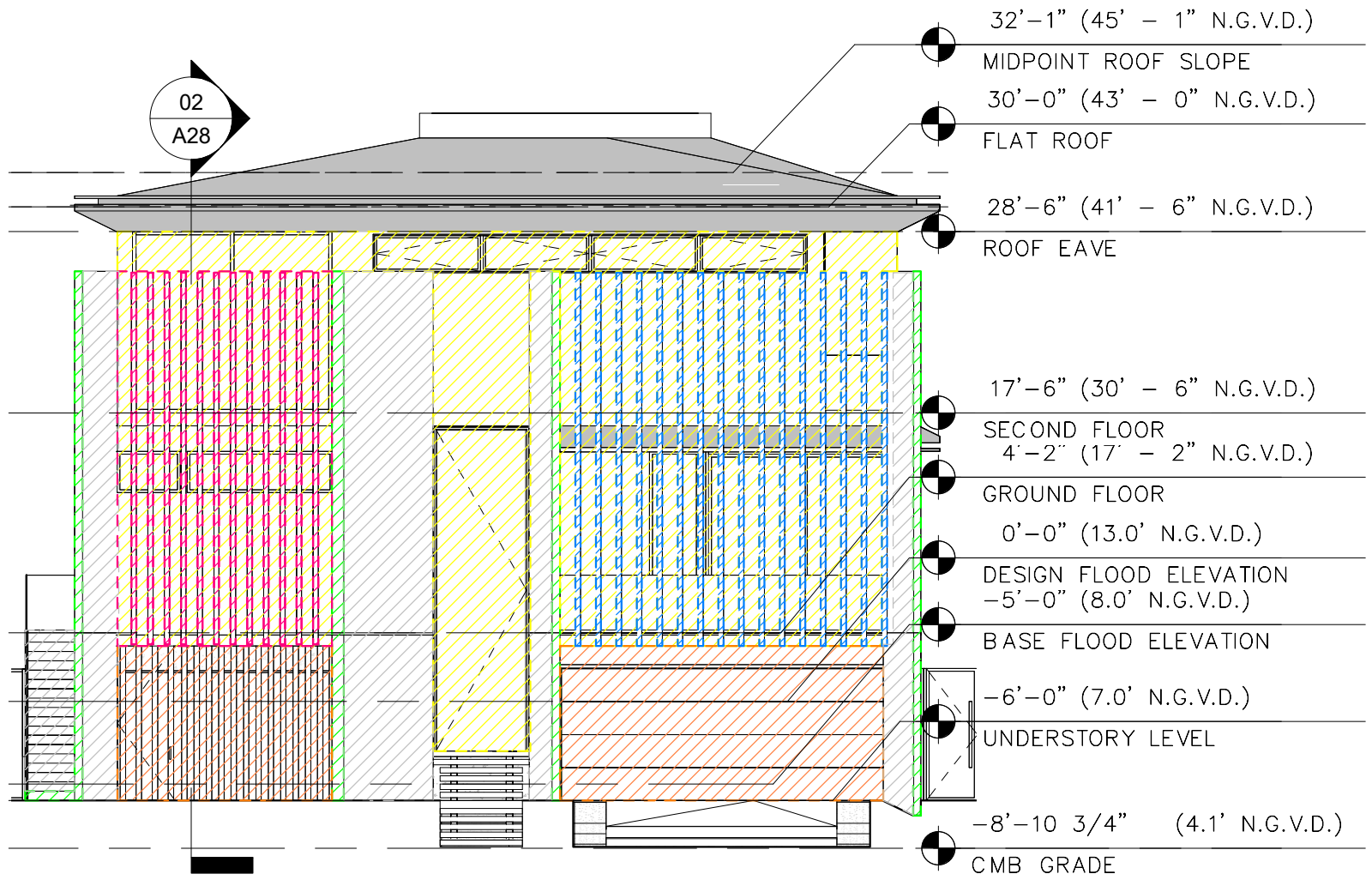
LOUVERS PLAN

SCALE 1" = 10'-0"

DEPTH LEGEND FROM FRONT YARD SETBACK LINE AT 30'-0"

- ANGLED SURFACE
- DEPTH 0'
- DEPTH 1'-8"
- DEPTH 3'-0"
- DEPTH 5'-0"
- DEPTH MORE THAN 9'-6"

NOTE:  
FOR LOT COVERAGE OVER 25%; PROVIDE 5' SETBACK OF AT LEAST 35 PERCENT (35%) OF THE SECOND FLOOR ALONG THE FRONT ELEVATION. TECHNICALLY, THE 2ND FLOOR 5' SETBACK IS 100% OF THE FACADE YET THE LOUVERS ARE POSITIONED TO COMPLY WITH THE INTENT OF THE CODE.



01

SOUTH ELEVATION DEPTHS

SCALE 1" = 10'-0"

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SUITE 406  
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TEL: 305.440.4314  
GONZALEZARCHITECTURE.COM  
create@gonzalezarchitecture.com



ENRIQUE RENE GONZALEZ,  
REGISTERED ARCHITECT



STATE OF FLORIDA  
AR94719

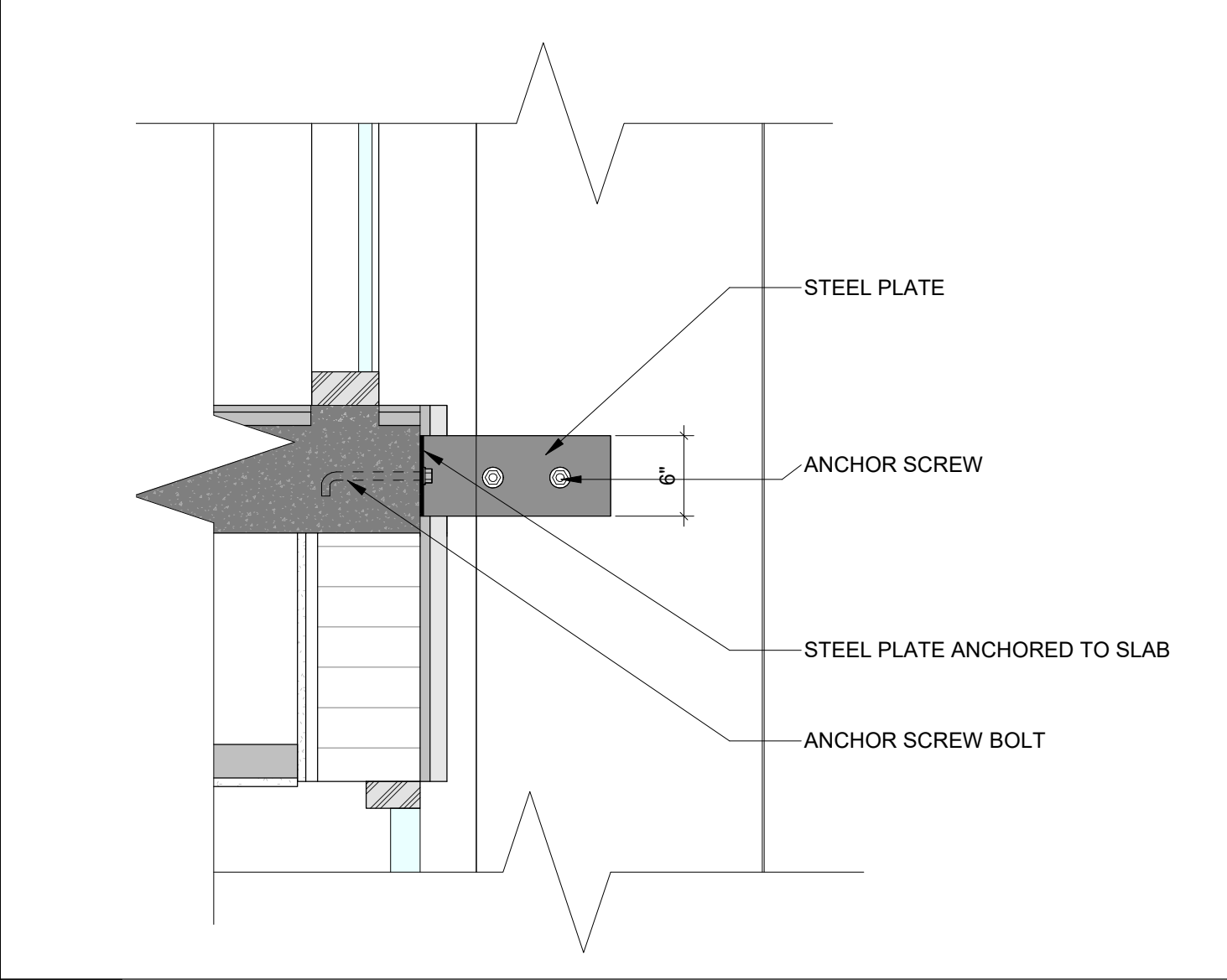
**NEW RESIDENCE**  
SINGLE FAMILY  
1265 NORTH BISCAYNE POINT ROAD  
MIAMI BEACH, FLORIDA 33141

