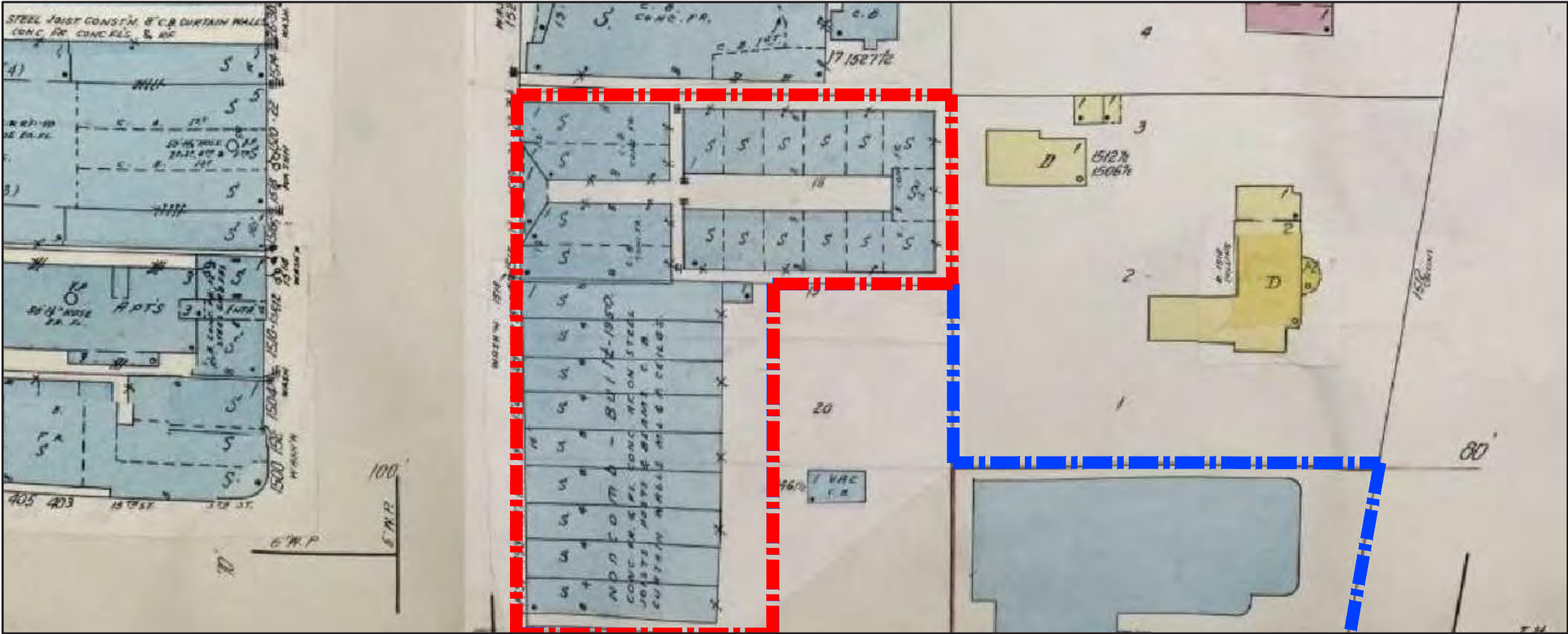


RECREATION OF WASHINGTON FRONTAGE



SANBORN MAP 1491-1513-1523 WASHINGTON AVE. (1951 LIBRARY OF CONGRESS)



AT MIAMI BEACH, this new commercial building, containing nine store units, has been completed at 15th st. and Washington ave. for Daniel I. Taradash. Constructed by the Leifert Construction Co. from plans drawn by Architect Albert Anis, the building fronts 140 feet on Washington ave. and extends 80 feet in depth. Management of the building is by Taradash Properties, 927 Lincoln rd.

HISTORIC CONTEXT: FACADE OF THE EXISTING BUILDING



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P: (954) 922-6551

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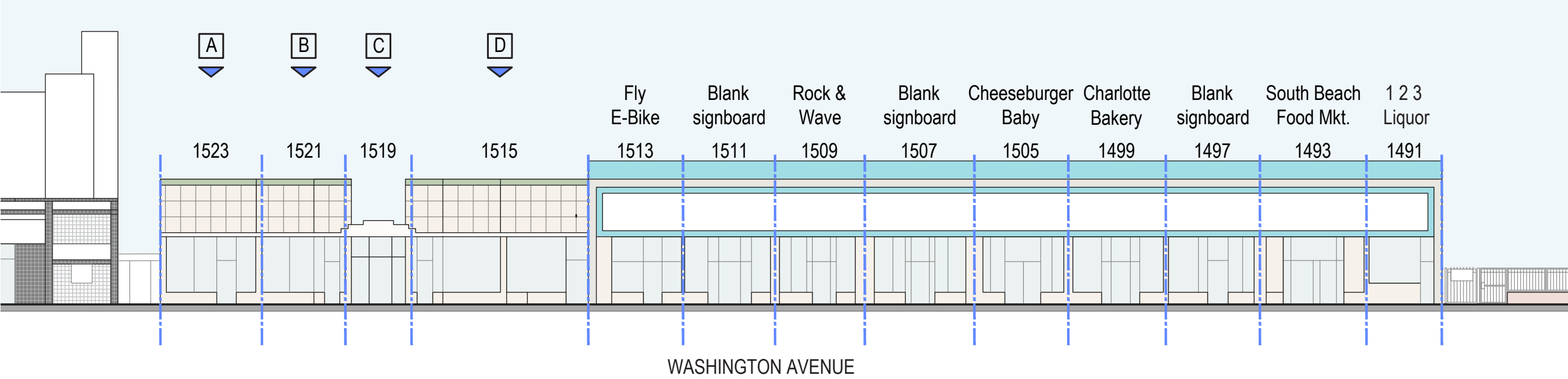
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33139

HISTORIC PHOTOS

A3-01



A



B



C



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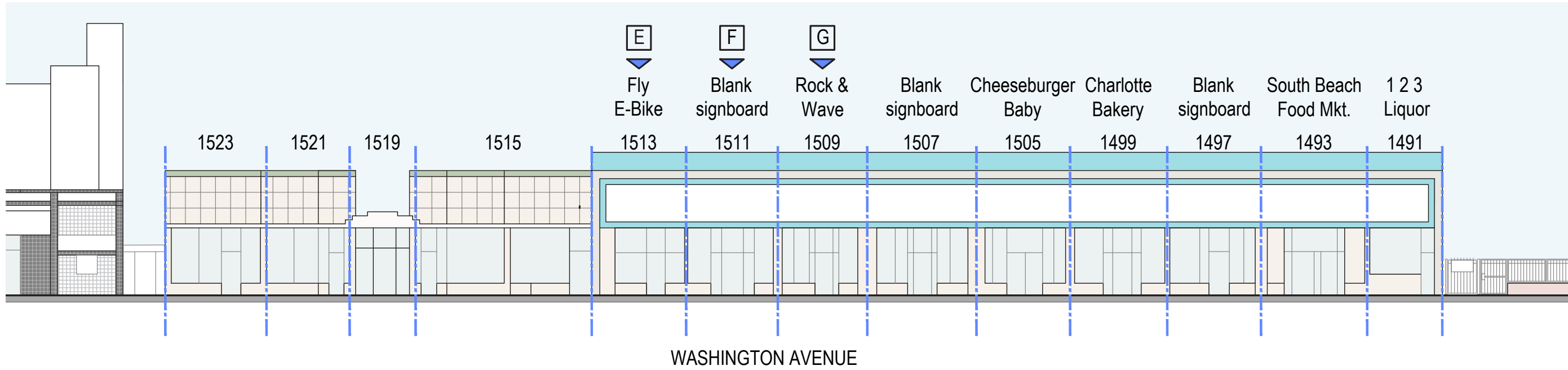
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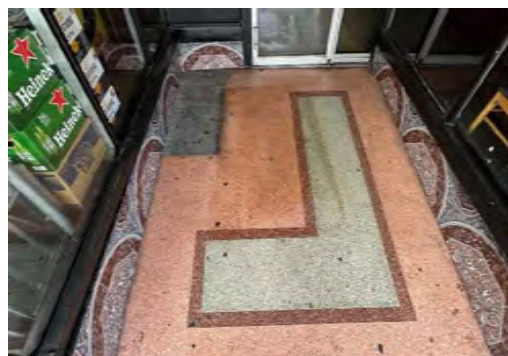
A3-02



E



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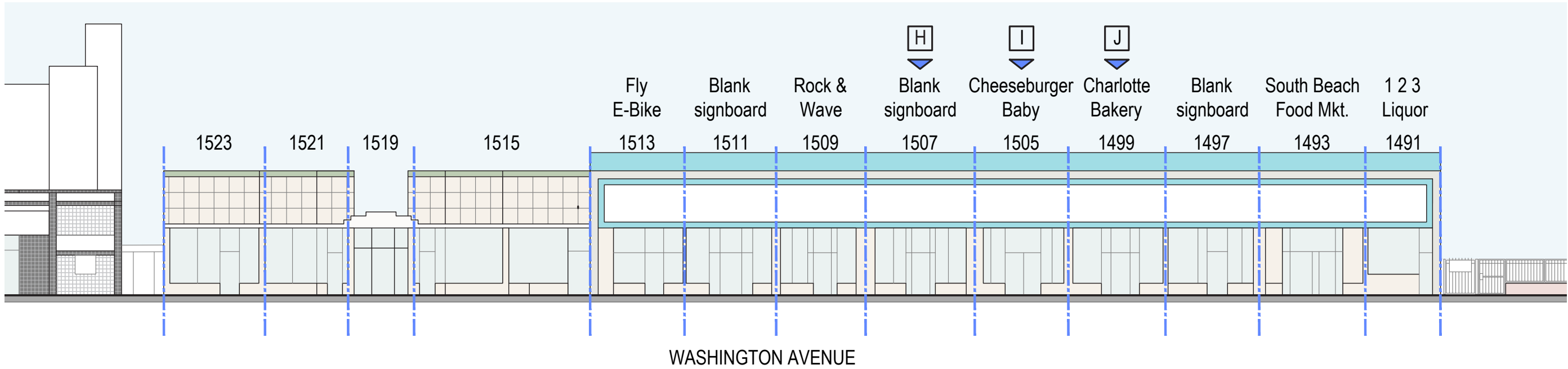
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EXISTING CONDITIONS

A3-03



H



I



J



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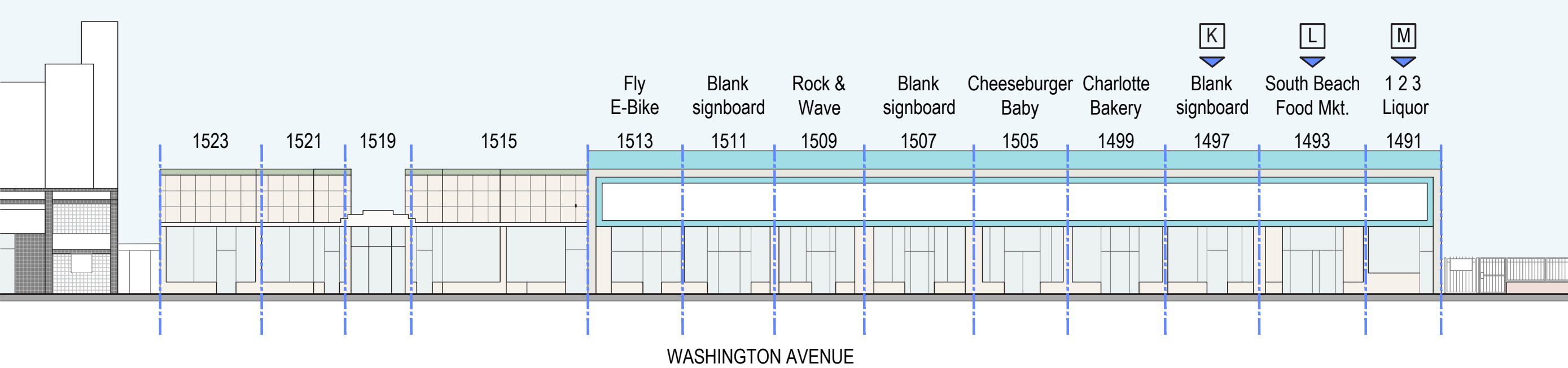
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EXISTING CONDITIONS

A3-05



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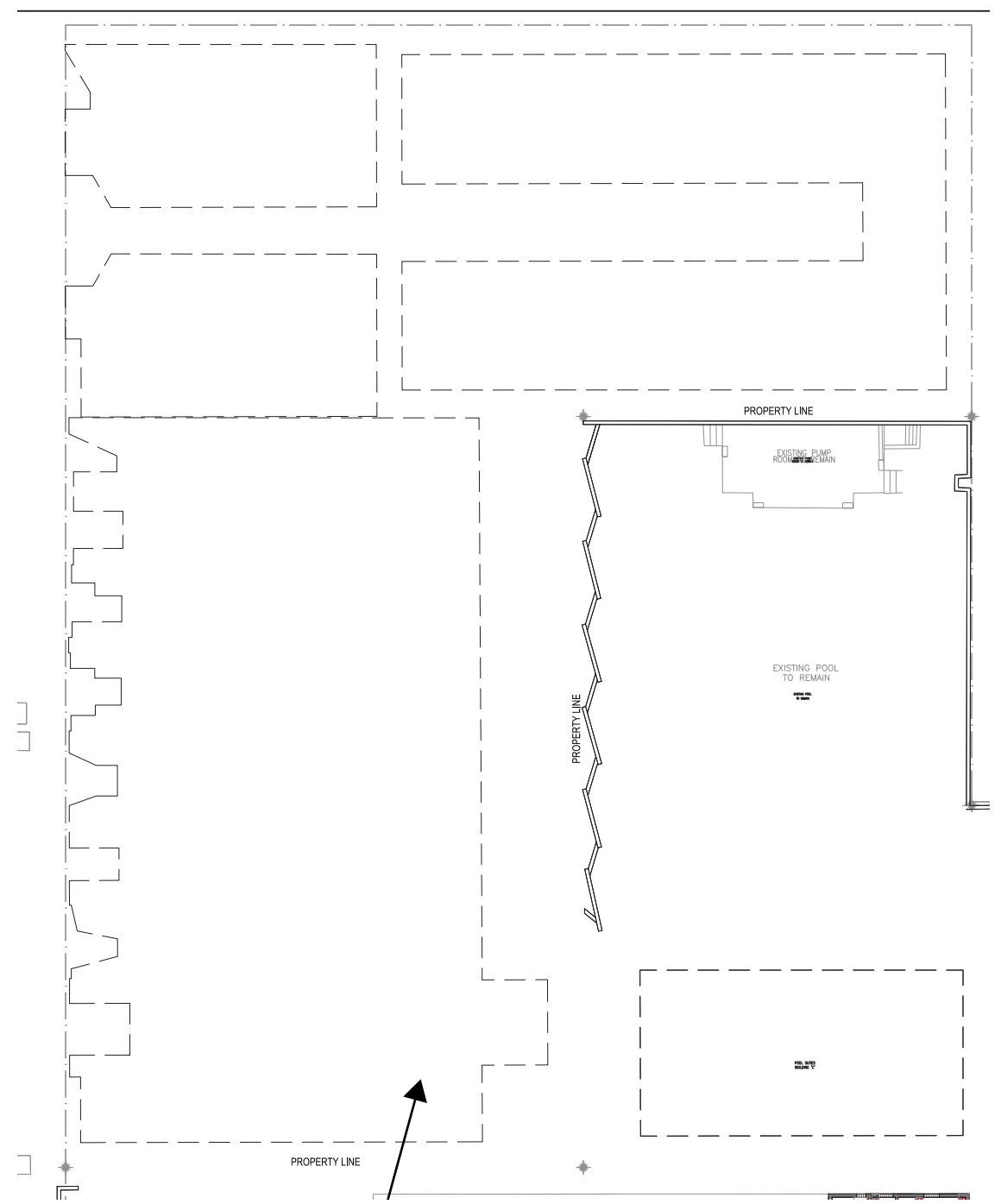
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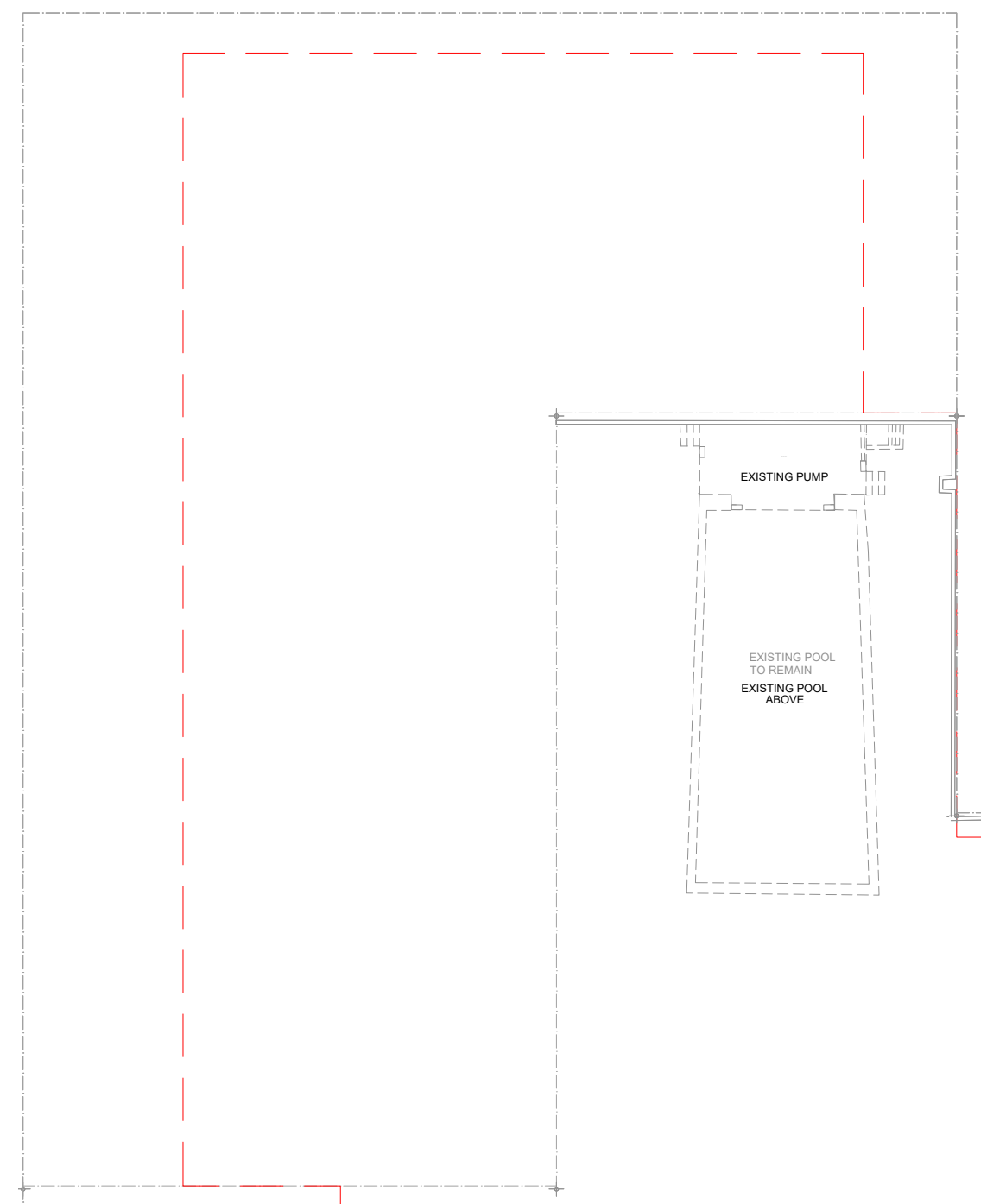
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DEMOLITION / PROPOSED
- LEVEL 00

