

**PERMIT NUMBER**

B9300276

**ADDRESS**

THOMAS ALTON SPAIN AIA  
ROLANDO LLANES  
ARCHITECTS

8/94

FROM IT MAY CONCERN:

This is to certify that we have reviewed the truss drawings  
submitted by Martinez Truss Co. and that they conform to our  
design criteria.

  
Rolando Llanes  
SPAIN & LLANES ARCHITECTS



**DO NOT CUT OR ALTER TRUCKS**  
MARTINEZ TRUCK COMPANY WILL NOT HONOR  
CLAIMS OR BACK CHARGES UNLESS AUTHORIZED  
BY OUR OFFICE IN WRITING

**ATTENTION BUILDER**  
ALL CONNECTIONS  
OVER HANG OF PITCH, ETC.  
TO BE CHECKED  
BEFORE OR DURING TRUSSES  
IT IS YOUR RESPONSIBILITY  
TO CHECK OUR TRUSS PLAN

**ATTENTION: BUILDER**  
 ALL OF THE NEW  
 CRYSTAL CREEK HOMES  
 ARE AVAILABLE FOR  
 PREVIEW AT THE  
 OFFICE OF THE  
 REALTOR.

**OFFICE COPY**  
CITY OF MIAMI BEACH  
APPROVED FOR PERMIT BY  
THE FOLLOWING:  
BUILDING: \_\_\_\_\_  
ZONING: \_\_\_\_\_  
PLUMBING: \_\_\_\_\_  
ELECTRICAL: \_\_\_\_\_  
MECHANICAL: \_\_\_\_\_  
FIRE PREVENTION: \_\_\_\_\_  
ENGINEERING: \_\_\_\_\_

WEB BRACING SCHEDULE			
JOISTS	WED	LOCAT	1/2 POINT
W410-D	+1/2" F-11/6-10		
W10-L	2-10" F-1/2	" "	
W10-L	+1/2"	" "	
2-10"	2-4"	" "	

<b>Martinez Truss Co., Inc. (305) 563-3341</b> 1100 N. 11th St. Miami, Florida 33136 1100 N. 11th St.		1100 N. 11th St. Miami, Florida 33136
CASE # 202-1040000 DATE 12-24-04	1100 N. 11th St. Miami, Florida 33136	1100 N. 11th St. Miami, Florida 33136
MC = TAMING		1100 N. 11th St. Miami, Florida 33136
CASE # 202-1040000		1100 N. 11th St. Miami, Florida 33136



PERMIT NUMBER

B93 00276

ADDRESS

10

(COMM

\*\* ACTIVITY COMMENTS \*\*

01/11/94

16:30

Permit No: 0000276 NEW 8200 SQ.FT. SINGLE FAM RES

Type: BUILD

Applicant: TO BE APPOINTED

Status: PENDING

Location: 101 PINETREE DR

No	Date	User	Comment Text
1	010794	BLANK	IF-1 SUBMIT CALCULATIONS FOR ALL STRUCTURAL COMPONENTS.
2	010794	BLANK	IF-2 S-2A. NOT ALL FILLED CELLS ARE LABELED IN PLAN. PLEASE
3	010794	BLANK	LABEL THEM OR NOTE THEM TO BE TYPICAL.
4	010794	BLANK	IF-3 A SEPERATE PERMIT WILL BE REQUIRED FOR THE POOL.
5	010794	BLANK	IF-4 PROVIDE WOOD TRUSS TO WOOD GIRDER CONNECTIONS, E.G.,
6	010794	BLANK	SPECIFY SIMPSON TYPE THAT IS REQUIRED.
7	010794	BLANK	IF-5 1/S-5. PLEASE PROVIDE JOIST HANGER TYPE THAT IS TO BE
8	010794	BLANK	USED IN THIS CASE.
9	010794	BLANK	IF-6 S-5A. IS DETAIL B TYPICAL AT FOUR LOCATIONS ? IF SO
10	010794	BLANK	PLEASE IDENTIFY AS SUCH.
11	010794	BLANK	ALSO, DETAIL B. PROVIDE EMBEDMENT OF ANCHOR BOLTS OR
12	010794	BLANK	EXPANSION BOLTS.

Enter

Add/Change/Delete (A/C/D) line: \_\_ Note: Users may only update own Comments

10

COMM

\*\* ACTIVITY COMMENTS \*\*

01/11/94

16:30

Permit No. 000276 NEW 9200 SQ. FT. SINGLE FAM RES

Type: BUILD

Applicant: J. E. APPOINTED

Status: PENDING

Location: 101 PINETREE DR

No. Date User Comment Text

1 010794 B. J. J. MUST PROVIDE A SOIL STATEMENT IN DRAWINGS.

2 011194 B. J. J. ALL ITEMS HAVE BEEN ADDRESSED AND

3 011194 B. J. J. APPROVED BY THE WRITER.

Enter Comments (A/C/D) line: \_\_ Note: Users may only update own Comments.

10



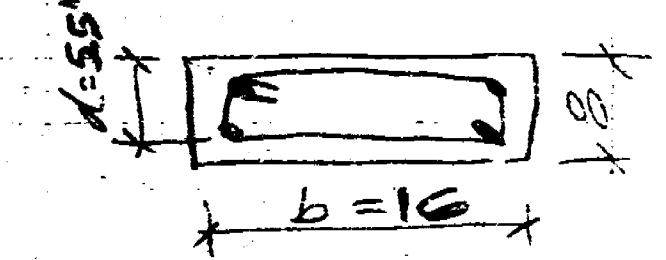
JOSE A. SANCHEZ, P.E. JOB CASA EGOSITA  
CONSULTING ENGINEERS SHEET NO. 1 OF 1  
3383 N.W. 7th STREET, CALCULATED BY JAS DATE 8/9/93  
SUITE 302, CHECKED BY \_\_\_\_\_ DATE \_\_\_\_\_  
MIAMI, FLORIDA 33125  
PHONE (305) 649 9212 SCALE \_\_\_\_\_

6' HIGH PRIVACY WALL

WALL  
 $100 \times 7.5 + 27 \times 7' = 783 \text{ #/ft}$   
 $M_u = 783 \times 1.7 \times .75 = 998.3 \text{ #/ft} = 1.0 \text{ #/ft}$

CHECK CAPACITY OF 8x16 CONC COL  
w/ 4 TOP VERT #3 TIES @ 8"

$A_g = 8 \times 16 = .80$   
 $P = \frac{.80}{10 \times 5.5} = .01$



$K_{un} = 476 \text{ FOR } P = .01 \text{ AND } f'_c = 3000 \text{ psi } f_y = 60000 \text{ psi}$

$K_u = \frac{M_u}{F} \quad M_u = K_u \times F$

$F = \frac{.16 \times (5.5)^2}{12000} = .040$

$M_u = K_u \times F = 476 \times .040 = 19.2 \text{ #/ft}$

MAXIMUM SPACING OF COLUMNS =  $\frac{19.2 \text{ #/ft}}{1.0 \text{ #/ft}} = 19.2 \text{ ft}$

USE 8x16 COLUMNS @ 15' OC

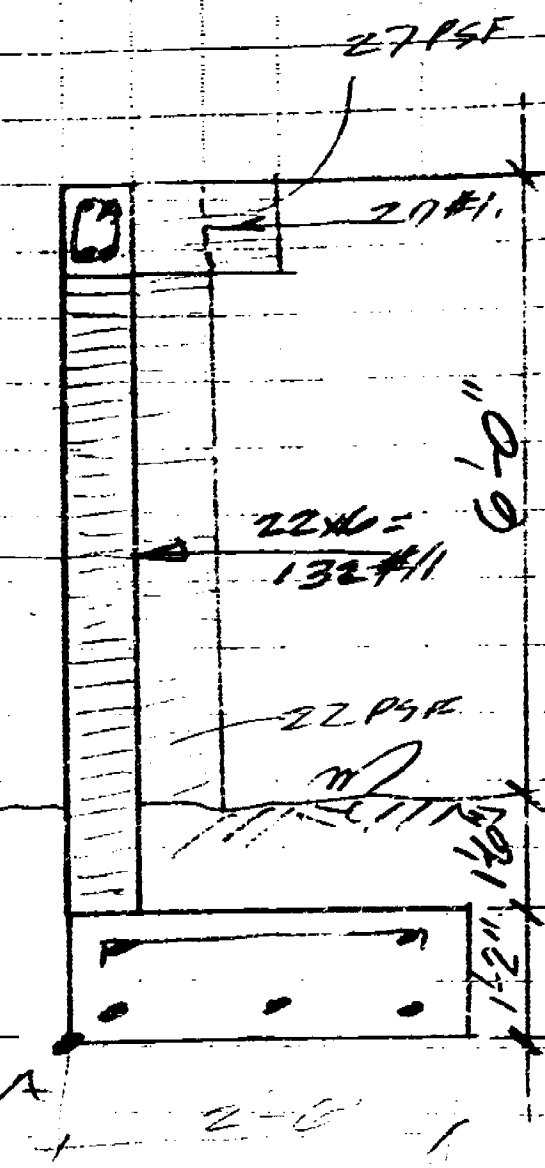
O.T.M. =  $132(5.67) + 27 \times 8.17 = 909 \text{ #/ft}$

REQUIRED STABILIZING MOMENT =  $909 \times 1.5 = 1354 \text{ #/ft}$

STABILIZING MOMENT

- 1) WALL =  $60 \times 7.5 \times 1.25' = 502.5 \text{ #/ft}$
- 2) SOIL =  $100 \times 1.5 \times 2.5 \times 1.25' = 468.8$
- 3) FILL =  $150 \times 1.17 \times 2.5 \times 1.25' = 548.4$

$1579.7 \text{ #/ft} > 1354 \text{ #/ft}$



10

JOSE A. SANCHEZ, P.E.

JOB CASA ECOSITA

CONSULTING ENGINEERS

SHEET NO. (2)

OF

3383 N.W. 7TH STREET,

CALCULATED BY JS

DATE

SUITE 302,

CHECKED BY

DATE

MIAMI, FLORIDA 33125

PHONE (305) 649 9212

SCALE

ROOF LOADS

$DL = 20 \text{ PSF} \times 1.7 = 34 \text{ PSF}$

$RFL = 20 \text{ PSF}$

$TRUSS LOAD = 8" \times 30 \times 1.4 = 42"$

$DL = 5"$

$UL = 50 \text{ PSF}$

$UL = 70 \text{ PSF}$

DESIGN FOOTINGS FOR AN ALLOWABLE SOIL  
PRESSURE OF 3000 PSF IN ACCORDANCE WITH  
GILES REPORT BY KBC CONSULTANTS, INC., DATED  
JUNE 8, 1992.

~~DESIGN FOOTINGS FOR DESIGN~~

SHEET 5-2

LOADS:

- 1) ROOF =  $50 \text{ PSF} \times 21.07/2 = 541.8 \text{ #1}$
- 2) WALL =  $60 \text{ PSF} \times 12' = 720.0 \text{ #1}$
- 3) FTG =  $16 \times 10 = 1600$

$WT = 1422 \text{ #1}$

REQ'D WIDTH =  $\frac{1422 \text{ #1}}{30.9 \text{ #1}} \times 12 = 5.7" \text{ USE } 16"$

10

SANCHEZ, P.E.  
 CONSULTING ENGINEERS  
 3383 N.W. 7th STREET,  
 SUITE 302,  
 MIAMI, FLORIDA 33125  
 PHONE (305) 649 9212

JOB: CASA PASITA  
 SHEET NO. ③  
 CALCULATED BY: JKS  
 CHECKED BY:  
 DATE: 1/11/94  
 SCALE:

ROOF BEAMS

RD-3

- 1) ROOF =  $.076 \text{ KSF} \times 10' = .76 \text{ K/1}$
- 2) WALL =  $.06 \text{ KSF} \times 1.4 \times 16' = 1.34 \text{ "}$
- 3) DM =  $8 \times 36 \times 1.4 / 1000 = .40 \text{ "}$

$W_u = 2.50 \text{ K/1}$

$M_u = \frac{2.5 \times (9)^2}{8} = 25.3 \text{ "K}$

$F = \frac{8 \times (33)^2}{12000} = .726$

$K_u = \frac{M_u}{F} = \frac{25.3}{.726} = 35$

$A_s = .0033 \times 8 \times 33 = 0.87 \text{ in}^2$  USE 2#7 BOT  
2#6 TOP

$V_u = \frac{2.5 \times 9}{2} = 11.25 \text{ K}$

$\phi V_c = 2 \times .85 \sqrt{4000} \times 8 \times 33 / 1000 = 28.4 \text{ K}$

$V_u - \phi V_c = 0$   
USE #3 @ 12" O.C.

RD-4

- 1) ROOF =  $.076 \times 17' = 1.29 \text{ K/1}$
- 2) WALL =  $.06 \text{ KSF} \times 1.4 \times 16' = 1.34 \text{ "}$
- 3) DM =  $8 \times 24 \times 1.4 / 1000 = .27$

$W_u = 2.9 \text{ K/1}$

$M_u = \frac{2.9 \times (10)^2}{8} = 36.25 \text{ "K}$

10



JES A SANCHEZ, P.E. JOB: CASA EGASITA  
 CONSULTING ENGINEERS SHEET NO. ④ OF  
 383 N.W. 7th STREET, CALCULATED BY: JDS DATE: 1/11/94  
 SUITE 302, CHECKED BY: DATE:  
 MIAMI, FLORIDA 33125  
 PHONE (305) 649 9212 SCALE:

RB-4 (CONT.)

$$F = \frac{8 \times (21.5)^2}{12000} = .308$$

$$V_u = \frac{M_u}{F} = \frac{36.25}{.308} = 118$$

$$A_s = .0033 \times 8 \times 21.5 = 0.5707^2 \text{ USE } 2\#2 \text{ TOP}$$

$$V_u = \frac{2.9 \times 10}{2} = 14.5^k$$

$$\phi V_c = 2 \times .85 \sqrt{4000} \times 8 \times 21.5 / 1000 = 18.49^k$$

$$V_u - \phi V_c = 0^k \text{ USE } \#3 \text{ @ } 10" \text{ O.C.}$$

RB-7

- 1) R.O.F. = .07458 x 10' = .76 k/ft
- 2) W.M. = .000 x 1.4 x 6' = .50
- 3) B.M. = 8 x 24 x 1.4 / 1000 = .27

$$W_u = 1.53^k/ft$$

$$M_u = \frac{1.53 \times (7.17)^2}{8} = 9.8^k$$

$$F = \frac{8 \times (21.5)^2}{12000} = 0.308$$

$$V_u = \frac{M_u}{F} = \frac{9.8}{.308} = 32$$

$$A_s = .0033 \times 8 \times 21.5 = 0.5707^2 \text{ USE } 2\#2 \text{ TOP}$$

JDS  
 1/11/94

10

E. A. SANCHEZ, P.E. JOB  
CONSULTING ENGINEERS SHEET NO. 5  
2303 N.W. 7th STREET,  
SUITE 302,  
MIAMI, FLORIDA 33125  
PHONE (305) 649 9212

CASA ECOSITA  
CALCULATED BY JMS  
CHECKED BY  
SCALE

MEZZANINE OVER GARAGE

DL = 11 = 100 PSF  
FLOOR FINISHES = 10 PSF  
PARTITION = 5

TL = 75 PSF

WOOD JOISTS:

$$M = \frac{75 \times 133 \times (10.5)^2}{8} = 1375' \text{K}$$

$$h = \sqrt{\frac{1375 \times 4 \times 12}{1.5 \times 1000}} = 8.12" \text{ USE } 2 \times 10 \text{ @ } 16" \text{ WD. JOISTS}$$

STEEL BEAMS

$$M = \frac{75 \times 10.5 \times (20.5)^2}{1000 \times 8} = 41.4' \text{K} \text{ USE W10X45}$$

CAP = 98'K > 41.4'K OK

ROOF EXTENSION WEST SIDE OF GARAGE

LOADS ON WOOD BEAM

1) ROOF = .050 PSF  $\times$  4' = .2'K  
2) DW = .030 = .03'K

W = .23'K

$$M = \frac{.23 \times 9^2}{8} = 2.32' \text{K}$$

$$h = \sqrt{\frac{2.32 \times 72}{3.5 \times 100}} = 4.9" \text{ USE } 4 \times 10 \text{ WD. BEAM}$$

USE 4X8

10



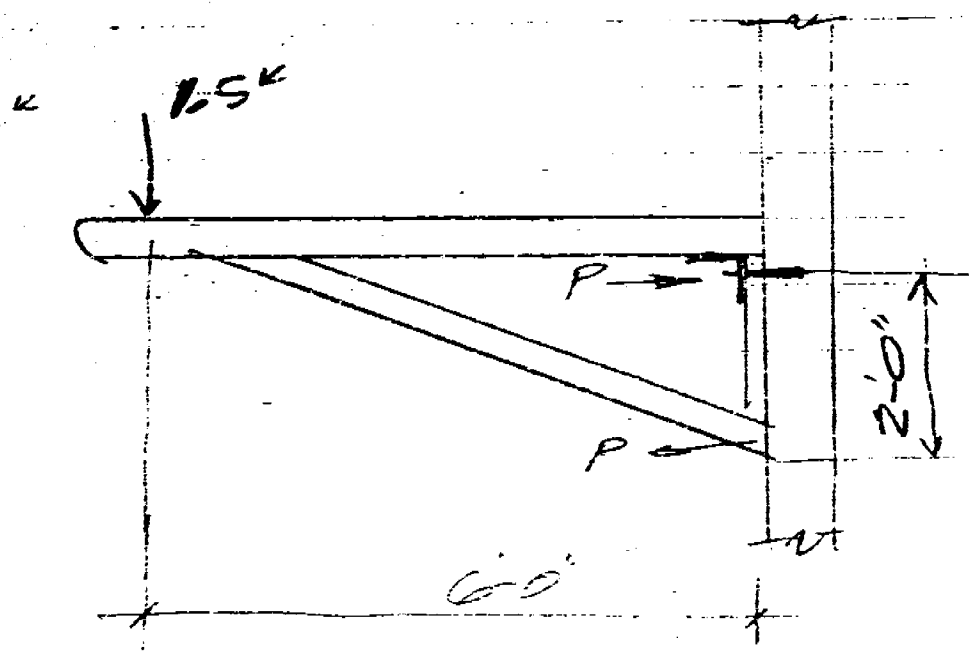
JOSE A. SANCHEZ, P.E. *CASA EROSITA*  
 CONSULTING ENGINEERS SHEET NO. *10* OF *1*  
 3333 N.W. 7th STREET, CALCULATED BY *JAS* DATE *1/11/94*  
 SUITE 302, CHECKED BY \_\_\_\_\_ DATE \_\_\_\_\_  
 MIAMI, FLORIDA 33125  
 PHONE (305) 649 9212 SCALE \_\_\_\_\_

BACK WEST OF GARAGE (CONT'D)

REACTION FROM BEAM ON BRACKET =  $.23 \times \frac{13}{2} = 1.5''$

$1.5 \times 2 = P \times 2$   
 $P = 1.5''$  (PULLOUT)

USE 1/2" CHROME  
 1/2" PULLOUT  
 $6.68 \times 2 = 13.4''$   
 7.4" DEC'D OK



*[Signature]*  
 1/11/94

10

\*\* ACTIVITY COMMENTS \*\*

01/07/94

19:07

Permit No: 8300276 NEW 8200 SQ. FT. SINGLE FAM RES

Type: BUILD

Applicant: TO BE APPOINTED

Status: PENDING

Location: 4541 PINETREE DR

Date	User	Comment Text
01/07/94	REDACTED	JF-1 SUBMIT CALCULATIONS FOR ALL STRUCTURAL COMPONENTS.
01/07/94	REDACTED	JF-2 S-2A, NOT ALL FILLED CELLS ARE LABELED IN PLAN. PLEASE
01/07/94	REDACTED	LABEL THEM OR NOTE THEM TO BE TYPICAL.
01/07/94	REDACTED	JF-3 A SEPERATE PERMIT WILL BE REQUIRED FOR THE POOL.
01/07/94	REDACTED	JF-4 PROVIDE WOOD TRUSS TO WOOD GIRDER CONNECTIONS, E.G.,
01/07/94	REDACTED	SPECIFY SIMPSON TYPE THAT IS REQUIRED.
01/07/94	REDACTED	JF-5 1/S-5, PLEASE PROVIDE JOIST HANGER TYPE THAT IS TO BE
01/07/94	REDACTED	USED IN THIS CASE.
01/07/94	REDACTED	JF-6 S-5A, IS DETAIL B TYPICAL AT FOUR LOCATIONS ? IF SO
01/07/94	REDACTED	PLEASE IDENTIFY AS SUCH.
01/07/94	REDACTED	ALSO, DETAIL B, PROVIDE EMBEDMENT OF ANCHOR BOLTS OR
01/07/94	REDACTED	EXPANSION BOLTS.

Enter: \_\_\_\_\_  
Add/Change/Delete: (A/C/D) line: \_\_\_\_ Note: Users may only update own Comments.

10

01/07/94  
19:08

Type: BUILD  
Status: PENDING

10

**\*\* CONDITIONS OF PERMIT/APPROVAL \*\***

DATE: 05/27/93

PAGE: 2

Permit No.: B9300276 TYPE: BUILD  
Location: 4521 PINETREE DR

**0013 - A SOIL STATEMENT IS REQUIRED.**

**UNLESS BASED UPON SOIL BORINGS AND OTHER TESTS,**

**1. NO SOIL BEARING VALUE HIGHER THAN 2000 PSF MAXIMUM WILL  
BE ACCEPTABLE.**

**2. THE DESIGN PROFESSIONAL SHALL VISIT THE SITE WHILE  
CONSTRUCTION IS IN PROGRESS AND BEFORE THE FIRST SITE  
INSPECTION AND OBSERVE THE TYPE AND NATURE OF THE SOIL  
AND SHALL CERTIFY TO THE BUILDING OFFICIAL THAT THE  
SUBJECT SOIL HAS A BEARING CAPACITY SUFFICIENT TO  
SUPPORT THE PROPOSED CONSTRUCTION.**

**0014 - THE FOLLOWING ITEMS ARE SPECIFICALLY UNITED FROM THIS PERMIT**

**0017 - THIS ROOFING PERMIT IS ISSUED BASED UPON THE CONTRACTORS  
STATEMENT THAT HE (THE CONTRACTOR) WILL TEAR OFF THE OLD  
EXISTING ROOF DOWN TO THE BARE WOOD OR BARE CONCRETE DECK.  
IF OTHER CONDITIONS SHALL EXIST, THEN THIS PERMIT SHALL BE  
NULL AND VOID.**

**ENGINEERING CRITIQUE**

**EC01 -**

**ENGINEERING PLANS REVIEW**

*[Signature]*  
5/27/93 ☒ APPROVED  
☐ NOT APPROVED  
☐ HOLD/PENDING FIELD CHECK

**EC03 - LEGAL ADDRESS:  
4521 PINETREE DRIVE**

**EC04 - PLAN DESCRIPTION:  
CONSTRUCTION OF A SINGLE FAMILY HOUSE 8200 SQ. FT.**

**EC00 - GARBAGE FACILITIES:  
-----**

**EC01 - To provide adequate facilities.**

**ECS0 - SANITARY SEWER:  
-----**

**ECS1 - To use existing facilities.**

**ECS4 - Garbage disposal units not permitted.**

10



**\*\* CONDITIONS OF PERMIT/APPROVAL \*\***

DATE: 05/27/93  
PAGE: 3

Permit No.: B9300276 TYPE: BUILD  
Location: 4521 PINETREE DR

ECS7 - No lateral exists to this property. Contact Public Service Department.

**ECU0 - WATER:**  
-----

ECU3 - Contact Public Services Department (673-7645) for water service.

**EDR0 - DRAINAGE:**  
-----

EDR2 - Side yards to be sloped so as to not shed water to neighboring properties.

EDR4 - All drainage to be contained within property.

EDR5 - A/C condensate to be piped to drain drainage well to be shown inside property and dimensioned from two property lines.

EFEE - DOES MEET FEDERAL BASE FLOOD ELEVATION OF +8.00 NSL.

**EGE1 - GRADES/ELEVATIONS:**  
-----

+10.66

EGE2 - Federal Base Flood Elevation :  
+7.00

**ENC1 - ENCROACHMENTS/EASEMENTS:**  
-----

ENC3 - None

**ENC5 - GENERAL COMMENTS:**  
-----

ENC1 - Public Services Department street permit required for work done on City Property.

ENC6 - Certificate of occupancy required.

ENC8 - Subject to approval of proper governmental agencies.

ENC2 -

SIGNATURE \_\_\_\_\_

COMPANY \_\_\_\_\_

PHONE: \_\_\_\_\_

DATE: \_\_\_\_\_

10

**\*\* CONDITIONS OF PERMIT/APPROVAL \*\***

DATE: 05/27/93  
PAGE: 1

Permit No.: B9300276 TYPE: BUILD  
Location: 4521 PINETREE DR

**SPECIAL BLDG PERMIT CONDITIONS**

- 0001 - THIS CONDITION APPLIES TO THE INSTALLATION OF WINDOWS AND SLIDING DOORS IN BUILDINGS OF ONE AND TWO STORIES ONLY:  
By the action of supplying and or installing the windows and or sliding doors for which this permit is being issued, the supplier and or the installer are certifying that this windows and or sliding doors are structurally adequate for their use within a coastal construction zone, and for the location in the building where used, in accordance with Chapter 23, Sub-Section 2309.2 (b) of the South Florida Building Code, 1988 Edition and any other applicable Federal, State, County or City Ordinance.
- 0002 - FOR ALL WINDOWS, SLIDING GLASS DOORS, STOREFRONT & GLAZING CONTRACTOR SHALL SUBMIT COMPLETE DADE COUNTY PRODUCT CONTROL APPROVAL LETTERS FOR EACH TYPE USED TO THE CITY OF MIAMI BEACH BUILDING DEPARTMENT PRIOR TO INSTALLATION.
- 0003 - FOR ALL TRUSSES  
Contractor shall submit shop drawings signed and sealed by a Professional Engineer, to the City of Miami Beach Building Department for approval prior to installation.
- 0004 - ADDITIONAL DADE COUNTY PRODUCT CONTROL APPROVALS WILL BE REQUIRED FOR THE FOLLOWING ITEMS. THE CONTRACTOR SHALL SUBMIT THESE APPROVALS TO THE CITY OF MIAMI BEACH BUILDING DEPARTMENT FOR APPROVAL PRIOR TO THEIR INSTALLATION.  
1. SKY LITE
- 0005 - EXITS ON THE MEANS OF EGRESS SHALL BE OPENABLE FROM THE INSIDE WITH OUT THE USE OF A KEY OR TOOL, AND WITH OUT THE REQUIREMENT FOR UNUSUAL STRENGTH OR KNOWLEDGE.
- 0006 - ALL HANDRAIL, STAIRRAIL AND SAFETY RAIL SHALL MEET SOUTH FLORIDA BUILDING CODE SECTIONS 516, 2303 & 3103
- 0007 - FOR ALL ROOFING PROJECTS WHICH USE A PROPRIATORY OR NEW ROOFING MATERIAL, THE CONTRACTOR SHALL SUBMIT TO THE CITY OF MIAMI BEACH BUILDING DEPARTMENT, A COPY OF THE COMPLETE DADE COUNTY PRODUCT CONTROL APPROVAL LETTER AND A COPY OF THE MANUFACTURERS RECOMMENDATIONS FOR THE INSTALLATION OF THIS MATERIAL PRIOR TO INSTALLATION.
- 0008 - FOR ALL REROOFING JOBS WHERE THERE IS NO TEAR DOWN TO BARE WOOD, THE CONTRACTOR SHALL PROVIDE TEST REPORTS BY A CERTIFIED LABORATORY, AS FOLLOWS.  
A. THE MOISTURE CONTENT OF THE EXISTING ROOFING.  
B. THE UPLIFT RESISTANCE OF THE EXISTING ROOFING, ONE TEST FOR EACH 2500 SF OR ANY PART THERE OF.  
SAID TESTS TO BE CERTIFIED BY A P.E. AND SUBMITTED PRIOR TO THE INSTALLATION OF ANY NEW ROOFING.

10



**\*\* CONDITIONS OF PERMIT/APPROVAL \*\***

DATE: 05/27/93  
PAGE: 2

Permit No.: B9300276 TYPE: BUILD  
Location: 4521 PINETREE DR

- 0013 - A SOIL STATEMENT IS REQUIRED.  
UNLESS BASED UPON SOIL BORINGS AND OTHER TESTS,  
1. NO SOIL BEARING VALUE HIGHER THAN 2000 PSF MAXIMUM WILL  
BE ACCEPTABLE.  
2. THE DESIGN PROFESSIONAL SHALL VISIT THE SITE WHILE  
CONSTRUCTION IS IN PROGRESS AND BEFORE THE FIRST SITE  
EXCAVATION AND OBSERVE THE TYPE AND NATURE OF THE SOIL  
AND SHALL CERTIFY TO THE BUILDING OFFICIAL THAT THE  
EXISTING SOIL HAS A BEARING CAPACITY SUFFICIENT TO  
SUPPORT THE PROPOSED CONSTRUCTION.

0014 - THE FOLLOWING ITEMS ARE SPECIFICALLY OMITTED FROM THIS PERMIT

- 0017 - THIS PERMIT IS ISSUED BASED UPON THE CONTRACTORS  
AGREEMENT THAT HE (THE CONTRACTOR) WILL TEAR OFF THE OLD  
ROOF DOWN TO THE BARE WOOD OR BARE CONCRETE DECK.  
IF SUCH CONDITIONS SHALL EXIST, THEN THIS PERMIT SHALL BE  
VOID.

ENGINEER'S SIGNATURE

EC01 - ENGINEERING PLANS REVIEW

*[Signature]*  
5/27/93

☒ APPROVED  
☐ NOT APPROVED  
☐ HOLD/PENDING FIELD CHECK

EC03 - LOCAL ADDRESS:  
4521 PINETREE DRIVE

EC04 - PLAN DESCRIPTION:  
CONSTRUCTION OF A SINGLE FAMILY HOUSE 8200 SQ. FT.

EC05 - GARBAGE FACILITIES:  
-----

EC06 - To provide adequate facilities.

EC07 - SANITARY SEWER:  
-----

EC08 - To use existing facilities.

EC09 - Garbage disposal units not permitted.

10

**\*\* CONDITIONS OF PERMIT/APPROVAL \*\***

DATE: 05/27/93  
PAGE: 3

Permit No.: B9300276 TYPE: BUILD  
Location: 4521 PINETREE DR

EC57 - No lateral exists to this property. Contact Public Service Department.

**ECW0 - WATER:**  
-----

ECW3 - Contact Public Services Department (673-7645) for water service.

**ED00 - DRAINAGE:**  
-----

ED02 - Side yards to be lined so as to not shed water to neighboring properties.

ED04 - All drainage to be contained within property.

ED05 - A/C condensate to be piped to drain drainage well to be shown inside property and disconnected from the property lines.

EFE0 - DOES MEET FEDERAL BASE FLOOD ELEVATION OF +8.00 NSL.

**ECE0 - GRADES/ELEVATIONS:**  
-----

+10.66

ECE2 - Federal Base Flood Elevation :  
+7.00

**ENT0 - ENCROACHMENTS/EASEMENTS:**  
-----

ENT1 - None

**ENC0 - GENERAL COMMENTS:**  
-----

ENC1 - Public Services Department street permit required for work done on City Property.

ENC6 - Certificate of occupancy required.

ENC8 - Subject to approval of proper governmental agencies.

ENT2 -

SIGNATURE \_\_\_\_\_

COMPANY \_\_\_\_\_

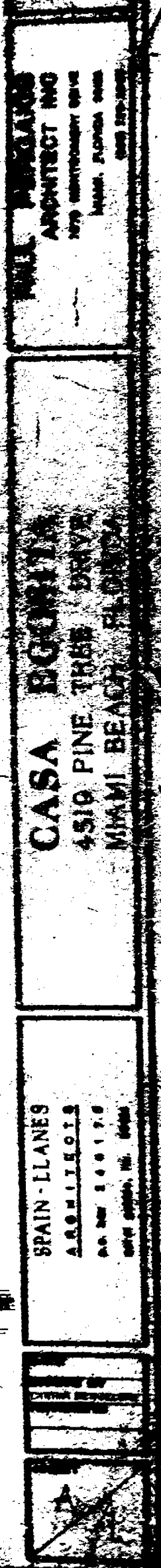
PHONE: \_\_\_\_\_

DATE: \_\_\_\_\_

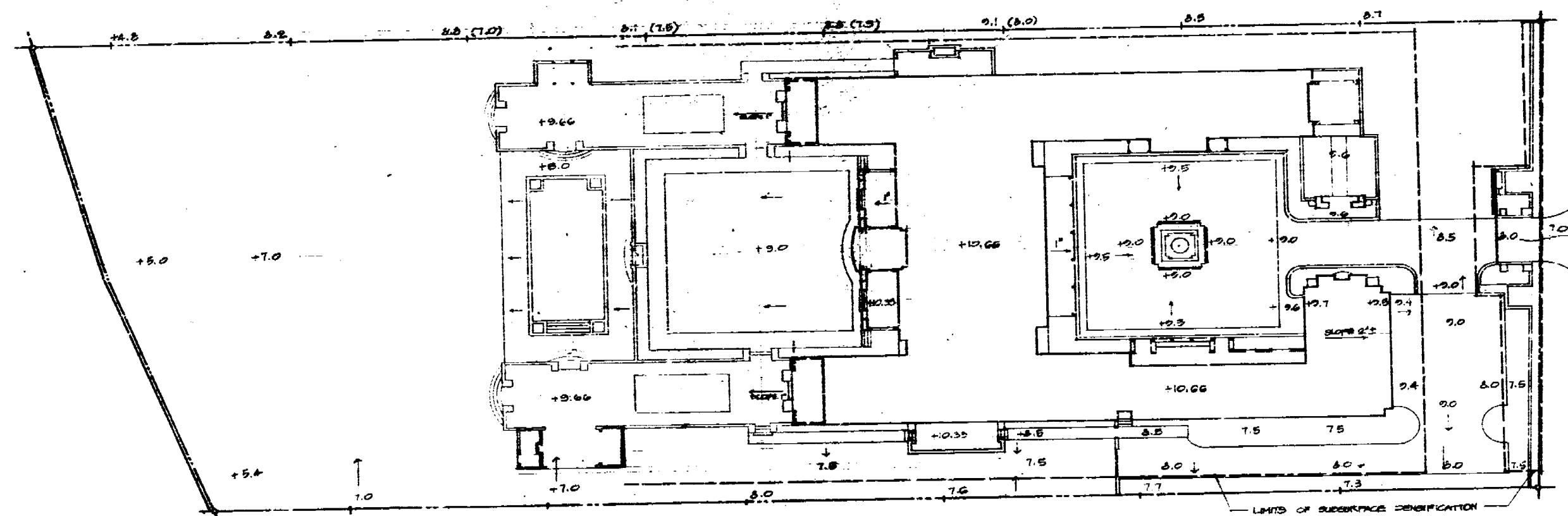
10



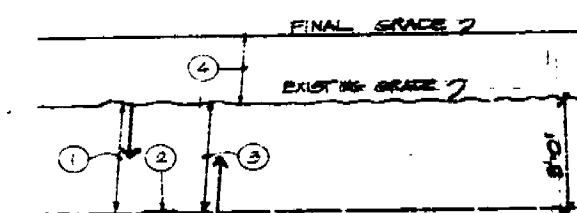








**OFFICE COPY**  
CITY OF MIAMI BEACH  
APPROVED FOR PERMIT BY  
THE FOLLOWING: *[Signature]*  
DATE: *5-2-88*  
SPECIALTY: *WET*  
ZONING: \_\_\_\_\_  
PLUM: BIRM \_\_\_\_\_  
ELECTRICAL: \_\_\_\_\_  
MECHANICAL: \_\_\_\_\_  
FIRE PREVENTION: \_\_\_\_\_  
ENGINEERING: \_\_\_\_\_



1. REMOVE UPPER 3'-0" OF EXISTING SOIL - REMOVE ALL ROOTS & ALL OTHER TELESTENOIC ITEMS OF MATERIAL
2. PROTECT BOTTOM OF EXCAVATION WITH A MIN. 6" THICK N/A VIBRATORY ROLLER
3. REPLACE CLEANED EXCAVATION MATERIAL IN MAX. LIFTS & COMPACT TO 98% MODIFIED PROCTOR DENSITY N/A VIBRATORY ROLLER
4. PLACE NEW FILL IN THE SAME MANNER AS IN STEP 3.

SUBSURFACE DENSIFICATION SCHEME  
10 SCALE

Paul Engle  
May 20, 1968

**PAUL PERGAKIS**  
**ARCHITECT INC**  
7870 MONTAUCNEY DRIVE  
MIAMI, FLORIDA 33188  
(305) 555-8333

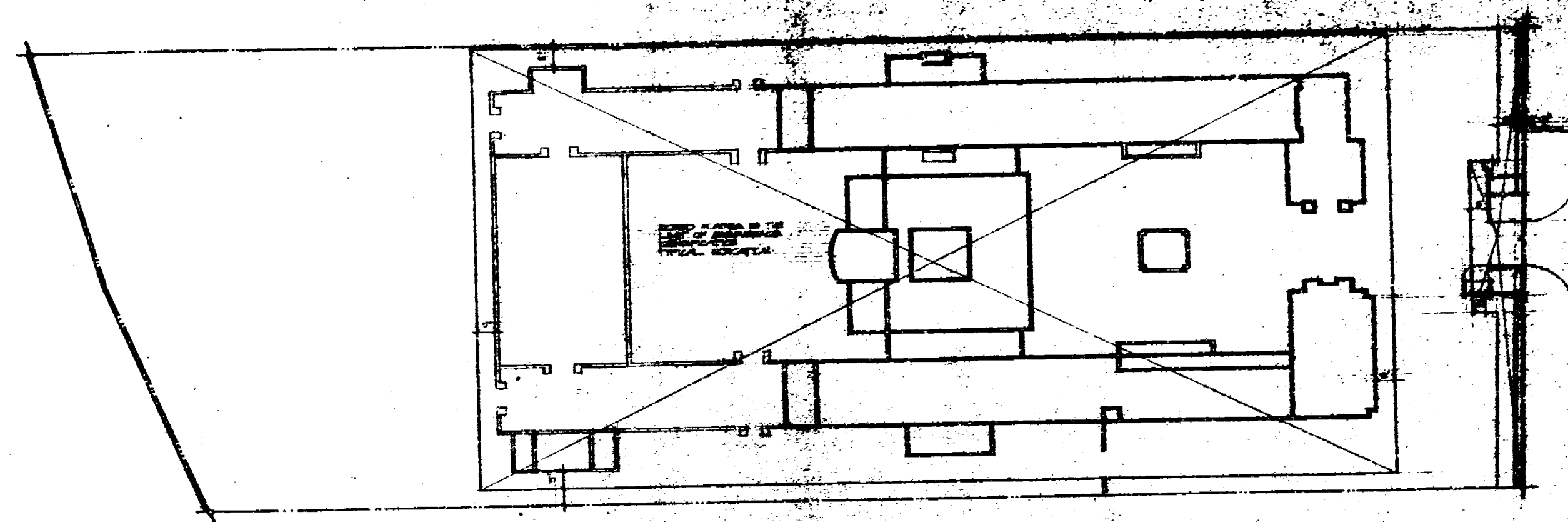
**CASA EGOSITA**  
4519 PINE TREE DRIVE  
MIAMI BEACH, FLORIDA

SPAIN - LLANES  
A R C H I T E C T S  
p.o. box 240170  
coral gables, fl. 33134









SITE CIVIL PLAN  
SCALE 1" = 20'

- ① SEE CIVIL ENGINEERING
- ② SEE ELECTRICAL ENGINEERING
- ③ SEE MECHANICAL ENGINEERING
- ④ SEE PLUMBING ENGINEERING

SUBSPACE DENSIFICATION

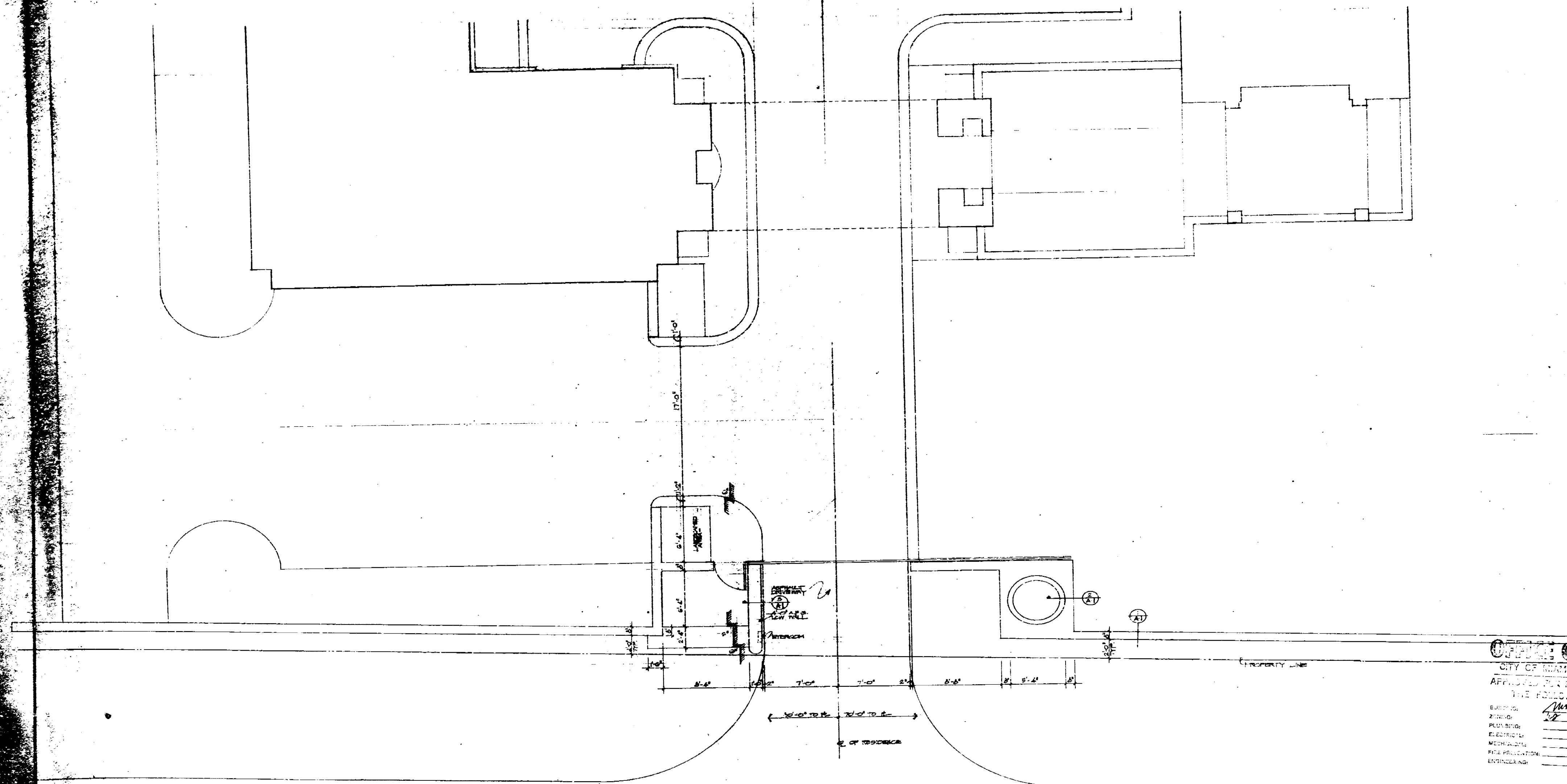
**OFFICE COPY**

CITY OF MIAMI BEACH  
APPROVED FOR PERMIT BY  
THE FOLLOWING:

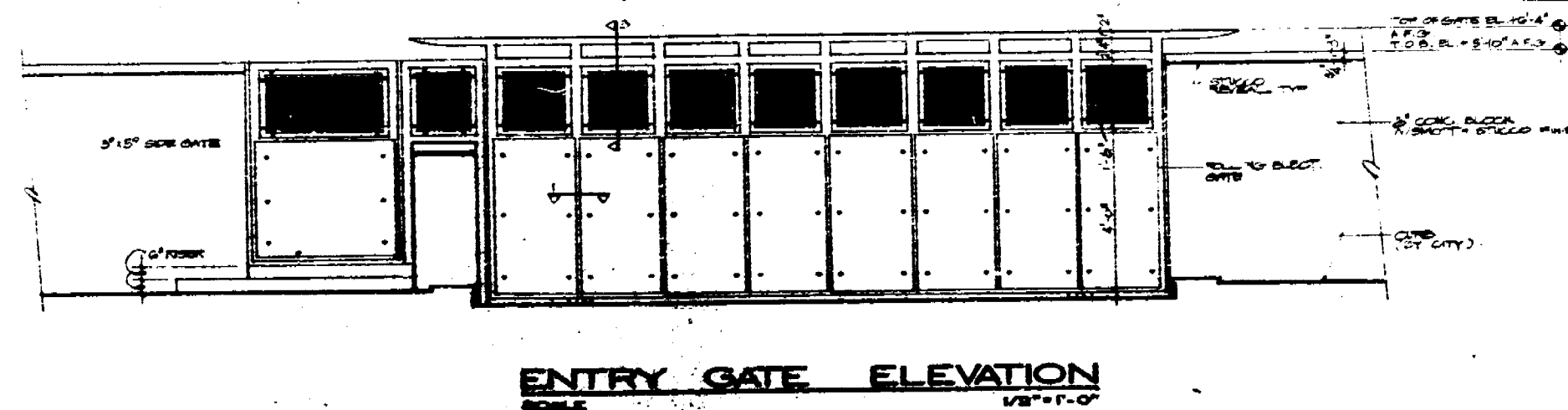
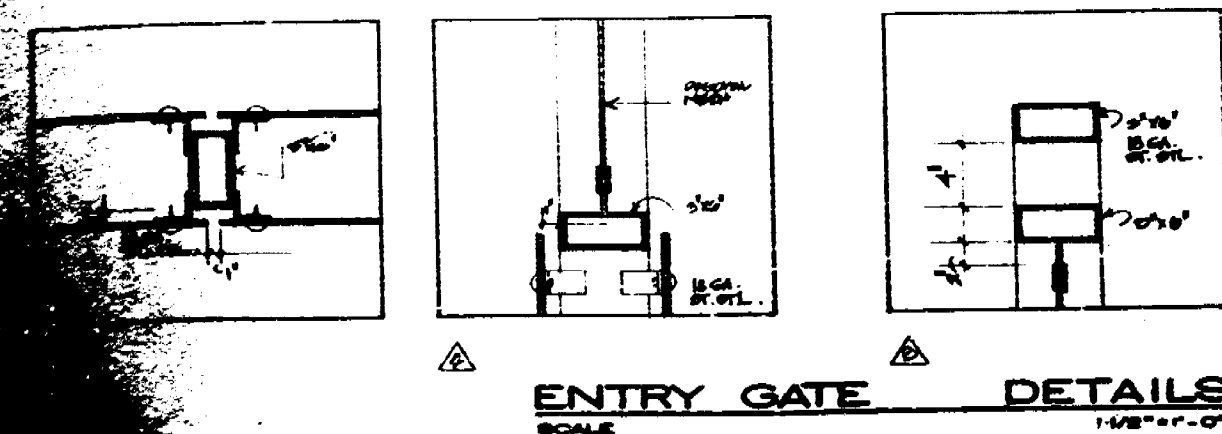
DESIGNED BY:                       
 DRAWN BY:                       
 CHECKED BY:                       
 DATE:                     

CASA PROJECT  
3333 NINE MILE DRIVE  
MIAMI BEACH, FLORIDA

SPAIN-FLORIDA  
ARCHITECTS  
P.A. 1984



OFFICE COPY  
CITY OF MIAMI BEACH  
APPROVED FOR PERMIT BY  
THE FOLLOWING:  
ENGINEER: *Mark S. 5-27-92*  
ARCHITECT: *SPAIN-LLANES*  
PLUMBING: *SPAIN-LLANES*  
ELECTRICAL: *SPAIN-LLANES*  
MECHANICAL: *SPAIN-LLANES*  
INSULATION: *SPAIN-LLANES*  
ENVIRONMENTAL: *SPAIN-LLANES*



ENTRY FLOOR PLAN  
SCALE 1/4"=1'-0"

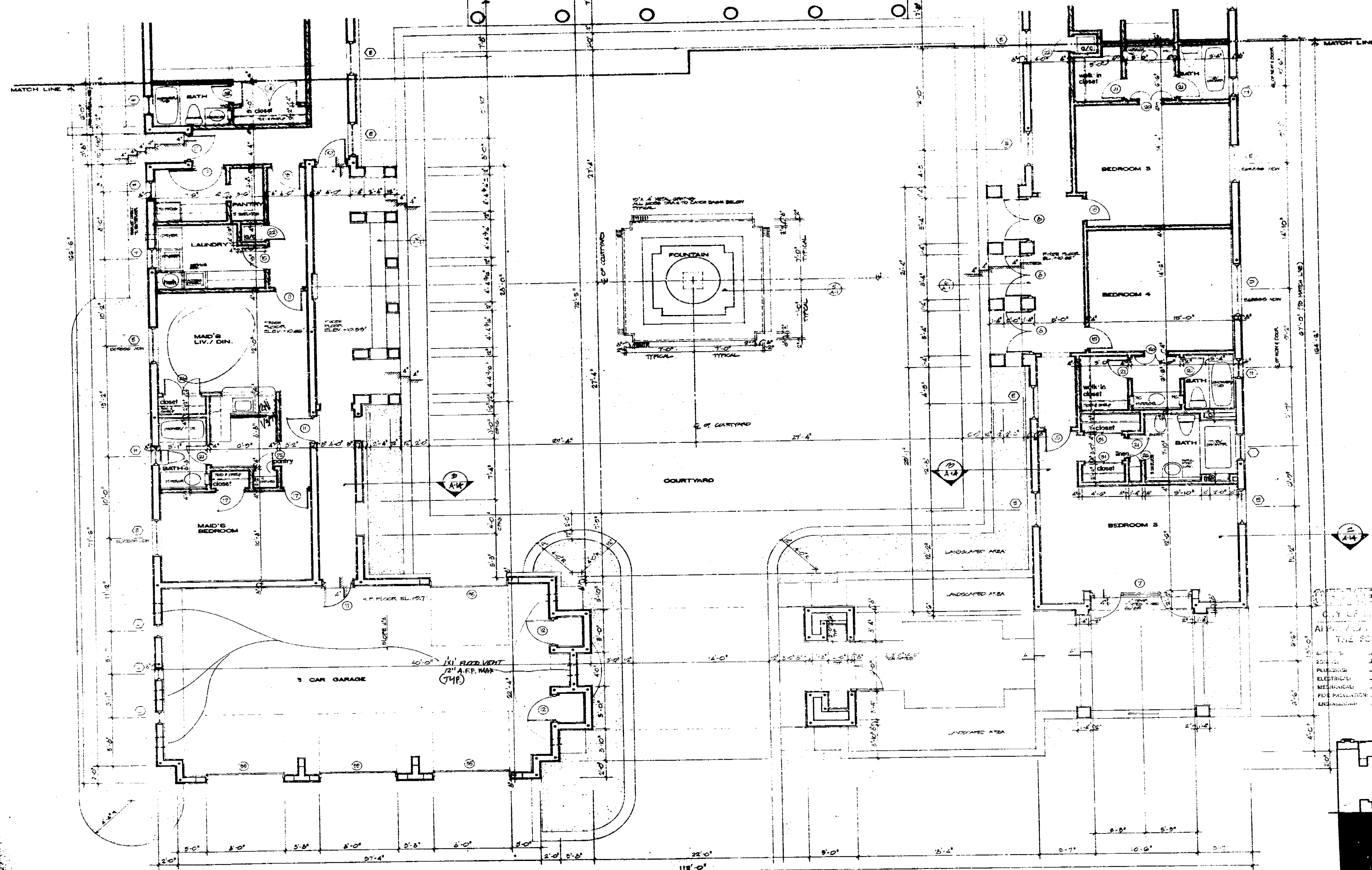
SPAIN-LLANES  
ARCHITECTS  
P.O. BOX 248178  
CORAL GABLES, FL 33124

PAUL PERGAKIS  
ARCHITECT INC  
1970 MONTELUPO DRIVE  
MIAMI, FLORIDA 33146  
(305) 224-1155

CASA EGOSITA  
4519 PINE TREE DRIVE  
MIAMI BEACH, FLORIDA

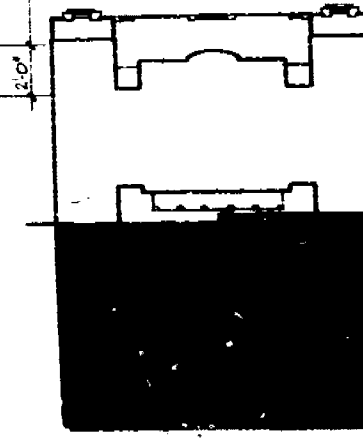
A 4





PARTIAL FLOOR PLAN  
SCALE 1/4" = 1'-0"

OFFICE COPY  
CITY OF MIAMI BEACH  
APPROVED FOR PERMIT BY  
THE FOLLOWING:  
DATE: 5/11/12  
BY: [Signature]  
PLUMBING  
ELECTRICAL  
MECHANICAL  
FIRE PROTECTION  
ENGINEERING



KEY

*Paul Pergakis*  
May 2009

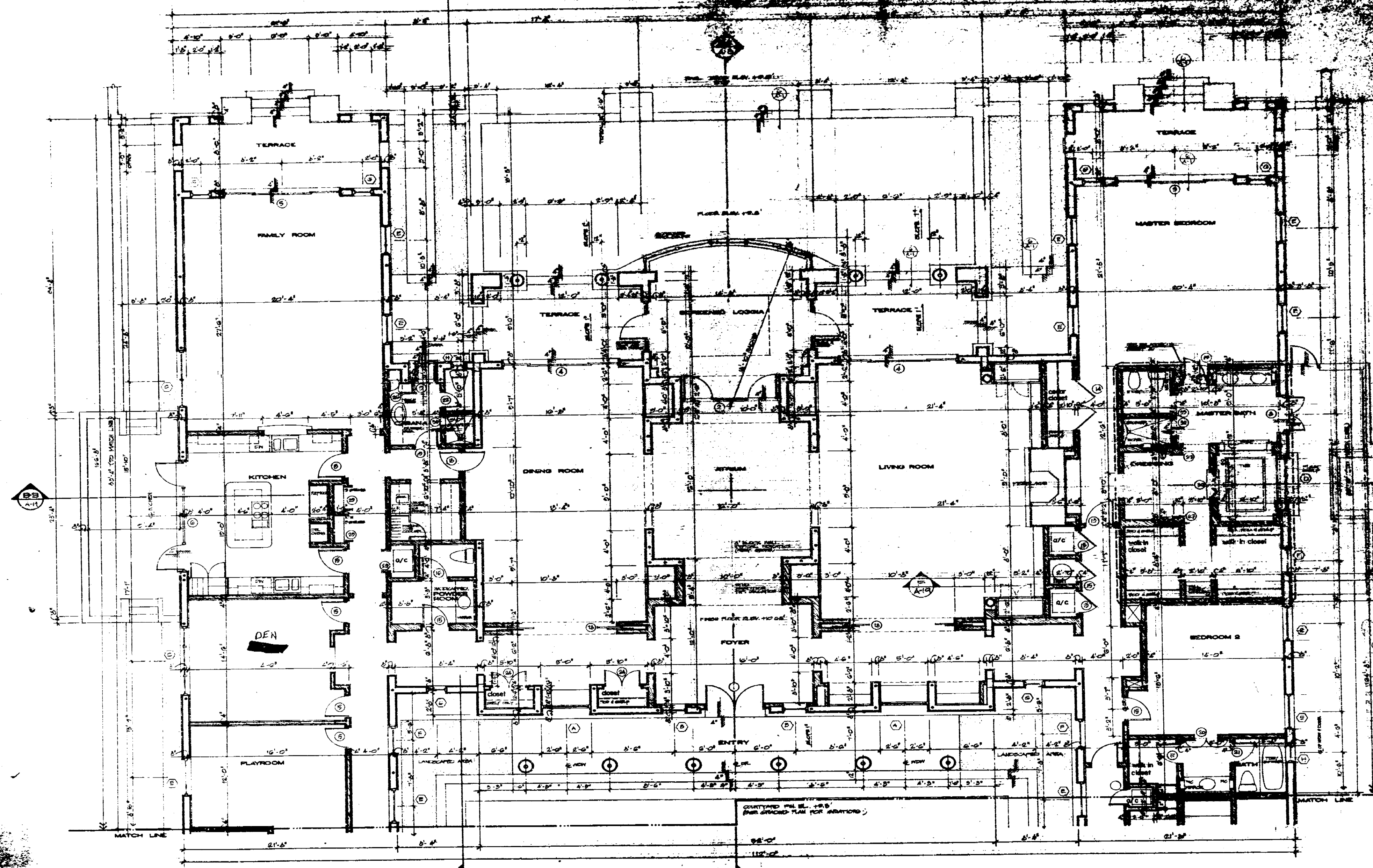
PAUL PERGAKIS  
ARCHITECT INC  
1870 MONTGOMERY DRIVE  
MIAMI, FLORIDA 33133  
(305) 552-1234

CASA EGOSITA  
4519 PINE TREE DRIVE  
MIAMI BEACH, FLORIDA

SPAIN-LLANES  
ARCHITECTS  
P.O. BOX 248178  
CORAL GABLES, FL 33194

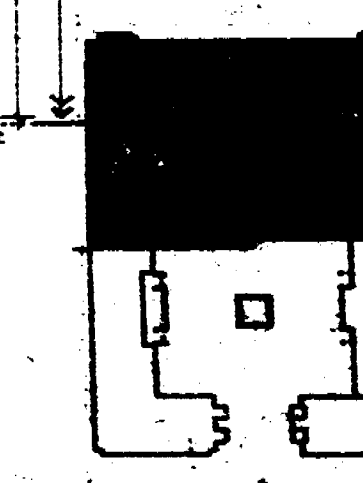
DATE	
PROJECT NO.	
REVISIONS	
1	A
2	B





PARTIAL FLOOR PLAN  
SCALE 1/8" = 1'-0"

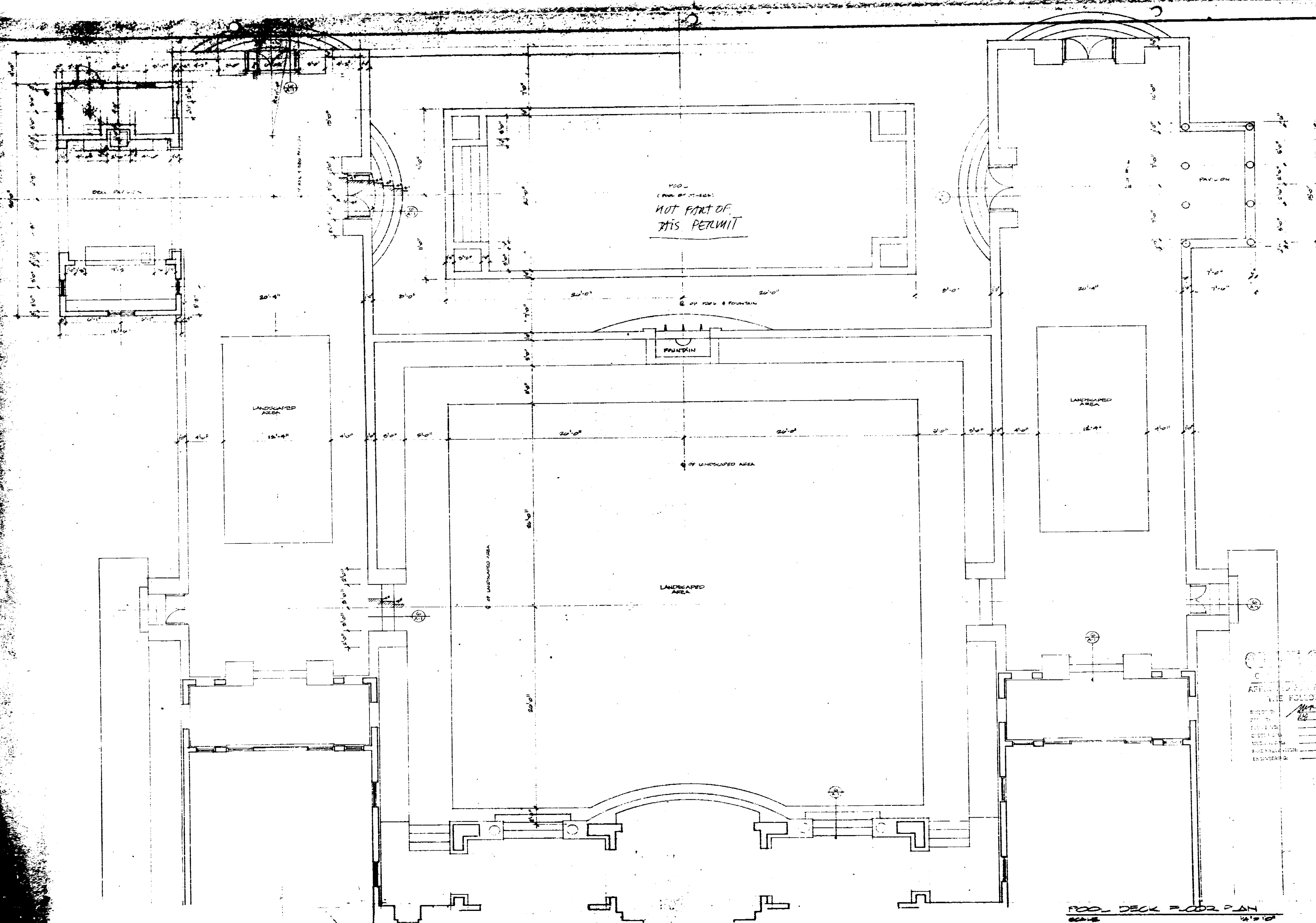
TRUE COPY  
OF THE ORIGINAL  
AS SUBMITTED BY  
THE FOLLOWING:  
*[Signature]*  
DATE: 5-2-77  
BY: *[Signature]*



SPAIN-LLANES  
ARCHITECTS  
P.O. BOX 240170  
MIAMI BEACH, FL. 33124

CASA BOGOSITA  
4819 PINE TREE DRIVE  
MIAMI BEACH, FLORIDA

PALL PERGAKIS  
ARCHITECT INC  
1910 N. BAYVIEW DRIVE  
MIAMI, FLORIDA 33135  
TEL: 368-2443



**COPY COPY**

COPY TO LEARN

APPROVED FOR PERMIT BY  
THE FOLLOWING:

*MW 5-27/82*  
*ESB*

SIGNATURE \_\_\_\_\_  
DATE \_\_\_\_\_  
DESIGNER \_\_\_\_\_  
CHECKED BY \_\_\_\_\_  
MATERIALS \_\_\_\_\_  
FOUNDATION \_\_\_\_\_  
ENGINEERING \_\_\_\_\_

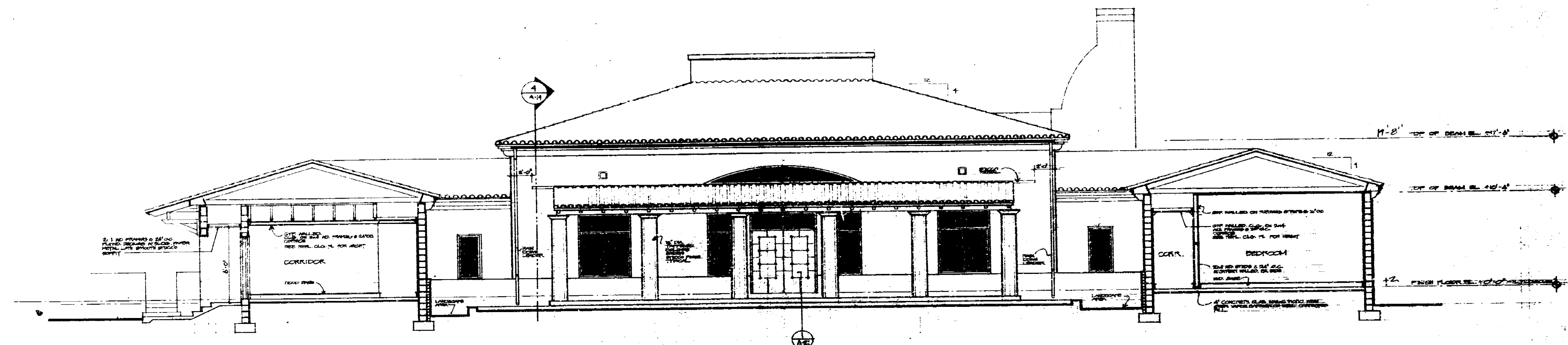
SPAIN-LLANES  
ARCHITECTS  
p.o. box 249178  
coral gables, fl. 33124

**CASA EGOSITA**  
4519 PINE TREE DRIVE  
MIAMI BEACH, FLORIDA

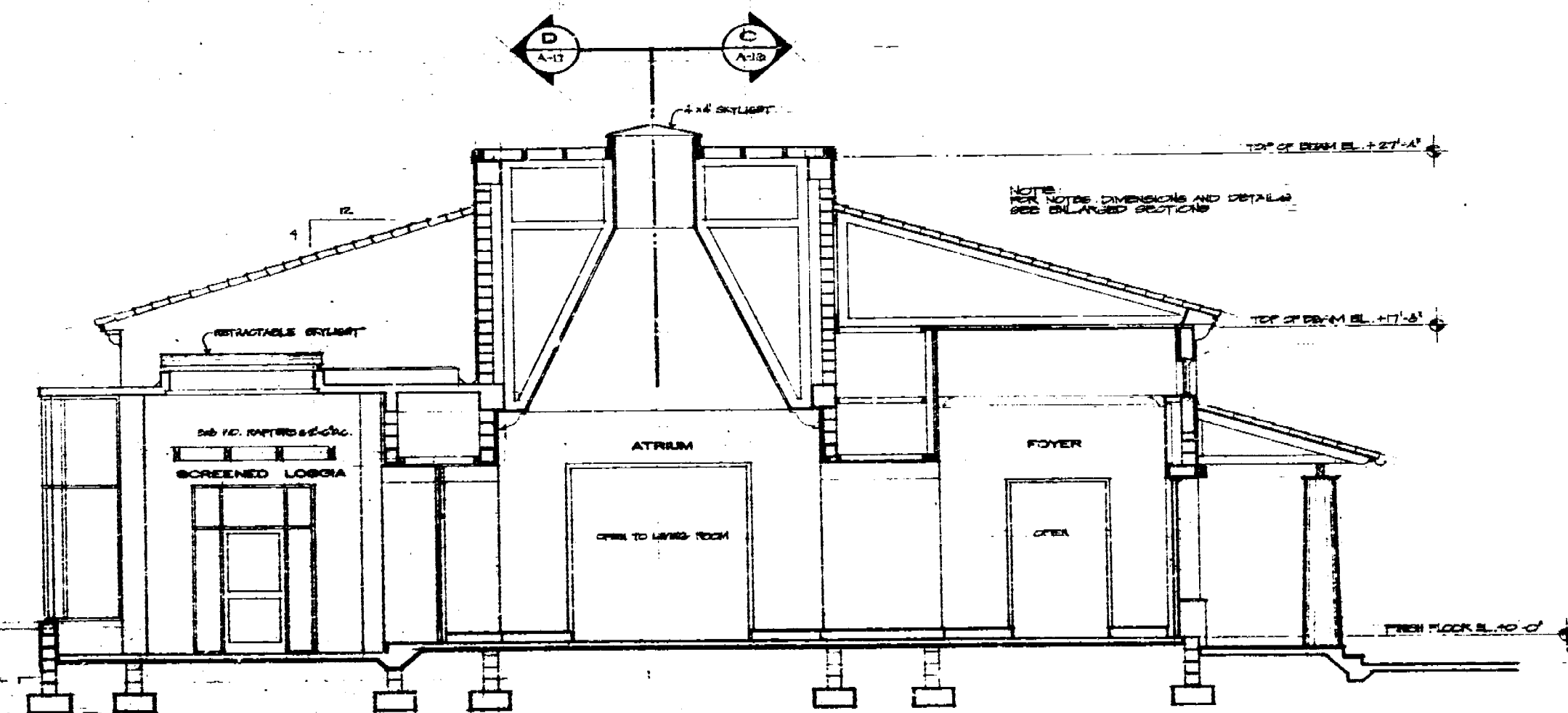
**PAUL PERGAKIS**  
**ARCHITECT INC**  
7870 MONTGOMERY DRIVE  
MIAMI, FLORIDA 33166  
(305) 258-2885

Paul F. Schaefer  
May 20, 1979.



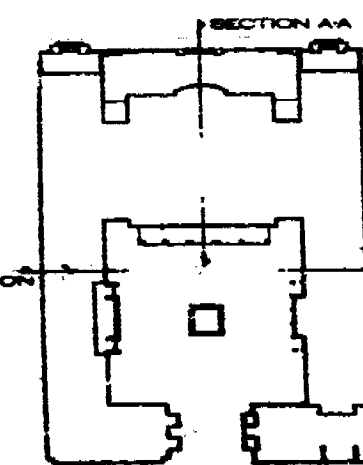


ENTRY (EAST) ELEVATION  
SCALE 1/4" = 1'-0"



SECTION A-A  
SCALE 1/4" = 1'-0"

CITY OF MIAMI BEACH  
APPROVED FOR PERMIT BY  
THE FOLLOWING:  
DATE: 5/24/82  
BY: [Signature]  
TITLE: [Signature]  
NAME: [Signature]  
FIRM: [Signature]



KEY  
SCALE 1/4" = 1'-0"

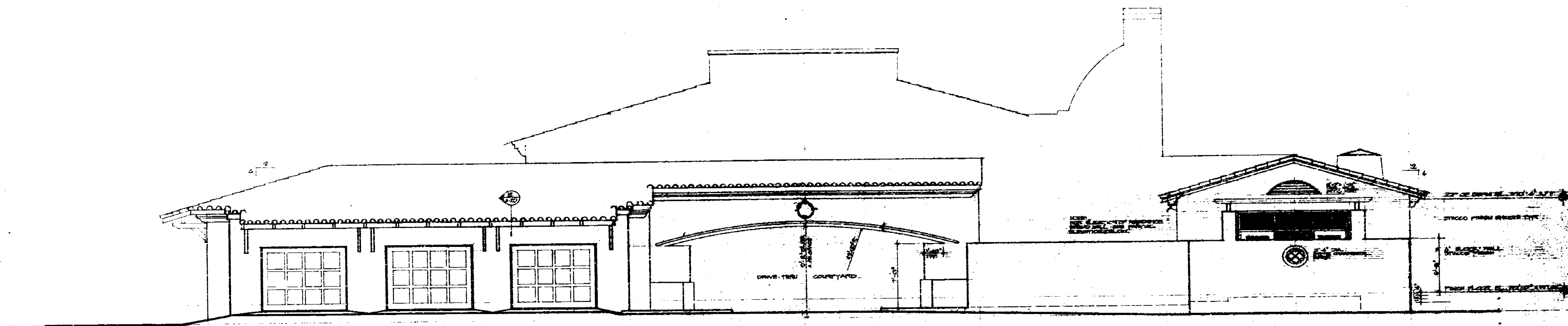
Paul Pergakis  
Architect Inc.

PAUL PERGAKIS  
ARCHITECT INC  
7870 MONTGOMERY DRIVE  
MIAMI, FLORIDA 33155  
(305) 551-2111

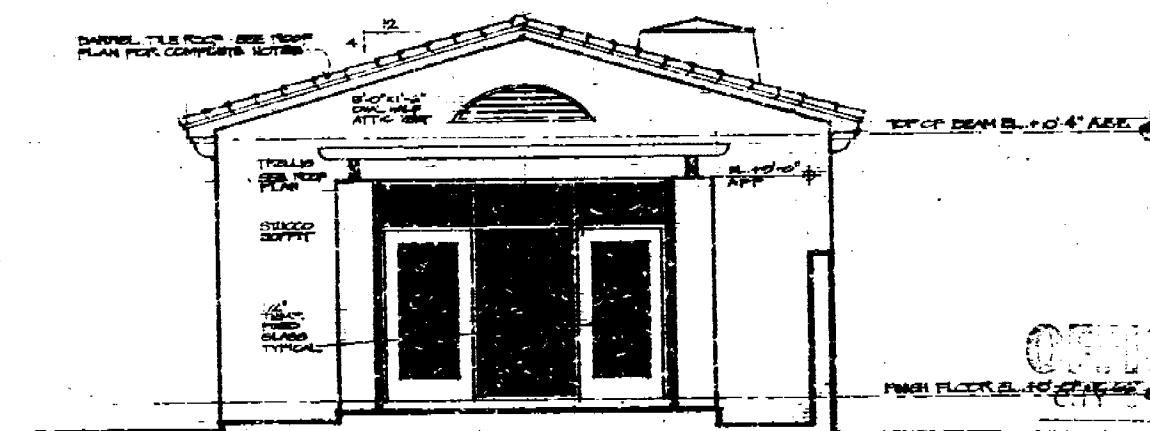
CASA EGOSITA  
4519 PINE TREE DRIVE  
MIAMI BEACH, FLORIDA

SPAIN-LLANES  
ARCHITECTS  
P.O. BOX 248176  
MIAMI BEACH, FL 33124

DATE: 5/24/82  
BY: [Signature]  
TITLE: [Signature]  
NAME: [Signature]  
FIRM: [Signature]



COURTYARD  
ENTRY (WEST) ELEVATION  
SCALE 1/4\"/>



PARTIAL (WEST) ELEVATION  
SCALE 1/4\"/>

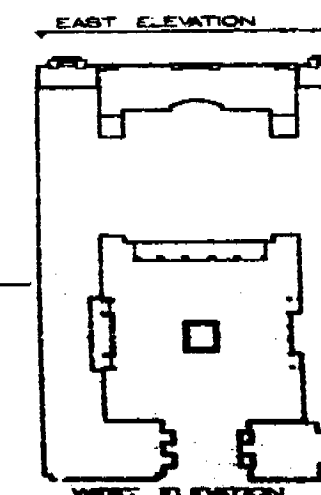
OFFICE COPY

APPROVED FOR PERMIT BY  
THE FOLLOWING:

DATE 5/21/73  
BY [Signature]



REAR (EAST) ELEVATION  
SCALE 1/4\"/>



EAST ELEVATION  
SCALE 1/4\"/>

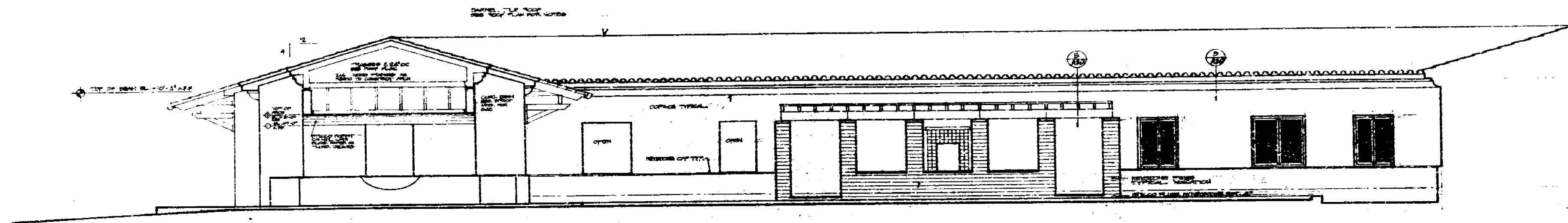
Paul Pergakis  
Architect  
1970 Monticourt Drive  
Miami, Florida 33135  
DOB 11-1-1915

PAUL PERGAKIS  
ARCHITECT INC  
1970 MONTICOURT DRIVE  
MIAMI, FLORIDA 33135  
DOB 11-1-1915

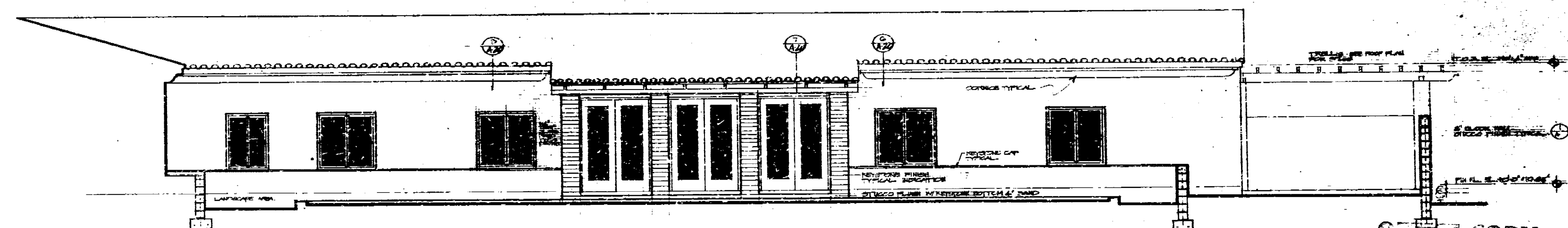
CASA EGOSITA  
4519 PINE TREE DRIVE  
MIAMI BEACH, FLORIDA

SPAIN-LLANES  
ARCHITECTS  
P.O. BOX 149176  
MIAMI, FLORIDA 33114

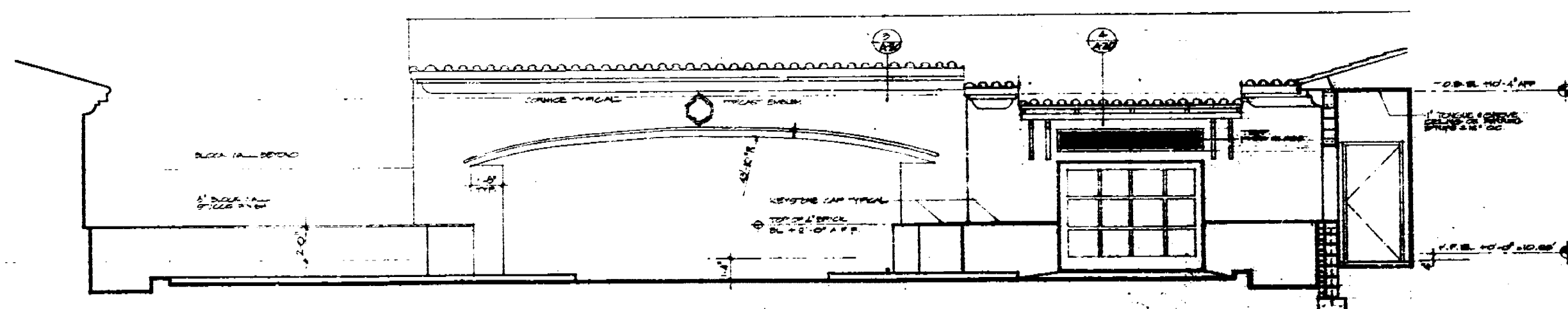
DATE  
BY  
A 9



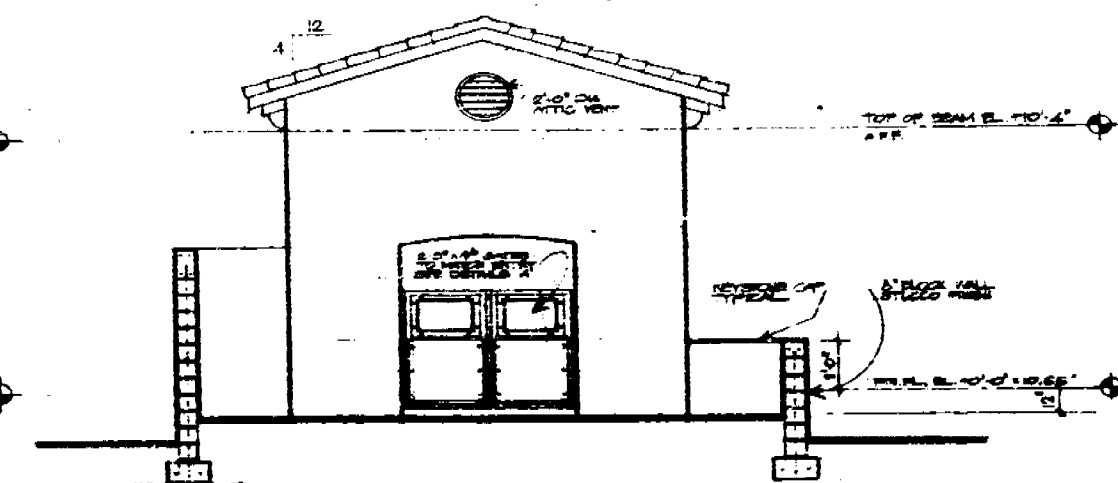
PARTIAL (NORTH) COURTYARD ELEVATION A  
SCALE 1/8" = 1'-0"



PARTIAL (SOUTH) COURTYARD ELEVATION B  
SCALE 1/8" = 1'-0"

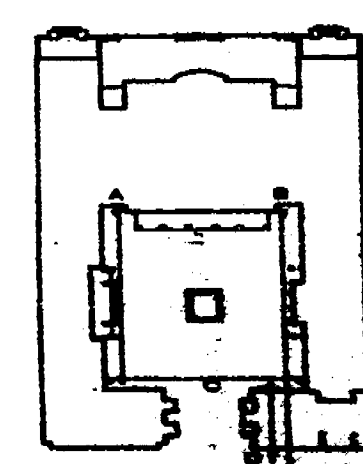


PARTIAL (EAST) COURTYARD ELEVATION C  
SCALE 1/8" = 1'-0"



PARTIAL (NORTH) COURTYARD ELEVATION D  
SCALE 1/8" = 1'-0"

CITY OF MIAMI BEACH  
APPROVED FOR PERMIT BY  
THE FOLLOWING:  
BUILDING  
ZONING  
PLANNING  
ELECTRICAL  
MECHANICAL  
FIRE PROTECTION  
ENGINEERING



Paul Pergakis  
May 24, 1993

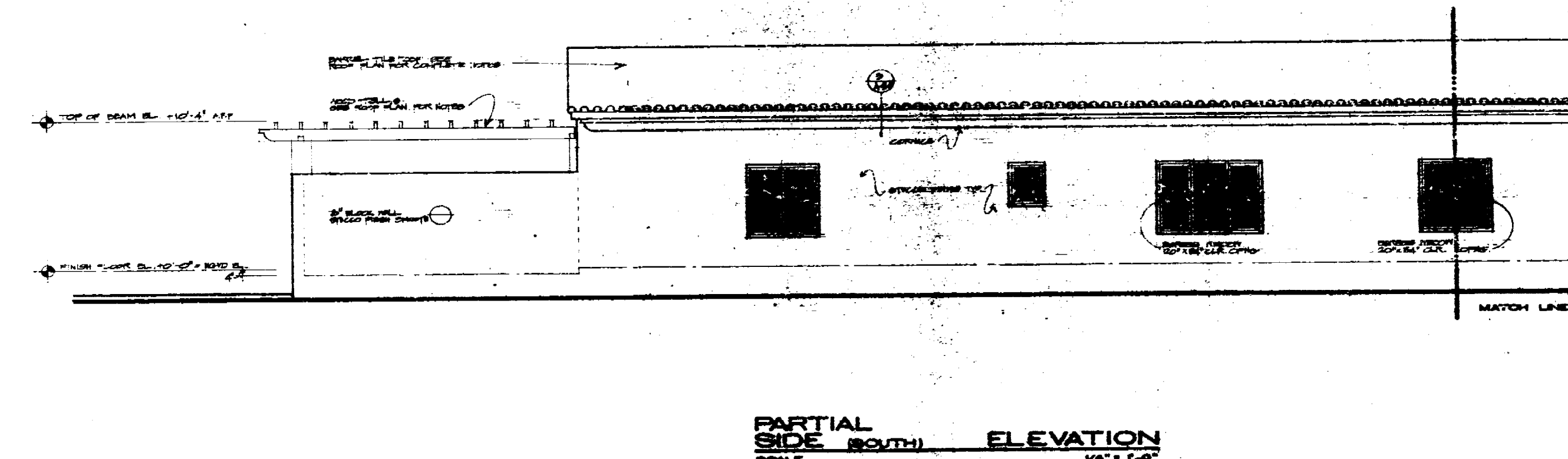
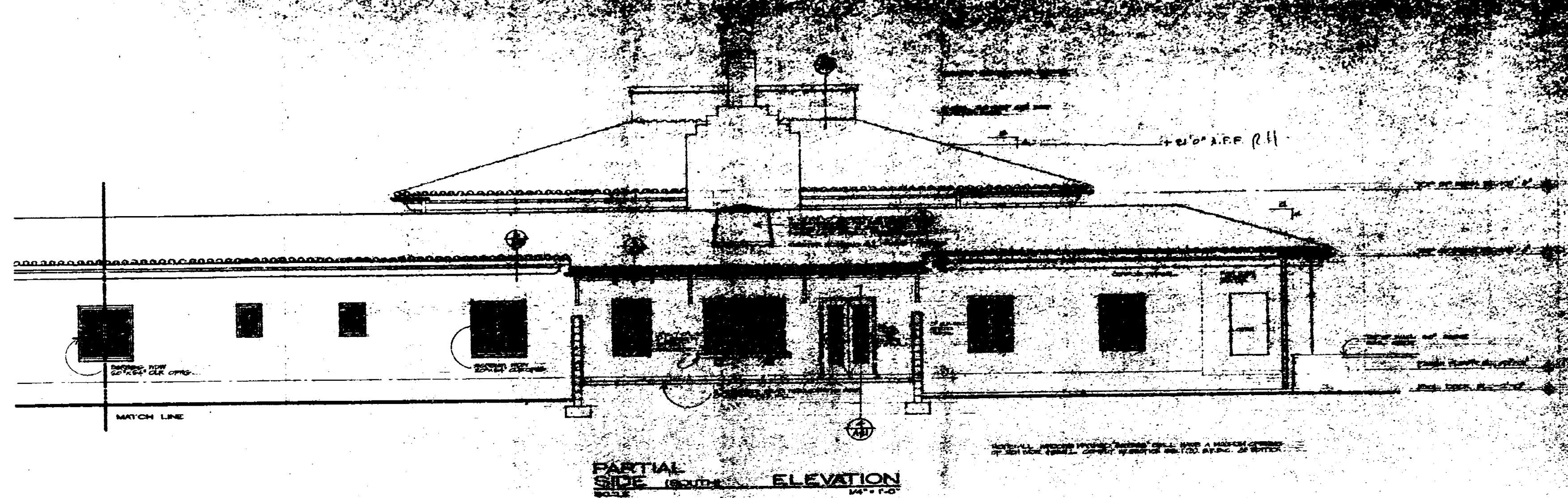
PAUL PERGAKIS  
ARCHITECT INC  
7810 MORTONWAY DRIVE  
MIAMI, FLORIDA 33156  
(305) 556-1335

CASA EGOSITA  
4519 PINE TREE DRIVE  
MIAMI BEACH, FLORIDA

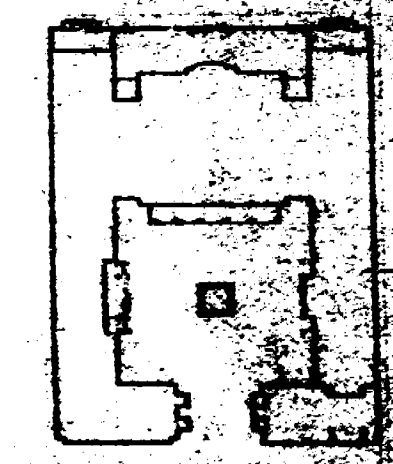
SPAIN-LLANES  
ARCHITECTS  
P.O. BOX 144017  
MIAMI, FLORIDA 33114  
(305) 351-1111

A





**OFFICE COPY**  
 CITY OF MIAMI BEACH  
 APPROVED FOR PERMIT BY  
 THE FOLLOWING:  
 BUILDING: *[Signature]*  
 ZONING: *[Signature]*  
 PLUMBING: *[Signature]*  
 ELECTRICAL: *[Signature]*  
 MECHANICAL: *[Signature]*  
 FIRE PREVENTION: *[Signature]*  
 ENGINEERING: *[Signature]*



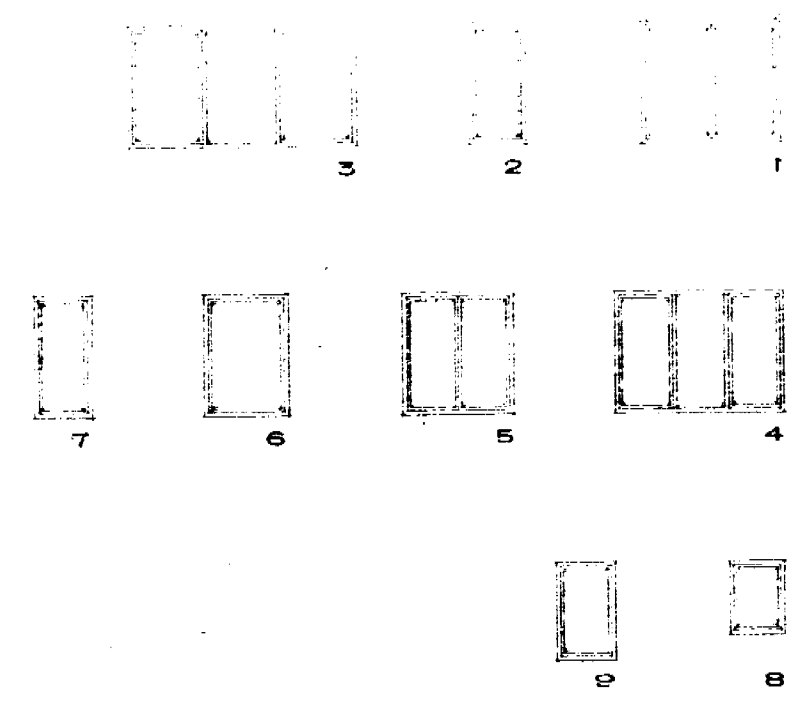
**CASA EQUISITA**  
 4510 PINE TREE DRIVE  
 MIAMI BEACH, FLORIDA

SPAN-LANES  
 AREA: 1,100 S.F.  
 1st Floor: 1,100 S.F.