07-14-24 FIRST SUBMITTAL

08-04-24 FINAL SUBMITTAL

1  
**A27**  
REVISED SHEET

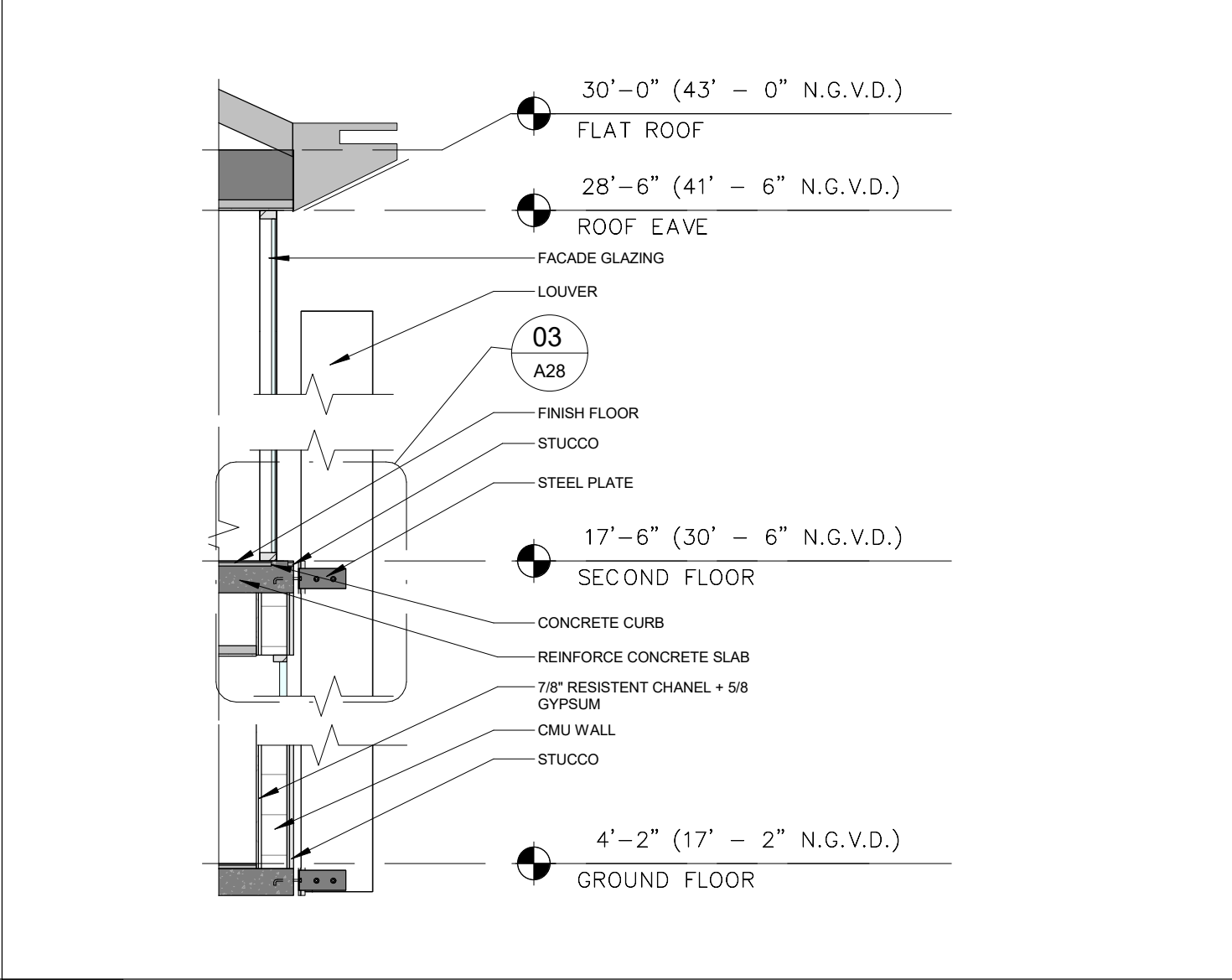




03

DETAIL STEEL PLATE

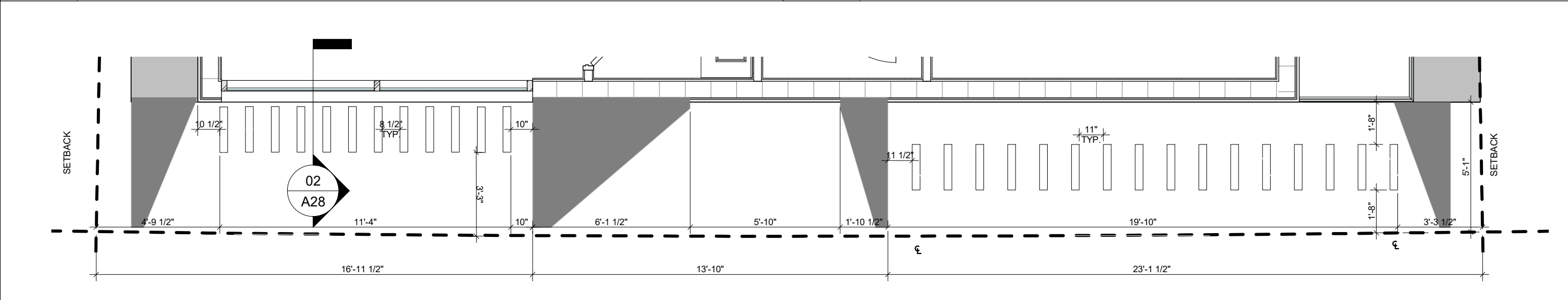
SCALE 1" = 1'-0"



02

LOUVER DETAIL

SCALE 1/4" = 1'-0"



01

LOUVERS PLAN

SCALE 1/4" = 1'-0"

1035 N MIAMI AVENUE  
SUITE 406  
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REGISTERED ARCHITECT

STATE OF FLORIDA  
AR94719

**NEW RESIDENCE**  
SINGLE FAMILY  
1265 NORTH BISCAYNE POINT ROAD  
MIAMI BEACH, FLORIDA 33141

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1

**A28**  
NEW SHEET

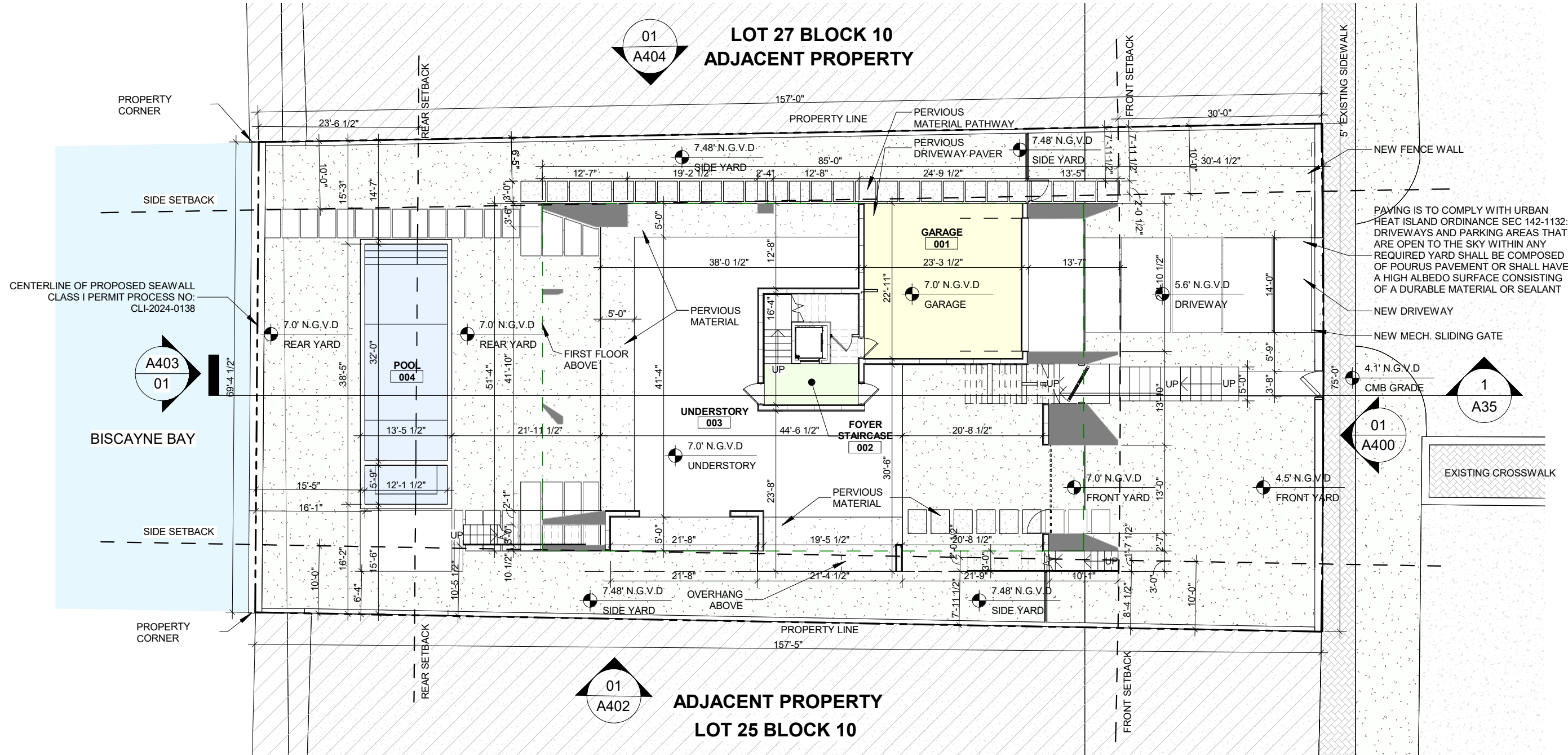


NOTE:

ALL ALLOWABLE EXTERIOR WALKWAYS AND DRIVEWAYS WITHIN THE FRONT AND STREET SIDE YARDS SHALL CONSIST OF PAVERS SET IN SAND OR OTHER SEMI-PERVIOUS MATERIAL. THE USE OF CONCRETE, ASPHALT OR SIMILAR MATERIAL WITHIN THE REQUIRED FRONT OR STREET SIDE YARDS SHALL BE PROHIBITED.

NOTE:

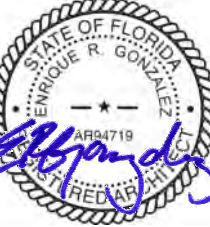
|                             |                                   |
|-----------------------------|-----------------------------------|
| FUTURE CROWN OF THE ROAD    | 5.96' N.G.V.D.<br>(4.4' N.A.V.D.) |
| MIN. DESIGN FLOOD ELEVATION | 9.0' N.G.V.D.                     |
| FUTURE ADJUSTED GRADE       | 7.48' N.G.V.D.                    |



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AR94719

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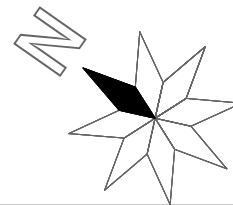
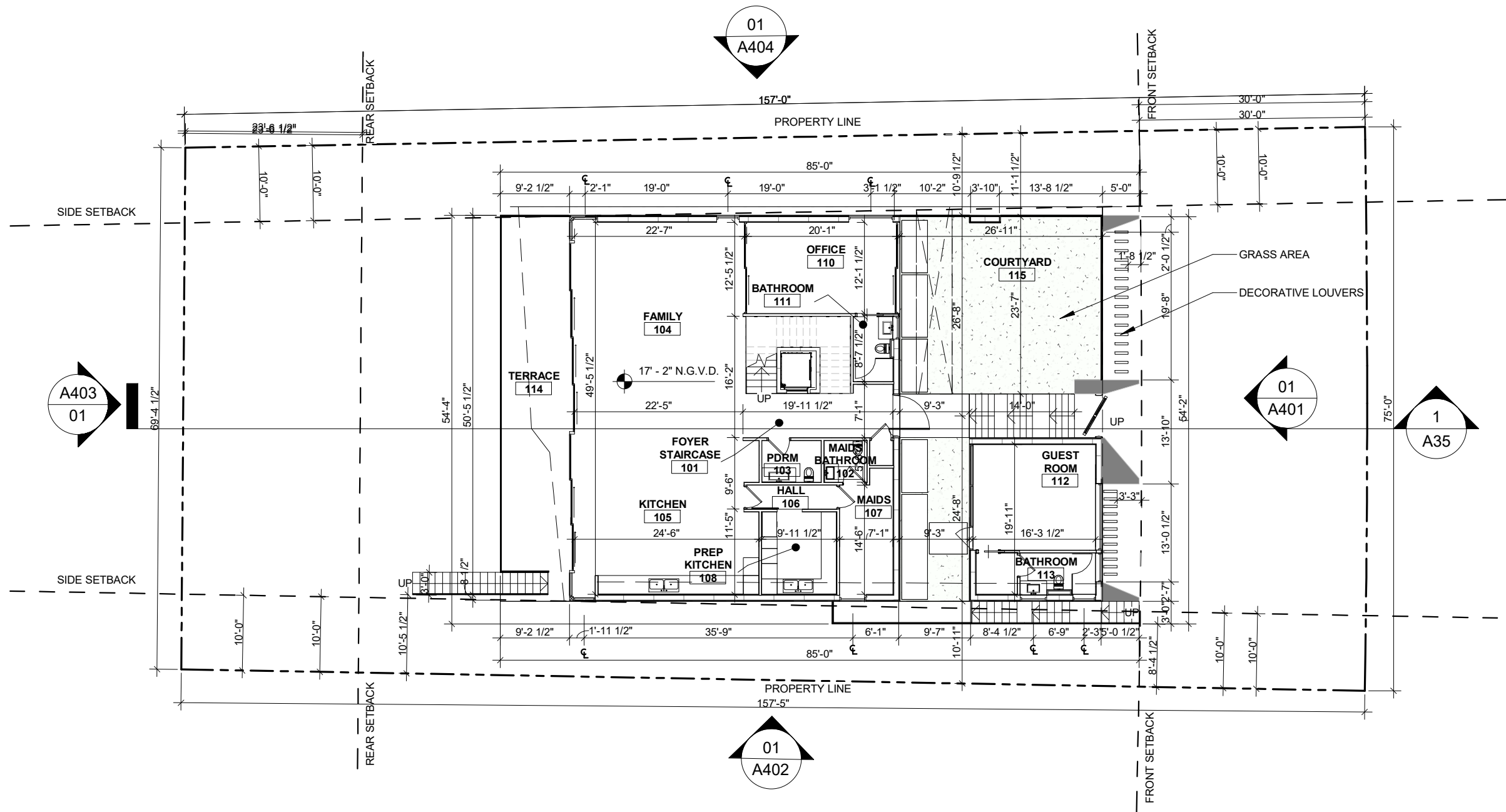
**A29**  
REVISED SHEET