A3-06



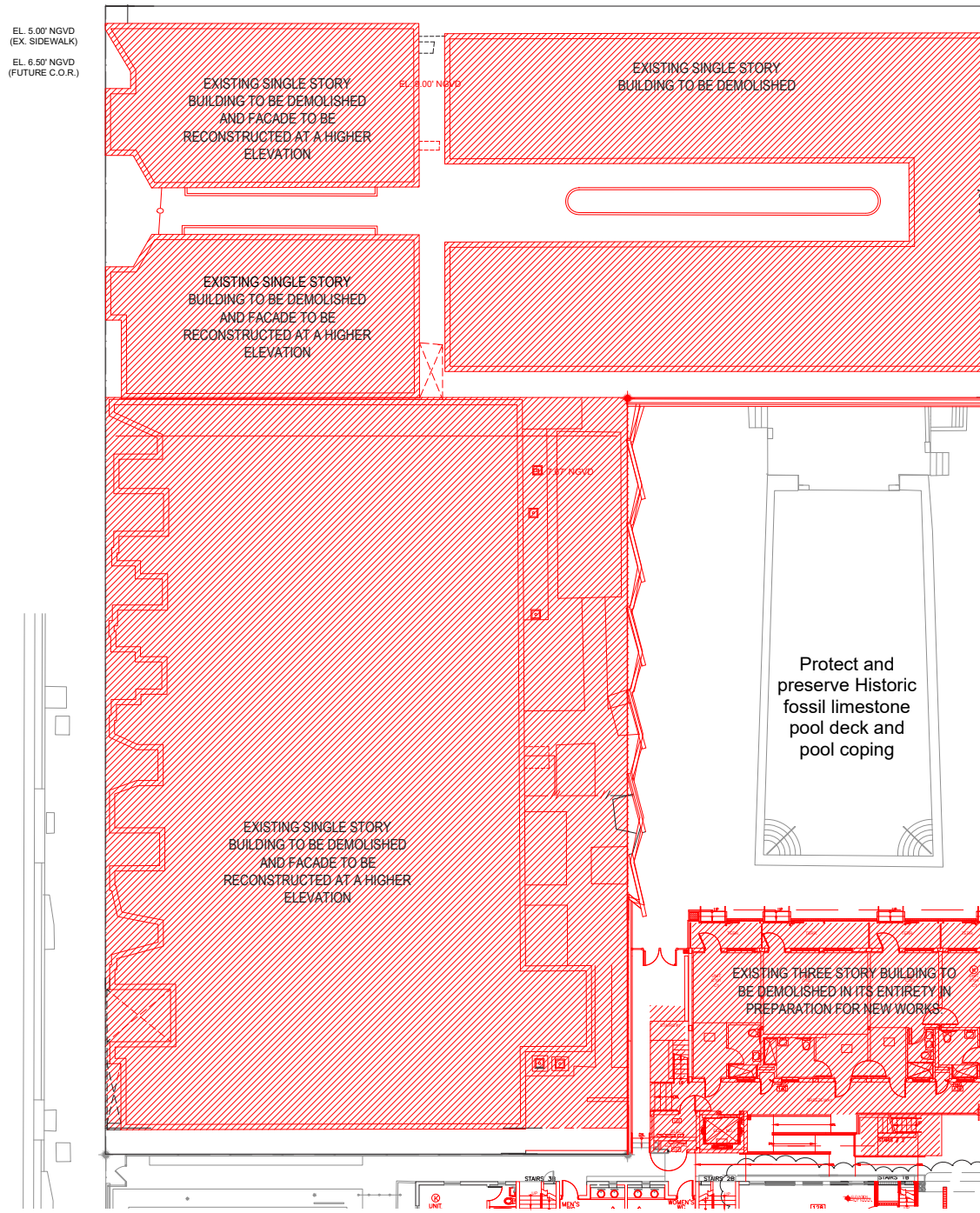
LEVEL 00: DEMOLITION



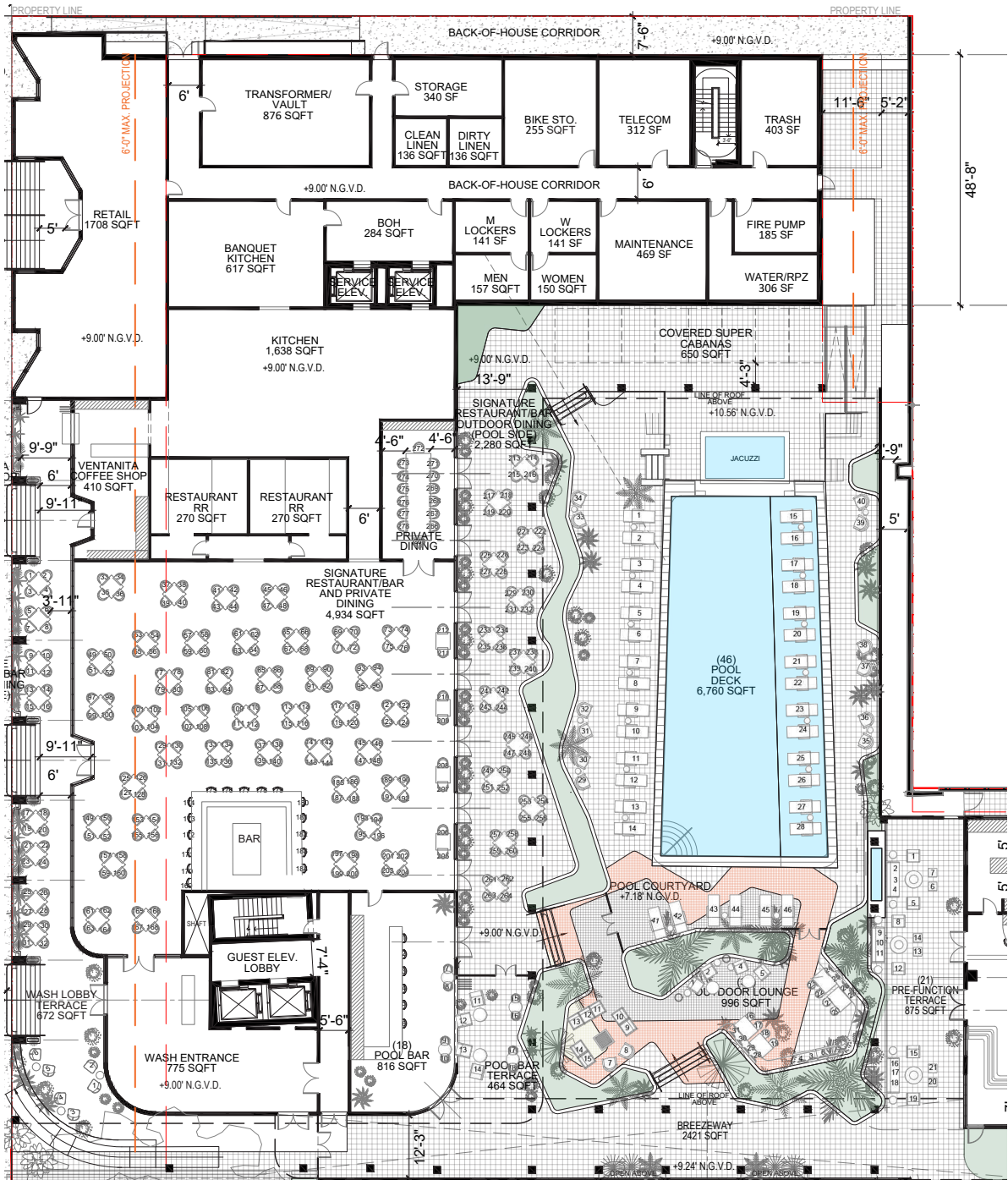
LEVEL 00: PROPOSED

SCALE: 1/32" = 1'-0"





LEVEL 01: DEMOLITION



LEVEL 01: PROPOSED

SCALE: 1/32" = 1'-0"



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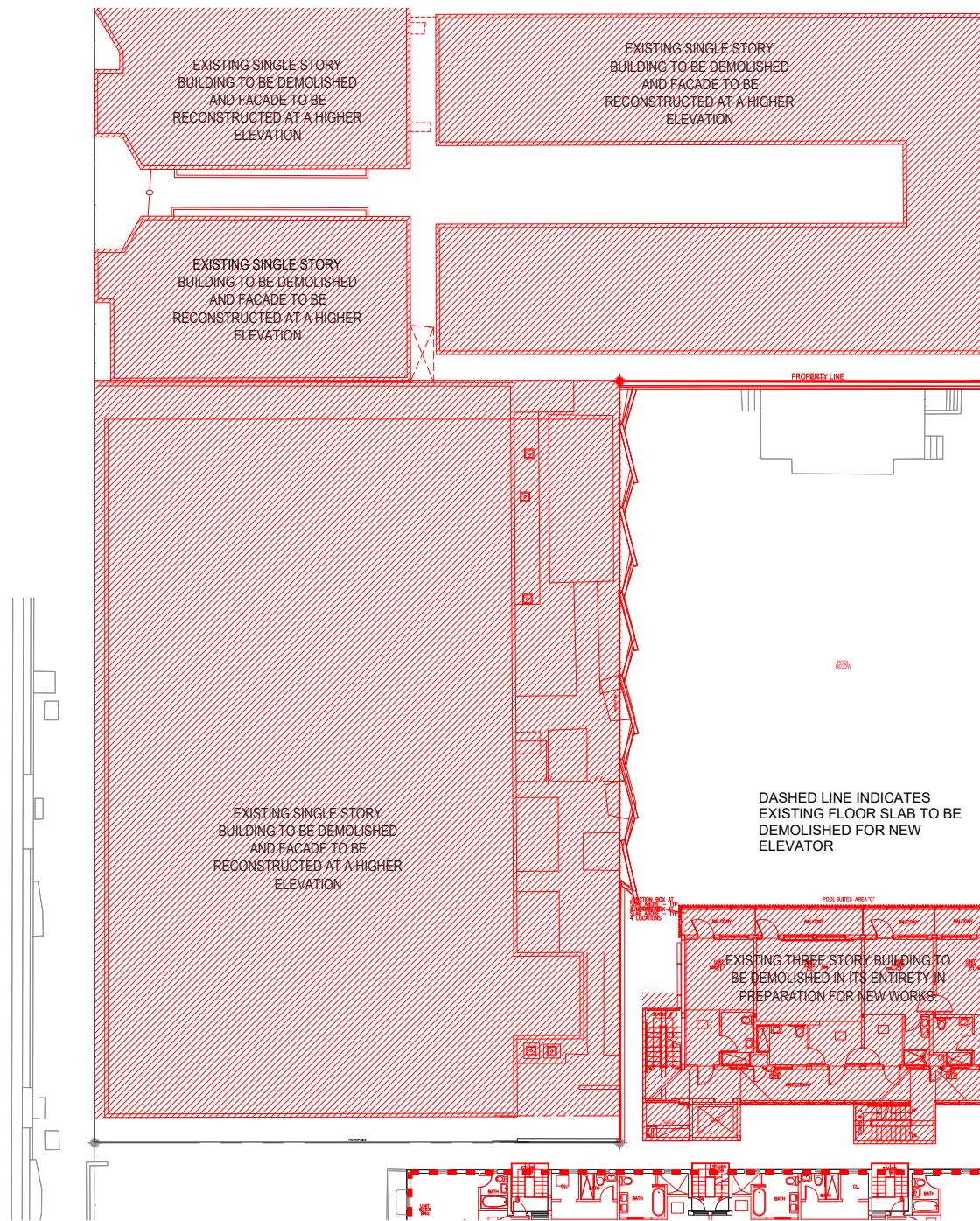
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DEMOLITION / PROPOSED
- LEVEL 01

A3-07



LEVEL 02: DEMOLITION



LEVEL 02: PROPOSED

SCALE: 1/32" = 1'-0"



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**DEMOLITION / PROPOSED
- LEVEL 02**

A3-08



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LEVEL 04: PROPOSED

SCALE: 1/32" = 1'-0"



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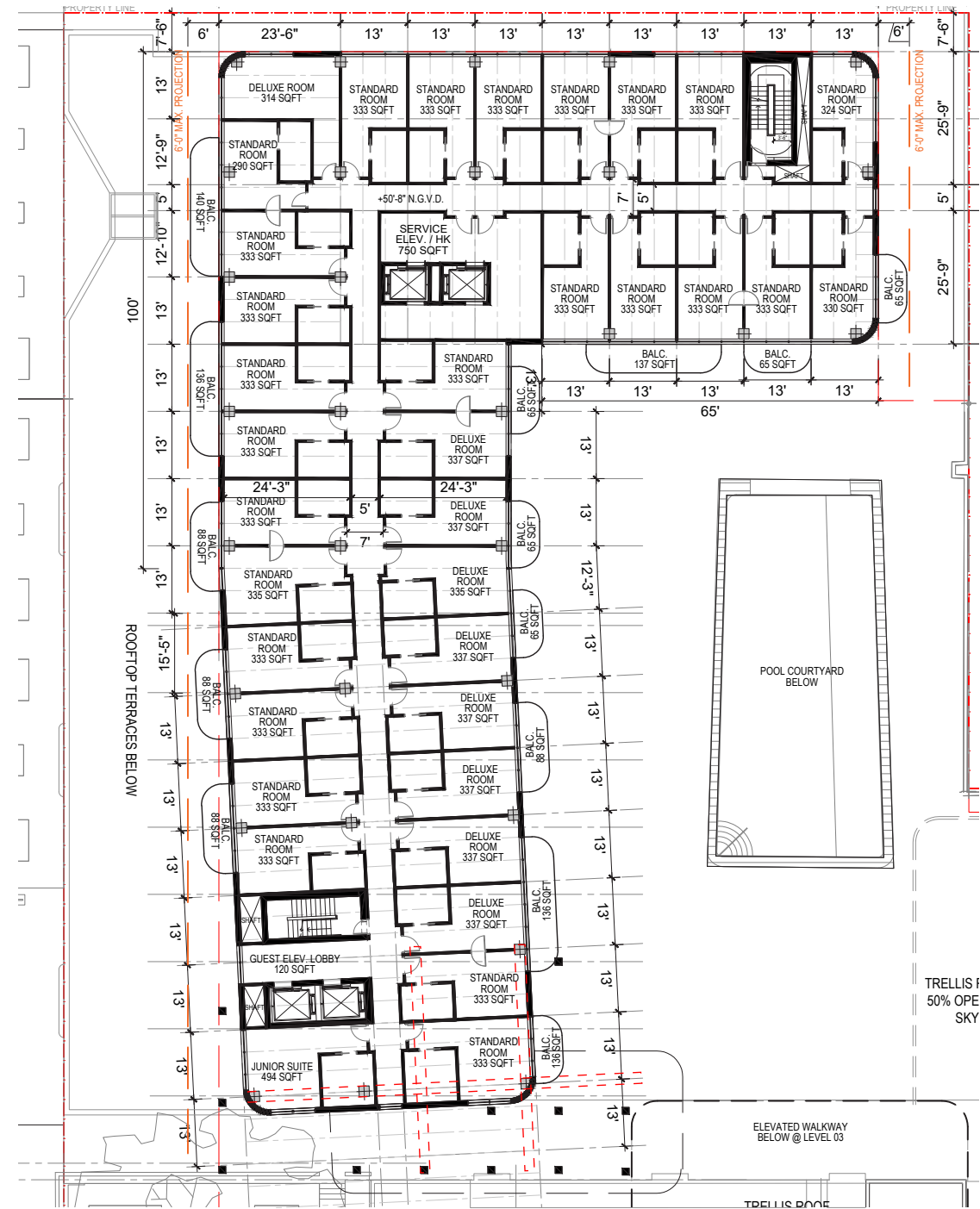
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PROPOSED PLAN
- LEVEL 04

A3-10



LEVEL 05: PROPOSED

SCALE: 1/32" = 1'-0"



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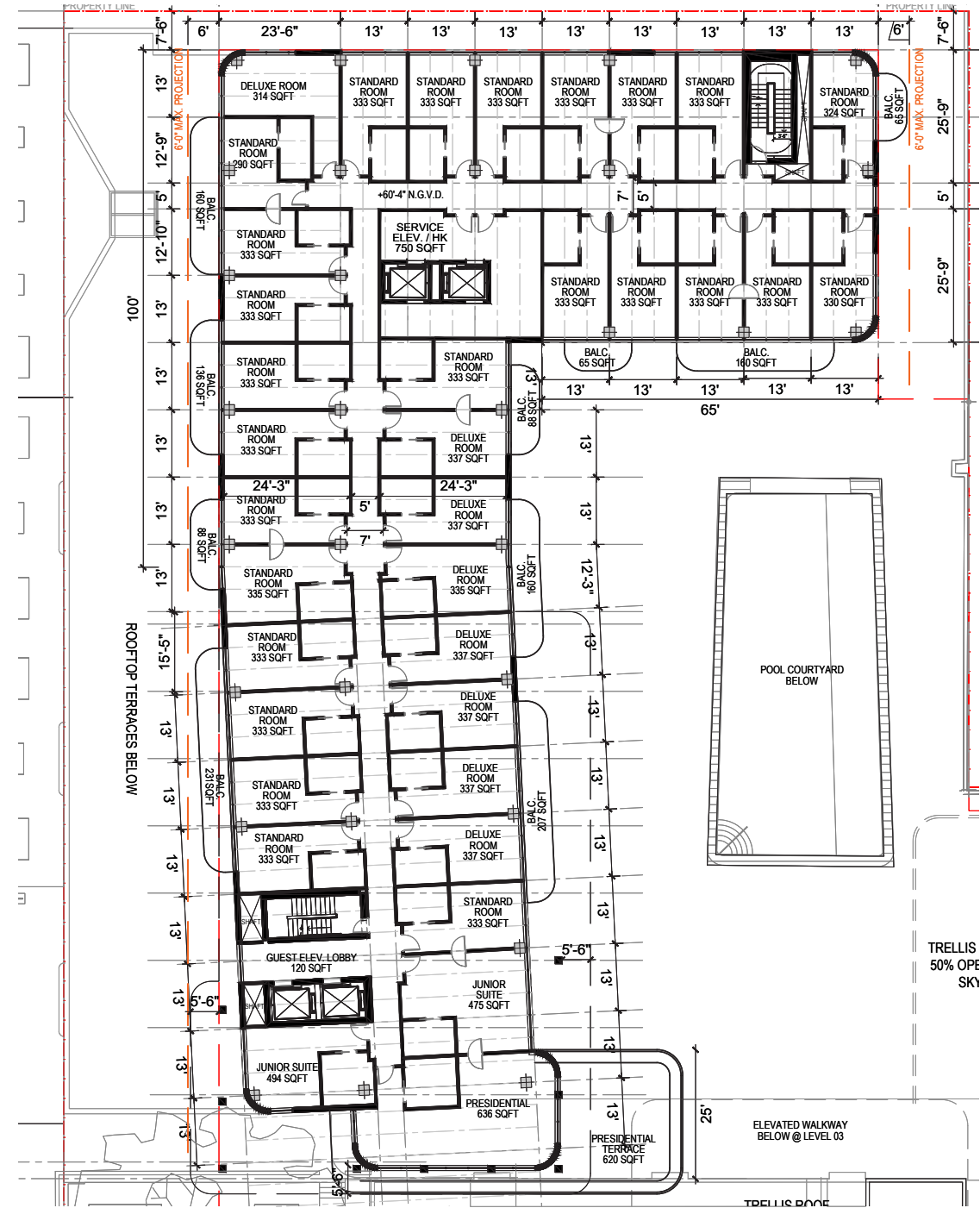
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**PROPOSED PLAN
- LEVEL 05**

A3-11



LEVEL 06: PROPOSED

SCALE: 1/32" = 1'-0"



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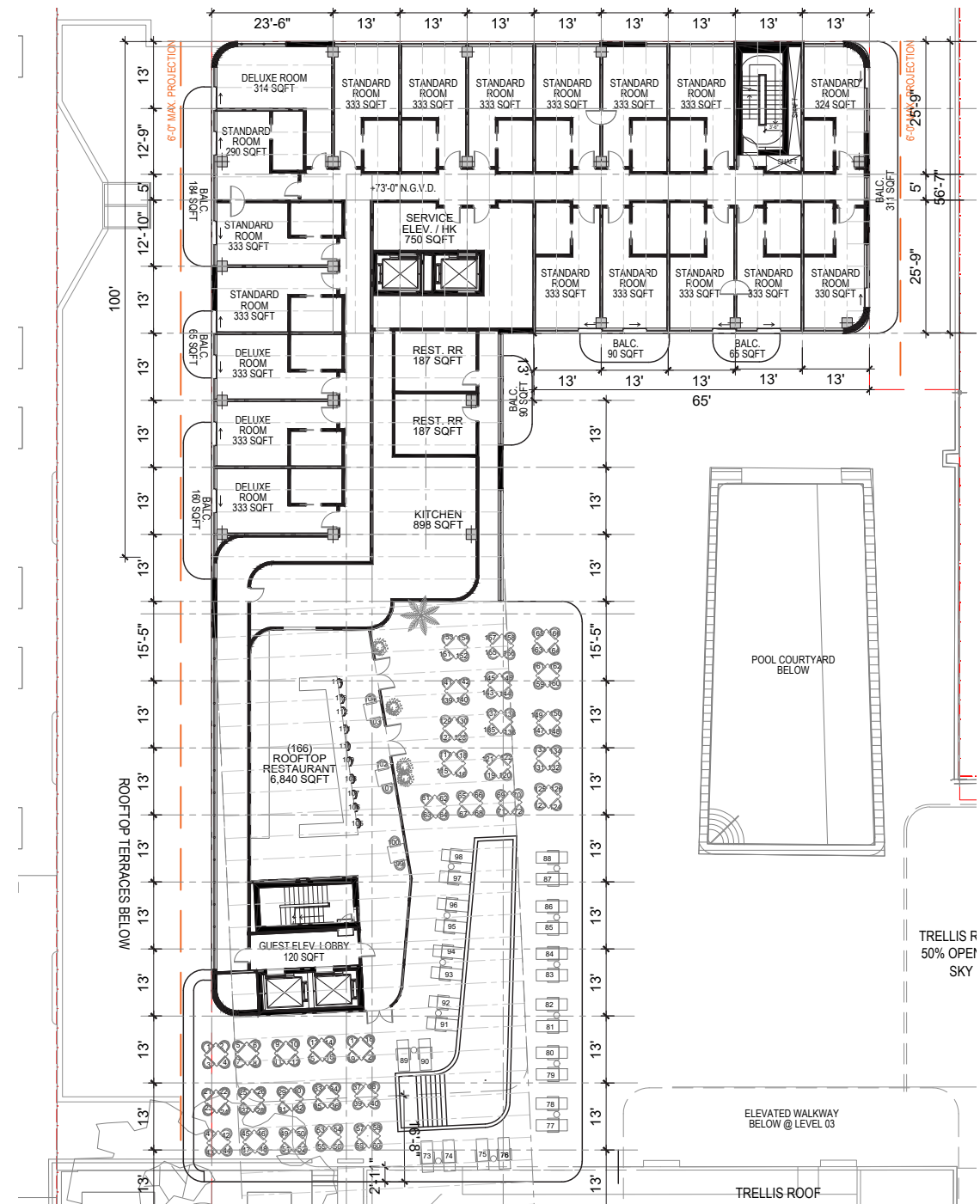
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PROPOSED PLAN
- LEVEL 06