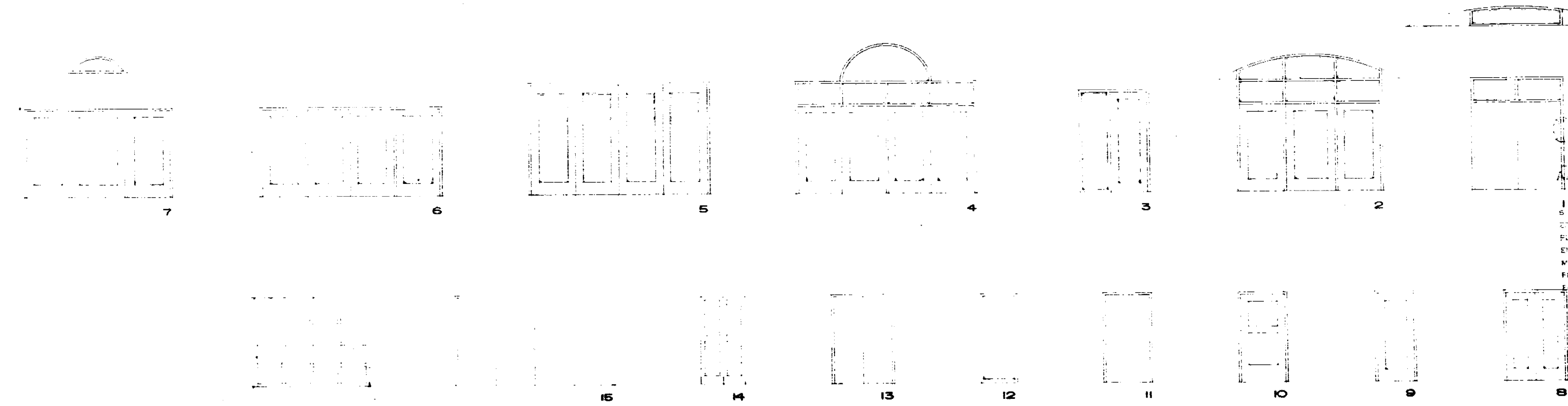
WINDOW SCHEDULE					
MARK	WIDTH	HEIGHT	GLASS	TYPE	REMARKS
1	4'-0"	6'-0"	1/2"	1	
2	4'-0"	6'-0"	1/2"	2	
3	4'-0"	6'-0"	1/2"	3	
4	4'-0"	6'-0"	1/2"	4	
5	4'-0"	6'-0"	1/2"	5	
6	4'-0"	6'-0"	1/2"	6	
7	4'-0"	6'-0"	1/2"	7	
8	4'-0"	6'-0"	1/2"	8	
9	4'-0"	6'-0"	1/2"	9	
10	4'-0"	6'-0"	1/2"	10	
11	4'-0"	6'-0"	1/2"	11	
12	4'-0"	6'-0"	1/2"	12	
13	4'-0"	6'-0"	1/2"	13	
14	4'-0"	6'-0"	1/2"	14	
15	4'-0"	6'-0"	1/2"	15	

NOTE: WINDOW SCHEDULE FOR  
 1. WINDOW SCHEDULE FOR  
 2. WINDOW SCHEDULE FOR  
 3. WINDOW SCHEDULE FOR  
 4. WINDOW SCHEDULE FOR  
 5. WINDOW SCHEDULE FOR  
 6. WINDOW SCHEDULE FOR  
 7. WINDOW SCHEDULE FOR  
 8. WINDOW SCHEDULE FOR  
 9. WINDOW SCHEDULE FOR  
 10. WINDOW SCHEDULE FOR  
 11. WINDOW SCHEDULE FOR  
 12. WINDOW SCHEDULE FOR  
 13. WINDOW SCHEDULE FOR  
 14. WINDOW SCHEDULE FOR  
 15. WINDOW SCHEDULE FOR



WINDOW SCALE 1/4" = 1'-0"

DOOR SCHEDULE							
MARK	WIDTH	HEIGHT	THICK	MATERIAL	TYPE	FRAME	
						MATERIAL	DETAIL
1	4'-0"	8'-0"	1 1/2"	ALUMINUM	1	ALUMINUM	
2	4'-0"	8'-0"	1 1/2"	ALUMINUM	2	ALUMINUM	
3	4'-0"	8'-0"	1 1/2"	ALUMINUM	3	ALUMINUM	
4	4'-0"	8'-0"	1 1/2"	ALUMINUM	4	ALUMINUM	
5	4'-0"	8'-0"	1 1/2"	ALUMINUM	5	ALUMINUM	
6	4'-0"	8'-0"	1 1/2"	ALUMINUM	6	ALUMINUM	
7	4'-0"	8'-0"	1 1/2"	ALUMINUM	7	ALUMINUM	
8	4'-0"	8'-0"	1 1/2"	ALUMINUM	8	ALUMINUM	
9	4'-0"	8'-0"	1 1/2"	ALUMINUM	9	ALUMINUM	
10	4'-0"	8'-0"	1 1/2"	ALUMINUM	10	ALUMINUM	
11	4'-0"	8'-0"	1 1/2"	ALUMINUM	11	ALUMINUM	
12	4'-0"	8'-0"	1 1/2"	ALUMINUM	12	ALUMINUM	
13	4'-0"	8'-0"	1 1/2"	ALUMINUM	13	ALUMINUM	
14	4'-0"	8'-0"	1 1/2"	ALUMINUM	14	ALUMINUM	
15	4'-0"	8'-0"	1 1/2"	ALUMINUM	15	ALUMINUM	
16	4'-0"	8'-0"	1 1/2"	ALUMINUM	16	ALUMINUM	
17	4'-0"	8'-0"	1 1/2"	ALUMINUM	17	ALUMINUM	
18	4'-0"	8'-0"	1 1/2"	ALUMINUM	18	ALUMINUM	
19	4'-0"	8'-0"	1 1/2"	ALUMINUM	19	ALUMINUM	
20	4'-0"	8'-0"	1 1/2"	ALUMINUM	20	ALUMINUM	
21	4'-0"	8'-0"	1 1/2"	ALUMINUM	21	ALUMINUM	
22	4'-0"	8'-0"	1 1/2"	ALUMINUM	22	ALUMINUM	
23	4'-0"	8'-0"	1 1/2"	ALUMINUM	23	ALUMINUM	
24	4'-0"	8'-0"	1 1/2"	ALUMINUM	24	ALUMINUM	
25	4'-0"	8'-0"	1 1/2"	ALUMINUM	25	ALUMINUM	
26	4'-0"	8'-0"	1 1/2"	ALUMINUM	26	ALUMINUM	
27	4'-0"	8'-0"	1 1/2"	ALUMINUM	27	ALUMINUM	
28	4'-0"	8'-0"	1 1/2"	ALUMINUM	28	ALUMINUM	
29	4'-0"	8'-0"	1 1/2"	ALUMINUM	29	ALUMINUM	
30	4'-0"	8'-0"	1 1/2"	ALUMINUM	30	ALUMINUM	
31	4'-0"	8'-0"	1 1/2"	ALUMINUM	31	ALUMINUM	
32	4'-0"	8'-0"	1 1/2"	ALUMINUM	32	ALUMINUM	
33	4'-0"	8'-0"	1 1/2"	ALUMINUM	33	ALUMINUM	
34	4'-0"	8'-0"	1 1/2"	ALUMINUM	34	ALUMINUM	
35	4'-0"	8'-0"	1 1/2"	ALUMINUM	35	ALUMINUM	
36	4'-0"	8'-0"	1 1/2"	ALUMINUM	36	ALUMINUM	
37	4'-0"	8'-0"	1 1/2"	ALUMINUM	37	ALUMINUM	
38	4'-0"	8'-0"	1 1/2"	ALUMINUM	38	ALUMINUM	
39	4'-0"	8'-0"	1 1/2"	ALUMINUM	39	ALUMINUM	
40	4'-0"	8'-0"	1 1/2"	ALUMINUM	40	ALUMINUM	
41	4'-0"	8'-0"	1 1/2"	ALUMINUM	41	ALUMINUM	
42	4'-0"	8'-0"	1 1/2"	ALUMINUM	42	ALUMINUM	
43	4'-0"	8'-0"	1 1/2"	ALUMINUM	43	ALUMINUM	
44	4'-0"	8'-0"	1 1/2"	ALUMINUM	44	ALUMINUM	
45	4'-0"	8'-0"	1 1/2"	ALUMINUM	45	ALUMINUM	
46	4'-0"	8'-0"	1 1/2"	ALUMINUM	46	ALUMINUM	
47	4'-0"	8'-0"	1 1/2"	ALUMINUM	47	ALUMINUM	
48	4'-0"	8'-0"	1 1/2"	ALUMINUM	48	ALUMINUM	
49	4'-0"	8'-0"	1 1/2"	ALUMINUM	49	ALUMINUM	
50	4'-0"	8'-0"	1 1/2"	ALUMINUM	50	ALUMINUM	
51	4'-0"	8'-0"	1 1/2"	ALUMINUM	51	ALUMINUM	
52	4'-0"	8'-0"	1 1/2"	ALUMINUM	52	ALUMINUM	
53	4'-0"	8'-0"	1 1/2"	ALUMINUM	53	ALUMINUM	
54	4'-0"	8'-0"	1 1/2"	ALUMINUM	54	ALUMINUM	
55	4'-0"	8'-0"	1 1/2"	ALUMINUM	55	ALUMINUM	
56	4'-0"	8'-0"	1 1/2"	ALUMINUM	56	ALUMINUM	
57	4'-0"	8'-0"	1 1/2"	ALUMINUM	57	ALUMINUM	
58	4'-0"	8'-0"	1 1/2"	ALUMINUM	58	ALUMINUM	
59	4'-0"	8'-0"	1 1/2"	ALUMINUM	59	ALUMINUM	
60	4'-0"	8'-0"	1 1/2"	ALUMINUM	60	ALUMINUM	
61	4'-0"	8'-0"	1 1/2"	ALUMINUM	61	ALUMINUM	
62	4'-0"	8'-0"	1 1/2"	ALUMINUM	62	ALUMINUM	
63	4'-0"	8'-0"	1 1/2"	ALUMINUM	63	ALUMINUM	
64	4'-0"	8'-0"	1 1/2"	ALUMINUM	64	ALUMINUM	
65	4'-0"	8'-0"	1 1/2"	ALUMINUM	65	ALUMINUM	
66	4'-0"	8'-0"	1 1/2"	ALUMINUM	66	ALUMINUM	
67	4'-0"	8'-0"	1 1/2"	ALUMINUM	67	ALUMINUM	
68	4'-0"	8'-0"	1 1/2"	ALUMINUM	68	ALUMINUM	
69	4'-0"	8'-0"	1 1/2"	ALUMINUM	69	ALUMINUM	
70	4'-0"	8'-0"	1 1/2"	ALUMINUM	70	ALUMINUM	
71	4'-0"	8'-0"	1 1/2"	ALUMINUM	71	ALUMINUM	
72	4'-0"	8'-0"	1 1/2"	ALUMINUM	72	ALUMINUM	
73	4'-0"	8'-0"	1 1/2"	ALUMINUM	73	ALUMINUM	
74	4'-0"	8'-0"	1 1/2"	ALUMINUM	74	ALUMINUM	
75	4'-0"	8'-0"	1 1/2"	ALUMINUM	75	ALUMINUM	
76	4'-0"	8'-0"	1 1/2"	ALUMINUM	76	ALUMINUM	
77	4'-0"	8'-0"	1 1/2"	ALUMINUM	77	ALUMINUM	
78	4'-0"	8'-0"	1 1/2"	ALUMINUM	78	ALUMINUM	
79	4'-0"	8'-0"	1 1/2"	ALUMINUM	79	ALUMINUM	
80	4'-0"	8'-0"	1 1/2"	ALUMINUM	80	ALUMINUM	
81	4'-0"	8'-0"	1 1/2"	ALUMINUM	81	ALUMINUM	
82	4'-0"	8'-0"	1 1/2"	ALUMINUM	82	ALUMINUM	
83	4'-0"	8'-0"	1 1/2"	ALUMINUM	83	ALUMINUM	
84	4'-0"	8'-0"	1 1/2"	ALUMINUM	84	ALUMINUM	
85	4'-0"	8'-0"	1 1/2"	ALUMINUM	85	ALUMINUM	
86	4'-0"	8'-0"	1 1/2"	ALUMINUM	86	ALUMINUM	
87	4'-0"	8'-0"	1 1/2"	ALUMINUM	87	ALUMINUM	
88	4'-0"	8'-0"	1 1/2"	ALUMINUM	88	ALUMINUM	
89	4'-0"	8'-0"	1 1/2"	ALUMINUM	89	ALUMINUM	
90	4'-0"	8'-0"	1 1/2"	ALUMINUM	90	ALUMINUM	
91	4'-0"	8'-0"	1 1/2"	ALUMINUM	91	ALUMINUM	
92	4'-0"	8'-0"	1 1/2"	ALUMINUM	92	ALUMINUM	
93	4'-0"	8'-0"	1 1/2"	ALUMINUM	93	ALUMINUM	
94	4'-0"	8'-0"	1 1/2"	ALUMINUM	94	ALUMINUM	
95	4'-0"	8'-0"	1 1/2"	ALUMINUM	95	ALUMINUM	
96	4'-0"	8'-0"	1 1/2"	ALUMINUM	96	ALUMINUM	
97	4'-0"	8'-0"	1 1/2"	ALUMINUM	97	ALUMINUM	
98	4'-0"	8'-0"	1 1/2"	ALUMINUM	98	ALUMINUM	
99	4'-0"	8'-0"	1 1/2"	ALUMINUM	99	ALUMINUM	
100	4'-0"	8'-0"	1 1/2"	ALUMINUM	100	ALUMINUM	



DOOR SCALE 1/4" = 1'-0"

THIS COPY  
 IS FOR THE ARCHITECT  
 AND IS NOT TO BE USED  
 FOR ANY OTHER PURPOSE  
 WITHOUT THE WRITTEN  
 PERMISSION OF THE ARCHITECT  
 DATE 5/17/12  
 BY [Signature]

**PAUL PERGAKIS**  
 ARCHITECT INC  
 7510 MONTGOMERY DRIVE  
 MIAMI, FLORIDA 33166  
 (305) 251-2215

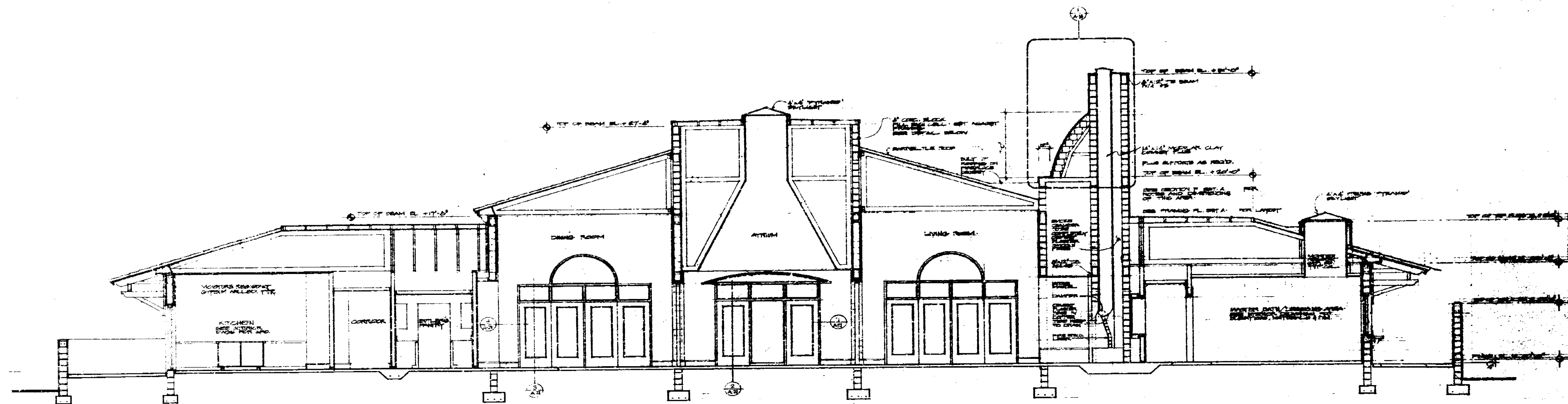
**CASA EGOSITA**  
 4519 PINE TREE DRIVE  
 MIAMI BEACH, FLORIDA

SPAIN ILLANES  
 ARCHITECTS  
 P.O. BOX 248178  
 MIAMI, FLORIDA 33124

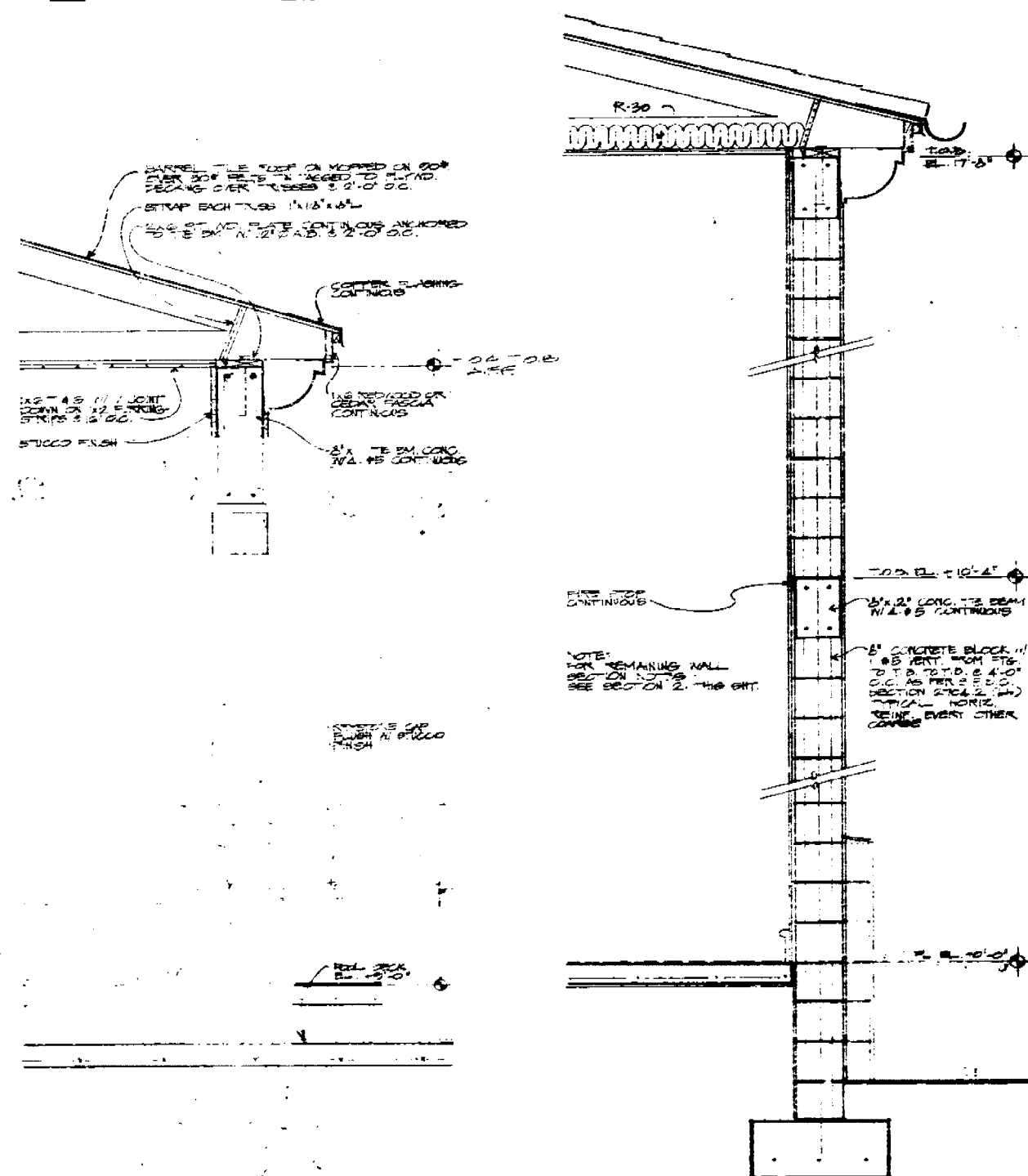
DATE  
 DRAWN BY  
 CHECKED BY  
 REVISIONS

SHEET  
 A  
 13

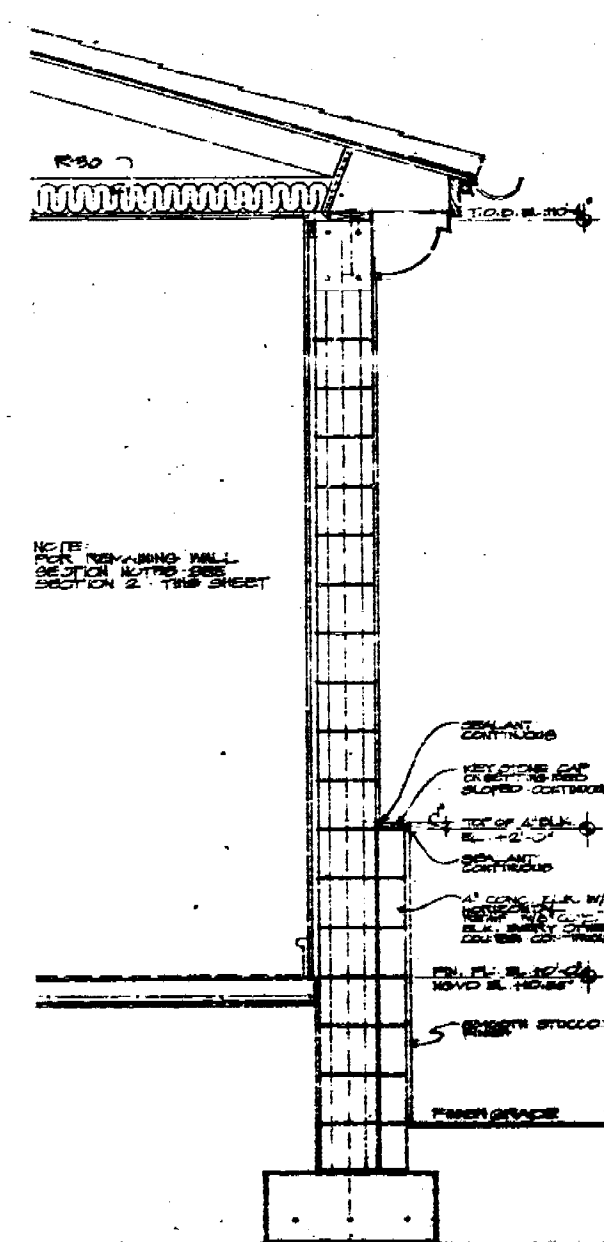




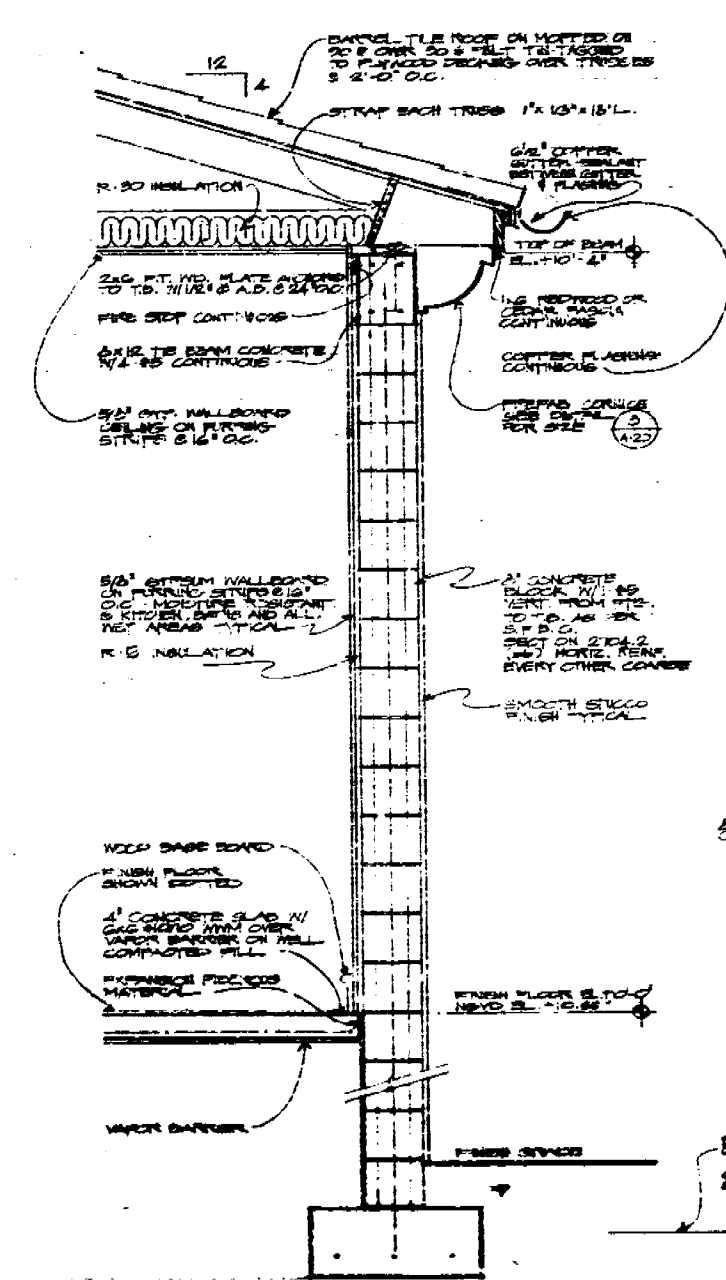
SECTION B-B  
SCALE 1/4" = 1'-0"



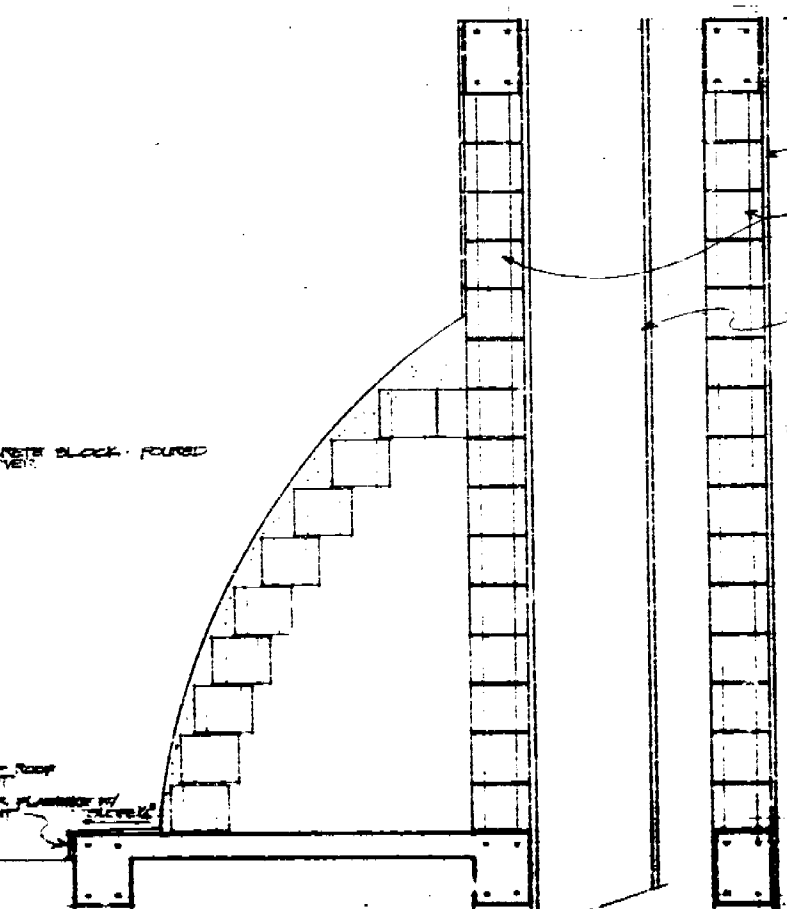
SECTION 5  
SCALE 3/4" = 1'-0"



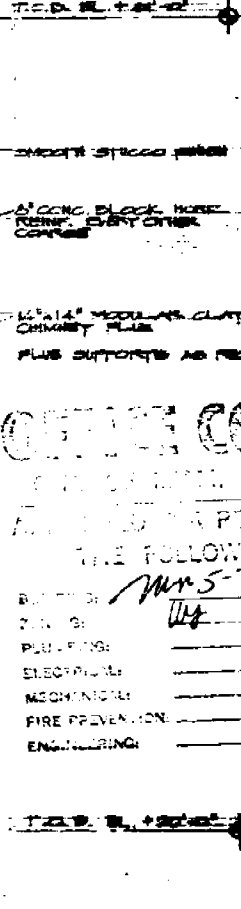
SECTION 4  
SCALE 3/4" = 1'-0"



SECTION 3  
SCALE 3/4" = 1'-0"



SECTION 2  
SCALE 3/4" = 1'-0"



SECTION 1  
SCALE 3/4" = 1'-0"

SPAN-ILANES  
ARCHITECTS  
P.O. BOX 249178  
MIAMI, FLORIDA 33124

CASA EGOSITA  
4519 PINE TREE DRIVE  
MIAMI BEACH, FLORIDA

PAUL PERGAKIS  
ARCHITECT INC  
1970 INTERNATIONAL DRIVE  
MIAMI, FLORIDA 33156  
PHONE (305) 381-2555

Paul Pergakis  
Architect

A-14

[illegible]

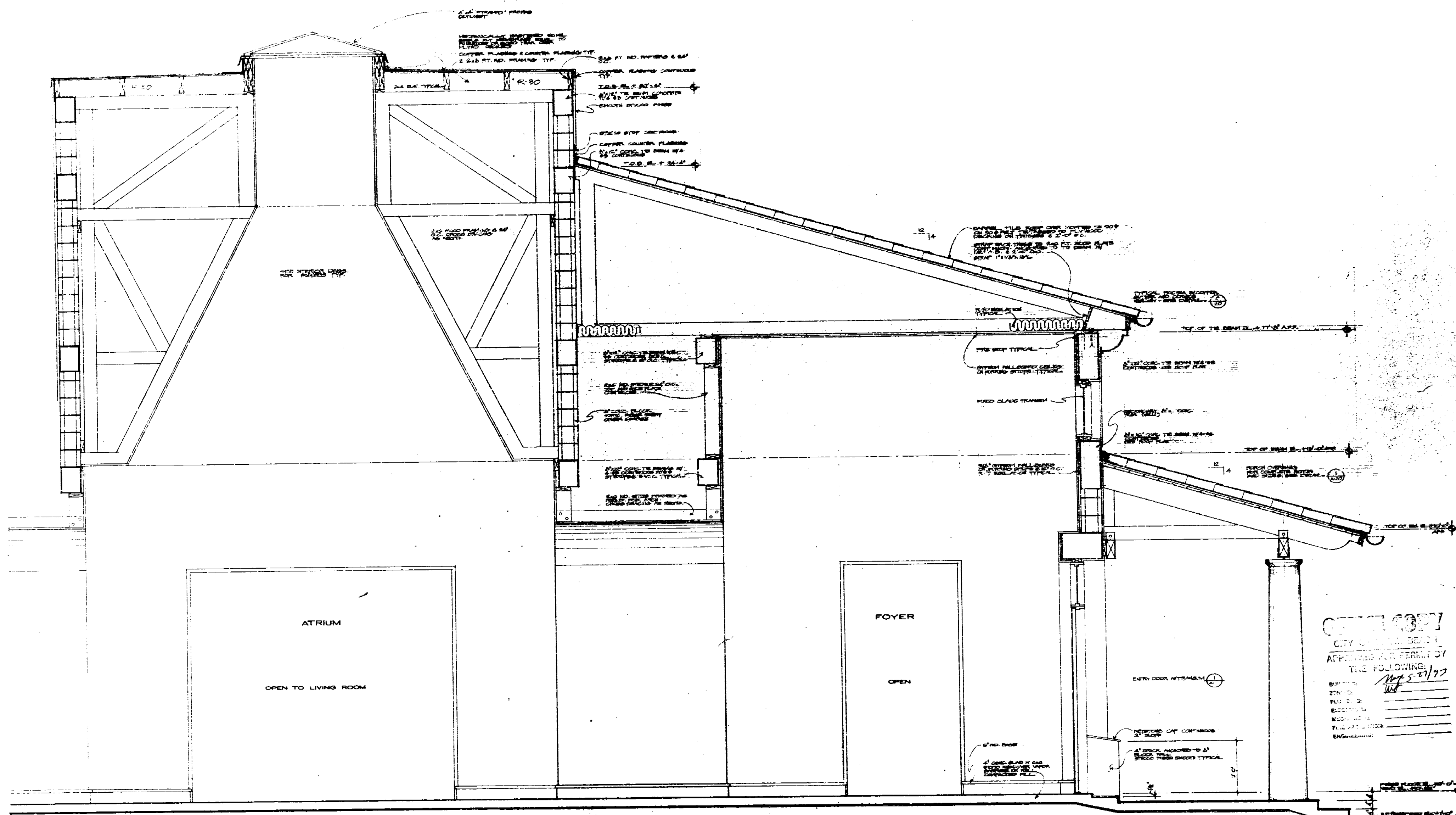
SPAIN - LLANES  
ARCHITECTS  
p.o. box 249178  
coral gables, fls. 38124

**CASA EGOSITA**  
4519 PINE TREE DRIVE  
MIAMI BEACH, FLORIDA

**PAUL PERGAKIS**  
**ARCHITECT INC**  
7670 MONTGOMERY DRIVE  
MIAMI, FLORIDA 33146  
(800) 255-5286

Paul Robbins  
May 24, 1908.

~~A 15~~

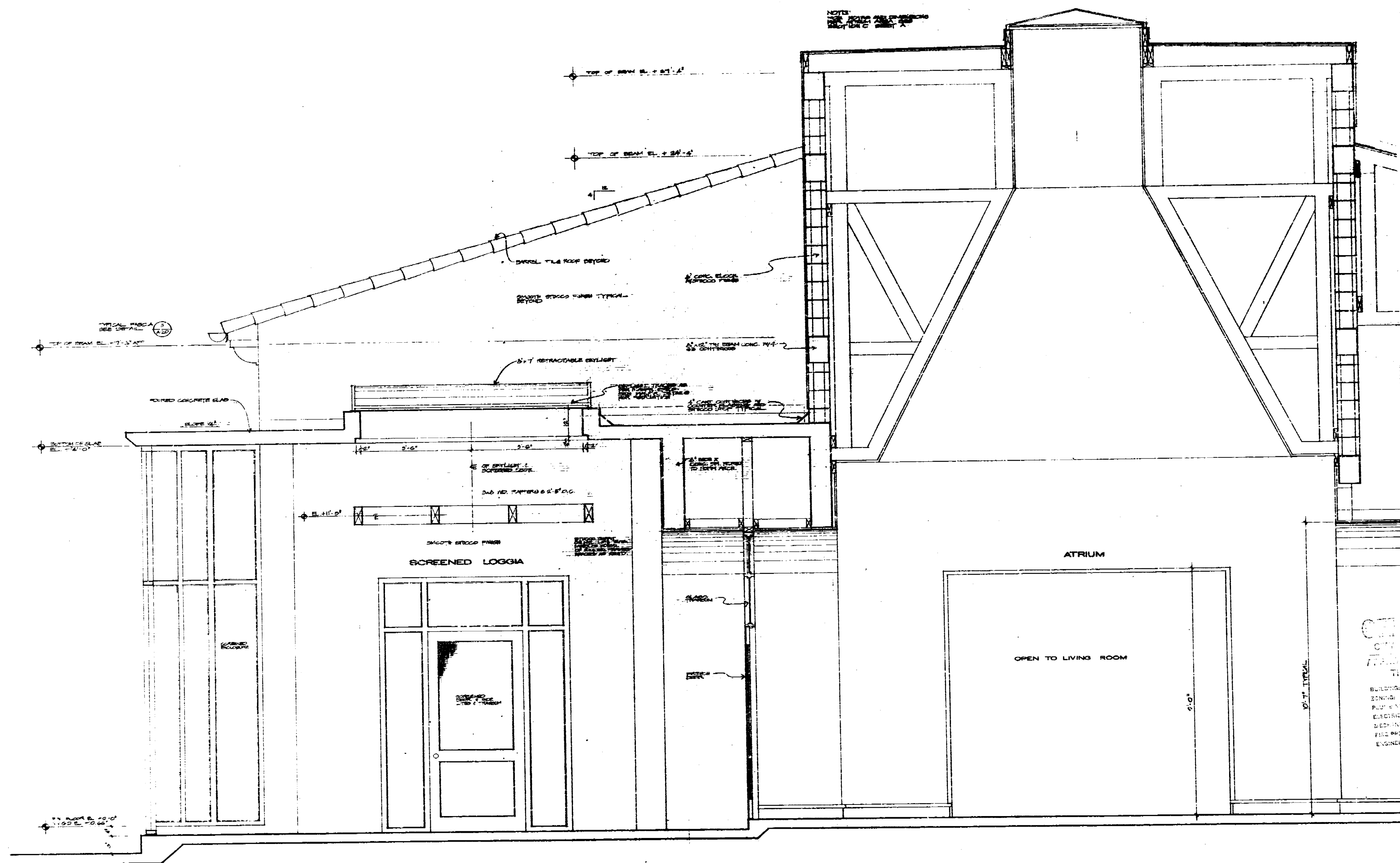


SECTION C  
SCALE 3/4" = 1'-0"

CITY OF MIAMI BEACH  
APPROVED FOR PERMIT BY  
THE FOLLOWING:  
DATE 5-21-77  
SPAIN LLANES  
ARCHITECT  
P.O. BOX 248178  
MIAMI BEACH, FL 33124

PAUL PERGAKIS ARCHITECT INC 7875 MONTGOMERY DRIVE MIAMI, FLORIDA 33155 (305) 555-2885	CASA EGOSITA 4519 PINE TREE DRIVE MIAMI BEACH, FLORIDA	SPAIN LLANES ARCHITECT P.O. BOX 248178 MIAMI BEACH, FL 33124
---------------------------------------------------------------------------------------------------	--------------------------------------------------------------	-----------------------------------------------------------------------





SECTION D  
SCALE 3/8" = 1'-0"

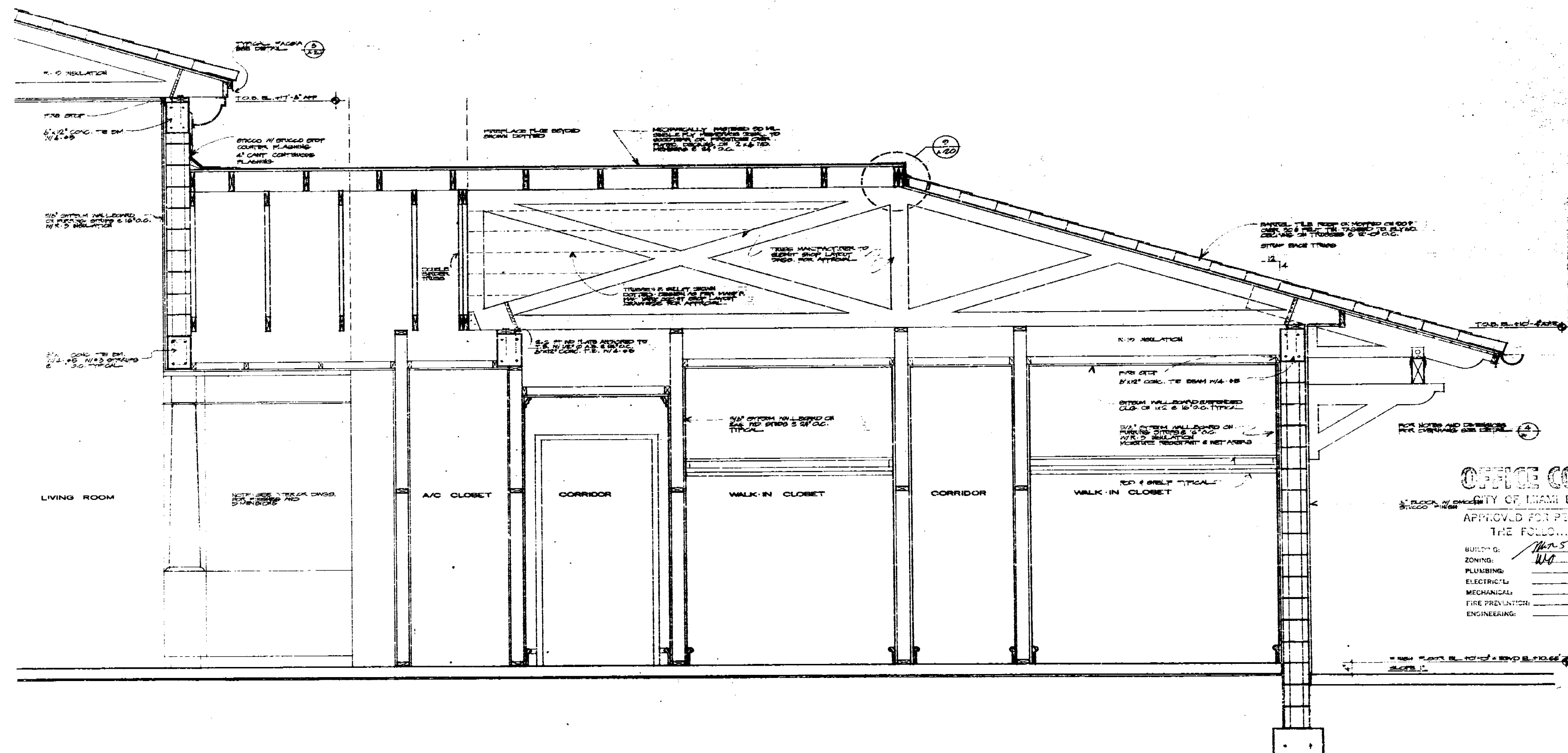
ORIGINAL COPY  
OF PERMITS  
FOR THE FOLLOWING:  
BUILDING  
ZONING  
PLUMBING  
ELECTRICAL  
MECHANICAL  
FIRE PROTECTION  
ENGINEERING

