

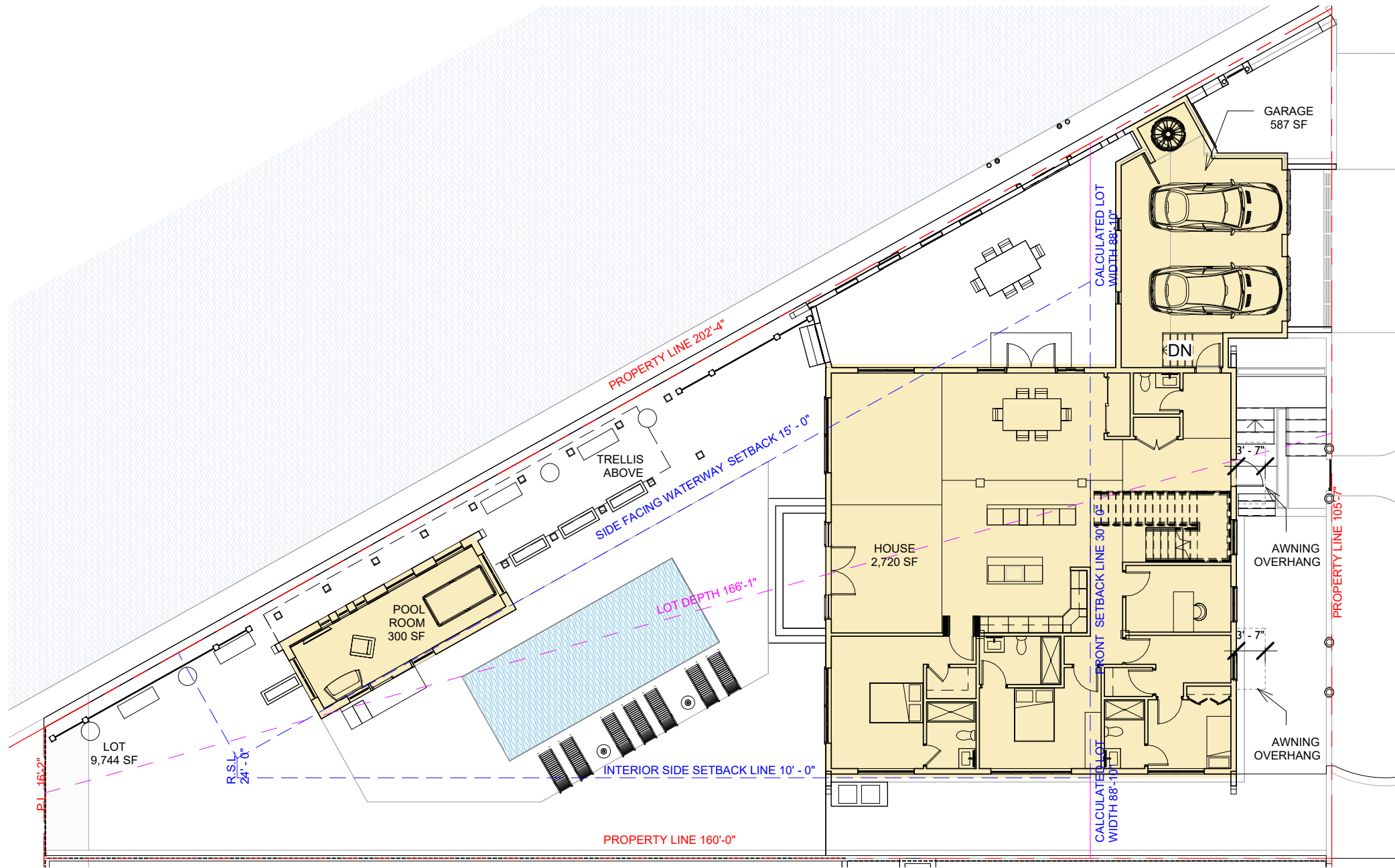


PROJECT:
PRIVATE
RESIDENCE

1818 Michigan Ave. Miami
Beach, FL 33139

DRAWING:

LOT COVERAGE
DIAGRAM



1 PROPOSED LEVEL 1 1818 LOT COVERAGE DIAGRAM
1/16" = 1'-0"

MAXIMUM LOT COVERAGE FOR A 2 STORY HOME 30%
(% OF LOT AREA) (9,744 X.3 = 2,923)

PROPOSED: 3,496 SF

DEFICIENCY: 573 SF

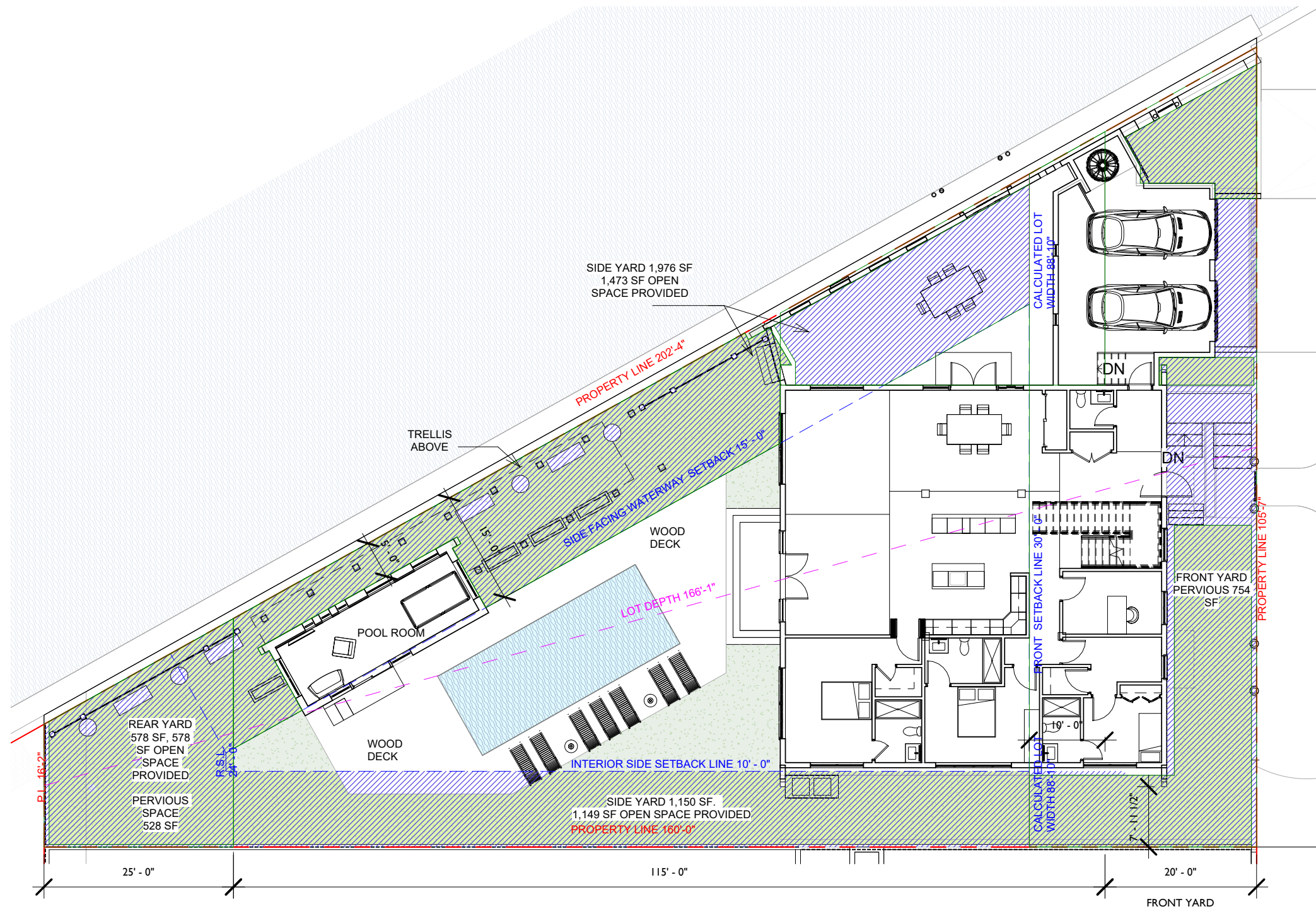


PROJECT:
PRIVATE
RESIDENCE

1818 Michigan Ave. Miami
Beach, FL 33139

DRAWING:

YARD OPEN
SPACE DIAGRAM



SWIMMING POOLS STANDARDS TABLE		
SWIMMING POOL SETBACKS		
	To the swimming pool deck or platform, the exterior face of an infinity edge pool catch basin, or screen enclosure associated or not associated with a swimming pool.	To the water's edge of the swimming pool or to the waterline of the catch basin of an infinity edge pool.
Front Setback A	Principal building setback minimum	
Side facing a street Setback B	10 feet (1)	11.5 feet
Side, Interior Setback C	7.5 feet (1)	9 feet
Rear Setback D	6 feet (1) (2) (3)	7.5 feet (2)

PROVIDED
OPEN SPACE



PROVIDED
PERVIOUS OPEN
SPACE



FRONT YARD = 2,850 SF
REQUIRED 50% OPEN AREA: $2,000 \times 50\% = 1,000$ SF
PROVIDED = 1,152 SF

REQUIRED MIN 50% FRONT YARD PERVIOUS AREA:
 $2,000 \times 50\% = 1,000$ SF
PROPOSED FRONT YARD PERVIOUS AREA: 754 SF,
DEFICIENCY= 246 SF

BACK YARD:
REQUIRED REAR YARD: LAST 15% OF DEPTH OF LOT ($166' \times .15 = 25'$) 578 SF
REQUIRED MIN 70% PERVIOUS AREA OF BACK YARD: 70%
PROVIDED PERVIOUS AREA OF BACK YARD: 528 SF (91%)

1 PROPOSED 1818 YARD OPEN SPACE DIAGRAM

1/16" = 1'-0"

REFER TO LANDSCAPE PLAN FOR
PLANTING INFORMATION

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SCALE: As indicated

CHECK: JMC

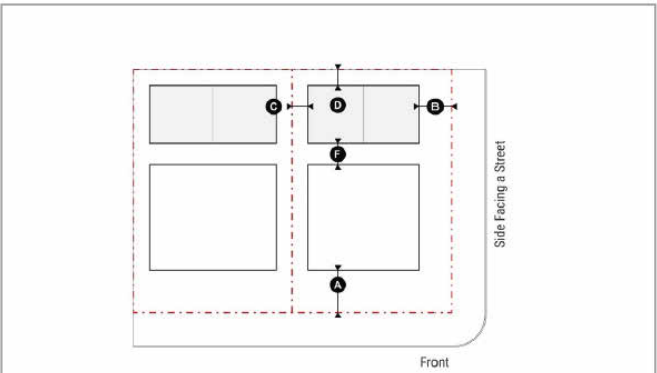
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SHEET NUMBER

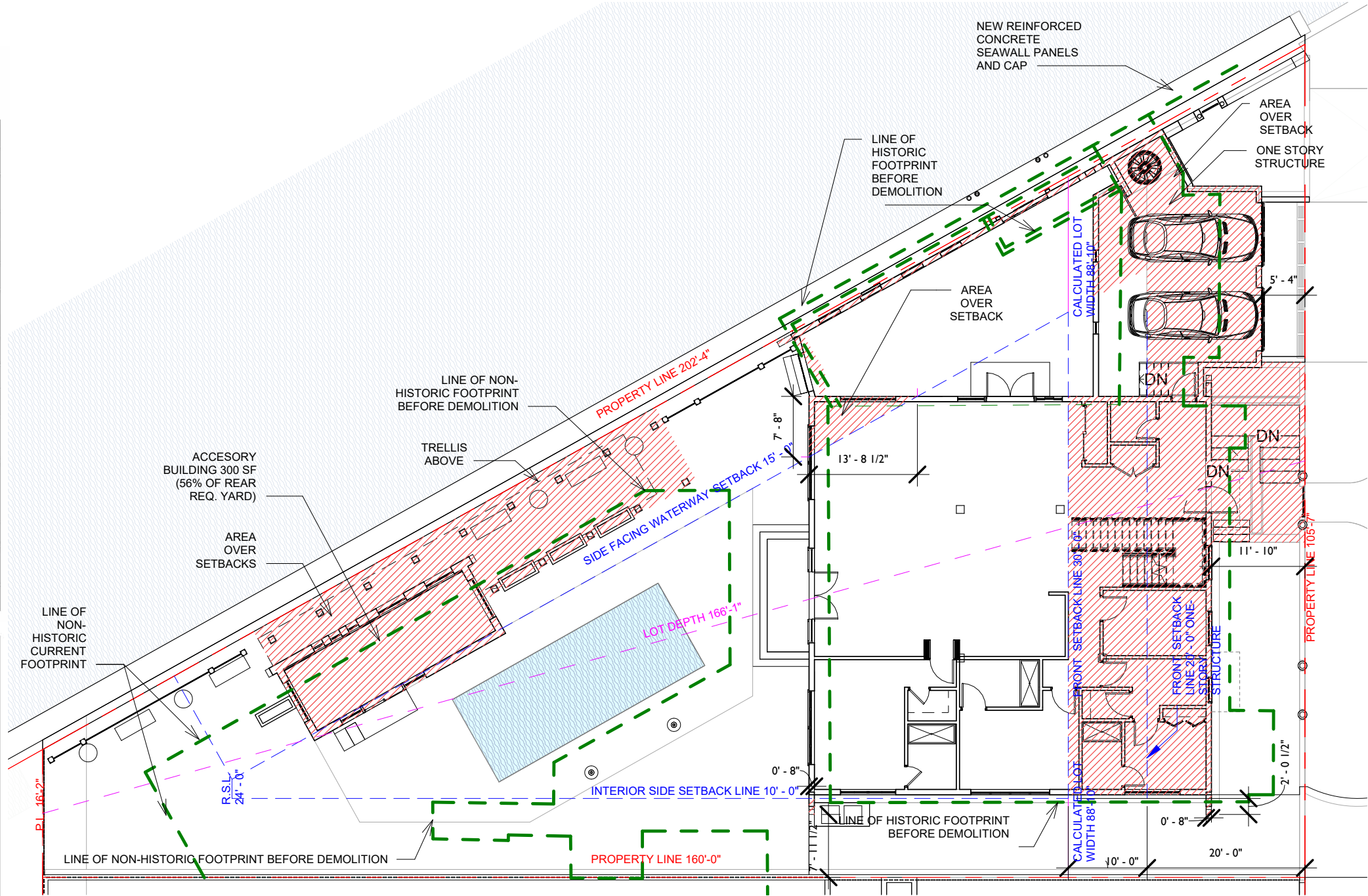
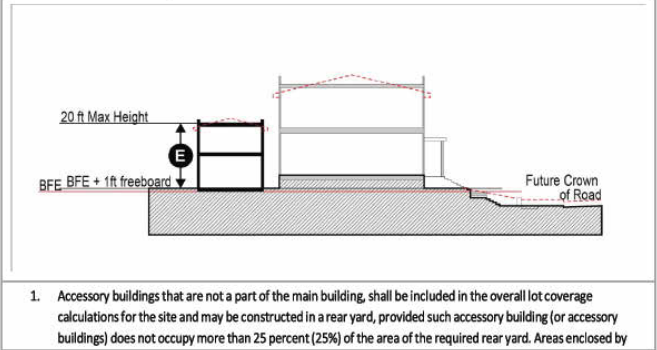
xii. **Allowable encroachments within required yards.**