**01**

PROPOSED UNDERSTORY LEVEL PLAN

SCALE 1/16" = 1'-0"





01

## PROPOSED FIRST FLOOR LEVEL PLAN

SCALE 1/16" = 1'-0"

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AR94719

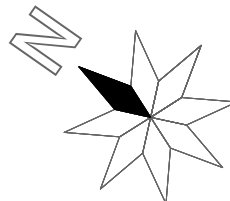
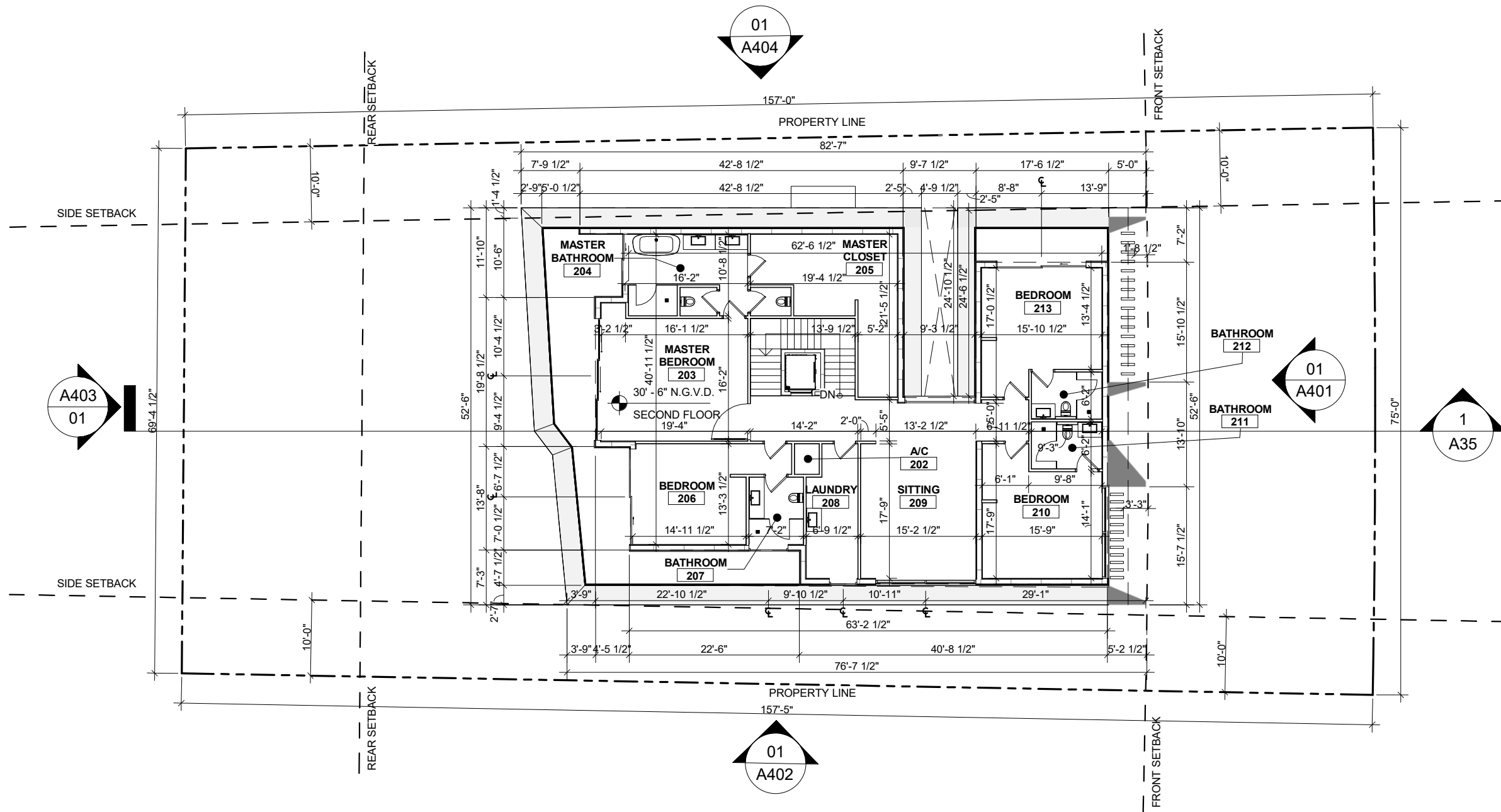
**NEW RESIDENCE**  
SINGLE FAMILY  
1265 NORTH BISCAYNE POINT ROAD  
MIAMI BEACH, FLORIDA 33141

07-14-24 FIRST SUBMITTAL

08-04-24 FINAL SUBMITTAL

**A30**





01

# PROPOSED SECOND FLOOR LEVEL PLAN

SCALE 1/16" = 1'-0"

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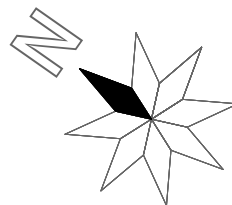
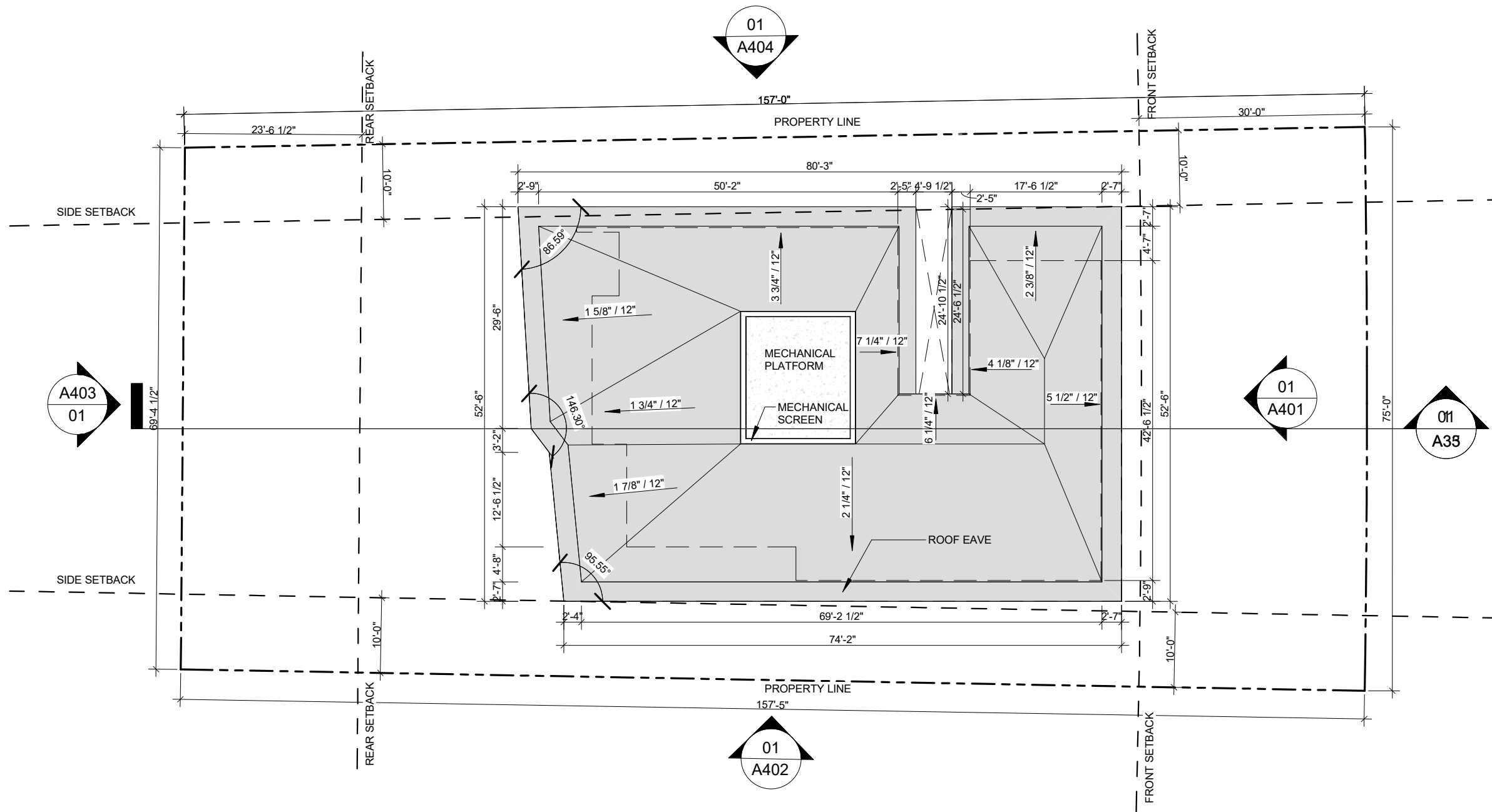
STATE OF FLORIDA  
AR94719

**NEW RESIDENCE**  
SINGLE FAMILY  
1265 NORTH BISCAYNE POINT ROAD  
MIAMI BEACH, FLORIDA 33141

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01

## PROPOSED ROOF LEVEL PLAN

SCALE 1/16" = 1'-0"

