

# NEW RESIDENCE: 1520 STILLWATER DRIVE MIAMI BEACH, FL. 33141

DESIGN REVIEW BOARD, CITY OF MIAMI BEACH  
DRB24-1042  
FINAL SUBMITTAL: 02-02-2025



## PROJECT GENERAL DATA:

**ADDRESS:**  
1520 STILLWATER DRIVE, MIAMI BEACH, FL. 33141

**FOLIO NUMBER:** 02-3203-011-2120

**ZONING:** RS-4 RESIDENTIAL SINGLE FAMILY

### LEGAL DESCRIPTION:

LOT 51, BLOCK 16, BISCAYNE BEACH SECOND ADDITION, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 46, PAGE 39, OF THE PUBLIC RECORDS OF MIAMI DADE COUNTY, FLORIDA.

### SCOPE OF WORK:

CONSTRUCTION OF NEW RESIDENCE WITH UNDERSTORY (NON-HABITABLE GROUND FLOOR) & 2 FLOORS UNDER A/C

### APPLICABLE CODES:

FLORIDA BUILDING CODE 2023, 8TH EDITION-RESIDENTIAL  
CITY OF MIAMI BEACH CODE OF ORDINANCES

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**ANTONIO E. RODRIGUEZ**  
CAD Studio Architecture  
L.C. No. AB93309  
4806 S.W. 72 AVENUE, MIAMI FL. 33155  
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RESIDENCE FOR:  
**1520 STILLWATER DRIVE**  
MIAMI BEACH  
FLORIDA

OWNER:  
HILMAR THOR KRITINSSON  
RANVEIG EIR EINARSDOTTIR

DATE: 02/02/2025  
ISSUED: \_\_\_\_\_  
DRAWN: \_\_\_\_\_  
CHECKED: \_\_\_\_\_  
PROJECT No. \_\_\_\_\_

DESIGN REVIEW BOARD,  
CITY OF MIAMI BEACH DRB24-1042  
DRAWING TITLE:

COVER SHEET/  
INDEX OF DRAWINGS

SHEET:  
A-0.0

1 OF 34



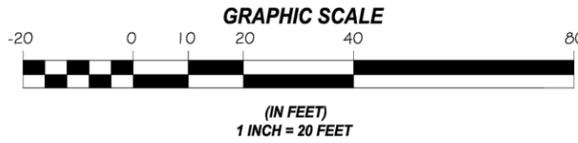
# JOHN IBARRA & ASSOCIATES, INC.

Professional Land Surveyors & Mappers

777 N.W. 72nd AVENUE  
SUITE 3025  
MIAMI, FLORIDA 33126  
PH: (305) 282-0400  
FAX: (305) 282-0401



## MAP OF BOUNDARY SURVEY



LOCATION MAP  
SCALE = N.T.S.



### FLORIDA DEPARTMENT OF Environmental Protection

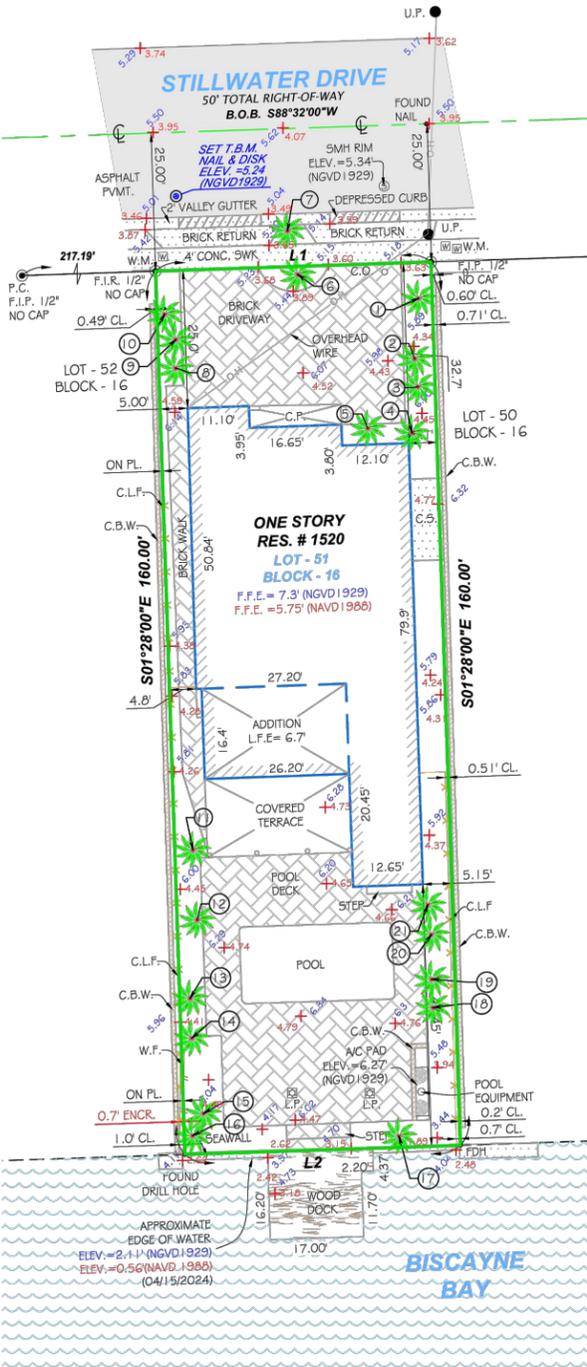
Major Shomon Douglas Building  
3300 Commonwealth Boulevard  
Tallahassee, FL 32399

#### Tidal Water Survey Procedural Approval

Date: 4/15/2024  
Name: John Ibarra  
Firm Name: John Ibarra & Associates, Inc.  
Address: 777 NW 72nd Avenue, Suite 3025  
Miami, FL 33126  
Phone: 305.282.0400  
Email: dwn@ibarralandsurveyors.com  
Tide Interpolation Point No.: 183  
USGS 7.5-Minute Quad Map Name: Miami  
Mean High Water (MHW): 0.18 ft  
Mean Low Water (MLW): -1.97 ft  
Unit of Measurement: Feet  
Datum: NAVD83  
Tidal Epoch: 1983-2001  
Procedure: Extend the above MHW height to job if within one-half mile.  
Source of Data: Florida Department of Environmental Protection, Bureau of Survey and Mapping  
This form constitutes approval of the method to be used to survey the mean high-water line or the mean low-water line within one-half mile of the point identified above.  
Retain this form for record keeping. Submit a copy of this form with the completed survey to the Bureau of Survey and Mapping.  
Contact: Florida Department of Environmental Protection  
Bureau of Survey and Mapping  
Mean High Water Repository  
3300 Commonwealth Boulevard, Mail Station 705  
Tallahassee, FL 32399-3000  
Tel: (850) 245-2849  
email: pdt@fldep.state.fl.us  
Approved by: Eric Sellers  
Date: 4/15/2024  
1520 Stillwater Drive - Miami Beach

No.	Name	Diameter (ft.)	Height (ft.)	Spread (ft.)
1	PALM CLUSTER	0.40	5	5
2	PALM	0.70	20	10
3	PALM	0.45	5	5
4	PALM	1.00	3	5
5	PALM	0.35	10	5
6	PALM	0.35	6	3
7	CREPE MYRTLE	0.20	9	3
8	COCONUT PALM	0.90	5	5
9	COCONUT PALM	0.90	25	15
10	PALM	0.35	5	5
11	ARECA PALM	0.30	15	10
12	PALM	1.00	2	10
13	COCONUT PALM	0.90	32	15
14	COCONUT PALM	0.90	7	15
15	PALM CLUSTER	0.40	5	5
16	COCONUT PALM	1.00	37	15
17	PALM	0.40	7	5
18	PALM	0.70	22	10
19	PALM	1.00	6	10
20	PALM	1.00	5	10
21	PALM	1.00	3	10

**ELEVATION NOTE**  
NGVD ELEV. - 1.55' = ELEV. IN NAVD 1988  
x 0.00 = ELEVATION IN NGVD 1929  
x 0.00 = ELEVATION IN NAVD 1988.



LINE	BEARING	LENGTH
L1	S88°32'00\"W	50.00'
L2	S88°32'00\"W	50.00'

#### ABBREVIATIONS

- A = ARC
- AC = AIR CONDITIONER PAD
- AE = ANCHOR EASEMENT
- ALR = ALUMINUM ROOF
- AS = ALUMINUM SHED
- ASPH = ASPHALT
- BC = BLOCK CORNER
- BLDG = BUILDING
- BM = BENCH MARK
- S.C.R. = BROWARD COUNTY RECORDS
- B.S.L. = BUILDING SETBACK LINE
- (C) = CALCULATED
- CB = CONCRETE BLOCK
- C.B.S. = CONCRETE BLOCK STRUCTURE
- CL.W. = CONCRETE BLOCK WALL
- CH = CHORD
- CHL = CHORD LENGTH
- CL = CLEAR
- C.O. = CLEAR CUT
- C.L.F. = CHAIN LINK FENCE
- C.M.E. = CANAL MAINTENANCE EASEMENT
- CONC. = CONCRETE
- C.U.P. = CONCRETE UTILITY POLE
- C.P. = CONCRETE PORCH
- C.S. = CONCRETE SLAB
- C.W. = CONCRETE WALK
- D.E. = DRAINAGE EASEMENT
- D.M.E. = DRAINAGE MAINTENANCE EASEMENT
- DRIVE = DRIVEWAY
- D.S. = DEGREES
- EB = ELECTRIC BOX
- E.T.P. = ELECTRIC TRANSFORMER PAD
- ENCL. = ENCROACHMENT
- ENCR. = ENCROACHMENT
- F.H. = FIRE HYDRANT
- F.I.P. = FOUND IRON PIPE
- F.I.R. = FOUND IRON ROD
- F.F.E. = FINISHED FLOOR ELEVATION
- F.N.D. = FOUND NAIL & DISK
- FT. = FEET
- F.N.P. = FEDERAL NATIONAL INSURANCE PROGRAM
- F.N. = FOUND NAIL
- HL = HIGH OR HEIGHT
- IN. & E.S. = INGRESS AND EGRESS EASEMENT
- LC.V. = IRRIGATION CONTROL VALVE
- I.F. = IRON FENCE
- L.B. = LICENSED BUSINESS
- L.P. = LIGHT POLE
- L.F.E. = LOWEST FLOOR ELEVATION
- L.M.E. = LAKE MAINTENANCE EASEMENT
- L. = MINUTES
- MB = MEASURED DISTANCE
- M.B. = MAIL BOX
- M.D.C.R. = MIAMI DADE COUNTY RECORDS
- M.E. = MAINTENANCE EASEMENT
- M.H. = MANHOLE
- N.A.P. = NOT A PART OF
- NGVD = NATIONAL GEODETIC VERTICAL DATUM
- N.T.S. = NOT TO SCALE
- # W.M. = NUMBER
- OS = OFFSET
- Q.H. = OVERHEAD UTILITY LINES
- Q.H.L. = OVERHEAD UTILITY LINES
- Q.R.B. = OFFICIAL RECORDS BOOK
- Q.V.H. = OVERHANG
- P.M.T. = PAVEMENT
- P. = PLANTER
- P.L. = PROPERTY LINE
- P.C. = POINT OF COMPOUND CURVATURE
- P.O. = POINT OF CURVATURE
- P.O.T. = POINT OF TANGENCY
- P.O.C. = POINT OF COMMENCEMENT
- P.O.B. = POINT OF BEGINNING
- P.R.C. = POINT OF REVERSE CURVATURE
- P.W. = PARKWAY
- P.R.M. = PERMANENT REFERENCE MONUMENT
- P.L.S. = PROFESSIONAL LAND SURVEYOR
- P. = POWER POLE
- P.P.S. = POOL PUMP SLAB
- P.U.E. = PUBLIC UTILITY EASEMENT
- R. = RECORD DISTANCE
- R.R. = RAIL ROAD
- R.S. = RESIDENCE
- R.W. = RIGHT-OF-WAY
- RAD. = RADIUS OR RADIAL
- R.O.E. = ROOF OVERHANG EASEMENT
- R.S. = RANGE
- SEC. = SECTION
- STY. = STORY
- SWK. = SEWER WALK
- S.L.P. = SET IRON PIPE
- S. = SOUTH
- S.P. = SCREENED PORCH
- S.V. = SEWER VALVE
- S. = SECONDS
- T. = TANGENT
- T. = TELEPHONE BODY
- T.B.M. = TEMPORARY BENCHMARK
- T.U.E. = TECHNOLOGY UTILITY EASEMENT
- T.S.P. = TRAFFIC SIGNAL POLE
- T.W.P. = TOWNSHIP
- UTL. = UTILITY
- U.E. = UTILITY EASEMENT
- U.P. = UTILITY POLE
- W.M. = WATER METER
- W.F. = WOOD FENCE
- W.P. = WOOD PORCH
- W.R. = WOOD ROOF
- W.V. = WATER VALVE
- M. = MONUMENT LINE
- C. = CENTER LINE
- Δ = DELTA

#### LEGEND

- O-H- = OVERHEAD UTILITY LINES
- X-X-X-X- = CONCRETE BLOCK WALL
- X-X-X-X- = CHAIN LINK FENCE
- O-O-O-O- = IRON FENCE
- ||-||-||-||- = WOOD FENCE
- - - - - = BUILDING SETBACK LINE
- - - - - = UTILITY EASEMENT
- - - - - = LIMITED ACCESS RW
- - - - - = NON-VEHICULAR ACCESS RW
- - - - - = EXISTING ELEVATIONS

**LEGAL DESCRIPTION:**  
LOT 51, BLOCK 16, BISCAYNE BEACH SECOND ADDITION, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 46, PAGE 39, OF THE PUBLIC RECORDS OF MIAMI DADE COUNTY, FLORIDA.

**PROPERTY ADDRESS:**  
1520 STILLWATER DRIVE  
MIAMI BEACH, FLORIDA 33141

**CERTIFICATION:**  
NELLY B. DIAZ

THE LAND AREA OF THE SUBJECT PROPERTY IS IN TOTAL ± 8,000 SQUARE FEET OR ± 0.18 ACRES AS DESCRIBED IN THE LEGAL DESCRIPTION.

#### LEGAL NOTES TO ACCOMPANY SKETCH OF SURVEY:

- THERE MAY BE EASEMENTS RECORDED IN THE PUBLIC RECORDS NOT SHOWN ON THIS SURVEY.
- EXAMINATIONS OF THE ABSTRACT OF TITLE WILL HAVE TO BE MADE TO DETERMINE RECORDED INSTRUMENTS, IF ANY, AFFECTING THE PROPERTY.
- THIS SURVEY IS SUBJECT TO DEDICATIONS, LIMITATIONS, RESTRICTIONS, RESERVATIONS OR EASEMENTS OF RECORD.
- LEGAL DESCRIPTIONS PROVIDED BY CLIENT OR ATTESTING TITLE COMPANY.
- BOUNDARY SURVEY MEANS A DRAWING AND/OR A GRAPHIC REPRESENTATION OF THE SURVEY WORK PERFORMED IN THE FIELD, COULD BE DRAWN AT A SHOWN SCALE AND/OR NOT TO SCALE; THE WALLS OR FENCES MAY BE EXAGGERATED FOR CLARITY PURPOSES.
- EASEMENTS AS SHOWN ARE PER PLAT BOOK, UNLESS DEPICTED OTHERWISE.
- THE TERM "ENCROACHMENT" MEANS VISIBLE AND ABOVE GROUND ENCROACHMENTS.
- ARCHITECTS SHALL VERIFY ZONING REGULATIONS, RESTRICTIONS, SETBACKS AND WILL BE RESPONSIBLE FOR SUBMITTING PLOT PLANS WITH CORRECT INFORMATION FOR "APPROVAL FOR AUTHORIZATION" TO THE PROPER AUTHORITIES IN NEW CONSTRUCTION.
- UNLESS OTHERWISE NOTED, THIS FIRM HAS NOT ATTEMPTED TO LOCATE FOOTING AND/OR FOUNDATIONS.
- FENCE OWNERSHIP NOT DETERMINED.
- THIS PLAN OF SURVEY, HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF THE ENTITIES NAMED HEREON, THE CERTIFICATE DOES NOT EXTEND TO ANY UNNAMED PARTY.

#### FLOOD ZONE INFORMATION:

THE NFIP FLOOD MAPS HAVE DESIGNATED THE HEREIN DESCRIBED LAND TO BE SITUATED IN: FLOOD ZONE: "AE"  
BASE FLOOD ELEVATION: 8.00 FT  
COMMUNITY: 120651  
PANEL: 0307  
SUFFIX: L  
DATE OF FIRM: 09/11/2009  
THE SUBJECT PROPERTY DOES LIE IN A SPECIAL FLOOD HAZARD AREA.

#### SURVEYOR'S NOTES:

- IF SHOWN, BEARINGS ARE REFERRED TO AN ASSUMED MERIDIAN, BY SAID PLAT IN THE DESCRIPTION OF THE PROPERTY, IF NOT, BEARINGS ARE THEN REFERRED TO COUNTY, TOWNSHIP MAPS.
- THE CLOSURE IN THE BOUNDARY SURVEY IS ABOVE 1:7500 FT.
- CERTIFICATE OF AUTHORIZATION LB # 7806.
- ALL ELEVATIONS SHOWN ARE REFERRED TO NATIONAL GEODETIC VERTICAL DATUM OF 1929 CITY OF MIAMI BEACH BENCH MARK CMC SW 01 LOCATED @ ENTRANCE TO STILLWATER DRIVE, PK N&W IN BULL NOSE OF CONC MEDIAN NO. 3220 SE @ 81ST STREET & BYRON AVENUE; ELEVATION IS 3.58 FEET OF N.A.V.D. OF 1988, CONVERTED TO NGVD (1929) BY USING CORPSON.

#### SURVEYOR'S CERTIFICATION:

I HEREBY CERTIFY THIS BOUNDARY SURVEY OF THE PROPERTY DESCRIBED HEREON, HAS RECENTLY BEEN SURVEYED AND DRAWN UNDER MY SUPERVISION, AND COMPLIES WITH THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL LAND SURVEYORS IN CHAPTER 51-17, FLORIDA ADMINISTRATIVE CODE PURSUANT TO 472.027, FLORIDA STATUTES.

Digitally signed by CARLOS M IBARRA  
Date: 2025.01.28 12:33:44 -05'00'

BY: CARLOS IBARRA (DATE OF FIELD WORK)

PROFESSIONAL LAND SURVEYOR NO. 6770 STATE OF FLORIDA  
(NOT VALID WITHOUT THE ORIGINAL SIGNATURE AND SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.)