1. **Accessory buildings.** In all single-family districts, the following regulations shall apply to accessory buildings within a required rear yard:

ACCESSORY BUILDING STANDARDS TABLE (RS)	
Maximum Lot Coverage (%)	25% of the area of the required rear yard (1)
Size Calculations	The area of enclosed accessory buildings shall be included in the overall unit size calculation for the site.
ACCESSORY BUILDING SETBACKS	
Front and Side facing a street Setback B	
1 Story Structures	15 feet
2 Story Structures	15 feet
Side Interior Setback C	
1 Story Structures	7.5 feet
2 Story Structures	10 feet or the required side yard setback, whichever is greater
Rear Setback D	
1 Story Structures	7.5 feet One-half (1/2) of the required rear setback - When facing a waterway
2 Story Structures	15 feet One-half (1/2) of the required rear setback or 15 feet, whichever is greater - When facing a waterway
Building Separation	
Building Separation F	Accessory buildings shall be separated from the main home by a minimum of 5 feet, open to the sky with no overhead connections.



ACCESSORY BUILDING HEIGHT	
Maximum Height (stories)	2 stories
Maximum Height (feet) E	
1 story structure	12 feet (2) (3)
2 story structure	20 feet (2) (3)



- screen shall be included in the computation of area occupied in a required rear yard lot, but an open uncovered swimming pool shall not be included.
2. Height for accessory buildings shall be measured from the Base Flood Elevation (BFE) plus freeboard of 1 foot.
3. The allowable height exceptions set forth in Section 7.5.2 shall not apply to accessory buildings in single-family districts.

- I. **Uses.** Accessory buildings shall be limited to uses that are accessory to the main use, including, but not limited to:
- (i). garage
 - (ii). carport
 - (iii). pergola
 - (iv). cabana
 - (v). gazebo
 - (vi). maid's or guest's quarters
 - (vii). Accessory Dwelling Units (ADU)
 - (viii). Components of the main structure, such as detached bedrooms or any habitable area of the single-family structure, shall not be considered accessory uses.
- II. **Utilities.** Accessory buildings may contain heating and air conditioning, washers and dryers, toilets, bar sinks and showers, but may not have full kitchen facilities, except when it contains an Accessory Dwelling Unit (ADU). An outdoor built-in barbecue grill or similar cooking equipment shall be allowed as an accessory use, as may be permitted by the fire marshal and in accordance with the regulations contained in any applicable safety code or the Florida Building Code.

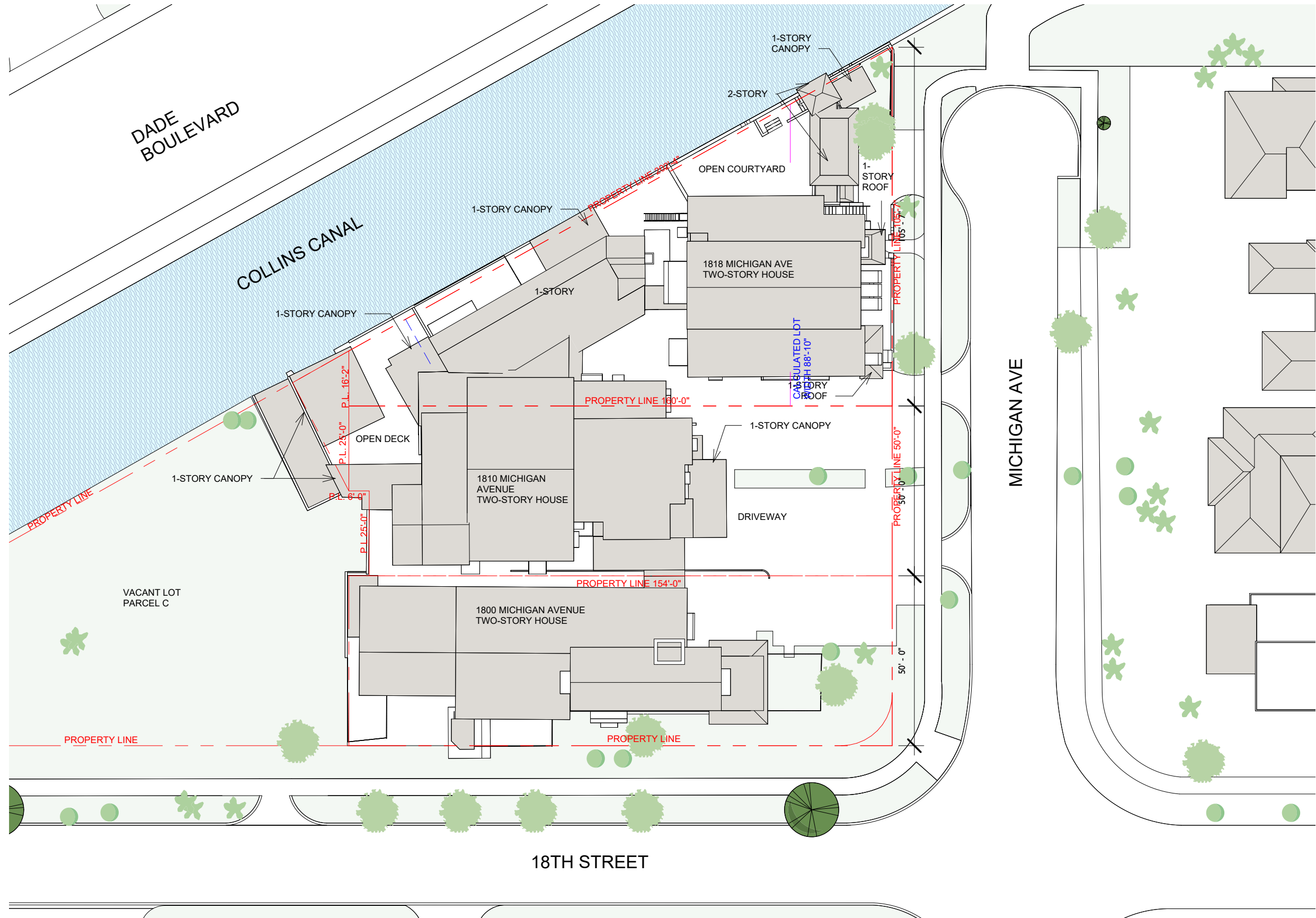
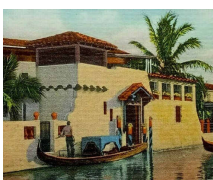


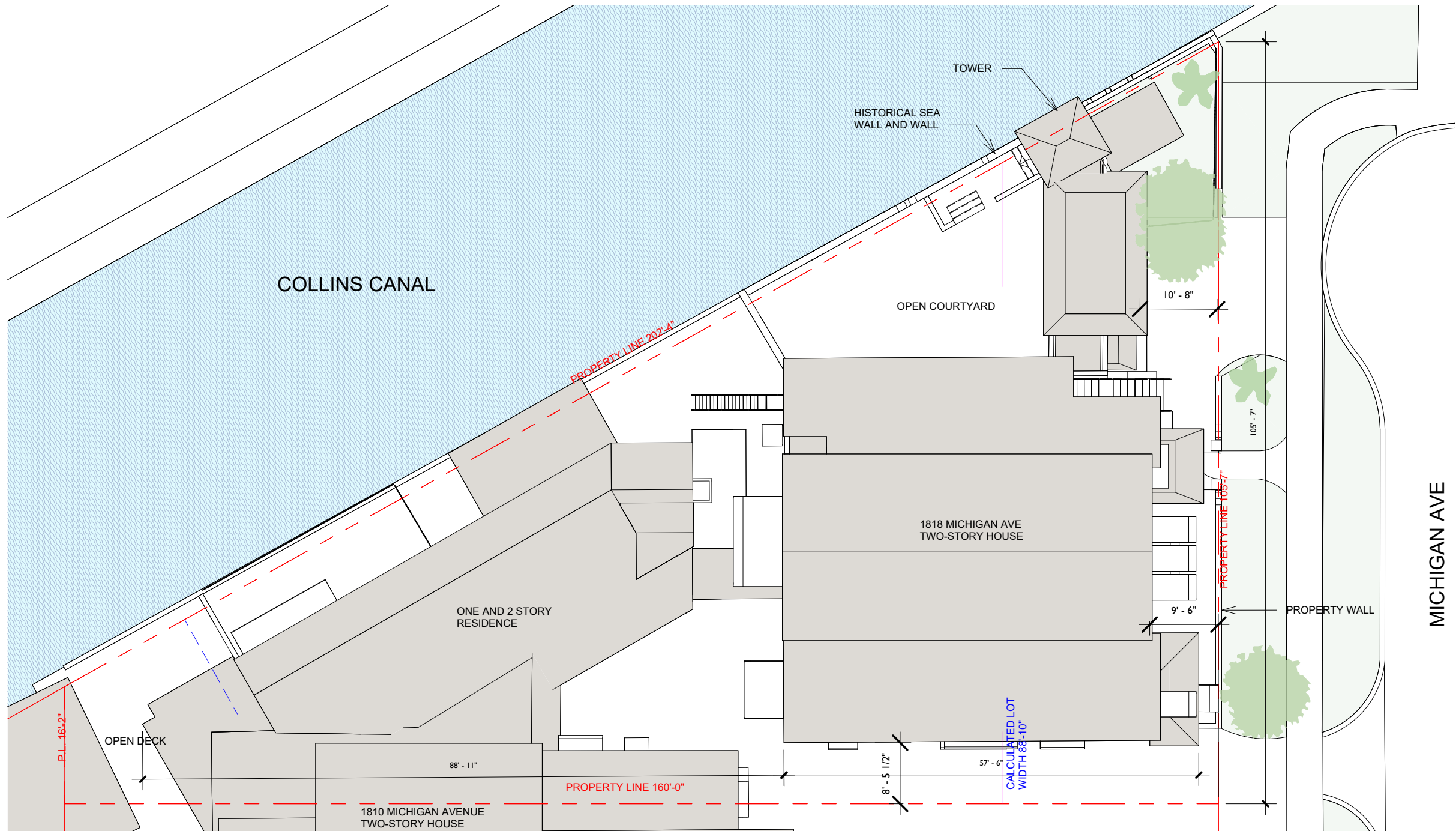
2 HISTORIC IMAGE 1818 MICHIGAN
1" = 20'-0"

1 PROPOSED 1818 VARIANCE DIAGRAM
1/16" = 1'-0"

BUILDING SETBACKS				
	RS-1	RS-2	RS-3	RS-4
Front Setback A	20 feet - 1 Story Structure (5) - provided that any future addition of a two-story attached structure shall be setback a minimum of 40 feet 30 feet - 2 Story Structures - (5)			
Side, facing a street Setback B	10% of the lot width or 15 feet, whichever is greater (5)			
Side, Interior Setback C	7.5 feet Lots 65 feet in width or less 10% of the lot width or 10 feet, whichever is greater Lots greater than 65 feet in width and the sum of the required side yards shall be at least 25% of the lot width			
Rear Setback D	15 % of the lot depth (6) 20 feet minimum 50 feet maximum			







2129

PROJECT NUMBER



PROJECT:
PRIVATE
RESIDENCE

1810 Michigan Ave. Miami
Beach, FL 33139

DRAWING:

EXISTING STREET
ELEVATIONS
(BEFORE
DEMOLITION)