**PAUL PERGAKIS**  
ARCHITECT INC  
1919 MONTGOMERY DRIVE  
MIAMI, FLORIDA 33139  
(305) 282-1155

**CASA EGOSITA**  
4519 PINE TREE DRIVE  
MIAMI BEACH, FLORIDA

**SPAIN-LLANES**  
ARCHITECTS  
P.O. BOX 245178  
CORAL GABLES, FLA. 33104





SECTION F  
SCALE 3/4" = 1'-0"

OFFICE COPY  
CITY OF MIAMI  
APPROVED FOR PERMIT  
THE FOLLOWING:  
BUILDING: *WJ*  
ZONING: *WJ*  
PLUMBING: \_\_\_\_\_  
ELECTRICAL: \_\_\_\_\_  
MECHANICAL: \_\_\_\_\_  
FIRE PREVENTION: \_\_\_\_\_  
ENGINEERING: \_\_\_\_\_

*Paul Pergakis*  
*Paul Pergakis*

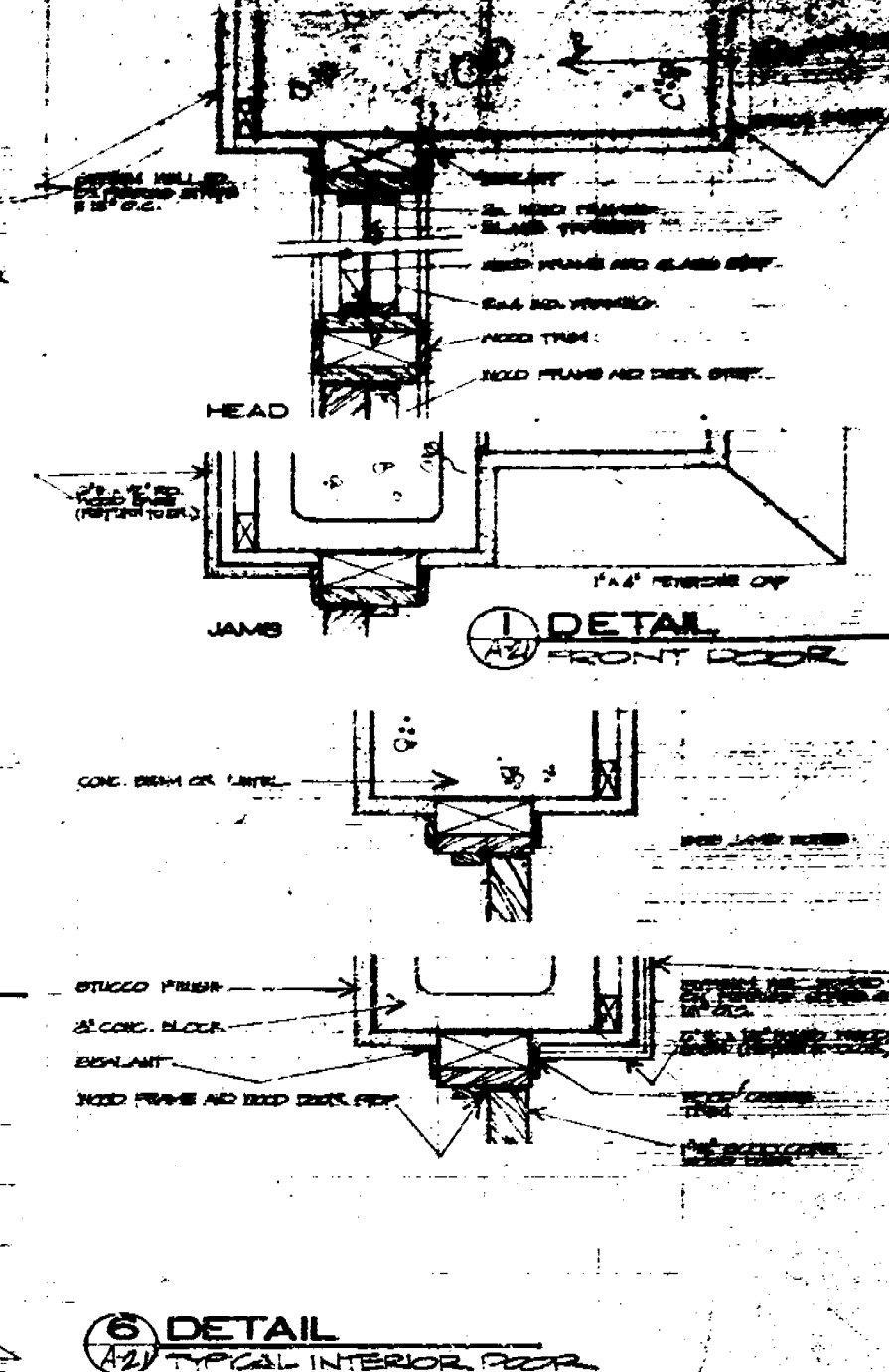
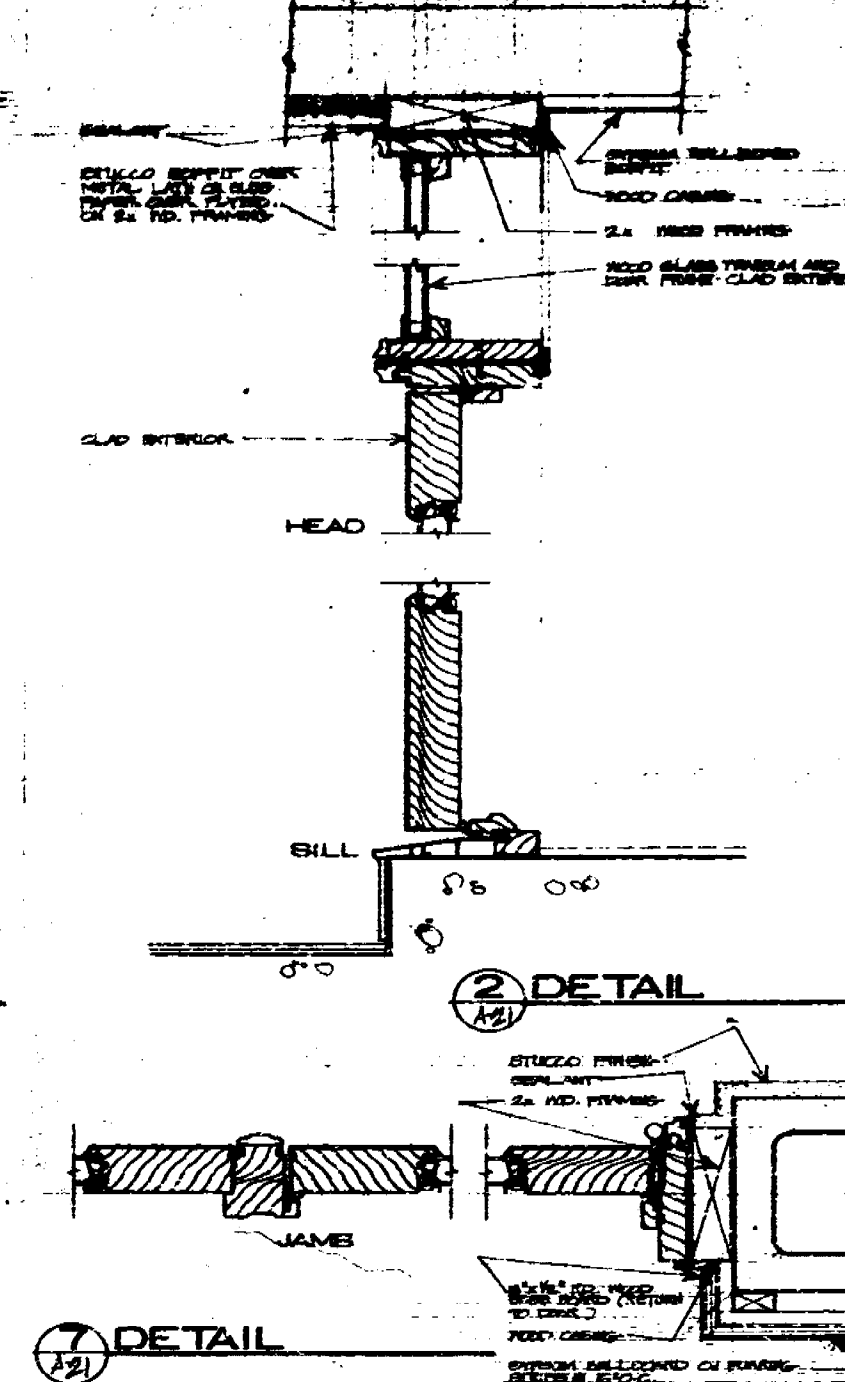
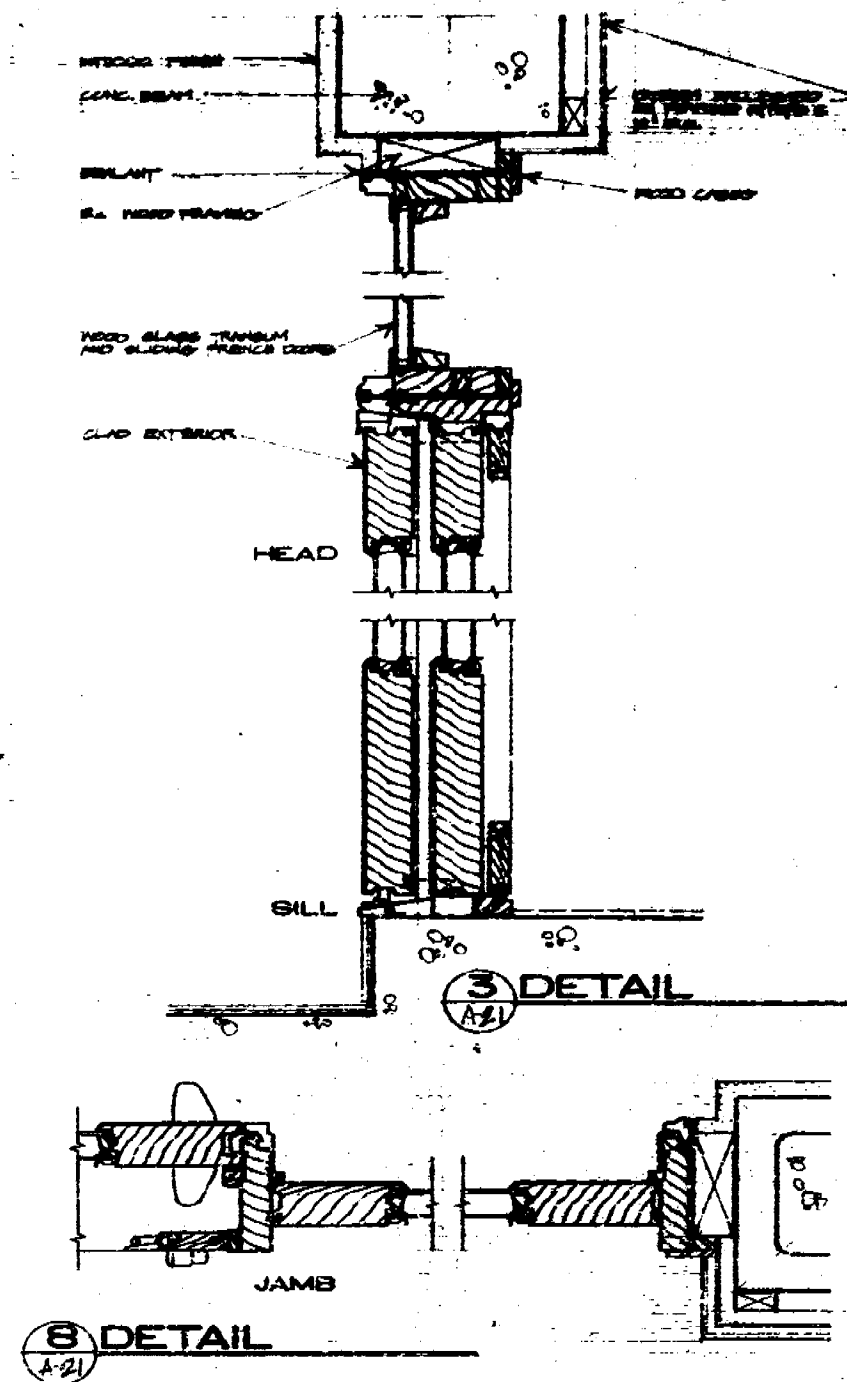
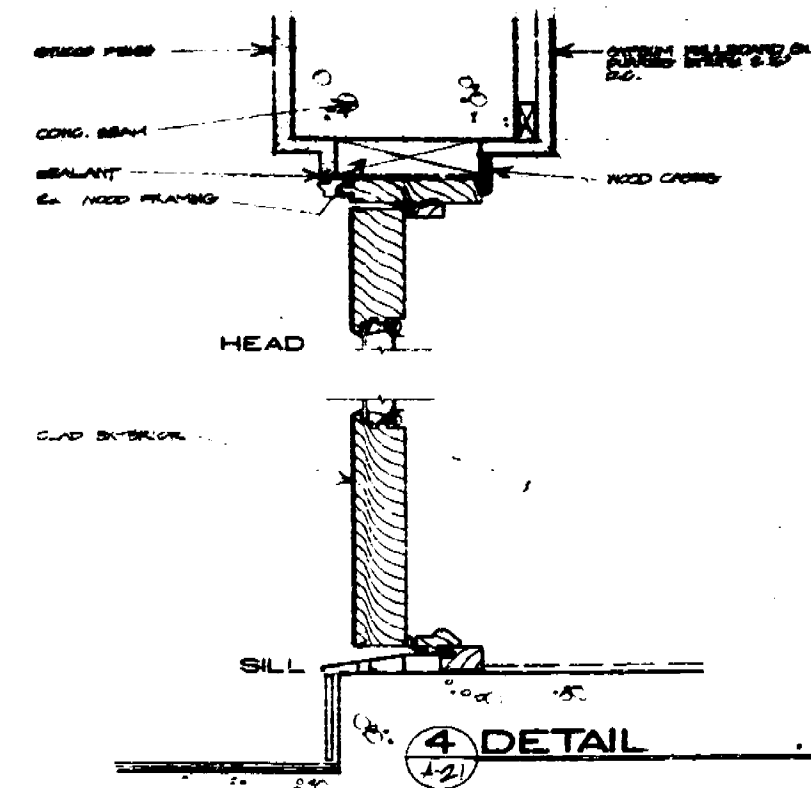
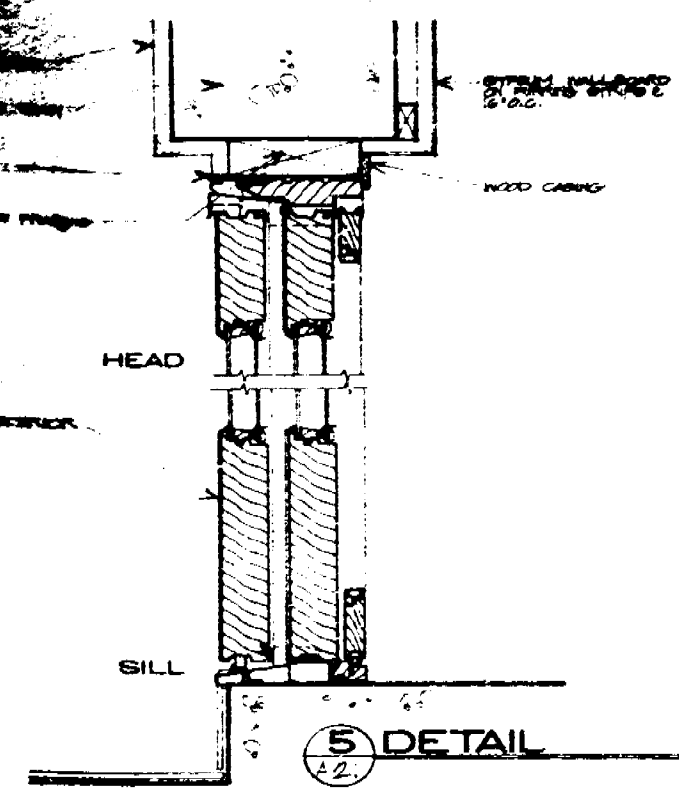
**PAUL PERGAKIS**  
ARCHITECT INC  
1919 MONTGOMERY DRIVE  
MIAMI, FLORIDA 33133  
PHONE: 262-1234

**CASA EGOSITA**  
4519 PINE TREE DRIVE  
MIAMI BEACH, FLORIDA

SPAIN-LLANES  
ARCHITECTS  
P.O. BOX 849178  
CORAL GABLES, FL 33184







COPY  
 OF THIS SET  
 FOR THE ARCHITECT'S  
 RECORD  
 DATE: 5-27-87  
 BY: [Signature]  
 PROJECT: [Blank]  
 SHEET: [Blank]  
 DRAWING: [Blank]

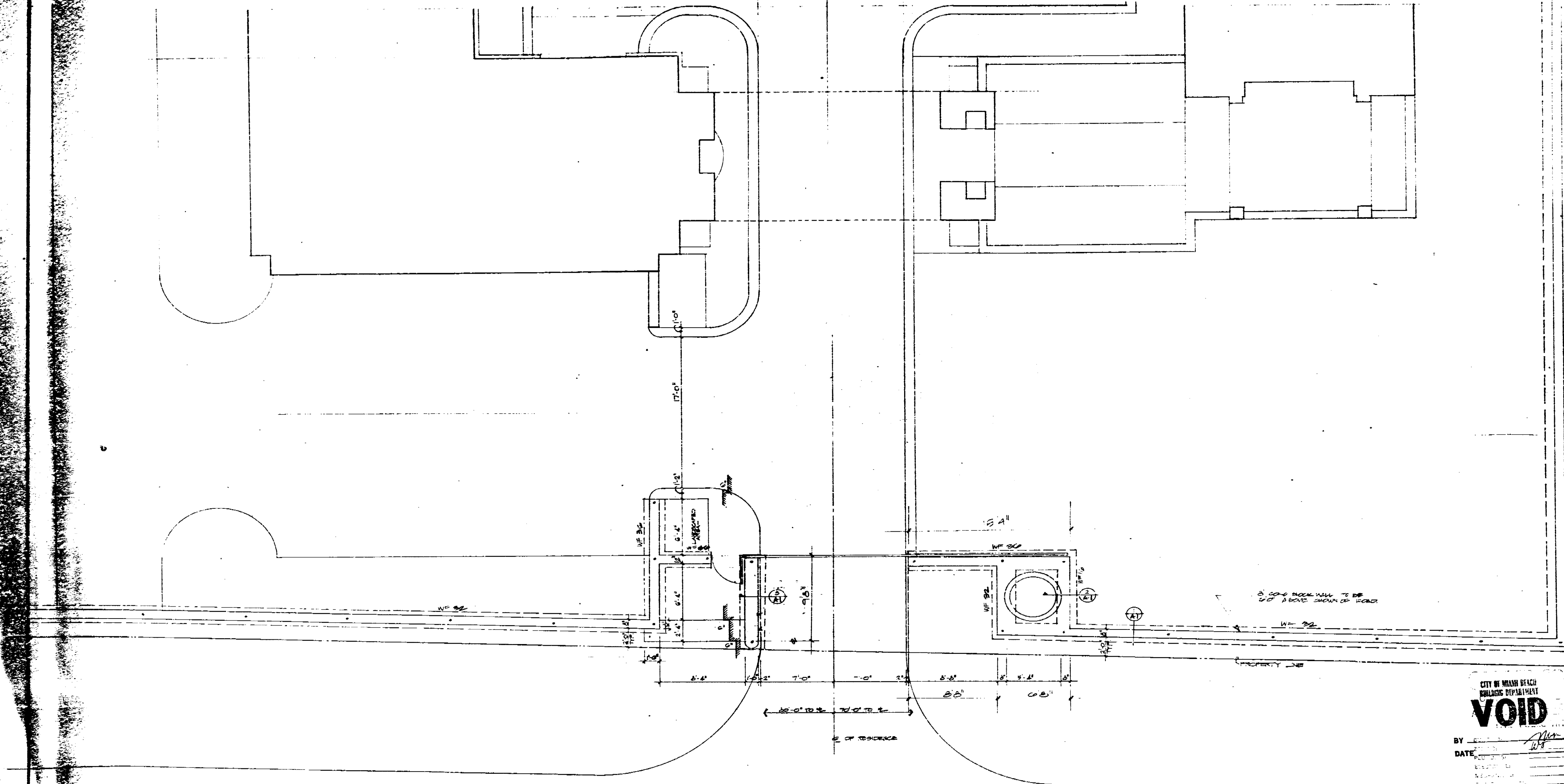
**PAUL PERGAKIS**  
**ARCHITECT INC.**  
 7810 MONTGOMERY DRIVE  
 MIAMI, FLORIDA 33155  
 (305) 556-5555

**CASA EGOSITA**  
 4519 PINE TREE DRIVE  
 MIAMI BEACH, FLORIDA

**SPAIN-LLANES**  
**ARCHITECTS**  
 P.O. Box 948179  
 MIAMI, FLORIDA 33164

10



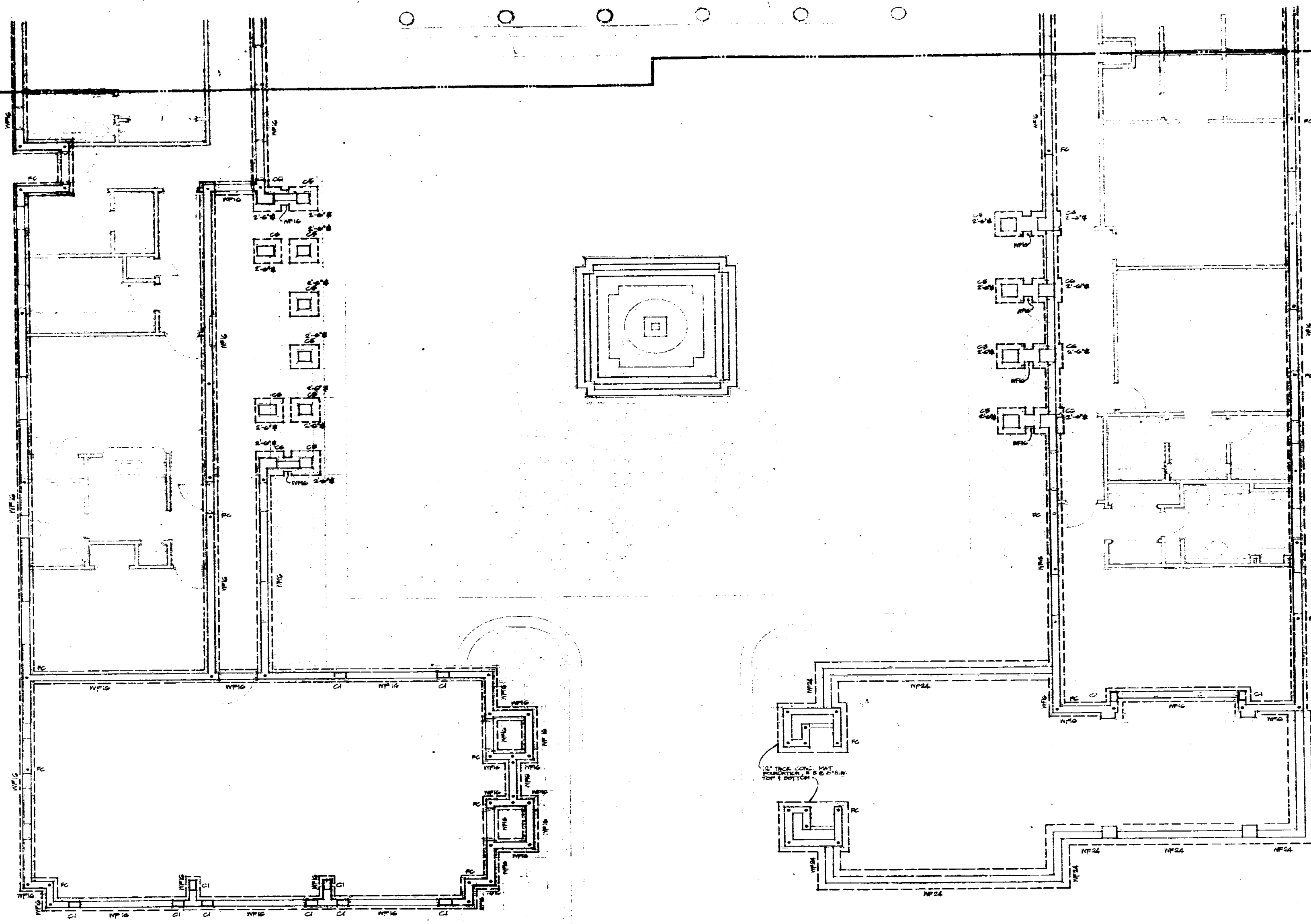


CITY OF MIAMI BEACH  
BUILDING DEPARTMENT  
**VOID**  
BY: [Signature]  
DATE: 5-27-72

ENTRY FOUNDATION PLAN  
SCALE 1/4" = 1'-0"

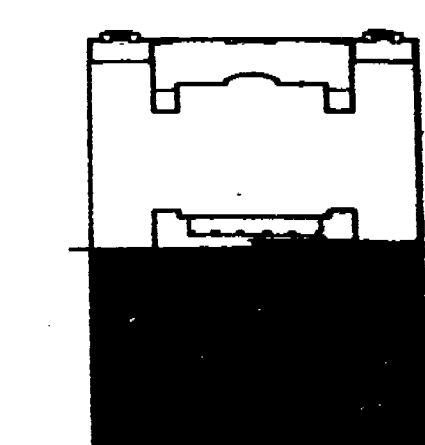
SPAIN-LLANES ARCHITECTS P.O. BOX 249178 MIAMI, FLORIDA 33124	CASA EGOSITA 4519 PINE TREE DRIVE MIAMI BEACH, FLORIDA	PAUL PERGAKIS ARCHITECT INC. 7870 MONTGOMERY DRIVE MIAMI, FLORIDA 33146 (305) 555-2385	<i>Paul Pergakis</i> <i>Paul Pergakis</i>
-----------------------------------------------------------------------	--------------------------------------------------------------	----------------------------------------------------------------------------------------------------	----------------------------------------------





PARTIAL FOUNDATION PLAN  
SCALE 1/8" = 1'-0"

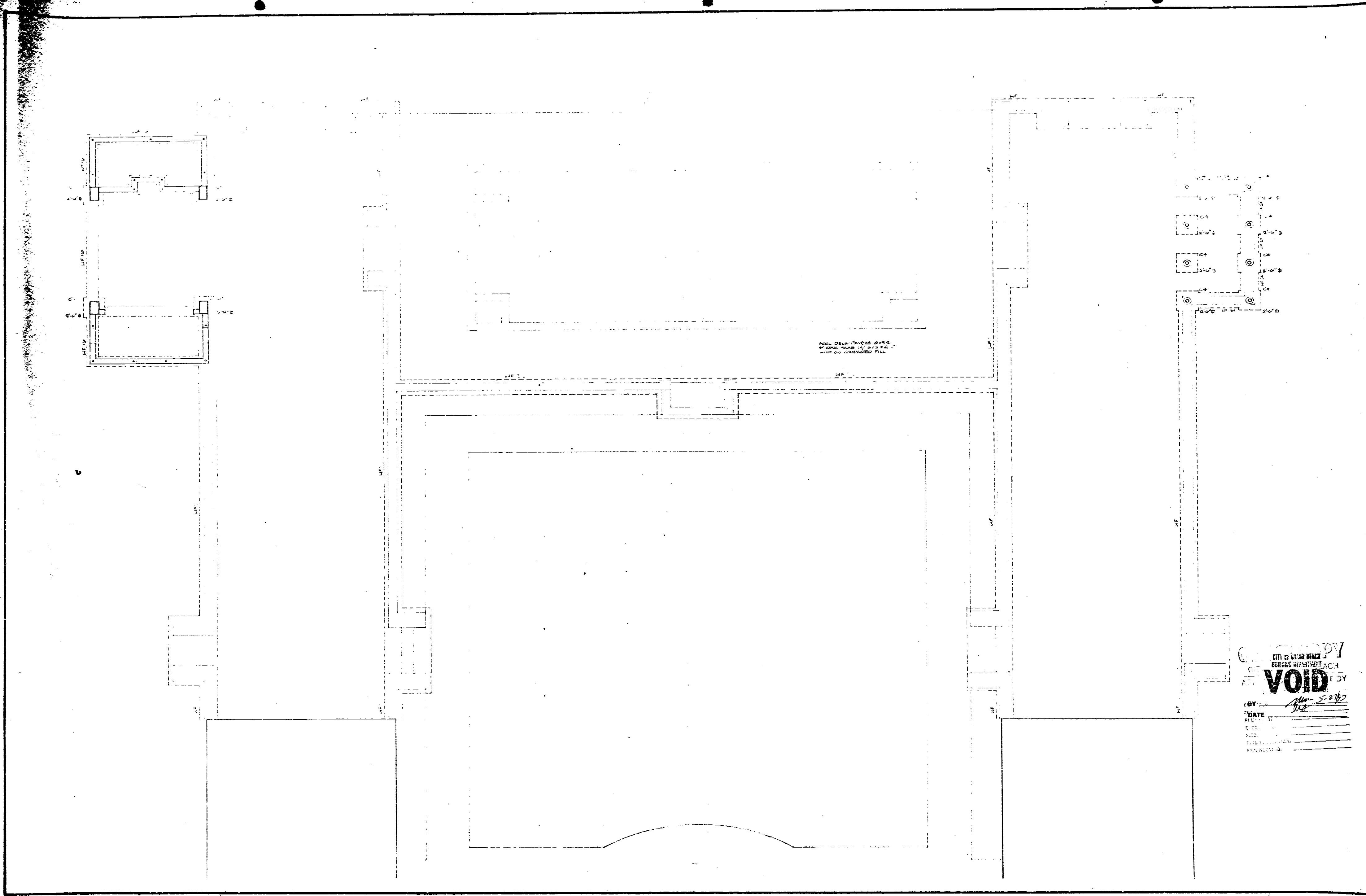
VOID  
BY: [Signature]  
DATE: [Date]  
EX: [Date]  
EN: [Date]



<p><b>PAUL PERGAKIS</b> ARCHITECT INC 1870 MONTGOMERY DRIVE MIAMI, FLORIDA 33146 (305) 556-1234</p>		<p><b>CASA EGOSITA</b> 4519 PINE TREE DRIVE MIAMI BEACH, FLORIDA</p>		<p><b>SPAIN-LLANES</b> ARCHITECTS P.O. Box 240178 Coral Gables, FL 33154</p>	
---------------------------------------------------------------------------------------------------------------------	--	------------------------------------------------------------------------------	--	------------------------------------------------------------------------------------------	--





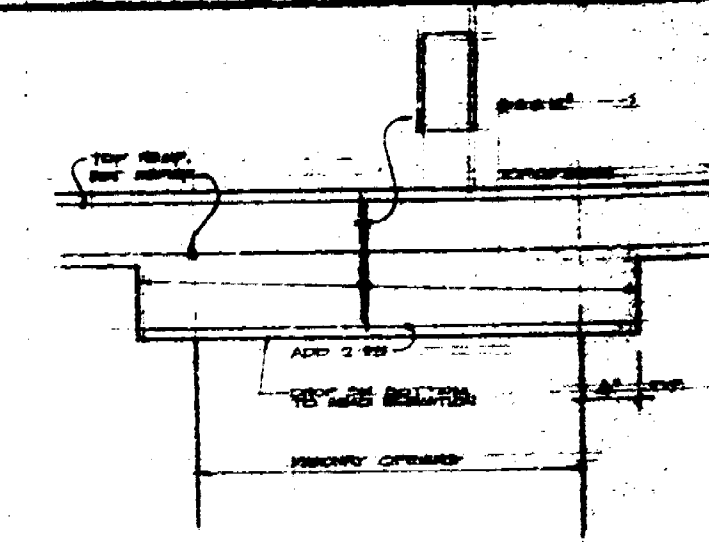


SOIL SHALL BE PAVED OVER  
WITH 4" CONC. SLAB (5" OVER FILL)  
WITH 6" COMPACTED FILL

CITY OF MIAMI BEACH  
BUILDING DEPARTMENT  
APPROVED  
**VOID**  
BY: *[Signature]*  
DATE: *5-27-92*  
FILE NO.: *145178*  
PROJECT: *CASA EGOSITA*  
DRAWN BY: *[Signature]*

<b>PAUL PERGAKIS</b> ARCHITECT INC 1800 MONTGOMERY DRIVE MIAMI, FLORIDA 33194 (305) 755-5333	<b>CASA EGOSITA</b> 4519 PINE TREE DRIVE MIAMI BEACH, FLORIDA	<b>SPAIN-LLANES</b> ARCHITECTS P.O. BOX 145178 MIAMI BEACH, FL. 33104	<b>5/4</b>
----------------------------------------------------------------------------------------------------------	---------------------------------------------------------------------	--------------------------------------------------------------------------------	------------





SECTION 5

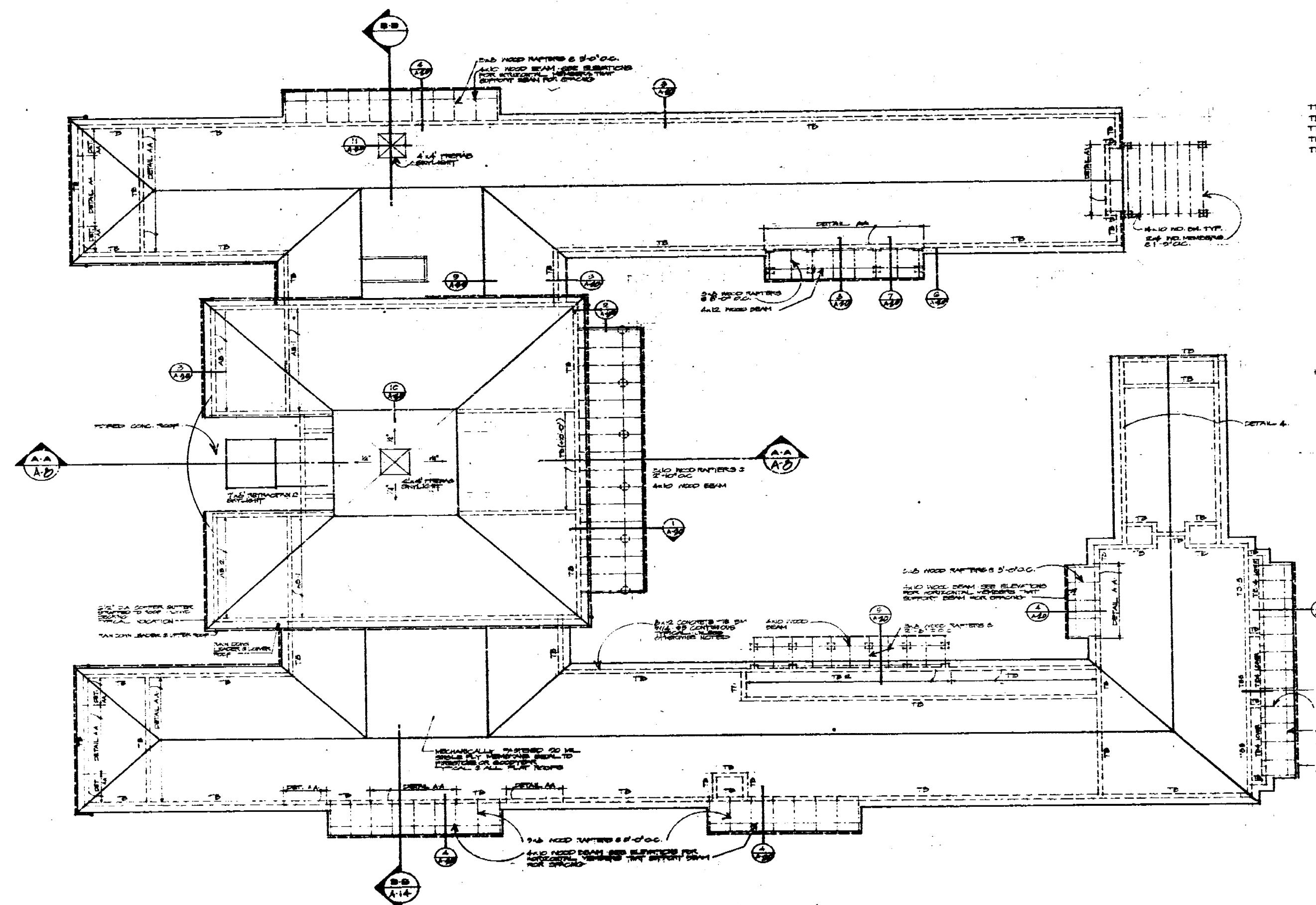
DETAIL \_\_\_\_\_ 4

BEAM AB-2 BEAM

AB-1     DETAIL

A-A

**COVERED AREA ROOF PLAN**  
SCALE 1/4" = 1'-0"



**CABANA ROOF PLAN**

**ROOF** **PLAN**  
SCALE 1/8" = 1'-0"

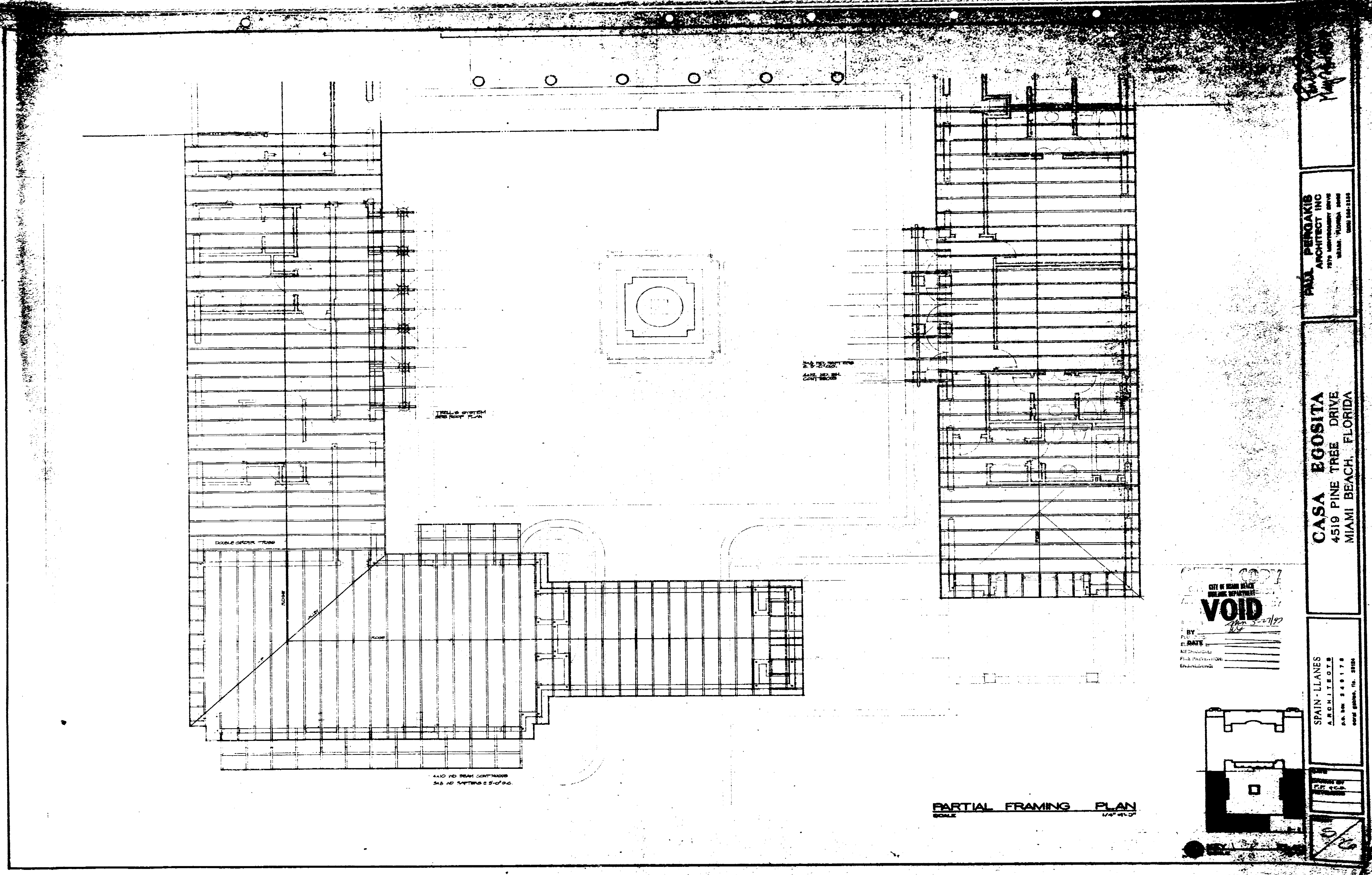
TD 0x12 W/2-05 T 4 B NO STRUTS  
TD-1 12x12 W/2-05 T 4 B 4 0.5 G  
TD-2 0x12 W/2-05 T 4 B 4 0.5 G  
TD-3 0x12 W/2-05 T 4 B 0.5 STRUTS, 0.5 0.5 G. 0.5 G. 0.5 G.  
TD-4 0x12 W/2-05 T 4 B 0.5 STRUTS, 0.5 0.5 G. 0.5 G. 0.5 G.