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SCALE: 1/32" = 1'-0"



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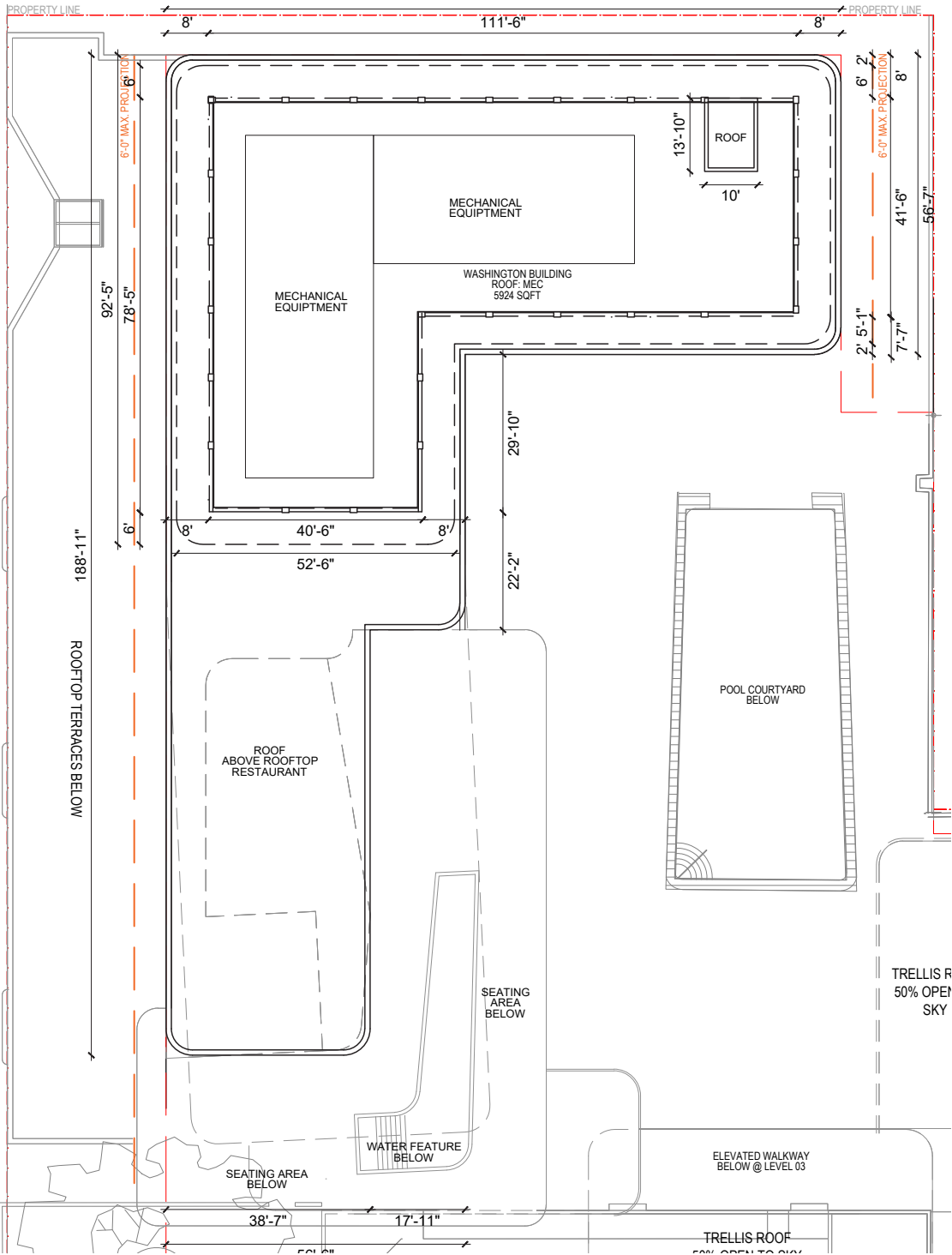
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**PROPOSED PLAN
- LEVEL 07**

A3-13



LEVEL 08: PROPOSED

SCALE: 1/32" = 1'-0"



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PROPOSED PLAN
- LEVEL 08

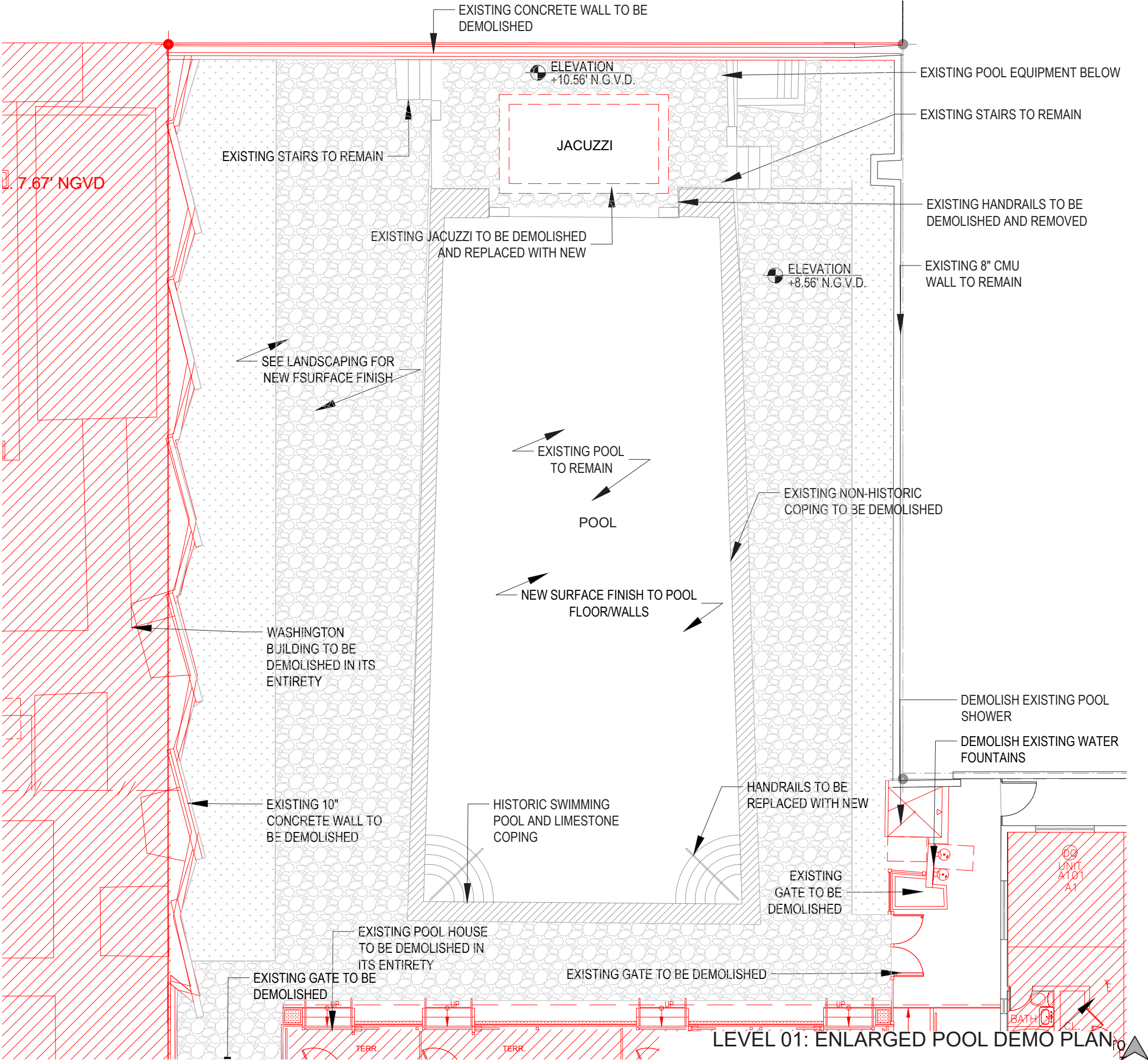
A3-14

LEGEND

- EXISTING STRUCTURE TO BE DEMOLISHED IN ITS ENTIRETY
- EXISTING FLOOR TO BE DEMOLISHED
- EXISTING STRUCTURE TO REMAIN, PRESERVE AND PROTECT

GENERAL NOTES

1. ALL SIGNIFICANT ORIGINAL ARCHITECTURAL FEATURES ARE TO BE RESTORED, PRESERVED AND RETAINED.
2. PROJECT DESIGN MAINTAINS EXISTING FLOOR FINISHES AND VOLUMETRIC INTENT OF ANCILLARY PUBLIC SPACES IN HADDON HALL.
3. EXISTING DOORS AND WINDOWS TO BE REMOVED AND REPLACED WITH NEW TO MEET HURRICANE CODE REQUIREMENTS. PROJECT DESIGN WILL PRESERVE AND RESTORE ALL HISTORICAL ELEMETS TO GENERAL OF EXTERIOR FACADE, HISTORIC LOBBY, WALLS, CEILING AND PORCH UNLESS STATED OTHERWISE.
4. ALL EXTERIOR WALLS MUST BE PROPERLY SHORED DURING AND AFTER DEMOLITION. REFER TO STRUCTURAL ENGINEERING DRAWINGS FOR ADDITIONAL DETAIL.
5. ALL BUILDING STUCCO EXTERIORS TO BE RESTORED AND REPAINTED TO MATCH EXISTING



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ENLARGED PLAN - POOL
DECK DEMOLITION

A3-15



LEGEND

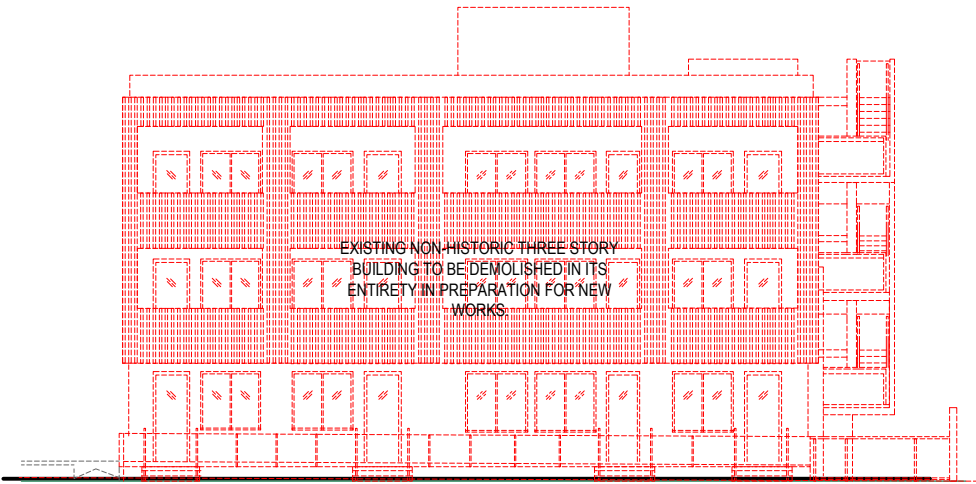
- EXISTING STRUCTURE TO BE DEMOLISHED IN ITS ENTIRETY
- EXISTING FLOOR TO BE DEMOLISHED
- EXISTING STRUCTURE TO REMAIN, PRESERVE AND PROTECT

GENERAL NOTES

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5. ALL EXTERIOR WALLS MUST BE PROPERLY SHORED DURING AND AFTER DEMOLITION. REFER TO STRUCTURAL ENGINEERING DRAWINGS FOR ADDITIONAL DETAIL.
6. ALL BUILDING STUCCO EXTERIORS TO BE RESTORED AND REPAINTED TO MATCH EXISTING

KEYNOTES

- 01 EXISTING DOOR/WINDOW TO REMAIN
- 02 EXISTING DOOR/WINDOW TO BE REPLACED
- 03 EXISTING TERRAZZO FLOOR TO BE REMOVED AND REPLACED WITH SIMILAR
- 04 EXISTING FINISH FLOOR ABOVE TERRAZO TO BE REMOVED, TERRAZO TO BE RESTORED
- 05 EXISTING TERRAZZO FLOOR DETAIL TO BE REPAIRED, RESTORED AND PRESERVED
- 06 EXISTING COLUMNS TO BE REMOVED
- 07 FLOORING TO BE DEMOLISHED, AND TO RECEIVE NEW STRUCTURE
- 08 HISTORIC FOUNTAIN LOCATION TO REMAIN, PRESERVED AND RETAINED
- 09 EXISTING HISTORIC DOORS AND FRAMES TO REMAIN
- 10 ROOFING TO BE REMOVED AND REDONE
- 11 EXISTING EXTERIOR AND ON-GRADE PAVING TO BE REMOVED FOR NEW BREEZEWAY
- 12 EXISTING OVERHANG TO REMAIN
- 13 EXISTING PAVING TO BE REMOVED



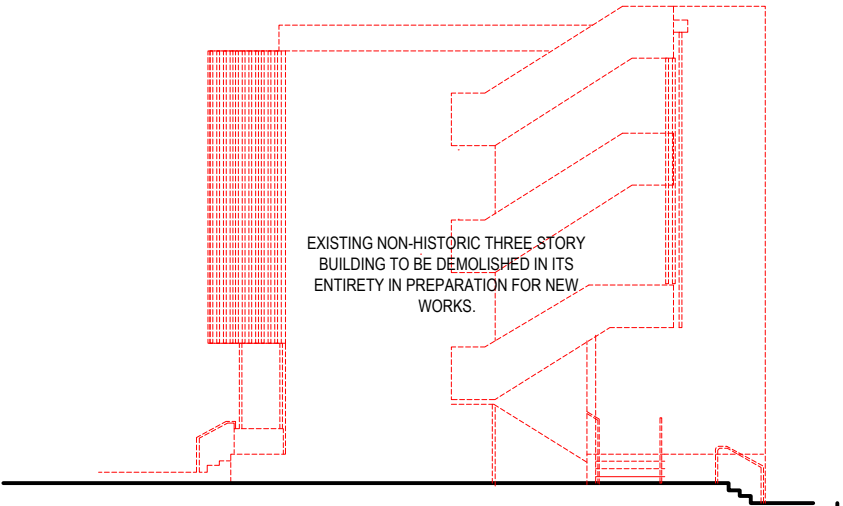
1 | DEMOLITION POOL HOUSE NOTH ELEVATION

SCALE: 1/16"=1'-0"



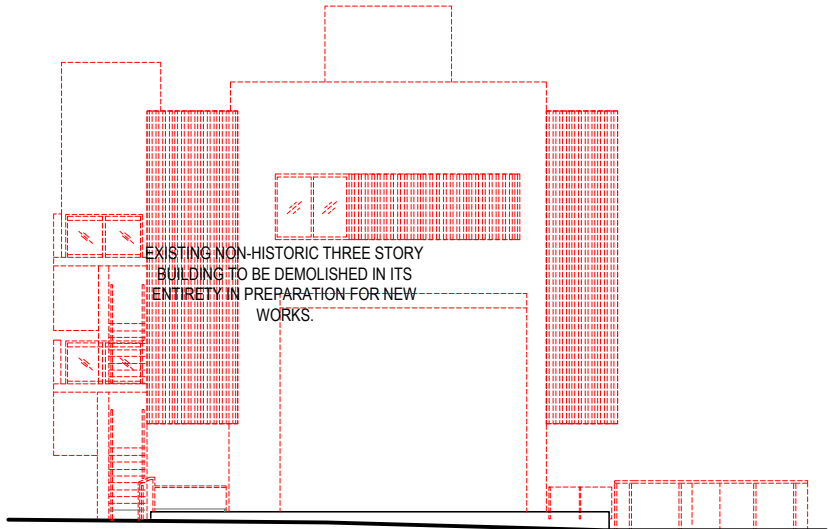
2 | DEMOLITION POOL HOUSE WEST ELEVATION

SCALE: 1/16"=1'-0"



3 | DEMOLITION POOL HOUSE EAST ELEVATION

SCALE: 1/16"=1'-0"

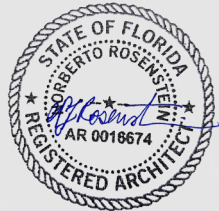


4 | DEMOLITION POOL HOUSE WEST ELEVATION

SCALE: 1/16"=1'-0"

POOL HOUSE DEMO ELEVATIONS

SCALE: 1/16" = 1'-0"



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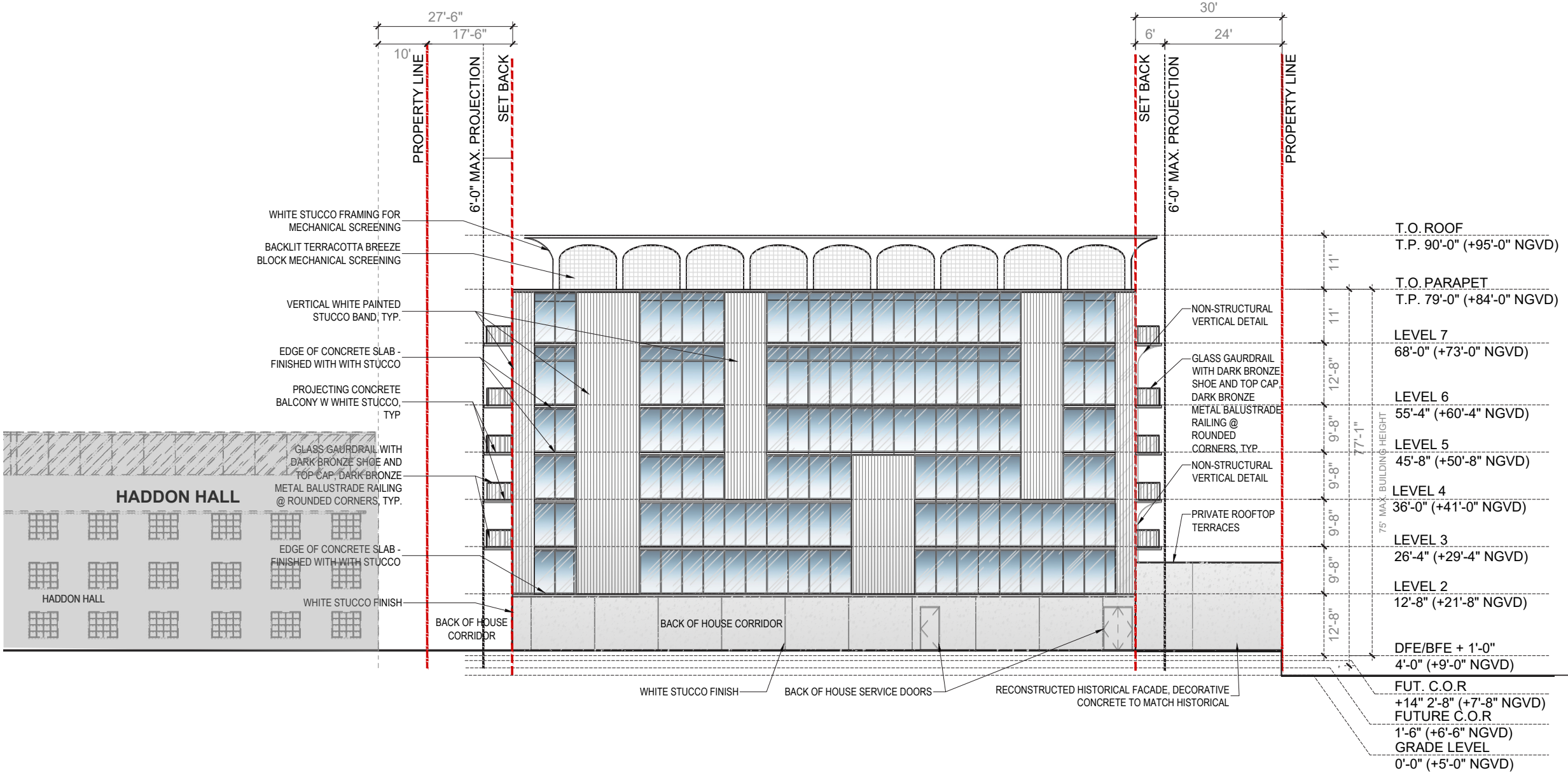
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POOL DECK ELEVATION

A3-17



WASHINGTON NORTH FACADE ELEVATION

SCALE: 1/25" = 1'-0"