JENNIFER McCONNIEY FLORIDA LIC# AR3044

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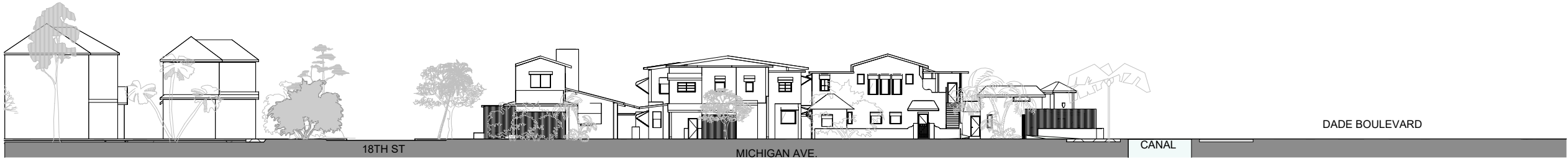
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CHECK: JMC

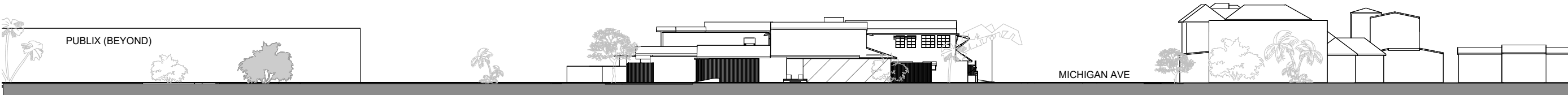
DATE: 07/07/24

SHEET NUMBER

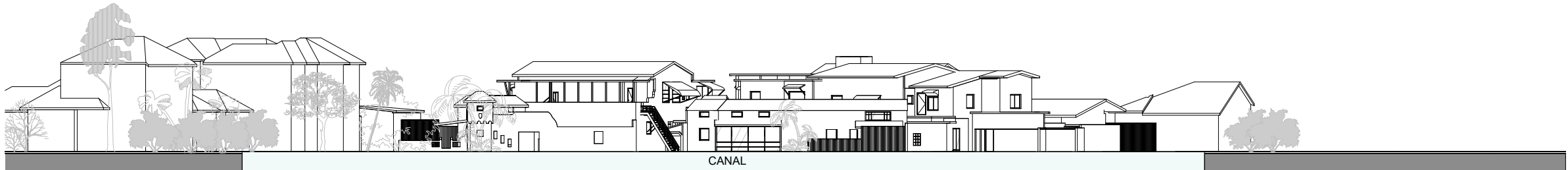
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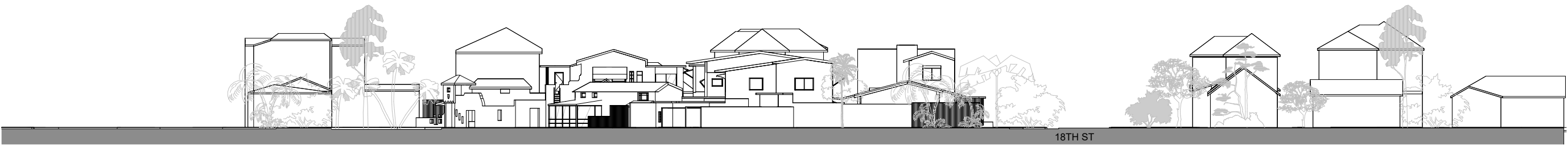
2 EXISTING STREET ELEVATION EAST -
1" = 40'-0"



1 EXISTING STREET ELEVATION SOUTH -
1" = 50'-0"



3 EXISTING STREET ELEVATION NW -
1" = 40'-0"



4 EXISTING STREET ELEVATION WEST -
1" = 40'-0"

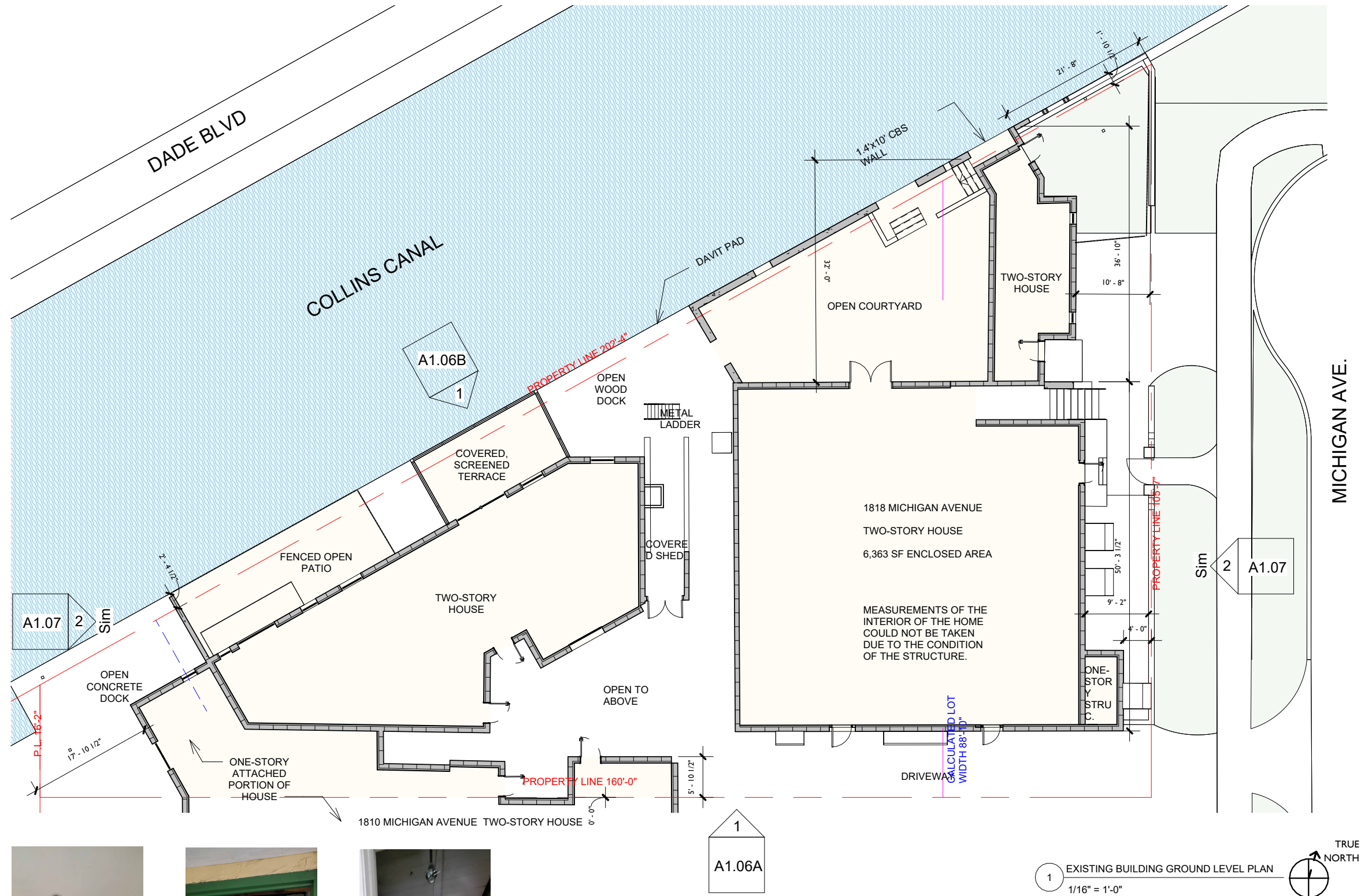


PROJECT:
PRIVATE
RESIDENCE

1818 Michigan Ave. Miami
Beach, FL 33139

DRAWING:

EXISTING
BUILDING
GROUND LEVEL
PLAN (BEFORE
DEMOLITION)



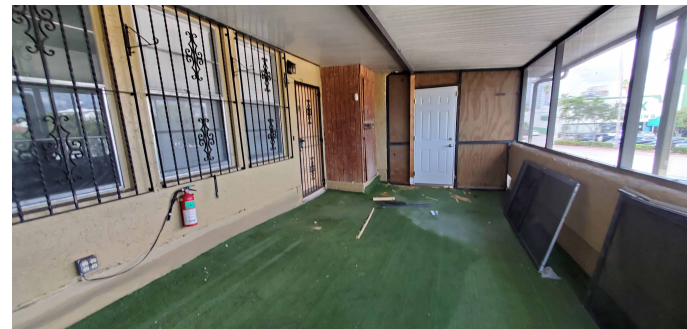
2 INTERIOR OF HOUSE 1
1" = 20'-0"



3 INTERIOR OF HOUSE 2
1" = 20'-0"



4 INTERIOR OF HOUSE 5
1" = 20'-0"



5 INTERIOR OF HOUSE 4
1" = 20'-0"



6 INTERIOR OF HOUSE 3
1" = 20'-0"



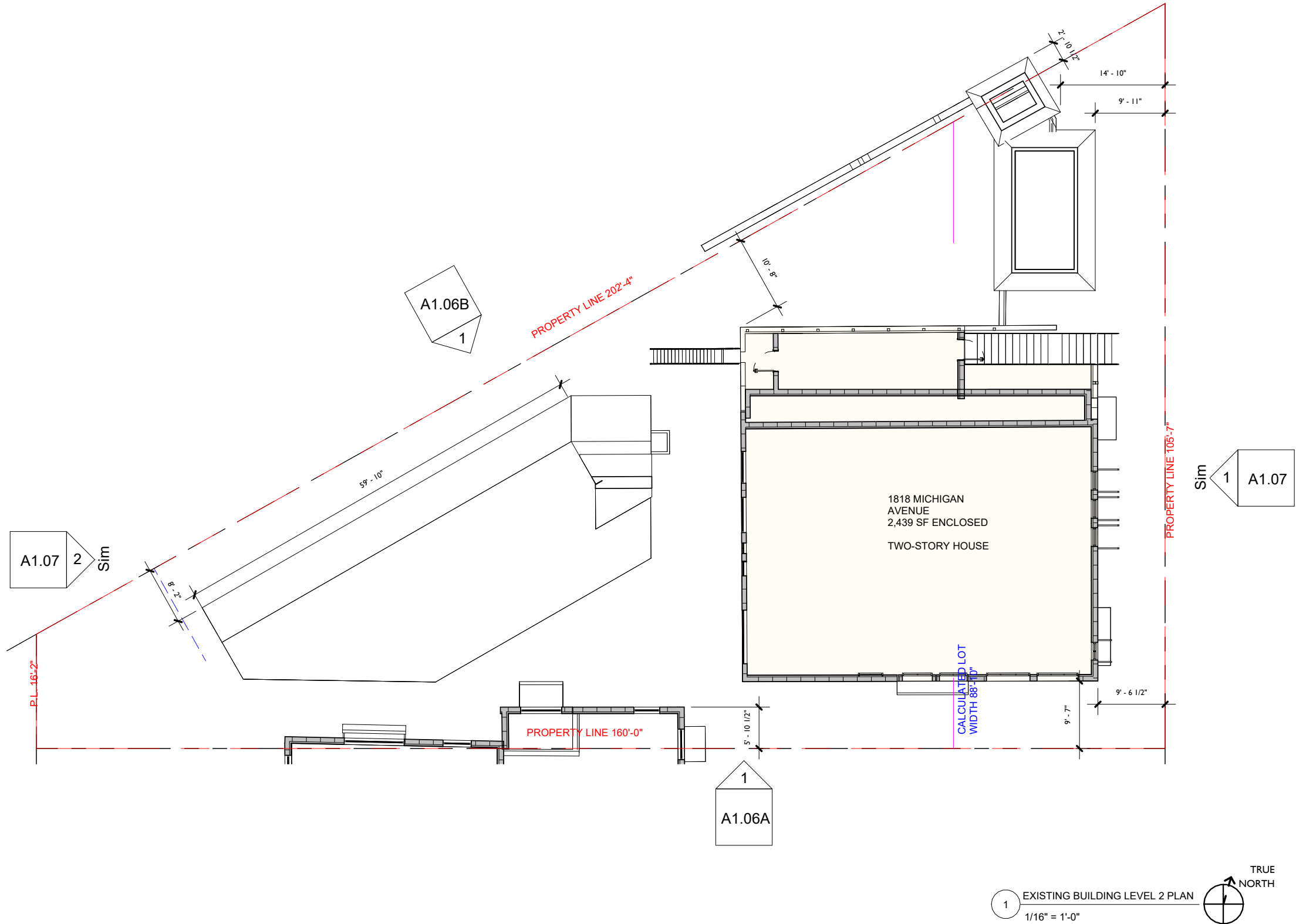
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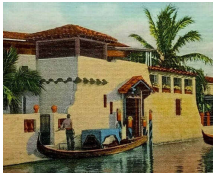
1818 Michigan Ave. Miami
Beach, FL 33139