[illegible]

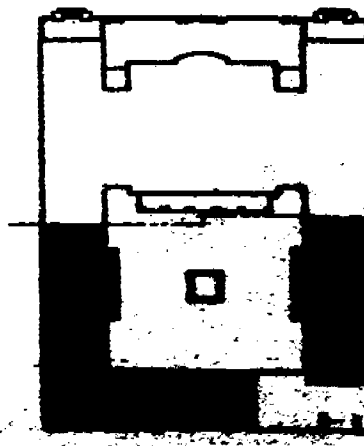
**PAUL PERGAKIS**  
**ARCHITECT INC**  
2510 MONTGOMERY DRIVE  
MARIETTA, FLORIDA 32909  
Phone 361-2222

**CASA EGOSITA**  
4519 PINE TREE DRIVE  
MIAMI BEACH, FLORIDA

SPAIN - ILLANES  
ARONITECTS  
P.O. BOX 349178  
94404



CITY OF MIAMI BEACH  
BUILDING DEPARTMENT  
**VOID**  
After 3-27-07  
BY  
DATE  
REVISIONS  
FILED  
Exhibit/Drawings

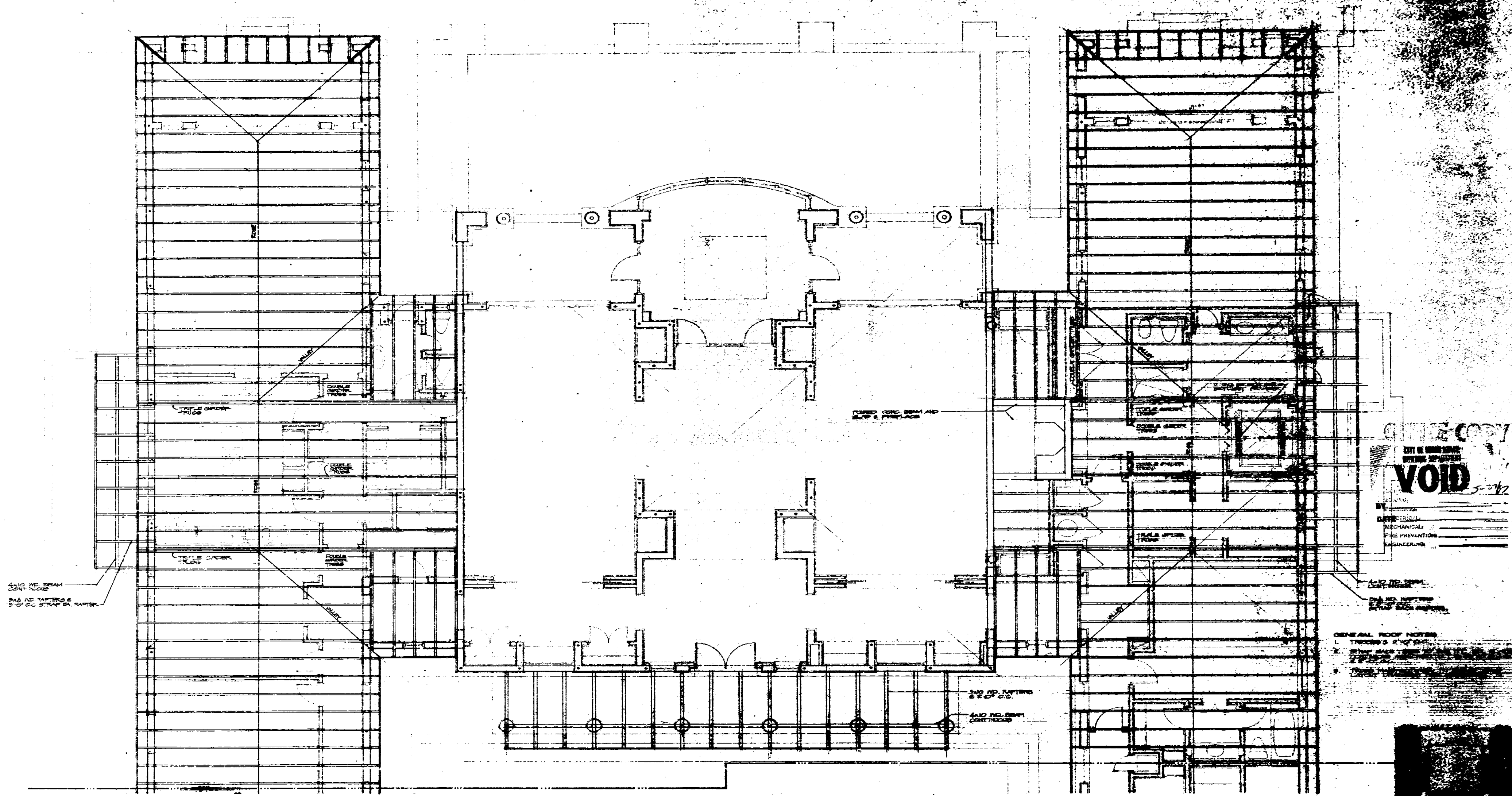


SPAIN-LLANES  
ARCHITECTS  
P.A. INC. 340178  
MIAMI BEACH, FL 33106

**CASA EGOSITA**  
4519 PINE TREE DRIVE  
MIAMI BEACH, FLORIDA

**PAUL PERIOAKIS**  
ARCHITECT INC  
1975 UNIVERSITY DRIVE  
MIAMI, FLORIDA 33136  
305 350-1144





PARTIAL FRAMING PLAN  
SCALE

VOID  
5-27-62

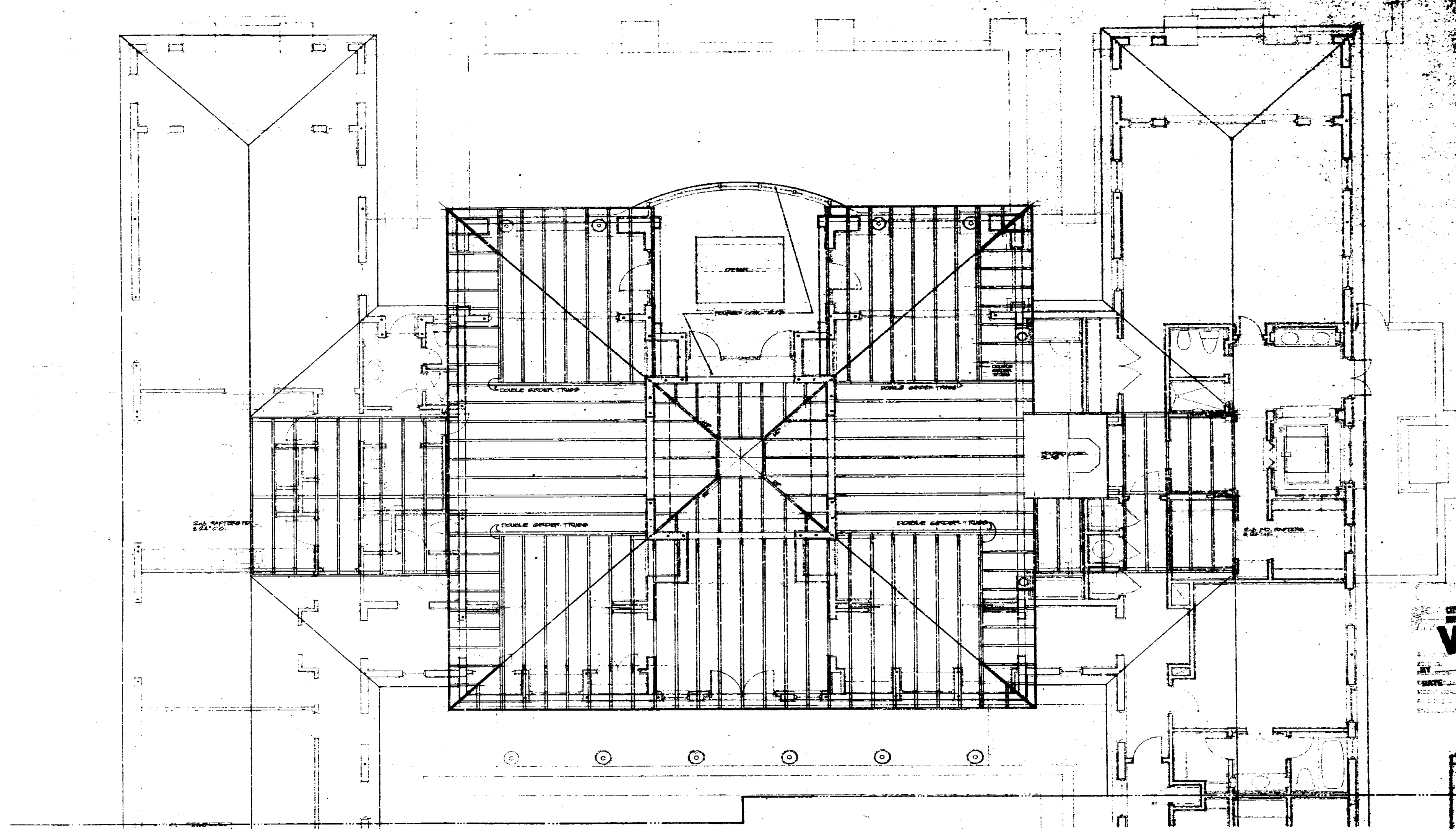
GENERAL ROOF NOTES  
1. TRUSSES 6' x 12' @ 24"

MIL. PERMANENT  
ARCHITECT INC.  
1000 BROADWAY  
NEW YORK 10004

CASA EGOSITA  
4519 PINE TREE DRIVE  
MIAMI BEACH, FLORIDA

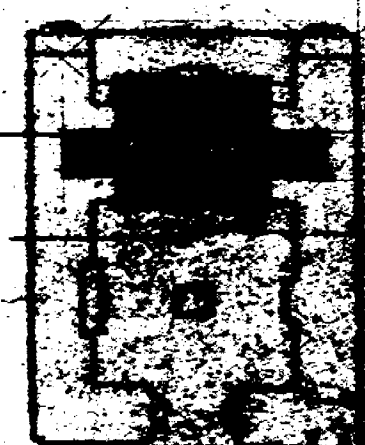
STAIN-CLANES  
ADAMSON & SONS  
P.O. BOX 1001  
MIAMI BEACH, FL. 33138



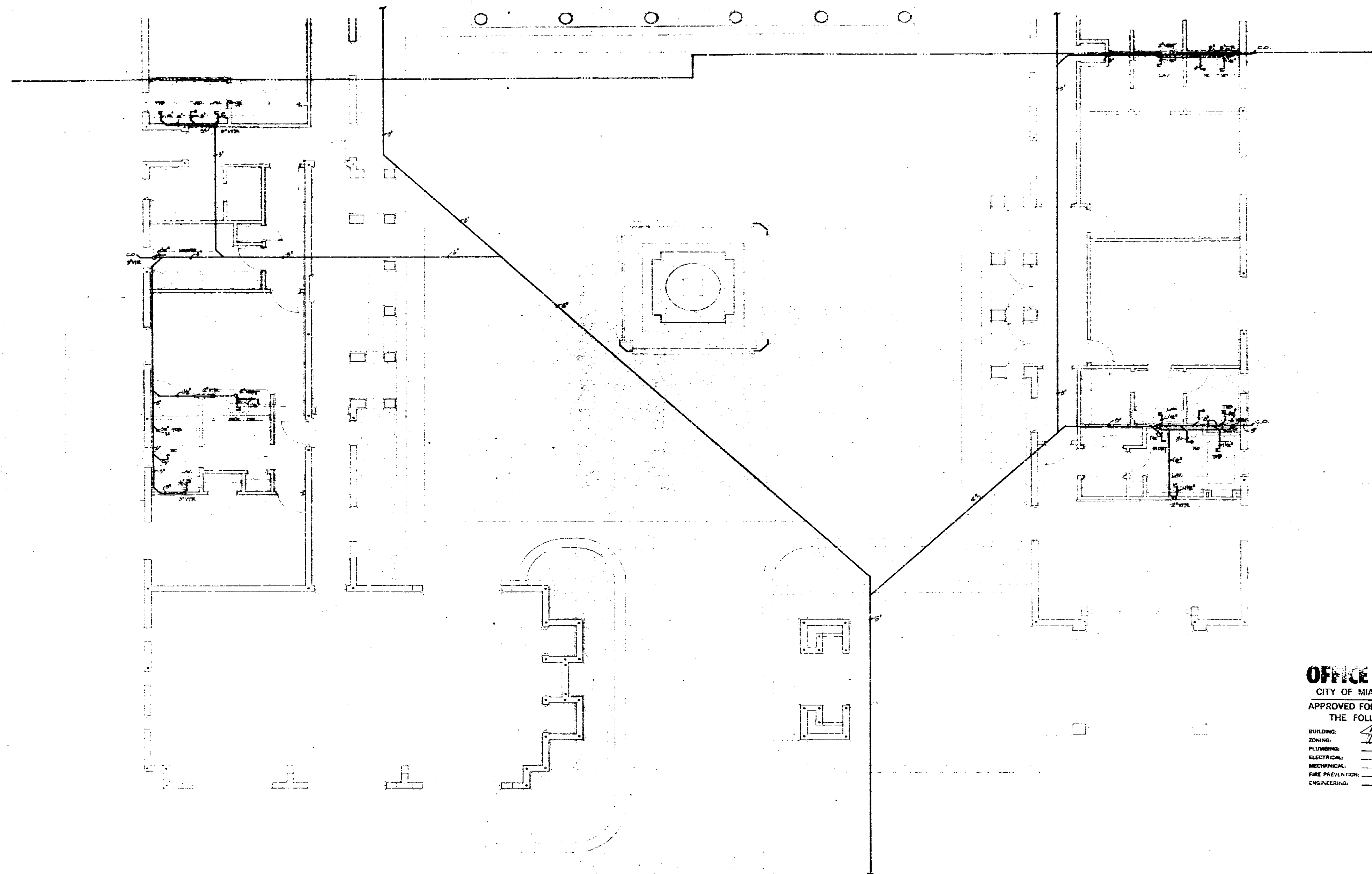


PARTIAL FRAMING PLAN  
SCALE 1/4" = 1'-0"

VOID  
CITY OF MIAMI BEACH  
BUILDING DEPARTMENT  
APPROVED BY  
DATE  
PROJECT NO.  
FILE NO. 1-10-178  
EXAMINER



PROJECT NO. 1-10-178 DATE 1-10-178	<b>CASA EGOSITA</b> 4519 PINE TREE DRIVE MIAMI BEACH, FLORIDA	STAIN-LLANES ARCHITECTS P.O. BOX 148178 MIAMI BEACH, FL 33564
---------------------------------------------	---------------------------------------------------------------------	------------------------------------------------------------------------

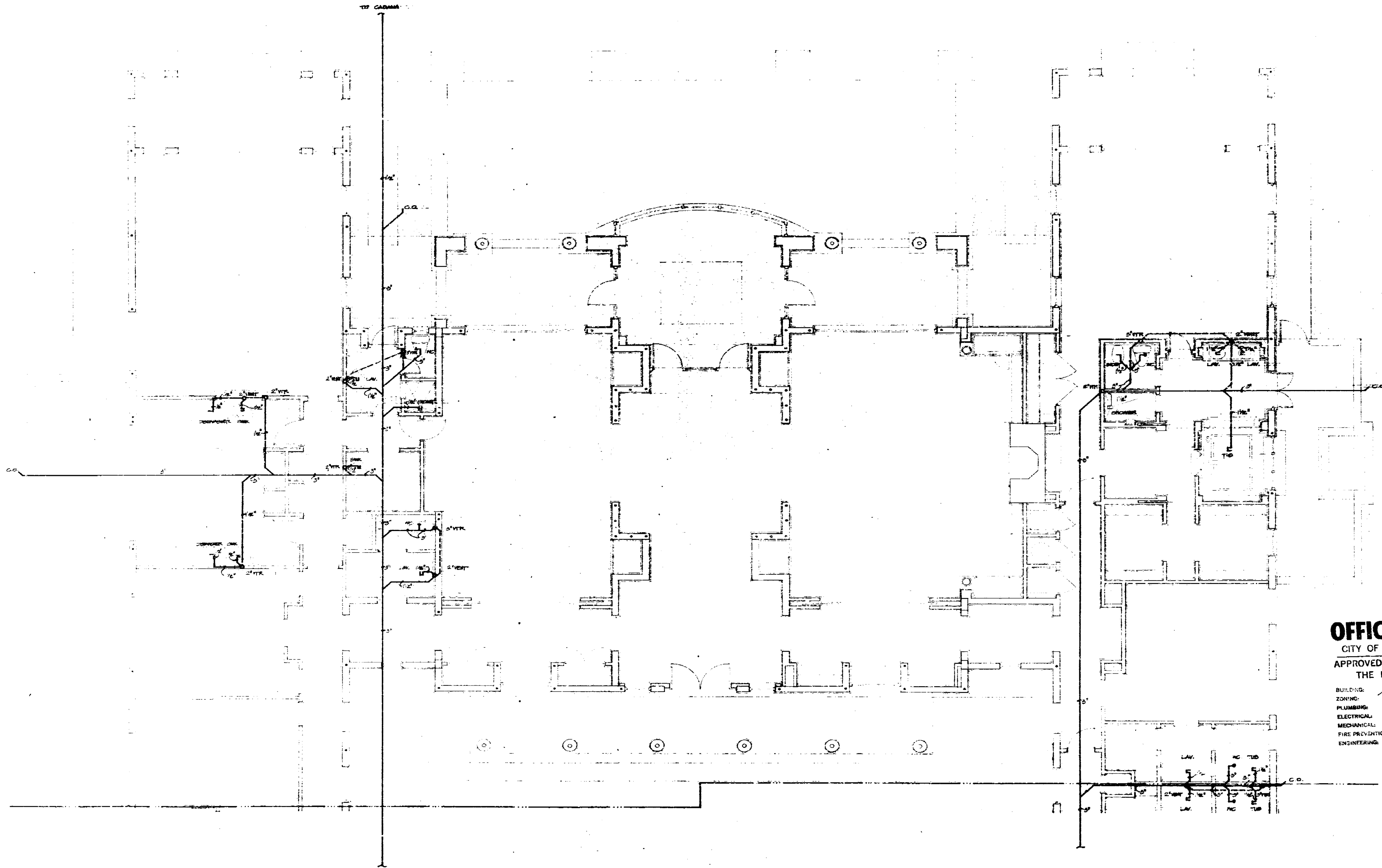


**PARTIAL PLUMBING PLAN**  
SCALE 1/8"=1'-0"

**OFFICE COPY**  
CITY OF MIAMI BEACH  
APPROVED FOR PERMIT BY  
THE FOLLOWING:  
BUILDING: SPAIN-LLANES  
ZONING: W-1  
PLUMBING: W-1  
ELECTRICAL: \_\_\_\_\_  
MECHANICAL: \_\_\_\_\_  
FIRE PREVENTION: \_\_\_\_\_  
ENGINEERING: \_\_\_\_\_

	<b>PAUL PERGAKIS</b> ARCHITECT INC 7910 MONTGOMERY DRIVE MIAMI, FLORIDA 33155 (305) 551-1204
<b>CASA EGOSITA</b> 4519 PINE TREE DRIVE MIAMI BEACH, FLORIDA	<b>SPAIN-LLANES</b> ARCHITECTS P.O. BOX 149178 CORP. DESIGN, INC. 20104



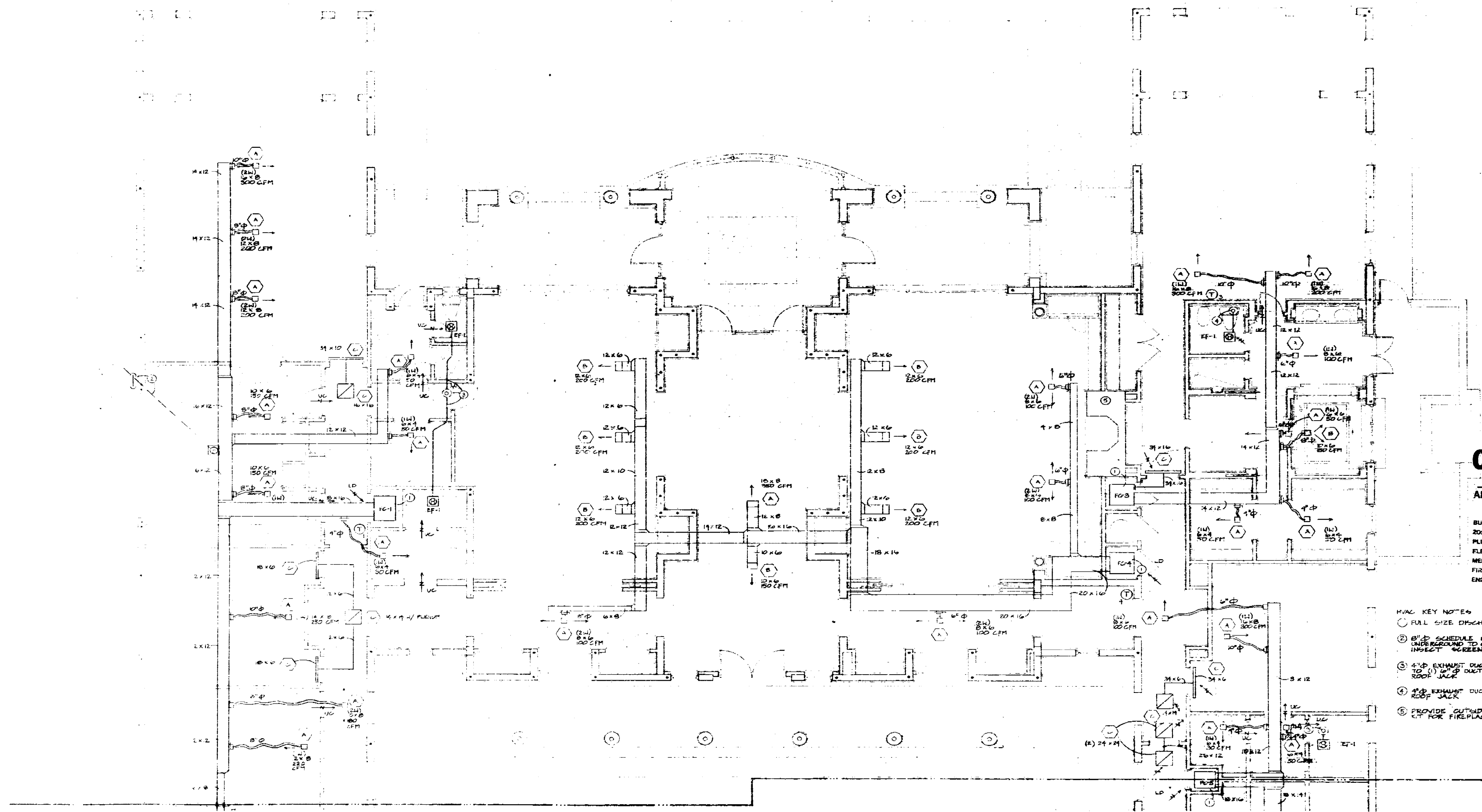


**PARTIAL PLUMBING PLAN**  
SCALE: 1/4" = 1'-0"

**OFFICE COPY**  
CITY OF MIAMI BEACH  
APPROVED FOR PERMIT BY  
THE FOLLOWING:  
BUILDING: *max 5-7/82*  
ZONING: *max*  
PLUMBING: \_\_\_\_\_  
ELECTRICAL: \_\_\_\_\_  
MECHANICAL: \_\_\_\_\_  
FIRE PREVENTION: \_\_\_\_\_  
ENGINEERING: \_\_\_\_\_

	<b>PAUL PERGAKIS</b> ARCHITECT INC. 7115 ADRIAN DRIVE MIAMI, FLORIDA 33148 (305) 554-2285	<b>CASA BGOSITA</b> 4519 PINE TREE DRIVE MIAMI BEACH, FLORIDA	SPAIN-LLANES ARCHITECTS P.O. BOX 249176 CORAL GABLES, FLA. 33154
	<i>Paul Pergakis</i> <i>May 22, 1982</i>	10	2





- MVC KEY NOTES:**
- 1. FULL SIZE DISCHARGE PLENUM
  - 2. 8\"/>

**OFFICE COPY**  
 CITY OF MIAMI BEACH  
 APPROVED FOR PERMIT BY  
 THE FOLLOWING:  
 BUILDING: *[Signature]*  
 ZONING: *[Signature]*  
 PLUMBING: *[Signature]*  
 ELECTRICAL: *[Signature]*  
 MECHANICAL: *[Signature]*  
 FIRE PREVENTION: *[Signature]*  
 ENGINEERING: *[Signature]*

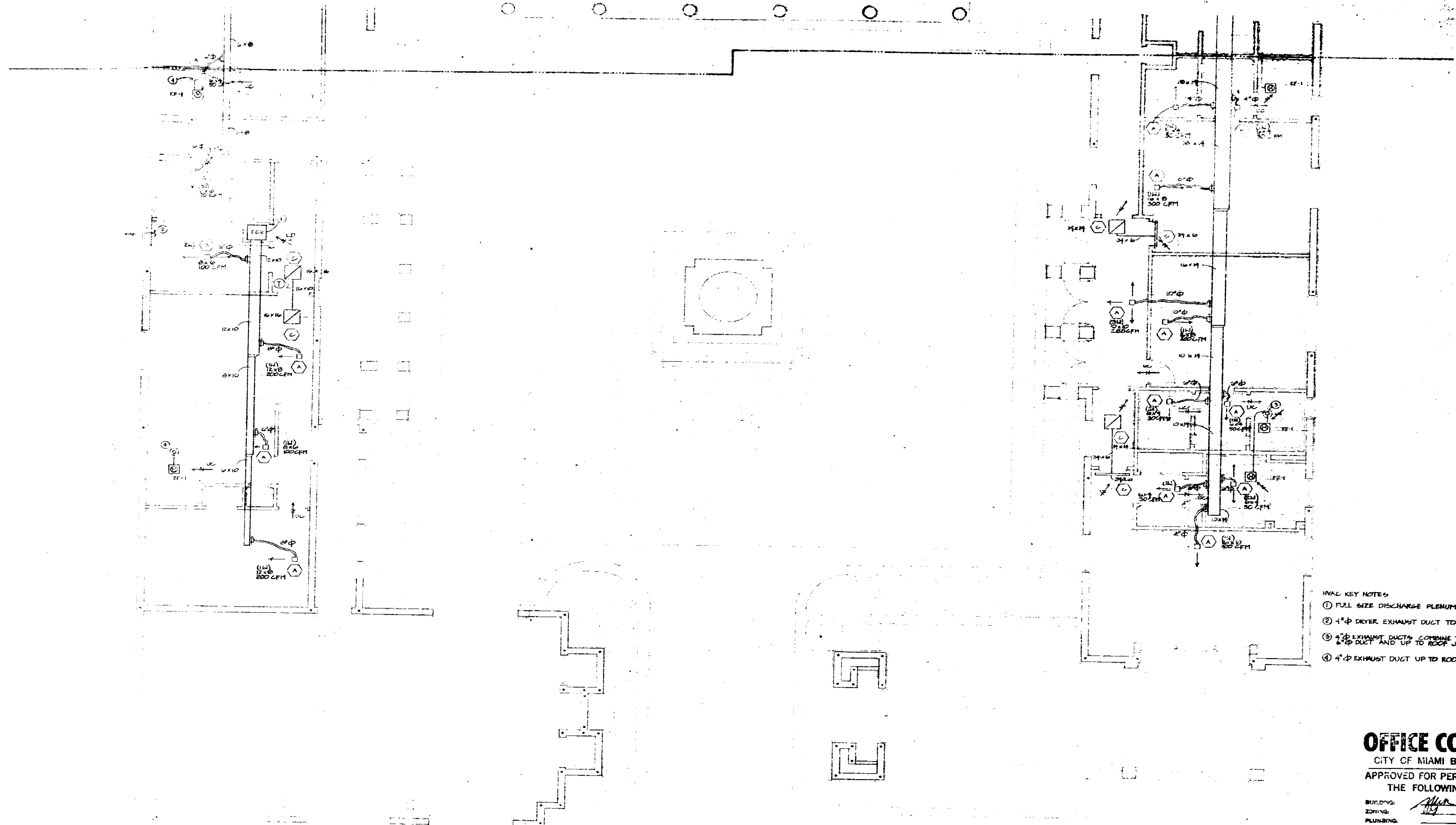
*Paul Pergakis*  
*1/1/1983*

**PAUL PERGAKIS**  
 ARCHITECT INC  
 1970 JANTHONY DRIVE  
 MIAMI, FLORIDA 33133

**CASA EGOSITA**  
 4519 PINE TREE DRIVE  
 MIAMI BEACH, FLORIDA

**SPAIN-LLANES**  
 ARCHITECTS  
 P.O. BOX 548178  
 MIAMI BEACH, FL. 33158

1



- HVAC KEY NOTES:
- ① FULL SIZE DISCHARGE PLENUM
  - ② 4" Ø DRYER EXHAUST DUCT TO WALL CAP
  - ③ 4" Ø EXHAUST DUCTS CORNER JOINTS
  - ④ 4" Ø EXHAUST DUCT UP TO ROOF JACK

**OFFICE COPY**  
CITY OF MIAMI BEACH  
APPROVED FOR PERMIT BY  
THE FOLLOWING:

BUILDING:	<u>5-22/87</u>
ZONING:	
PLUMBING:	
ELECTRICAL:	<u>5/22/87</u>
MECHANICAL:	
FIRE PREVENTION:	
ENGINEERING:	

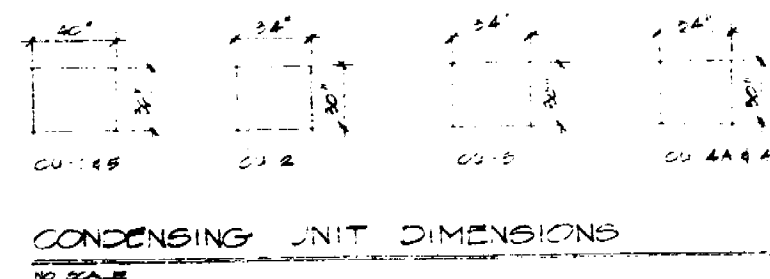
	<b>PAUL PERAKIS</b> ARCHITECT INC. 1710 MONTGOMERY DRIVE MIAMI, FLORIDA 33133 TEL: 325-2113
<b>CASA EGOSITA</b> 4519 PINE TREE DRIVE MIAMI BEACH, FLORIDA	
	<b>SPAIN-LLANES</b> ARCHITECTS P.O. BOX 244178 MIAMI BEACH, FL. 33154

2

10

1. GENERAL
  - A. ALL WORK SHALL be done in accordance with the South Florida Code and with all applicable regulations.
  - B. DRAWINGS: Refer to all drawings for coordination of the HVAC work.
  - C. ARRANGE AND PAY for all permits, licenses, inspections and tests. Obtain the required certificates and present to owner.
  - D. GUARANTEE: The completed installation shall be fully guaranteed against defective materials and/or improper workmanship for a minimum of one year for material and labor. Compressor shall guarantee for a period of five years.
2. SHOP DRAWINGS: Contractors shall submit for approval, within 30 days after signing contract, a minimum of five copies of fully descriptive literature, including but not limited to: Fans, air conditioning units, air outlets. No work shall proceed without approval of these submittals.
3. DESIGN PARAMETERS:
  - A. Outdoor design temperature (Summer): 91 F DB and 79 F WB
  - B. Outdoor design temperature (Winter): 45 F
  - C. Indoor design temperature (Summer): 78 F DB
  - D. Indoor design temperature (Winter): 72 F DB
4. ALL THERMOSTATS SHALL have heating mode maximum setting of 75 F, and cooling mode minimum setting of 70 F. The thermostat shall be arranged to prevent the simultaneous operation of heating and cooling.
5. ELECTRICAL CONTROLS AND POWER WIRING: Under electrical contract.
6. EQUIPMENT SPECIFIED BY manufacturer's number shall include all accessories, controls, etc. listed in the catalog as standard with the equipment. Optional or additional accessories shall be furnished as specified.
7. MATERIALS:
  - A. All supply and return air ductwork in concealed spaces shall be 1 1/2" inch thick fiberglass ductboard R-4 minimum fabricated and installed as per latest edition of SMACNA "Fiberglass Glass Duct Manual".
  - B. All exhaust air ductwork shall be galvanized sheet metal or aluminum duct not lighter than 26 gage.
  - C. All duct dimensions are clear inside dimensions.
  - D. Flexible ductwork insulated with 1 1/2" thick fiberglass insulation with R-4 minimum with FRX vapor barrier.
- TEST AND BALANCE: Contractor shall test and balance all ventilation and air conditioning systems. Submit four copies of Test and Balance Report to Owner for approval.
- COMMENTS: Air Conditioning systems shall be started and stopped thru thermostats. Individual thermostats shall start/stop supply fans and activate cooling/heating systems as selected.
- FANMAST FANS: EF-1 shall be none QT-80 or equal, provide 380 volt vack and wall switch.

AIR DISTRIBUTION SCHEDULE					
SYMBOL	RE	TYPE	ACCESSORIES	DESIGN VOLUME, CUB. FT.	MODEL #
(A)	DIFFUSE AIR	CEILING DIFFUSER	CRD	11.5 SQ. FT.	
(B)	↓	EXHAUST REGRATER	—	11.5 SQ. FT.	
(C)	RETURN AIR	RETURN GRILLE	—	11.5 SQ. FT.	



SPLIT A/C SCHEDULE									
UNIT DESIGNATION		FC 1	FC 2	FC 3	FC 4				
AREA SERVED		202	202	202	202				
OPERATING WEIGHT, LBS		202	202	202	202				
DESIGN VOLUME, CUB. FT.		202	202	202	202				
MODEL NUMBER		202	202	202	202				
SERIES		202	202	202	202				
TOTAL A/C CAP.		202	202	202	202				
EXTERNAL STATIC PRESS. (1" WG)		202	202	202	202				
FAN MOTOR (1" WG, 115V)		202	202	202	202				
ELECTRICAL SERVICE AVAILABLE		202	202	202	202				
FAN AIR CAP.		202	202	202	202				
FAN EFFICIENCY, RPM		202	202	202	202				
DESIGN A/C CAP. (1" WG)		202	202	202	202				
GRAND TOTAL CAPACITY, BTU/H		202	202	202	202				
TOTAL CONDENSING CAPACITY, BTU/H		202	202	202	202				
ENTERING AIR TEMP., °F DB/DB		202	202	202	202				
COIL MODEL NO.		202	202	202	202				
TYPE & THICKNESS		202	202	202	202				
QUANTITY (PER)		202	202	202	202				
FAN VELOCITY, FT. MIN.		202	202	202	202				
HEAT / COOL TYPE		202	202	202	202				
ELECTRICAL SERVICE AVAILABLE		202	202	202	202				
ANALOGY ELECT. CAP. KW		202	202	202	202				
STAGES & RHY. STAGE		202	202	202	202				
UNIT DESIGNATION		CU-1	CU-2	CU-3	CU-4				
TYPE OF FAN		FC-1	FC-2	FC-3	FC-4				
NO. OF FANS & HP		1	1	1	1				
APPROX. AIR TEMP. °F DB		75	75	75	75				
CONDENSING TEMP., °F DB		75	75	75	75				
NO. OF COMPRESSORS		1	1	1	1				
COMPRESSORS, RPM MAX.		1	1	1	1				
CAPACITY REDUCTION		0-100%	0-100%	0-100%	0-100%				
UNIT TOTAL A/C		24.1	24.1	24.1	24.1				
ELECT. SERVICE AVAILABLE		202	202	202	202				
OPERATING WEIGHT		202	202	202	202				
DESIGN VOLUME, CUB. FT.		202	202	202	202				
MODEL NO.		202	202	202	202				

**OFFICE COPY**  
CITY OF MIAMI BEACH  
APPROVED FOR PERMIT BY  
THE FOLLOWING:  
BUILDING: *5-27/12*  
ZONING: *12*  
PLUMBING: *PR-5/27/12*  
ELECTRICAL: *PR-5/27/12*  
MECHANICAL: *PR-5/27/12*  
FIRE PREVENTION: *PR-5/27/12*  
ENGINEERING: *PR-5/27/12*

SPAIN LLANES  
ARCHITECTS  
P.O. Box 249178  
Coral Gables, Fla. 33164

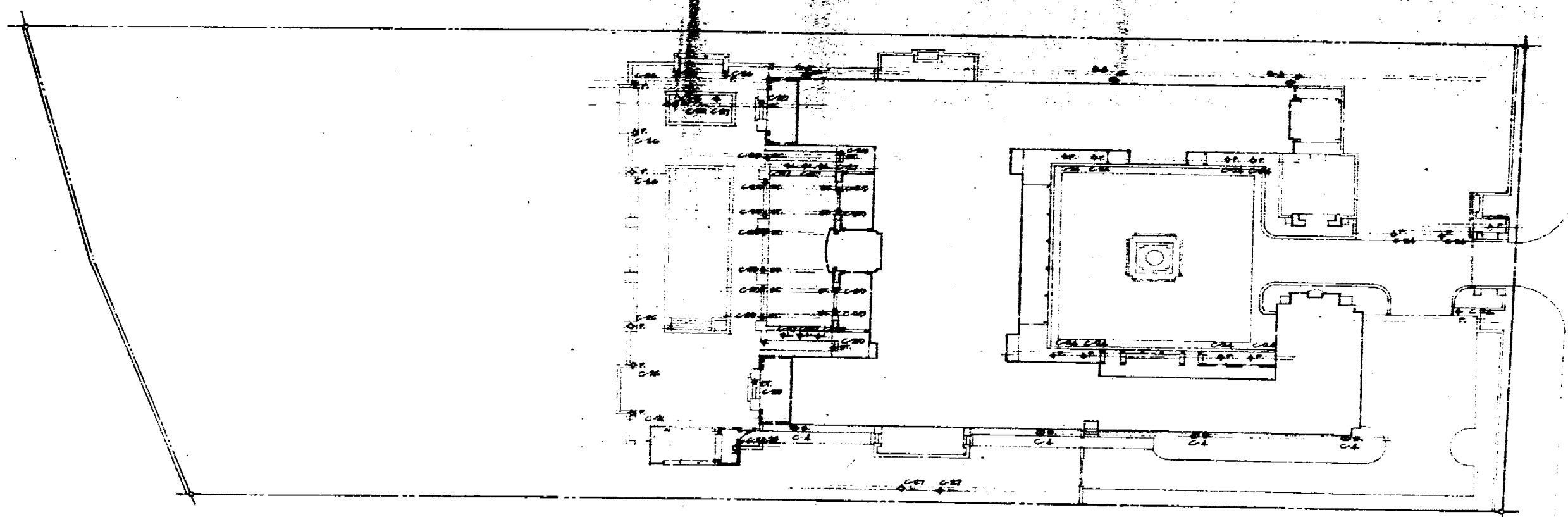
CASA EGOSITA  
4519 PINE TREE DRIVE  
MIAMI BEACH, FLORIDA

PAUL PERGAKIS  
ARCHITECT INC.  
7810 MONTGOMERY DRIVE  
MIAMI, FLORIDA 33148

Paul Pergakis  
Architect Inc.

DATE  
DRAWN BY  
CHECKED BY  
APPROVED BY



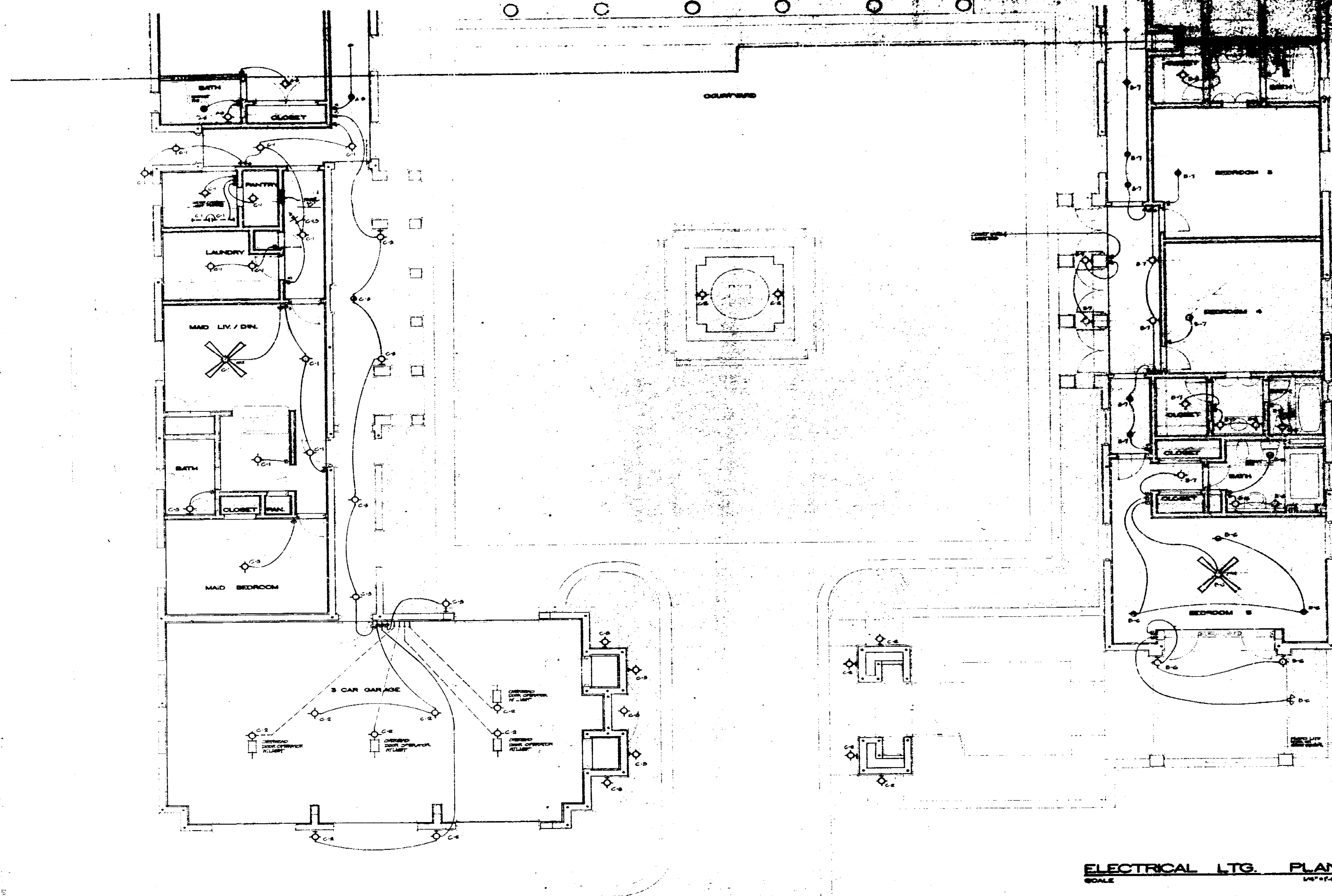


ELECTRICAL  
SITE LIGHTING PLAN  
SCALE 1"=20'

LEGEND  
 -> SECURITY FLOOD LIGHT  
 -> STREET LIGHT  
 -> PARKING LOT LIGHT  
 -> LANDSCAPE LIGHT

OFFICE COPY  
 CITY OF MIAMI BEACH  
 APPROVED FOR PERMIT BY  
 THE FOLLOWING:  
 BUILDING: *May 5-2010*  
 ZONING: *10*  
 PLUMBING: *10*  
 ELECTRICAL: *10*  
 MECHANICAL: *10*  
 FIRE PREVENTION: *10*  
 UTILITIES: *10*

SPAIN-LLANES ARCHITECTS P.O. BOX 249178 CORAL GABLES, FL 33109	CASA BOSSIN 4519 PINE TREE DRIVE MIAMI BEACH, FL 33140	CLARKE & CLARKE INC. 1111 N.W. 11TH AVENUE MIAMI, FL 33136
-------------------------------------------------------------------------	--------------------------------------------------------------	---------------------------------------------------------------------



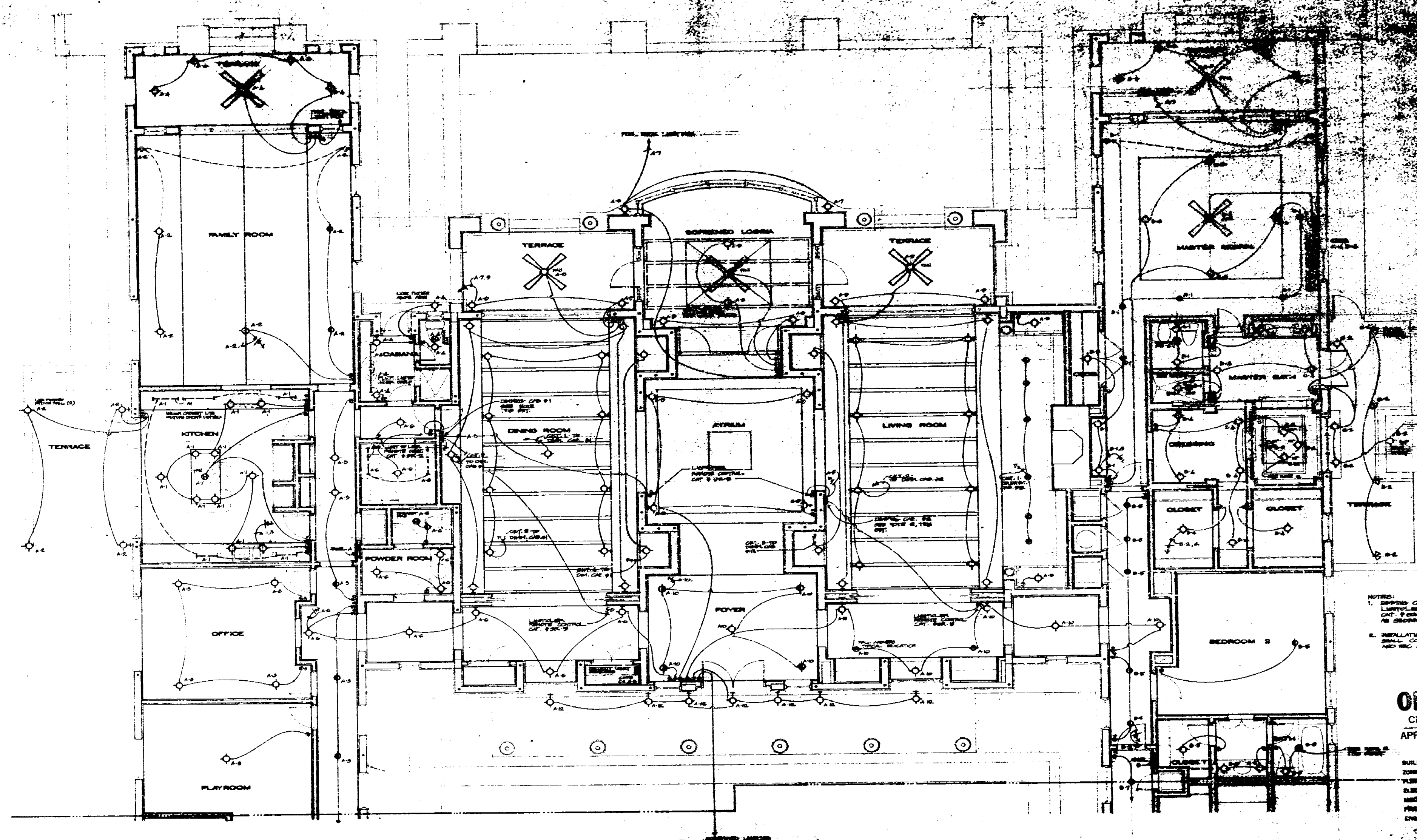
**OFFICE COPY**  
CITY OF MIAMI BUILDING DEPARTMENT  
APPROVED FOR PERMIT BY  
THE FOLLOWING:  
REVISION: 5-27-77  
DRAWING: 114  
PLANNING: [Signature]  
ELECTRICAL: [Signature]  
MECHANICAL: [Signature]  
FIRE PROTECTION: [Signature]

PAUL PERAZICH  
ARCHITECT INC.  
1101 BROADWAY  
MIAMI, FL 33139

**CASA ESMERALDA**  
4510 PINE TREE DRIVE  
MIAMI BEACH, FL 33140

SPAIN-LLANES  
ARCHITECTS  
P.O. BOX 11174  
MIAMI, FL 33101





NOTES:  
 1. SEE ELECTRICAL SPECIFICATIONS FOR DETAILS.  
 2. SEE ELECTRICAL SPECIFICATIONS FOR DETAILS.  
 3. SEE ELECTRICAL SPECIFICATIONS FOR DETAILS.