REVISED ON: ADD ELEVATION IN NAVD DATUM - 10/03/2024

REVISED ON: BOUNDARY AND TOPOGRAPHIC SURVEY - 04/15/2024

DRAWN BY:	CARLOS D.
FIELD DATE:	04/15/2024
SURVEY NO.:	24-000583-2
SHEET:	1 OF 1

Digitally signed by CARLOS M IBARRA  
Date: 2025.01.28 12:34:25 -05'00'

L.B.# 7806 SEAL

**ANTONIO E. RODRIGUEZ**  
CAD Studio Architecture  
Antonio E. Rodriguez, Architect, AIA  
4808 S.W. 72 AVENUE, MIAMI FL. 33155  
LIC. No. AB93309  
T: (305) 662-1088

RESIDENCE FOR:  
**1520 STILLWATER DRIVE**  
MIAMI BEACH

OWNER:  
HILMAR THOR KRITINSSON  
RANWEIG EIN EINHARDTTR

DATE: 02/02/2025  
ISSUED: \_\_\_\_\_  
DRAWN: \_\_\_\_\_  
CHECKED: \_\_\_\_\_  
PR. O/E CT. No. \_\_\_\_\_

DESIGN REVIEW BOARD,  
CITY OF MIAMI BEACH DRB24-1042  
DRAWING TITLE:  
SURVEY  
SHEET:  
A-01  
2 OF 34

SINGLE FAMILY RESIDENTIAL - ZONING DATA SHEET

ALL INFORMATION REQUIRED BELOW MUST BE SUBMITTED AS REQUESTED. THE FORMAT OF THIS DOCUMENT MAY NOT BE MODIFIED OR ALTERED IN ANY WAY. SUBMITTALS FOUND INSUFFICIENT OR INCOMPLETE MAY FAIL THE REVIEW

ITEM #	Project Information				
1	Address:	1520 STILLWATER DRIVE, MIAMI BEACH, FL. 33141			
2	Folio number(s):	02-3203-011-2120			
3	Board and file number(s) :				
4	Year built: MULTIPLE	Zoning District:	RS-4		
5	Located within a Local Historic District (Yes or No):	NO			
6	Individual Historic Single Family Residence Site (Yes or No):	NO			
7	Home determined Architecturally Significant by CMB (Yes or No):	NO			
8	Base Flood Elevation:	+8.0' NGVD	Grade value in NGVD:	+5.2 NGVD	
9	Adjusted grade (Flood+Grade/2): and Future adjusted grade	6.6'/7.37' NGVD	Free board:	+13' NGVD	
10	30" above grade:	+7.7' NGVD	Lot Area:	8,000 SF	
11	Lot width:	50'-0"	Lot Depth:	160'-0"	
12	Max Lot Coverage SF and %:	2,400 SF (30%)	Proposed Lot Coverage SF and %:	2,399 SF (29.9%)	
13	Existing Lot Coverage SF and %:	N/A	Net Lot coverage (garage-storage)	N/A	
14	Front Yard Open Space SF and %:	1,050 SF (70%)	Rear Yard Open Space SF and %:	841.5 SF (70.125%)	
15	Max Unit Size SF and %:	4,000 SF (50%)	Proposed Unit Size SF and %:	4,000 SF (50%)	
16	Existing First Floor Unit Size:	N/A			
17	Proposed Roof Deck Area SF and % (Note: Maximum is 25% of the enclosed floor area immediately below):	N/A			
18	Signed and sealed Landscape Plans (Tree/Vegetation Survey, Tree Disposition Plan, and Irrigation Plan).	Yes or No:			
ZONING INFORMATION / CALCULATION		Required	Existing	Proposed	Deficiencies
19	Height measured from B.F.E. plus freeboard	31'-0" MAX.		31'-0" MAX.	
Front Setbacks:					
20	Front First level:	30'-0"		35'-0"	
	Front second level:	30'-0"		30'-0"	
	Front second level if lot coverage is 25% or greater:	35'-0"		30'-0"	WAIVER REQUEST
21	a) At least 35% of the front façade shall be setback 5' from the minimum required setback.	35'-0"		31'-8"	WAIVER REQUEST
	b) At least 50% of the second floor along a side elevation facing a street shall be setback 5' from the minimum required setback.	N/A			
22	Sum of side yard :				
23	Side 1:	12'-6"		16'-8"	
24	Side 2 or (facing street):				
25	Rear:	24'-0"		44'-2"	
26	Accessory Structure Side 1:	N/A			
27	Accessory Structure Side 2 or (facing street) :	N/A			
28	Accessory Structure Rear:	N/A			
30	Additional data or information that may be applicable to the project shall be provided in the following fields.				

Notes: Indicate N/A if not applicable.



ZONING DATA

**ANTONIO E. RODRIGUEZ**  
CAD Studio Architecture  
L.C. No. AB93309  
4800 S.W. 72 AVENUE, MIAMI FL. 33155  
T: (305) 662-1088

RESIDENCE FOR :  
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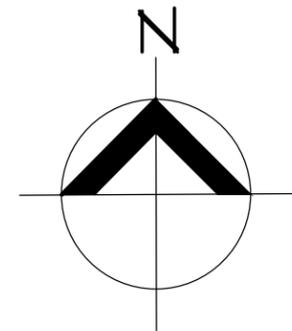
SHEET:  
A-02

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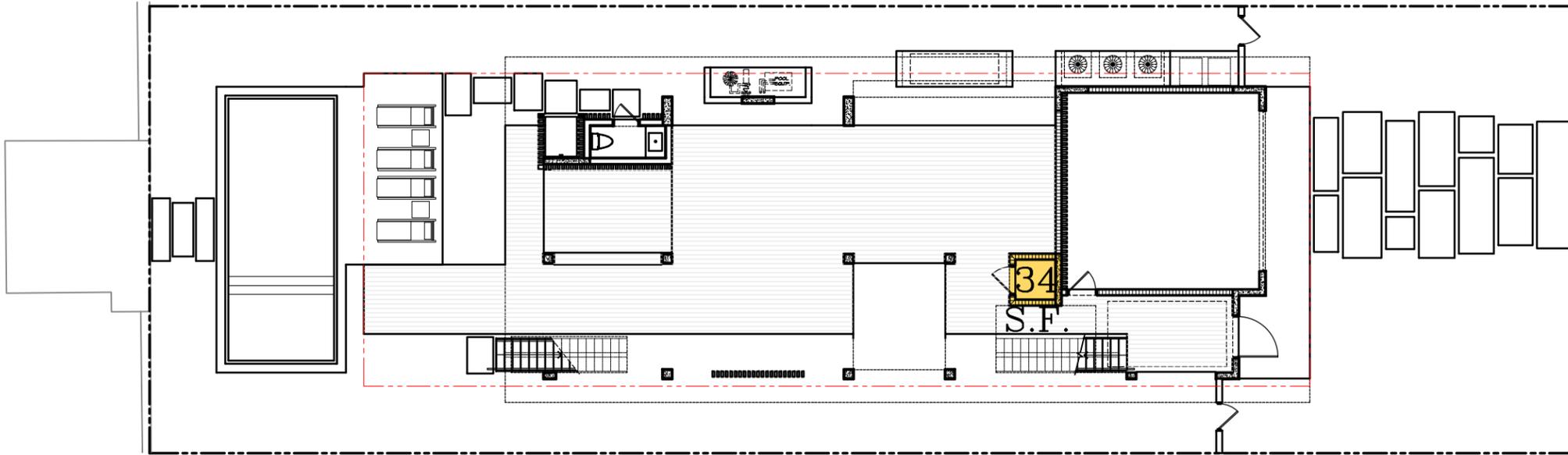


Google Earth

CONTEXT LOCATION MAP  
LOCATION PLAN (1/2 MILE RADIUS)



DATE: 02/02/2025	ISSUED:	D.P.	AR
	DRAWN:		
	CHECKED:		
	PROJECT No.		

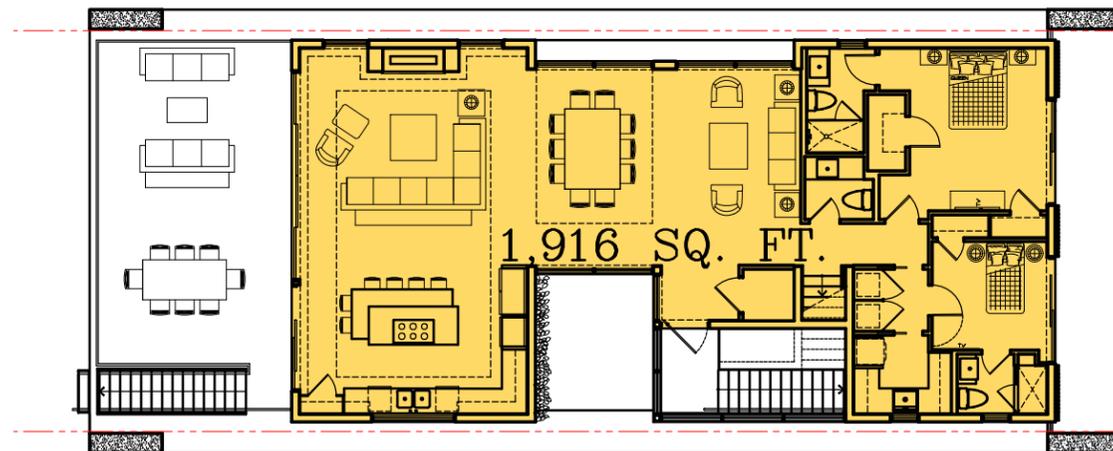


AS PER SECTION 7.2.2.3-(b)(5)(VII)  
 NON-AIR CONDITIONED AREAS  
 LOCATED DIRECTLY BELOW THE FIRST  
 HABITABLE FLOOR DOES NOT COUNT  
 IN THE UNIT SIZE CALCULATION

\*AS PER SECTION 7.2.2.3-(b)(6)(D)  
 UP TO 600 SF. OF GARAGE DOES NOT  
 COUNT IN THE UNIT SIZE CALCULATION

**UNDERSTORY LEVEL UNIT SIZE: 34 SQ. FT.**

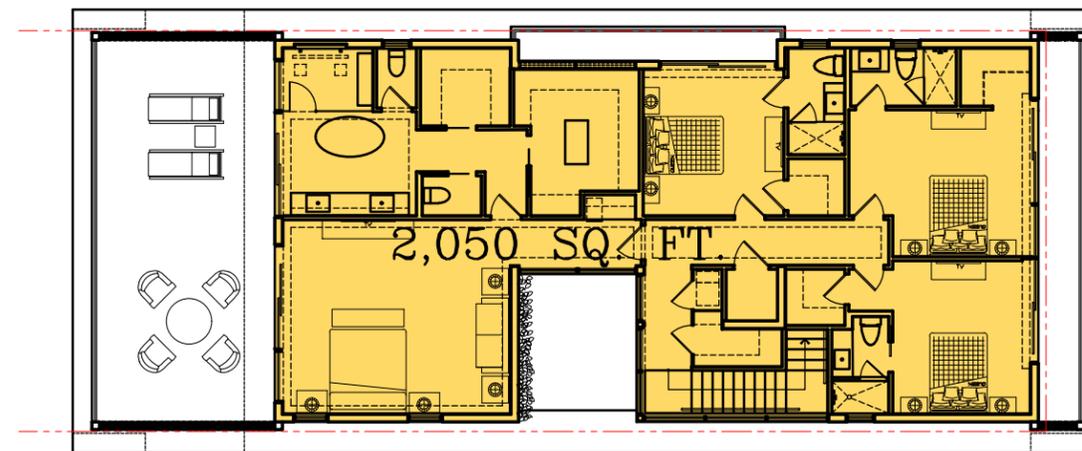
A/C AREA (ELEVATOR) : 34 SQ. FT.



**FIRST HABITABLE LEVEL UNIT SIZE: 1,916 SQ. FT.**

A/C AREA : 1,916 SQ. FT.

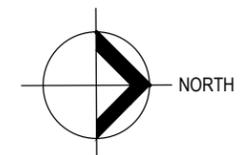
MAX. UNIT SIZE ALLOWED = 4,000 SQ. FT. (50 %)  
 MAX. UNIT SIZE PROVIDED = 4,000 SQ. FT. (50 %)

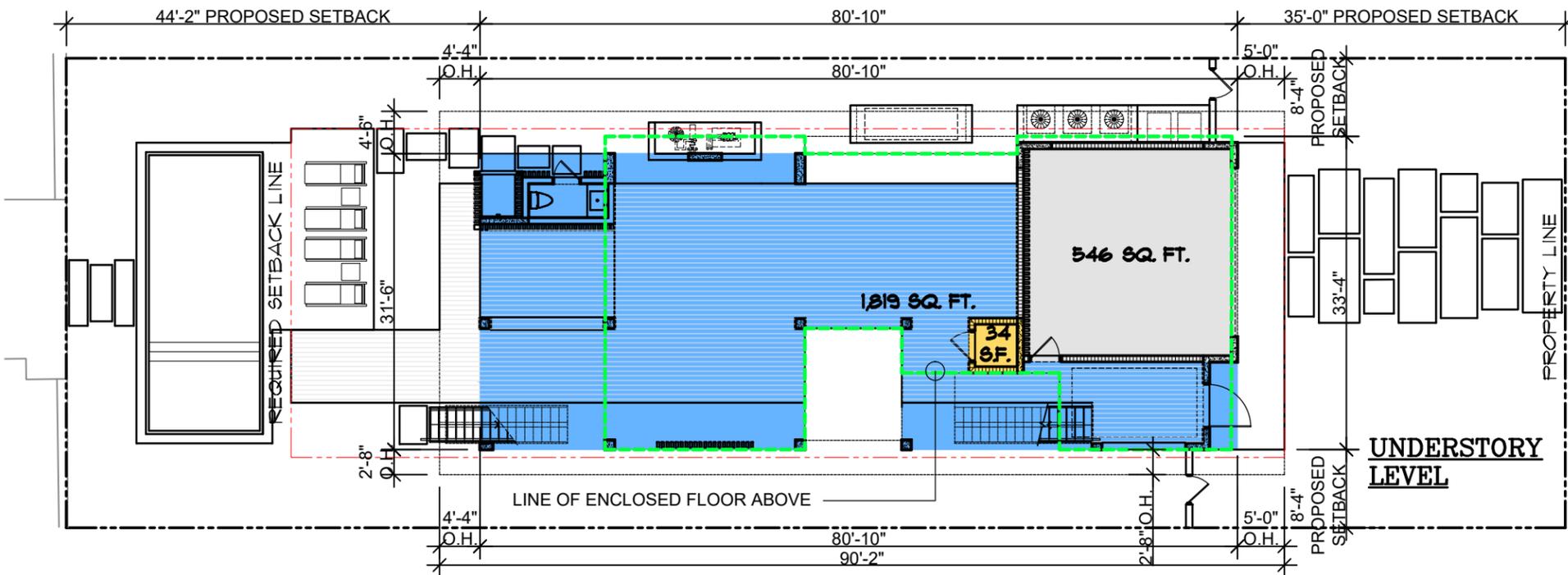


**SECOND FLOOR LEVEL UNIT SIZE: 2,050 SQ. FT.**

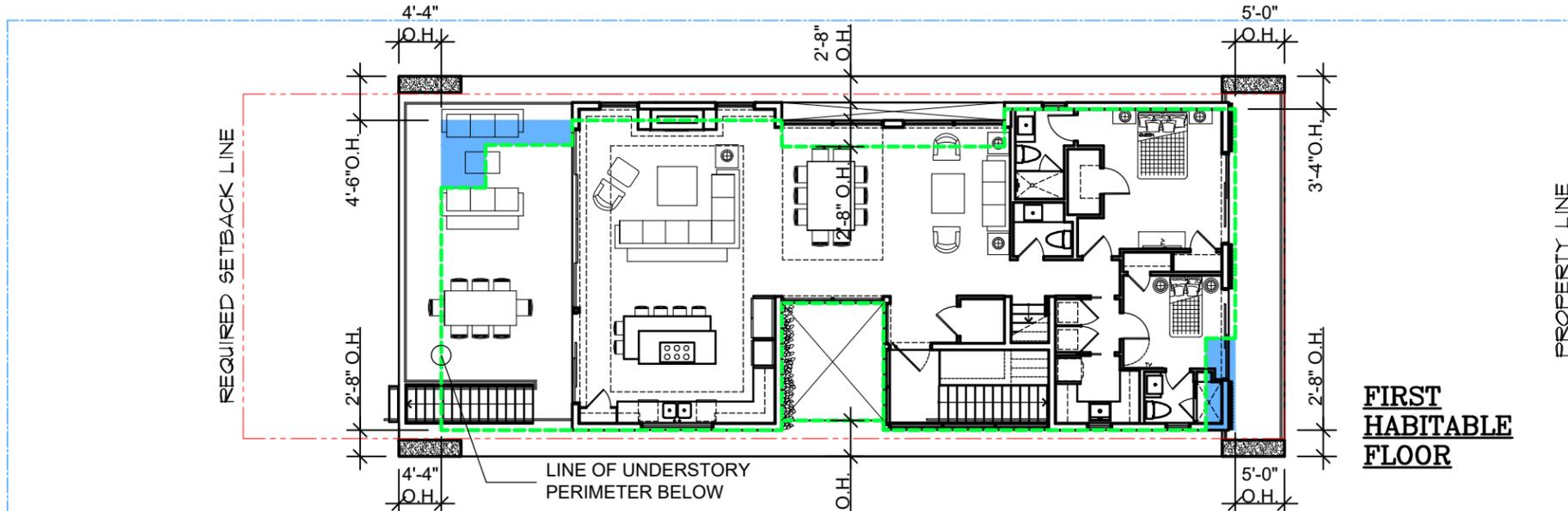
A/C AREA : 2,050 SQ. FT.