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AR94719

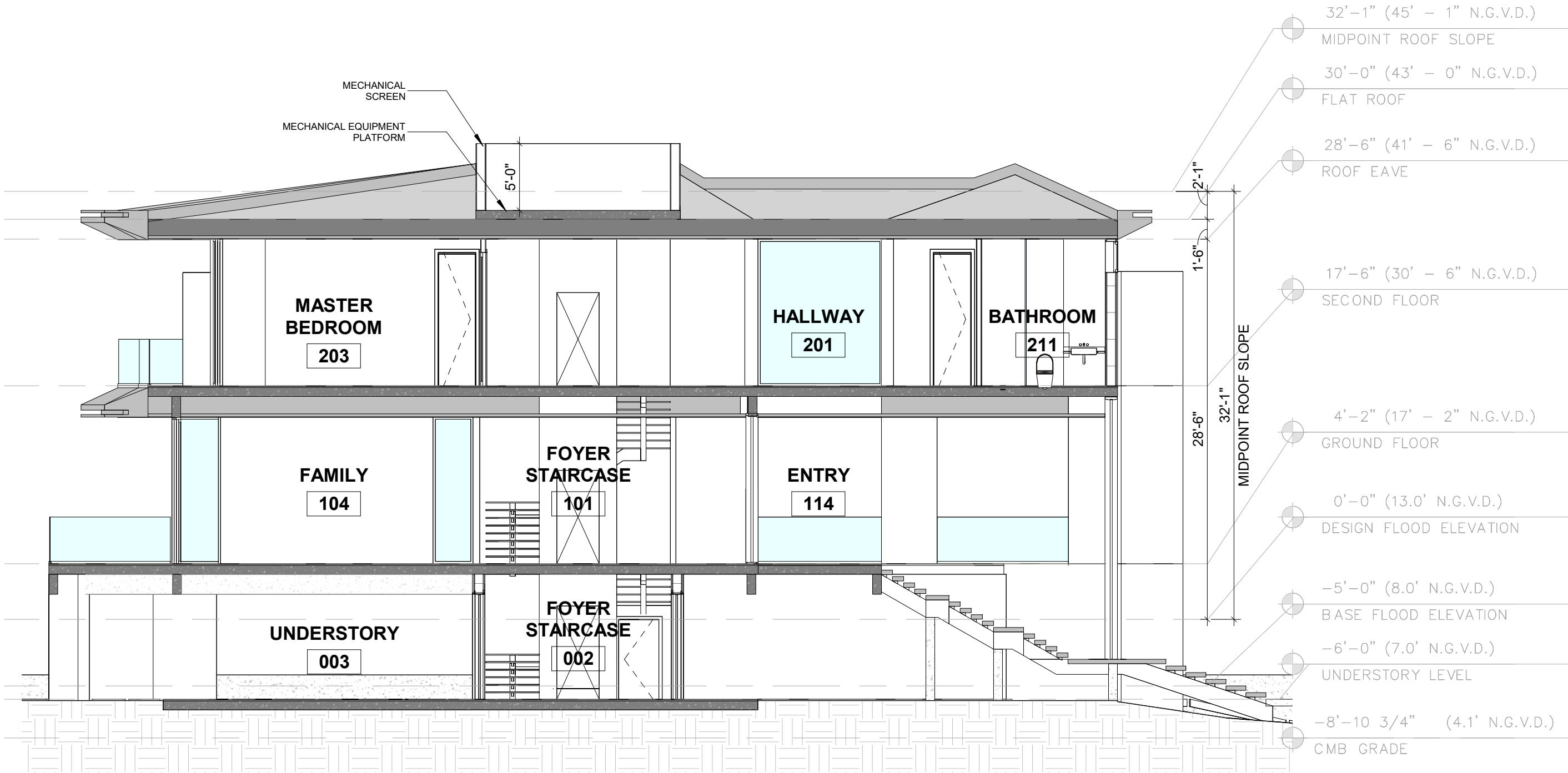
**NEW RESIDENCE**  
SINGLE FAMILY  
1265 NORTH BISCAYNE POINT ROAD  
MIAMI BEACH, FLORIDA 33141

07-14-24 FIRST SUBMITTAL

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**A32**





01

## SITE SECTION AT MECHANICAL EQUIPMENT

SCALE 1/8" = 1'-0"

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AR94719

## NEW RESIDENCE

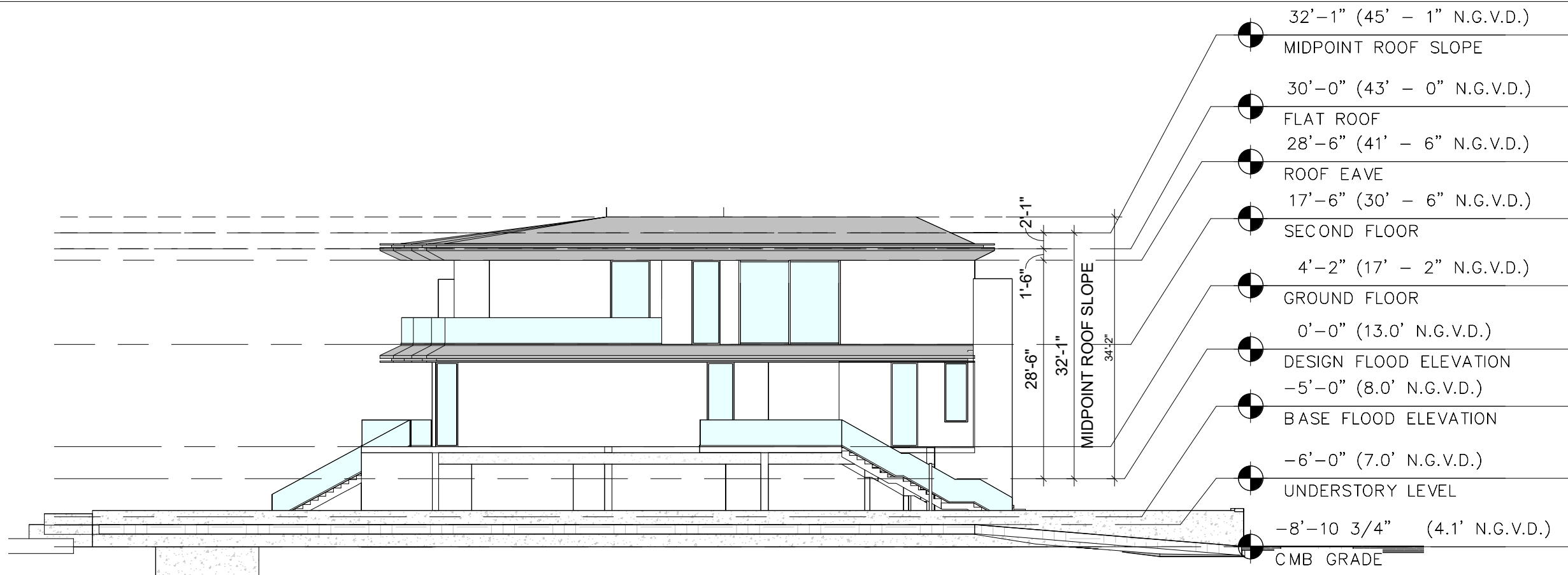
SINGLE FAMILY  
1265 NORTH BISCAYNE POINT ROAD  
MIAMI BEACH, FLORIDA 33141

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08-04-24 FINAL SUBMITTAL

A33

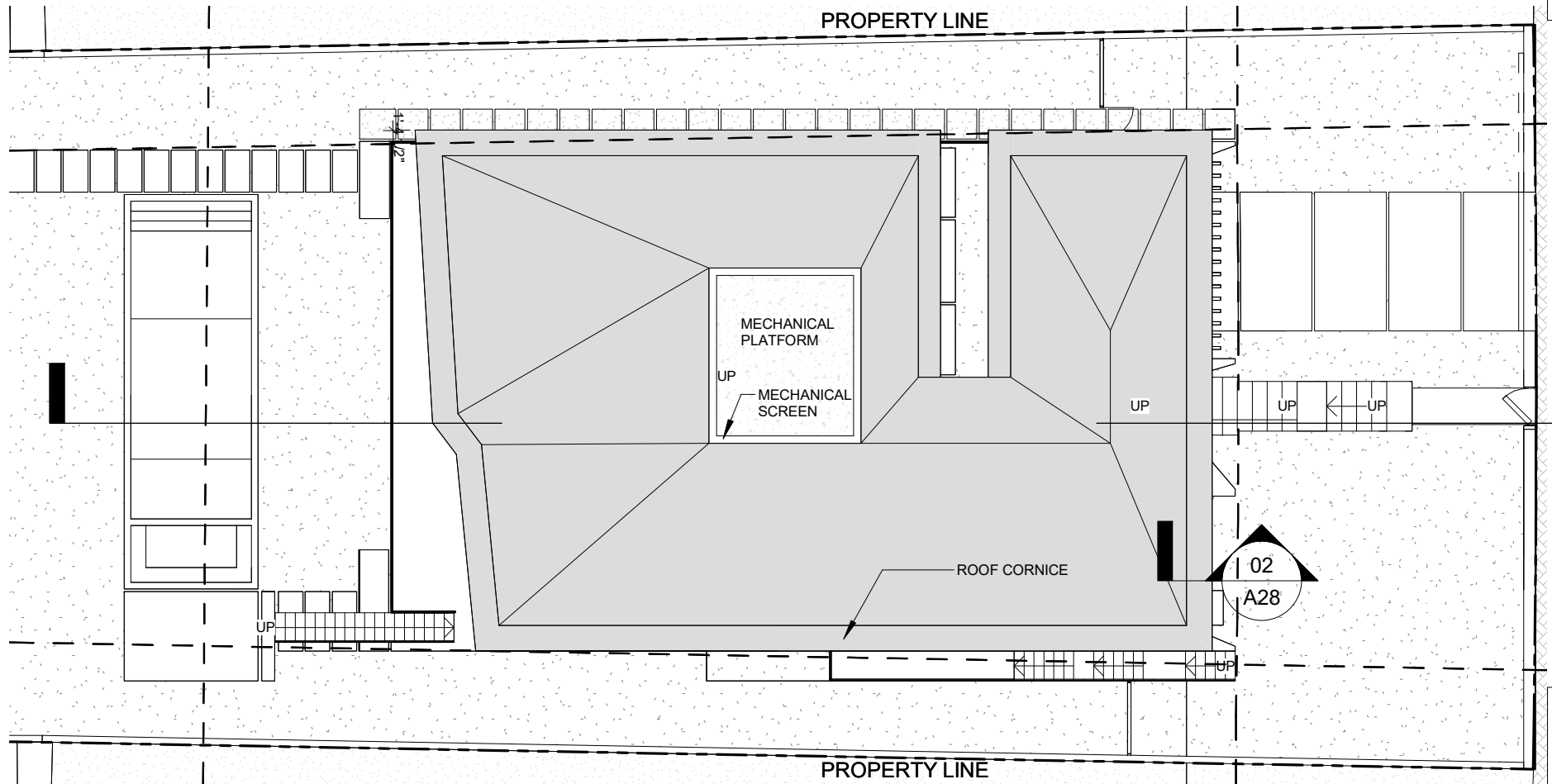




02

PROPOSED WEST ELEVATION

SCALE 1/16" = 1'-0"



01

PROP. ROOF HEIGHT PLAN

SCALE 1/16" = 1'-0"