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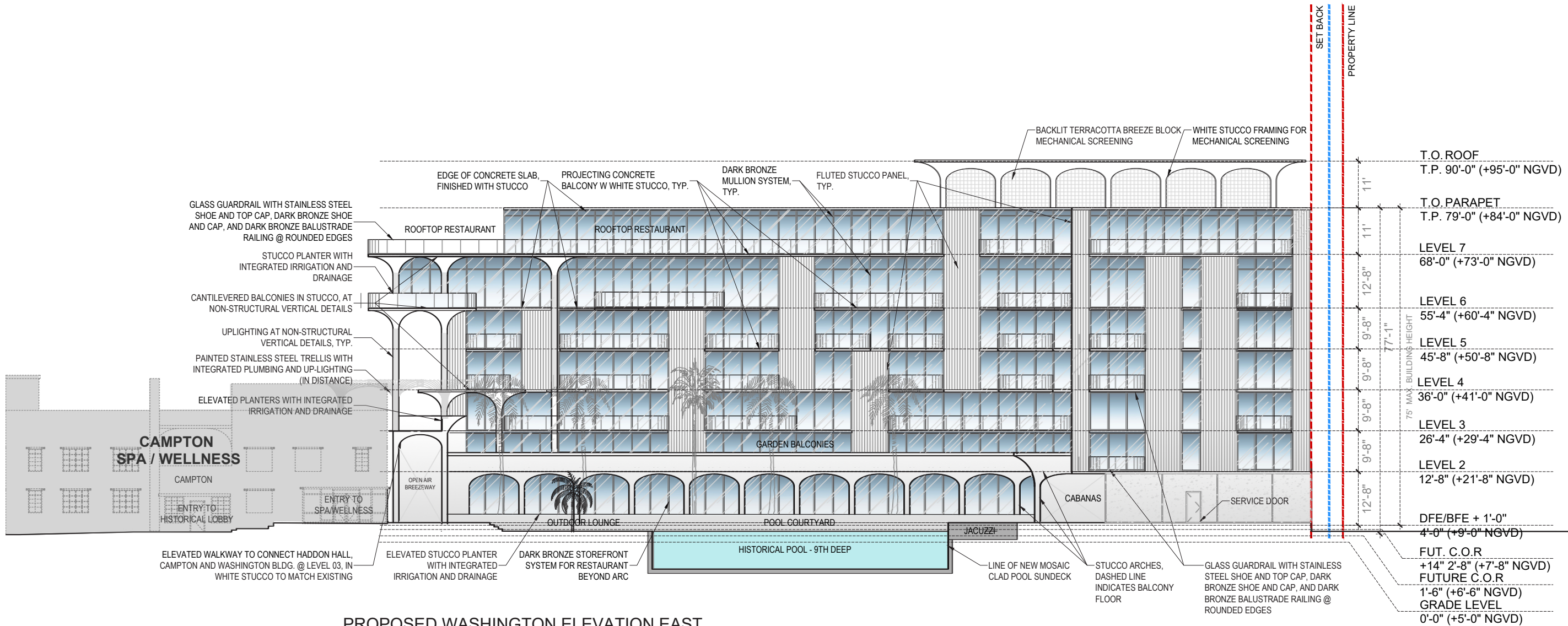
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DEMOLITION / PROPOSED
NORTH ELEVATION

A3-18



PROPOSED WASHINGTON ELEVATION EAST

SCALE: 1 / 25"=1'-0"

WASHINGTON EAST FACADE ELEVATION

SCALE: 1/25" = 1'-0"



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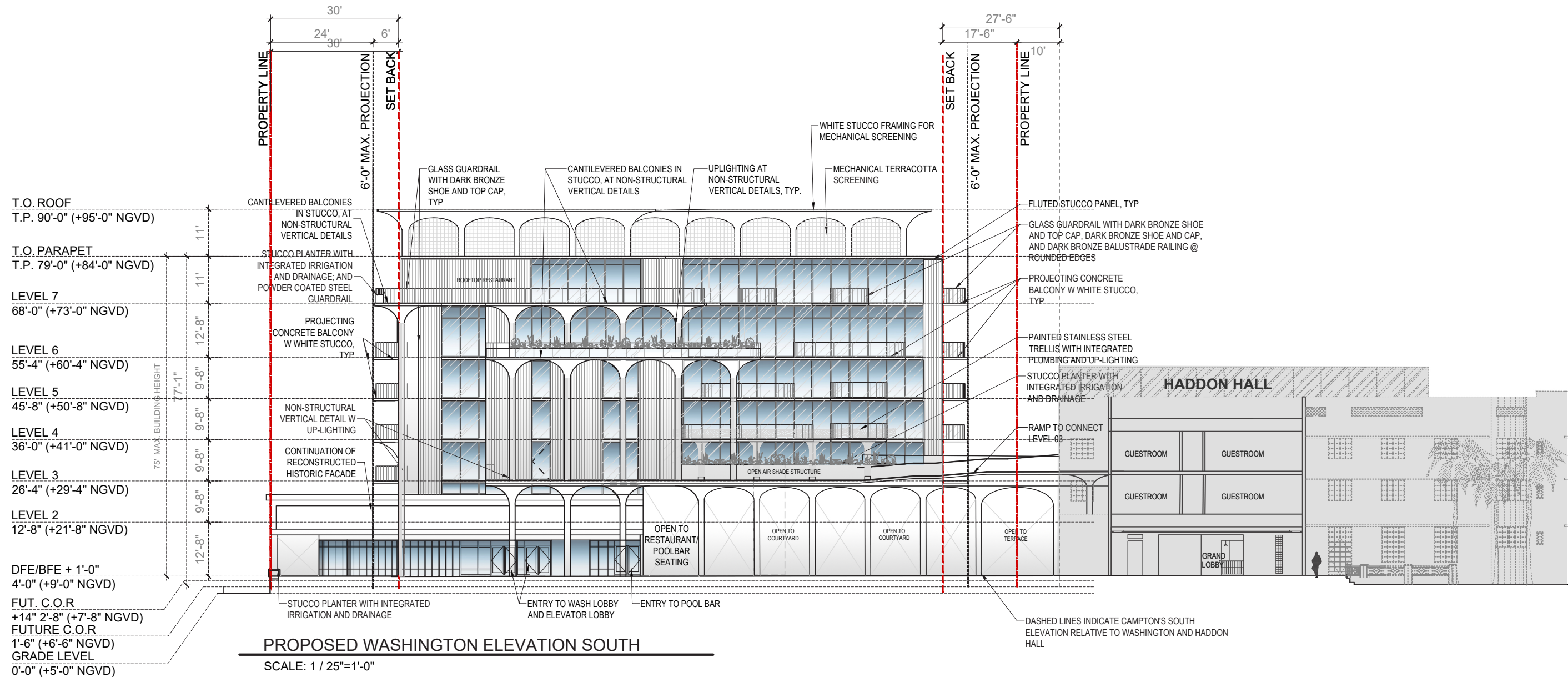
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**DEMOLITION / PROPOSED
EAST ELEVATION**

A3-19



PROPOSED WASHINGTON ELEVATION SOUTH

SCALE: 1 / 25"=1'-0"

WASHINGTON SOUTH FACADE ELEVATION

SCALE: 1/25" = 1'-0"



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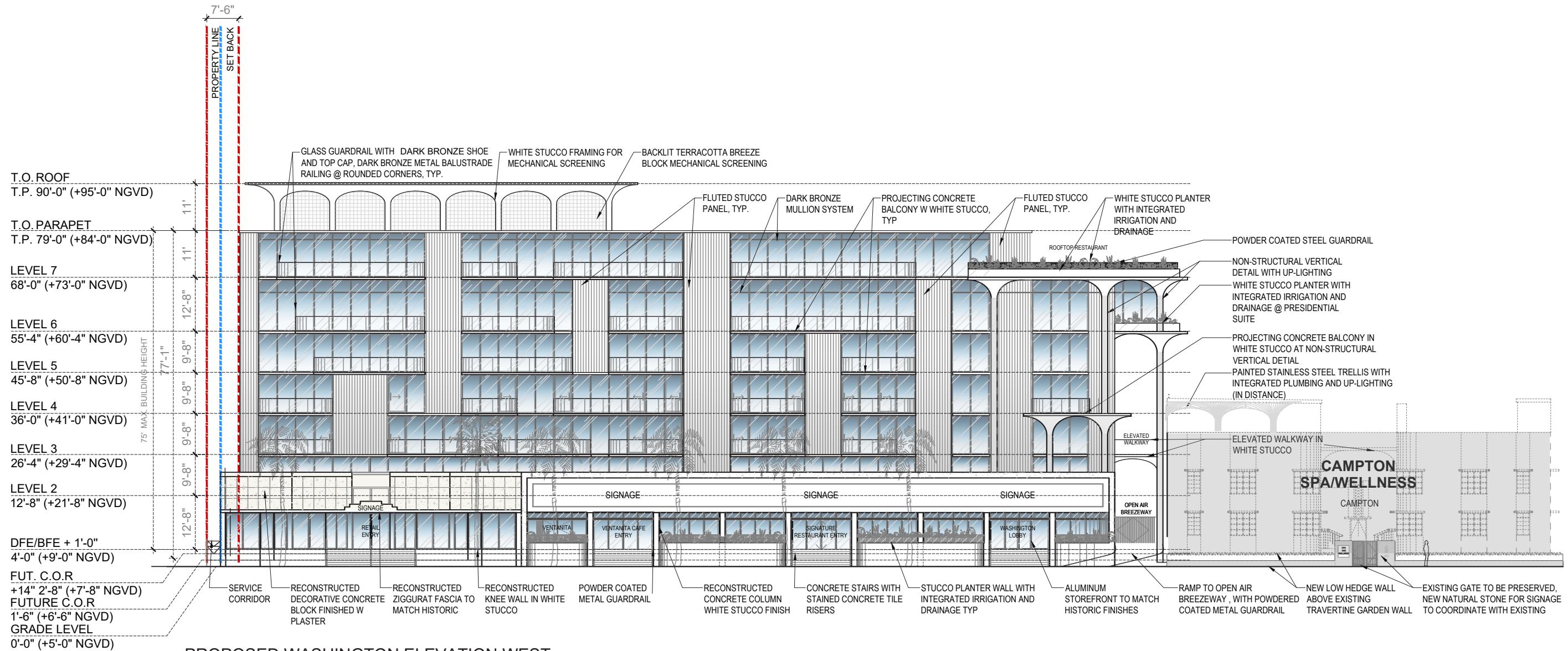
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DEMOLITION / PROPOSED
SOUTH ELEVATION

A3-20



PROPOSED WASHINGTON ELEVATION WEST

SCALE: 1 / 25"=1'-0"

WASHINGTON WEST FACADE ELEVATION (CURRENT COR)

SCALE: 1/25" = 1'-0"



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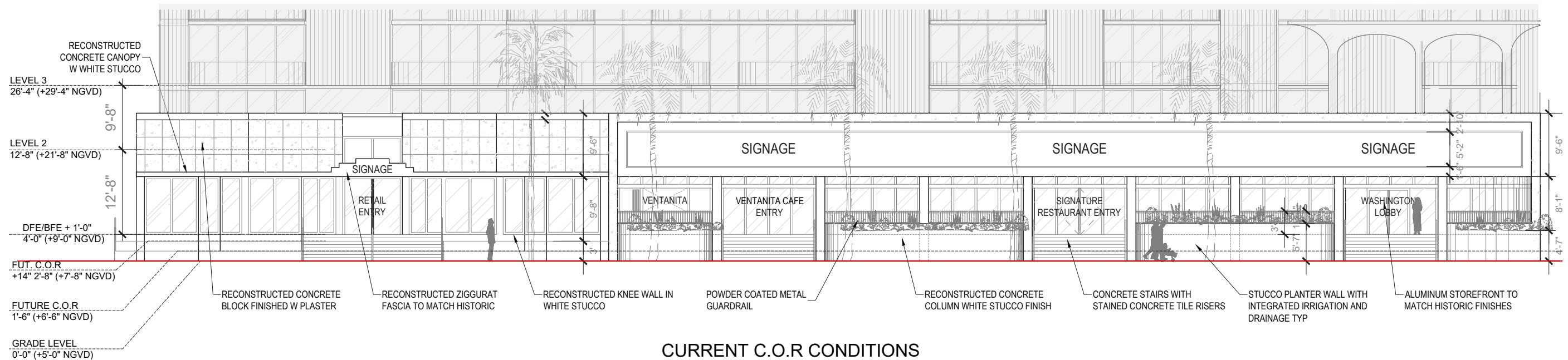
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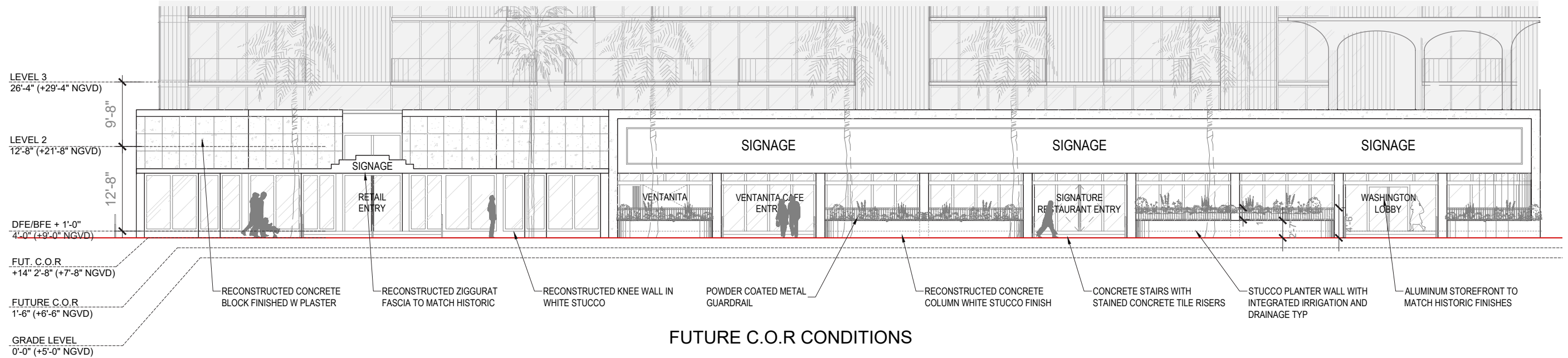
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DEMOLITION / PROPOSED
WEST ELEVATION

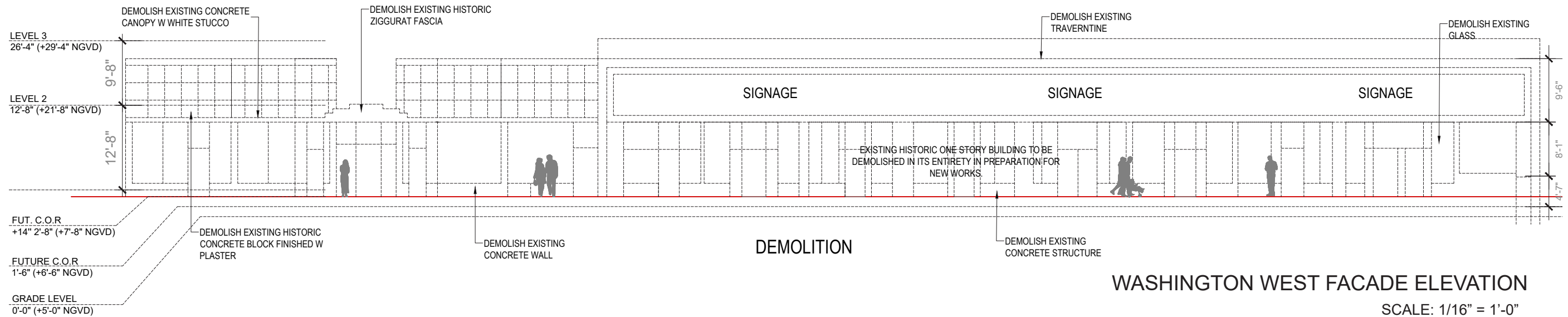
A3-21.A



CURRENT C.O.R CONDITIONS



FUTURE C.O.R CONDITIONS



DEMOLITION

WASHINGTON WEST FACADE ELEVATION

SCALE: 1/16" = 1'-0"



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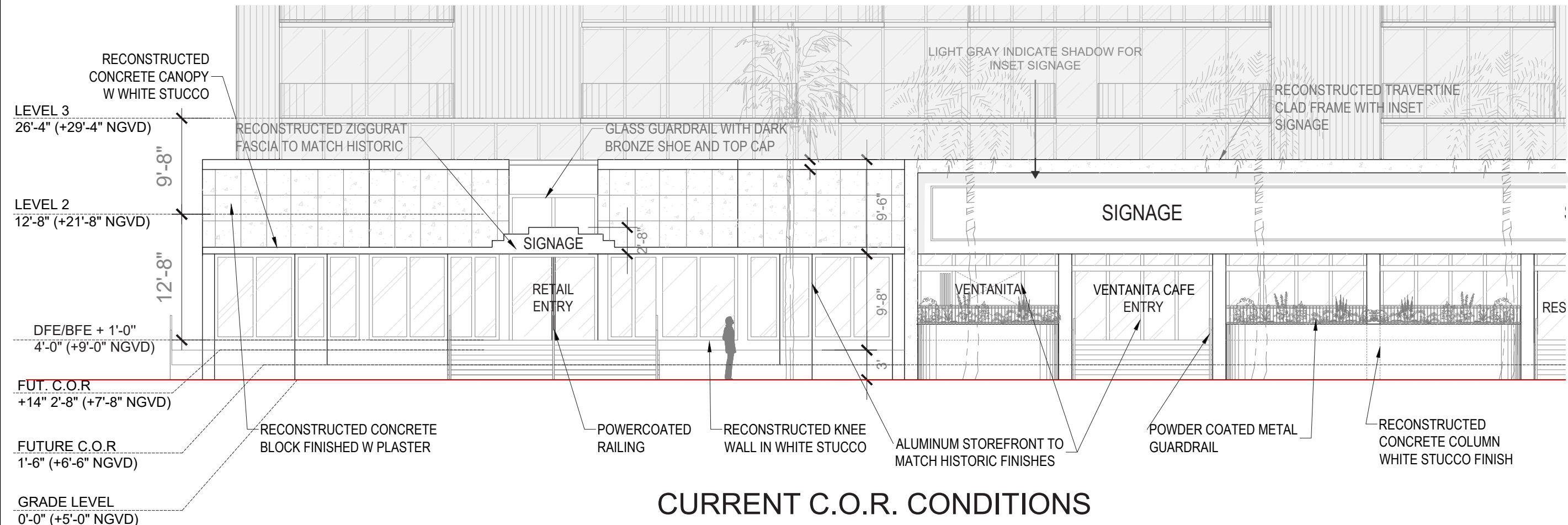
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DEMOLITION / PROPOSED
WEST ELEVATION ENLG.