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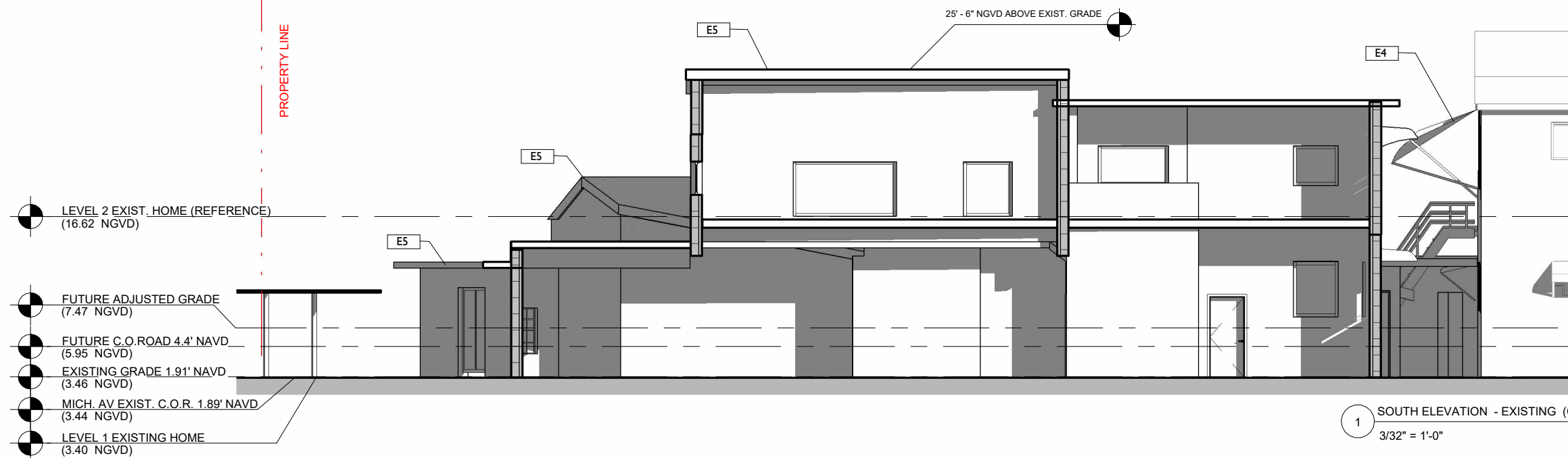
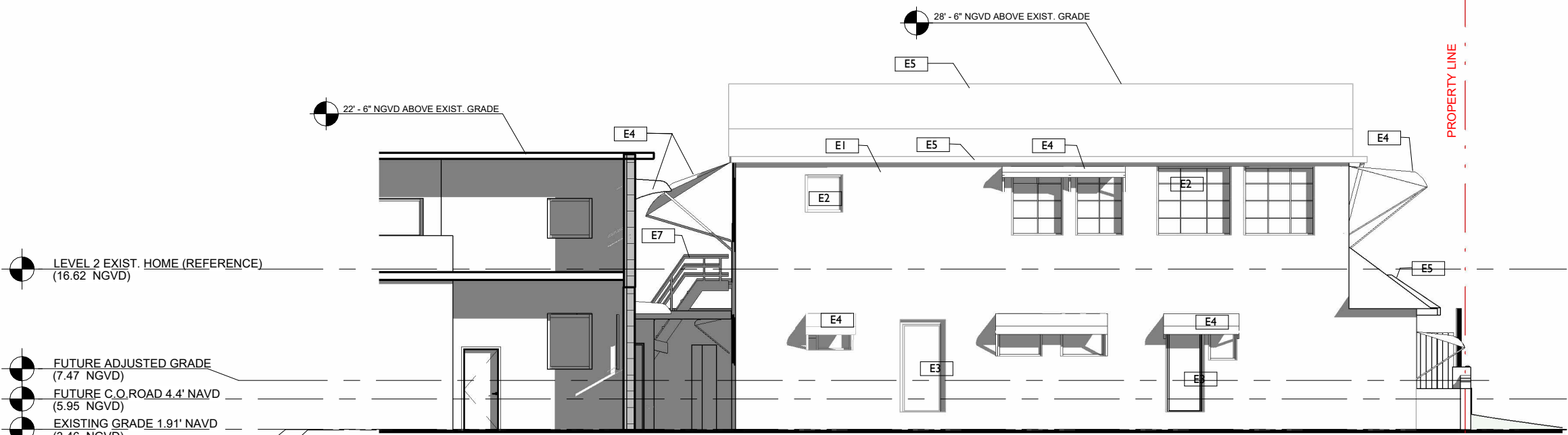
EXISTING
BUILDING 2ND
LEVEL PLAN
(BEFORE
DEMOLITION)

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CHECK: JMC
DATE: 07/07/24
SHEET NUMBER



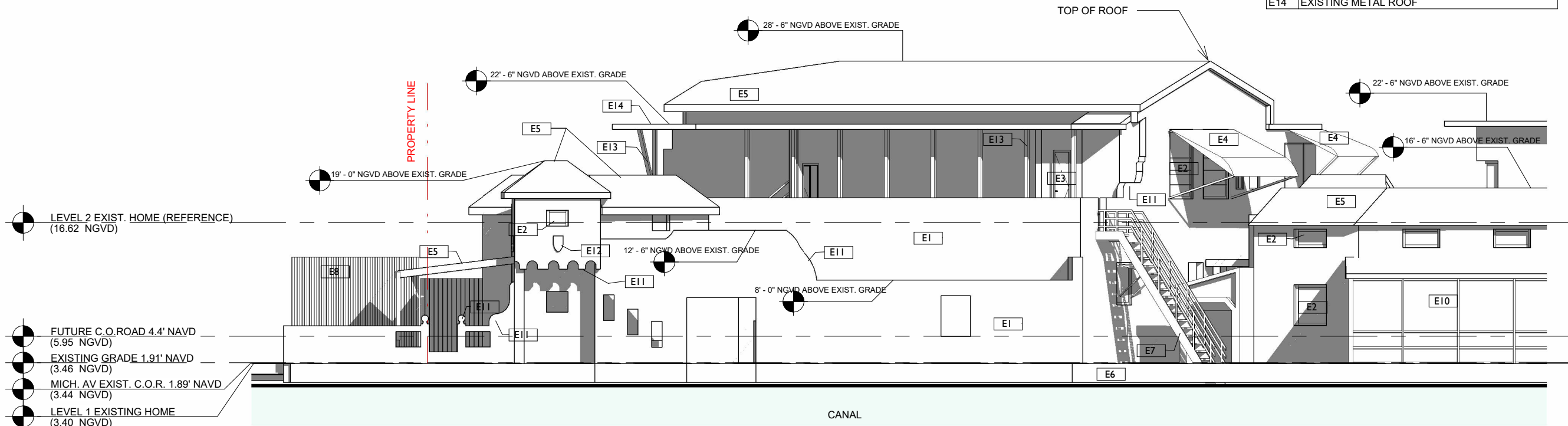


EXISTING CONDITION KEYNOTES	
ID	MATERIAL
E1	EXISTING STUCCO FINISH
E2	EXISTING NON-IMPACT WINDOWS
E3	EXISTING SOLID PANEL DOOR
E4	EXISTING AWNING
E5	EXISTING ASPHALT SHINGLE ROOF
E6	EXISTING SEAWALL
E7	EXISTING STAIRS
E8	EXISTING WOOD FENCE
E9	EXISTING METAL GATE
E10	EXISTING INSECT MESH
E11	EXISTING ORNAMENTAL SCROLL
E12	EXISTING ORNAMENTAL MEDALLION
E13	EXISTING METAL COLUMN
E14	EXISTING METAL ROOF

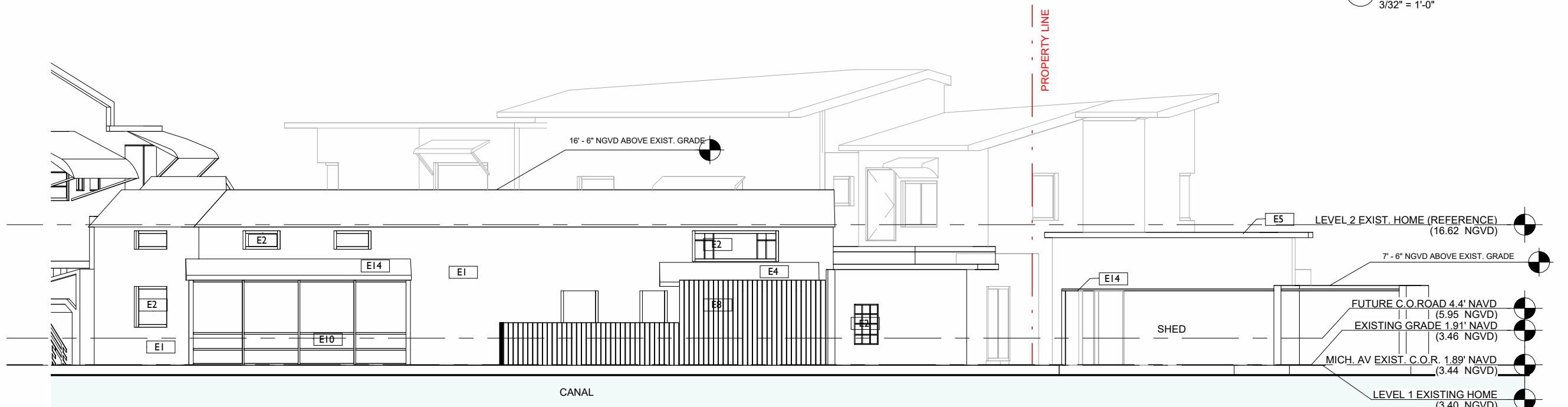




EXISTING CONDITION KEYNOTES	
ID	MATERIAL
E1	EXISTING STUCCO FINISH
E2	EXISTING NON-IMPACT WINDOWS
E3	EXISTING SOLID PANEL DOOR
E4	EXISTING AWNING
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E9	EXISTING METAL GATE
E10	EXISTING INSECT MESH
E11	EXISTING ORNAMENTAL SCROLL
E12	EXISTING ORNAMENTAL MEDALLION
E13	EXISTING METAL COLUMN
E14	EXISTING METAL ROOF



2 NORTH ELEVATION - EXISTING
3/32" = 1'-0"



1 NORTH ELEVATION - EXISTING (CONTINUED)
3/32" = 1'-0"



PROJECT:
PRIVATE
RESIDENCE

1818 Michigan Ave. Miami
Beach, FL 33139

DRAWING:

EXISTING
BUILDING
ELEVATIONS
EAST AND WEST
(BEFORE
DEMOLITION)