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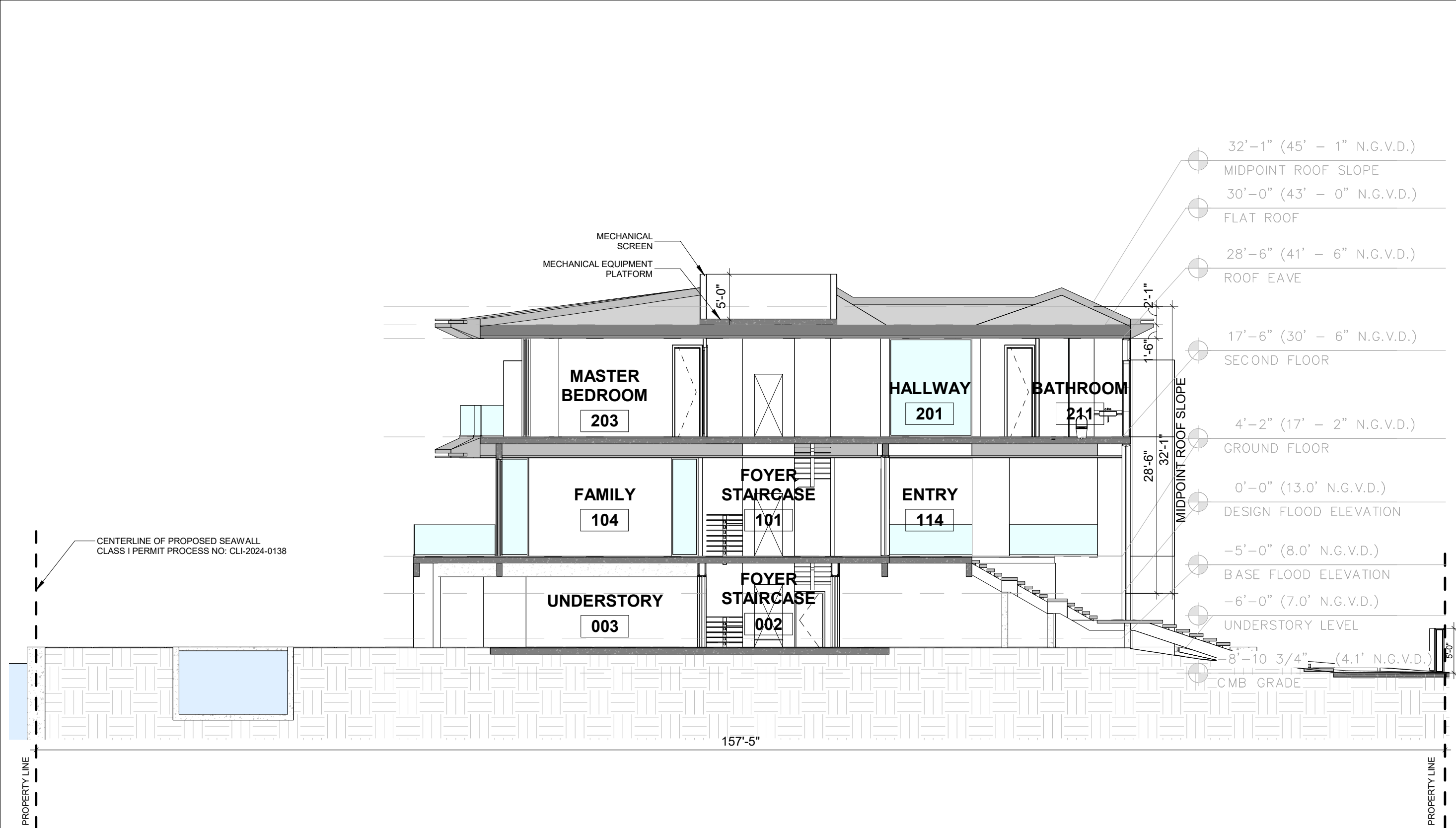
**NEW RESIDENCE**  
SINGLE FAMILY  
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**A34**





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ENRIQUE R. GONZALEZ  
AR94719  
REGISTERED ARCHITECT

STATE OF FLORIDA  
AR94719

NEW RESIDENCE

SINGLE FAMILY  
1265 NORTH BISCAYNE POINT ROAD  
MIAMI BEACH, FLORIDA 33141

|                          |
|--------------------------|
| 07-14-24 FIRST SUBMITTAL |
| 08-04-24 FINAL SUBMITTAL |



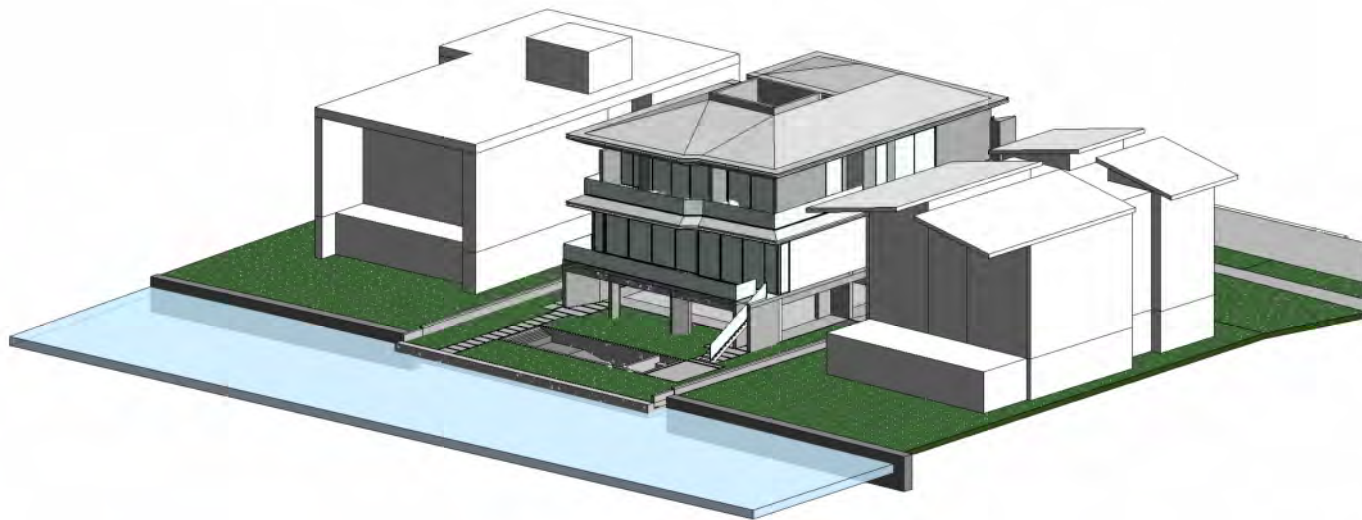


- 32'-1" (45' - 1" N.G.V.D.)  
MIDPOINT ROOF SLOPE
- 30'-0" (43' - 0" N.G.V.D.)  
FLAT ROOF
- 0'-0" (13.0' N.G.V.D.)  
DESIGN FLOOD ELEVATION
- 5'-0" (8.0' N.G.V.D.)  
BASE FLOOD ELEVATION
- 8'-10 3/4" (4.1' N.G.V.D.)  
CMB GRADE

03

# SOUTH FACADE CONTEXT ELEVATION

SCALE 1/16" = 1'-0"



02

# CONTEXT NORTH SIDE AXONOMETRIC

SCALE: N.T.S.



01

# CONTEXT SOUTH SIDE AXONOMETRIC

SCALE: N.T.S.

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AR94719

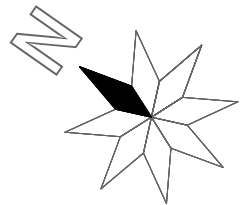
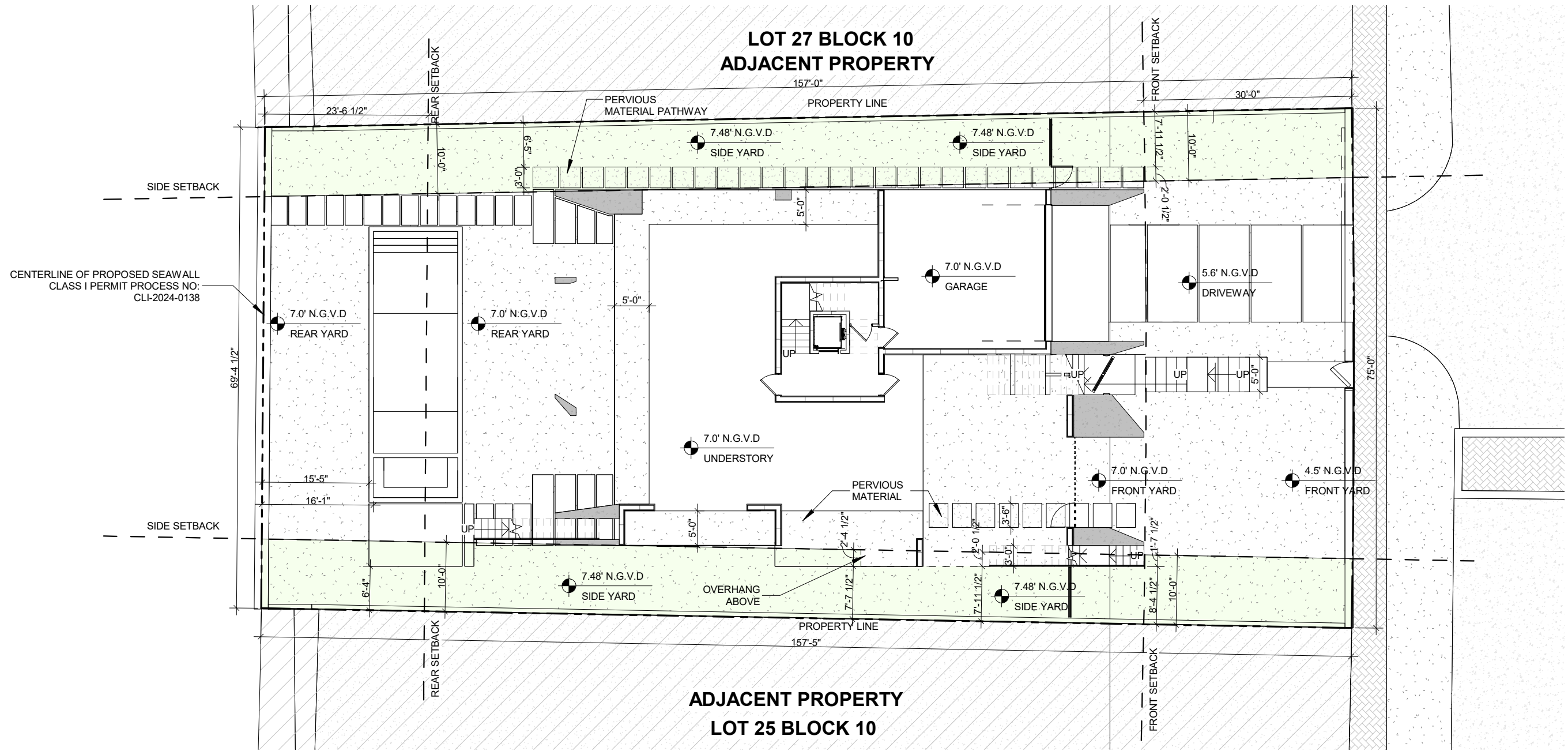
**NEW RESIDENCE**  
SINGLE FAMILY  
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MIAMI BEACH, FLORIDA 33141

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**A36**





# 01 ENCROACHMENT PLAN

SCALE 1/16" = 1'-0"

**GZA**  
GONZALEZ ARCHITECTURE  
1035 N MIAMI AVENUE  
SUITE 406  
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AR94719