**UNIT SIZE CALCULATIONS**  
 SCALE : 1/16" = 1'-0"

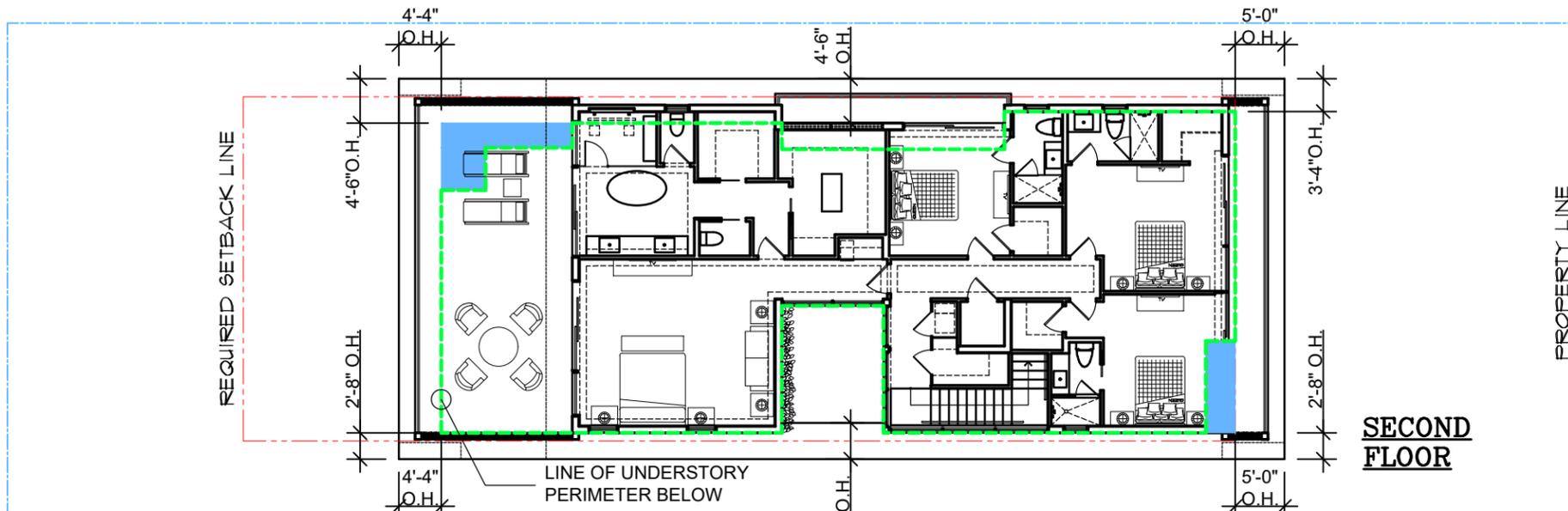




LOT COVERAGE	
AS PER MIAMI BEACH RESILIENCY CODE, 12.2.3 (b) (1)	
MAX. LOT COVERAGE (30% OF 8,000) : 2,400 SQ. FT.	
UNDERSTORY A/C AREA (ELEVATOR):	34 SQ. FT.
2 CAR CARPORT :	546 SQ. FT.
COVERED AREAS (OUTDOOR AREA COVERED BY AN ENCLOSED FLOOR ABOVE) :	1,819 SQ. FT.
<b>TOTAL LOT COVERAGE :</b>	<b>2,399 SQ. FT. (29.9%)</b>
KEY NOTE: UNDERSTORY LEVEL	
--- LINE OF FIRST HABITABLE FLOOR LEVEL ABOVE	
■ AREAS WITH MORE THAN 5'-0" PROJECTING AT UNDERSTORY LEVEL (INCLUDED IN THE LOT COVERAGE CALCULATION)	



KEY NOTE: FIRST HAB. FLOOR	
--- LINE OF UNDERSTORY PERIMETER BELOW	
■ AREAS WITH MORE THAN 5'-0" PROJECTING AT UNDERSTORY LEVEL (INCLUDED IN THE LOT COVERAGE CALCULATION)	

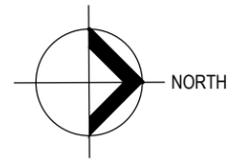


KEY NOTE: SECOND FLOOR	
--- LINE OF UNDERSTORY PERIMETER BELOW	
■ AREAS WITH MORE THAN 5'-0" PROJECTING AT UNDERSTORY LEVEL	

## LOT COVERAGE

SCALE : 1/16" = 1'-0"

NOTE: ALL PROJECTIONS EXCEEDING 5'-0" ARE COUNTED IN THE LOT COVERAGE CALCULATION.



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RESIDENCE FOR :  
**1520 STILLWATER DRIVE**  
 MIAMI BEACH FLORIDA

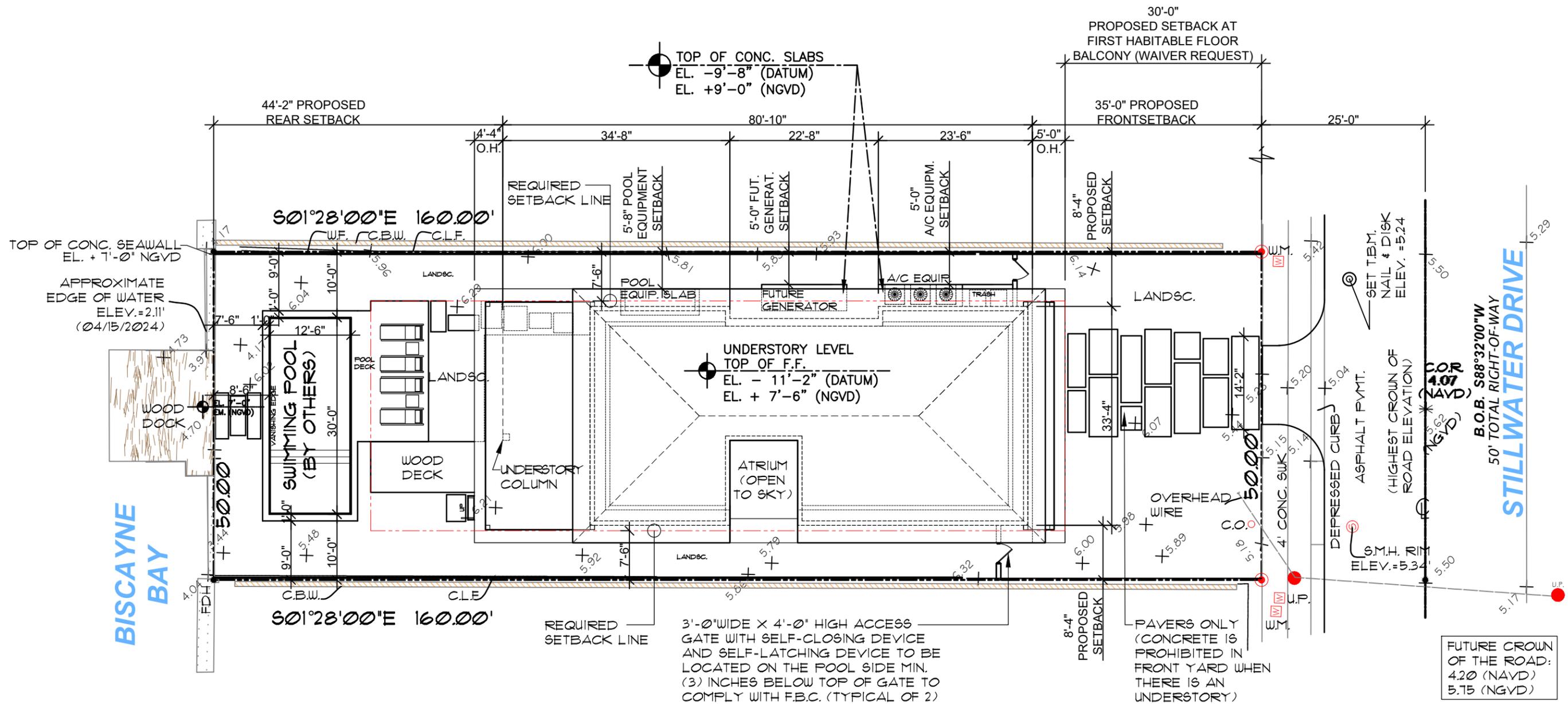
OWNER:  
 HILMAR THOR KRITINSSON  
 RANNEVEIG EIR EINARSDOTTIR

DATE: 02/02/2025	ISSUED:	D.P.:	AR:
	DRAWN:		
	CHECKED:		
	PROJECT No.:		

DESIGN REVIEW BOARD,  
 CITY OF MIAMI BEACH DBB24-1042  
 DRAWING TITLE:

LOT COVERAGE  
 DIAGRAM

SHEET:  
 A-12  
 6 OF 34



**BUILDING SETBACKS**

AS PER 7.2.2.3 (b)(1)

	REQUIRED	PROVIDED
PRINCIPAL FRONT (UNDERSTORY)	30' MIN.	35'-0"
FIRST HABITABLE FLOOR	30' MIN.	35'-8"
SECOND FLOOR *	35' MIN.	35'-8"
LEFT SIDE	7'-6" MIN.	8'-4"
RIGHT SIDE	7'-6" MIN.	8'-4"
REAR (15% OF LOT DEPTH)	24' MIN.	44'-2"

\* AS PER 7.2.2.3 (b)(2)(B)(I) FOR A 2 STORY HOME WITH AN OVERALL LOT COVERAGE OF 25% OR GREATER, AT LEAST 35% OF THE SECOND FLOOR ALONG THE FRONT ELEVATION SHALL SET BACK A MIN. OF 5' FROM THE MIN. REQUIRED. THE DRB MAY FOREGO THESE REQUIREMENTS, IN ACCORDANCE WITH THE APPLICABLE DESIGN REVIEW OR APPROPRIATENESS CRITERIA.

**SWIMMING POOL SETBACKS**

7.2.2.3(b)(12)(P)

	TO SWIMMING POOL DECK		TO WATER'S EDGE	
	REQUIRED	PROPOSED	REQUIRED	PROPOSED
FRONT	30'	127'	30'	139'
LEFT SIDE	7'-6" MIN.	7'-6'	9'-0' MIN.	10'-0'
RIGHT SIDE	7'-6" MIN.	7'-6'	9'-0' MIN.	10'-0'
REAR	6' MIN.	6'	7'-6' MIN.	8'-6"

**PROPOSED SITE PLAN**  
SCALE : 1/16" = 1'-0"





1. FRONT VIEW



2. FRONT VIEW



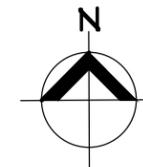
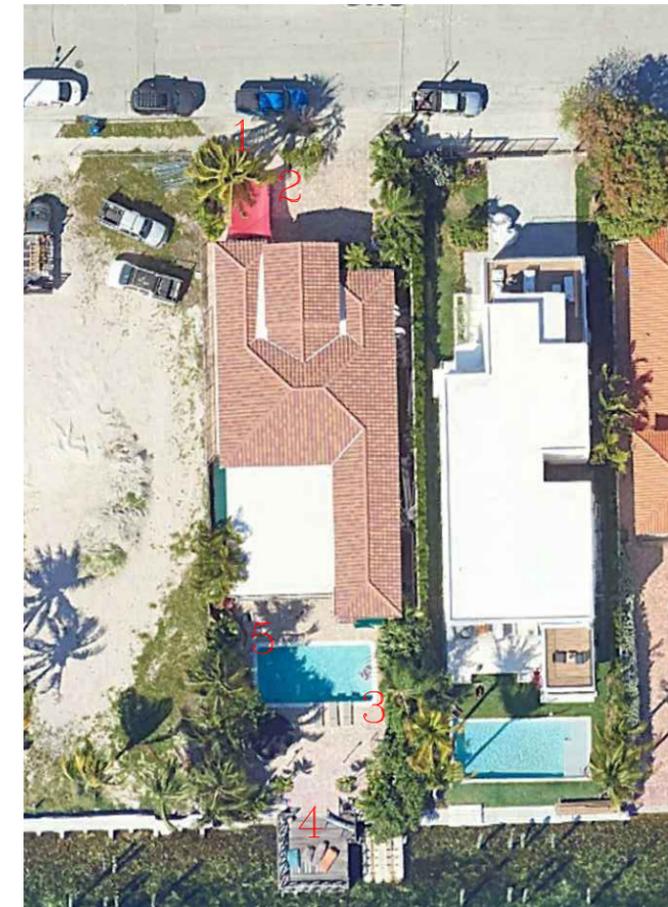
3. REAR VIEW



4. REAR VIEW



5. REAR WATER VIEW



KEY PLAN

CURRENT PROPERTY VIEWS

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RESIDENCE FOR :  
**1520 STILLWATER DRIVE**  
 MIAMI BEACH  
 FLORIDA

OWNER:  
 HILMAR THOR KRITINSSON  
 RANVEIG EIR EINARSDOTTIR

DATE: 02/02/2025  
 ISSUED: \_\_\_\_\_  
 DRAWN: \_\_\_\_\_  
 CHECKED: \_\_\_\_\_  
 PROJECT No. \_\_\_\_\_

DESIGN REVIEW BOARD,  
 CITY OF MIAMI BEACH DRB24-1042  
 DRAWING TITLE:  
 CURRENT  
 PROPERTY VIEWS  
 SHEET:  
 A-1.4  
 8 OF 34



1 1500 STILLWATER DR.



3 1510 STILLWATER DR.



5 1520 STILLWATER DR.  
PROJECT SITE



2 1501 STILLWATER DR.



4 1511 STILLWATER DR.



6 1521 STILLWATER DR.

VACANT  
LOT

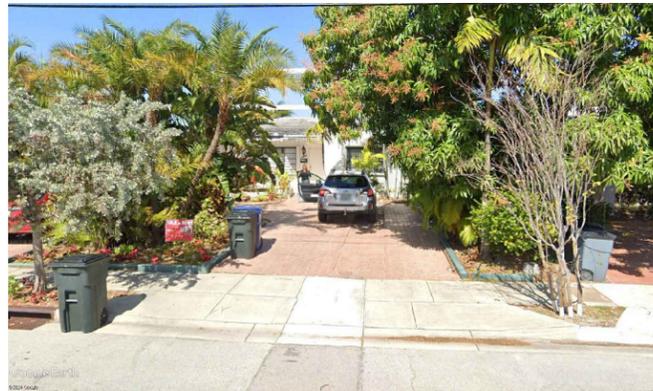
7 1530 STILLWATER DR.



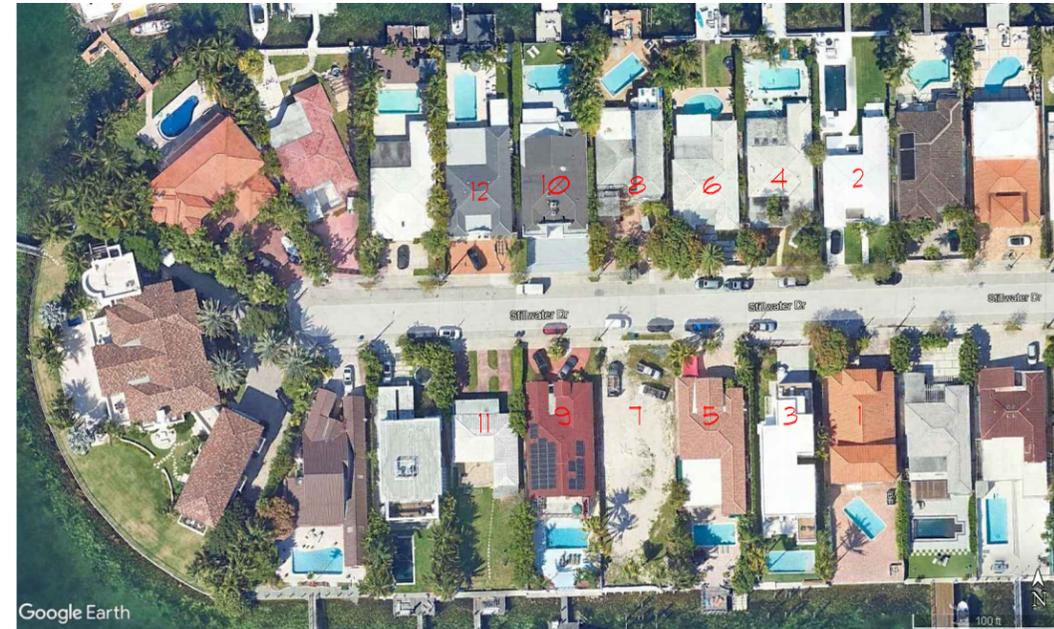
9 1540 STILLWATER DR.



11 1550 STILLWATER DR.



8 1531 STILLWATER DR.



10 1541 STILLWATER DR.



12 1551 STILLWATER DR.



KEY PLAN

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RESIDENCE FOR :  
**1520 STILLWATER DRIVE**  
FLORIDA

OWNER:  
HILMAR THOR KRITINSSON  
RANVEIG EIR EINARSDOTTIR MIAMI BEACH

DATE: 02/02/2025  
ISSUED: \_\_\_\_\_ D.P.: \_\_\_\_\_  
DRAWN: \_\_\_\_\_ AR: \_\_\_\_\_  
CHECKED: \_\_\_\_\_  
PROJECT No. \_\_\_\_\_

DESIGN REVIEW BOARD,  
CITY OF MIAMI BEACH DRB24-1042

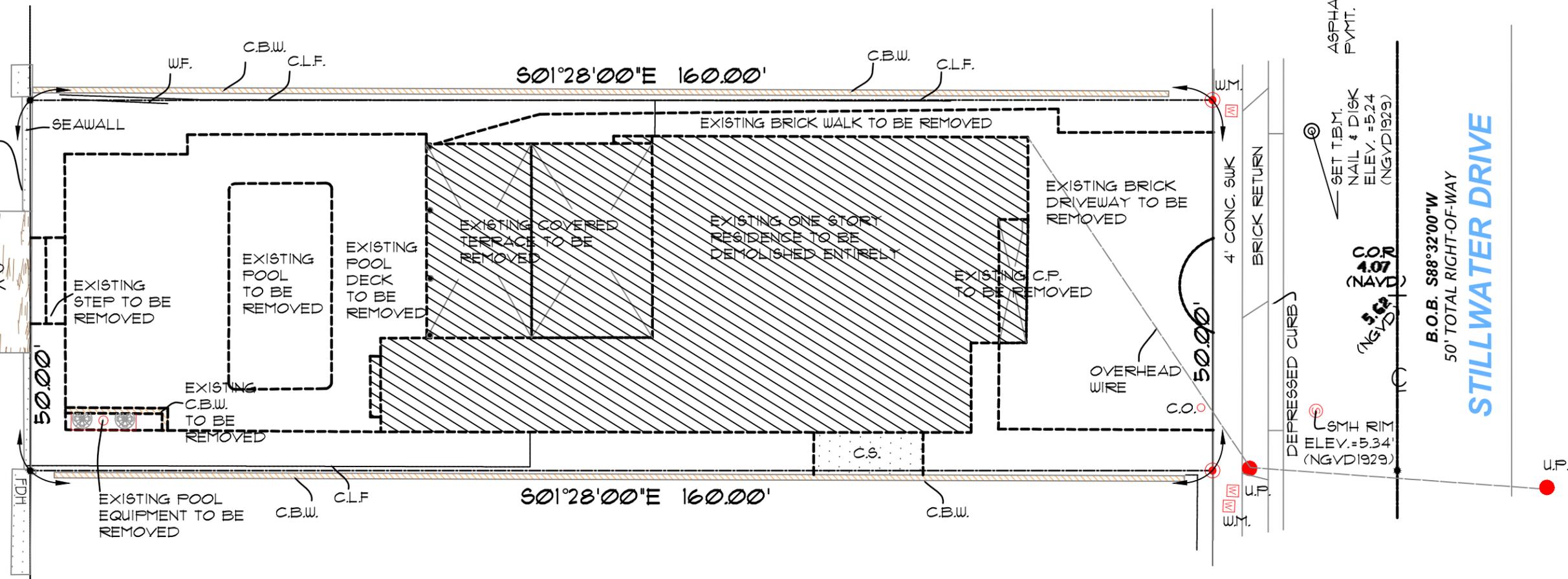
DRAWING TITLE:  
SURROUNDING  
PROPERTIES VIEWS