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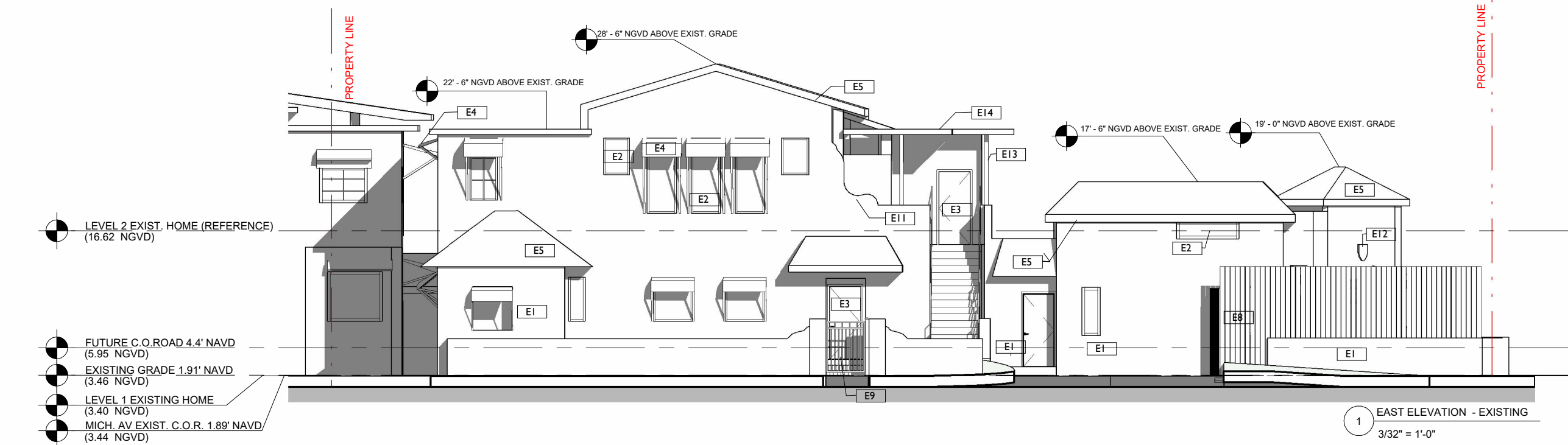
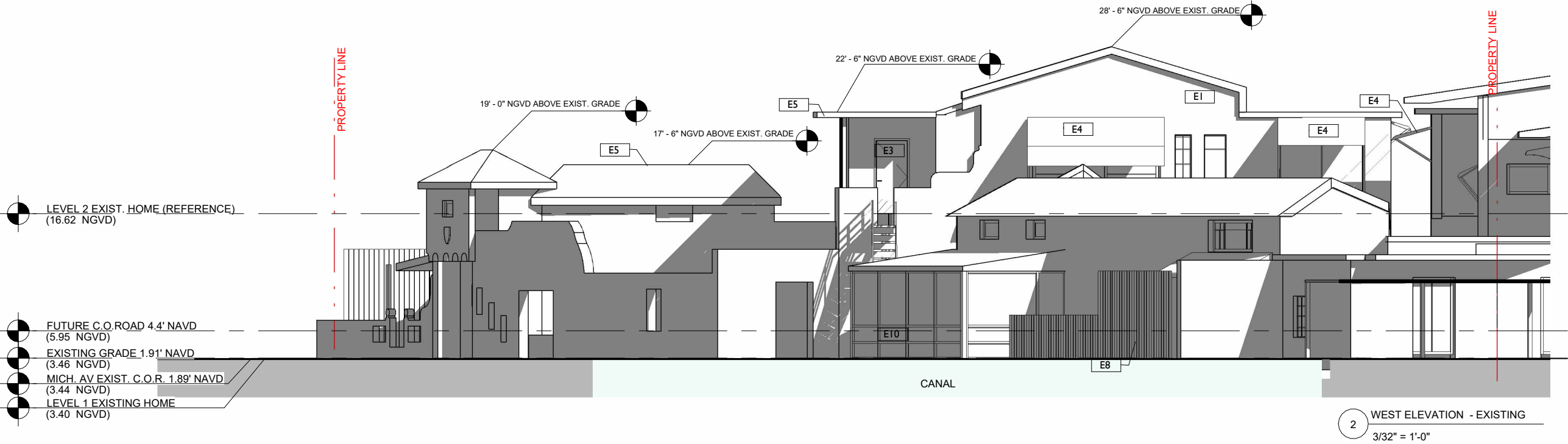
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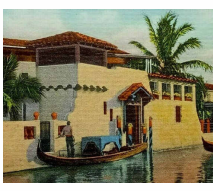
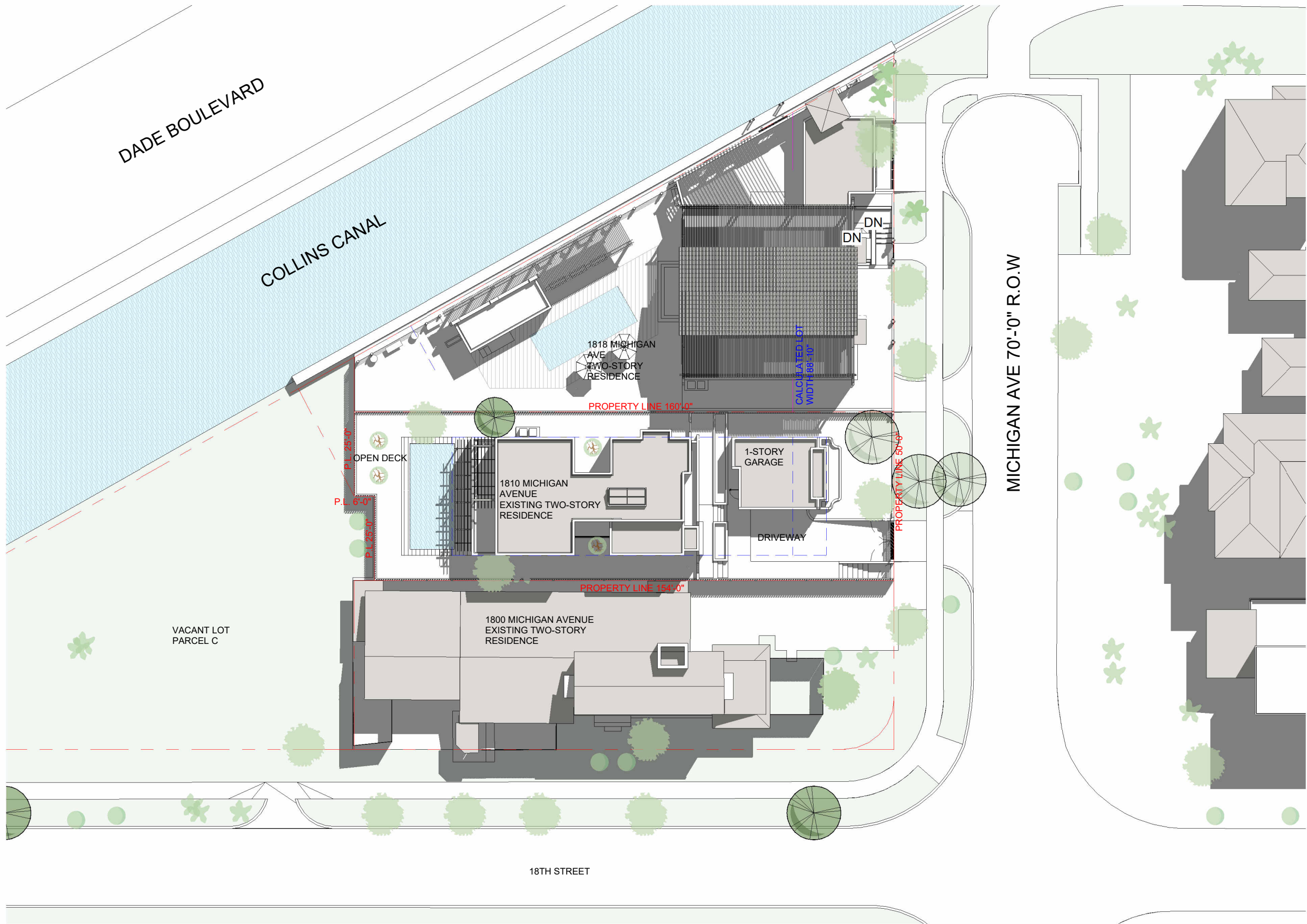
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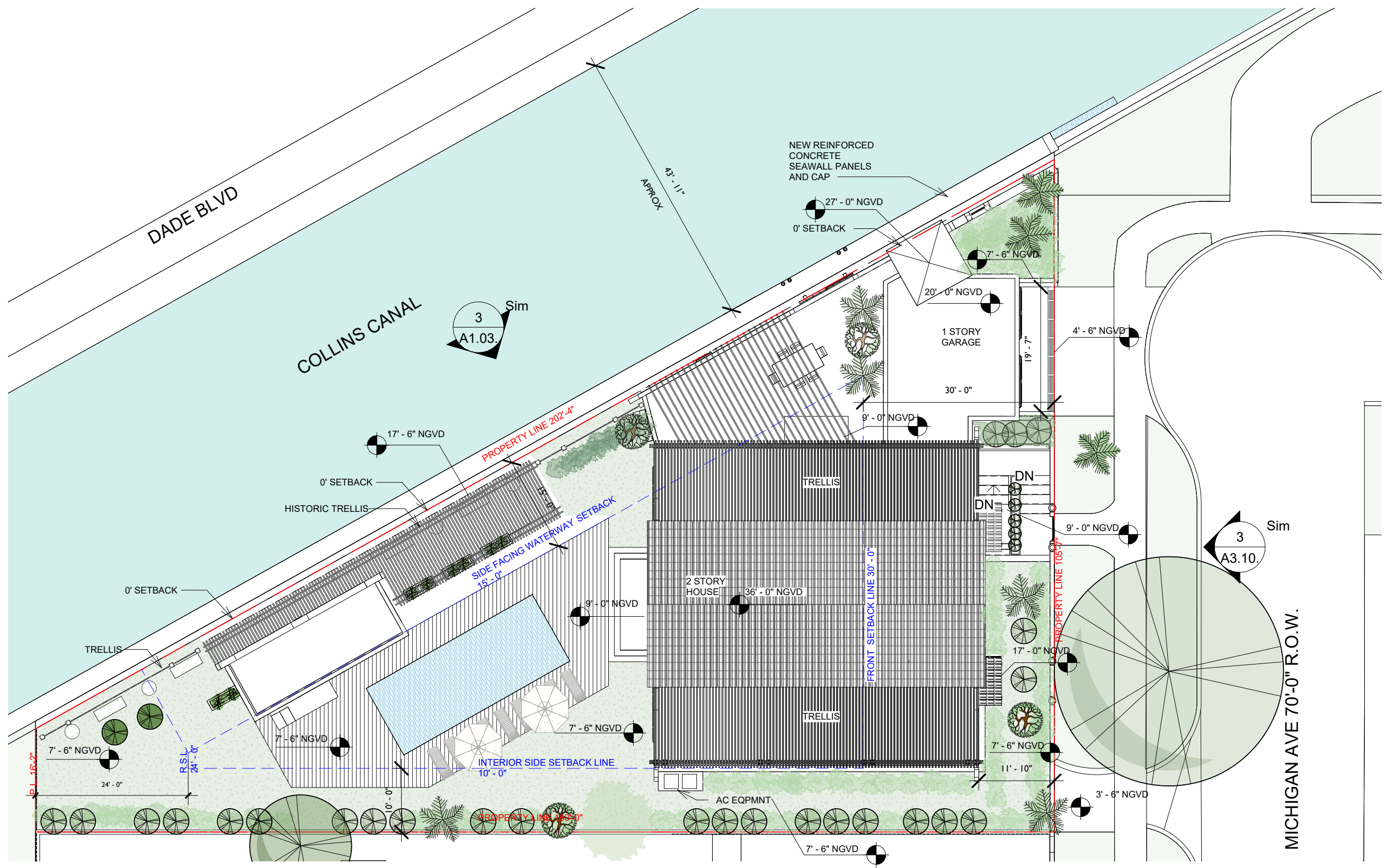
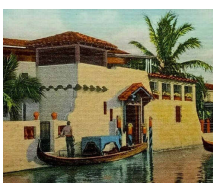
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SHEET NUMBER

EXISTING CONDITION KEYNOTES	
ID	MATERIAL
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E11	EXISTING ORNAMENTAL SCROLL
E12	EXISTING ORNAMENTAL MEDALLION
E13	EXISTING METAL COLUMN
E14	EXISTING METAL ROOF











PROJECT:
PRIVATE
RESIDENCE

1818 Michigan Ave. Miami
Beach, FL 33139

DRAWING:

LEVEL 2
PROPOSED PLAN

JENNIFER MCCONNEY FLORIDA LIC# AR3044

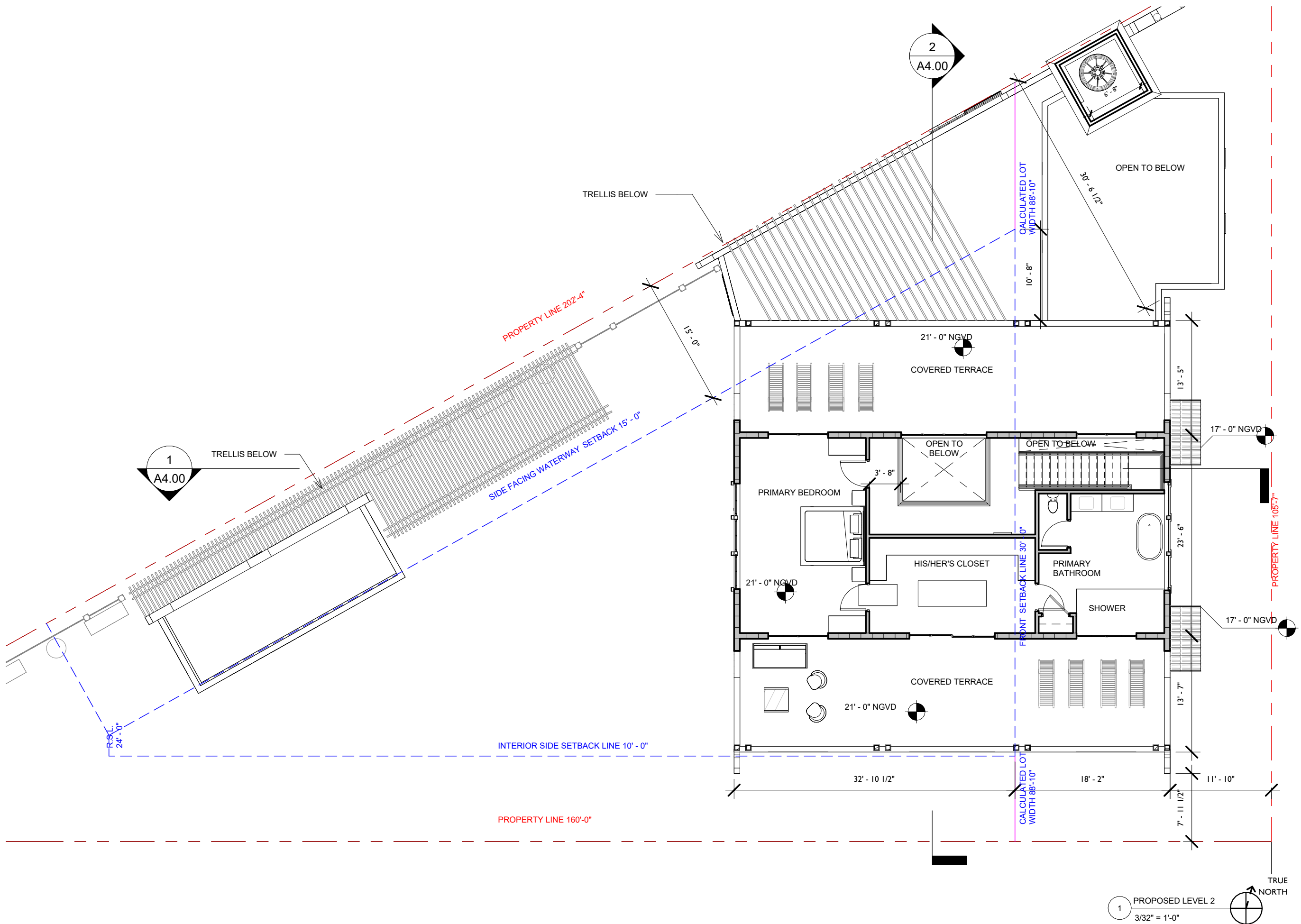
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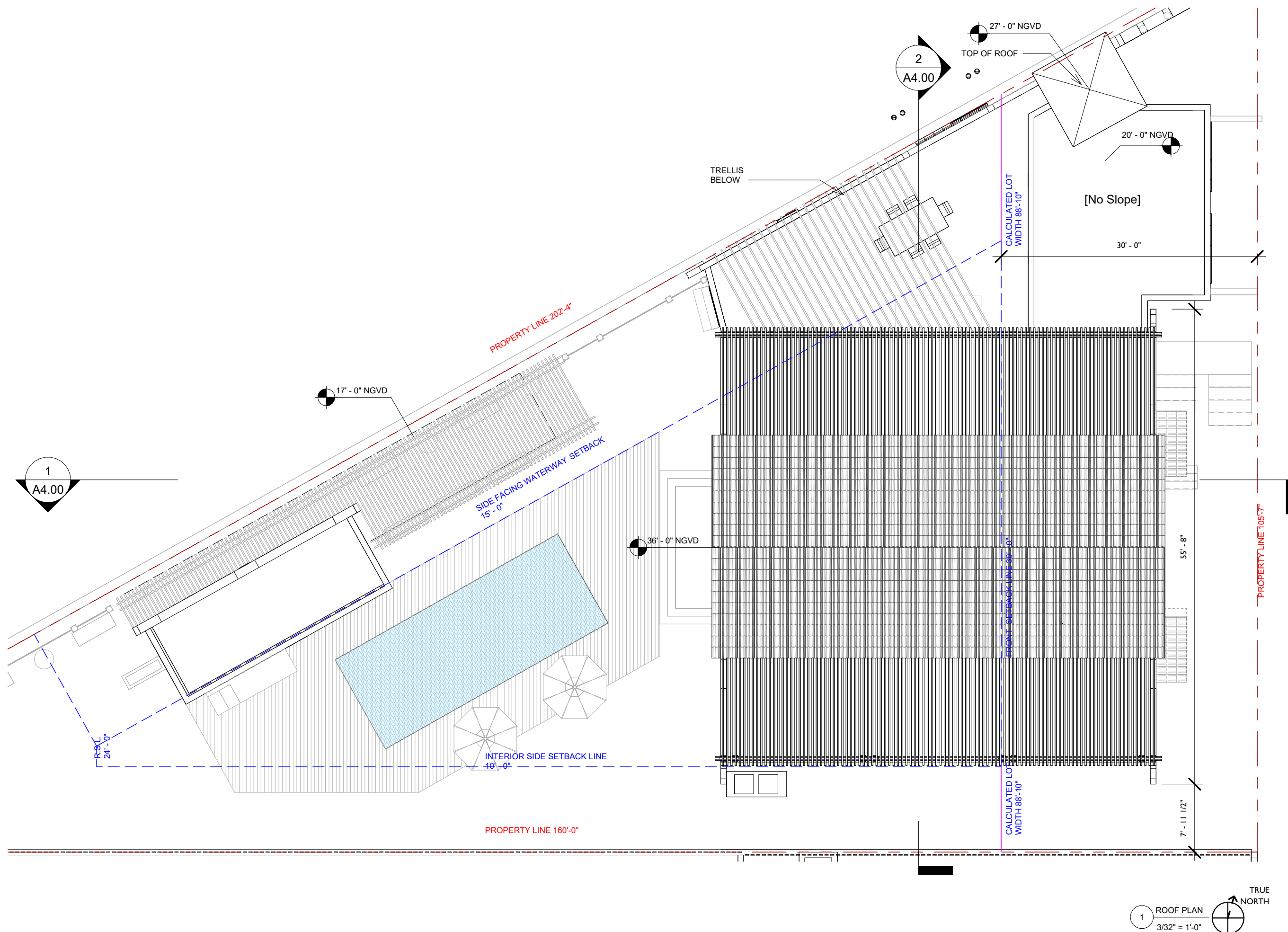
SCALE: 3/32" = 1'-0"