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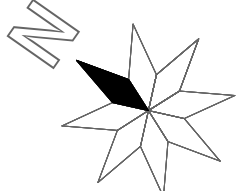
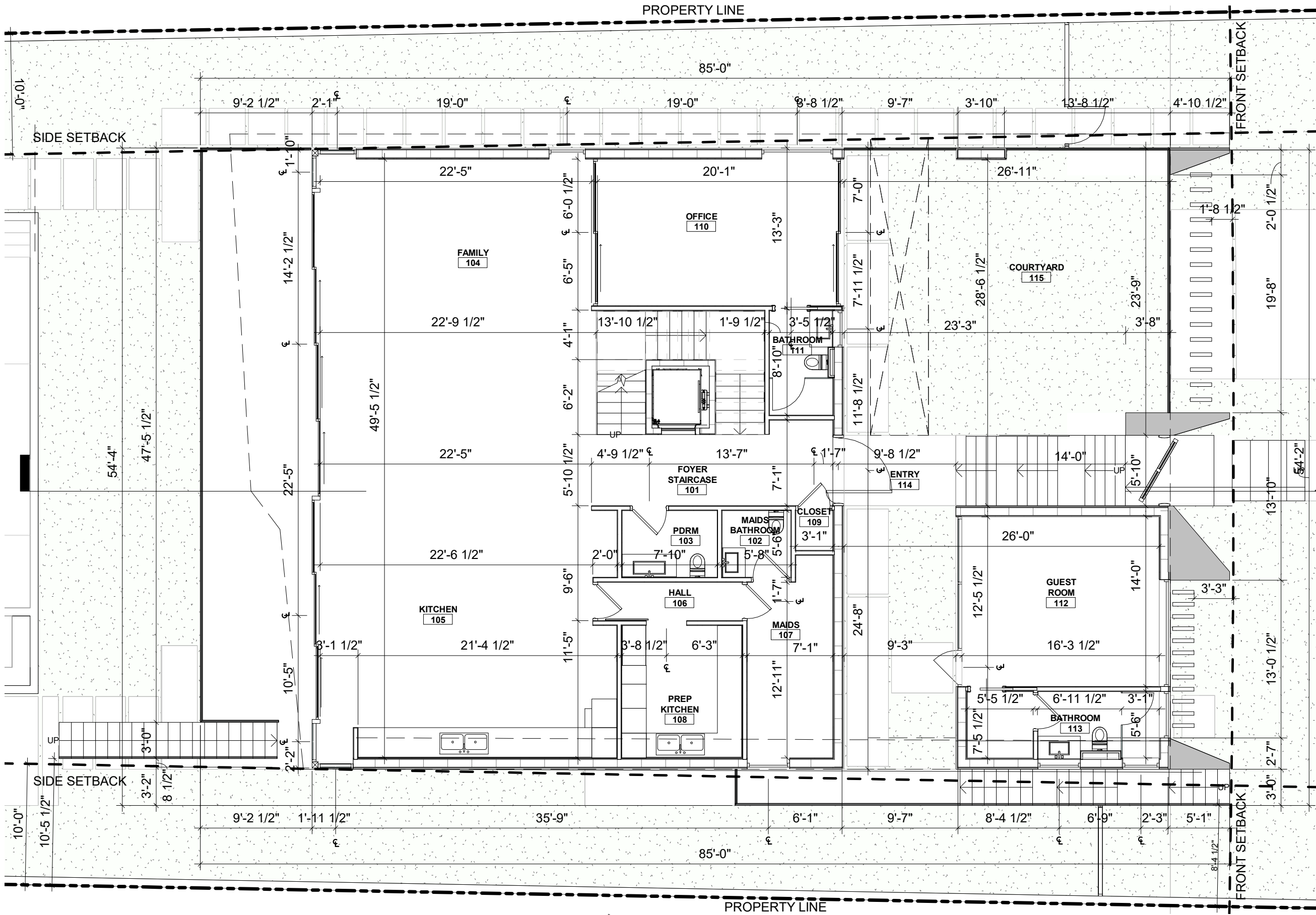
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**A37**  
NEW SHEET









**01** GROUND FLOOR

SCALE 1/8" = 1'-0"

1  
A35

ENRIQUE RENE GONZALEZ  
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AR94719

**NEW RESIDENCE**

SINGLE FAMILY

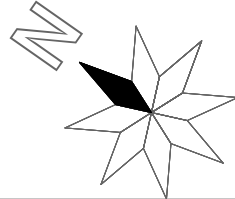
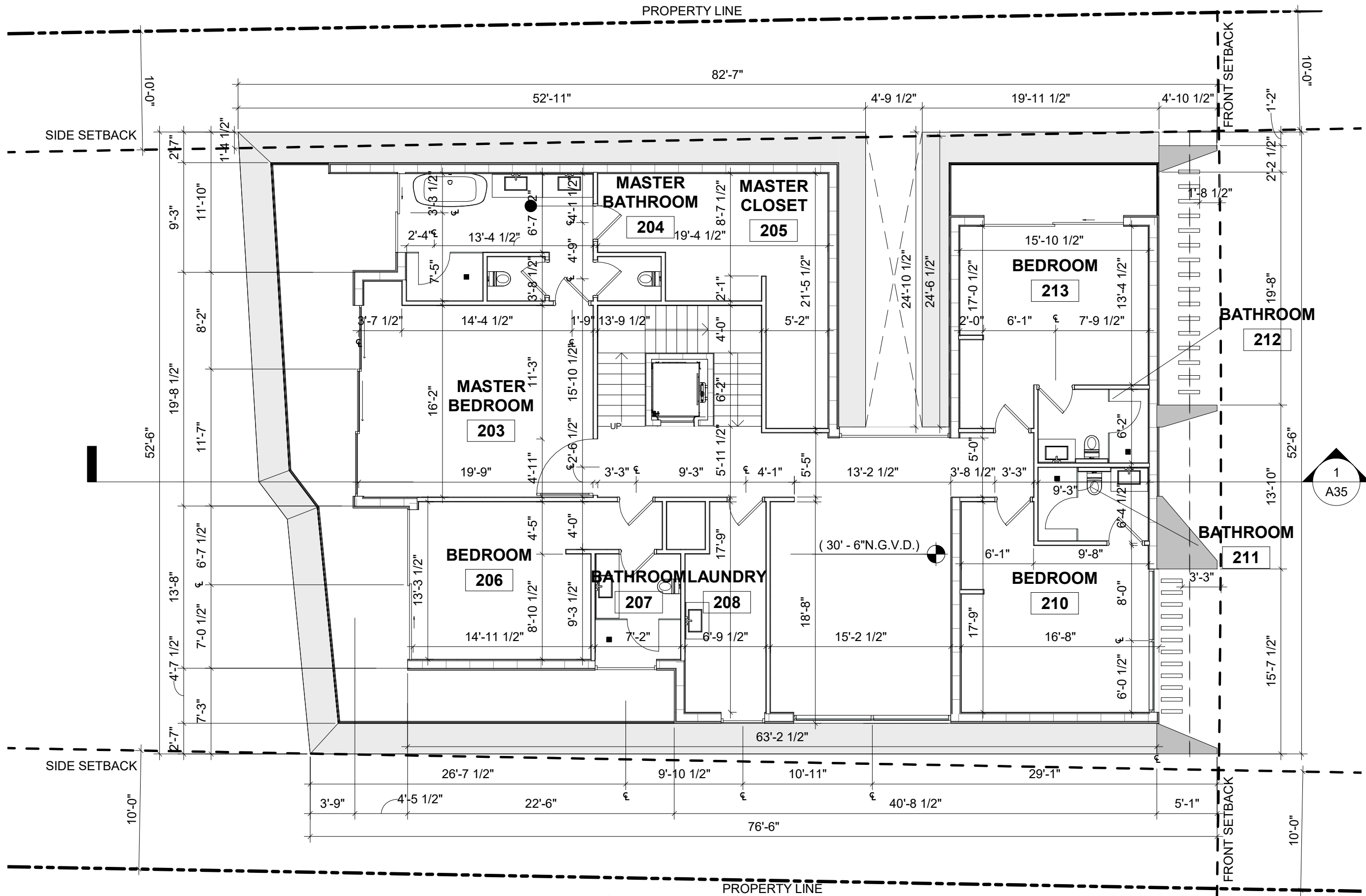
1265 NORTH BISCAYNE POINT ROAD  
MIAMI BEACH, FLORIDA 33141

07-14-24 FIRST SUBMITTAL

08-04-24 FINAL SUBMITTAL

**A101**





01

## SECOND FLOOR

SCALE 1/8" = 1'-0"

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REGISTERED ARCHITECT



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AR94719

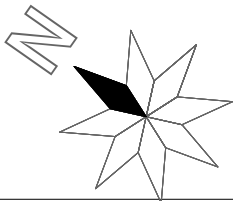
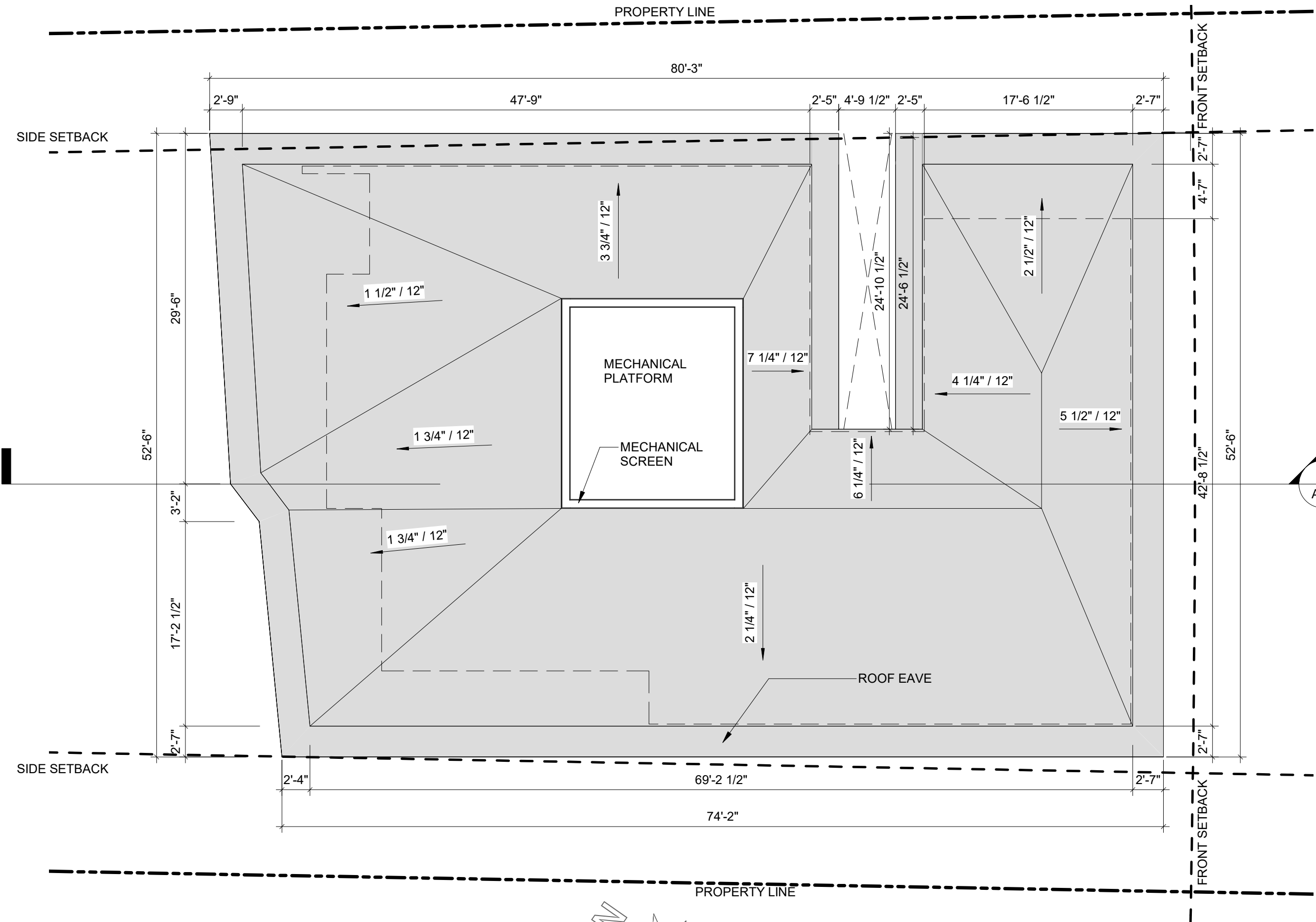
**NEW RESIDENCE**  
SINGLE FAMILY  
1265 NORTH BISCAYNE POINT ROAD  
MIAMI BEACH, FLORIDA 33141