SHEET:  
A-1.5

9 OF 34

APPROXIMATE  
EDGE OF WATER  
ELEV.=2.11' (NGVD1929)  
ELEV.=0.56'(NAVD 1988)  
(04/15/2024)

BISCAYNE  
BAY



### DEMOLITION NOTES :

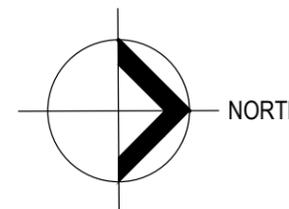
1. CONTRACTOR SHALL NOTIFY ALL UTILITIES FOR PROPER DISCONNECTION PRIOR TO DEMOLITION ACTIVITIES. CAP EXISTING ELECTRICAL AND PLUMBING FIXTURES BEING REMOVED.
2. CONTRACTOR SHALL PERFORM AND OBTAIN ALL PERMITS WITH CITY OF MIAMI BEACH & COMPLY WITH ALL NECESSARY REQUIREMENTS. CONTRACTOR SHALL PROVIDE NOTIFICATIONS AS REQUIRED AND COMPLY WITH LOCAL ORDINANCES.
3. CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY ACCIDENTAL DAMAGE TO ADJACENT PROPERTIES AND EXISTING ITEMS TO REMAIN. RESPONSIBILITY MEANS REPLACEMENT OF OR RESTORATION TO ORIGINAL CONDITION OF ANY DAMAGED ITEMS.
4. CONTRACTOR SHALL REMOVE ANY DECORATIVE ACCESSORIES AND LIGHT FIXTURES FROM WALLS, CEILINGS AND ELSEWHERE DIRECTED BY OWNER AND PROTECT SAME FROM POSSIBLE DAMAGE UNTIL INSPECTION FOR DISPOSITION IS MADE BY OWNER.
5. CONTRACTOR SHALL PERFORM INSECT/RODENT EXTERMINATION AS REQUIRED BY AUTHORITIES HAVING JURISDICTION.
6. CONDUCT OPERATIONS SO AS NOT INTERFERE WITH ADJACENT ROADS, STREETS DRIVES, WALKS, SERVICE LINES AND THE LIKE.
7. MAINTAIN BUILDING GROUNDS FREE FROM ACCUMULATION OF WASTE MATERIALS AND RUBBISH. DISPOSE ALL MATERIALS IMMEDIATELY AFTER DEMOLITION.
8. CONTRACTOR SHALL TAKE APPROPRIATE STEPS TO PREVENT AIRBORNE DUST TO SPREAD TO ADJACENT PROPERTIES. WATER SHALL BE APPLIED WHEREVER PRACTICAL TO SETTLE AND HOLD DUST TO A MINIMUM, PARTICULARLY DURING THE DEMOLITION & MOVING OF MATERIALS. PROVIDE DUMP CONTAINERS ON SITE FOR COLLECTION OF WASTE MATERIALS, RUBBISH AND DEBRIS FOR ALL TRADES.
9. DURING DEMOLITION PROCESS IF ANY STRUCTURAL WALLS, COL'S AND BEAMS ARE ENCOUNTERED NOTIFY THE ARCHITECT/ENGINEER DO NOT SAW-CUT ANY STRUCTURAL SLABS WITHOUT INSTRUCTIONS FROM THE STRUCTURAL ENGINEER. UPON COMPLETION OF DEMOLITION WORK, LEAVE THE PROPERTY AND ADJACENT AREAS CLEAN AND SATISFACTORY TO LOCAL AUTHORITIES AND THE ARCHITECT, BESIDES THE REMOVAL OF WASTE MATERIALS. THE ENTIRE SPACE SHALL BE LEFT IN A 'BROOM CLEAN' CONDITION, WITH THE COMPLETE REMOVAL OF ALL ACCUMULATIONS OF DUST FROM ANY REMAINING SURFACES, STRUCTURAL ELEMENTS OR OTHERWISE.
10. CONTRACTOR SHALL PERFORM ALL NECESSARY TESTING FOR ASBESTOS CONTAINING MATERIAL AND RETAIN A CERTIFIED ASBESTOS ABATEMENT COMPANY FOR REMOVAL OF ANY ASBESTOS CONTAINING MATERIAL PER STATE OF FLORIDA REGULATIONS.

### SCOPE OF WORK :

1. SCOPE OF DEMOLITION ENTAILS ENTIRE BUILDING.
2. REMOVE WALKWAYS, CONCRETE OR TILED PATIO, PRIVACY WALLS, DECKS, DRIVEWAYS AND FENCES AS INDICATED ON PLANS.
3. MAINTAIN AND PROTECT EXISTING TREES PER TREE DISPOSITION PLAN.

## DEMOLITION SITE PLAN

SCALE : 1/16" = 1'-0"



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RESIDENCE FOR :  
**1520 STILLWATER DRIVE**  
MIAMI BEACH

OWNER:  
HILMAR THOR KRITINSSON  
RANNVEIG EIR EINARSDOTTIR

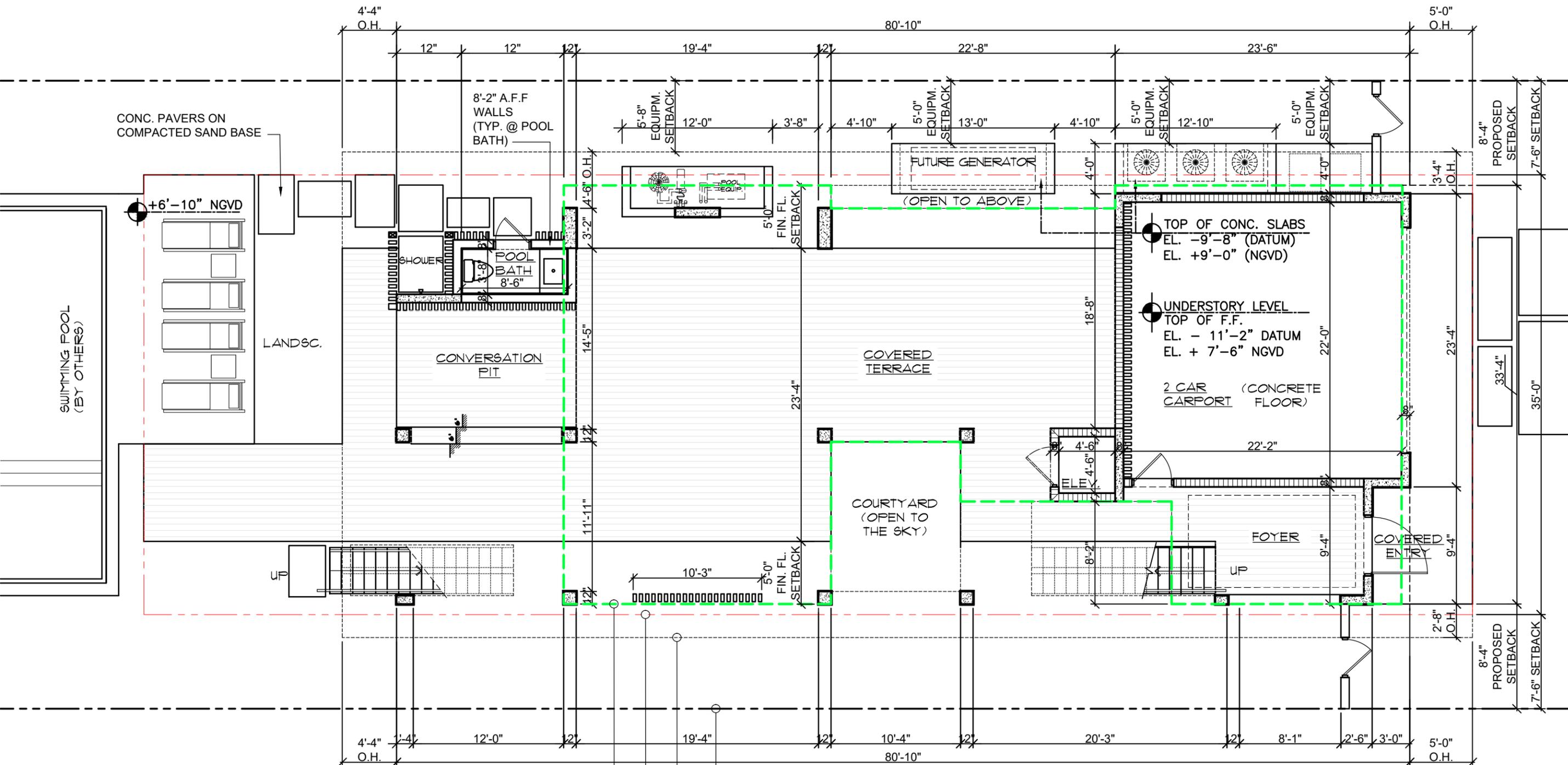
DATE: 02/02/2025  
ISSUED:  
DRAWN: D.P.  
CHECKED: A.R.  
PROJECT No.

DESIGN REVIEW BOARD,  
CITY OF MIAMI BEACH DRB24-1042  
DRAWING TITLE:

DEMOLITION  
SITE PLAN

SHEET:  
A-2.0

10 OF 34

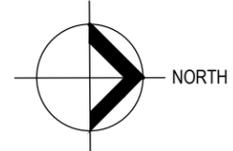


LINE OF ENCLOSED 2ND FL ABOVE  
 LINE OF REQUIRED SETBACK  
 LINE OF EYEBROW ABOVE  
 PROPERTY LINE

	8'-2" AFF CMU WALL		3" TYP. @ 3" TYP.		3"x8" @ 6" O.C. ALUMN. SCREEN
	CONC. COLUMN		WOOD DECK FLOORING W/ 1/8" GAP BETWEEN SLATS		
	CMU BREAKAWAY WALL				

# UNDERSTORY LEVEL PLAN

SCALE : 1/8" = 1'-0"



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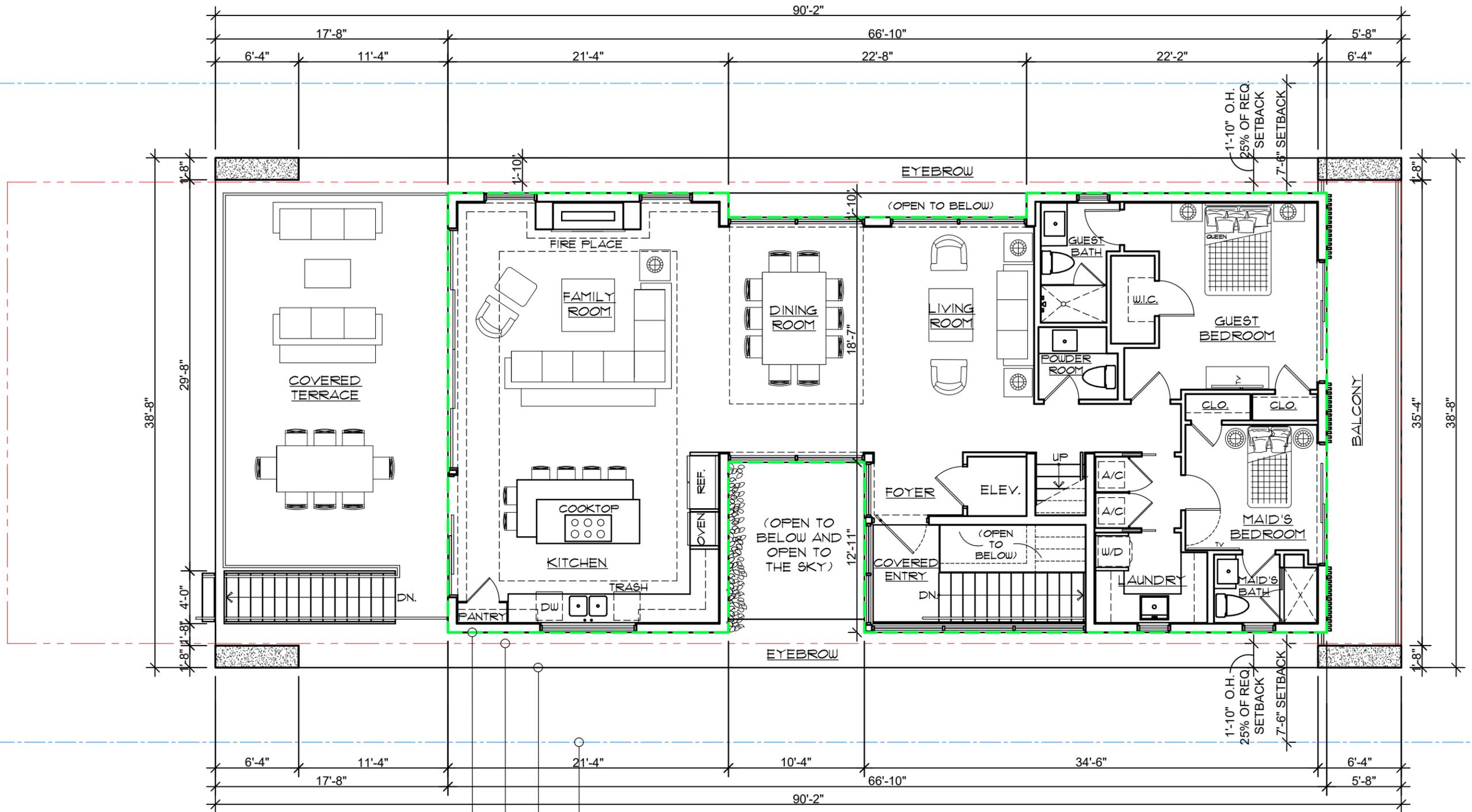
RESIDENCE FOR :  
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 MIAMI BEACH  
 FLORIDA

OWNER:  
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DATE: 02/02/2025  
 ISSUED: \_\_\_\_\_  
 DRAWN: D.P.  
 CHECKED: A.R.  
 PROJECT No. \_\_\_\_\_

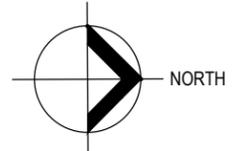
DESIGN REVIEW BOARD,  
 CITY OF MIAMI BEACH DRB24-1042  
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 UNDERSTORY LEVEL PLAN

SHEET:  
 A-2.1  
 11 OF 34

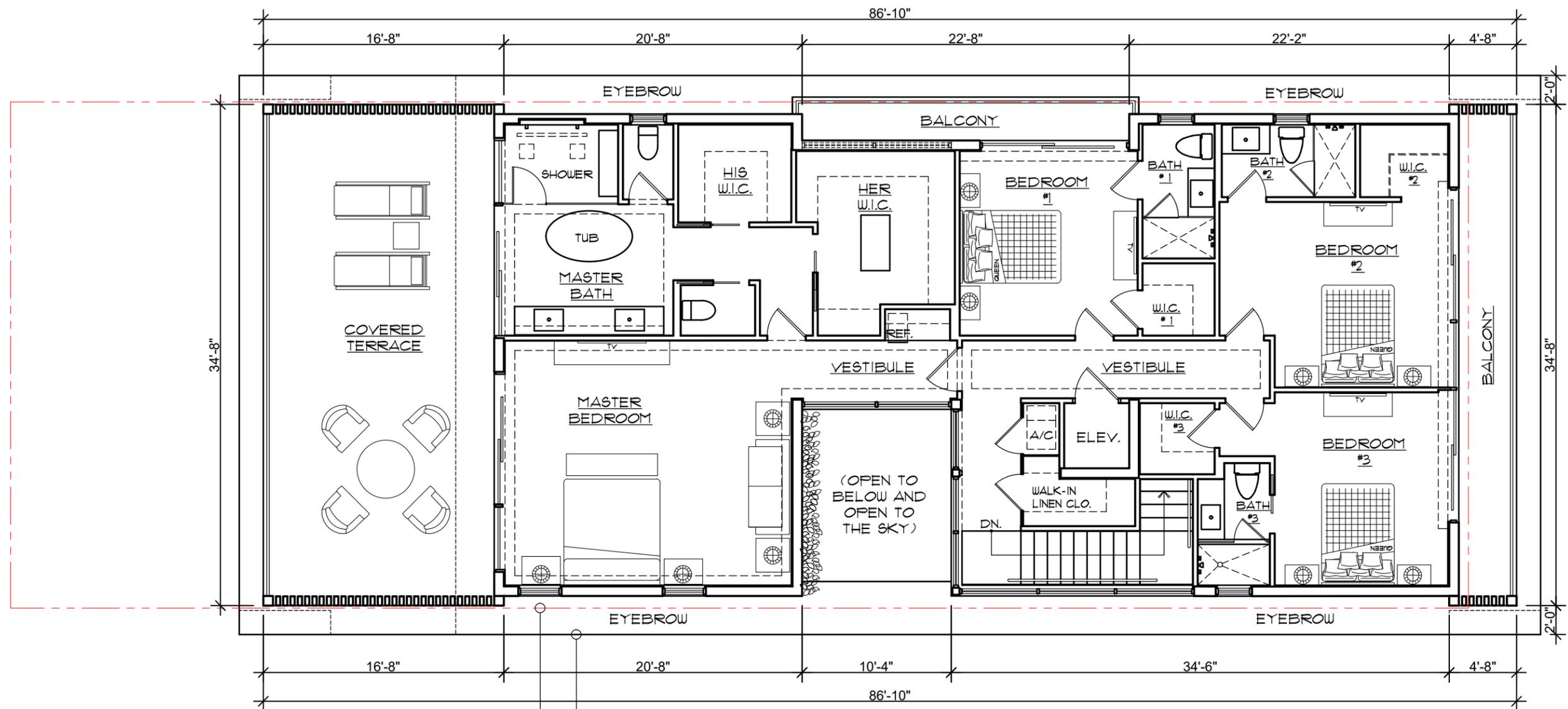


LINE OF ENCLOSED 2ND FL ABOVE  
 LINE OF REQUIRED SETBACK  
 LINE OF EYEBROW  
 PROPERTY LINE

**FIRST HABITABLE  
 FLOOR LEVEL PLAN**  
 SCALE : 1/8" = 1'-0"



DATE: 02/02/2025	ISSUED:	D.P.	AR
	DRAWN:		
	CHECKED:		
	PROJECT No.		