A3-22



CURRENT C.O.R. CONDITIONS

WASHINGTON WEST FACADE ELEVATION

SCALE: 3/32" = 1'-0"



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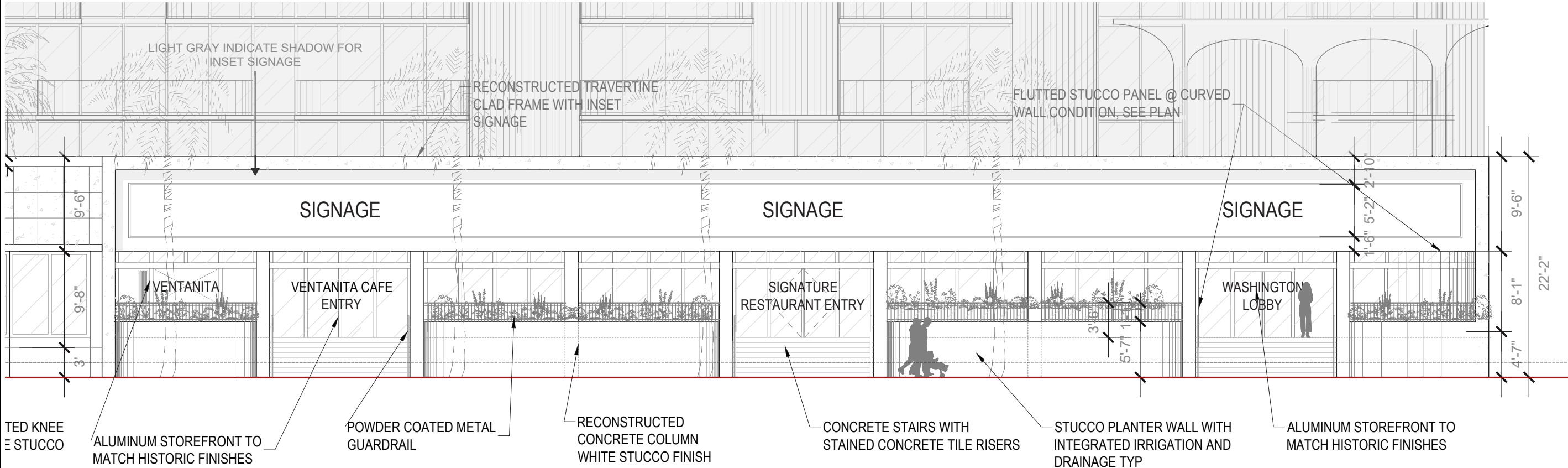
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PROPOSED WEST
ELEVATION ENLG. PART A
A3-22.A



CURRENT C.O.R. CONDITIONS

WASHINGTON WEST FACADE ELEVATION

SCALE: 3/32" = 1'-0"



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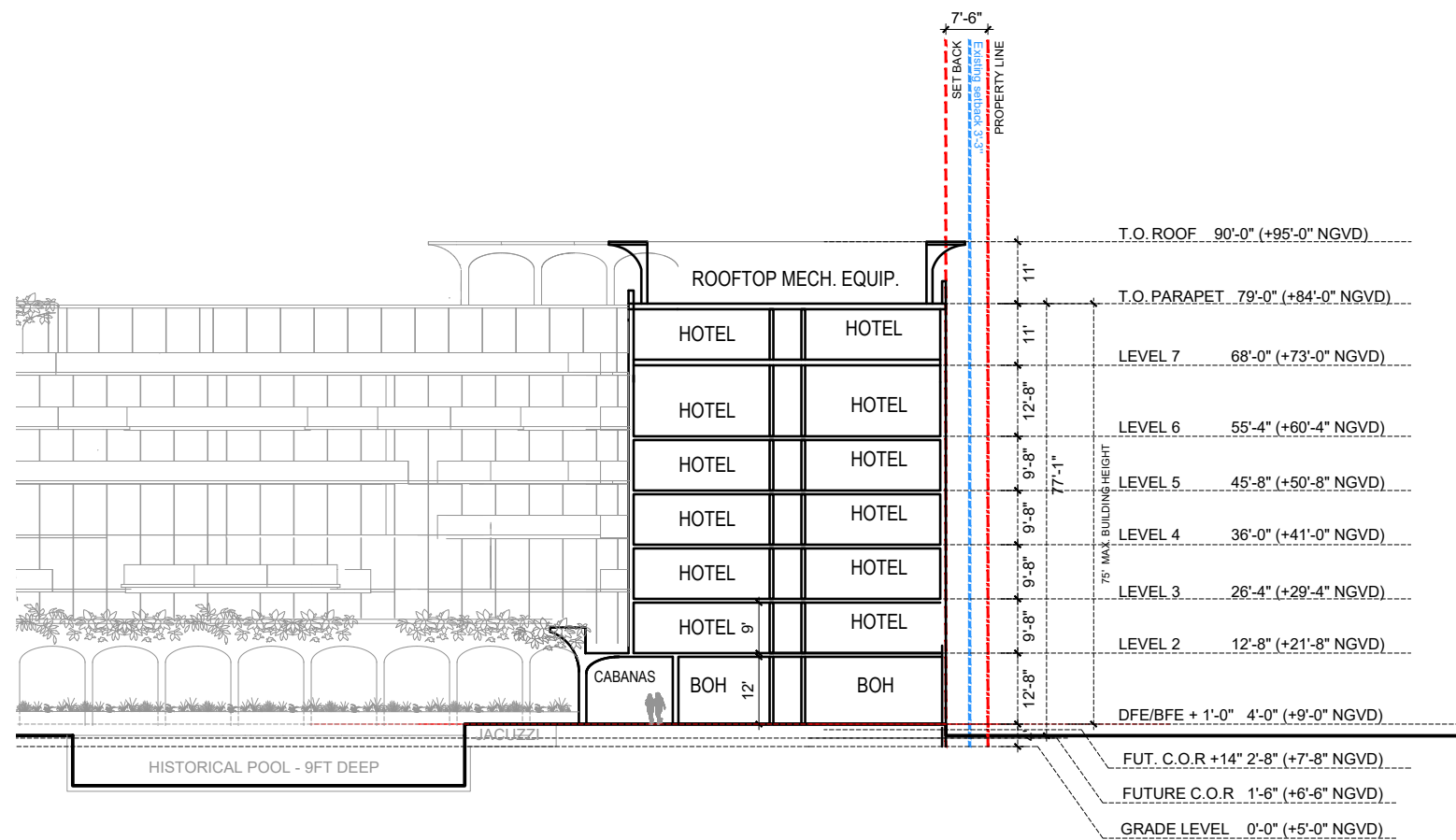
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PROPOSED WEST
ELEVATION ENLG. PART B

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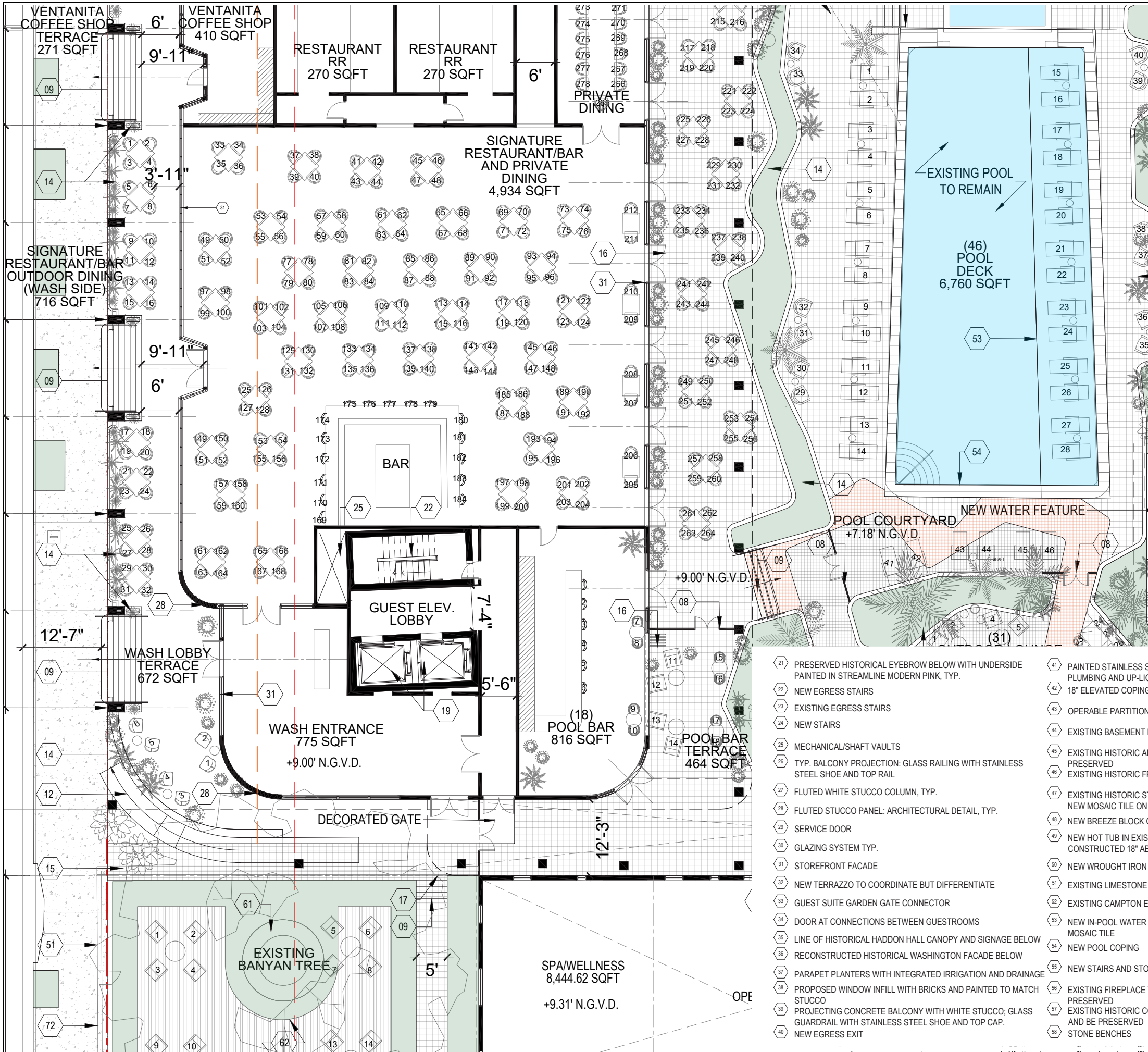
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SECTIONS AT WASHINGTON

A3-23

WASHINGTON SECTION CUTS

SCALE: 1/32" = 1'-0"



- GENERAL NOTES**
- ALL SIGNIFICANT ORIGINAL ARCHITECTURAL FEATURES ARE TO BE RESTORED, PRESERVED AND RETAINED.
 - PROJECT DESIGN MAINTAINS EXISTING FLOOR FINISHES AND VOLUMETRIC INTENT OF ANCILLARY PUBLIC SPACES IN HADDON HALL.
 - EXISTING DOORS AND WINDOWS TO BE REMOVED AND REPLACED WITH NEW TO MEET HURRICANE CODE REQUIREMENTS. PROJECT DESIGN WILL PRESERVE AND RESTORE ALL HISTORICAL ELEMETS TO GENERAL OF EXTERIOR FACADE, HISTORIC LOBBY, WALLS, CEILING AND PORCH UNLESS STATED OTHERWISE.
 - ALL EXTERIOR WALLS MUST BE PROPERLY SHORED DURING AND AFTER DEMOLITION. REFER TO STRUCTURAL ENGINEERING DRAWINGS FOR ADDITIONAL DETAIL.
 - ALL BUILDING STUCCO EXTERIORS TO BE RESTORED AND REPAINTED TO MATCH EXISTING

- KEYNOTES**
- 01 EXISTING DOOR/WINDOW TO REMAIN
 - 02 NEW DOORS
 - 03 NEW ENLARGED WINDOWS (REFERENCE ELEVATIONS)
 - 04 EXISTING HISTORICAL PLANTER TO REMAIN
 - 05 EXISTING TERRACE AND TERRAZZO TO REMAIN
 - 06 EXISTING HISTORICAL ARCHITECTURAL DETAIL TO REMAIN
 - 07 RECONSTRUCTED CONCRETE COLUMN IN WHITE STUCCO FINISH
 - 08 NEW LIFE SAFETY GATE
 - 09 CONCRETE STAIRS WITH STAINED CONCRETE TILE RISERS
 - 10 PRESERVED AND RESTORED HISTORICAL TERRAZZO DETAIL
 - 11 NEW PAIR OF DOORS IN EXISTING WINDOW OPENING. ENLARGE OPENING TO EXTEND TO THE EXISTING TERRACE.
 - 12 NEW RAMP
 - 13 GARDEN BED WITH INTEGRATED IRRIGATION
 - 14 ELEVATED STUCCO PLANTER WITH INTEGRATED IRRIGATION AND DRAINAGE
 - 15 PLANTER BEDS WITH INTEGRATED IRRIGATION AND DRAINAGE
 - 16 OPERABLE GLASS DOORS
 - 17 LINE OF ELEVATED OPEN AIR WALKWAY
 - 18 LINE OF TRELLIS PROJECTION ABOVE @ 50% OPEN TO SKY
 - 19 GUEST ELEVATOR
 - 20 SERVICE ELEVATOR

- 21 PRESERVED HISTORICAL EYEBROW BELOW WITH UNDERSIDE PAINTED IN STREAMLINE MODERN PINK, TYP.
- 22 NEW EGRESS STAIRS
- 23 EXISTING EGRESS STAIRS
- 24 NEW STAIRS
- 25 MECHANICAL/SHAFT VAULTS
- 26 TYP. BALCONY PROJECTION: GLASS RAILING WITH STAINLESS STEEL SHOE AND TOP RAIL
- 27 FLUTED WHITE STUCCO COLUMN, TYP.
- 28 FLUTED STUCCO PANEL: ARCHITECTURAL DETAIL, TYP.
- 29 SERVICE DOOR
- 30 GLAZING SYSTEM TYP.
- 31 STOREFRONT FACADE
- 32 NEW TERRAZZO TO COORDINATE BUT DIFFERENTIATE
- 33 GUEST SUITE GARDEN GATE CONNECTOR
- 34 DOOR AT CONNECTIONS BETWEEN GUESTROOMS
- 35 LINE OF HISTORICAL HADDON HALL CANOPY AND SIGNAGE BELOW
- 36 RECONSTRUCTED HISTORICAL WASHINGTON FACADE BELOW
- 37 PARAPET PLANTERS WITH INTEGRATED IRRIGATION AND DRAINAGE
- 38 PROPOSED WINDOW INFILL WITH BRICKS AND PAINTED TO MATCH STUCCO
- 39 PROJECTING CONCRETE BALCONY WITH WHITE STUCCO; GLASS GUARDRAIL WITH STAINLESS STEEL SHOE AND TOP CAP.
- 40 NEW EGRESS EXIT
- 41 PAINTED STAINLESS STEEL TRELLIS WITH INTEGRATED PLUMBING AND UP-LIGHTING; 50% OPEN TO SKY
- 42 18" ELEVATED COPING @ WATER FEATURE
- 43 OPERABLE PARTITIONS
- 44 EXISTING BASEMENT LEVEL ENTRY
- 45 EXISTING HISTORIC ADDRESS MONUMENT SIGN TO BE PRESERVED
- 46 EXISTING HISTORIC FRIEZE TO REMAIN
- 47 EXISTING HISTORIC STATUE AND FOUNTAIN TO REMAIN, NEW MOSAIC TILE ON BASE AND INSIDE HISTORIC BASIN
- 48 NEW BREEZE BLOCK GREEN WALL
- 49 NEW HOT TUB IN EXISTING LOCATION CONSTRUCTED 18" ABOVE FINISH FLOOR
- 50 NEW WROUGHT IRON FENCE
- 51 EXISTING LIMESTONE GARDENWALL
- 52 EXISTING CAMPTON ENTRY GATE TO BE PRESERVED
- 53 NEW IN-POOL WATER LEDGE WITH CUSTOM MOSAIC TILE
- 54 NEW POOL COPING
- 55 NEW STAIRS AND STONE GUARDRAIL
- 56 EXISTING FIREPLACE TO REMAIN AND BE PRESERVED
- 57 EXISTING HISTORIC COUNTER TO REMAIN AND BE PRESERVED
- 58 STONE BENCHES
- 59 COLUMN OF PAINTED STAINLESS STEEL TRELLIS WITH INTEGRATED PLUMBING AND UP-LIGHTING; 50% OPEN TO SKY
- 60 LOCATION FOR SIGNAGE
- 61 EXISTING LANDSCAPE TO REMAIN
- 62 NEW HARDSCAPE (REF. LANDSCAPE)
- 63 WALK-UP WINDOW AND COUNTER
- 64 EXISTING LIMESTONE POOL DECK TO REMAIN
- 65 PROPOSED DOOR @ LEVEL 03 TO CONNECT TO ARCHITECTURAL BREEZEWAY/ELEVATED WALKWAY NEW ROOF SYSTEM
- 67 BACKLIT TERRACOTTA BREEZE BLOCK MECHANICAL SCREENING
- 68 POWDER COATED STEEL GUARDRAIL
- 69 EXISTING COLUMN TO REMAIN
- 70 NON-STRUCTURAL VERTICAL DETAIL
- 71 SLIDING DOOR GLAZING SYSTEM

LEVEL 01
SCALE: 1/16" = 1'-0"



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ENLARGED PLAN -
WASH. LEVEL 01 PART A
A3-24



GENERAL NOTES

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6. ALL BUILDING STUCCO EXTERIORS TO BE RESTORED AND REPAINTED TO MATCH EXISTING

KEYNOTES

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- 04 EXISTING HISTORICAL PLANTER TO REMAIN
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- 56 EXISTING FIREPLACE TO REMAIN AND BE PRESERVED
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LEVEL 01

SCALE: 1/16" = 1'-0"



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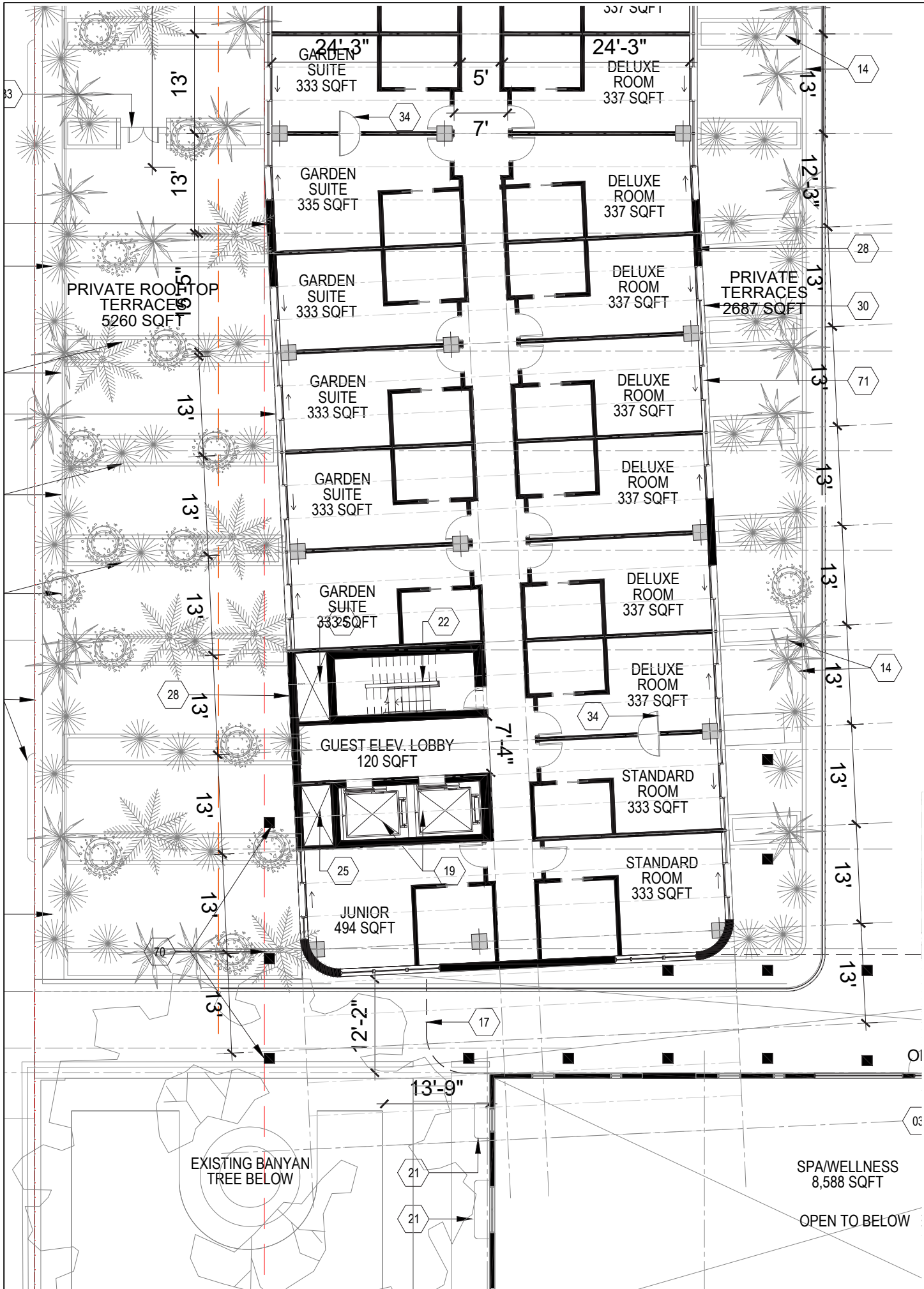
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ENLARGED PLAN -
WASH. LEVEL 01 PART B
A3-25



- 21 PRESERVED HISTORICAL EYEBROW BELOW WITH UNDERSIDE PAINTED IN STREAMLINE MODERN PINK, TYP.
- 22 NEW EGRESS STAIRS
- 23 EXISTING EGRESS STAIRS
- 24 NEW STAIRS
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- 28 FLUTED STUCCO PANEL: ARCHITECTURAL DETAIL, TYP.
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- 30 GLAZING SYSTEM TYP.
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- 43 OPERABLE PARTITIONS
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- 46 EXISTING HISTORIC FRIEZE TO REMAIN
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- 48 NEW BREEZE BLOCK GREEN WALL
- 49 NEW HOT TUB IN EXISTING LOCATION
- 50 NEW WROUGHT IRON FENCE
- 51 EXISTING LIMESTONE GARDENWALL
- 52 EXISTING CAMPTON ENTRY GATE TO BE PRESERVED
- 53 NEW IN-POOL WATER LEDGE WITH CUSTOM MOSAIC TILE
- 54 NEW POOL COPING
- 55 NEW STAIRS AND STONE GUARDRAIL
- 56 EXISTING FIREPLACE TO REMAIN AND BE PRESERVED
- 57 EXISTING HISTORIC COUNTER TO REMAIN AND BE PRESERVED
- 58 STONE BENCHES

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- 60 LOCATION FOR SIGNAGE
- 61 EXISTING LANDSCAPE TO REMAIN
- 62 NEW HARDSCAPE (REF. LANDSCAPE)
- 63 WALK-UP WINDOW AND COUNTER
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- 65 PROPOSED DOOR @ LEVEL 03 TO CONNECT TO ARCHITECTURAL BREEZEWAY/ELEVATED WALKWAY NEW ROOF SYSTEM
- 67 BACKLIT TERRACOTTA BREEZE BLOCK MECHANICAL SCREENING
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- 07 RECONSTRUCTED CONCRETE COLUMN IN WHITE STUCCO FINISH
- 08 NEW LIFE SAFETY GATE
- 09 CONCRETE STAIRS WITH STAINED CONCRETE TILE RISERS
- 10 PRESERVED AND RESTORED HISTORICAL TERRAZZO DETAIL
- 11 NEW PAIR OF DOORS IN EXISTING WINDOW OPENING. ENLARGE OPENING TO EXTEND TO THE EXISTING TERRACE.
- 12 NEW RAMP
- 13 GARDEN BED WITH INTEGRATED IRRIGATION
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- 16 OPERABLE GLASS DOORS
- 17 LINE OF ELEVATED OPEN AIR WALKWAY
- 18 LINE OF TRELLIS PROJECTION ABOVE @ 50% OPEN TO SKY
- 19 GUEST ELEVATOR
- 20 SERVICE ELEVATOR