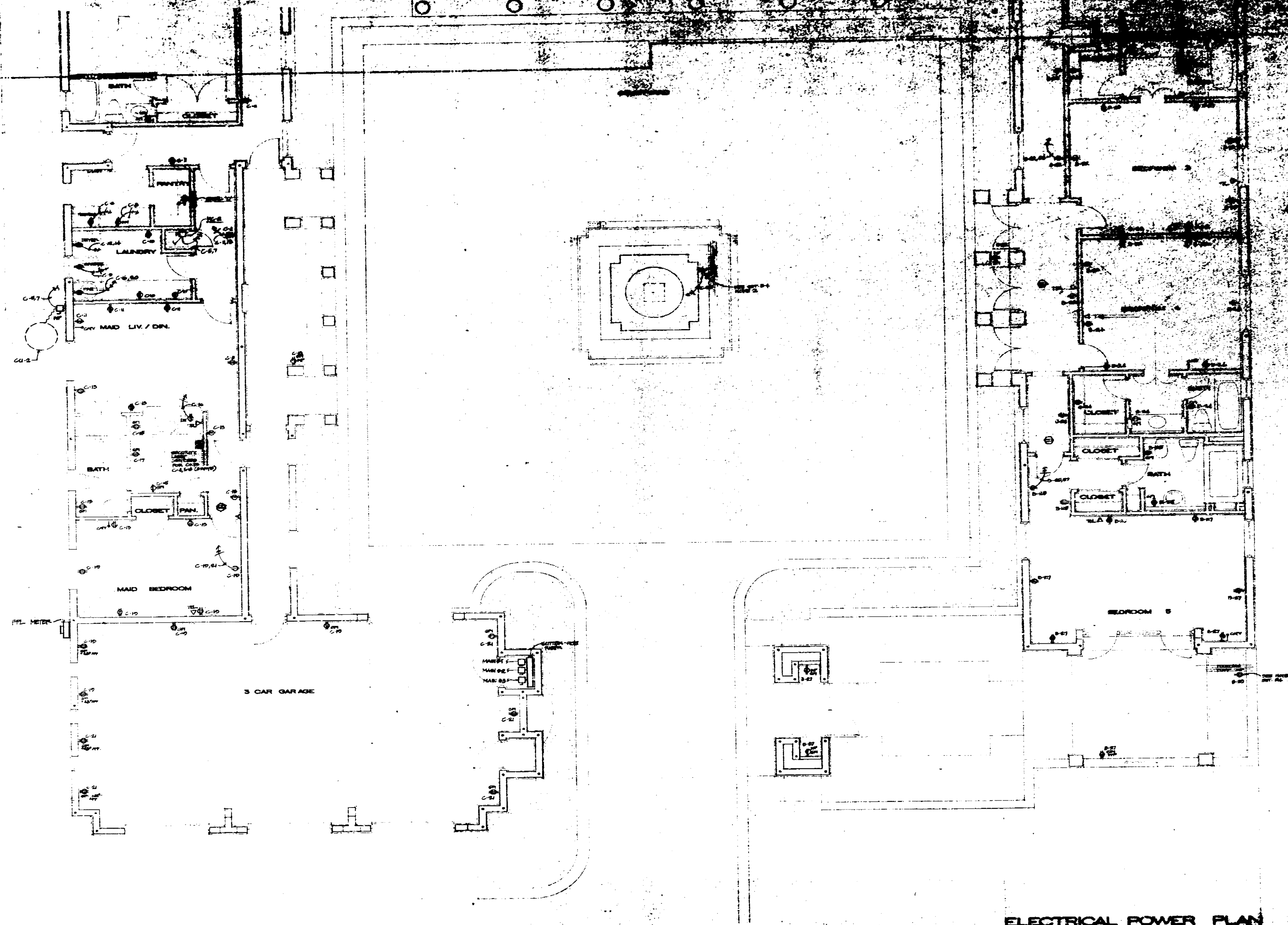
**OFFICE COPY**  
 CITY OF MIAMI BEACH  
 APPROVED FOR PERMIT BY  
 THE FOLLOWING:  
 BUILDING: *[Signature]*  
 ELECTRICAL: *[Signature]*  
 MECHANICAL: *[Signature]*  
 FIRE PREVENTION: *[Signature]*

**ELECTRICAL L.T.S. PLAN**  
 10/1/54

**CASA ECOVITA**  
 4519 PINE TREE DRIVE  
 MIAMI BEACH

SPAIN-LLANES  
 ARCHITECTS  
 1000 BAYVIEW BLVD.  
 MIAMI BEACH



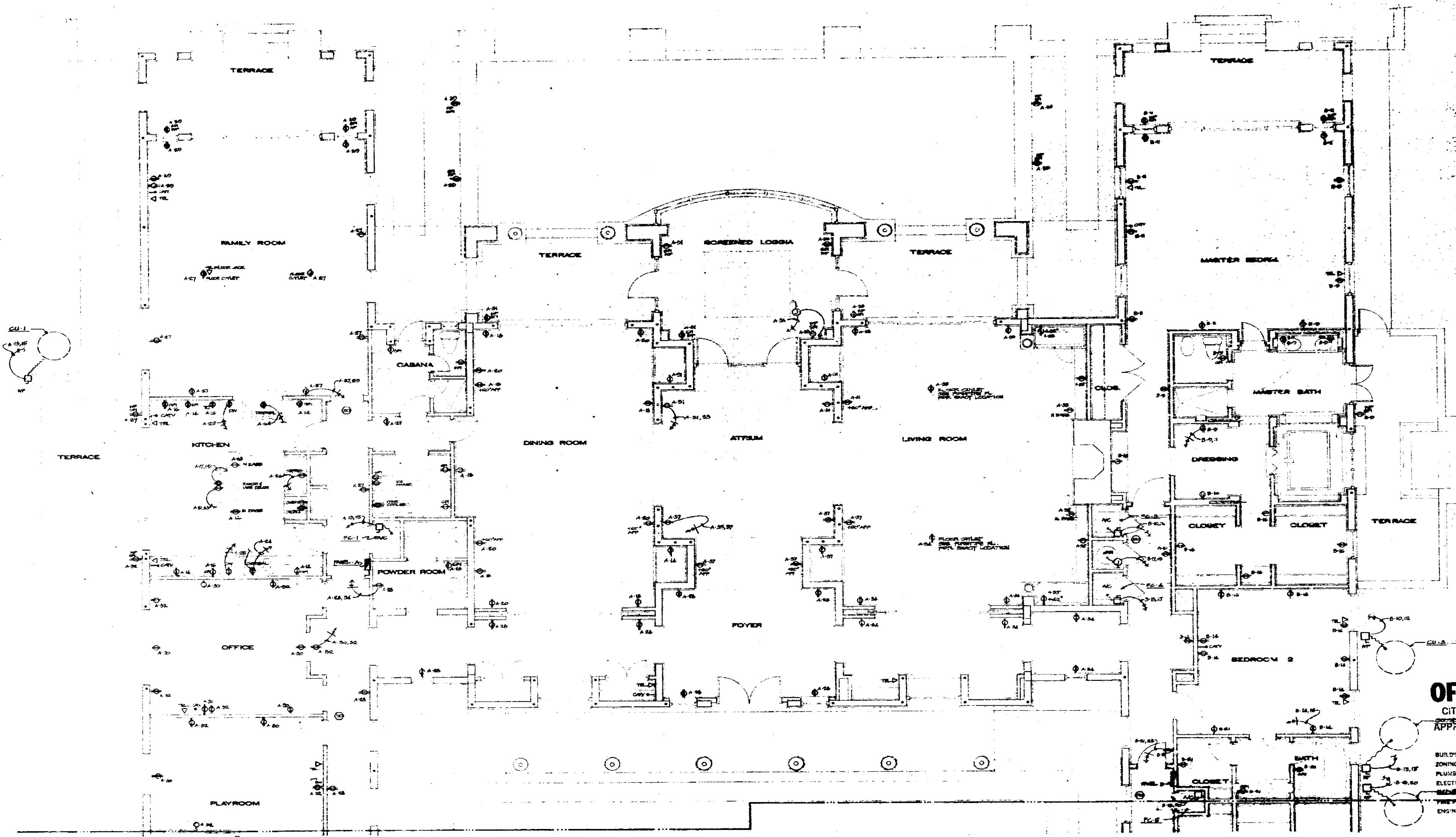


**OFFICE COPY**  
 CITY OF MIAMI BEACH  
 APPROVED FOR PERMIT BY  
 THE FOLLOWING:  
 BUILDING: *[Signature]*  
 PLUMBING: *[Signature]*  
 ELECTRICAL: *[Signature]*  
 MECHANICAL: *[Signature]*  
 WIRE INFORMATION: *[Signature]*  
 ENGINEERING: *[Signature]*

**ELECTRICAL POWER PLAN**  
 SCALE: 1/4" = 1'-0"

**CASA ECUMENICA**  
 4519 PINE TREE DRIVE  
 MIAMI BEACH, FLORIDA

SPAIN-LLANES  
 ARCHITECTS  
 P.O. BOX 840170  
 MIAMI, FLORIDA 33184



**ELECTRICAL POWER PLAN**  
SCALE 1/4" = 1'-0"

**OFFICE COPY**

CITY OF MIAMI BEACH  
APPROVED FOR PERMIT BY  
THE FOLLOWING:

BUILDING: *[Signature]*  
ZONING: *[Signature]*  
PLUMBING: *[Signature]*  
ELECTRICAL: *[Signature]*  
MECHANICAL: *[Signature]*  
FIRE PREVENTION: *[Signature]*  
ENGINEERING: *[Signature]*

SPAIN LLANES  
ARCHITECTS  
P.O. BOX 848170  
MIAMI BEACH, FL. 33186

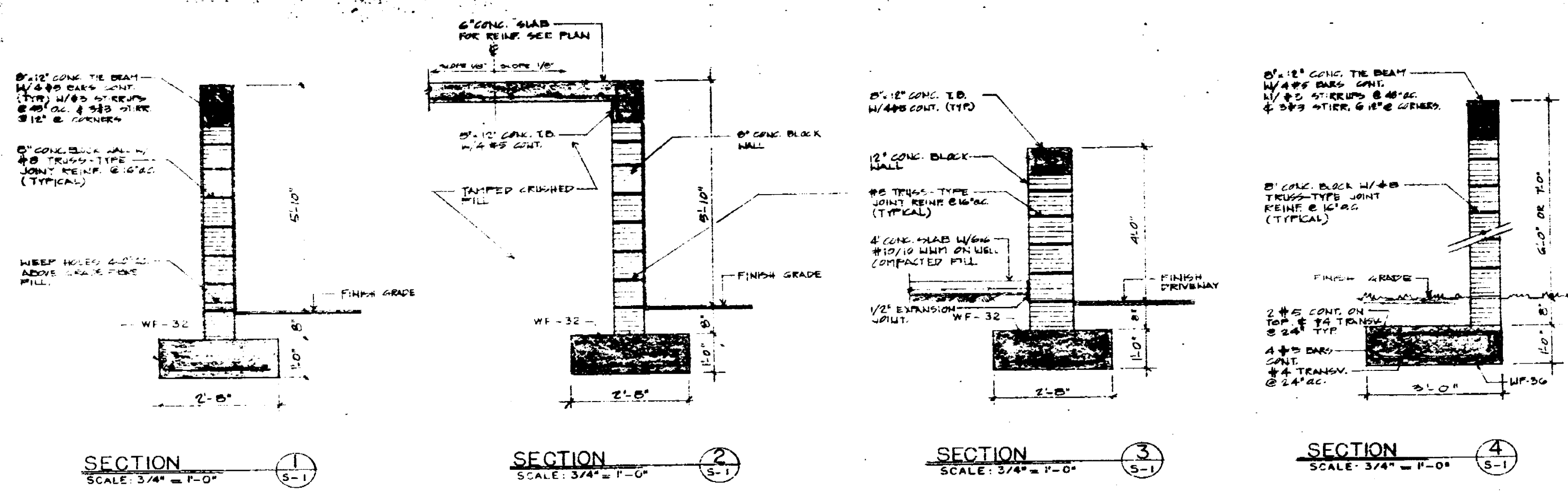
**CASA EGOSITA**  
4519 PINE TREE DRIVE  
MIAMI BEACH, FLORIDA

PROJ. NO. 848170  
ARCHITECT: SPAIN LLANES  
DATE: 10/1/70

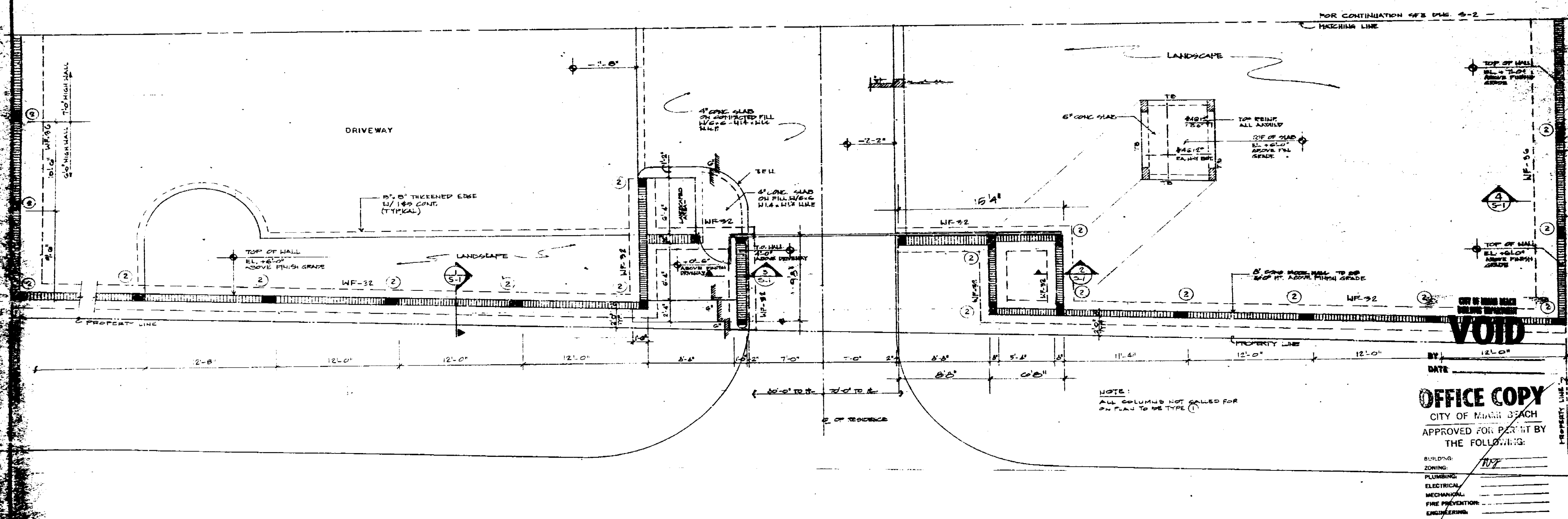








FOOTING SCHEDULE		
MARK	SIZE	REINFORCEMENT
(F1)	6" x 6" x 1'-0"	3 #5 EA. WAY, BOTTOM
(F2)	7" x 6" x 1'-0"	6 #5 BOTTOM, LONG
(F3)	6" x 6" x 1'-0"	4 #5 EA. WAY, BOTTOM
(F4)	4" x 4" x 1'-0"	5 #5 " " "
(F5)	6" x 6" x 1'-0"	6 #5 " " "
(F6)	6" x 6" x 1'-0"	7 #5 BOT. WALL
		6 #5 " " " " "
WF 16	16" x 10" x CONT.	2 #5 BOT. LONG
WF 24	24" x 12" x CONT.	6 #5 BOT. LONG
WF 32	32" x 12" x CONT.	4 #5 BOT. LONG
WF 36	36" x 12" x CONT.	4 #5 BOT. 4 #5 TOP LONG
		6 #5 4 #5 T & B, WALL



OFFICE COPY  
 CITY OF MIAMI BEACH  
 APPROVED FOR PERMIT BY  
 THE FOLLOWING:  
 BUILDING: 107  
 ZONING: 107  
 PLUMBING: 107  
 ELECTRICAL: 107  
 MECHANICAL: 107  
 FIRE PREVENTION: 107  
 ENGINEERING: 107

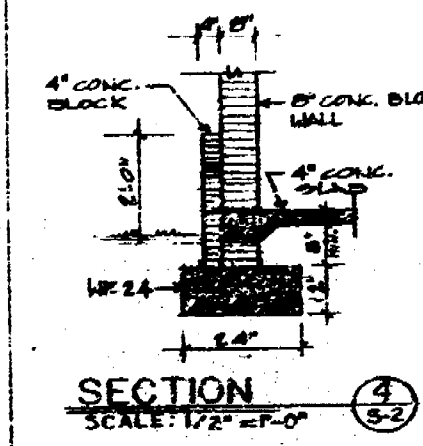
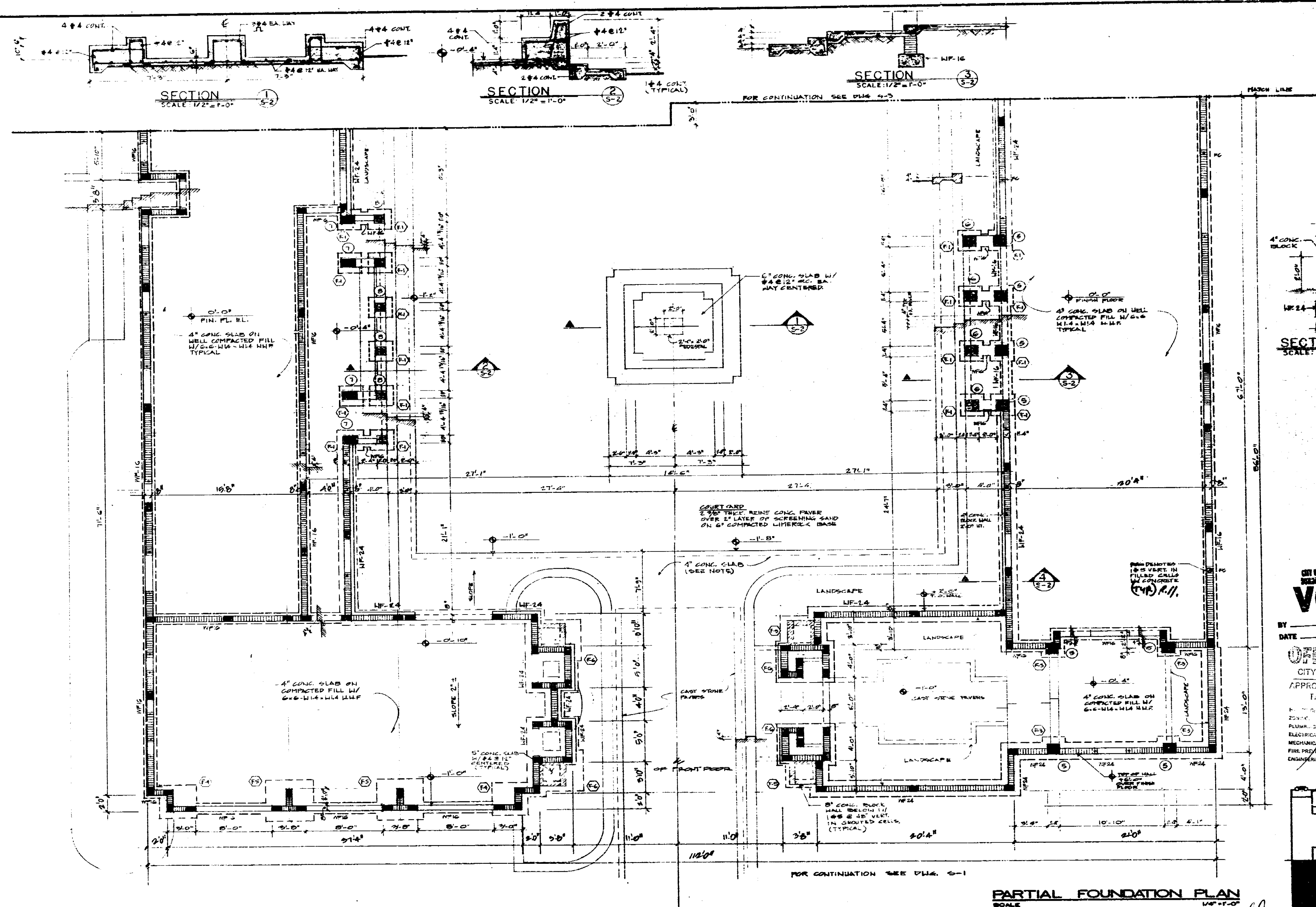
ENTRY FOUNDATION PLAN  
 SCALE: 3/4" = 1'-0"

PAUL PERGAKIS  
 ARCHITECT INC  
 1715 INTERNATIONAL DRIVE  
 MIAMI, FLORIDA 33156  
 TEL: 305-556-2000  
 FAX: 305-556-2001  
 CASA ECOSITA  
 4510 PINE TREE DRIVE  
 MIAMI BEACH, FLORIDA  
 SPAIN LLANES  
 ARCHITECTS  
 P.C. INC. 333 179  
 1001 BAYVIEW BL. SUITE 100  
 MIAMI BEACH, FL. 33139







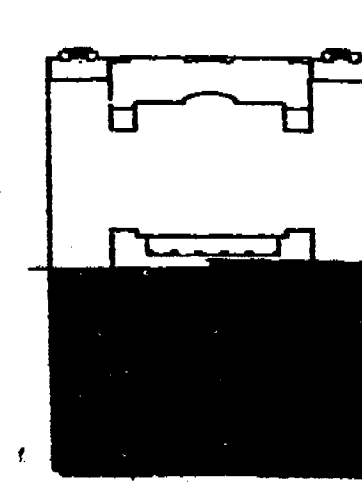


VOID

OFFICE COPY

CITY OF MIAMI BEACH  
APPROVED FOR PERMIT BY  
THE FOLLOWING:

PLUMBING  
ELECTRICAL  
MECHANICAL  
FIRE PREVENTION  
ENGINEERING

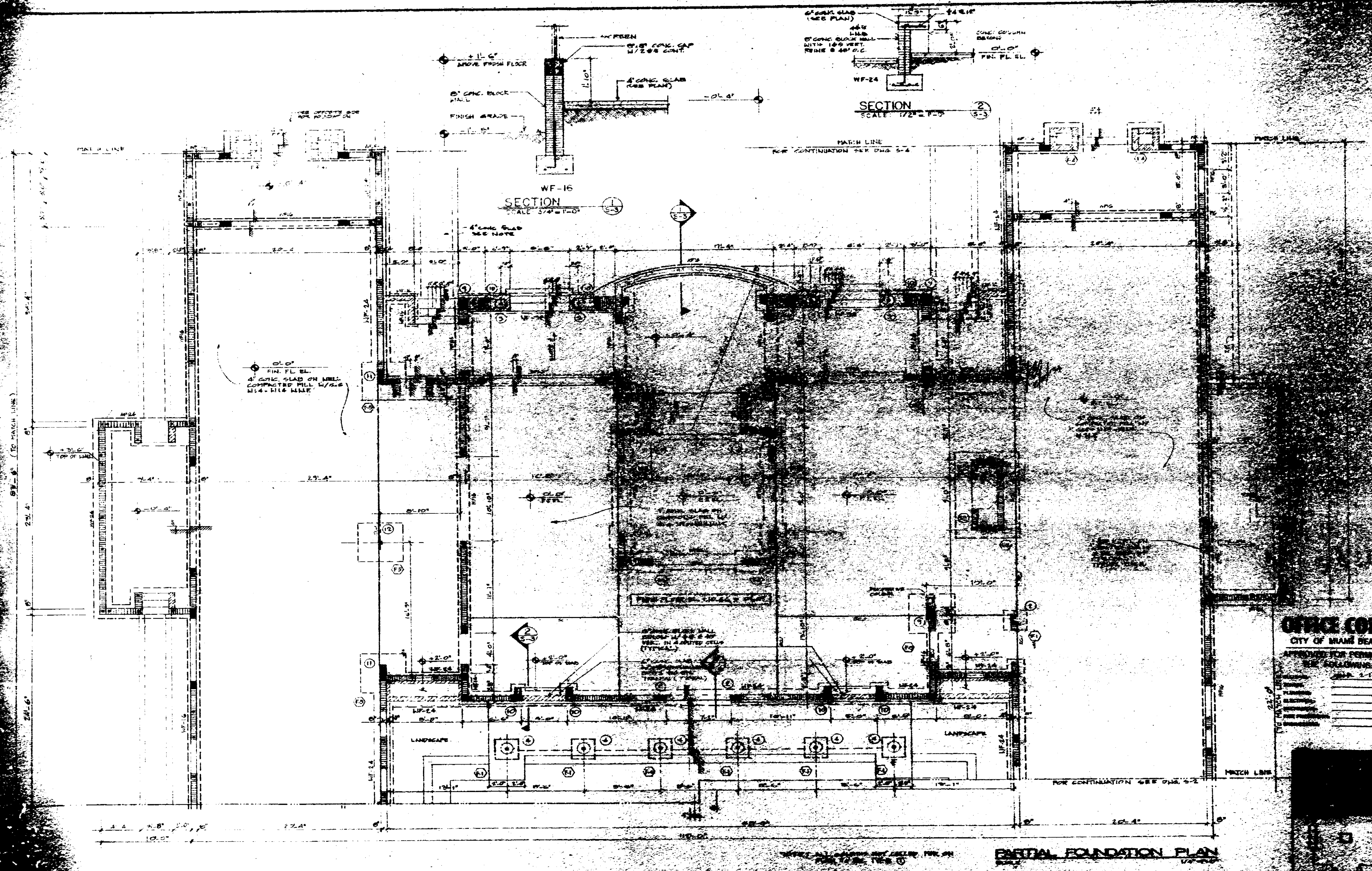


**PAUL PERGAKIS ARCHITECT INC**  
1915 MONTELEONE DRIVE  
MIAMI, FLORIDA 33133  
407-552-1111

**CASA EGOSITA**  
4519 PINE TREE DRIVE  
MIAMI BEACH, FLORIDA

**SPAIN LLANES ARCHITECTS**  
P.O. BOX 248176  
MIAMI, FLORIDA 33124





OFFICE COPY  
CITY OF MIAMI BEACH

APPROVED FOR PERMIT BY  
CITY ENGINEER  
DATE: 1-17-79  
BY: [Signature]

STAIN ALONG  
EDGERS

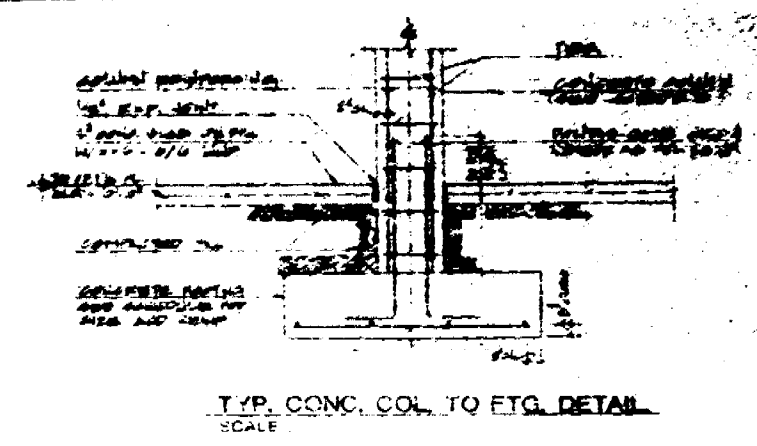
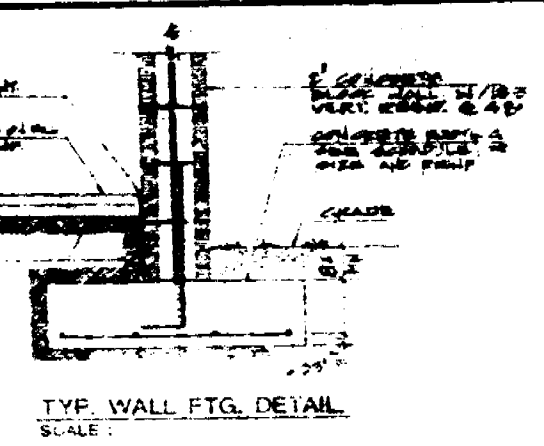
PARTIAL FOUNDATION PLAN  
1/2\"/>



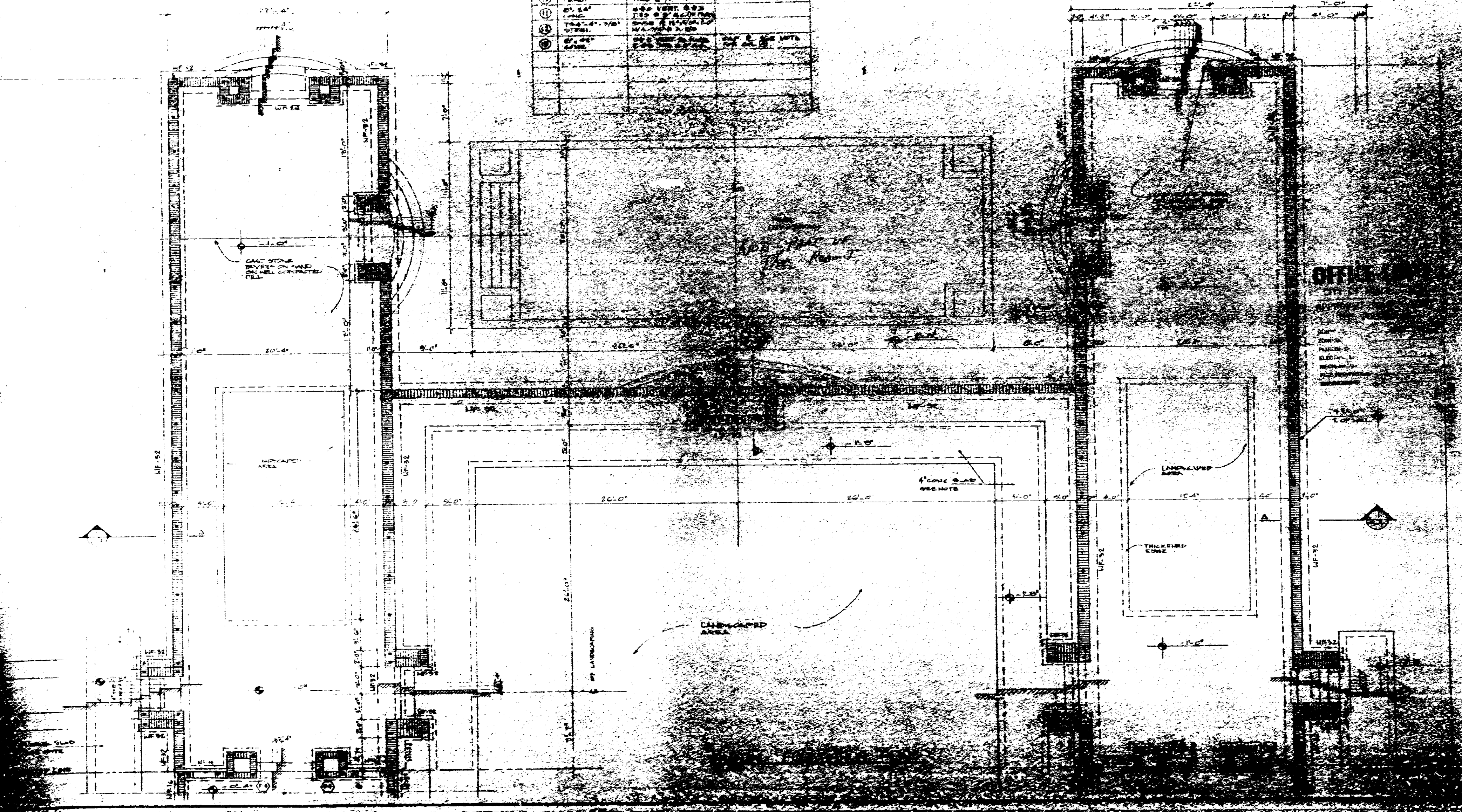
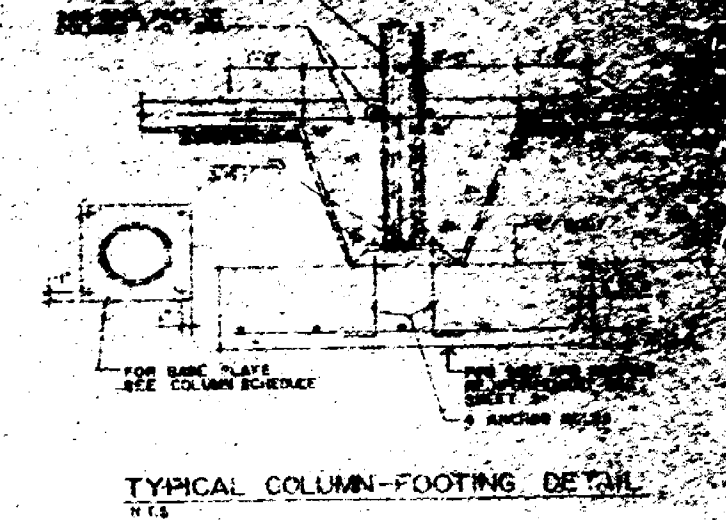
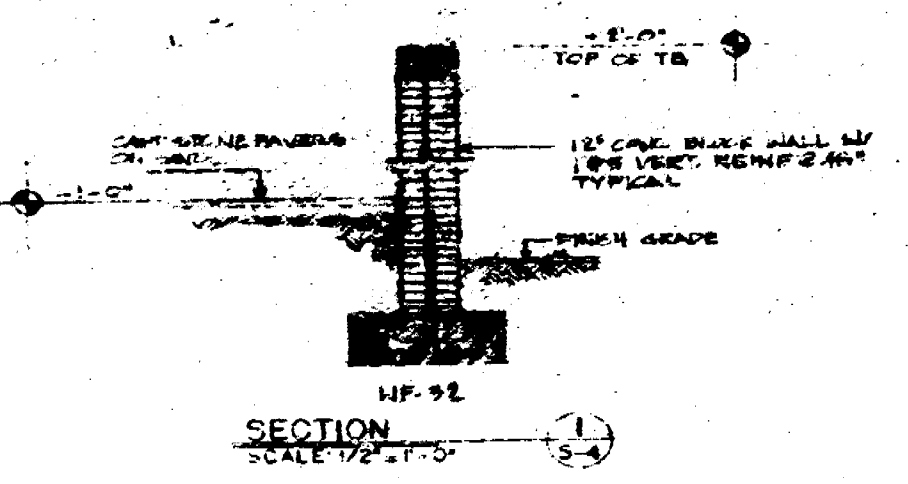


SPAIN - ELANES  
ANCHITECTS  
P.O. BOX 240178



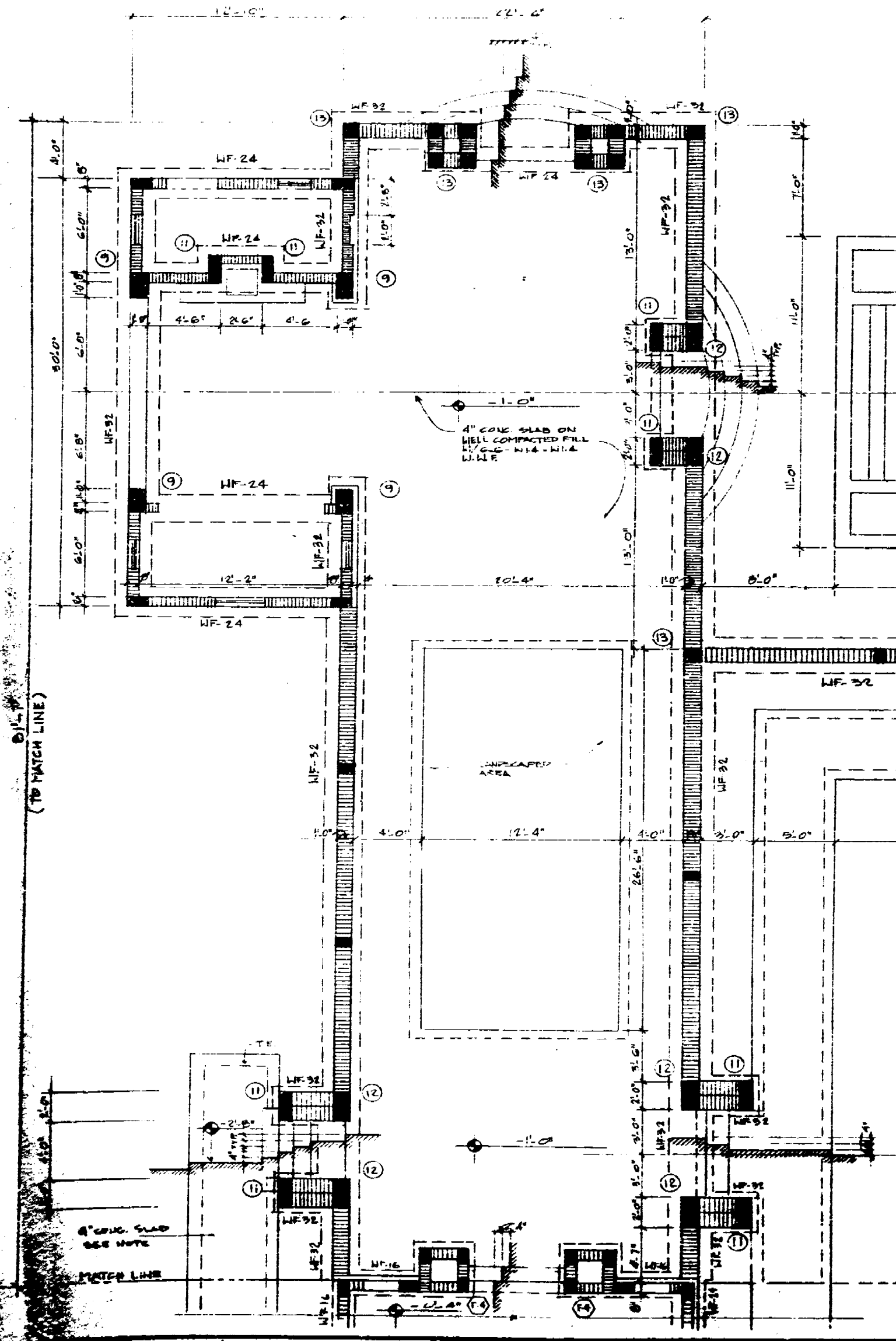


COLUMN SCHEDULE			
NO.	SIZE AND MATERIAL	HEIGHT FROM BASE	COMMENTS
1	12" DIA. CONC.	0' TO 10' 0"	
2	12" DIA. CONC.	10' 0" TO 15' 0"	
3	12" DIA. CONC.	15' 0" TO 20' 0"	
4	12" DIA. CONC.	20' 0" TO 25' 0"	
5	12" DIA. CONC.	25' 0" TO 30' 0"	
6	12" DIA. CONC.	30' 0" TO 35' 0"	
7	12" DIA. CONC.	35' 0" TO 40' 0"	
8	12" DIA. CONC.	40' 0" TO 45' 0"	
9	12" DIA. CONC.	45' 0" TO 50' 0"	
10	12" DIA. CONC.	50' 0" TO 55' 0"	
11	12" DIA. CONC.	55' 0" TO 60' 0"	
12	12" DIA. CONC.	60' 0" TO 65' 0"	
13	12" DIA. CONC.	65' 0" TO 70' 0"	
14	12" DIA. CONC.	70' 0" TO 75' 0"	
15	12" DIA. CONC.	75' 0" TO 80' 0"	
16	12" DIA. CONC.	80' 0" TO 85' 0"	
17	12" DIA. CONC.	85' 0" TO 90' 0"	
18	12" DIA. CONC.	90' 0" TO 95' 0"	
19	12" DIA. CONC.	95' 0" TO 100' 0"	
20	12" DIA. CONC.	100' 0" TO 105' 0"	

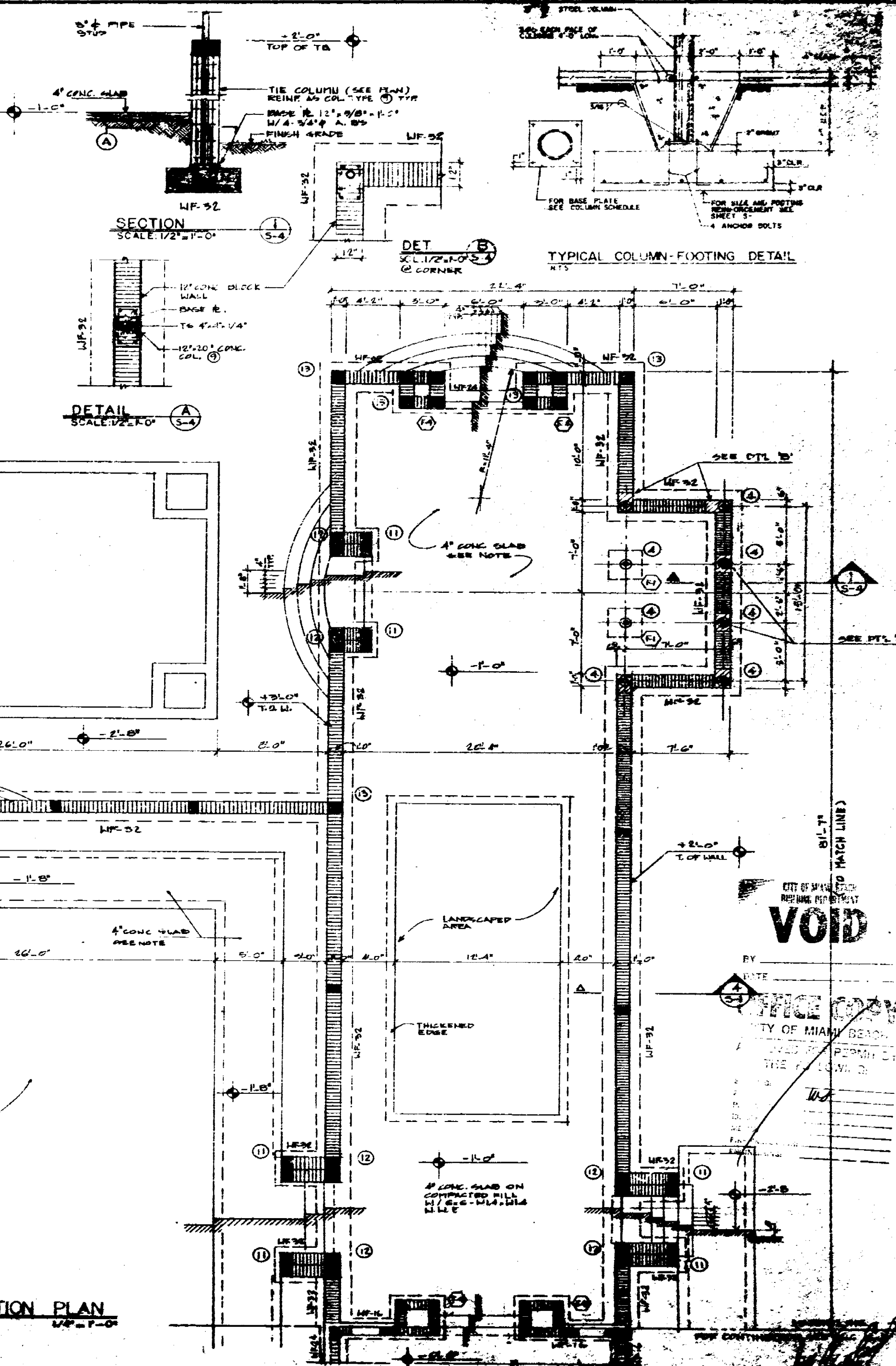






SPAIN-LLANES  
100-11-10-11  
100-11-10-11





COLUMN SCHEDULE			
MARK	SIZE AND MATERIAL	REINFORCEMENT OR BASE PLATE	COMMENTS
(1)	Ø12" CONC.	4 Ø5 VERT. 4 Ø5 TIES @ 12" OC	
(2)	Ø12" CONC.	Ø12" VERT. 4 Ø5 TIES @ 12" OC	
(3)	3" Ø PIPE STEEL	BASE PL. 12" x 12" 1/4" W/4" x 3/4" A.B.S.	CAP R. 12" x 12" 1/4" W/4" x 3/4" STD. ANGLE
(4)	2" STEEL TUBES	Ø12" VERT. 4 Ø5 TIES @ 12" OC	Ø12" VERT. 4 Ø5 TIES @ 12" OC
(5)	16" 1/2" CONC.	4 Ø6 VERT. 4 Ø5 TIES @ 12" OC	
(6)	10" 12" CONC. MASONRY	4 Ø6 VERT.	USE 16" 1/2" COLUMN BLOCK FULL W/ CONC.
(7)	15" 12" CONC. MASONRY	4 Ø6 VERT. 4 Ø5 TIES @ 12" OC	
(8)	12" 12" CONC. MASONRY	4 Ø6 VERT. 4 Ø5 TIES @ 12" OC	12" x 12" COLUMN BLOCK FULL W/ CONC.
(9)	15" 10" CONC.	4 Ø7 VERT. 4 Ø5 TIES @ 12" OC	
(10)	Ø12" 10" CONC.	4 Ø5 VERT. 4 Ø5 TIES @ 12" OC	
(11)	Ø12" 24" CONC.	6 Ø6 VERT. 4 Ø5 TIES @ 12" OC	
(12)	15" 24" CONC.	6 Ø6 VERT. 4 Ø5 TIES @ 12" OC	
(13)	12" 12" CONC.	4 Ø6 VERT. 4 Ø5 TIES @ 12" OC	
(14)	Ø12" 12" CONC.	4 Ø7 VERT. 4 Ø5 TIES @ 12" OC	
(15)	12" 24" 3/4" STEEL	BASE PL. 12" x 12" 1/4" W/4" x 3/4" A.B.S.	CAP R. SEE NOTE FOR COL. 4
(16)	Ø12" 48" CONC.	Ø6 VERT. 4 Ø5 TIES @ 12" OC	