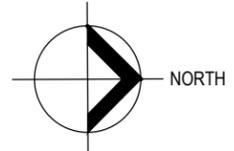
LINE OF REQUIRED SETBACK \_\_\_\_\_

LINE OF EYEBROW AND O.H. (ABOVE) \_\_\_\_\_

PROPERTY LINE \_\_\_\_\_

# SECOND FLOOR LEVEL PLAN

SCALE : 1/8" = 1'-0"



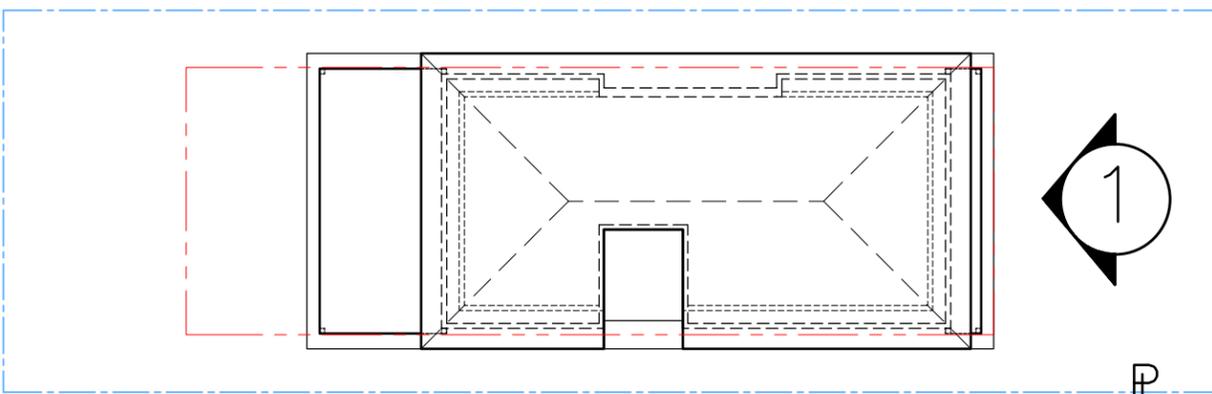
DATE: 02/02/2025	ISSUED:	D.P.	PROJECT No.
DRAWN:	CHECKED:	A.R.	

DESIGN REVIEW BOARD,  
 CITY OF MIAMI BEACH DRB24-1042  
 DRAWING TITLE:  
**SECOND FLOOR  
 LEVEL PLAN**

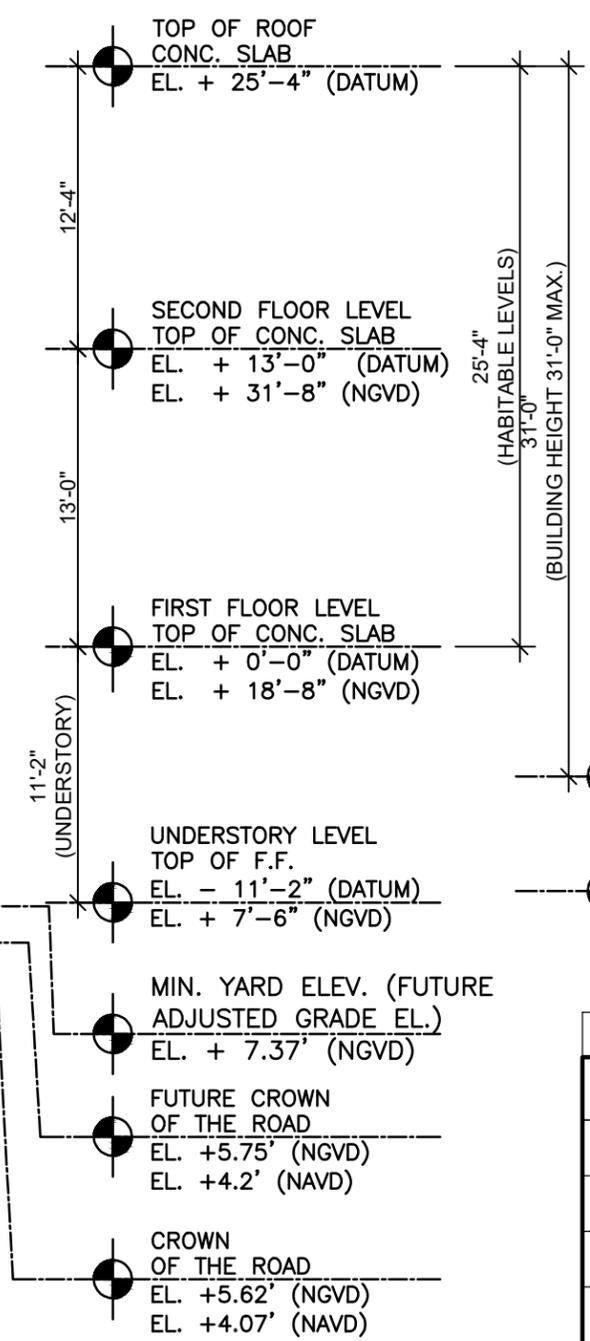
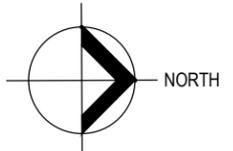




1 FRONT (NORTH) ELEVATION  
SCALE: 1/8" = 1'-0"



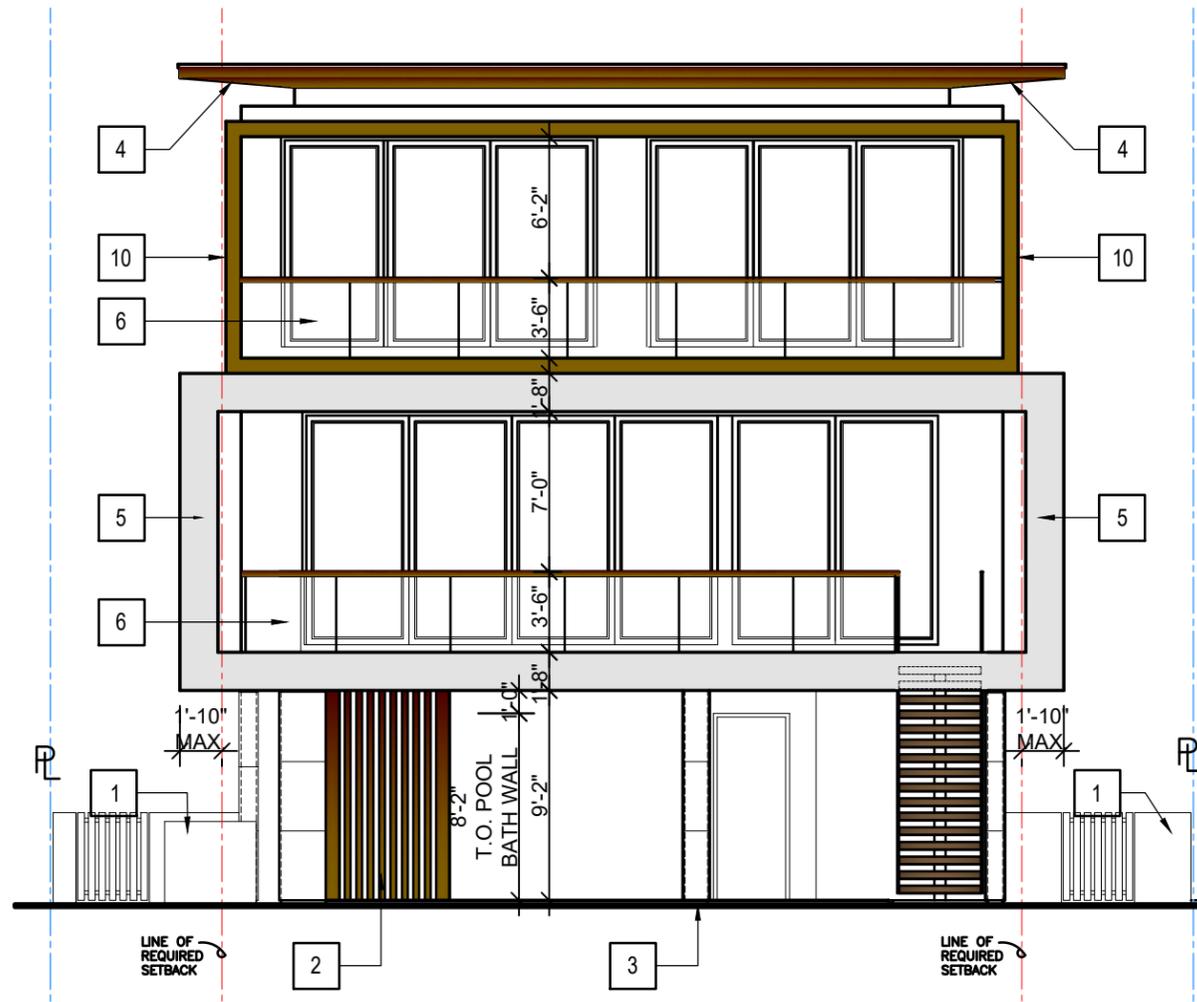
ELEVATION KEYPLAN  
N.T.S.



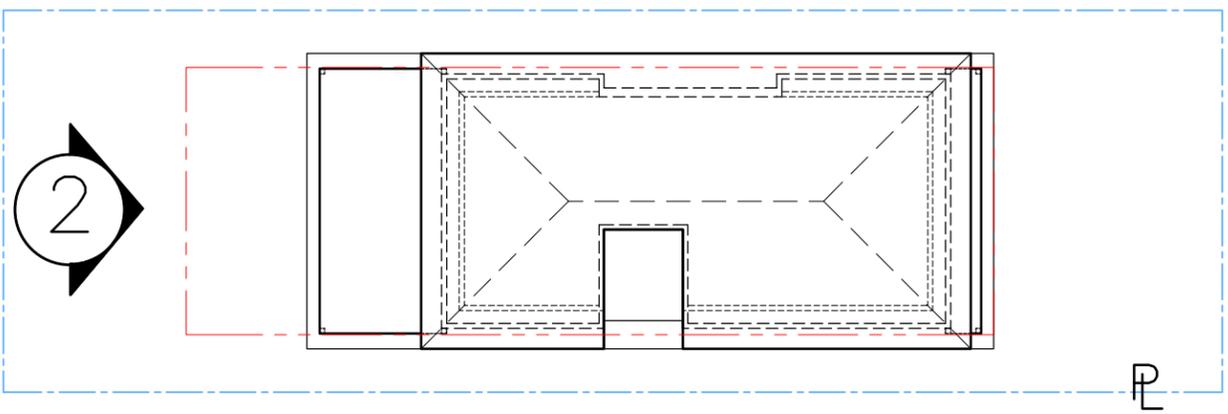
BUILDING HEIGHT NOTE:  
31 FT. MAX HEIGHT ALLOWED FOR UNDERSTORY, MEASURED FROM FREEBOARD. PER SECTION 7.2.2.3(b)(1) FOOTNOTE 8

ELEVATIONS KEY NOTES	
1	SMOOTH STUCCO FINISH (TYP. U.O.N.) COLOR: WHITE
2	3"X1.5" ALUMIN. VERTICAL PICKETS (IMITATION WOOD) @ 6" O.C.
3	DOMINICAN CORAL VENEER (TYP. WHERE SHOWN)
4	CYPRESS TONGUE AND GROOVE PLANKS (TYP. AT ALL EXTERIOR CEILINGS U.O.N.)
5	EXPOSED CONCRETE FINISH.
6	42" AFF. CAT. II SAFETY GLASS RAILING
7	MAHOGANY WOOD DOOR
8	2"X4" ALUMIN. VERTICAL PICKETS (IMITATION WOOD) AT 4" O.C.
9	ARTIFICIAL GREEN WALL (BY OTHERS)
10	ALUMN. CLADDING OVER CONCRETE (IMITATION WOOD COLOR)
11	3.5"X1.5" ALUMIN. VERTICAL PICKETS (IMITATION WOOD) AT 6" O.C.

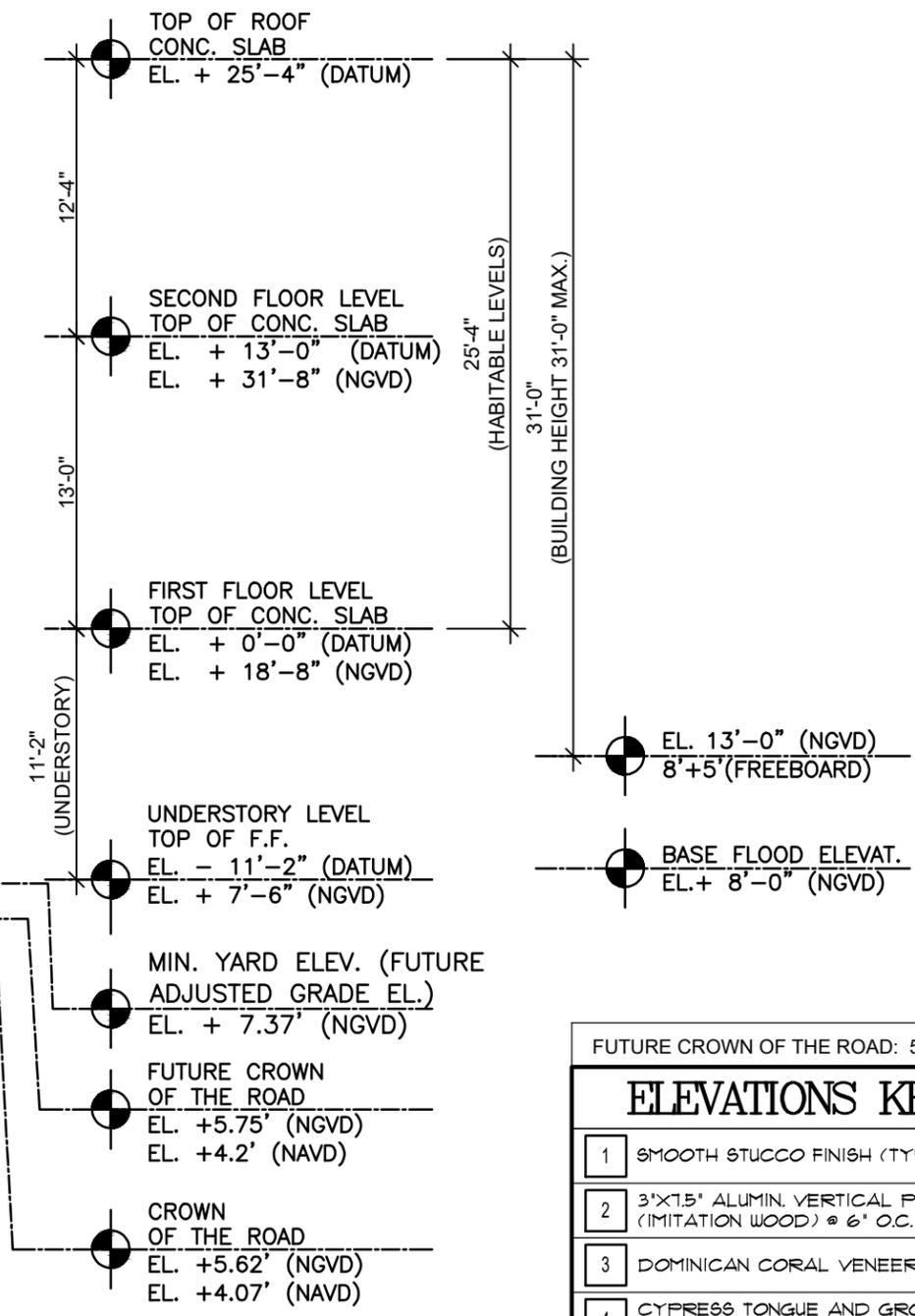
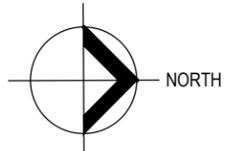
NOTES:  
- ALL WINDOWS & EXTERIOR DOORS TO BE IMPACT RESISTANT.  
- ROOF TO HAVE LOW ALBEDO ROOF MEMBRANE.



**2 REAR (SOUTH) ELEVATION**  
SCALE : 1/8" = 1'-0"



**ELEVATION KEYPLAN**  
N.T.S.



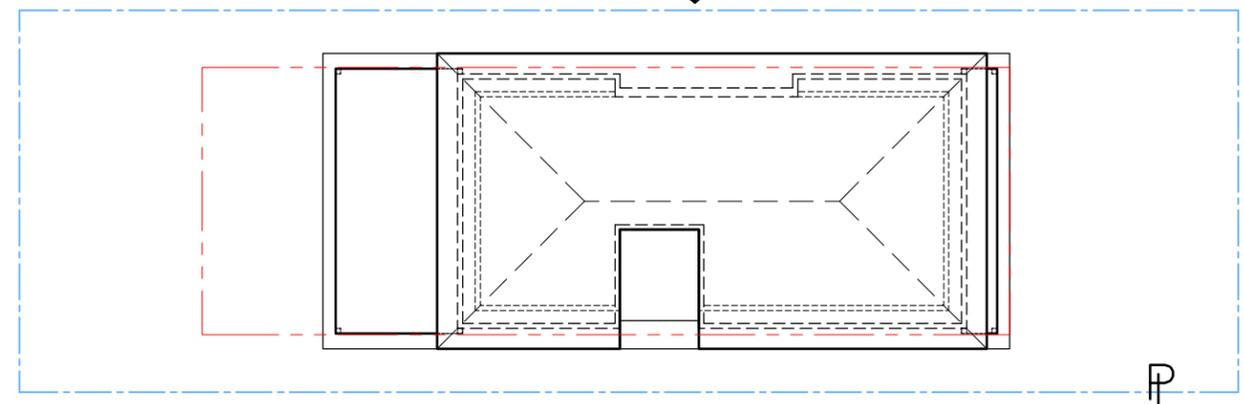
**BUILDING HEIGHT NOTE:**  
31 FT. MAX HEIGHT ALLOWED FOR UNDERSTORY, MEASURED FROM FREEBOARD. PER SECTION 7.2.2.3(b)(1) FOOTNOTE 8

ELEVATIONS KEY NOTES	
1	SMOOTH STUCCO FINISH (TYP. U.O.N.) COLOR: WHITE
2	3"X1.5" ALUMIN. VERTICAL PICKETS (IMITATION WOOD) @ 6" O.C.
3	DOMINICAN CORAL VENEER (TYP. WHERE SHOWN)
4	CYPRESS TONGUE AND GROOVE PLANKS (TYP. AT ALL EXTERIOR CEILINGS U.O.N.)
5	EXPOSED CONCRETE FINISH.
6	42" AFF. CAT. II SAFETY GLASS RAILING
7	MAHOGANY WOOD DOOR
8	2"X4" ALUMIN. VERTICAL PICKETS (IMITATION WOOD) AT 4" O.C.
9	ARTIFICIAL GREEN WALL (BY OTHERS)
10	ALUMIN. CLADDING OVER CONCRETE (IMITATION WOOD COLOR)
11	3.5"X1.5" ALUMIN. VERTICAL PICKETS (IMITATION WOOD) AT 6" O.C.