07-14-24 FIRST SUBMITTAL

08-04-24 FINAL SUBMITTAL

**A102**





**01** ROOF  
SCALE 1/8" = 1'-0"

1035 N MIAMI AVENUE  
SUITE 406  
MIAMI, FLORIDA 33136  
TEL: 305.440.4314  
GONZALEZARCHITECTURE.COM  
create@gonzalezarchitecture.com

**GZA**  
GONZALEZARCHITECTURE

ENRIQUE RENE GONZALEZ  
REGISTERED ARCHITECT

STATE OF FLORIDA  
ENRIQUE R. GONZALEZ  
ARR 94719  
REGISTERED ARCHITECT

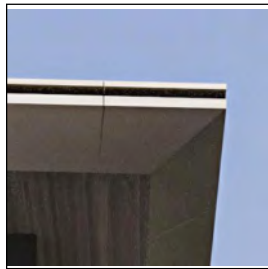
STATE OF FLORIDA  
ARR 94719

**NEW RESIDENCE**  
SINGLE FAMILY  
1265 NORTH BISCAYNE POINT ROAD  
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07-14-24 FIRST SUBMITTAL  
08-04-24 FINAL SUBMITTAL

**A103**





① ROOF CORNICE:  
METALLIC BRONZE  
FINISH



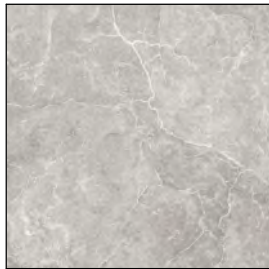
② GATE:  
ALUMINUM BRONZE  
FINISH



③ LOUVERS:  
METALLIC BRONZE  
FINISH



④ WALL, COLUMN,  
FENCE WALL:  
FLUTED TILE  
CLADDING



⑤ PAVERS:  
LIMESTONE; LIGHT  
NATURAL MOON  
FINISH



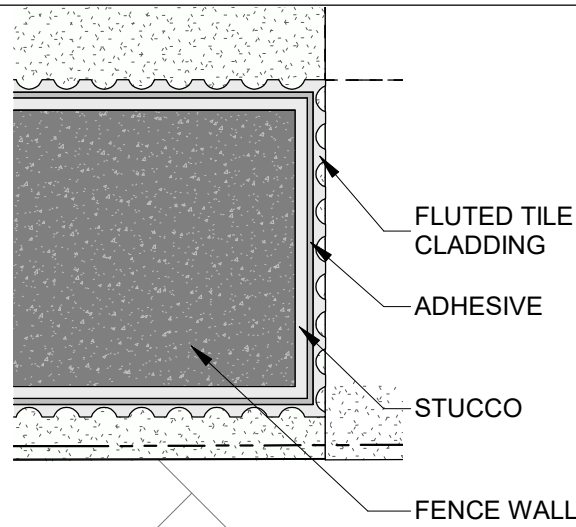
⑥ GLAZING & RAILING:  
LOW-E GLASS, CLEAR  
FINISH



⑦ WALL:  
PLASTER, BRONZE  
FINISH TO MATCH  
WINDOW FRAME



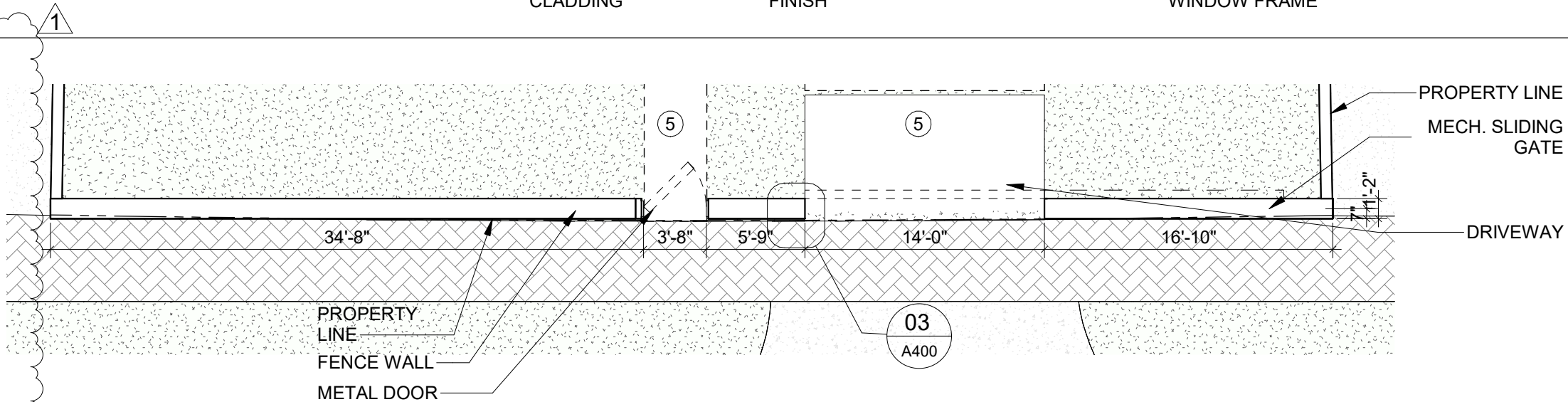
⑧ DOOR:  
SOLID WOOD



03

WALL TILE DETAIL

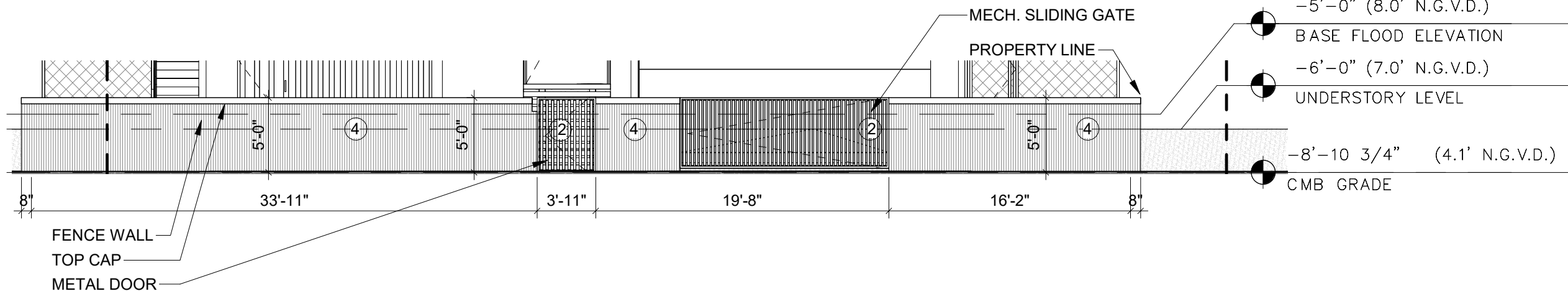
SCALE 1 1/2" = 1'-0"



02

FRONT GATE/FENCE PLAN

SCALE 1/8" = 1'-0"

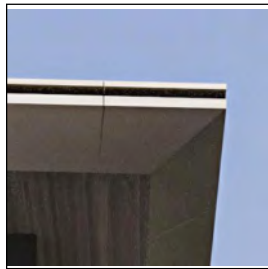


01

FRONT GATE/FENCE ELEVATION

SCALE 1/8" = 1'-0"





① ROOF CORNICE:  
METALLIC BRONZE  
FINISH



② GATE:  
ALUMINUM BRONZE  
FINISH



③ LOUVERS:  
METALLIC BRONZE  
FINISH



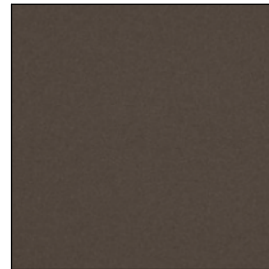
④ WALL, COLUMN,  
FENCE WALL:  
FLUTED TILE  
CLADDING



⑤ PAVERS:  
LIMESTONE; LIGHT  
NATURAL MOON  
FINISH



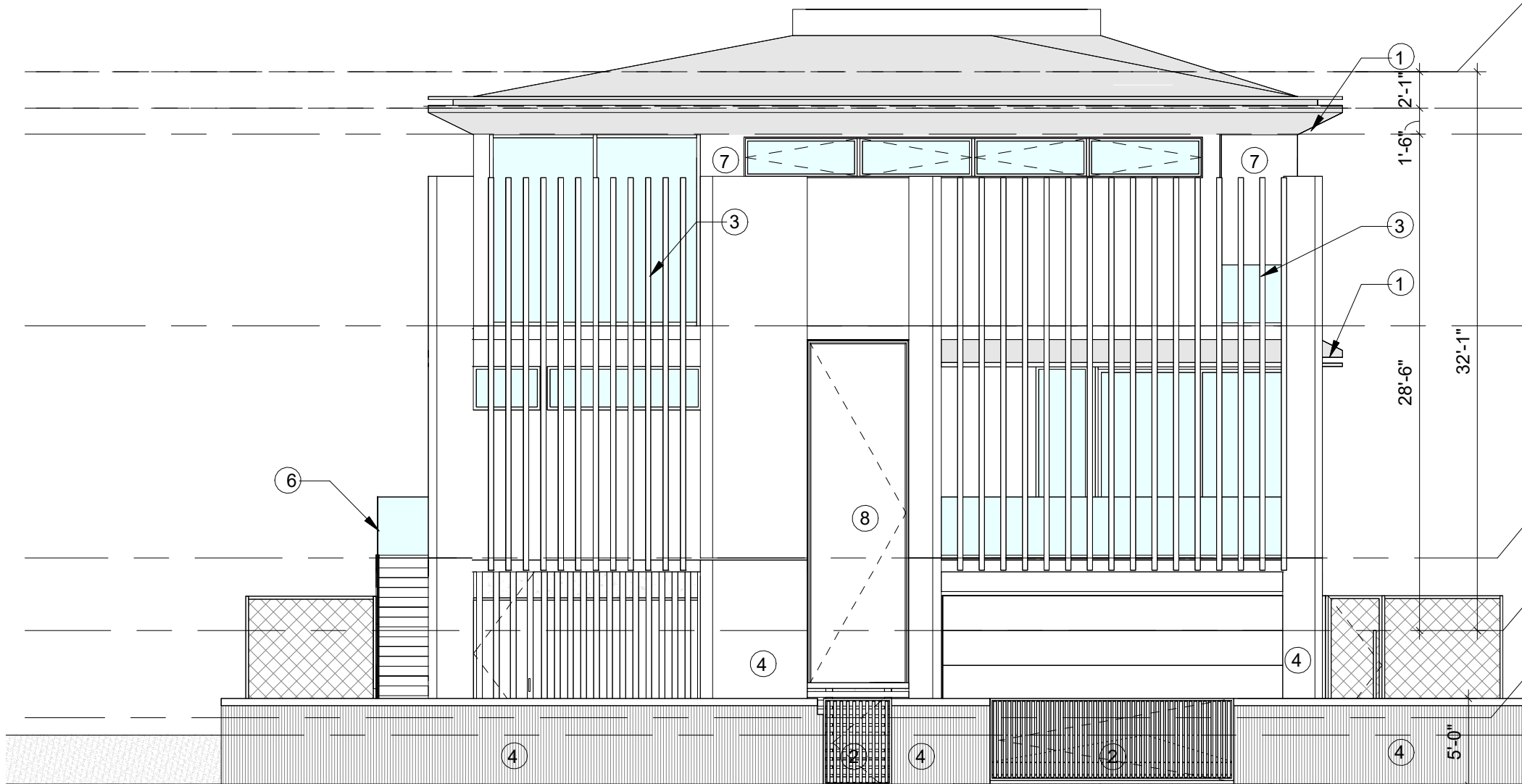
⑥ GLAZING & RAILING:  
LOW-E GLASS, CLEAR  
FINISH