CHECK: JMC

DATE: 07/07/24

SHEET NUMBER







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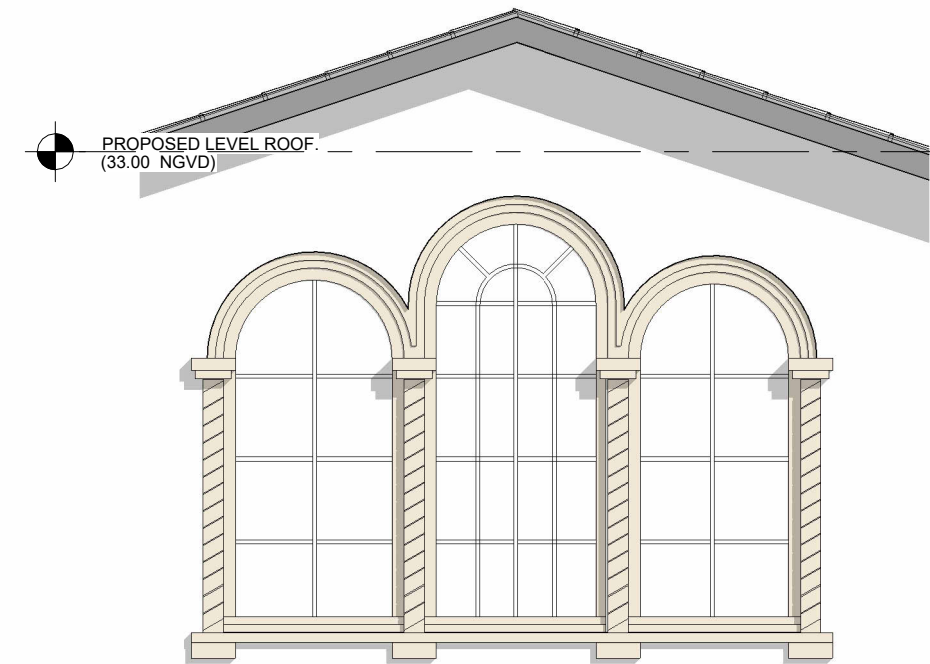
1818 Michigan Ave. Miami
Beach, FL 33139

DRAWING:

HISTORIC
DETAILS

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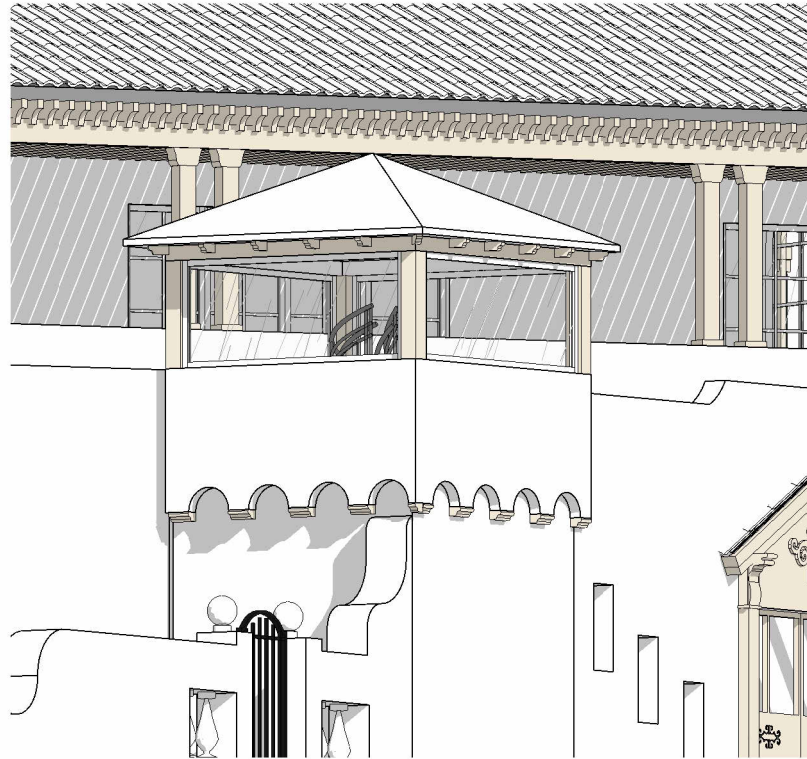
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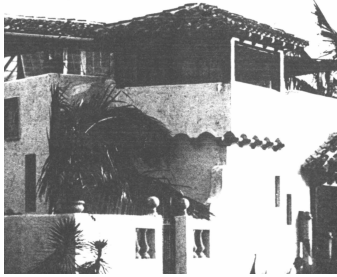
1 ARCHED WINDOW W/ DETAILS- E & W FACADES
1/4" = 1'-0"



1A ORIG. MICROFILM 1921



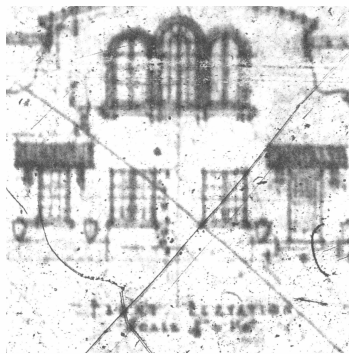
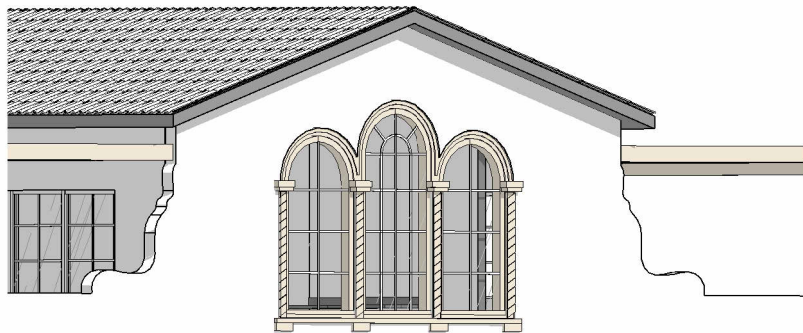
2 TOWER FAC. DADE BLVD & CANAL



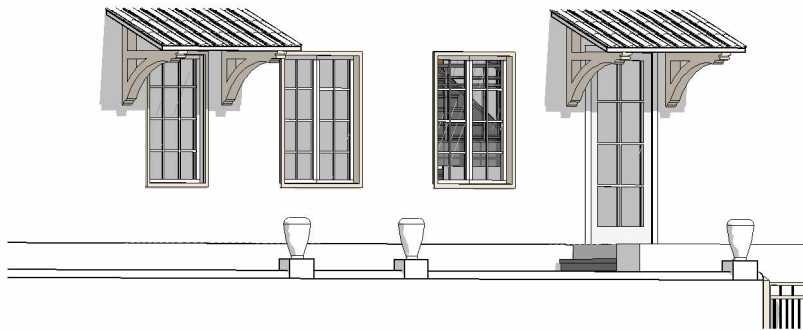
2A ORIG. PHOTO 1



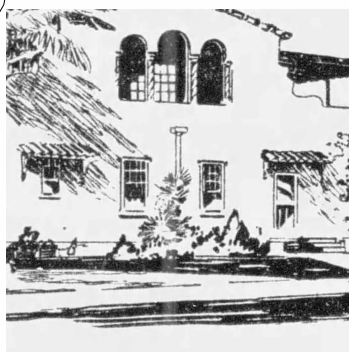
2B ORIG PHOTO 2



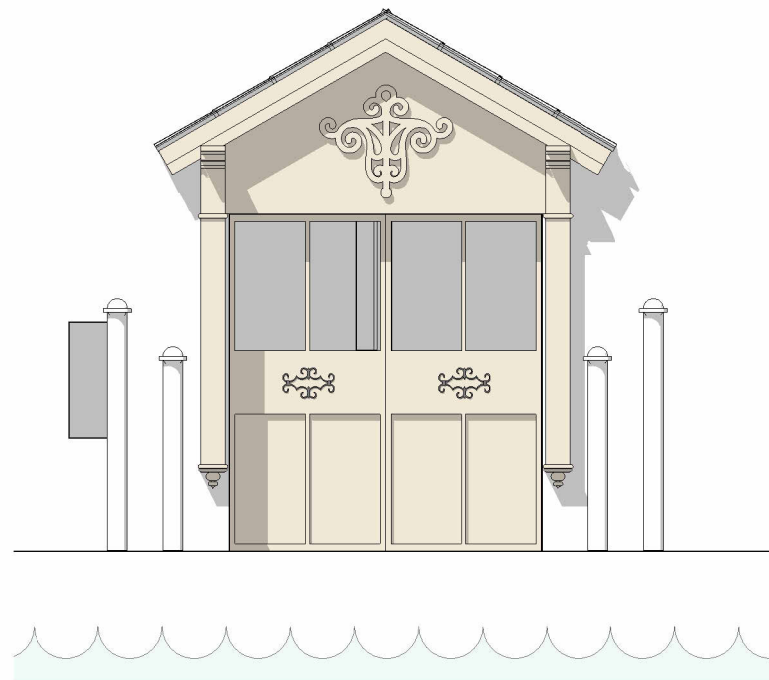
3A ORIG. MICROFILM 1921.



3 WINDOW OVERHANGS & DETAILS- E FACADE



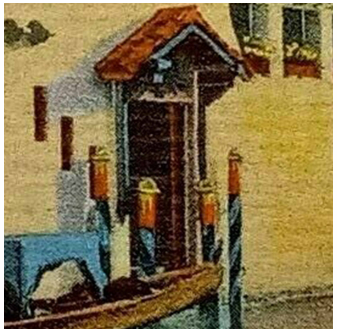
3B FOR SALE DRAWING 1928



4 GATE FACADE FAC. DADE BLVD & CANAL
1/4" = 1'-0"



4A ORIG PHOTO OF CANAL GATE



4B POSTCARD OF CANAL GATE



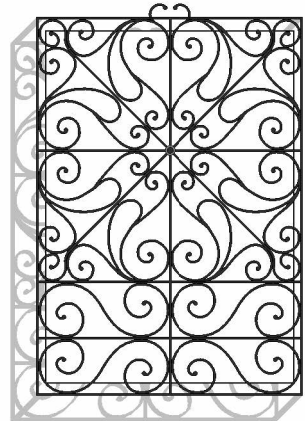
PROJECT:
PRIVATE
RESIDENCE

1818 Michigan Ave. Miami
Beach, FL 33139

DRAWING:

HISTORIC
DETAILS CONT.