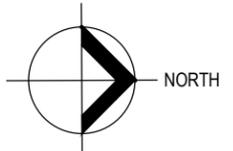
NOTES:  
- ALL WINDOWS & EXTERIOR DOORS TO BE IMPACT RESISTANT.  
- ROOF TO HAVE LOW ALBEDO ROOF MEMBRANE.



**3 RIGHT SIDE ELEVATION (WEST)**  
 SCALE : 1/8" = 1'-0"



**ELEVATION KEYPLAN**  
 N.T.S.



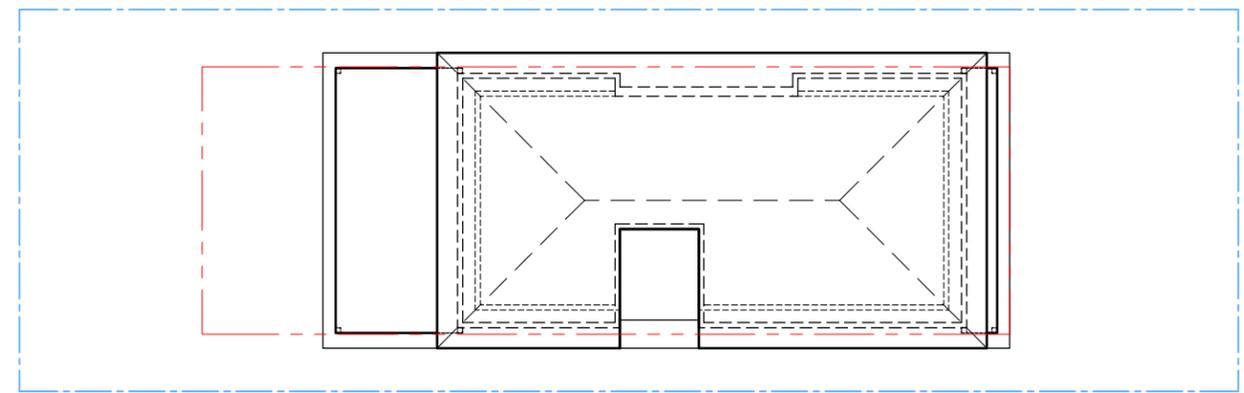
**BUILDING HEIGHT NOTE:**  
 31 FT. MAX HEIGHT ALLOWED FOR UNDERSTORY, MEASURED FROM FREEBOARD. PER SECTION 7.2.2.3(b)(1) FOOTNOTE 8

ELEVATIONS KEY NOTES	
1	SMOOTH STUCCO FINISH (TYP. U.O.N.) COLOR: WHITE
2	3"x1.5" ALUMIN. VERTICAL PICKETS (IMITATION WOOD) @ 6" O.C.
3	DOMINICAN CORAL VENEER (TYP. WHERE SHOWN)
4	CYPRESS TONGUE AND GROOVE PLANKS (TYP. AT ALL EXTERIOR CEILINGS U.O.N.)
5	EXPOSED CONCRETE FINISH.
6	42" AFF. CAT. II SAFETY GLASS RAILING
7	MAHOGANY WOOD DOOR
8	2"x4" ALUMIN. VERTICAL PICKETS (IMITATION WOOD) AT 4" O.C.
9	ARTIFICIAL GREEN WALL (BY OTHERS)
10	ALUMIN. CLADDING OVER CONCRETE (IMITATION WOOD COLOR)
11	3.5"x1.5" ALUMIN. VERTICAL PICKETS (IMITATION WOOD) AT 6" O.C.

NOTES:  
 - ALL WINDOWS & EXTERIOR DOORS TO BE IMPACT RESISTANT.  
 - ROOF TO HAVE LOW ALBEDO ROOF MEMBRANE.



**4** LEFT SIDE ELEVATION (EAST)  
 SCALE : 1/8" = 1'-0"



**ELEVATION KEYPLAN**  
 N.T.S.

4

NORTH

- MIN. YARD ELEV. (FUTURE ADJUSTED GRADE EL.) EL. + 7.37' (NGVD)
- FUTURE CROWN OF THE ROAD EL. +5.75' (NGVD) EL. +4.2' (NAVD)
- CROWN OF THE ROAD EL. +5.62' (NGVD) EL. +4.07' (NAVD)

ELEVATIONS KEY NOTES	
1	SMOOTH STUCCO FINISH (TYP. U.O.N.) COLOR: WHITE
2	3"x1.5" ALUMIN. VERTICAL PICKETS (IMITATION WOOD) @ 6" O.C.
3	DOMINICAN CORAL VENEER (TYP. WHERE SHOWN)
4	CYPRESS TONGUE AND GROOVE PLANKS (TYP. AT ALL EXTERIOR CEILINGS U.O.N.)
5	EXPOSED CONCRETE FINISH.
6	42" AFF. CAT. II SAFETY GLASS RAILING
7	MAHOGANY WOOD DOOR
8	2"x4" ALUMIN. VERTICAL PICKETS (IMITATION WOOD) AT 4" O.C.
9	ARTIFICIAL GREEN WALL (BY OTHERS)
10	ALUMN. CLADDING OVER CONCRETE (IMITATION WOOD COLOR)
11	3.5"x1.5" ALUMIN. VERTICAL PICKETS (IMITATION WOOD) AT 6" O.C.

NOTES:  
 - ALL WINDOWS & EXTERIOR DOORS TO BE IMPACT RESISTANT.  
 - ROOF TO HAVE LOW ALBEDO ROOF MEMBRANE.

**BUILDING HEIGHT NOTE:**  
 31 FT. MAX HEIGHT ALLOWED FOR UNDERSTORY, MEASURED FROM FREEBOARD. PER SECTION 7.2.2.3(b)(1) FOOTNOTE 8

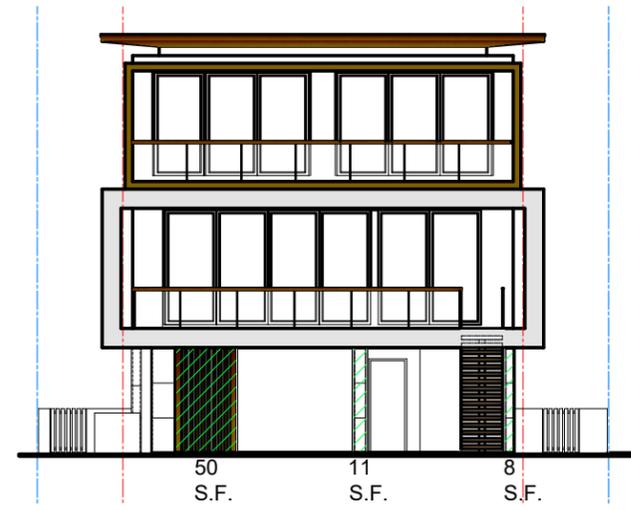


1

### FRONT ELEVATION (NORTH)

SCALE : 1/16" = 1'-0"

TOTAL UNDERSTORY FACADE AREA:	301 SQ. FT. (100%)
AREA: (23 SQ. FT. + 41 SQ. FT. + 47 SQ. FT. + 26 SQ. FT.)=	137 SQ. FT. (45.5%)
OPEN AREA:	164 SQ. FT. (54.5%)



2

### REAR ELEVATION (SOUTH)

SCALE : 1/16" = 1'-0"

TOTAL UNDERSTORY FACADE AREA:	272 SQ. FT. (100%)
50 S.F. + 11 S.F. + 8 S.F.=	69 SQ. FT. (25%)
OPEN AREA:	203 SQ. FT. (75%)



3

### WEST ELEVATION (RIGHT)

SCALE : 1/16" = 1'-0"

TOTAL UNDERSTORY FACADE AREA:	748 SQ. FT. (100%)
AREA: (216 SQ. FT. + 11 SQ. FT. + 60 SQ. FT. + 87 SQ. FT.)=	374 SQ. FT. (50%)
OPEN AREA:	374 SQ. FT. (50%)



4

### EAST ELEVATION (LEFT)

SCALE : 1/16" = 1'-0"

TOTAL UNDERSTORY FACADE AREA:	709 SQ. FT. (100%)
14 S.F. + (11 S.F. X 4) + 94 S.F. + 24 S.F.=	176 SQ. FT. (25%)
OPEN AREA:	533 SQ. FT. (75%)

**BUILDING HEIGHT NOTE:**  
31 FT. MAX HEIGHT  
ALLOWED FOR  
UNDERSTORY, MEASURED  
FROM FREEBOARD. PER  
SECTION 7.2.2.3(b)(1)  
FOOTNOTE 8

EL. 13'-0" (NGVD)  
8'+ 5'(FREEBOARD)

BASE FLOOD ELEVATION  
EL. +8.00' (NGVD)

FUTURE CROWN  
OF THE ROAD:  
4.20 (NAVD)  
5.75 (NGVD)

TOP OF CONC. SLAB  
EL. + 25'-4" (DATUM)

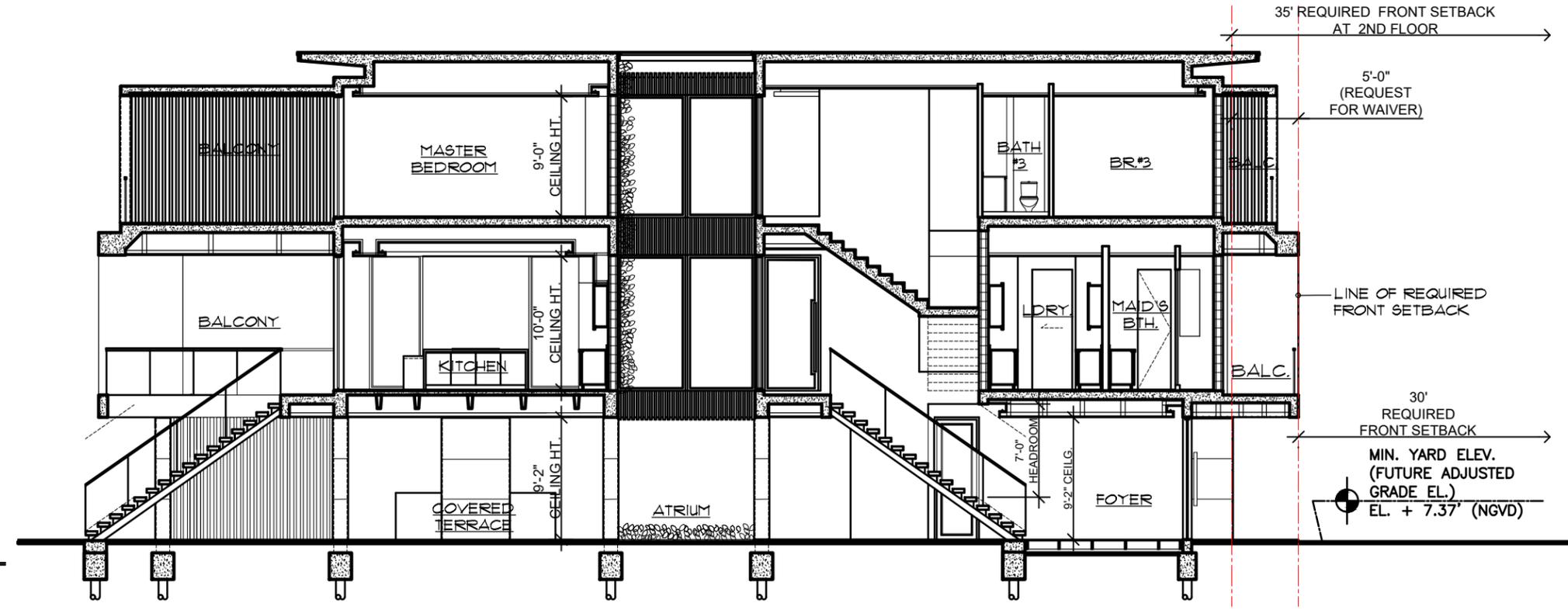
SECOND FLOOR LEVEL  
TOP OF CONC. SLAB  
EL. + 13'-0" (DATUM)  
EL. + 31'-8" (NGVD)

F.H. LEVEL  
TOP OF CONC. SLAB  
EL. + 0'-0" (DATUM)  
EL. + 18'-8" (NGVD)

UNDERSTORY LEVEL  
TOP OF F.F.  
EL. - 11'-2" (DATUM)  
EL. + 7'-6" (NGVD)

FUTURE C.O.R.  
EL. +5.75' (NGVD)  
EL. +4.2' (NAVD)

C.O.R.  
EL. +5.62' (NGVD)  
EL. +4.07' (NAVD)



**1 SECTION**  
A4.1 SCALE: 3/32" = 1'-0"

**BUILDING HEIGHT NOTE:**  
31 FT. MAX HEIGHT  
ALLOWED FOR  
UNDERSTORY, MEASURED  
FROM FREEBOARD. PER  
SECTION 7.2.2.3(b)(1)  
FOOTNOTE 8

EL. 13'-0" (NGVD)  
8'+ 5'(FREEBOARD)

BASE FLOOD ELEVATION  
EL. +8.00' (NGVD)

FUTURE CROWN  
OF THE ROAD:  
4.20 (NAVD)  
5.75 (NGVD)

TOP OF CONC. SLAB  
EL. + 25'-4" (DATUM)

SECOND FLOOR LEVEL  
TOP OF CONC. SLAB  
EL. + 13'-0" (DATUM)  
EL. + 31'-8" (NGVD)

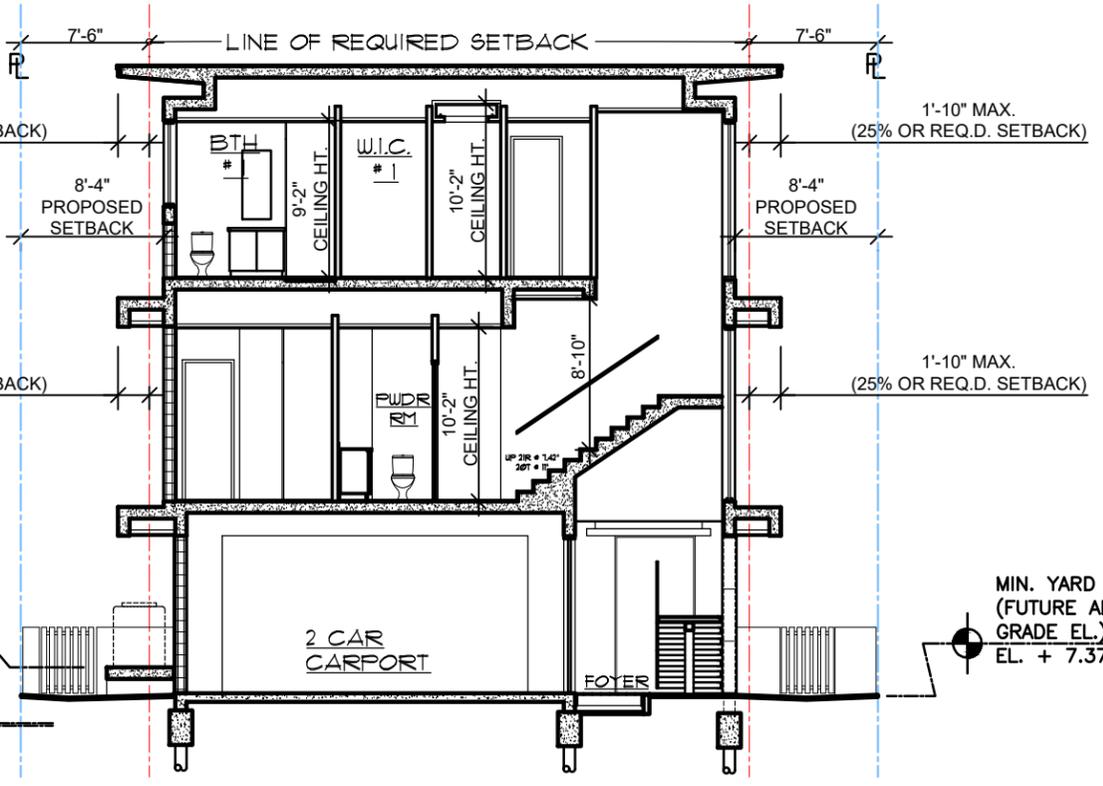
F.H. LEVEL  
TOP OF CONC. SLAB  
EL. + 0'-0" (DATUM)  
EL. + 18'-8" (NGVD)

T.O. CONC. SLAB  
EL. - 9'-8" (DATUM)  
EL. + 9'-0" (NGVD)

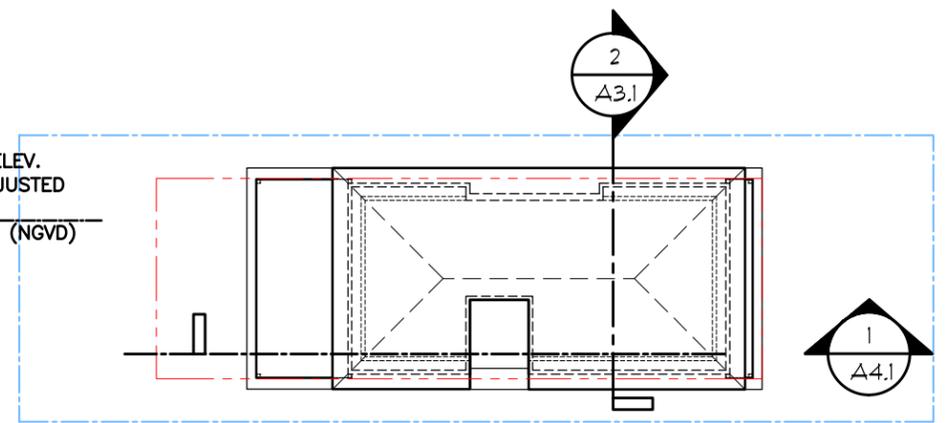
UNDERSTORY LEVEL  
TOP OF F.F.  
EL. - 11'-2" (DATUM)  
EL. + 7'-6" (NGVD)

FUTURE C.O.R.  
EL. +5.75' (NGVD)  
EL. +4.2' (NAVD)

C.O.R.  
EL. +5.62' (NGVD)  
EL. +4.07' (NAVD)



**2 SECTION**  
A4.1 SCALE: 3/32" = 1'-0"



**SECTION KEYPLAN**  
N.T.S.

35' REQUIRED FRONT SETBACK  
AT 2ND FLOOR

5'-0"  
(REQUEST  
FOR WAIVER)

LINE OF REQUIRED  
FRONT SETBACK

30'  
REQUIRED  
FRONT SETBACK

MIN. YARD ELEV.  
(FUTURE ADJUSTED  
GRADE EL.)  
EL. + 7.37' (NGVD)

**ANTONIO E. RODRIGUEZ**  
CAD Studio Architecture  
Antonio E. Rodriguez, Architect, AIA  
4800 S.W. 72 AVENUE, MIAMI FL 33155  
LIC. No. AB93309  
T: (305) 662-1088

RESIDENCE FOR:  
**1520 STILLWATER DRIVE**  
MIAMI BEACH  
FLORIDA

OWNER:  
HILMAR THOR KRITINSSON  
RANNEVEIG EIR EINARSDOTTIR

DATE: 02/02/2025  
ISSUED:  
DRAWN: D.P.  
CHECKED: A.R.  
PROJECT No.