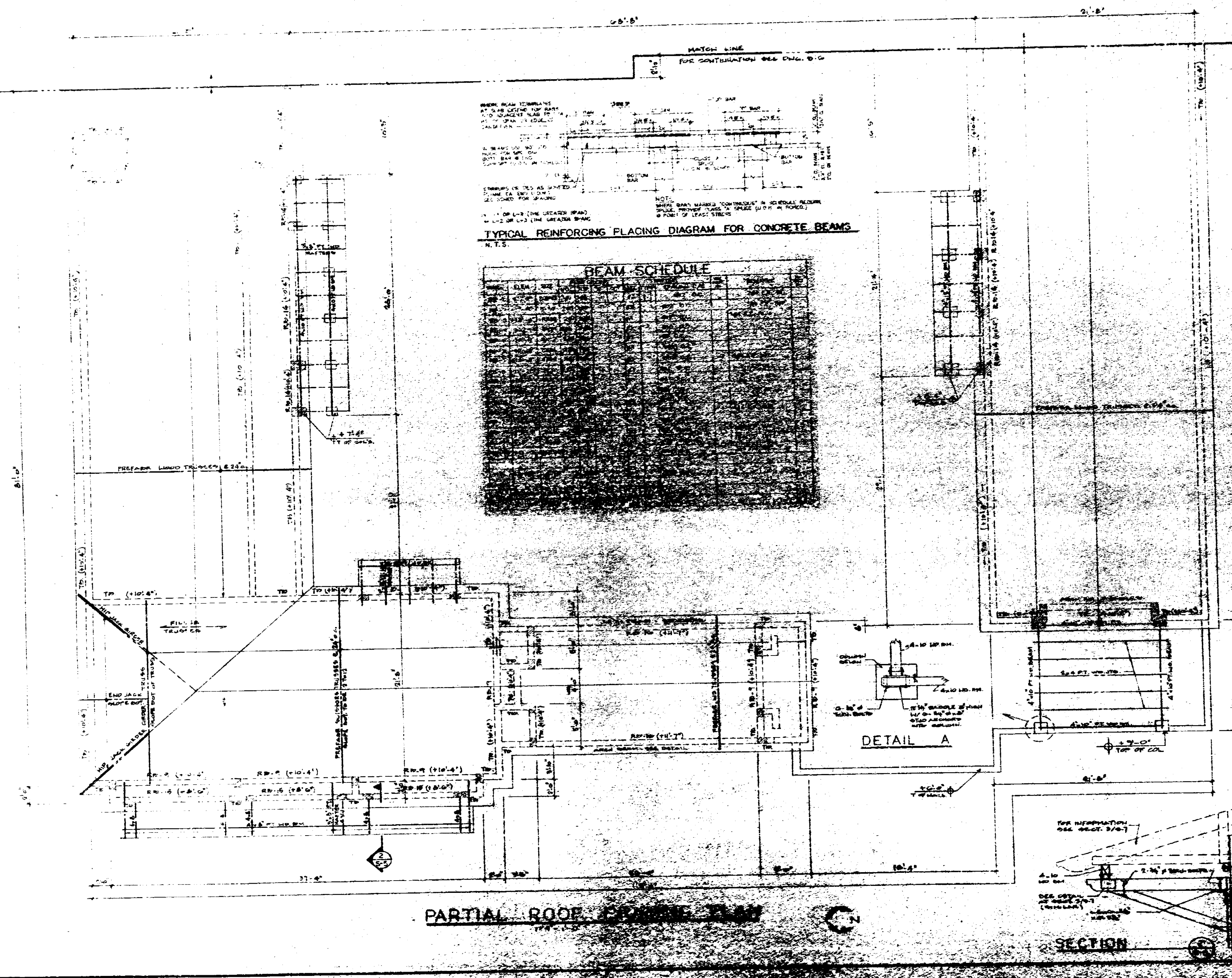





**SPAIN-LLANES**  
ARCHITECTS  
 P.O. BOX 333179  
 MIAMI GARDENS, FL 33156

**CASA EGOSITA**  
 4519 PINE TREE DRIVE  
 MIAMI BEACH, FLORIDA

**PAUL PERGAKIS**  
 ARCHITECT INC.  
 7910 UNIVERSITY DRIVE  
 MIAMI, FLORIDA 33198  
 (305) 524-3333

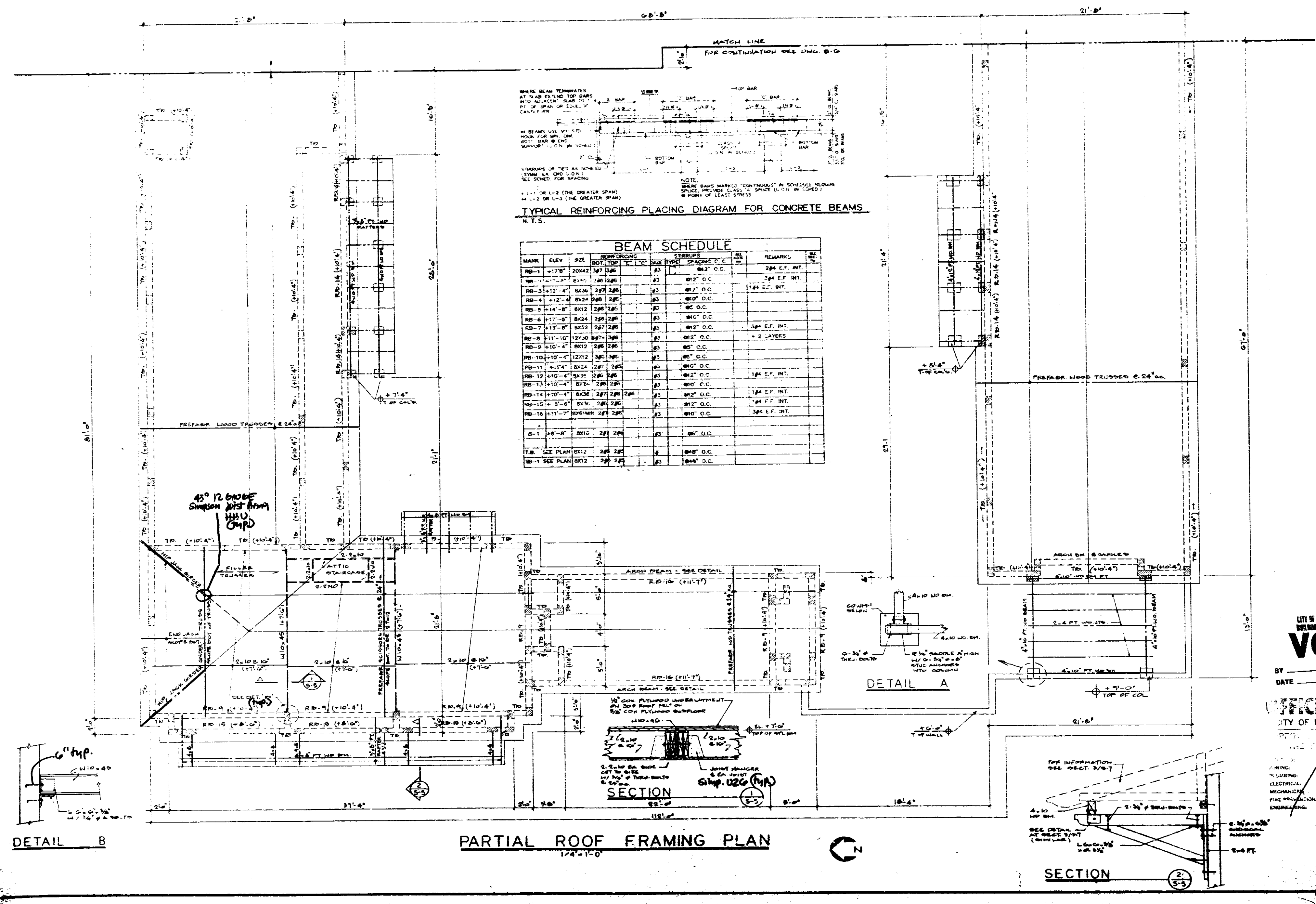




PARTIAL ROOF FRAMING PLAN

**OFFICE COPY**  
 CITY OF MIAMI BEACH  
 APPROVED FOR PERMIT BY  
 THE FOLLOWING:  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_





JOSE A. SANCHEZ, P.E.  
CONSULTING ENGINEER  
1000 N. MIAMI AVE.  
SUITE 100  
MIAMI, FL 33136  
(305) 571-1111

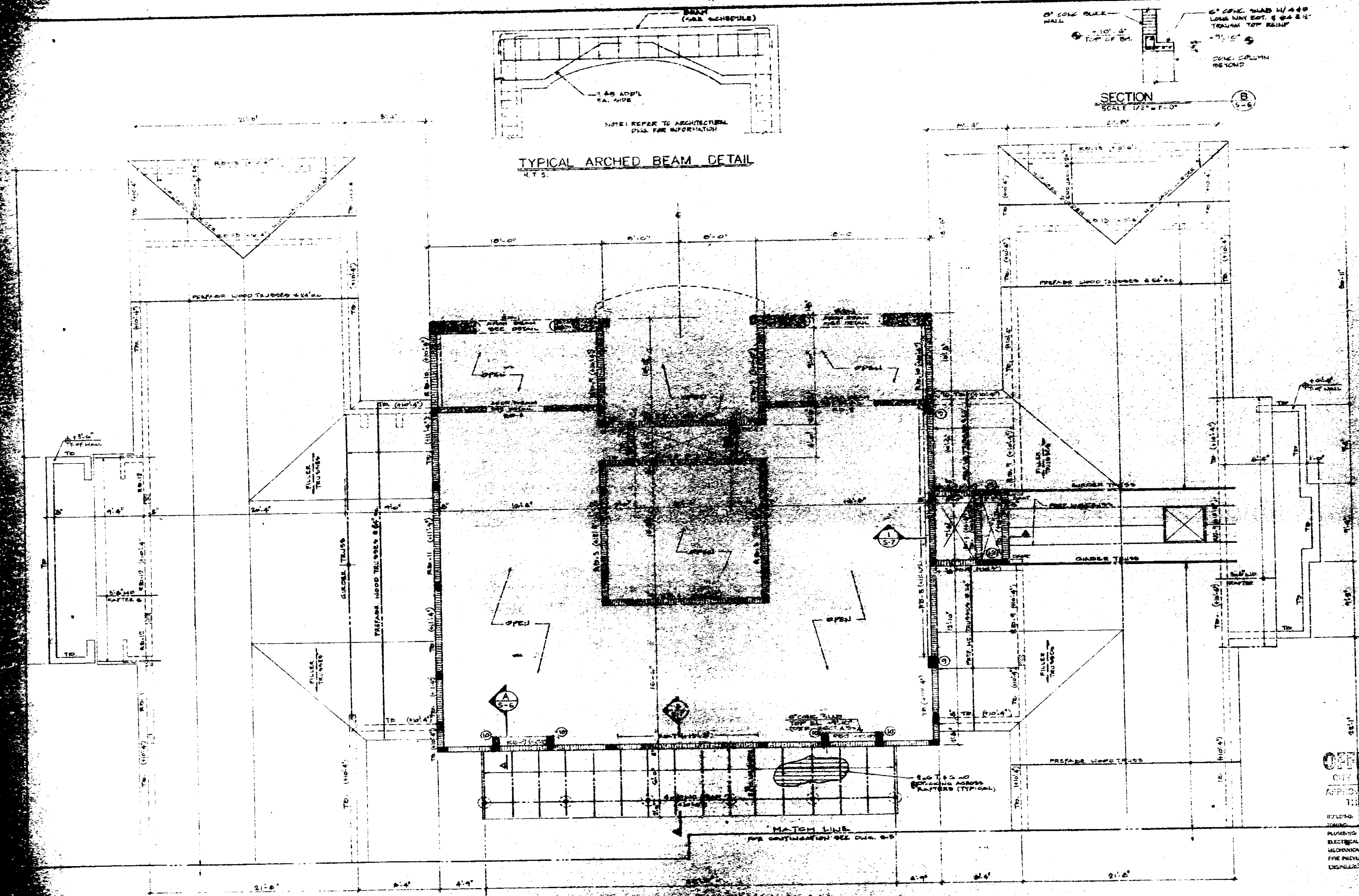
**PAUL PERGAKIS**  
ARCHITECT INC  
1970 MONTGOMERY DRIVE  
MIAMI, FLORIDA 33134  
(305) 551-5555

**CASA EGOSITA**  
4519 PINE TREE DRIVE  
MIAMI BEACH, FLORIDA

SPAIN-LLANES  
ARCHITECTS  
P.O. BOX 947817  
MIAMI BEACH, FL 33109  
(305) 551-1111

CITY OF MIAMI BEACH  
BUILDING DEPARTMENT  
**VOID**  
BY \_\_\_\_\_  
DATE \_\_\_\_\_  
**OFFICE COPY**  
CITY OF MIAMI BEACH  
PROCESSED BY \_\_\_\_\_  
DATE \_\_\_\_\_  
PLUMBING \_\_\_\_\_  
ELECTRICAL \_\_\_\_\_  
MECHANICAL \_\_\_\_\_  
FIRE PROTECTION \_\_\_\_\_  
ENGINEERING \_\_\_\_\_

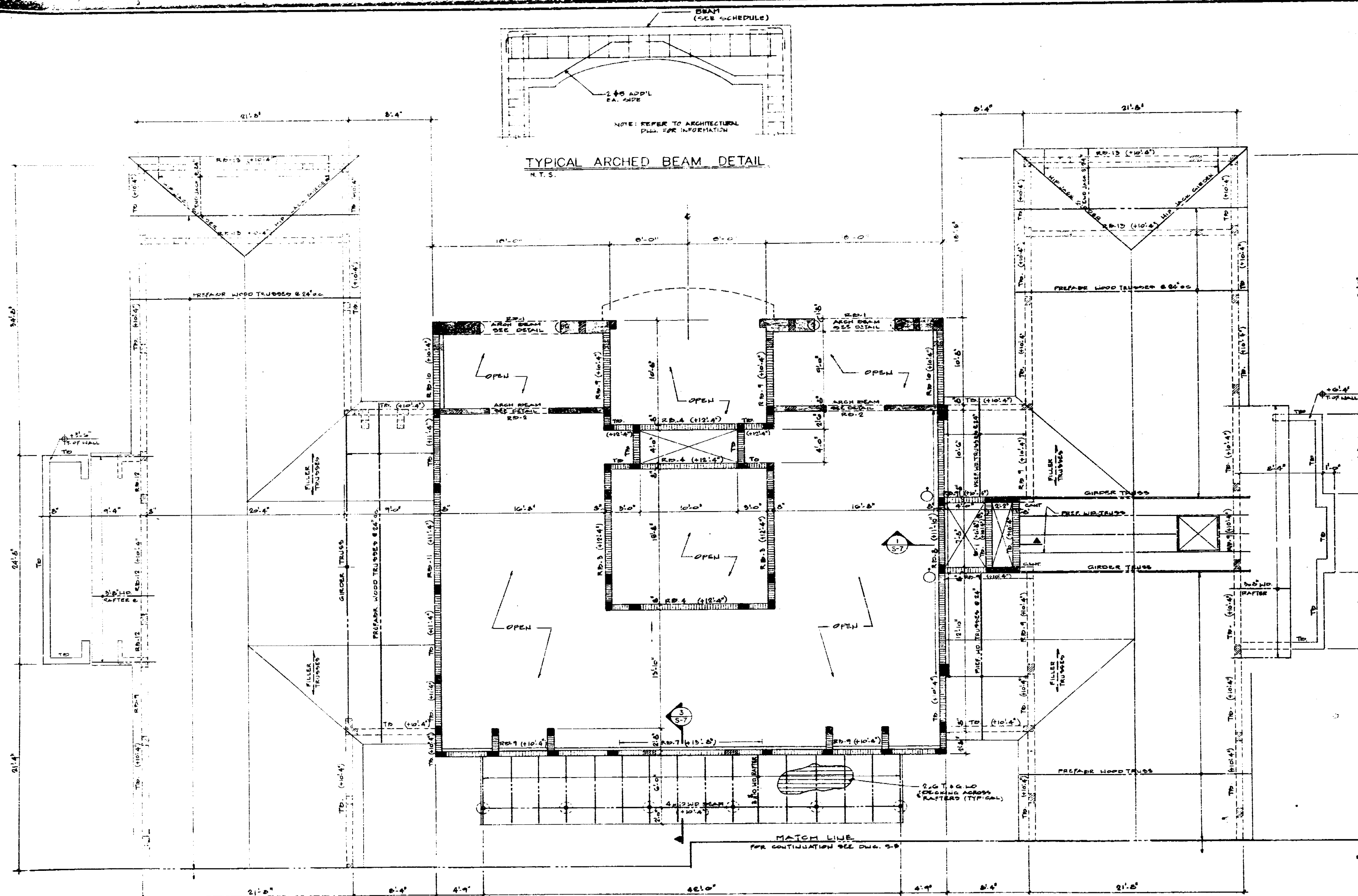




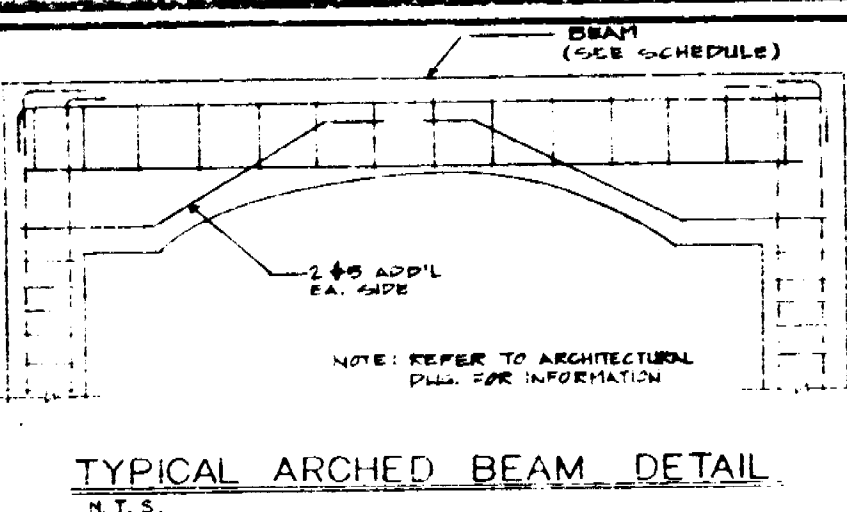
**OFFICE COPY**  
CITY OF MIAMI BEACH  
APPROVED FOR PERMIT BY  
THE FOLLOWING:  
DATE 2-11-91

☐ CIVIL  
☐ MECHANICAL  
☐ ELECTRICAL  
☐ PLUMBING  
☐ FIRE PREVENTION  
☐ LIGHTING

SPAIN - LLANES  
ARCHITECTS  
P.O. BOX 100  
MIAMI BEACH, FL 33139



PARTIAL ROOF FRAMING PLAN  
1/4"=1'-0"



VOID

OFFICE COPY  
CITY OF MIAMI BEACH  
APPROVED FOR PERMIT BY  
DATE

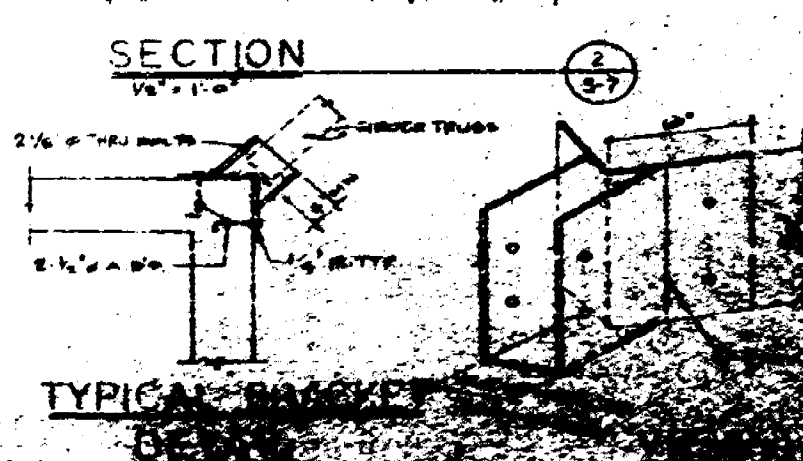
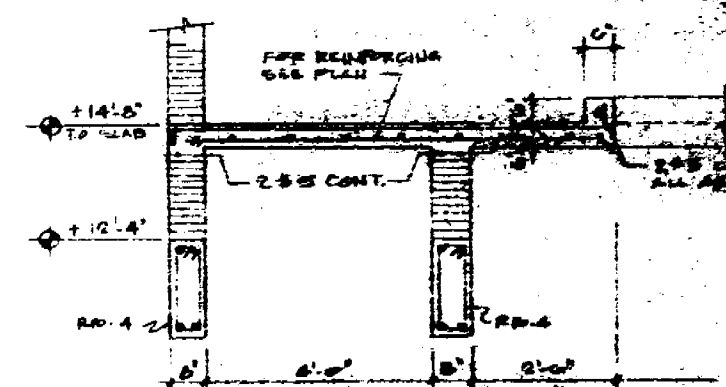
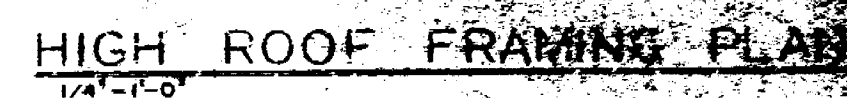
BUILT BY  
ZONING  
PLUMBING  
ELECTRICAL  
MECHANICAL  
FIRE PROTECTION  
ENGINEERING

PAUL PERGAKIS  
ARCHITECT INC  
7875 JACINTHONY DRIVE  
MIAMI, FLORIDA 33155  
305-555-5555

CASA EGOSITA  
4518 PINE TREE DRIVE  
MIAMI BEACH, FLORIDA

SPAIN-LLANES  
ARCHITECTS  
P.O. BOX 248178  
MIAMI, FLORIDA 33124





OFFICE COPY  
CITY OF INDIANAPOLIS  
APPROVED FOR FURTHER  
THE FOLLOWING  
[Signature]  
[Stamp: MAY 19 1964]

SPAIN - LLANES  
ANQUITYNOTS  
p.p. 200 2 4 0 1 2 2







10

SAN JUAN P.R. EGG DATA

ENGINEERS SHEET NO. (3)

7th STREET

FLORIDA 33125

(5) 649 9212

CALCULATED BY JPS

CHECKED BY

SCALE

OF

DATE

DATE

2/7/94

STABILIZATION MOMENT (2'-0" WIDE FOOTING)

- 1) SOIL =  $2.5 \times 100 \times 1.25 = 209.4$
- 2) WALL =  $6.5 \times 1.25 = 487.5$
- 3) FTG =  $2.5 \times 150 \times 1.25 = 468.8$

TOTAL STABILIZATION MOMENT = 1165.7 <sup>lb-ft</sup> / 1226.4

STABILIZATION MOMENT (2'-8" WIDE FOOTING)

- 1) SOIL =  $2.67 \times 100 \times 1.33 = 237.9$
- 2) WALL =  $6.5 \times 1.33 = 518.7$
- 3) FTG =  $2.67 \times 150 \times 1.33 = 932.6$

1289.2 <sup>lb-ft</sup> / 1296.4

USE 32" IN FRONT WALLS 5'-10" HIGH.

Jan L. Smith  
2/10/94

10



SANCHEZ, P.E. JOSE LAGUNA EGOSITA

7th STREET

FLORIDA 33125  
PHONE (405) 649 9212

CALCULATED BY JLS

DATE 2/7/94

CHECKED BY

DATE

DESIGN TYPICAL EXTERIOR WALL

$$M = \frac{13.4 \times 22.5}{2 \times 2} = 76.5 \text{ #}$$

$$M = 3 \times 25.5 = 76.5 \text{ #}$$

1/3 INCREASE FOR WIND

$$M = 3 \times 25.5 = 76.5 \text{ #}$$

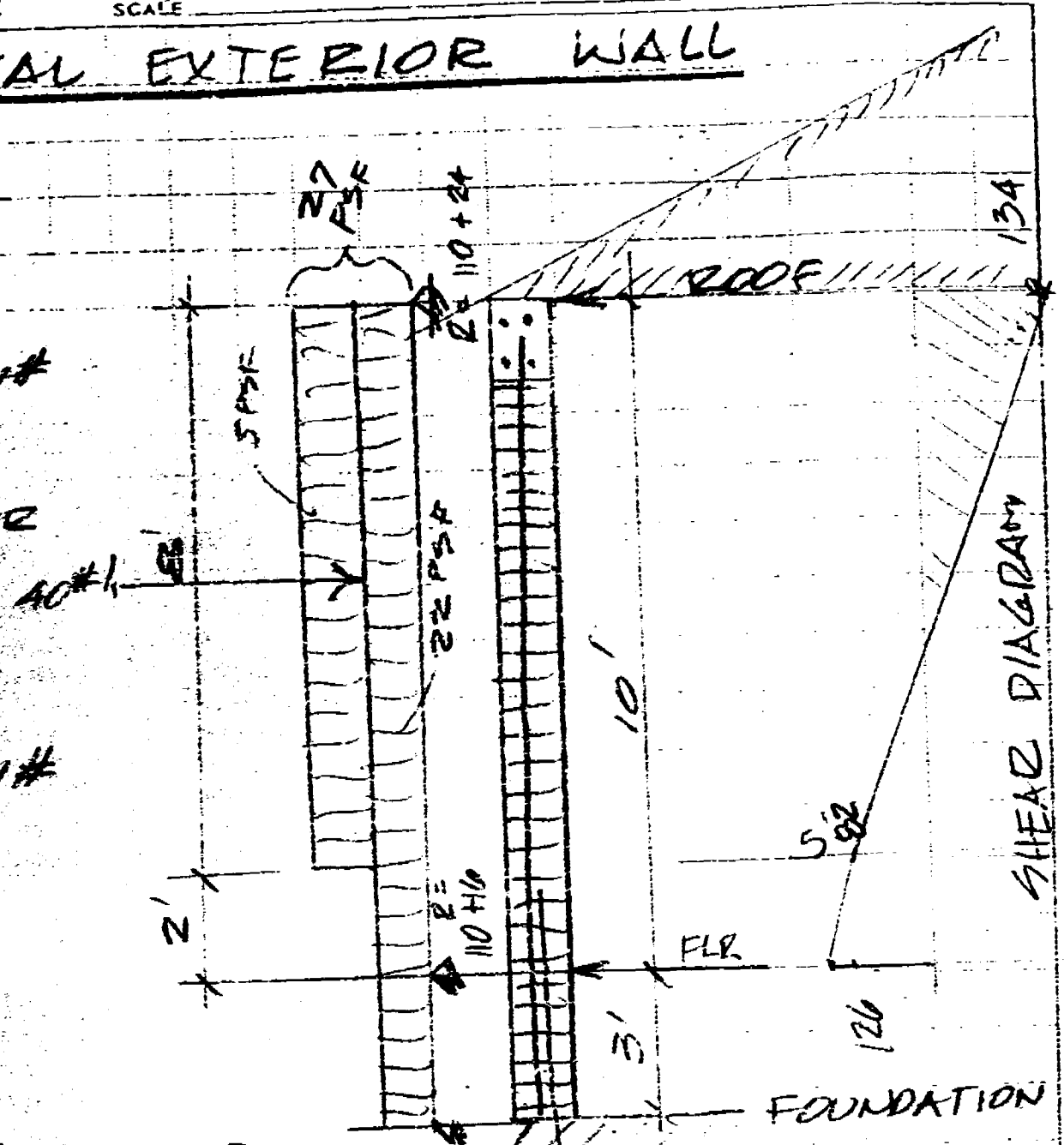
$$M = 27.5 \times 10.2 = 280.5 \text{ #}$$

USE #5 @ 4" IN  
GROUTED

$$\text{FOR 13' HIGH WALL, } M = \frac{27 \times (13)^2}{8} \times 1.1$$

$$M = \frac{627 \times 12}{1.33} = 5600.8 \text{ #}$$

USE #5 @ 4" VERTICAL FOR ALL CASES



for L. J. J. J.  
2/10/94

**TABLE - FLEXURAL RESISTANCE OF REINFORCED CONCRETE MASONRY**

**CONSTRUCTION**

12-inch x 8-inch Hollow  
Concrete Block

Depth (d) = 7.62 in.  
Aluminum Reinforcement = 24,000 psi

Bar Size Nos.	Spec. No.	Resisting Moment in Flexure, M = in-lb/ft. of Wall Length				
		f' <sub>m</sub> 1000 psi	f' <sub>m</sub> 1500 psi	f' <sub>m</sub> 2000 psi	f' <sub>m</sub> 2500 psi	f' <sub>m</sub> 3000 psi
3	40	2831	2862	2882	2895	2905
3	32	3495	3537	3563	3581	3595
4	48	4232	4289	4324	4348	4366
3	24	4641	4704	4744	4771	4792
4	40	5046	5118	5162	5194	5217
4	32	5253	5349	5410	5453	5485
5	48	5493	5595	5659	5704	5738
3	16	5891	7002	7072	7121	7158
5	40	5881	7812	7894	7951	7995
4	24	5783	8377	8467	8531	8579
6	48	5960	9180	9282	9354	9409
5	32	5814	9660	9770	9847	9906
6	40	5800	10932	11063	11155	11226
4	16	5795	11701	12506	12616	12700
7	48	5795	11701	12506	12616	12700
5	24	5788	11831	12907	13022	13109
3	8	5783	12105	13704	13829	13924
6	32	5783	12105	13704	13829	13924
7	40	5787	12492	14893	15033	15140
8	48	5783	12926	15549	16084	16593
6	24	10198	13406	16156	16734	18359
7	32	10270	13510	16288	16877	18759
5	16	10379	13667	16487	17091	19154
8	40	10436	13748	16592	17202	19281
9	48	10683	13994	16904	17540	19669
8	32	11152	14795	17932	18651	20953
4	8	11200	14861	18017	18742	21060
7	24	11200	14861	18017	18742	21060
9	40	11200	14861	18017	18742	21060
6	16	11506	15313	18602	19378	21798
9	32	11922	15935	19409	20259	22822
8	24	12087	16182	19733	20613	23236
7	16	12508	16821	20572	21535	24314
5	8	12614	16981	20784	21769	24589
9	24	12842	17332	21249	22282	25193
8	16	13369	18152	22343	23499	26627
6	8	13702	18677	23051	24291	27565
9	16	14085	19288	23881	25225	28678
7	8	14610	20142	25055	26556	30273
8	8	15353	21381	26787	28545	32679
9	8	15934	22380	28213	30208	34715

Steel Governs  
Masonry Governs

10

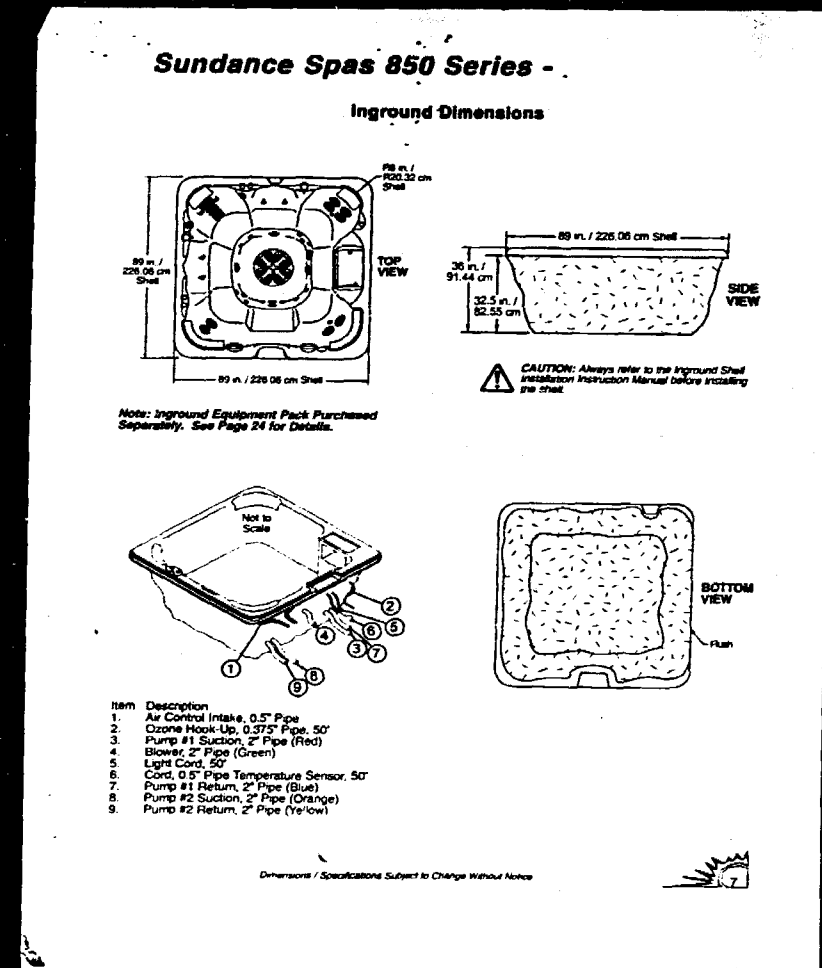
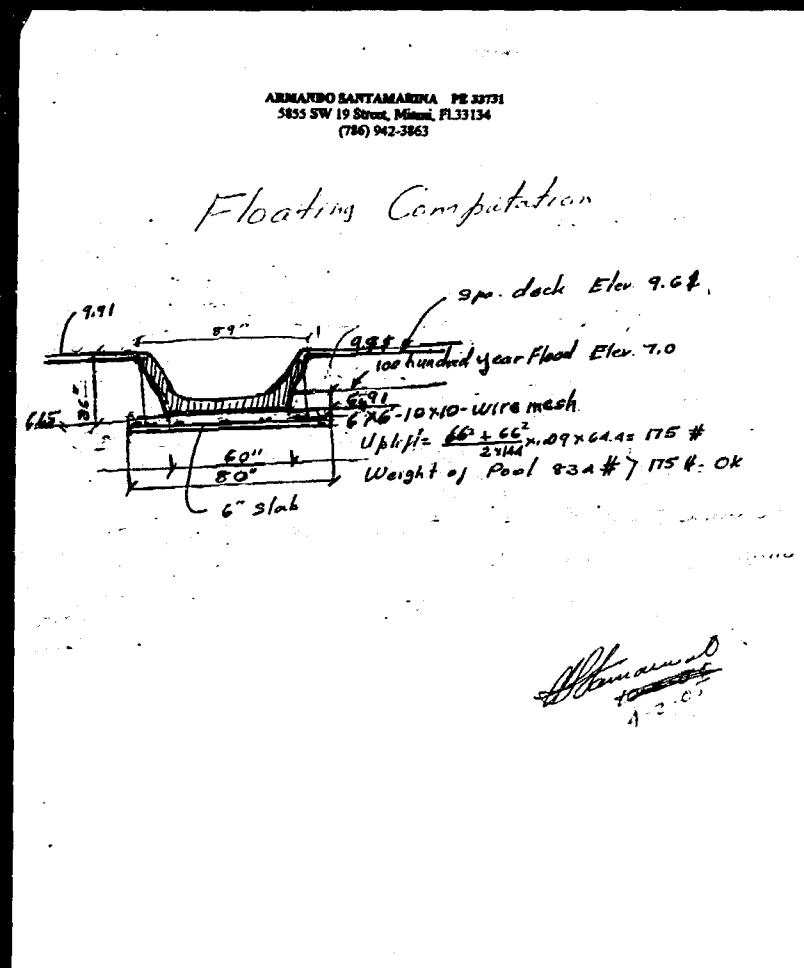
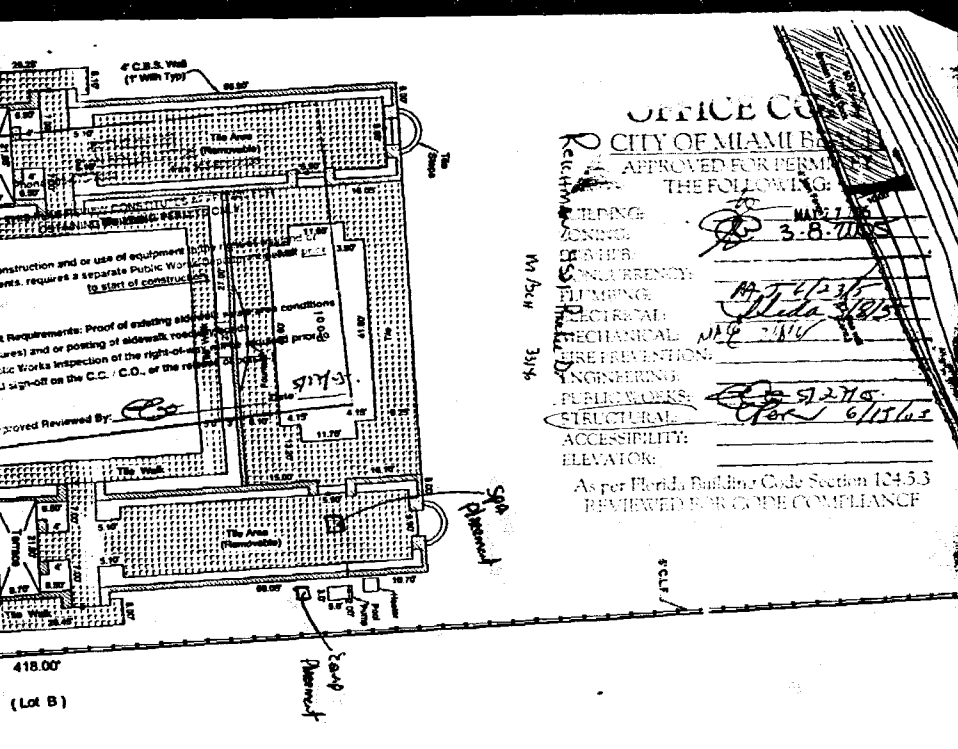