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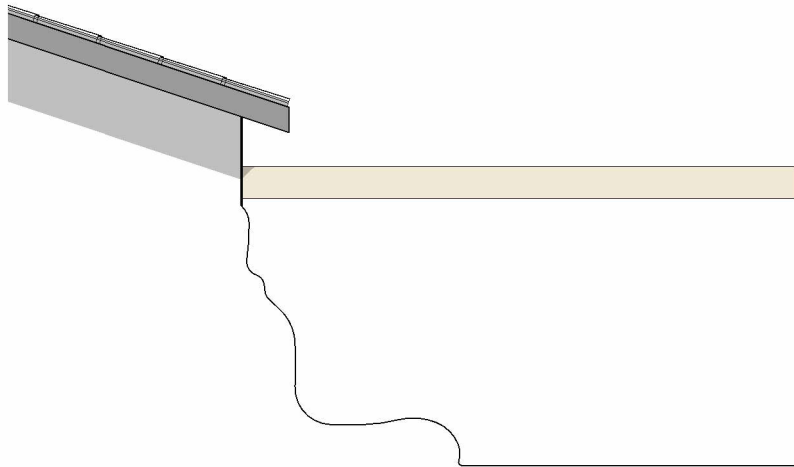
1 WI DETAIL FACING D.B./CANAL/ COLLINS
1/2" = 1'-0"



1A HISTORIC PHOTO WINDOW GRATE



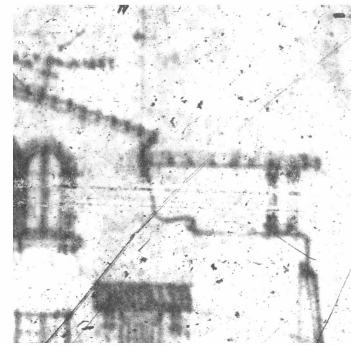
1B EXISTING PHOTO OF WINDOW GRATE



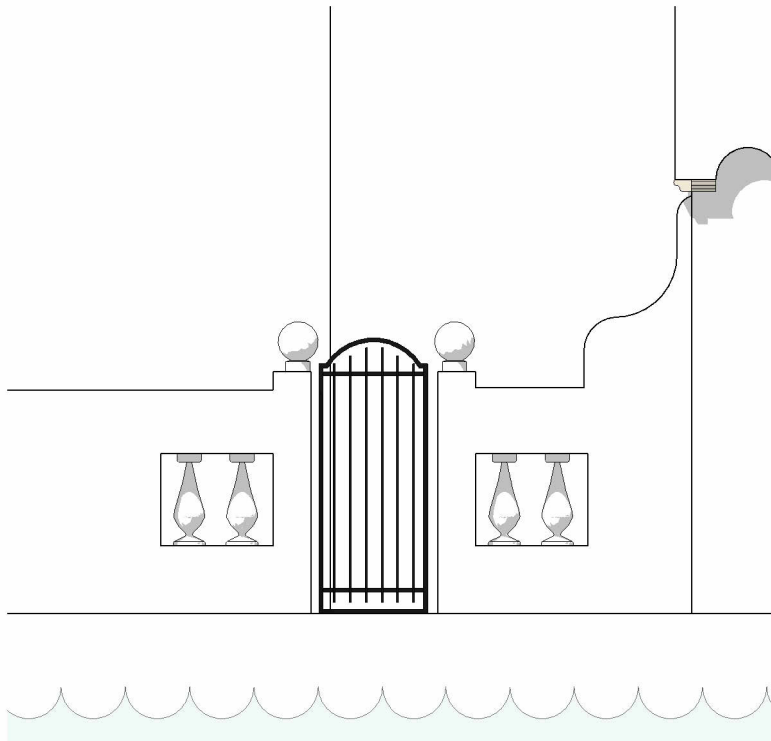
2 STUCCO SCROLL DTL
1/4" = 1'-0"



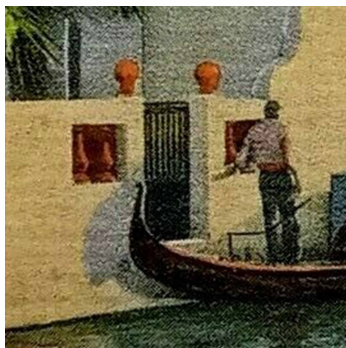
2A ORIGINAL PHOTO



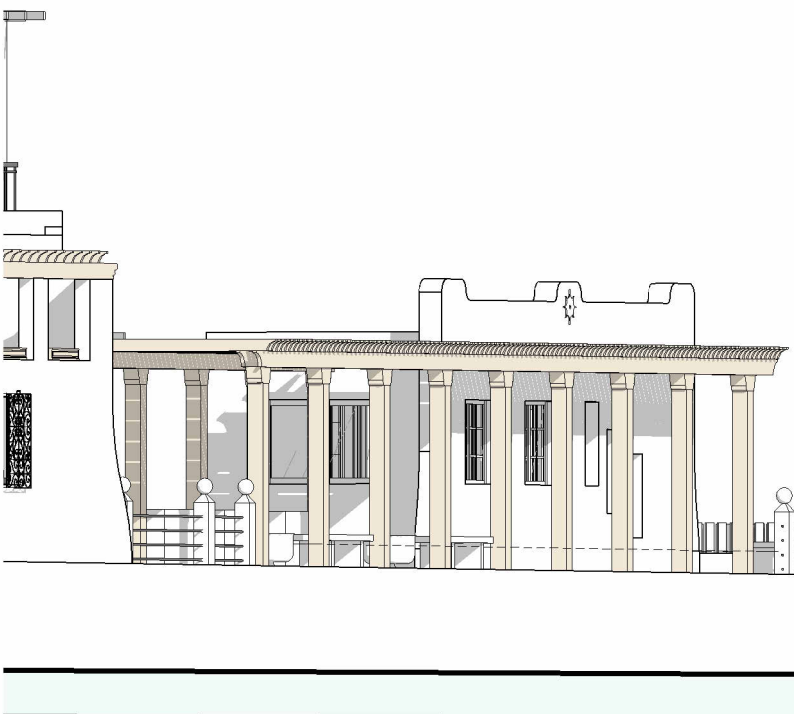
2B ORIG. MICROFILM 1921 SCROLL



3 YARD GATE FACING FAC. DADE BLVD & CANAL
1/4" = 1'-0"



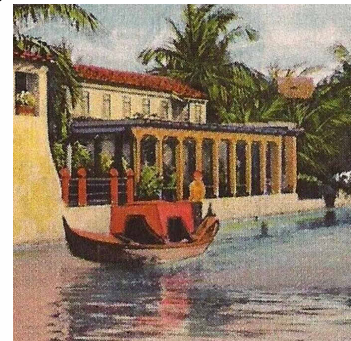
3A POSTCARD OF GATE



4 TRELLIS W/ DETAILS



4A ORIG. PHOTO FROM CANAL



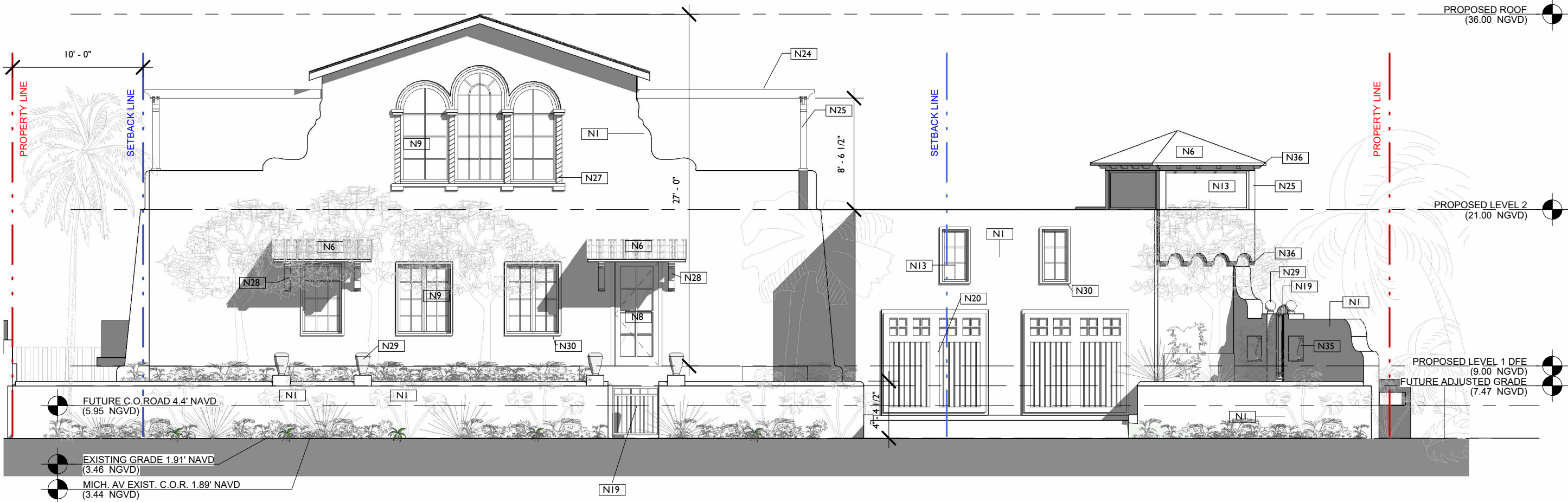
4B POSTCARD FROM CANAL



PROJECT:
PRIVATE
RESIDENCE

1818 Michigan Ave. Miami
Beach, FL 33139

DRAWING:



EAST ELEVATION

JENNIFER MCCONNEY FLORIDA LIC# AR3044
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SCALE: 1/8" = 1'-0"
CHECK: JMC
DATE: 07/07/24
SHEET NUMBER

1 EAST ELEVATION
1/8" = 1'-0"

A3.00

Keynote Legend	
KS	MATERIAL
N1	STUCCO COLOR 1
N6	GABLED ROOF W/ BARREL TILE AND STUCCO FASCIA
N8	POWDER-COATED ALUMINUM DOOR W/GLASS INSERTS
N9	POWDER-COATED ALUMINUM OPERABLE WINDOW SYSTEM
N13	POWDER-COATED ALUMINUM FIXED WINDOW SYSTEM
N19	POWDER-COATED ALUMINUM GATE
N24	WOOD TRELLIS W/ ORNAMENTAL DETAIL
N25	WOOD COLUMNS
N27	WOOD ORNAMENTAL DETAIL
N27	
N31	W.I. ORNAMENT ON WALL OPENING
N32	WOOD MEDALLION DETAIL
N33	ORNAMENTAL PLANTER
N34	CANAL POLES (PALI DI CASADA)
N36	WOOD CORBEL DETAIL



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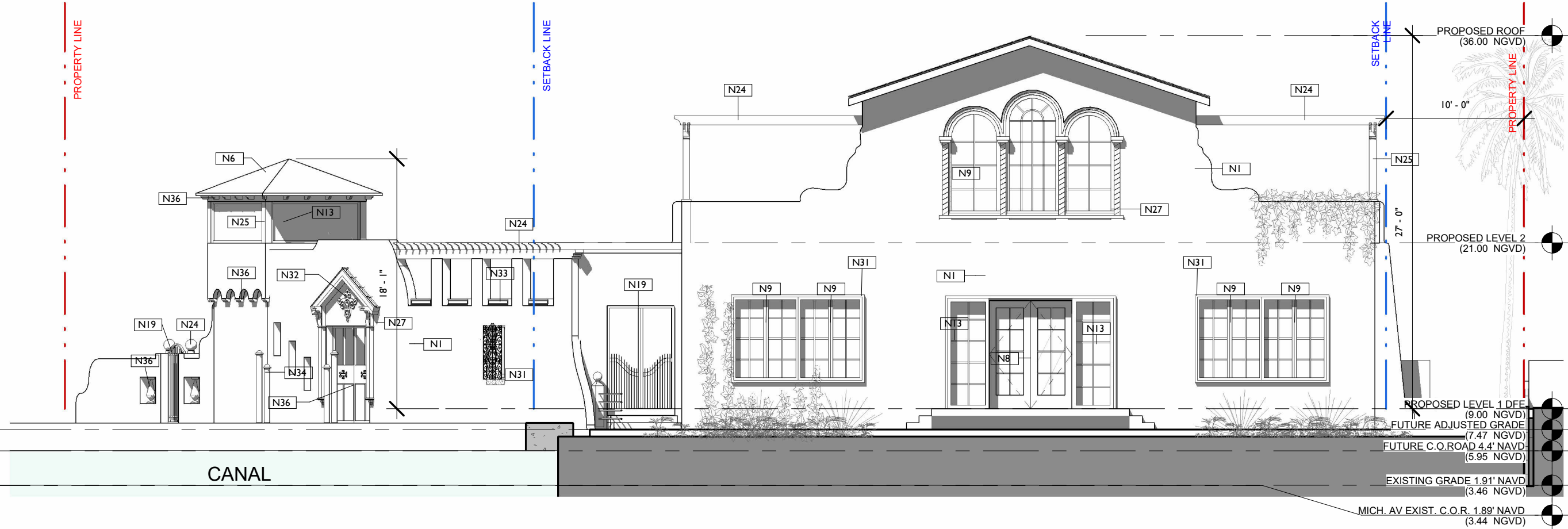
2129
PROJECT NUMBER



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RESIDENCE

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DRAWING:



WEST ELEVATION

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1 WEST ELEVATION
1/8" = 1'-0"

A3.01

Keynote Legend	
KS	MATERIAL
N1	STUCCO COLOR 1
N6	GABLED ROOF W/ BARREL TILE AND STUCCO FASCIA
N9	POWDER-COATED ALUMINUM OPERABLE WINDOW SYSTEM
N11	POWDER-COATED ALUMINUM SLIDING DOOR W/ IMPACT GLAZING
N19	POWDER-COATED ALUMINUM GATE
N24	WOOD TRELLIS W/ ORNAMENTAL DETAIL
N25	WOOD COLUMNS
N28	EAVE BRACKET
N36	WOOD CORBEL DETAIL