LEVEL 02

SCALE: 1/16" = 1'-0"



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architect

**NORBERTO ROSENSTEIN
ARCHITECT, INC.**
ARCHITECTURE - INTERIOR DESIGN - PLANNING
126 S. FEDERAL HIGHWAY SUITE #202
DANIA BEACH, FLORIDA 33004
P: (954) 922-6551
NROSENSTEIN@ROSENSTEINARCHITECT.COM
WWW.ROSENSTEINARCHITECT.COM

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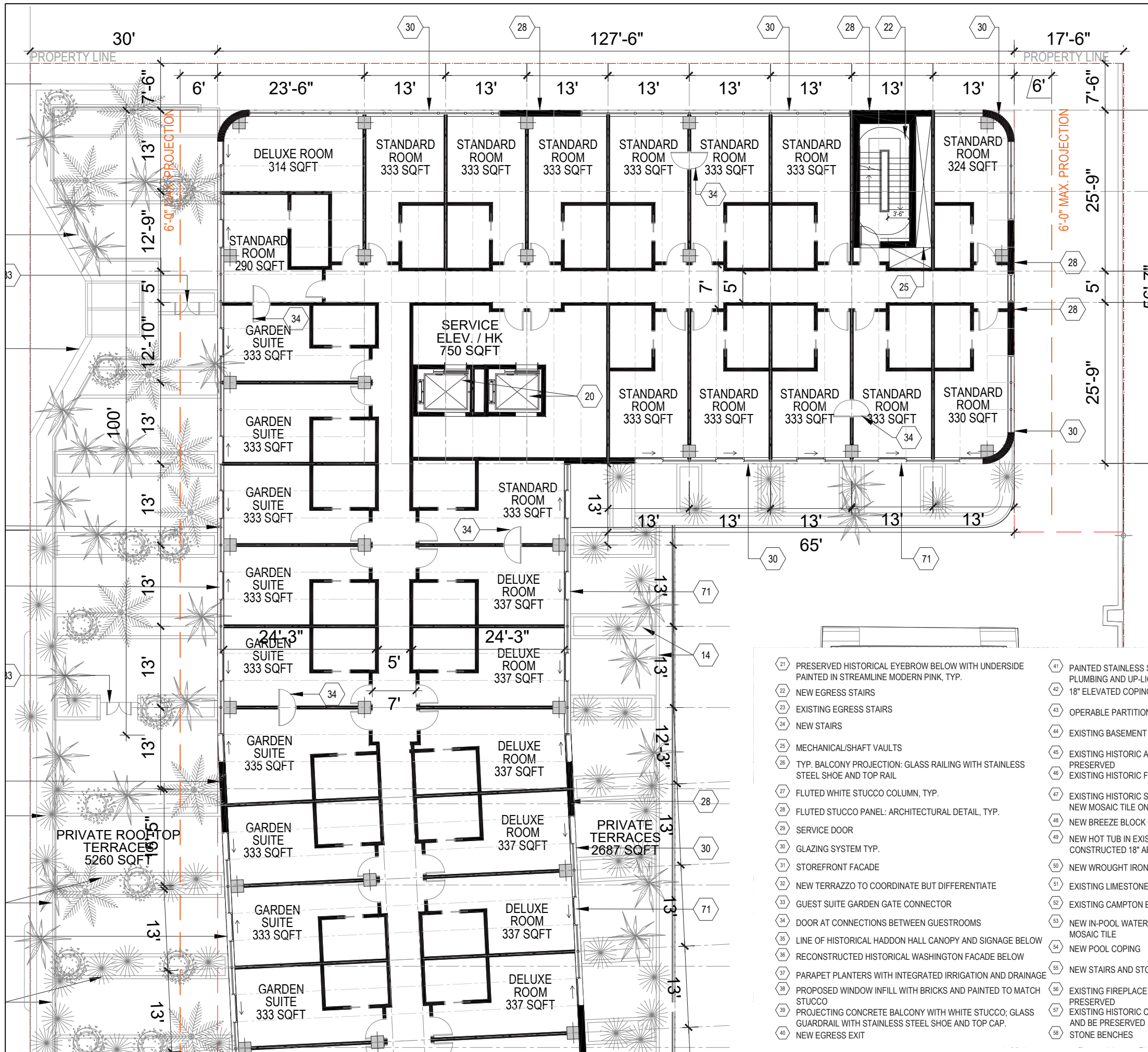
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**ENLARGED PLAN -
WASH. LEVEL 02 PART A**
A3-26



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LEVEL 02
SCALE: 1/16" = 1'-0"



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ARCHITECT, INC.**
ARCHITECTURE - INTERIOR DESIGN - PLANNING
126 S. FEDERAL HIGHWAY SUITE #202
DANIA BEACH, FLORIDA 33004
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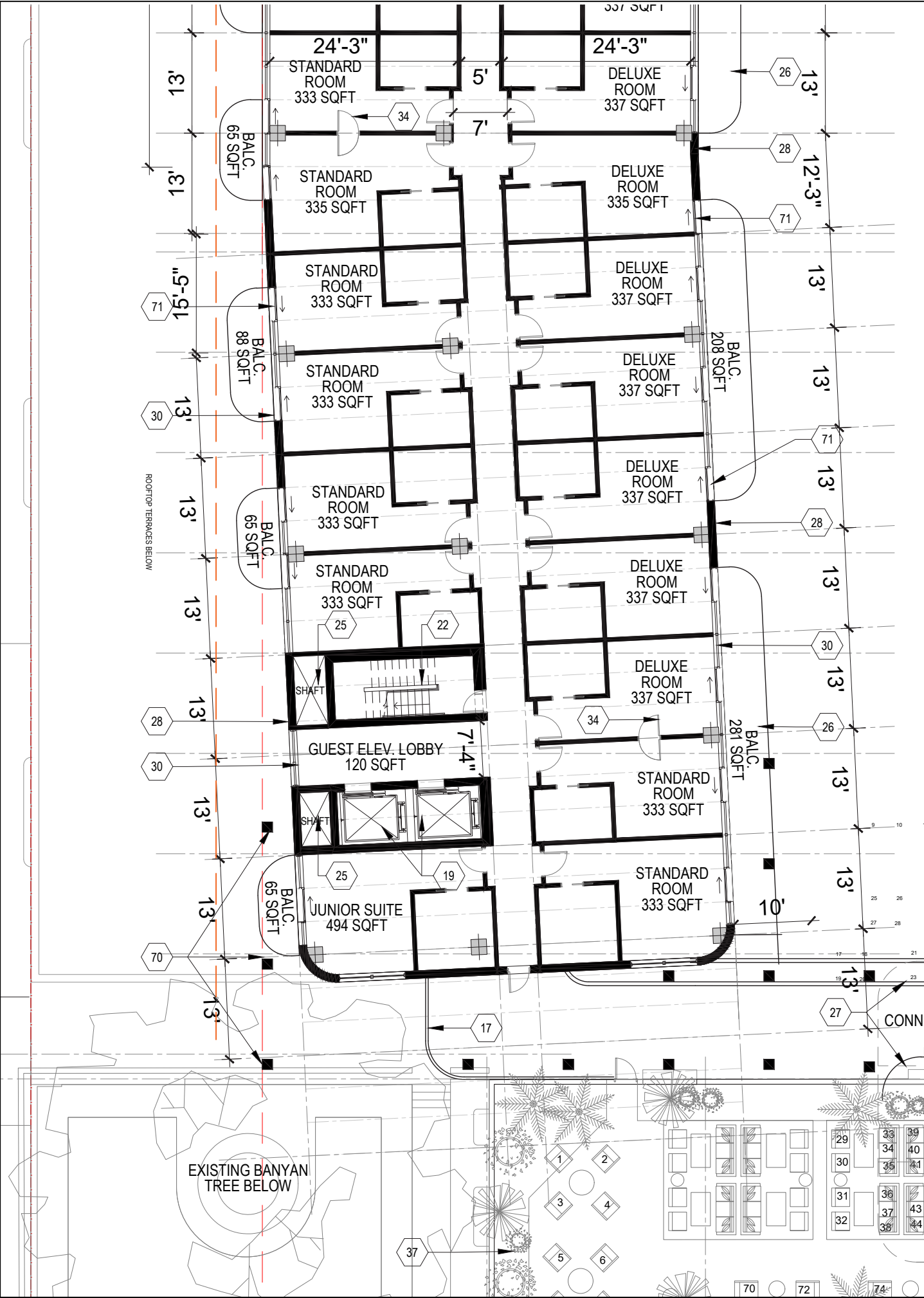
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**ENLARGED PLAN -
WASH. LEVEL 02 PART B**
A3-27



- 21 PRESERVED HISTORICAL EYEBROW BELOW WITH UNDERSIDE PAINTED IN STREAMLINE MODERN PINK, TYP.
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ROOF OF TRELLIS PROJECTION BELOW @ LEVEL 01, AND 03 (50% OPEN TO SKY)

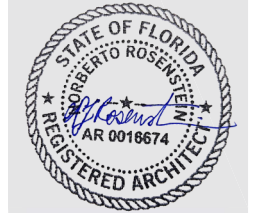
POOL COURTYARD BELOW

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architect

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ARCHITECTURE - INTERIOR DESIGN - PLANNING
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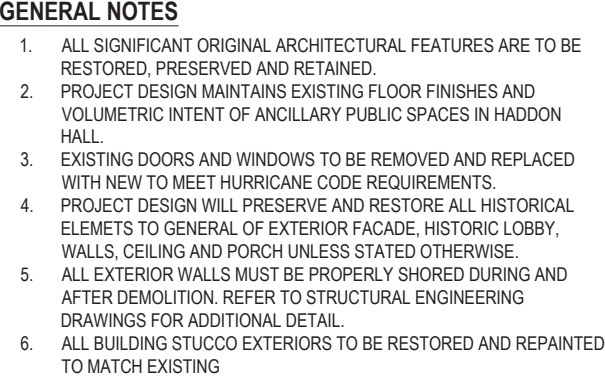
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ENLARGED PLAN - WASH. LEVEL 03 PART A
A3-28

LEVEL 03
SCALE: 1/16" = 1'-0"
N



- 01 EXISTING DOOR/WINDOW TO REMAIN
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|--|---|---|
- LEVEL 03**

SCALE: 1/16" = 1'-0"



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NORBERTO ROSENSTEIN
ARCHITECT, INC.

ARCHITECTURE - INTERIOR DESIGN - PLANNING
126 S. FEDERAL HIGHWAY SUITE #202
DANIA BEACH, FLORIDA 33004
P: (954) 922-6551
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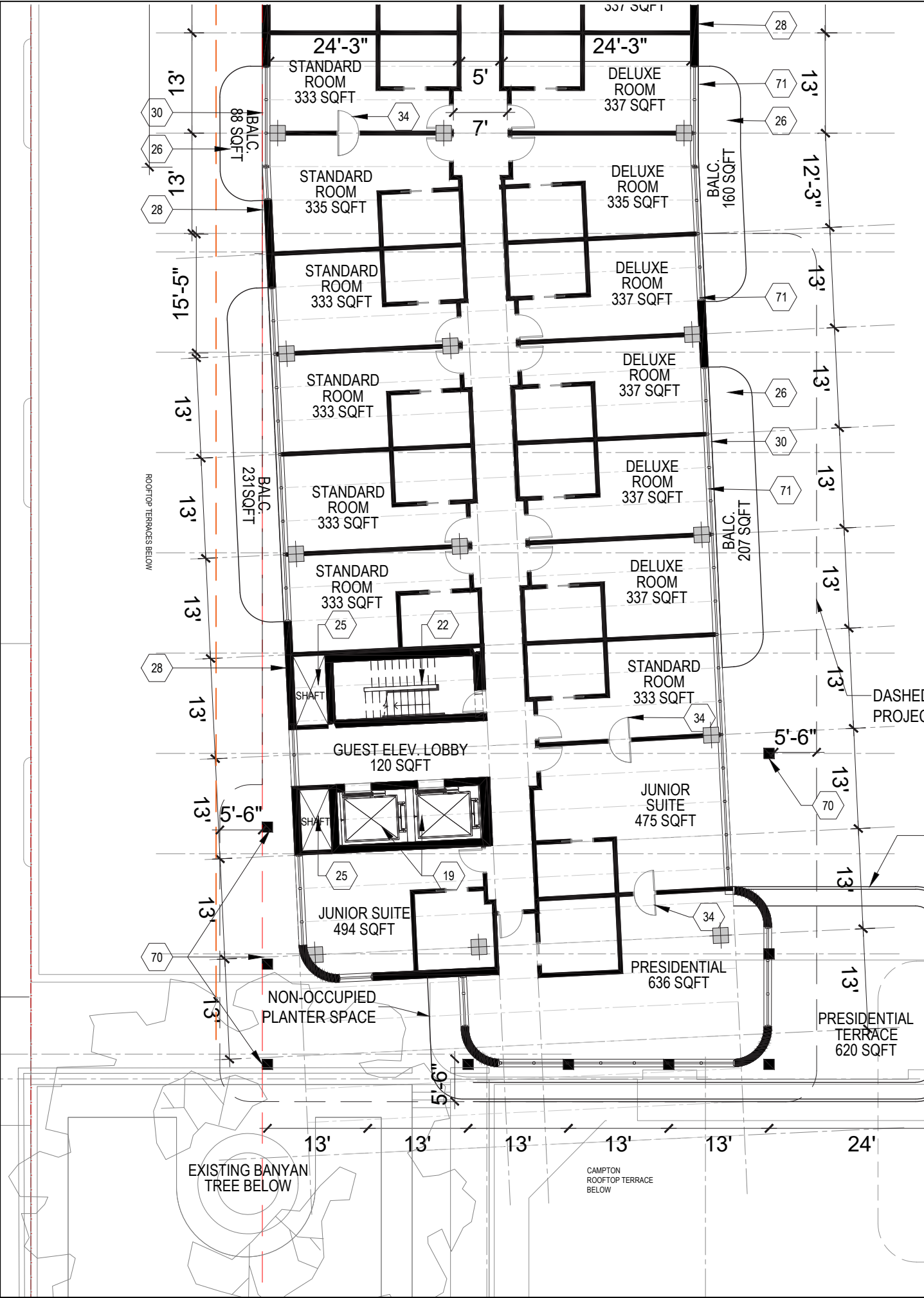
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ENLARGED PLAN -
WASH. LEVEL 03 PART B

A3-29

LEVEL 03
SCALE: 1/16" = 1'-0"



- 21 PRESERVED HISTORICAL EYEBROW BELOW WITH UNDERSIDE PAINTED IN STREAMLINE MODERN PINK, TYP.
- 22 NEW EGRESS STAIRS
- 23 EXISTING EGRESS STAIRS
- 24 NEW STAIRS
- 25 MECHANICAL/SHAFT VAULTS
- 26 TYP. BALCONY PROJECTION: GLASS RAILING WITH STAINLESS STEEL SHOE AND TOP RAIL
- 27 FLUTED WHITE STUCCO COLUMN, TYP.
- 28 FLUTED STUCCO PANEL: ARCHITECTURAL DETAIL, TYP.
- 29 SERVICE DOOR
- 30 GLAZING SYSTEM TYP.
- 31 STOREFRONT FACADE
- 32 NEW TERRAZZO TO COORDINATE BUT DIFFERENTIATE
- 33 GUEST SUITE GARDEN GATE CONNECTOR
- 34 DOOR AT CONNECTIONS BETWEEN GUESTROOMS
- 35 LINE OF HISTORICAL HADDON HALL CANOPY AND SIGNAGE BELOW
- 36 RECONSTRUCTED HISTORICAL WASHINGTON FACADE BELOW
- 37 PARAPET PLANTERS WITH INTEGRATED IRRIGATION AND DRAINAGE
- 38 PROPOSED WINDOW INFILL WITH BRICKS AND PAINTED TO MATCH STUCCO
- 39 PROJECTING CONCRETE BALCONY WITH WHITE STUCCO; GLASS GUARDRAIL WITH STAINLESS STEEL SHOE AND TOP CAP.
- 40 NEW EGRESS EXIT

- 41 PAINTED STAINLESS STEEL TRELLIS WITH INTEGRATED PLUMBING AND UP-LIGHTING; 50% OPEN TO SKY
- 42 18" ELEVATED COPING @ WATER FEATURE
- 43 OPERABLE PARTITIONS
- 44 EXISTING BASEMENT LEVEL ENTRY
- 45 EXISTING HISTORIC ADDRESS MONUMENT SIGN TO BE PRESERVED
- 46 EXISTING HISTORIC FRIEZE TO REMAIN
- 47 EXISTING HISTORIC STATUE AND FOUNTAIN TO REMAIN, NEW MOSAIC TILE ON BASE AND INSIDE HISTORIC BASIN
- 48 NEW BREEZE BLOCK GREEN WALL
- 49 NEW HOT TUB IN EXISTING LOCATION
- 50 CONSTRUCTED 18" ABOVE FINISH FLOOR
- 51 NEW WROUGHT IRON FENCE
- 52 EXISTING LIMESTONE GARDENWALL
- 53 EXISTING CAMPTON ENTRY GATE TO BE PRESERVED
- 54 NEW IN-POOL WATER LEDGE WITH CUSTOM MOSAIC TILE
- 55 NEW POOL COPING
- 56 NEW STAIRS AND STONE GUARDRAIL
- 57 EXISTING FIREPLACE TO REMAIN AND BE PRESERVED
- 58 EXISTING HISTORIC COUNTER TO REMAIN AND BE PRESERVED
- 59 STONE BENCHES

- 59 COLUMN OF PAINTED STAINLESS STEEL TRELLIS WITH INTEGRATED PLUMBING AND UP-LIGHTING; 50% OPEN TO SKY
- 60 LOCATION FOR SIGNAGE
- 61 EXISTING LANDSCAPE TO REMAIN
- 62 NEW HARDSCAPE (REF. LANDSCAPE)
- 63 WALK-UP WINDOW AND COUNTER
- 64 EXISTING LIMESTONE POOL DECK TO REMAIN
- 65 PROPOSED DOOR @ LEVEL 03 TO CONNECT TO ARCHITECTURAL BREEZEWAY/ELEVATED WALKWAY
- 66 NEW ROOF SYSTEM
- 67 BACKLIT TERRACOTTA BREEZE BLOCK
- 68 MECHANICAL SCREENING
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 - 06 EXISTING HISTORICAL ARCHITECTURAL DETAIL TO REMAIN
 - 07 RECONSTRUCTED CONCRETE COLUMN IN WHITE STUCCO FINISH
 - 08 NEW LIFE SAFETY GATE
 - 09 CONCRETE STAIRS WITH STAINED CONCRETE TILE RISERS
 - 10 PRESERVED AND RESTORED HISTORICAL TERRAZZO DETAIL
 - 11 NEW PAIR OF DOORS IN EXISTING WINDOW OPENING. ENLARGE OPENING TO EXTEND TO THE EXISTING TERRACE.
 - 12 NEW RAMP
 - 13 GARDEN BED WITH INTEGRATED IRRIGATION
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 - 15 PLANTER BEDS WITH INTEGRATED IRRIGATION AND DRAINAGE
 - 16 OPERABLE GLASS DOORS
 - 17 LINE OF ELEVATED OPEN AIR WALKWAY
 - 18 LINE OF TRELLIS PROJECTION ABOVE @ 50% OPEN TO SKY
 - 19 GUEST ELEVATOR
 - 20 SERVICE ELEVATOR

DASHED LINE INDICATES BALCONY PROJECTION ON LEVEL 07

TRELLIS R
50% OPEN
SKY

LEVEL 06

SCALE: 1/16" = 1'-0"



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**NORBERTO ROSENSTEIN
ARCHITECT, INC.**

ARCHITECTURE - INTERIOR DESIGN - PLANNING
126 S. FEDERAL HIGHWAY SUITE #202
DANIA BEACH, FLORIDA 33004
P: (954) 922-6551
NROSENSTEIN@ROSENSTEINARCHITECT.COM
WWW.ROSENSTEINARCHITECT.COM

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**ENLARGED PLAN -
WASH. LEVEL 06 PART A**

A3-30

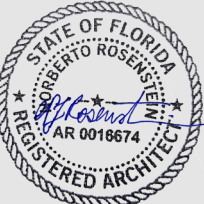


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LEVEL 06
SCALE: 1/16" = 1'-0"