PERMIT #

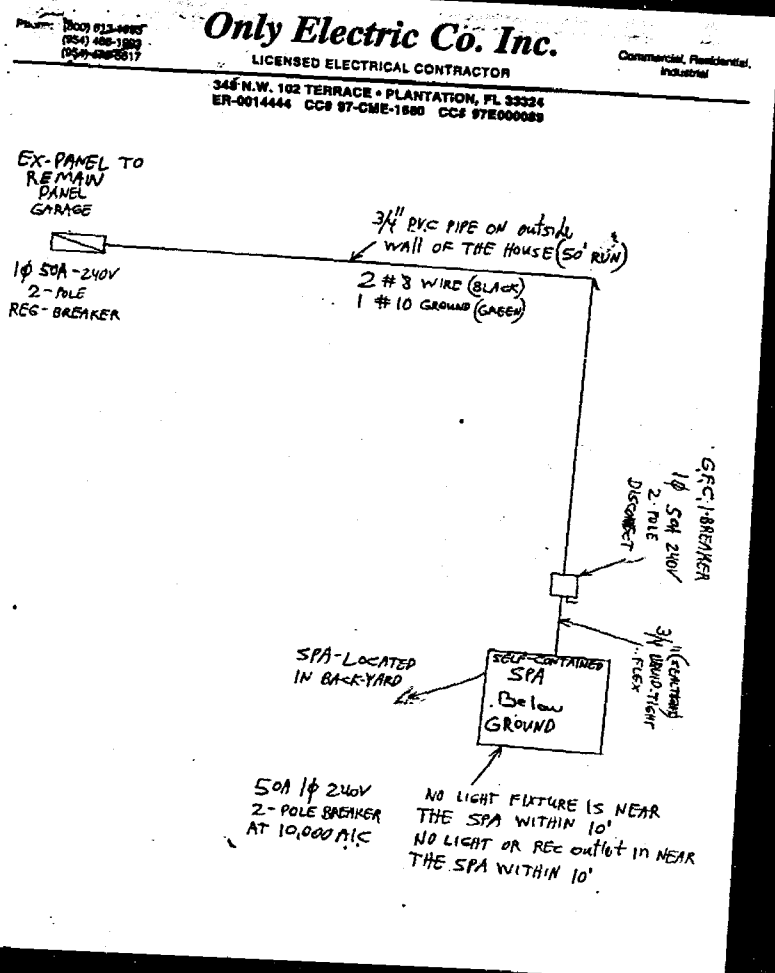
B0502750

68



68





**EX-PANEL TO REMAIN ELECTRICAL**

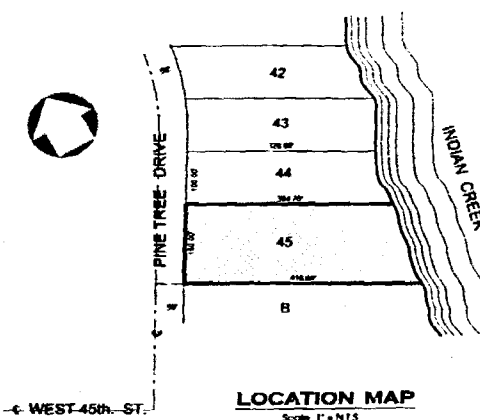
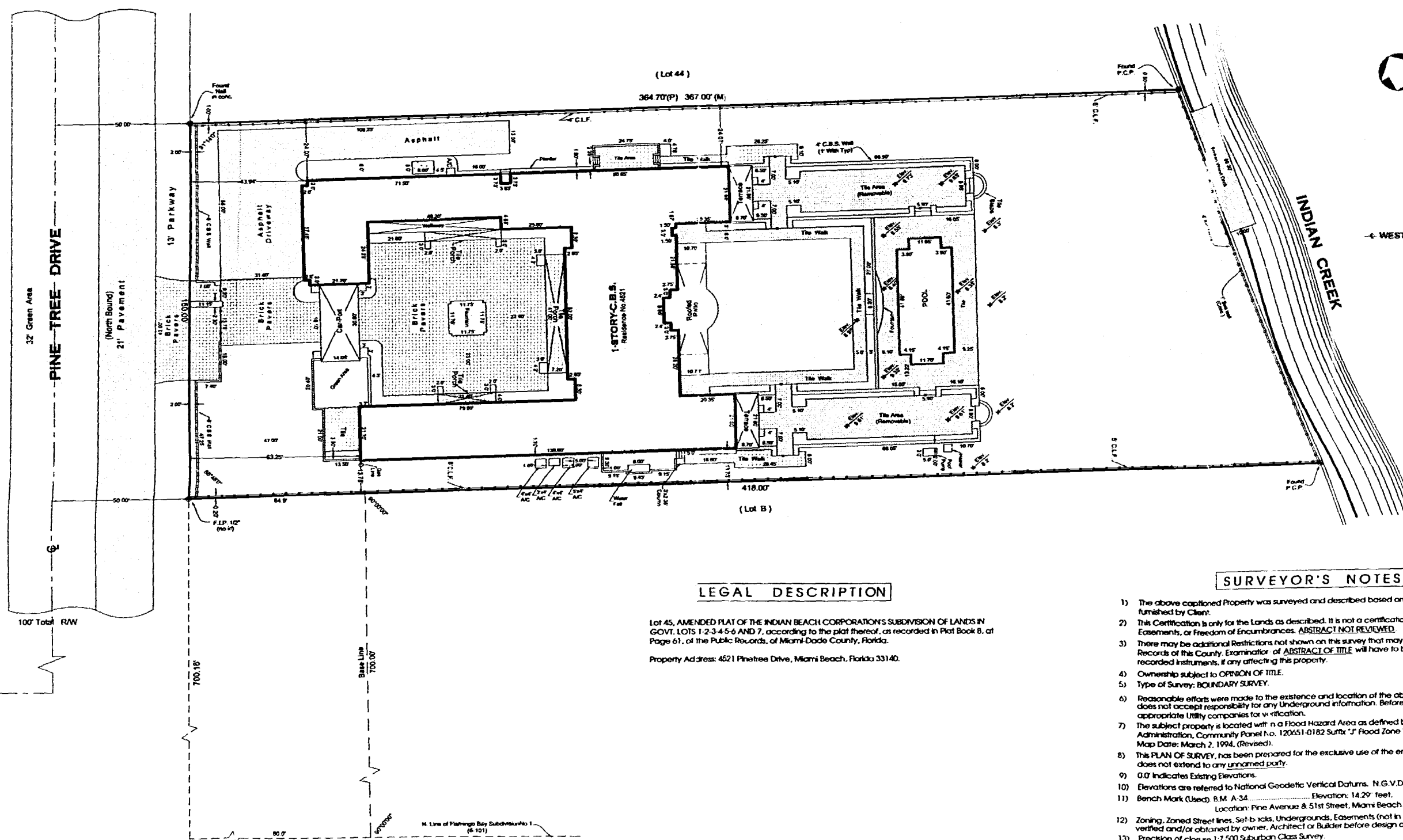
LOCATION: GARAGE

PANEL A

NO.	WIRE	DESCRIPTION	WIRE	CODT	NO.	WIRE	DESCRIPTION	WIRE	CODT
1	2/00	50	AC-CIL #1	*6	2	2/00	50	AC-CIL #2	*6
3	2/00	50	AC-CIL #1	*6	4	2/00	50	AC-CIL #2	*6
5	2/00	50	COOKTOP	*6	6	2/00	50	AC-CIL #2	*6
7	2/00	50	H.E.H.	*6	8	2/00	50	DRYER	*6
9	2/00	50	SPARE	*6	10	2/00	50	DRYER	*6
11	1/20	15	FRIDGE	*8	12	1/20	15	LIGHTS-HI-HITS	*14
13	1/20	15	D.H.	*8	14	1/20	15	LIGHTS-HI-HITS	*14
15	1/20	15	LAUNDRY LOAD	*8	16	1/20	15	SPA-HEAT PUMP (NEW)	*8
17	1/20	15	D.R.	*8	18	1/20	15	SPA-HEAT PUMP (NEW)	*8
19	1/20	15	S.A. KITCHEN	*8	20	1/20	15	DISPOSAL	*8
21	1/20	15	LAUNDRY GFI	*8	22	1/20	15	S.A. KITCHEN	*8
23	1/20	15	KITCHEN ISLAND GFI	*8	24	1/20	15	EXT. GFI - AC #3	*8
25	1/20	15	BAR GFI	*8	26	1/20	15	EXT. GFI - AC #2	*8
27	1/20	15	G.L.	*8	28	1/20	15	MICROWAVE OVEN	*12
29	1/20	15	SPARE	*8	30	1/20	15	SPARE	*8
31	1/20	15	SPARE	*8	32	1/20	15	SPARE	*8
33	1/20	15	SPARE	*8	34	1/20	15	SPARE	*8
35	1/20	15	SPARE	*8	36	1/20	15	SPARE	*8
37	1/20	15	SPARE	*8	38	1/20	15	SPARE	*8
39	1/20	15	SPARE	*8	40	1/20	15	SPARE	*8
41	1/20	15	SPARE	*8	42	1/20	15	SPARE	*8
43	1/20	15	SPARE	*8	44	1/20	15	SPARE	*8
45	1/20	15	SPARE	*8	46	1/20	15	SPARE	*8
47	1/20	15	SPARE	*8	48	1/20	15	SPARE	*8
49	1/20	15	SPARE	*8	50	1/20	15	SPARE	*8
51	1/20	15	SPARE	*8	52	1/20	15	SPARE	*8
53	1/20	15	SPARE	*8	54	1/20	15	SPARE	*8
55	1/20	15	SPARE	*8	56	1/20	15	SPARE	*8
57	1/20	15	SPARE	*8	58	1/20	15	SPARE	*8
59	1/20	15	SPARE	*8	60	1/20	15	SPARE	*8
61	1/20	15	SPARE	*8	62	1/20	15	SPARE	*8
63	1/20	15	SPARE	*8	64	1/20	15	SPARE	*8
65	1/20	15	SPARE	*8	66	1/20	15	SPARE	*8
67	1/20	15	SPARE	*8	68	1/20	15	SPARE	*8
69	1/20	15	SPARE	*8	70	1/20	15	SPARE	*8
71	1/20	15	SPARE	*8	72	1/20	15	SPARE	*8
73	1/20	15	SPARE	*8	74	1/20	15	SPARE	*8
75	1/20	15	SPARE	*8	76	1/20	15	SPARE	*8
77	1/20	15	SPARE	*8	78	1/20	15	SPARE	*8
79	1/20	15	SPARE	*8	80	1/20	15	SPARE	*8
81	1/20	15	SPARE	*8	82	1/20	15	SPARE	*8
83	1/20	15	SPARE	*8	84	1/20	15	SPARE	*8
85	1/20	15	SPARE	*8	86	1/20	15	SPARE	*8
87	1/20	15	SPARE	*8	88	1/20	15	SPARE	*8
89	1/20	15	SPARE	*8	90	1/20	15	SPARE	*8
91	1/20	15	SPARE	*8	92	1/20	15	SPARE	*8
93	1/20	15	SPARE	*8	94	1/20	15	SPARE	*8
95	1/20	15	SPARE	*8	96	1/20	15	SPARE	*8
97	1/20	15	SPARE	*8	98	1/20	15	SPARE	*8
99	1/20	15	SPARE	*8	100	1/20	15	SPARE	*8
101	1/20	15	SPARE	*8	102	1/20	15	SPARE	*8
103	1/20	15	SPARE	*8	104	1/20	15	SPARE	*8
105	1/20	15	SPARE	*8	106	1/20	15	SPARE	*8
107	1/20	15	SPARE	*8	108	1/20	15	SPARE	*8
109	1/20	15	SPARE	*8	110	1/20	15	SPARE	*8
111	1/20	15	SPARE	*8	112	1/20	15	SPARE	*8
113	1/20	15	SPARE	*8	114	1/20	15	SPARE	*8
115	1/20	15	SPARE	*8	116	1/20	15	SPARE	*8
117	1/20	15	SPARE	*8	118	1/20	15	SPARE	*8
119	1/20	15	SPARE	*8	120	1/20	15	SPARE	*8
121	1/20	15	SPARE	*8	122	1/20	15	SPARE	*8
123	1/20	15	SPARE	*8	124	1/20	15	SPARE	*8
125	1/20	15	SPARE	*8	126	1/20	15	SPARE	*8
127	1/20	15	SPARE	*8	128	1/20	15	SPARE	*8
129	1/20	15	SPARE	*8	130	1/20	15	SPARE	*8
131	1/20	15	SPARE	*8	132	1/20	15	SPARE	*8
133	1/20	15	SPARE	*8	134	1/20	15	SPARE	*8
135	1/20	15	SPARE	*8	136	1/20	15	SPARE	*8
137	1/20	15	SPARE	*8	138	1/20	15	SPARE	*8
139	1/20	15	SPARE	*8	140	1/20	15	SPARE	*8
141	1/20	15	SPARE	*8	142	1/20	15	SPARE	*8
143	1/20	15	SPARE	*8	144	1/20	15	SPARE	*8
145	1/20	15	SPARE	*8	146	1/20	15	SPARE	*8
147	1/20	15	SPARE	*8	148	1/20	15	SPARE	*8
149	1/20	15	SPARE	*8	150	1/20	15	SPARE	*8
151	1/20	15	SPARE	*8	152	1/20	15	SPARE	*8
153	1/20	15	SPARE	*8	154	1/20	15	SPARE	*8
155	1/20	15	SPARE	*8	156	1/20	15	SPARE	*8
157	1/20	15	SPARE	*8	158	1/20	15	SPARE	*8
159	1/20	15	SPARE	*8	160	1/20	15	SPARE	*8
161	1/20	15	SPARE	*8	162	1/20	15	SPARE	*8
163	1/20	15	SPARE	*8	164	1/20	15	SPARE	*8
165	1/20	15	SPARE	*8	166	1/20	15	SPARE	*8
167	1/20	15	SPARE	*8	168	1/20	15	SPARE	*8
169	1/20	15	SPARE	*8	170	1/20	15	SPARE	*8
171	1/20	15	SPARE	*8	172	1/20	15	SPARE	*8
173	1/20	15	SPARE	*8	174	1/20	15	SPARE	*8
175	1/20	15	SPARE	*8	176	1/20	15	SPARE	*8
177	1/20	15	SPARE	*8	178	1/20	15	SPARE	*8
179	1/20	15	SPARE	*8	180	1/20	15	SPARE	*8
181	1/20	15	SPARE	*8	182	1/20	15	SPARE	*8
183	1/20	15	SPARE	*8	184	1/20	15	SPARE	*8
185	1/20	15	SPARE	*8	186	1/20	15	SPARE	*8
187	1/20	15	SPARE	*8	188	1/20	15	SPARE	*8
189	1/20	15	SPARE	*8	190	1/20	15	SPARE	*8
191	1/20	15	SPARE	*8	192	1/20	15	SPARE	*8
193	1/20	15	SPARE	*8	194	1/20	15	SPARE	*8
195	1/20	15	SPARE	*8	196	1/20	15	SPARE	*8
197	1/20	15	SPARE	*8	198	1/20	15	SPARE	*8
199	1/20	15	SPARE	*8	200	1/20	15	SPARE	*8
201	1/20	15	SPARE	*8	202	1/20	15	SPARE	*8
203	1/20	15	SPARE	*8	204	1/20	15	SPARE	*8
205	1/20	15	SPARE	*8	206	1/20	15	SPARE	*8
207	1/20	15	SPARE	*8	208	1/20	15	SPARE	*8
209	1/20	15	SPARE	*8	210	1/20	15	SPARE	*8
211	1/20	15	SPARE	*8	212	1/20	15	SPARE	*8
213	1/20	15	SPARE	*8	214	1/20	15	SPARE	*8
215	1/20	15	SPARE	*8	216	1/20	15	SPARE	*8
217	1/20	15	SPARE	*8	218	1/20	15	SPARE	*8
219	1/20	15	SPARE	*8	220	1/20	15	SPARE	*8
221	1/20	15	SPARE	*8	222	1/20	15	SPARE	*8
223	1/20	15	SPARE	*8	224	1/20	15	SPARE	*8
225	1/20	15	SPARE	*8	226	1/20	15	SPARE	*8
227	1/20	15	SPARE	*8	228	1/20	15	SPARE	*8
229	1/20	15	SPARE	*8	230	1/20	15	SPARE	*8
231	1/20	15	SPARE	*8	232	1/20	15	SPARE	*8
233	1/20	15	SPARE	*8	234	1/20	15	SPARE	*8
235	1/20	15	SPARE	*8	236	1/20	15	SPARE	*8
237	1/20	15	SPARE	*8	238	1/20	15	SPARE	*8
239	1/20	15	SPARE	*8	240	1/20	15	SPARE	*8
241	1/20	15	SPARE	*8	242	1/20	15	SPARE	*8
243	1/20	15	SPARE	*8	244	1/20	15	SPARE	*8
245	1/20	15	SPARE	*8	246	1/20	15	SPARE	*8
247	1/20	15	SPARE	*8	248	1/20	15	SPARE	*8
249	1/20	15	SPARE	*8	250	1/20	15	SPARE	*8
251	1/20	15	SPARE	*8	252	1/20	15	SPARE	*8
253	1/20	15	SPARE	*8	254	1/20	15	SPARE	*8
255	1/20	15	SPARE	*8	256	1/20	15	SPARE	*8
257	1/20	15	SPARE	*8	258	1/20	15	SPARE	*8
259	1/20	15	SPARE	*8	260	1/20	15	SPARE	*8







# LEGAL DESCRIPTION

Lot 45, AMENDED PLAT OF THE INDIAN BEACH CORPORATION'S SUBDIVISION OF LANDS IN GOVT. LOTS 1-2-3-4-5-6 AND 7, according to the plat thereof, as recorded in Plat Book 8, of Page 61, of the Public Records, of Miami-Dade County, Florida.  
Property Address: 4521 Pine Tree Drive, Miami Beach, Florida 33140.

# SURVEYOR'S NOTES

- 1) The above captioned Property was surveyed and described based on the above Legal Description furnished by Client.
- 2) This Certification is only for the Lands as described. It is not a certification of Title, Zoning, Easements, or Freedom of Encumbrances. **ABSTRACT NOT REVIEWED.**
- 3) There may be additional Restrictions not shown on this survey that may be found in the Public Records of the County. Examination of **ABSTRACT OF TITLE** will have to be made to determine recorded instruments, if any affecting the property.
- 4) Ownership subject to **OPINION OF TITLE.**
- 5) Type of Survey: **BOUNDARY SURVEY.**
- 6) Reasonable efforts were made to the existence and location of the above ground utilities. The firm does not accept responsibility for any Underground information. Before excavation or construction contact the appropriate utility companies for verification.
- 7) The subject property is located within a Flood Hazard Area as defined by the Federal Insurance Administration, Community Panel No. 120651-0182 Subarea "J" Flood Zone "AE". Base Elevation: 7.00 feet. Map Date: March 2, 1994. (Revised).
- 8) This **PLAN OF SURVEY** has been prepared for the exclusive use of the entities named hereon. The Certificate does not extend to any unnamed party.
- 9) 0.0' Indicates Existing Elevations.
- 10) Elevations are referred to National Geodetic Vertical Datum, N.G.V.D.
- 11) Bench Mark (Used): B.M. A-34, Elevation: 14.29' feet.
- 12) Zoning, Zoned Street lines, Set-backs, Undergrounds, Easements (not in Plat) and Right-of-Ways, etc., to be verified and/or obtained by owner, Architect or Builder before design or construction.
- 13) Precision of closure 1:7,500 Suburban Class Survey.

FOR THE BENEFIT OF:

1) ALBERT REICHMANN

# Plan of Survey

The above "Boundary Survey" represents the herein described property and it was completed under my supervision and/or direction, to the best of my knowledge and belief and it also meets the Minimum Technical Standards set forth by the Florida Board of Land Surveyors and Mapmakers, pursuant to Section 101.17(9)(b), Florida Statutes and implementing Rules, Florida Administrative Code.

## NOTE:

THIS IS NOT A VALID CERTIFICATION OR REPRODUCTION OF THIS DRAWING WITHOUT THE SURVEYOR'S ORIGINAL SIGNATURE AND RAISED EMBOSSED SEAL PRESENT.

**MARIO PRATS JR. & ASSOCIATES, INC.**  
SURVEYORS, MAPMAKERS, PLANNERS  
300 S.W. 10TH AVENUE, SUITE 214 MIAMI, FLORIDA 33134  
PHONE: (305) 551-6000 FAX: (305) 221-1239

Scale		Date		Checked By	
1" = 20'	CAD File	1/15/2005	1/17/2005	M.P.J.	
Professional Surveyor & Mapper No. 3332		State of Florida		1 OF 1 SHEETS	

**G**

30508750  
4521 PINETREE DR

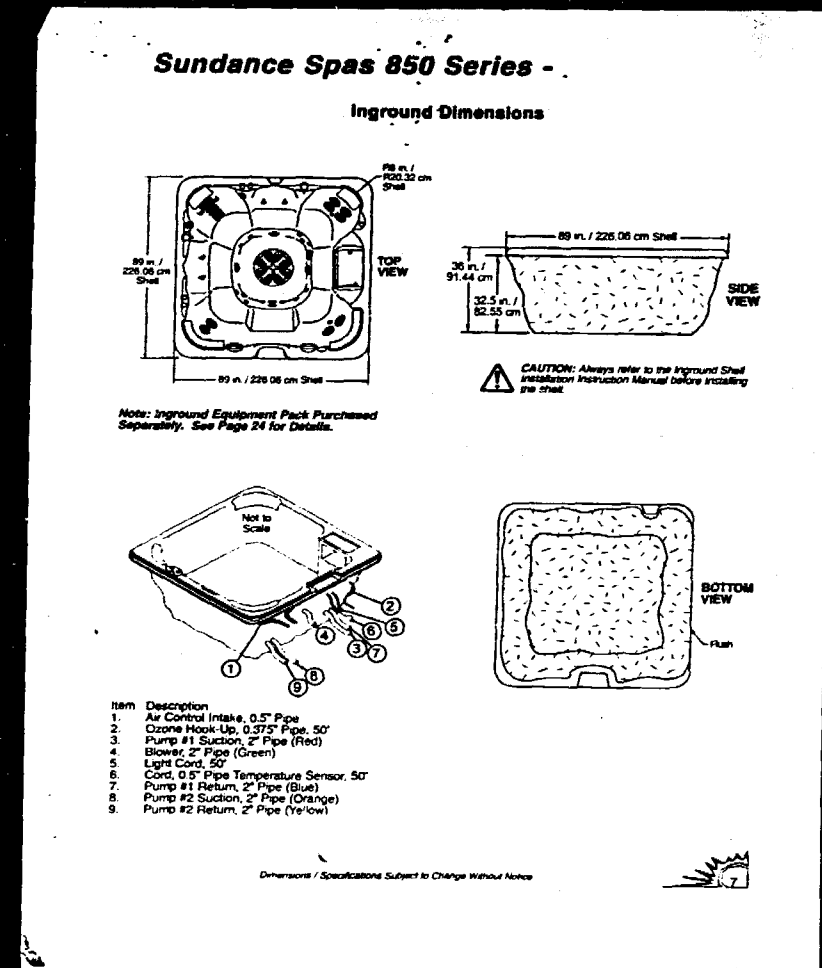
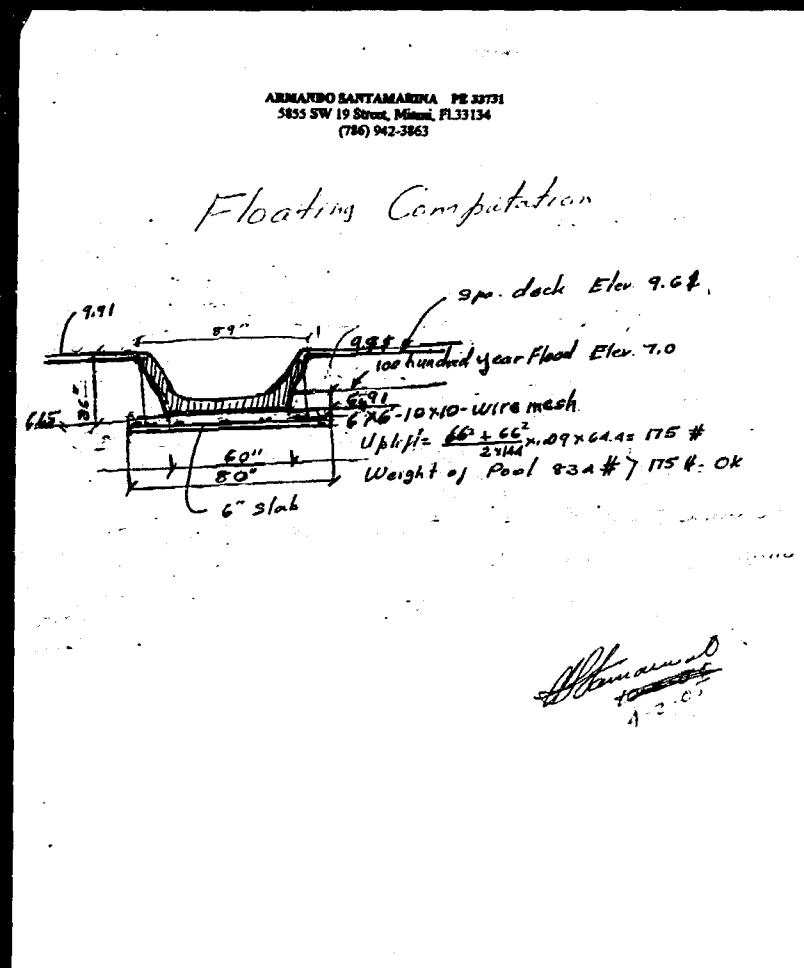
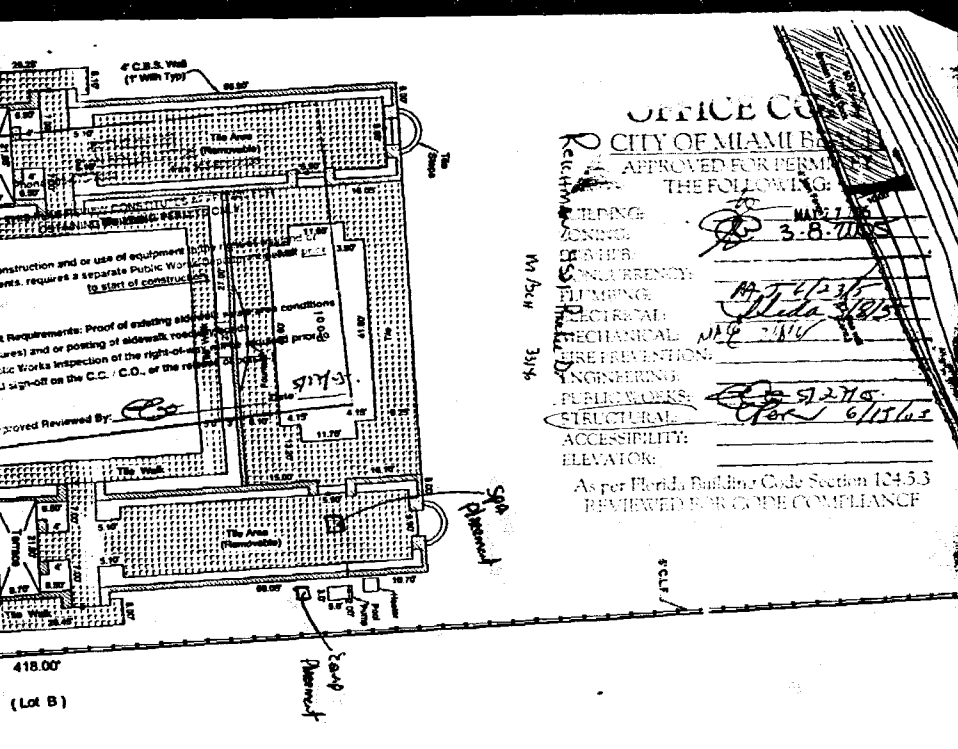




PERMIT #

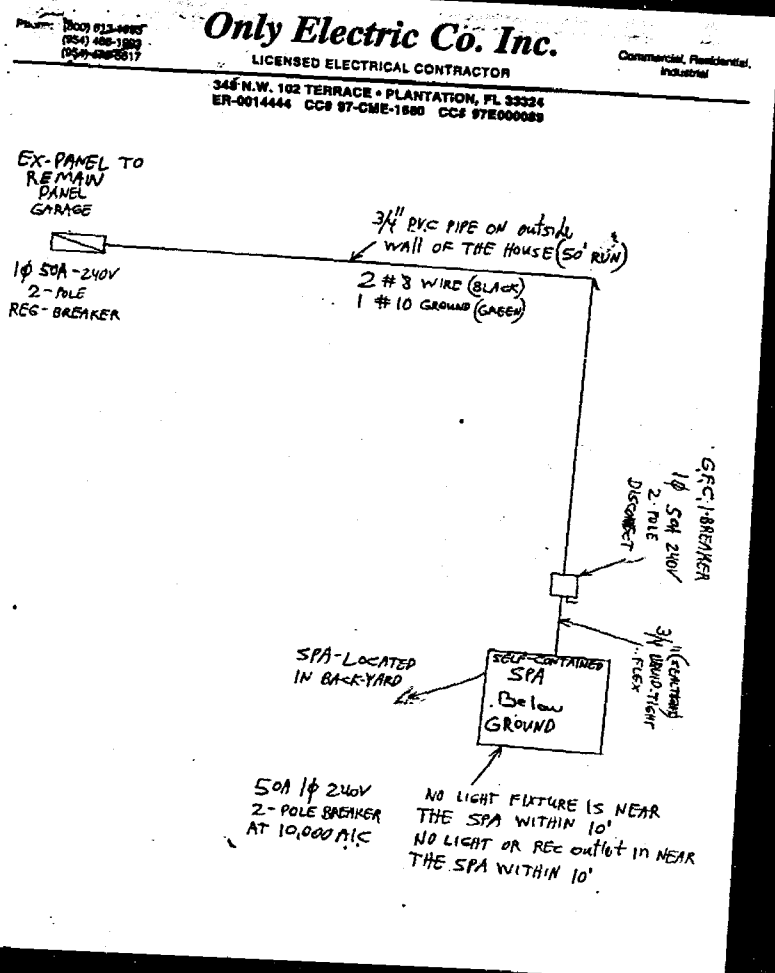
B0502750

68



68





**EX-PANEL TO REMAIN ELECTRICAL**

LOCATION: GARAGE

PANEL A

NO.	WIRE	DESCRIPTION	WIRE	CODT	NO.	WIRE	DESCRIPTION	WIRE	CODT
1	2/00	AC-CIL #1	*6		2	2/00	AC-CIL #2	*6	
3	2/00	AC-CIL #1	*6		4	2/00	AC-CIL #2	*6	
5	2/00	COOKTOP	*6		6	2/00	AC-CIL #2	*6	
7	2/00	H.E.H.	*6		8	2/00	DRYER	*6	
9	2/00	SPARE	*6		10	2/00	DRYER	*6	
11	1/20	FRIDGE	*8		12	1/20	LIGHTS-HI-HITS	*14	
13	1/20	D.H.	*8		14	1/20	SPA-HEAT PUMP (NEW)	*8	
15	1/20	LAUNDRY LOAD	*8		16	1/20	COMPACTOR	*8	
17	1/20	D.R.	*8		18	1/20	DISPOSAL	*8	
19	1/20	S.A. KITCHEN	*8		19	1/20	S.A. KITCHEN	*8	
20	1/20	LAUNDRY GFL	*8		20	1/20	EXT. GFL - AC #3	*8	
21	1/20	KITCHEN ISLAND GFL	*8		21	1/20	EXT. GFL - AC #2	*8	
22	1/20	BAR GFL	*8		22	1/20	MICROWAVE LOVEN	*12	
23	1/20	G.L.	*8		23	1/20	SPARE	*8	
24	1/20	GR. EXT.	*8		24	1/20	D.R.	*8	
25	1/20	SPARE	*8		25	1/20	SPARE	*8	
26	1/20	SPARE	*8		26	1/20	SPARE	*8	
27	1/20	SPARE	*8		27	1/20	SPARE	*8	
28	1/20	SPARE	*8		28	1/20	SPARE	*8	
29	1/20	SPARE	*8		29	1/20	SPARE	*8	
30	1/20	SPARE	*8		30	1/20	SPARE	*8	
31	1/20	SPARE	*8		31	1/20	SPARE	*8	
32	1/20	SPARE	*8		32	1/20	SPARE	*8	
33	1/20	SPARE	*8		33	1/20	SPARE	*8	
34	1/20	SPARE	*8		34	1/20	SPARE	*8	
35	1/20	SPARE	*8		35	1/20	SPARE	*8	
36	1/20	SPARE	*8		36	1/20	SPARE	*8	
37	1/20	SPARE	*8		37	1/20	SPARE	*8	
38	1/20	SPARE	*8		38	1/20	SPARE	*8	
39	1/20	SPARE	*8		39	1/20	SPARE	*8	
40	1/20	SPARE	*8		40	1/20	SPARE	*8	
41	1/20	SPARE	*8		41	1/20	SPARE	*8	
42	1/20	SPARE	*8		42	1/20	SPARE	*8	
43	1/20	SPARE	*8		43	1/20	SPARE	*8	
44	1/20	SPARE	*8		44	1/20	SPARE	*8	
45	1/20	SPARE	*8		45	1/20	SPARE	*8	
46	1/20	SPARE	*8		46	1/20	SPARE	*8	
47	1/20	SPARE	*8		47	1/20	SPARE	*8	
48	1/20	SPARE	*8		48	1/20	SPARE	*8	
49	1/20	SPARE	*8		49	1/20	SPARE	*8	
50	1/20	SPARE	*8		50	1/20	SPARE	*8	
51	1/20	SPARE	*8		51	1/20	SPARE	*8	
52	1/20	SPARE	*8		52	1/20	SPARE	*8	
53	1/20	SPARE	*8		53	1/20	SPARE	*8	
54	1/20	SPARE	*8		54	1/20	SPARE	*8	
55	1/20	SPARE	*8		55	1/20	SPARE	*8	
56	1/20	SPARE	*8		56	1/20	SPARE	*8	
57	1/20	SPARE	*8		57	1/20	SPARE	*8	
58	1/20	SPARE	*8		58	1/20	SPARE	*8	
59	1/20	SPARE	*8		59	1/20	SPARE	*8	
60	1/20	SPARE	*8		60	1/20	SPARE	*8	
61	1/20	SPARE	*8		61	1/20	SPARE	*8	
62	1/20	SPARE	*8		62	1/20	SPARE	*8	
63	1/20	SPARE	*8		63	1/20	SPARE	*8	
64	1/20	SPARE	*8		64	1/20	SPARE	*8	
65	1/20	SPARE	*8		65	1/20	SPARE	*8	
66	1/20	SPARE	*8		66	1/20	SPARE	*8	
67	1/20	SPARE	*8		67	1/20	SPARE	*8	
68	1/20	SPARE	*8		68	1/20	SPARE	*8	
69	1/20	SPARE	*8		69	1/20	SPARE	*8	
70	1/20	SPARE	*8		70	1/20	SPARE	*8	
71	1/20	SPARE	*8		71	1/20	SPARE	*8	
72	1/20	SPARE	*8		72	1/20	SPARE	*8	
73	1/20	SPARE	*8		73	1/20	SPARE	*8	
74	1/20	SPARE	*8		74	1/20	SPARE	*8	
75	1/20	SPARE	*8		75	1/20	SPARE	*8	
76	1/20	SPARE	*8		76	1/20	SPARE	*8	
77	1/20	SPARE	*8		77	1/20	SPARE	*8	
78	1/20	SPARE	*8		78	1/20	SPARE	*8	
79	1/20	SPARE	*8		79	1/20	SPARE	*8	
80	1/20	SPARE	*8		80	1/20	SPARE	*8	
81	1/20	SPARE	*8		81	1/20	SPARE	*8	
82	1/20	SPARE	*8		82	1/20	SPARE	*8	
83	1/20	SPARE	*8		83	1/20	SPARE	*8	
84	1/20	SPARE	*8		84	1/20	SPARE	*8	
85	1/20	SPARE	*8		85	1/20	SPARE	*8	
86	1/20	SPARE	*8		86	1/20	SPARE	*8	
87	1/20	SPARE	*8		87	1/20	SPARE	*8	
88	1/20	SPARE	*8		88	1/20	SPARE	*8	
89	1/20	SPARE	*8		89	1/20	SPARE	*8	
90	1/20	SPARE	*8		90	1/20	SPARE	*8	
91	1/20	SPARE	*8		91	1/20	SPARE	*8	
92	1/20	SPARE	*8		92	1/20	SPARE	*8	
93	1/20	SPARE	*8		93	1/20	SPARE	*8	
94	1/20	SPARE	*8		94	1/20	SPARE	*8	
95	1/20	SPARE	*8		95	1/20	SPARE	*8	
96	1/20	SPARE	*8		96	1/20	SPARE	*8	
97	1/20	SPARE	*8		97	1/20	SPARE	*8	
98	1/20	SPARE	*8		98	1/20	SPARE	*8	
99	1/20	SPARE	*8		99	1/20	SPARE	*8	
100	1/20	SPARE	*8		100	1/20	SPARE	*8	

TOTAL 324

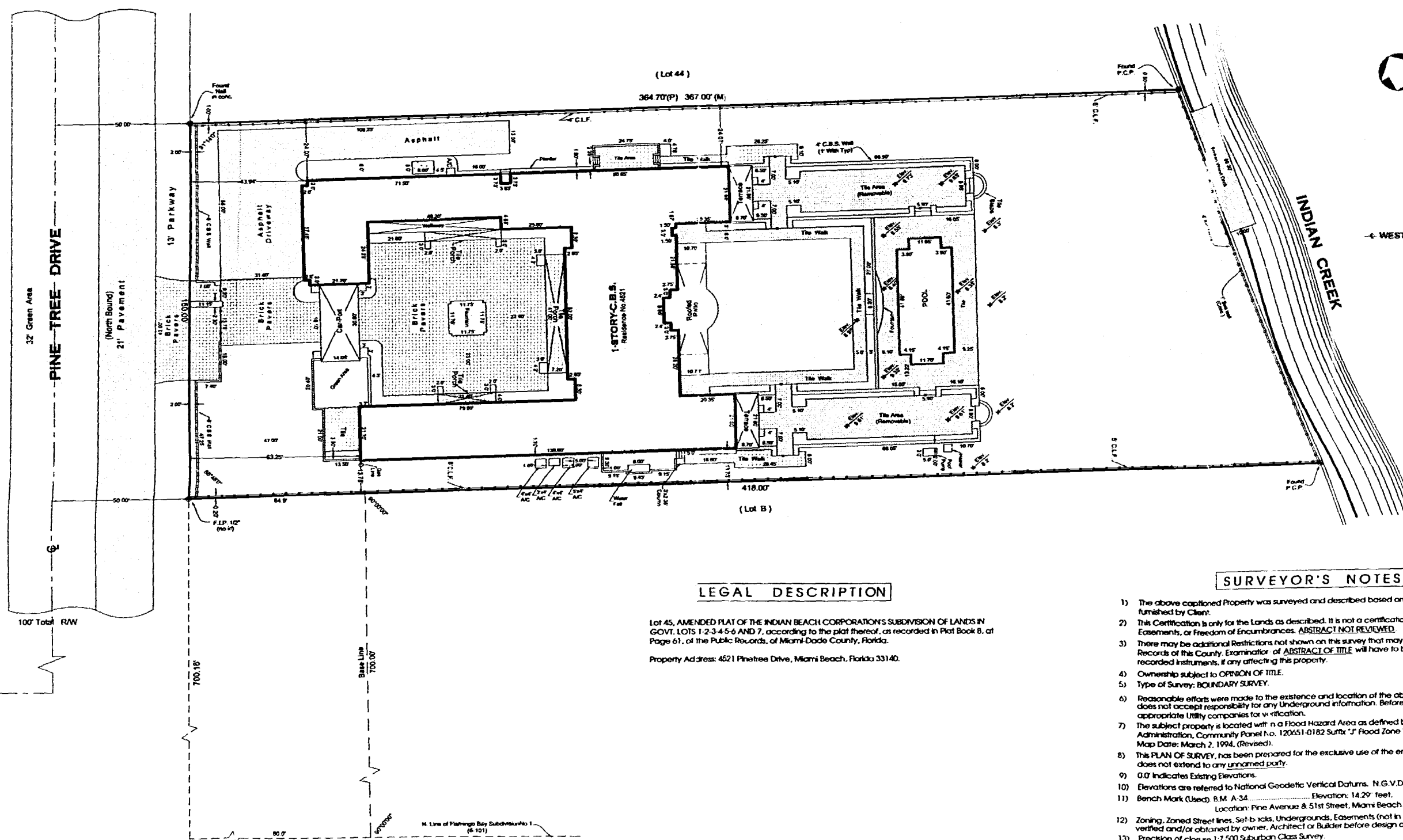
10.0 KW @ 100%  
 A/C LOAD AT 68%  
 12.8 KW  
 16.0 KW  
 TOTAL 28.8 KW  
 REQUIRED AMPERAGE = 37000/240 = 154 AMPS. PROVIDE 200 AMPERES \*

A.I.C. 7200 A

68







# LEGAL DESCRIPTION

Lot 45, AMENDED PLAT OF THE INDIAN BEACH CORPORATION'S SUBDIVISION OF LANDS IN GOVT. LOTS 1-2-3-4-5-6 AND 7, according to the plat thereof, as recorded in Plat Book 8, of Page 61, of the Public Records, of Miami-Dade County, Florida.

Property Address: 4521 Pine Tree Drive, Miami Beach, Florida 33140.

# SURVEYOR'S NOTES

- 1) The above captioned Property was surveyed and described based on the above Legal Description furnished by Client.
- 2) This Certification is only for the Lands as described. It is not a certification of Title, Zoning, Easements, or Freedom of Encumbrances. **ABSTRACT NOT REVIEWED.**
- 3) There may be additional Restrictions not shown on this survey that may be found in the Public Records of the County. Examination of **ABSTRACT OF TITLE** will have to be made to determine recorded instruments, if any affecting the property.
- 4) Ownership subject to **OPINION OF TITLE.**
- 5) Type of Survey: **BOUNDARY SURVEY.**
- 6) Reasonable efforts were made to the existence and location of the above ground utilities. The firm does not accept responsibility for any underground information. Before excavation or construction contact the appropriate utility companies for verification.
- 7) The subject property is located within a Flood Hazard Area as defined by the Federal Insurance Administration, Community Panel No. 120651-0182 Subarea "J" Flood Zone "AE". Base Elevation: 7.00 feet. Map Date: March 2, 1994. (Revised).
- 8) This **PLAN OF SURVEY** has been prepared for the exclusive use of the entities named herein. The Certificate does not extend to any unnamed party.
- 9) 0.0' Indicates Existing Elevations.
- 10) Elevations are referred to National Geodetic Vertical Datum, N.G.V.D.
- 11) Bench Mark (Used): B.M. A-34, Elevation: 14.29' feet.
- 12) Zoning, Zoned Street Lines, Set-backs, Undergrounds, Easements (not in Plat) and Right-of-Ways, etc., to be verified and/or obtained by owner, Architect or Builder before design or construction.
- 13) Precision of closure 1:7,500 Suburban Class Survey.

FOR THE BENEFIT OF:

1) ALBERT REICHMANN

# Plan of Survey

The above "Boundary Survey" represents the herein described property and it was completed under my supervision and/or direction, to the best of my knowledge and belief and it also meets the Minimum Technical Standards set forth by the Florida Board of Land Surveyors and Mapmakers, pursuant to Section 101.17(9)(b), Florida Statutes and implementing Rules, Florida Administrative Code.

NOTE:  
THIS IS NOT A VALID CERTIFICATION OR REPRODUCTION OF THIS DRAWING WITHOUT THE SURVEYOR'S ORIGINAL SIGNATURE AND RAISED EMBOSSED SEAL PRESENT

# MARIO PRATS JR. & ASSOCIATES, INC.

SURVEYORS, MAPMAKERS, PLANNERS  
300 S.W. 10TH AVENUE, SUITE 214 MIAMI, FLORIDA 33174  
PHONE: (305) 551-0000 FAX: (305) 221-1239

Scale	CAD File	Drawn By	Checked By	Job Number
1" = 20'	1:Survey\1118788	MPJ	MPJ	18788
Date	Field Date			
Feb 15, 2005	Feb 17, 2005			

Mario Prats Jr.,  
Professional Surveyor & Mapper No. 3332  
State of Florida

1 OF 1 SHEETS

30508750  
4521 PINETREE DR






PERMIT #

B0505764

06

 **CITY OF MIAMI BEACH  
BUILDING DEPARTMENT  
1700 CONVENTION CENTER DRIVE  
2ND FLOOR - CITY HALL  
MIAMI BEACH, FL. 33139**

**NOTICE TO THE CITY OF MIAMI BEACH BUILDING  
DEPARTMENT OF EMPLOYMENT AS SPECIAL INSPECTOR  
UNDER THE FLORIDA BUILDING CODE**

I, (we) have been retained by: Mr. Reichman to perform special inspector services under the Florida Building Code at the 4521 Finettes Dr. project on the below listed structures as of 4-4-05 (date). I am a professional engineer licensed in the State of Florida.

Process Number: 20506769 Master Permit (IF APPLICABLE): \_\_\_\_\_

☐ Special Inspector for Piling, FBC 1822.1.20  
☐ Special Inspector for Soil Compaction, FBC 1410.3.1  
☐ Special Inspector for Precast Attachments, FBC 1927.12.2 (By P.E. or R.A.)  
☐ Special Inspector for Reinforced Masonry, FBC 2122.4  
☐ Special Inspector for Steel Bolted & Welded Connections, FBC 2218.2 (By P.E. or R.A.)  
☐ Special Inspector for Trusses over 35 feet long or 6 feet high, FBC 2319.17.2.4.2 (By P.E. or R.A.)  
☒ Special Inspector for Deck Construction (re-decking)

**NOTE: Only the marked boxes apply.**

The following individual(s) employed by this firm or me are authorized representatives to perform inspections:

1. Robert N. Tracy, P.E. 2. \_\_\_\_\_  
3. \_\_\_\_\_ 4. \_\_\_\_\_

**\*NOTE: FBC 2001 HVZ sections 1927.12.2, 2218.2, 2319.17.4.2 requires either a Registered Professional Engineer or Registered Architect to perform the actual inspections.**

(we) will notify the City of Miami Beach Building Department of any changes regarding authorized personnel performing inspection services.

(we) understand that a Special Inspection Log for each building must be displayed in a convenient location on the site for reference by the City of Miami Beach Building Department Inspector. All mandatory inspections, as required by the Florida Building Code, shall be performed by the Special Inspector (S.I.) or the Architect (A.C.) as indicated on the Special Inspection Log. The S.I. or A.C. shall be responsible for the completion of the log. Further, upon completion of the work under each building permit, I will submit to the Building Inspector at the time of final inspection the completed Inspection Form and signed statement that, to the best of my knowledge, belief and professional judgment, the portions outlined above meet the intent of the Florida Building Code and are in subsequent accordance with the approved plans.

Architect/Engine/Professional Name Printed: Robert N. Tracy  
Address: 4560 S.W. 128th Avenue, Ft. Lauderdale, FL 33330  
Phone Number: 954-334-0035  
Owner/Engineer/Professional Name Printed: Robert Bossi  
Building Department Accepted By: [Signature] 4-4-05

06





BU505164  
4521 PINETREE  
DR

06