DESIGN REVIEW BOARD,  
CITY OF MIAMI BEACH DRB24-1042  
DRAWING TITLE:

SECTIONS

SHEET:  
A-4.1

20 OF 34



3D FRONT VIEW (NORTH)

MATERIAL BOARD

- 
1

SMOOTH STUCCO FINISH WHITE
- 
2

ALUMN. PICKETS WOOD IMITATION
- 
3

DOMINICAN CORAL VENEER
- 
4

EXPOSED CONCRETE FINISH
- 
5

MAHOGANY WOOD DOOR
- 
6

CLEAR GLASS WITH BRONZE FRAMES
- 
7

ALUMN. CLADDING OVER CONCRETE WITH WOOD COLOR
- 
8

ARTIFICIAL GREEN WALL (BY OTHERS)

NOTES:  
 - ALL WINDOWS AND EXTERIOR DOORS TO BE IMPACT RESISTANT.  
 - ROOF TO HAVE LOW ALBEDO ROOF MEMBRANE.



3D FRONT/LEFT SIDE  
VIEW (NORTH-EAST)

MATERIAL BOARD

- 
1

SMOOTH STUCCO FINISH WHITE
- 
2

ALUMN. PICKETS  
WOOD IMITATION
- 
3

DOMINICAN CORAL VENEER
- 
4

EXPOSED CONCRETE FINISH
- 
5

MAHOGANY WOOD DOOR
- 
6

CLEAR GLASS WITH  
BRONZE FRAMES
- 
7

ALUMN. CLADDING OVER  
CONCRETE WITH WOOD COLOR
- 
8

ARTIFICIAL GREEN WALL  
(BY OTHERS)

NOTES:  
 - ALL WINDOWS AND EXTERIOR  
 DOORS TO BE IMPACT RESISTANT.  
 - ROOF TO HAVE LOW ALBEDO  
 ROOF MEMBRANE.

DATE:	02/02/2025
ISSUED:	
DRAWN:	D.P.
CHECKED:	A.R.
PROJECT No.	

DESIGN REVIEW BOARD,  
 CITY OF MIAMI BEACH DRB24-1042

DRAWING TITLE:  
 3D FRONT/LEFT SIDE  
 VIEW COLOR  
 RENDERING

SHEET:  
 A-5.2



3D REAR VIEW (SOUTH)

# MATERIAL BOARD

- 

1  
SMOOTH STUCCO FINISH WHITE
- 

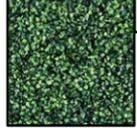
2  
ALUMN. PICKETS  
WOOD IMITATION
- 

3  
DOMINICAN CORAL VENEER
- 

4  
EXPOSED CONCRETE FINISH
- 

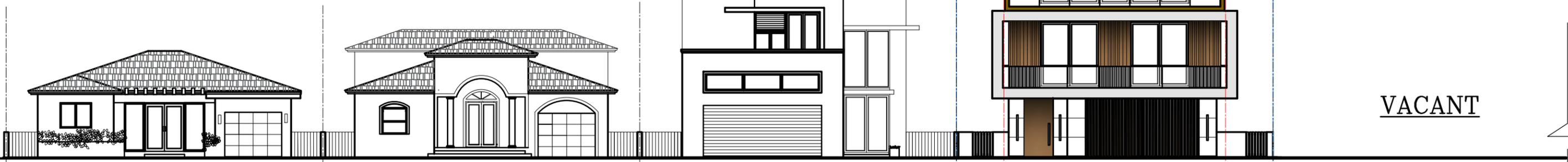
5  
MAHOGANY WOOD DOOR
- 

6  
CLEAR GLASS WITH  
BRONZE FRAMES
- 

7  
ALUMN. CLADDING OVER  
CONCRETE WITH WOOD COLOR
- 

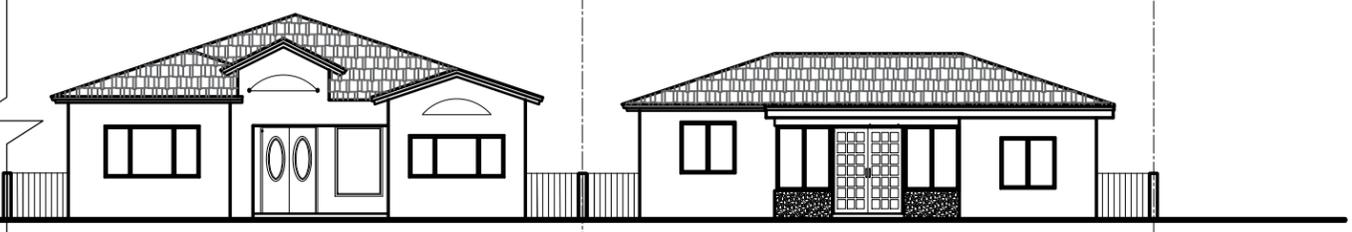
8  
ARTIFICIAL GREEN WALL  
(BY OTHERS)

NOTES:  
 - ALL WINDOWS AND EXTERIOR DOORS TO BE IMPACT RESISTANT.  
 - ROOF TO HAVE LOW ALBEDO ROOF MEMBRANE.



1480 STILLWATER DR. SCALE : NTS    1500 STILLWATER DR. SCALE : NTS    1510 STILLWATER DR. SCALE : NTS    1520 STILLWATER DR. SCALE : NTS    1530 STILLWATER DR. SCALE : NTS

**STILLWATER DRIVE  
 CONTEXTUAL (NORTH) ELEVATIONS**  
 SCALE : NTS

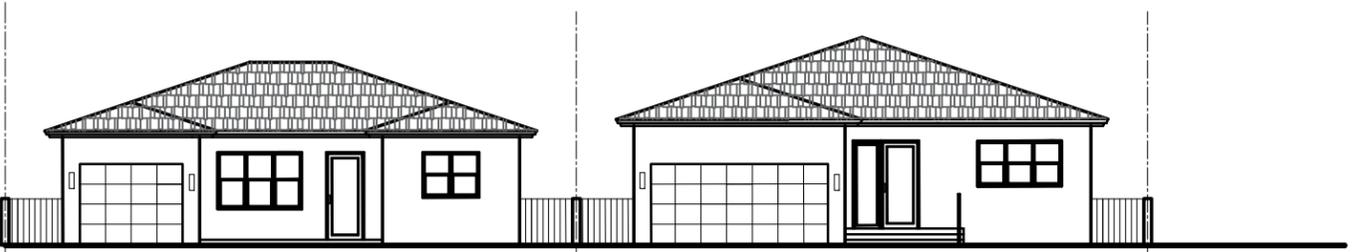


1540 STILLWATER DR. SCALE : NTS    1550 STILLWATER DR. SCALE : NTS



1551 STILLWATER DR. SCALE : NTS    1541 STILLWATER DR. SCALE : NTS    1531 STILLWATER DR. SCALE : NTS    1521 STILLWATER DR. SCALE : NTS    1511 STILLWATER DR. SCALE : NTS

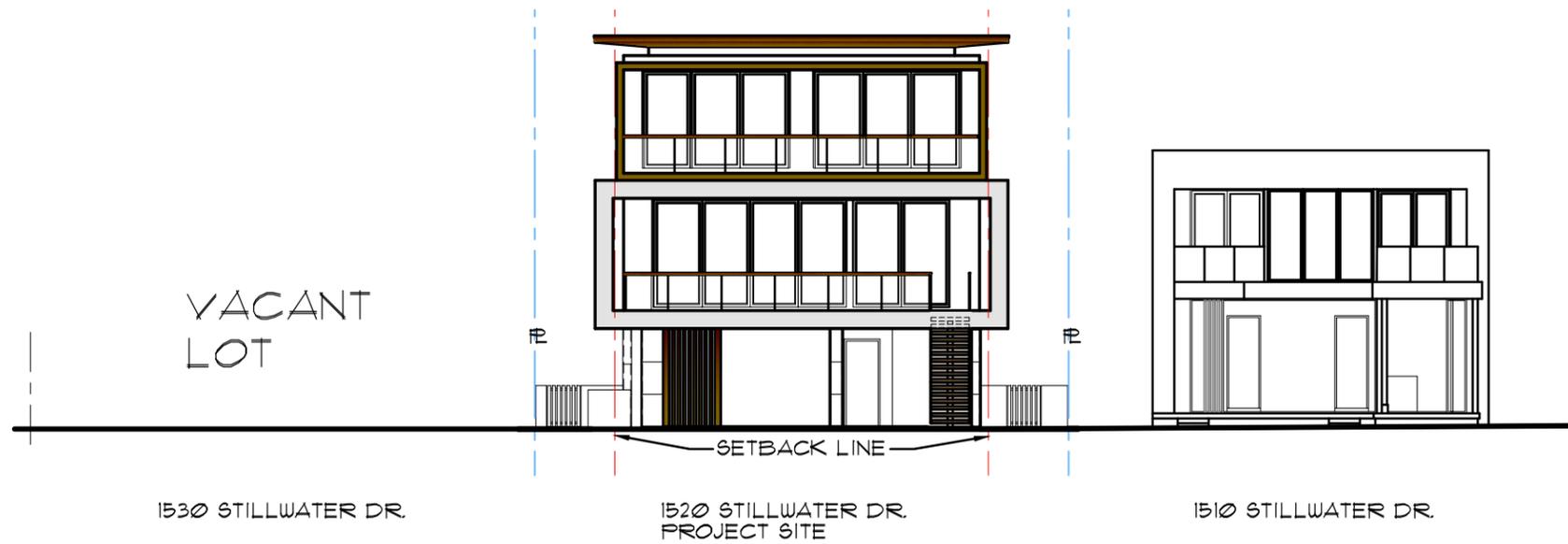
**STILLWATER DRIVE  
 CONTEXTUAL (SOUTH) ELEVATIONS**  
 SCALE : NTS



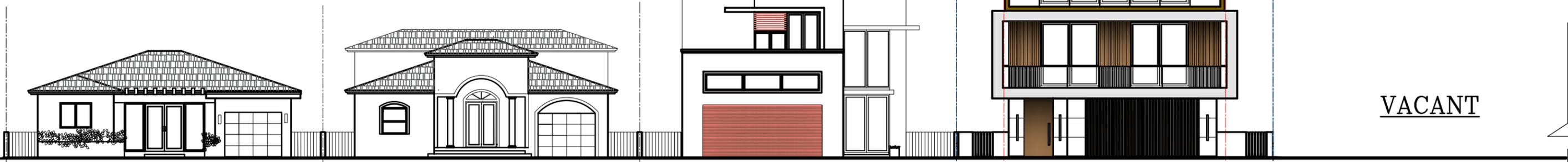
1501 STILLWATER DR. SCALE : NTS    1481 STILLWATER DR. SCALE : NTS



**FRONT CONTEXTUAL ELEVATIONS**  
N.T.S.

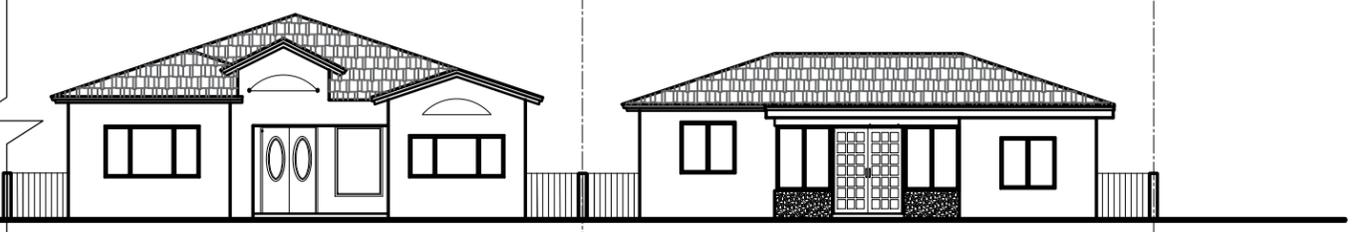


**REAR CONTEXTUAL ELEVATIONS**  
N.T.S.



1480 STILLWATER DR. SCALE : NTS    1500 STILLWATER DR. SCALE : NTS    1510 STILLWATER DR. SCALE : NTS    1520 STILLWATER DR. SCALE : NTS    1530 STILLWATER DR. SCALE : NTS

**STILLWATER DRIVE  
 CONTEXTUAL (NORTH) ELEVATIONS**  
 SCALE : NTS

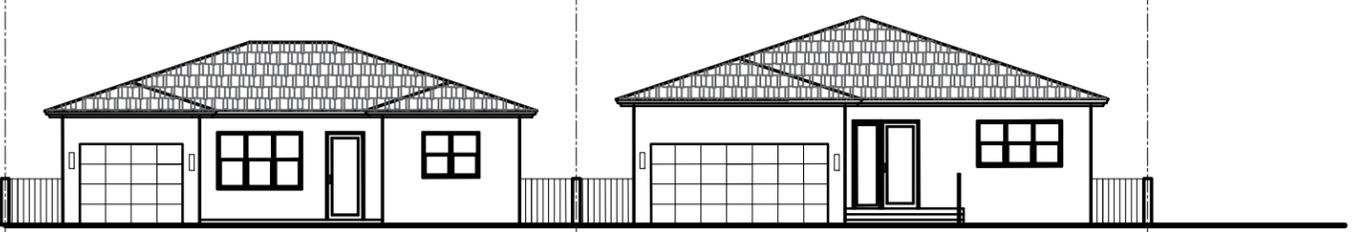


1540 STILLWATER DR. SCALE : NTS    1550 STILLWATER DR. SCALE : NTS

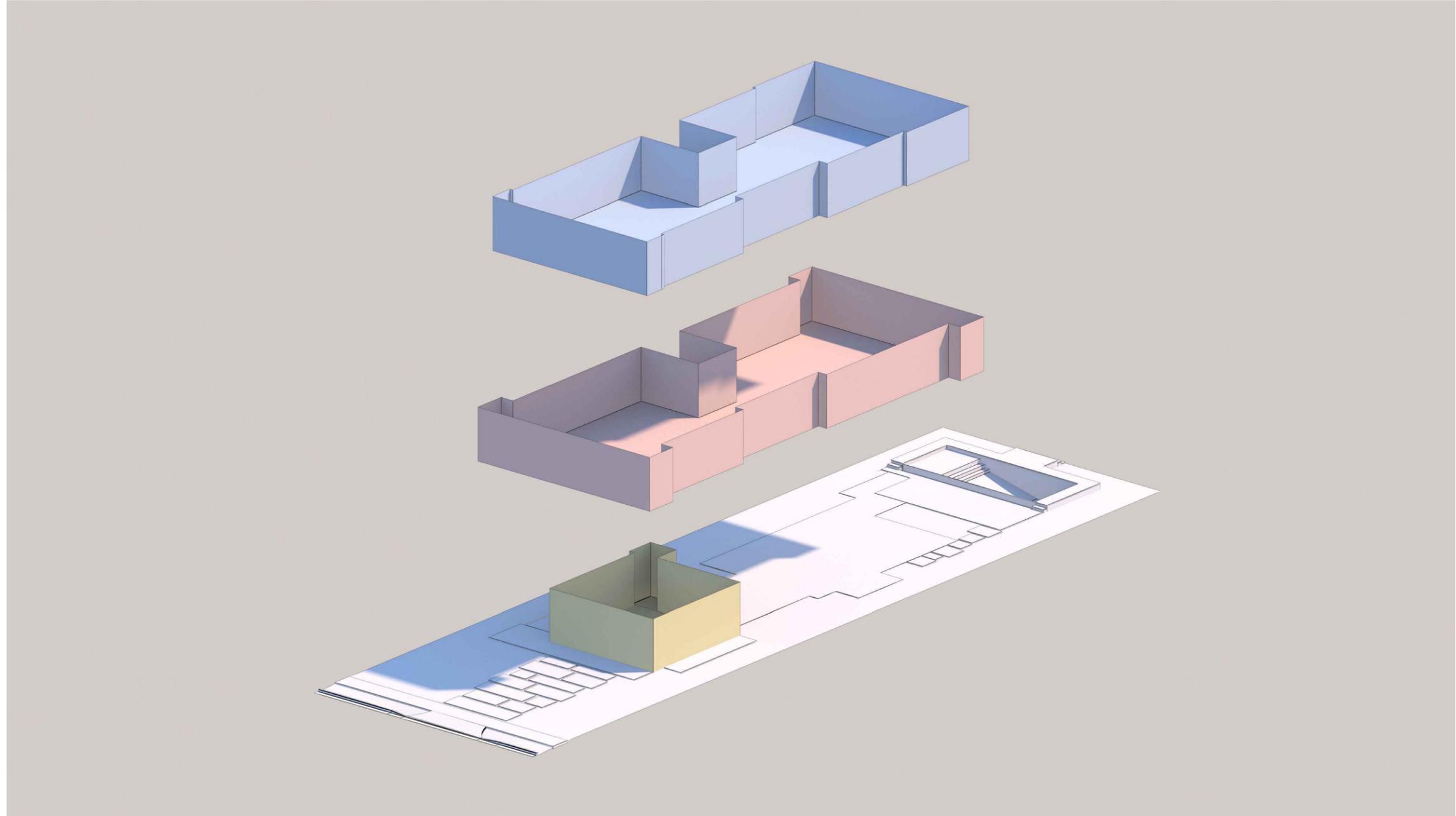


1551 STILLWATER DR. SCALE : NTS    1541 STILLWATER DR. SCALE : NTS    1531 STILLWATER DR. SCALE : NTS    1521 STILLWATER DR. SCALE : NTS    1511 STILLWATER DR. SCALE : NTS

**STILLWATER DRIVE  
 CONTEXTUAL (SOUTH) ELEVATIONS**  
 SCALE : NTS



1501 STILLWATER DR. SCALE : NTS    1481 STILLWATER DR. SCALE : NTS



**EXPLODED AXONOMETRIC DIAGRAM**  
N.T.S.



PERSPECTIVE SCHEMATIC VIEWS - FRONT



PERSPECTIVE SCHEMATIC VIEWS - REAR



1 1500 STILLWATER DR.