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ARCHITECT, INC.**
ARCHITECTURE - INTERIOR DESIGN - PLANNING
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P: (954) 922-6551
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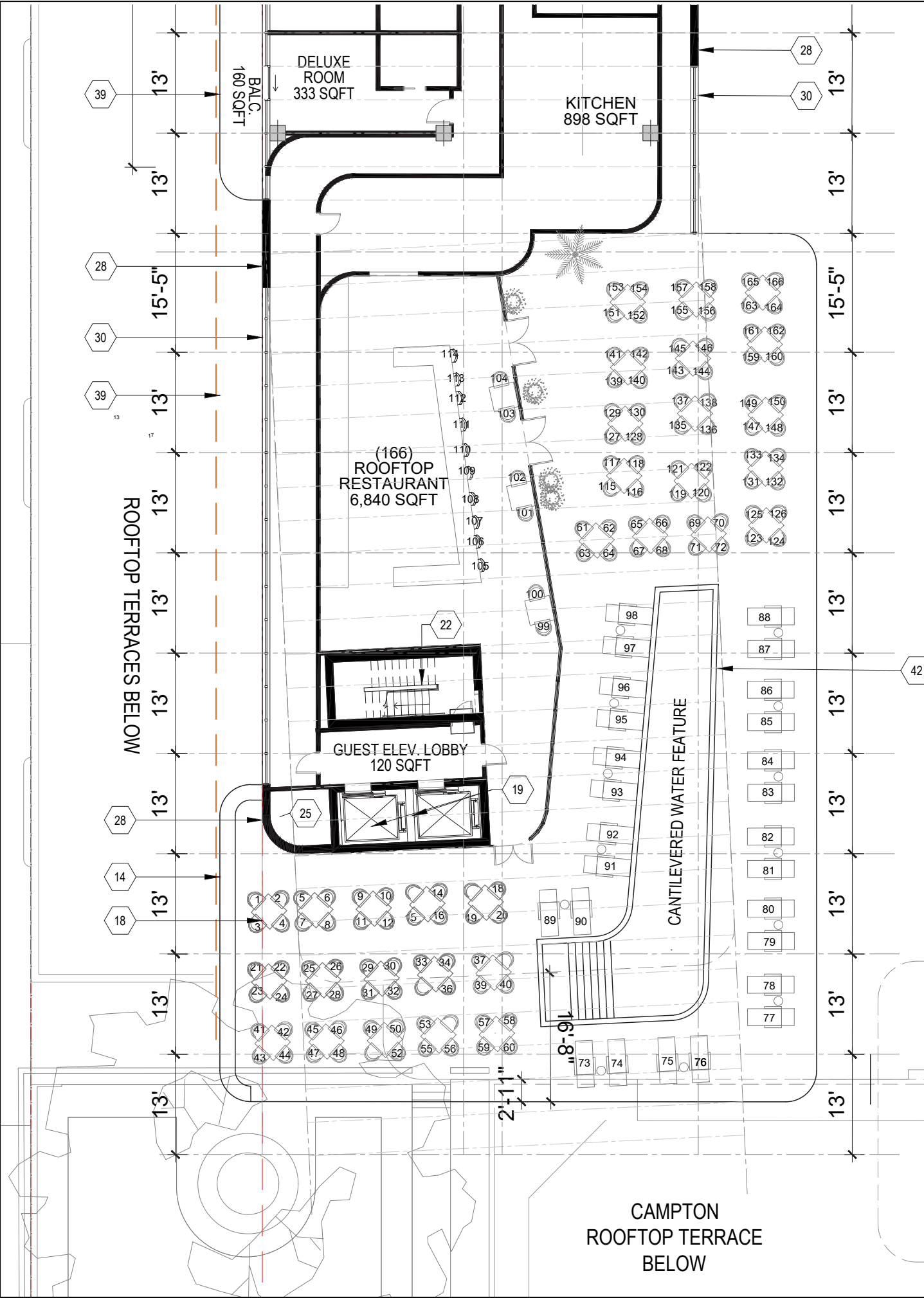
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**ENLARGED PLAN -
WASH. LEVEL 06 PART B**
A3-31



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TRELLIS R
50% OPEN
SKY

LEVEL 07
SCALE: 1/16" = 1'-0"



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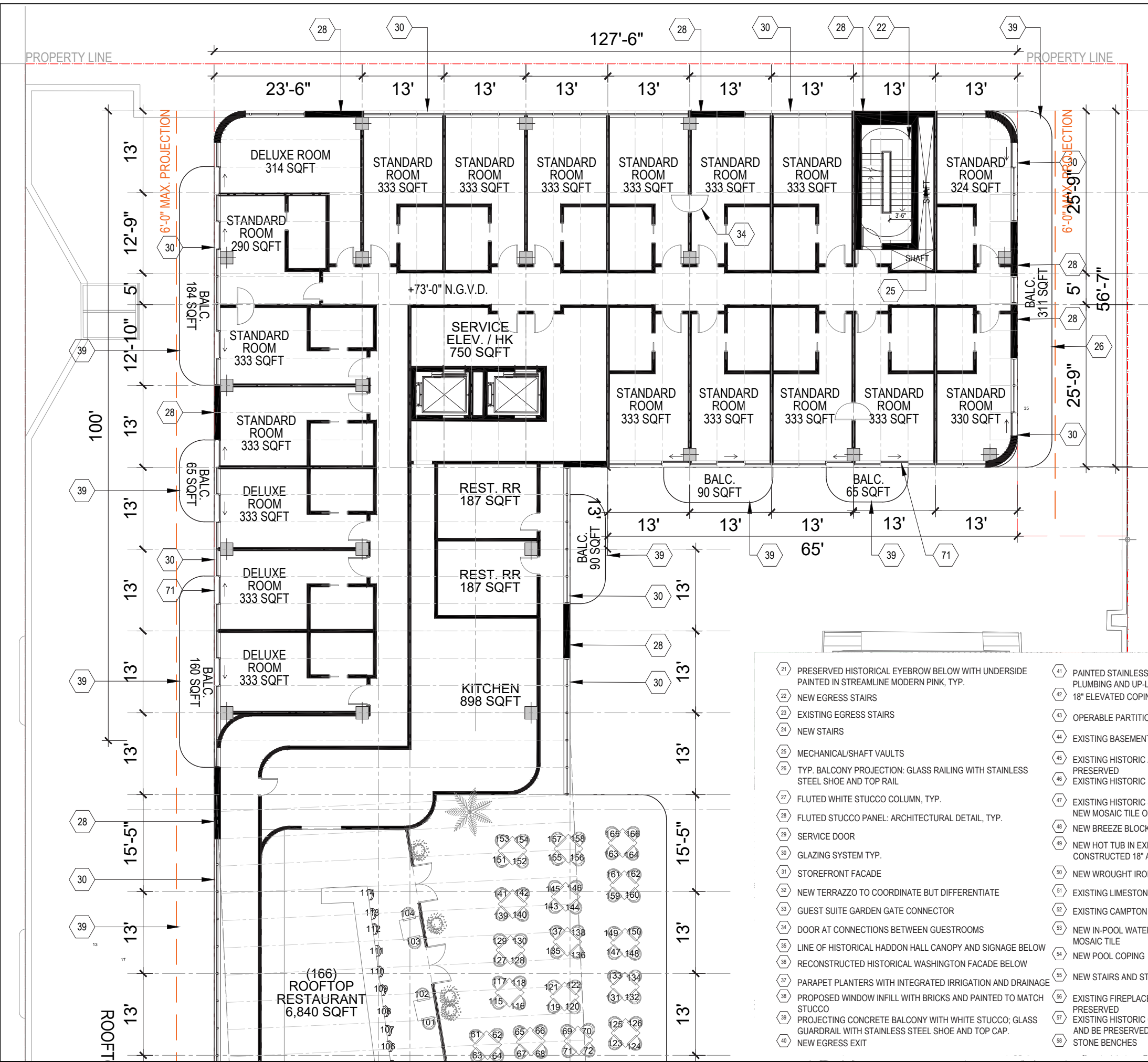
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**ENLARGED PLAN -
WASH. LEVEL 07 PART A**

A3-32

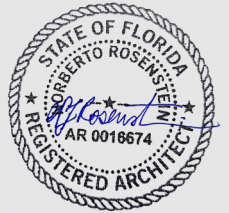


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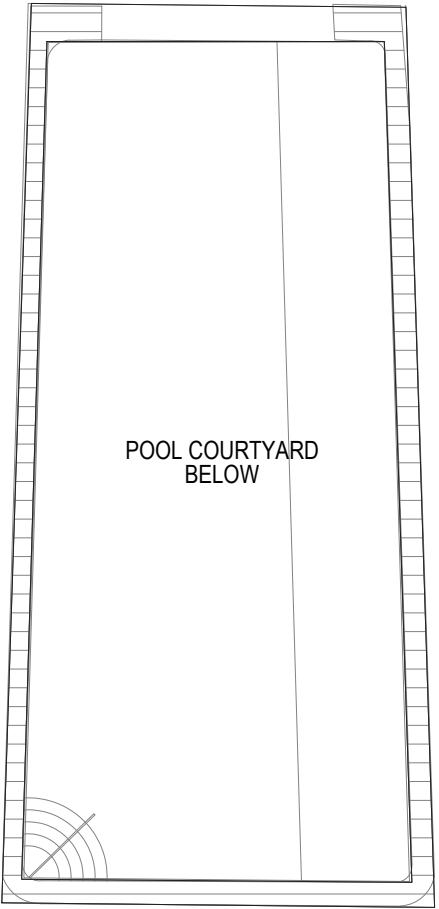
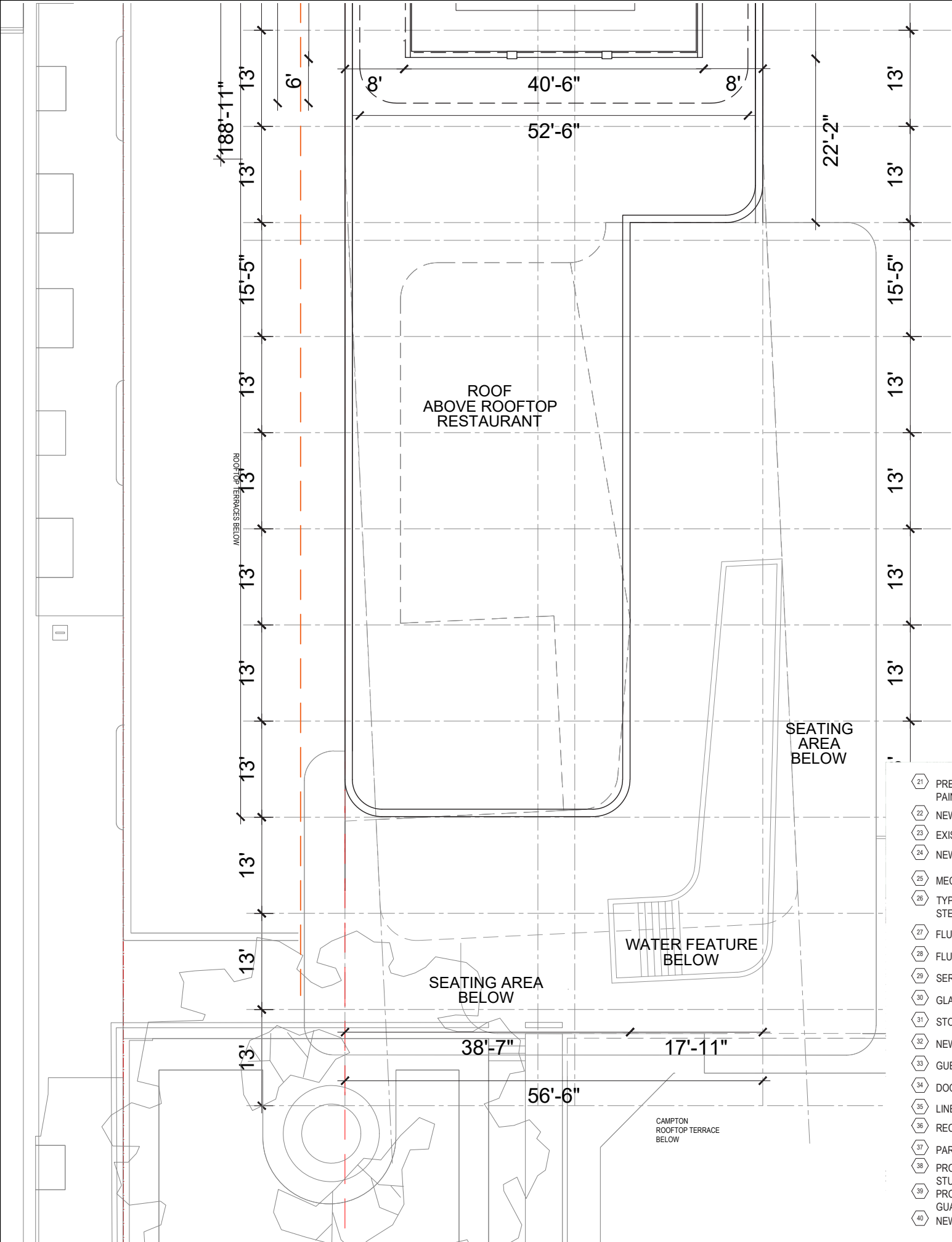
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MIAMI BEACH**

1500 COLLINS +
1509-1515 WASHINGTON
AVE, MIAMI BEACH, FL,
33139

ENLARGED PLAN -
WASH. LEVEL 07 PART B
A3-33



GENERAL NOTES

- ALL SIGNIFICANT ORIGINAL ARCHITECTURAL FEATURES ARE TO BE RESTORED, PRESERVED AND RETAINED.
- PROJECT DESIGN MAINTAINS EXISTING FLOOR FINISHES AND VOLUMETRIC INTENT OF ANCILLARY PUBLIC SPACES IN HADDON HALL.
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- ALL EXTERIOR WALLS MUST BE PROPERLY SHORED DURING AND AFTER DEMOLITION. REFER TO STRUCTURAL ENGINEERING DRAWINGS FOR ADDITIONAL DETAIL.
- ALL BUILDING STUCCO EXTERIORS TO BE RESTORED AND REPAINTED TO MATCH EXISTING

KEYNOTES

- 01 EXISTING DOOR/WINDOW TO REMAIN
- 02 NEW DOORS
- 03 NEW ENLARGED WINDOWS (REFERENCE ELEVATIONS)
- 04 EXISTING HISTORICAL PLANTER TO REMAIN
- 05 EXISTING TERRACE AND TERRAZZO TO REMAIN
- 06 EXISTING HISTORICAL ARCHITECTURAL DETAIL TO REMAIN
- 07 RECONSTRUCTED CONCRETE COLUMN IN WHITE STUCCO FINISH
- 08 NEW LIFE SAFETY GATE
- 09 CONCRETE STAIRS WITH STAINED CONCRETE TILE RISERS
- 10 PRESERVED AND RESTORED HISTORICAL TERRAZZO DETAIL
- 11 NEW PAIR OF DOORS IN EXISTING WINDOW OPENING. ENLARGE OPENING TO EXTEND TO THE EXISTING TERRACE.
- 12 NEW RAMP
- 13 GARDEN BED WITH INTEGRATED IRRIGATION
- 14 ELEVATED STUCCO PLANTER WITH INTEGRATED IRRIGATION AND DRAINAGE
- 15 PLANTER BEDS WITH INTEGRATED IRRIGATION AND DRAINAGE
- 16 OPERABLE GLASS DOORS
- 17 LINE OF ELEVATED OPEN AIR WALKWAY
- 18 LINE OF TRELLIS PROJECTION ABOVE @ 50% OPEN TO SKY
- 19 GUEST ELEVATOR
- 20 SERVICE ELEVATOR

- 21 PRESERVED HISTORICAL EYEBROW BELOW WITH UNDERSIDE PAINTED IN STREAMLINE MODERN PINK, TYP.
- 22 NEW EGRESS STAIRS
- 23 EXISTING EGRESS STAIRS
- 24 NEW STAIRS
- 25 MECHANICAL/SHAFT VAULTS
- 26 TYP. BALCONY PROJECTION: GLASS RAILING WITH STAINLESS STEEL SHOE AND TOP RAIL
- 27 FLUTED WHITE STUCCO COLUMN, TYP.
- 28 FLUTED STUCCO PANEL: ARCHITECTURAL DETAIL, TYP.
- 29 SERVICE DOOR
- 30 GLAZING SYSTEM TYP.
- 31 STOREFRONT FACADE
- 32 NEW TERRAZZO TO COORDINATE BUT DIFFERENTIATE
- 33 GUEST SUITE GARDEN GATE CONNECTOR
- 34 DOOR AT CONNECTIONS BETWEEN GUESTROOMS
- 35 LINE OF HISTORICAL HADDON HALL CANOPY AND SIGNAGE BELOW
- 36 RECONSTRUCTED HISTORICAL WASHINGTON FACADE BELOW
- 37 PARAPET PLANTERS WITH INTEGRATED IRRIGATION AND DRAINAGE
- 38 PROPOSED WINDOW INFILL WITH BRICKS AND PAINTED TO MATCH STUCCO
- 39 PROJECTING CONCRETE BALCONY WITH WHITE STUCCO; GLASS GUARDRAIL WITH STAINLESS STEEL SHOE AND TOP CAP.
- 40 NEW EGRESS EXIT

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- 43 OPERABLE PARTITIONS
- 44 EXISTING BASEMENT LEVEL ENTRY
- 45 EXISTING HISTORIC ADDRESS MONUMENT SIGN TO BE PRESERVED
- 46 EXISTING HISTORIC FRIEZE TO REMAIN
- 47 EXISTING HISTORIC STATUE AND FOUNTAIN TO REMAIN, NEW MOSAIC TILE ON BASE AND INSIDE HISTORIC BASIN
- 48 NEW BREEZE BLOCK GREEN WALL
- 49 NEW HOT TUB IN EXISTING LOCATION CONSTRUCTED 18" ABOVE FINISH FLOOR
- 50 NEW WROUGHT IRON FENCE
- 51 EXISTING LIMESTONE GARDENWALL
- 52 EXISTING CAMPTON ENTRY GATE TO BE PRESERVED
- 53 NEW IN-POOL WATER LEDGE WITH CUSTOM MOSAIC TILE
- 54 NEW POOL COPING
- 55 NEW STAIRS AND STONE GUARDRAIL
- 56 EXISTING FIREPLACE TO REMAIN AND BE PRESERVED
- 57 EXISTING HISTORIC COUNTER TO REMAIN AND BE PRESERVED
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- 62 NEW HARDSCAPE (REF. LANDSCAPE)
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- 64 EXISTING LIMESTONE POOL DECK TO REMAIN
- 65 PROPOSED DOOR @ LEVEL 03 TO CONNECT TO ARCHITECTURAL BREEZEWAY/ELEVATED WALKWAY NEW ROOF SYSTEM
- 67 BACKLIT TERRACOTTA BREEZE BLOCK MECHANICAL SCREENING
- 68 POWDER COATED STEEL GUARDRAIL
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- 70 NON-STRUCTURAL VERTICAL DETAIL
- 71 SLIDING DOOR GLAZING SYSTEM

LEVEL 08 (ROOF)
SCALE: 1/16" = 1'-0"



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NORBERTO ROSENSTEIN
ARCHITECT , INC.