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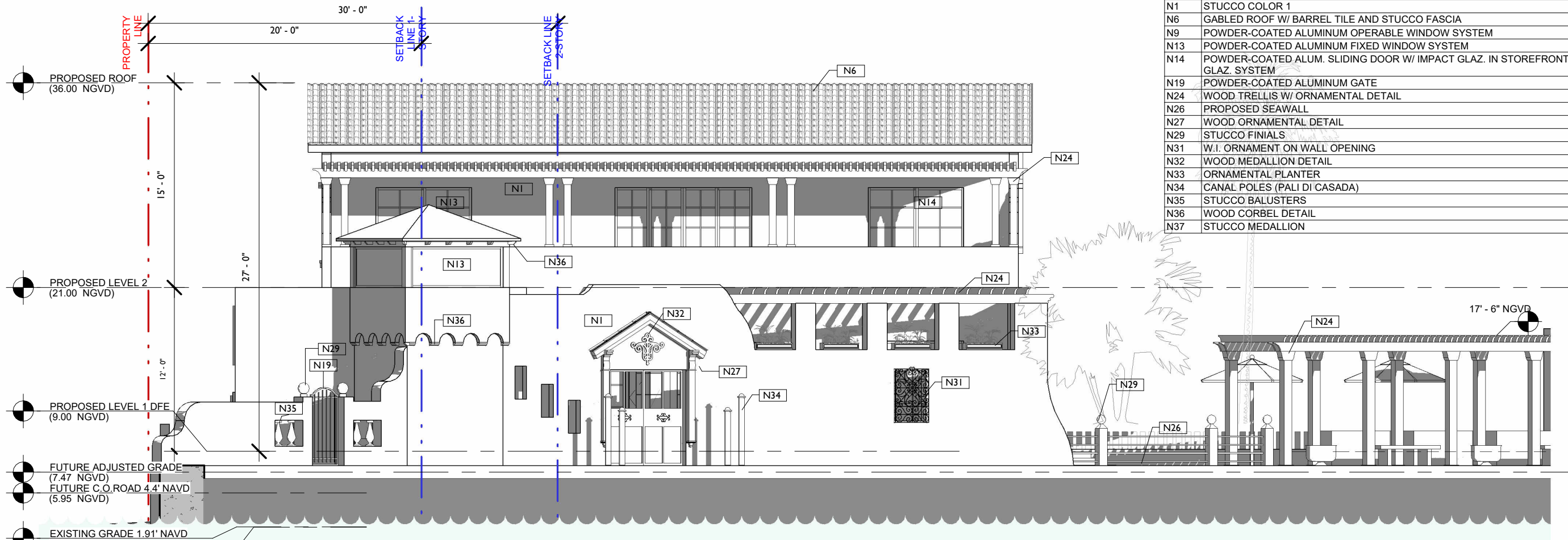
SOUTH
ELEVATION



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1 SOUTH ELEVATION
1/8" = 1'-0"

A3.02



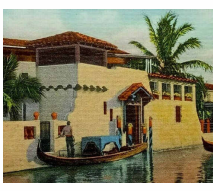
Keynote Legend	
KS	MATERIAL
N1	STUCCO COLOR 1
N6	GABLED ROOF W/ BARREL TILE AND STUCCO FASCIA
N9	POWDER-COATED ALUMINUM OPERABLE WINDOW SYSTEM
N13	POWDER-COATED ALUMINUM FIXED WINDOW SYSTEM
N14	POWDER-COATED ALUM. SLIDING DOOR W/ IMPACT GLAZ. IN STOREFRONT GLAZ. SYSTEM
N19	POWDER-COATED ALUMINUM GATE
N24	WOOD TRELLIS W/ ORNAMENTAL DETAIL
N26	PROPOSED SEAWALL
N27	WOOD ORNAMENTAL DETAIL
N29	STUCCO FINIALS
N31	W.I. ORNAMENT ON WALL OPENING
N32	WOOD MEDALLION DETAIL
N33	ORNAMENTAL PLANTER
N34	CANAL POLES (PALI DI CASADA)
N35	STUCCO BALUSTERS
N36	WOOD CORBEL DETAIL
N37	STUCCO MEDALLION



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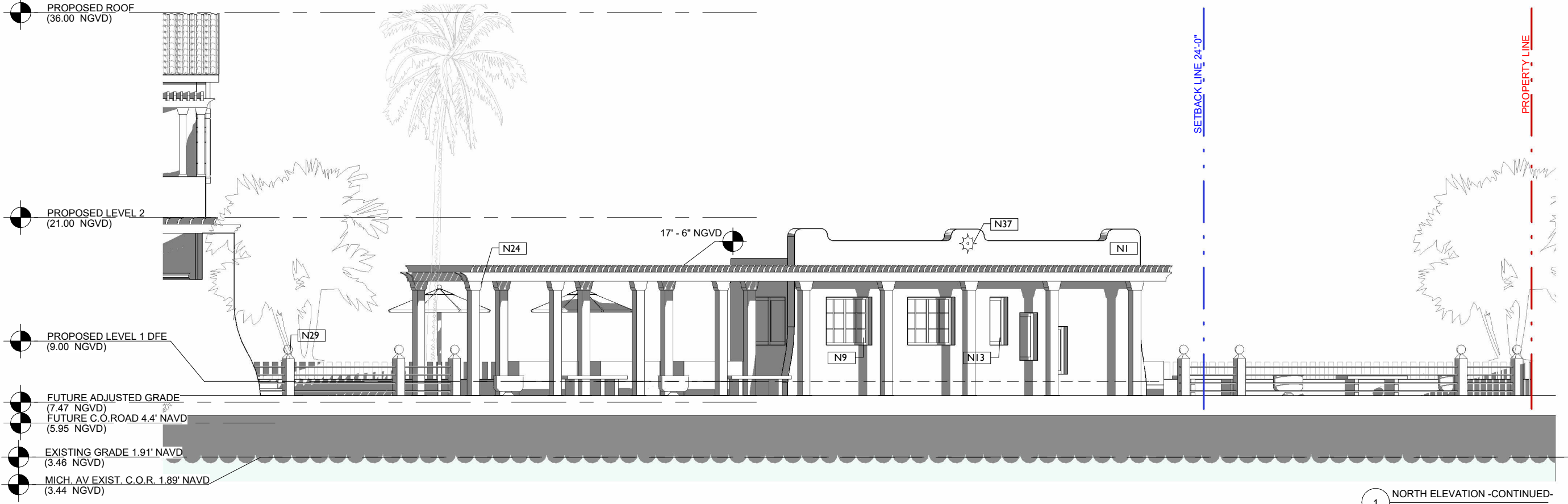
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DRAWING:

2 NORTH ELEVATION
1/8" = 1'-0"

NORTH
ELEVATION



1 NORTH ELEVATION -CONTINUED-
1/8" = 1'-0"

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A3.03



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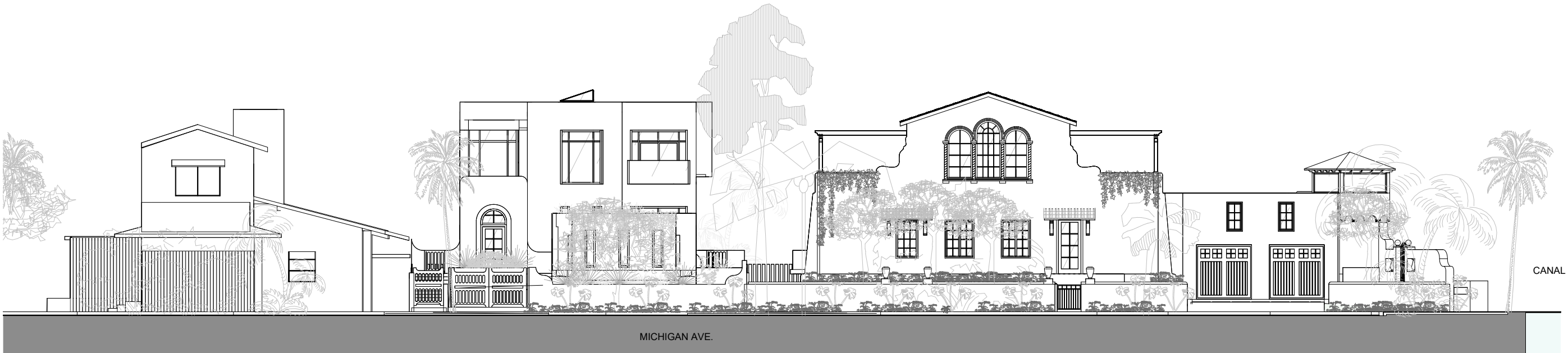


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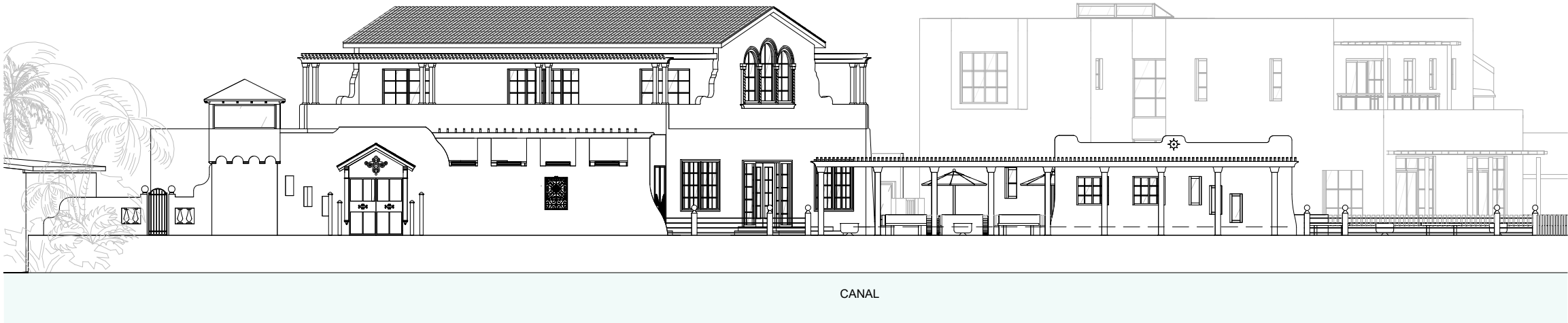
PROPOSED
STREET
ELEVATIONS
ENLARGED



1

PROPOSED STREET ELEVATION EAST- MICHIGAN AVENUE

1/16" = 1'-0"

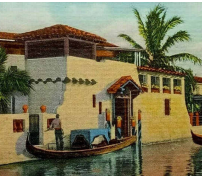


3

PROPOSED STREET ELEVATION NW- DADE BOULEVARD

1/16" = 1'-0"

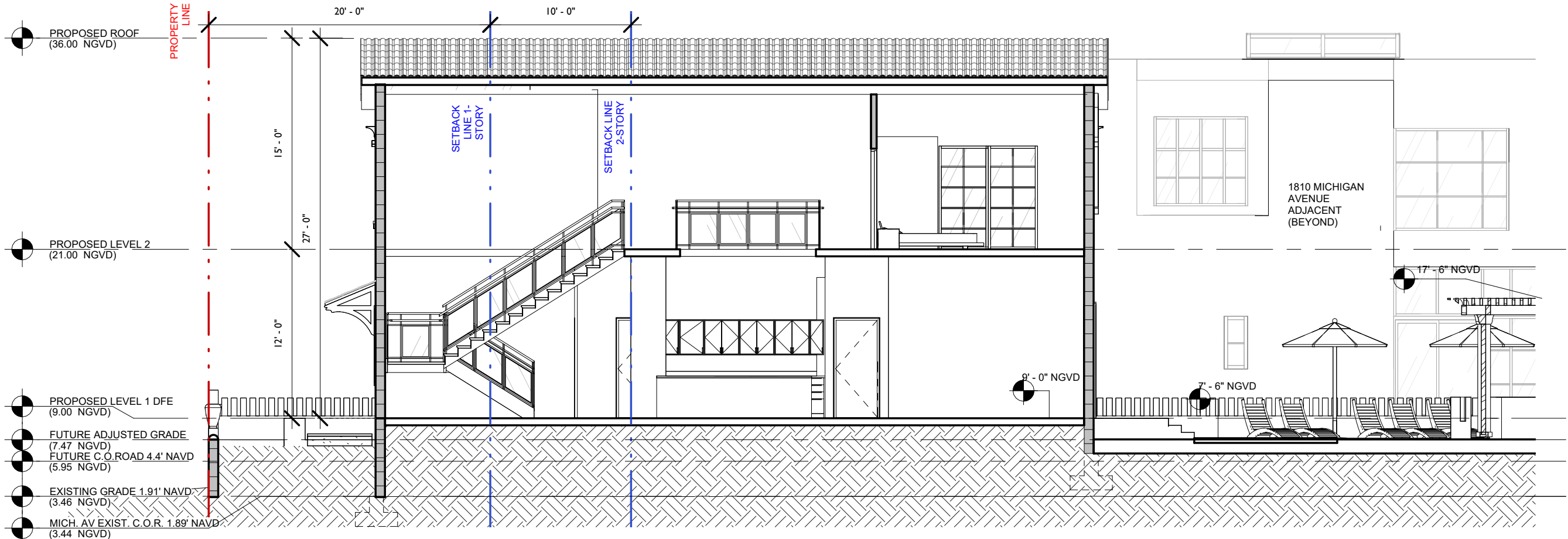
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DRAWING:



1 SECTION AA
1/8" = 1'-0"



2 SECTION BB
1/8" = 1'-0"

SECTION

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