⑦ WALL:  
PLASTER, BRONZE  
FINISH TO MATCH  
WINDOW FRAME



⑧ DOOR:  
SOLID WOOD



32'-1" (45' - 1" N.G.V.D.)  
MIDPOINT ROOF SLOPE

30'-0" (43' - 0" N.G.V.D.)  
FLAT ROOF

28'-6" (41' - 6" N.G.V.D.)  
ROOF EAVE

17'-6" (30' - 6" N.G.V.D.)  
SECOND FLOOR

4'-2" (17' - 2" N.G.V.D.)  
GROUND FLOOR

0'-0" (13.0' N.G.V.D.)  
DESIGN FLOOD ELEVATION

-5'-0" (8.0' N.G.V.D.)  
BASE FLOOD ELEVATION

-6'-0" (7.0' N.G.V.D.)  
UNDERSTORY LEVEL

-8'-10 3/4" (4.1' N.G.V.D.)  
CMB GRADE

01

SOUTH ELEVATION

SCALE 1/8" = 1'-0"

1035 N MIAMI AVENUE  
SUITE 406  
MIAMI, FLORIDA 33136

TEL: 305.440.4314  
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ENRIQUE RENE GONZALEZ,  
REGISTERED ARCHITECT



STATE OF FLORIDA  
AR94719

NEW RESIDENCE

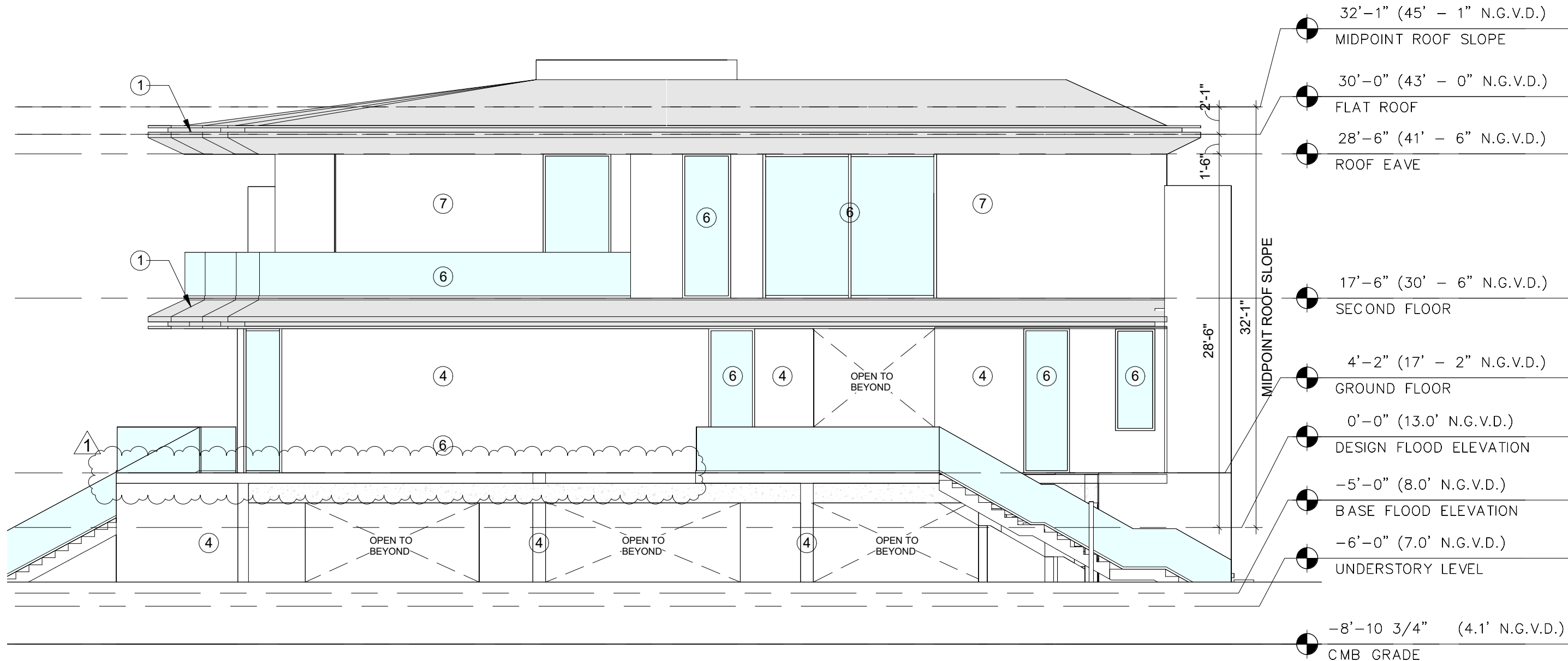
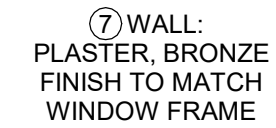
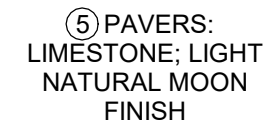
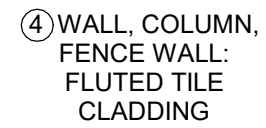
SINGLE FAMILY  
1265 NORTH BISCAYNE POINT ROAD  
MIAMI BEACH, FLORIDA 33141

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A401

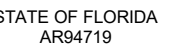
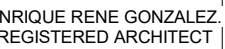




## WEST ELEVATION

SCALE 1/8" = 1'-0"

TEL: 305.440.4314  
GONZALEZARCHITECTURE.COM  
create@gonzalezarchitecture.com



## NEW RESIDENCE

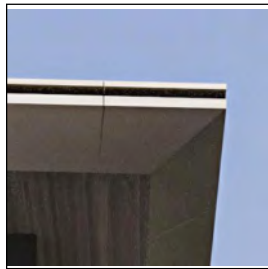
SINGLE FAMILY  
1265 NORTH BISCAYNE POINT ROAD  
MIAMI BEACH, FLORIDA 33141

07-14-24 FIRST SUBMITTAL

1- 08-04-24 FINAL SUBMITTAL

# A402





① ROOF CORNICE:  
METALLIC BRONZE  
FINISH



② GATE:  
ALUMINUM BRONZE  
FINISH



③ LOUVERS:  
METALLIC BRONZE  
FINISH



④ WALL, COLUMN,  
FENCE WALL:  
FLUTED TILE  
CLADDING



⑤ PAVERS:  
LIMESTONE; LIGHT  
NATURAL MOON  
FINISH



⑥ GLAZING & RAILING:  
LOW-E GLASS, CLEAR  
FINISH



⑦ WALL:  
PLASTER, BRONZE  
FINISH TO MATCH  
WINDOW FRAME



⑧ DOOR:  
SOLID WOOD



01

NORTHELEVATION

SCALE 1/8" = 1'-0"

1035 N MIAMI AVENUE  
SUITE 406  
MIAMI, FLORIDA 33136

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ENRIQUE RENE GONZALEZ,  
REGISTERED ARCHITECT



STATE OF FLORIDA  
AR94719

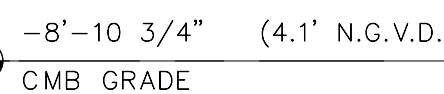
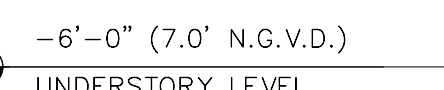
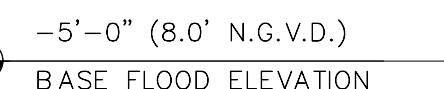
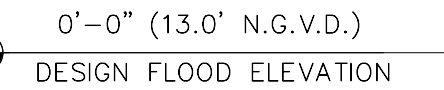
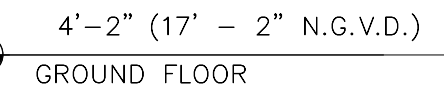
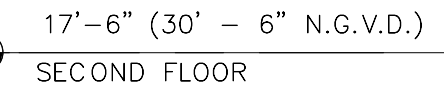
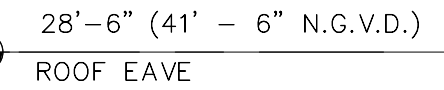
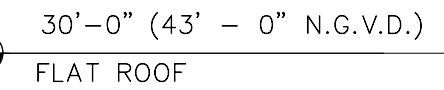
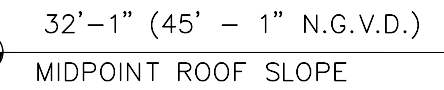
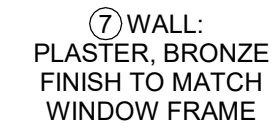
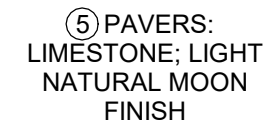
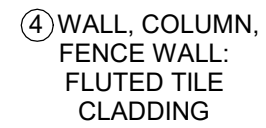
**NEW RESIDENCE**  
SINGLE FAMILY  
1265 NORTH BISCAYNE POINT ROAD  
MIAMI BEACH, FLORIDA 33141

07-14-24 FIRST SUBMITTAL

08-04-24 FINAL SUBMITTAL

**A403**





**Gonzalez** ARCHITECTURE

**NEW RESIDENCE**  
SINGLE FAMILY  
1265 NORTH BISCAYNE POINT ROAD  
MIAMI BEACH, FLORIDA 33141

8-04-24 FINAL SUBMITTAL

# A404

# 01

## EAST ELEVATION

SCALE 1/8" = 1'-0"