ARCHITECTURE - INTERIOR DESIGN - PLANNING
126 S. FEDERAL HIGHWAY SUITE #202
DANIA BEACH, FLORIDA 33004
P: (954) 922-6551
NROSENSTEIN@ROSENSTEINARCHITECT.COM
WWW.ROSENSTEINARCHITECT.COM

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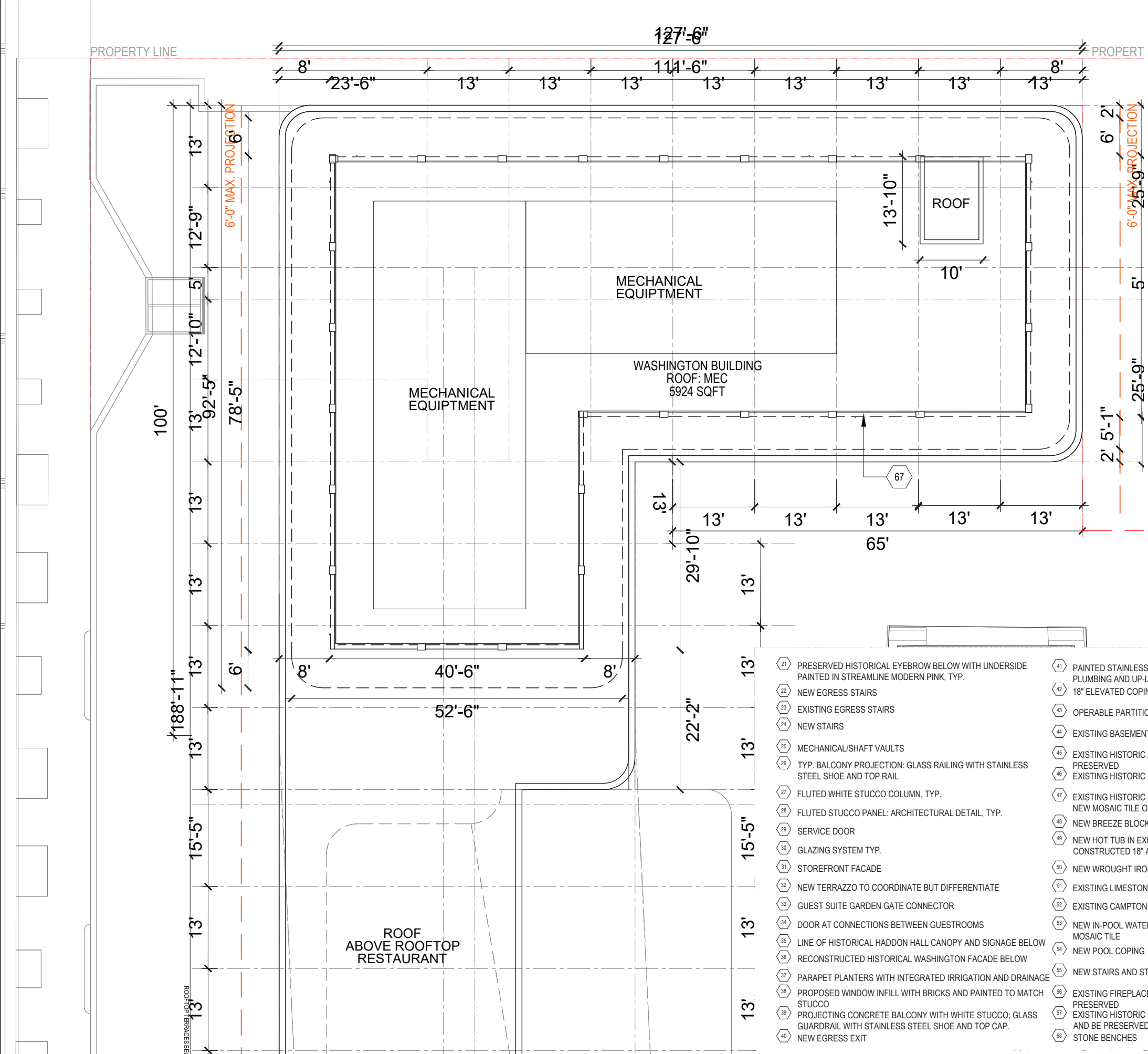
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ENLARGED PLAN -
WASH. LEVEL 08 PART A
A3-34



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LEVEL 08 (ROOF)
SCALE: 1/16" = 1'-0"



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ARCHITECT, INC.**

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126 S. FEDERAL HIGHWAY SUITE #202
DANIA BEACH, FLORIDA 33004
P: (954) 922-6551
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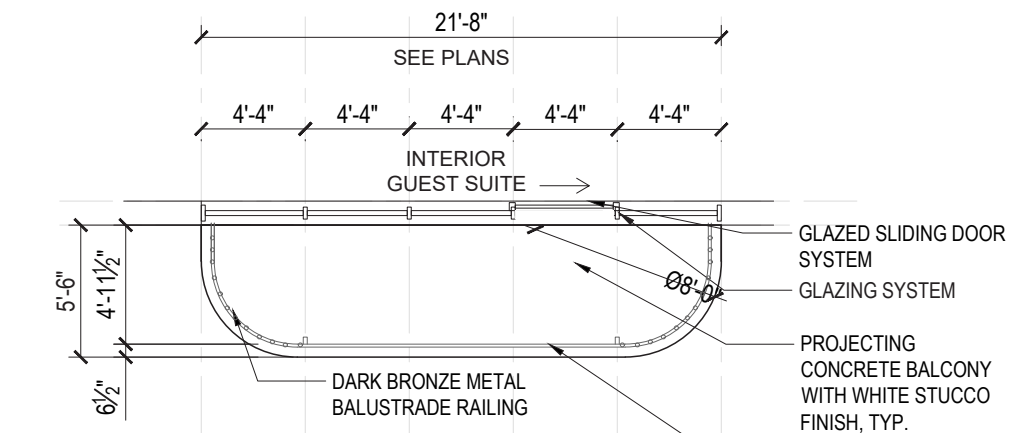
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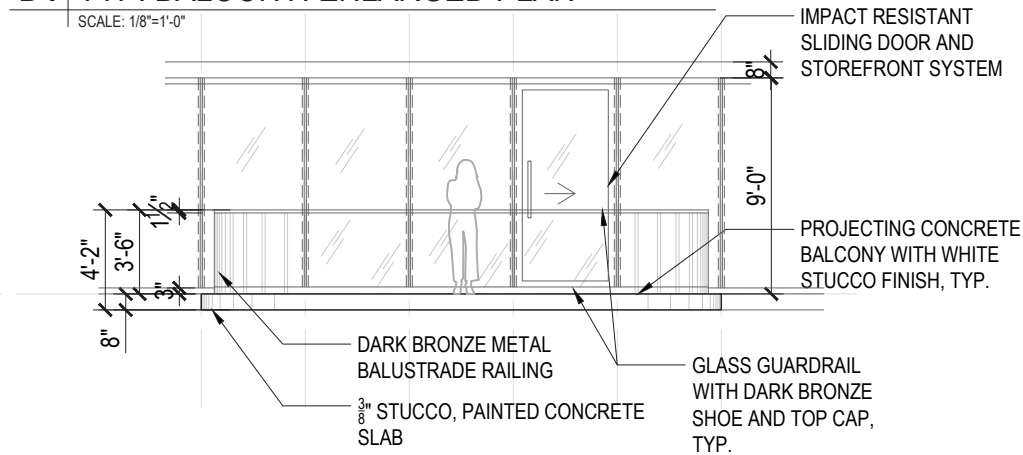
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**ENLARGED PLAN -
WASH. LEVEL 08 PART B**
A3-35



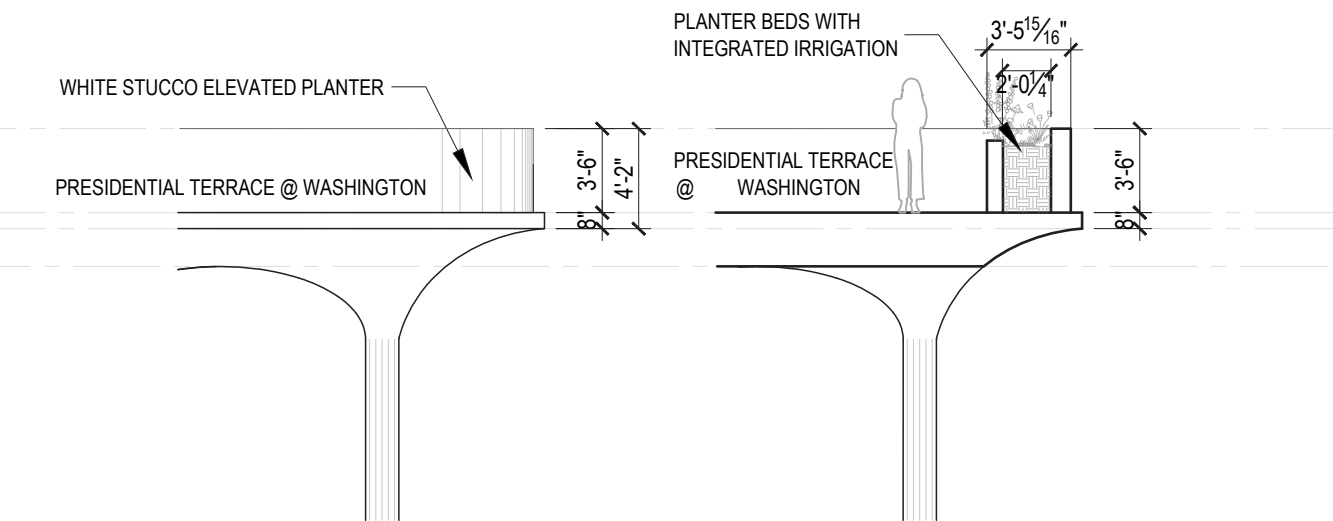
D4 TYP. BALCONY: ENLARGED PLAN

SCALE: 1/8"=1'-0"



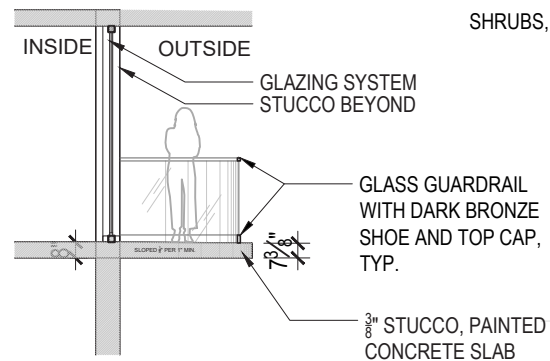
C4 TYP. BALCONY: FRONT ELEVATION

SCALE: 1/8"=1'-0"



A4 BALCONY DETAIL @ NON STRUCTURAL VERTICAL DETAILS

SCALE: 1/8"=1'-0"



C3 TYP. BALCONY: SECTION

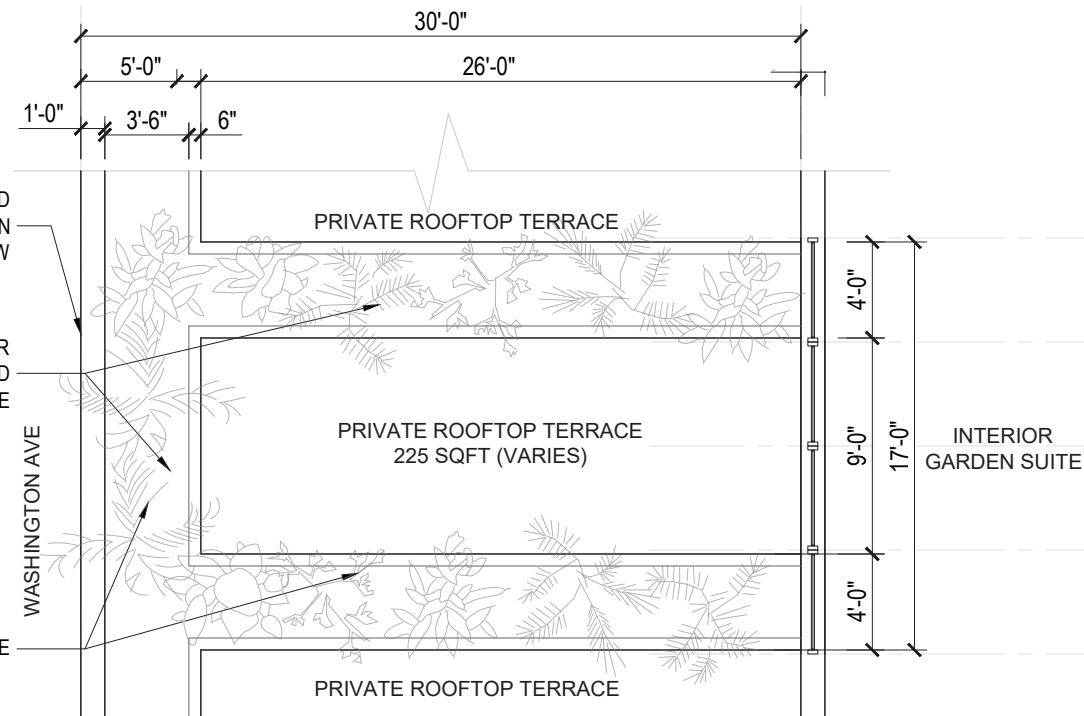
SCALE: 1/8"=1'-0"

RECONSTRUCTED HISTORICAL WASHINGTON FACADE BELOW

ELEVATED STUCCO PLANTER WITH INTEGRATED IRRIGATION AND DRAINAGE

WASHINGTON AVE

SHRUBS, SEE LANDSCAPE



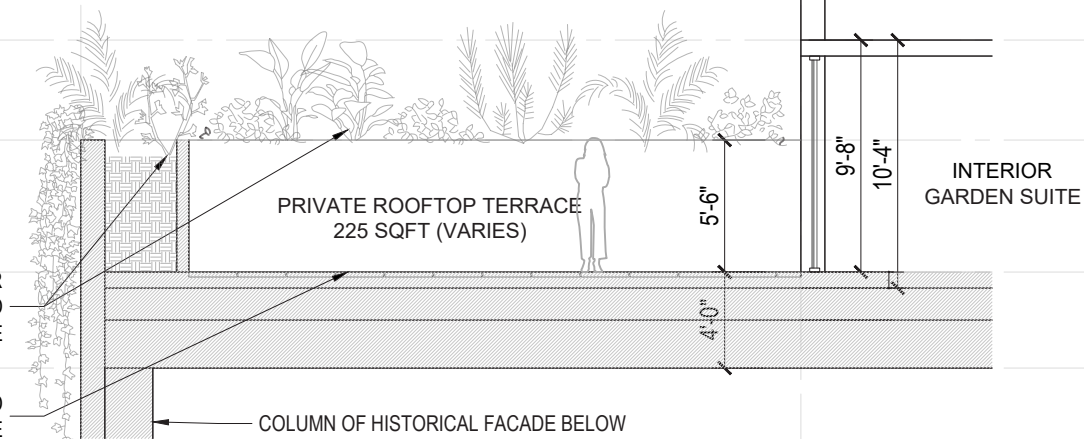
C2 PRIVATE ROOFTOP TERRACE SECTION TYP.

SCALE: 1/8"=1'-0"

ELEVATED STUCCO PLANTER WITH INTEGRATED IRRIGATION AND DRAINAGE

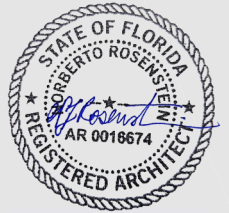
PAVER SYSTEM AND DRAINAGE

COLUMN OF HISTORICAL FACADE BELOW



B2 PRIVATE ROOFTOP TERRACE SECTION TYP.

SCALE: 1/8"=1'-0"



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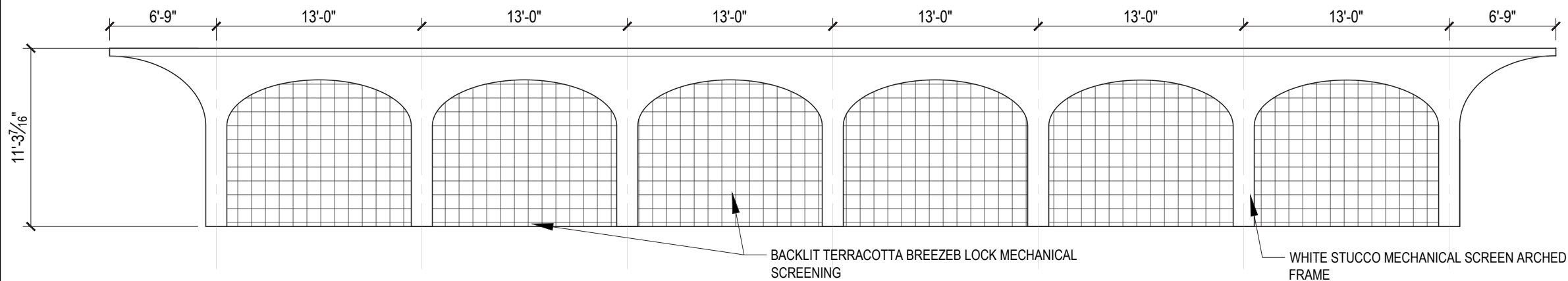
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BALCONY DETAILS
AT WASHINGTON

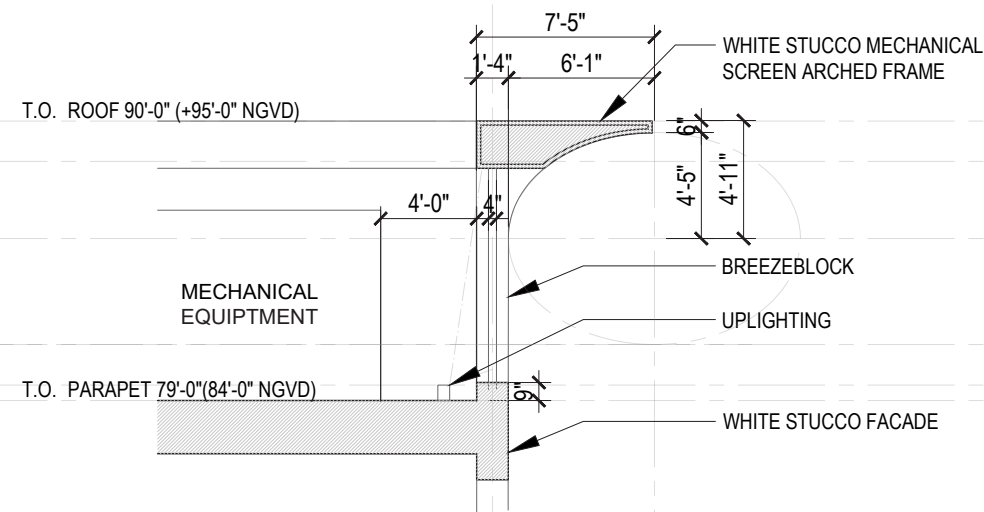
A3-34

SCALE: 1/8" = 1'-0"



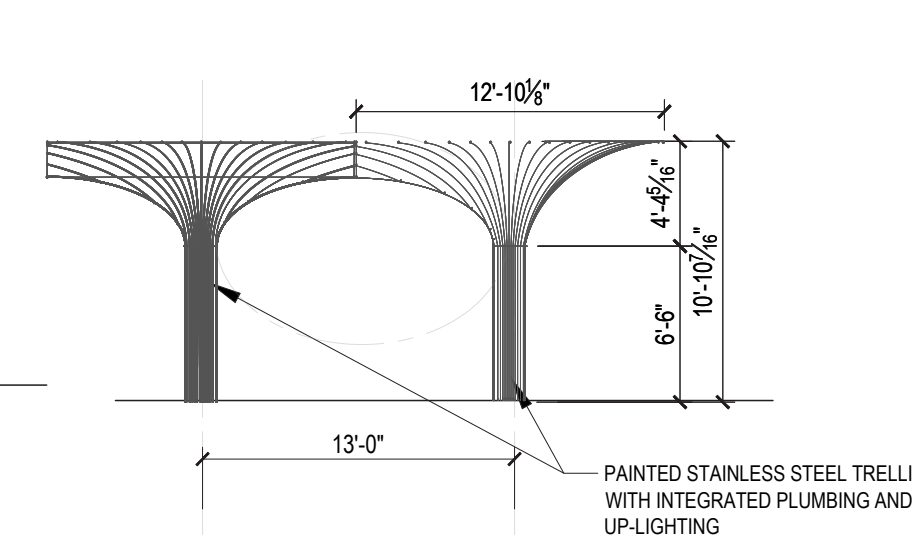
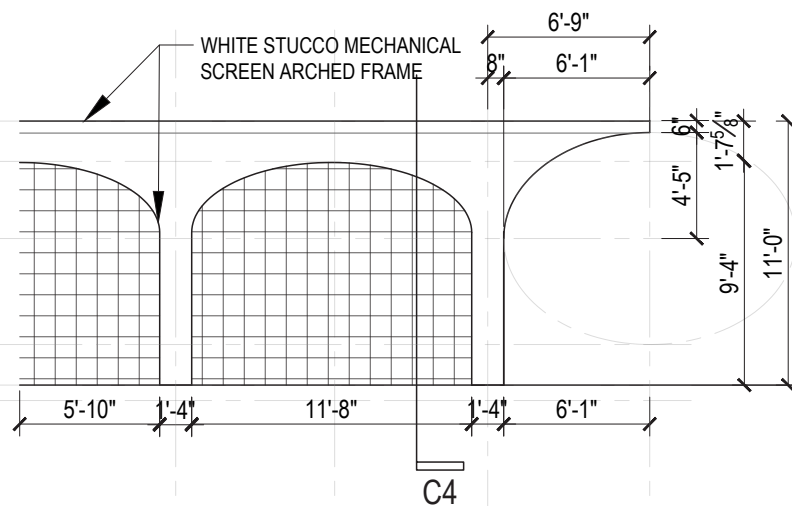
D4 WASHINGTON MECHANICAL SCREENING: WEST ELEVATION

SCALE: 1/8"=1'-0"



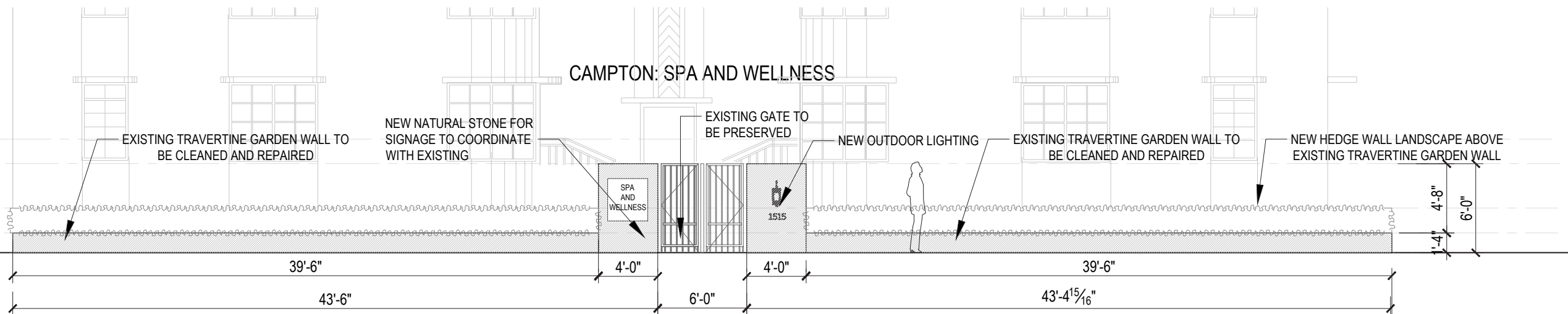
C4 WASHINGTON MECHANICAL SCREENING SECTION AND ELEVATION

SCALE: 1/8"=1'-0"



C2 TRELLIS DETAIL: ELEVATION

SCALE: 1/8"=1'-0"



A4 CAMPTON SPA AND WELLNESS GATE: ELEVATION

SCALE: 1/8"=1'-0"

SCALE: 1/8" = 1'-0"



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MECHANICAL SCREENING
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A3-35