3 1510 STILLWATER DR.



5 1520 STILLWATER DR.  
PROJECT SITE

VACANT LOT

7 1530 STILLWATER DR.



9 1540 STILLWATER DR.



11 1550 STILLWATER DR.

## EXISTING STREETSCAPE



1 1500 STILLWATER DR.



3 1510 STILLWATER DR.



5 1520 STILLWATER DR.  
PROJECT SITE

VACANT LOT

7 1530 STILLWATER DR.

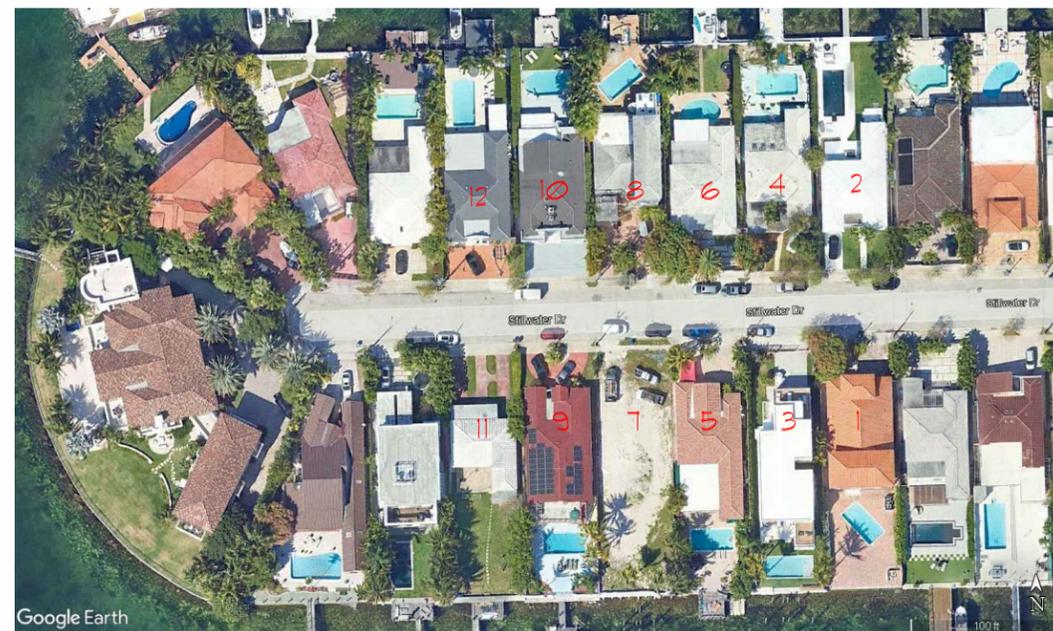


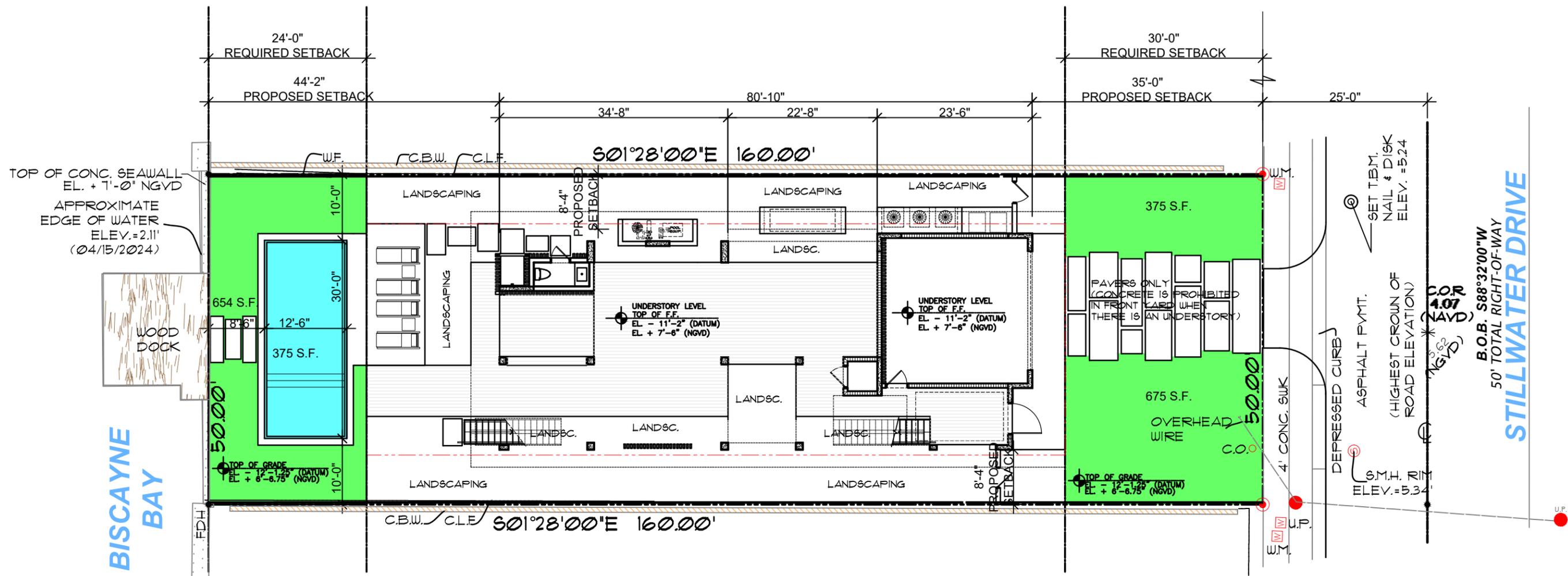
9 1540 STILLWATER DR.



11 1550 STILLWATER DR.

## PROPOSED STREETSCAPE





**BUILDING SETBACKS**

AS PER 7.2.2.3 (b)(1)		
	REQUIRED	PROVIDED
PRINCIPAL FRONT (UNDERSTORY)	30' MIN.	35'-0"
FIRST HABITABLE FLOOR	30' MIN.	35'-8"
SECOND FLOOR *	35' MIN.	35'-8"
LEFT SIDE	7'-6" MIN.	8'-4"
RIGHT SIDE	7'-6" MIN.	8'-4"
REAR (15% OF LOT DEPTH)	24' MIN.	44'-2"

\* AS PER 7.2.2.3 (b)(2)(B)(I)  
 FOR A 2 STORY HOME WITH AN OVERALL LOT COVERAGE OF 25% OR GREATER, AT LEAST 35% OF THE SECOND FLOOR ALONG THE FRONT ELEVATION SHALL SET BACK A MIN. OF 5' FROM THE MIN. REQUIRED.  
 THE DRB MAY FOREGO THESE REQUIREMENTS, IN ACCORDANCE WITH THE APPLICABLE DESIGN REVIEW OR APPROPRIATENESS CRITERIA.

**SWIMMING POOL SETBACKS**

	7.2.2.3(b)(12)(P)			
	TO SWIMMING POOL DECK	TO WATER'S EDGE	REQUIRED	PROPOSED
FRONT	30'	127'	30'	139'
LEFT SIDE	7'-6" MIN.	9'-0"	9'-0" MIN.	10'-0"
RIGHT SIDE	7'-6" MIN.	9'-0"	9'-0" MIN.	10'-0"
REAR	6' MIN.	7'-6"	7'-6" MIN.	8'-6"

REAR YARD AREA OPEN SPACE							
AS PER 1223 (b) (1) (7):							
REAR YARD AREA =	1200 SF.						
MAX. IMPERVIOUS AREA ALLOWED: 30% OF REAR YARD AREA (1200 SF X 0.30) =	360 SF.						
IMPERVIOUS PROVIDED (LANDSCAPE):	358.5 SF (29.87%)						
MIN. OPEN SPACE REQUIRED: 70% OF REAR YARD AREA (1200 SF X 0.70) =	840 SF.						
<table border="0"> <tr> <td>IMPERVIOUS (LANDSCAPE):</td> <td>654 SF (54.5%)</td> </tr> <tr> <td>IMPERVIOUS (WATER FROM SWIMMING POOL @ 50%):</td> <td>167.5 SF (13.96%)</td> </tr> <tr> <td><b>TOTAL OPEN SPACE (IMPERVIOUS) PROVIDED:</b></td> <td><b>821.5 SF (68.46%)</b></td> </tr> </table>	IMPERVIOUS (LANDSCAPE):	654 SF (54.5%)	IMPERVIOUS (WATER FROM SWIMMING POOL @ 50%):	167.5 SF (13.96%)	<b>TOTAL OPEN SPACE (IMPERVIOUS) PROVIDED:</b>	<b>821.5 SF (68.46%)</b>	
IMPERVIOUS (LANDSCAPE):	654 SF (54.5%)						
IMPERVIOUS (WATER FROM SWIMMING POOL @ 50%):	167.5 SF (13.96%)						
<b>TOTAL OPEN SPACE (IMPERVIOUS) PROVIDED:</b>	<b>821.5 SF (68.46%)</b>						

FRONT YARD AREA OPEN SPACE	
AS PER 1223 (b) (1) (6):	
REAR YARD AREA =	1300 SF.
MIN. OPEN SPACE REQUIRED: 10% OF FRONT YARD AREA (1300 SF) =	130 SF.
IMPERVIOUS (DRIVEWAY):	- 450 SF (35%)
IMPERVIOUS (LANDSCAPE):	1050 SF (80%)
<b>OPEN SPACE PROVIDED =</b>	<b>1050 SF (80%)</b>

AREA CALCULATION	
FIRST FL. A/C AREA :	1916 SQ. FT.
SECOND FL. A/C AREA :	2050 SQ. FT.
UNDERSTORY (ELEVATOR) :	34 SQ. FT.
TOTAL A/C AREA:	4,000 SQ. FT.
UNDERSTORY (NO A/C) :	1813 SQ. FT.
2 CAR CARPORT :	546 SQ. FT.
FIRST FL. FRONT BALCONY :	220 SQ. FT.
FIRST FL. REAR COVERED TERRACE :	571 SQ. FT.
SECOND FL. FRONT BALCONY :	140 SQ. FT.
SECOND FL. REAR TERRACE :	614 SQ. FT.
TOTAL AREA :	7,910 SQ. FT.

**FRONT & REAR  
 YARD OPEN SPACE**  
 SCALE: 1/16" = 1'-0"



F.H. LEVEL  
 TOP OF CONC. SLAB  
 EL. + 0'-0" (DATUM)  
 EL. + 18'-8" (NGVD)

EL. 13'-0" (NGVD)  
 8'+ 5" (FREEBOARD)

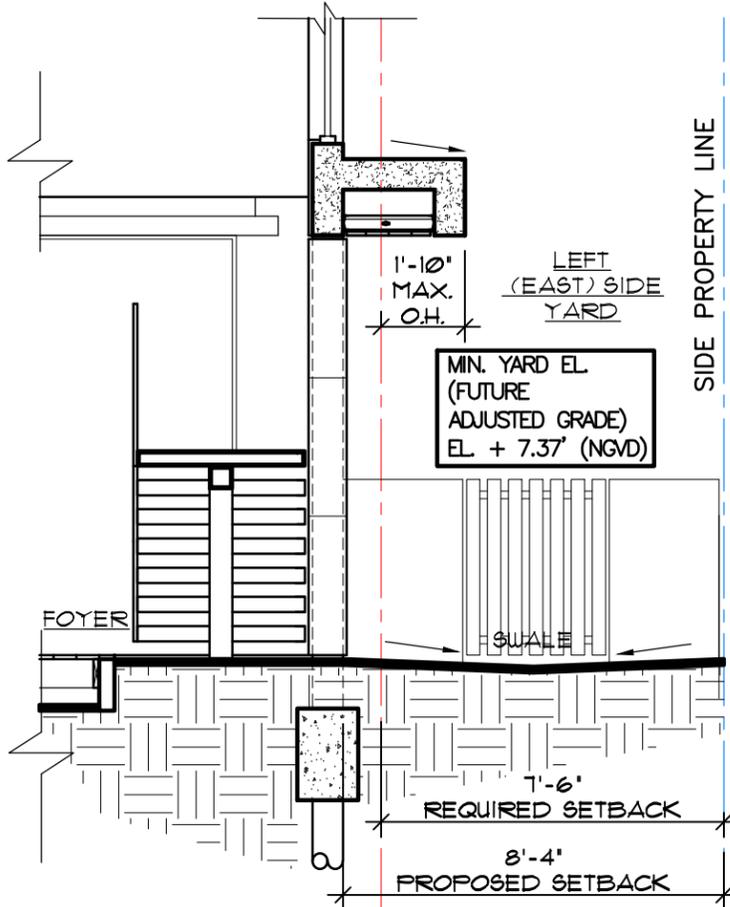
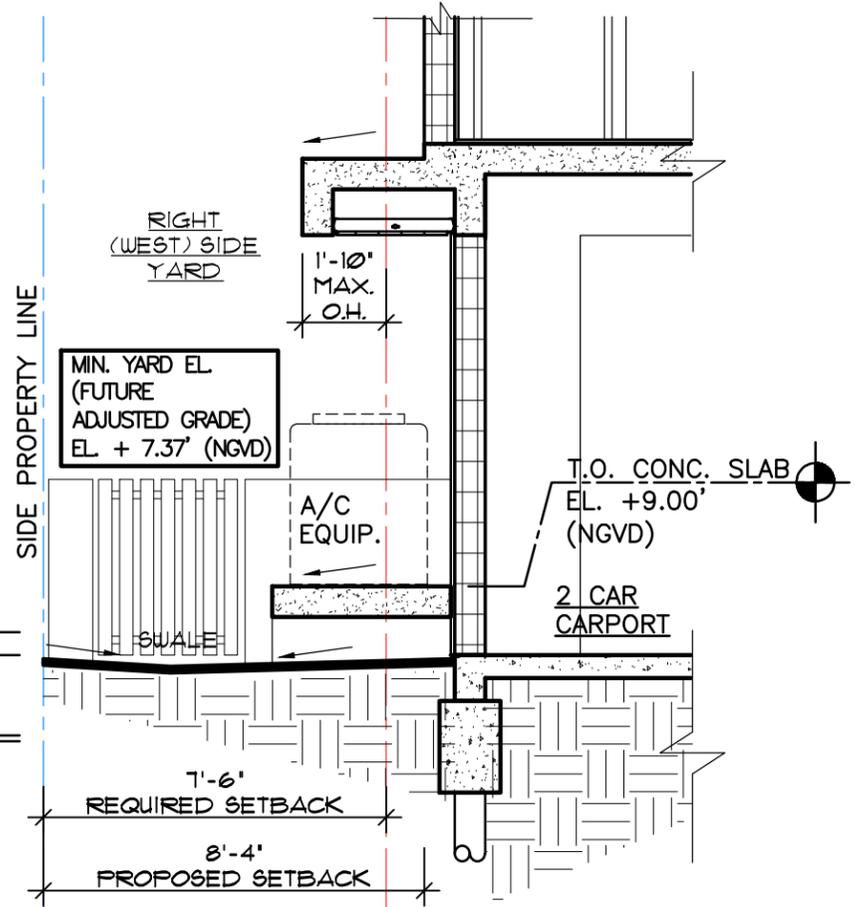
BASE FLOOD ELEVATION  
 EL. +8.00' (NGVD)

UNDERSTORY LEVEL  
 TOP OF CONC. SLAB  
 EL. - 11'-2" (DATUM)  
 EL. + 7'-6" (NGVD)

FUTURE CROWN  
 OF THE ROAD  
 EL. +5.75' (NGVD)

HIGHEST CROWN  
 OF THE ROAD  
 EL. +5.62' (NGVD)

EL. +0.0' (NGVD)



F.H. LEVEL  
 TOP OF CONC. SLAB  
 EL. + 0'-0" (DATUM)  
 EL. + 18'-8" (NGVD)

EL. 13'-0" (NGVD)  
 8'+ 5" (FREEBOARD)

BASE FLOOD ELEVATION  
 EL. +8.00' (NGVD)

UNDERSTORY LEVEL  
 TOP OF CONC. SLAB  
 EL. - 11'-2" (DATUM)  
 EL. + 7'-6" (NGVD)

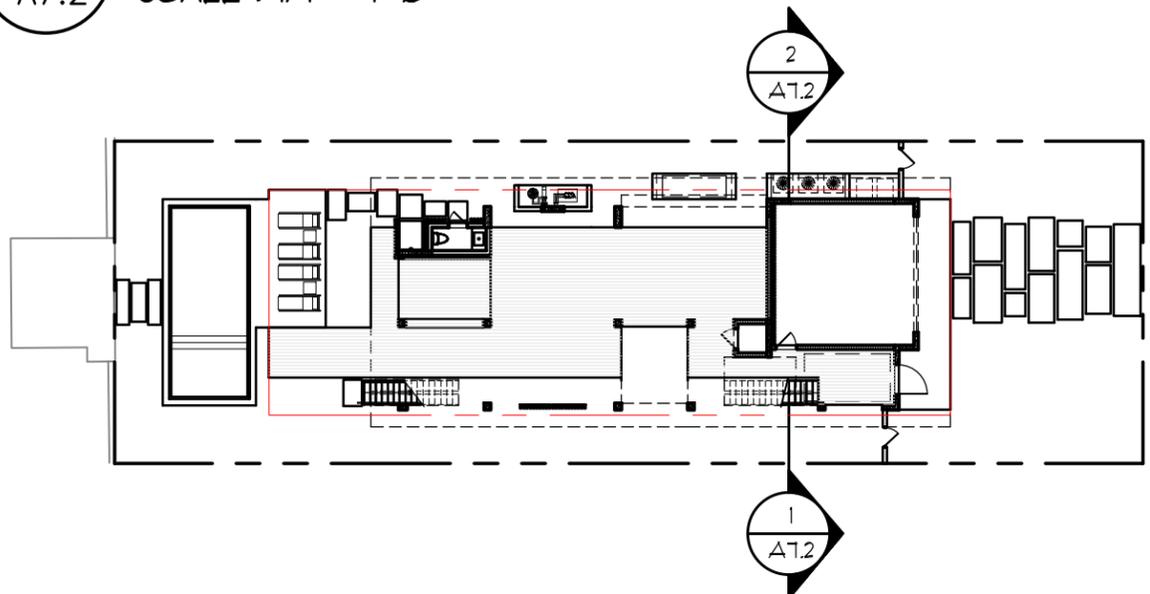
FUTURE CROWN  
 OF THE ROAD  
 EL. +5.75' (NGVD)

HIGHEST CROWN  
 OF THE ROAD  
 EL. +5.62' (NGVD)

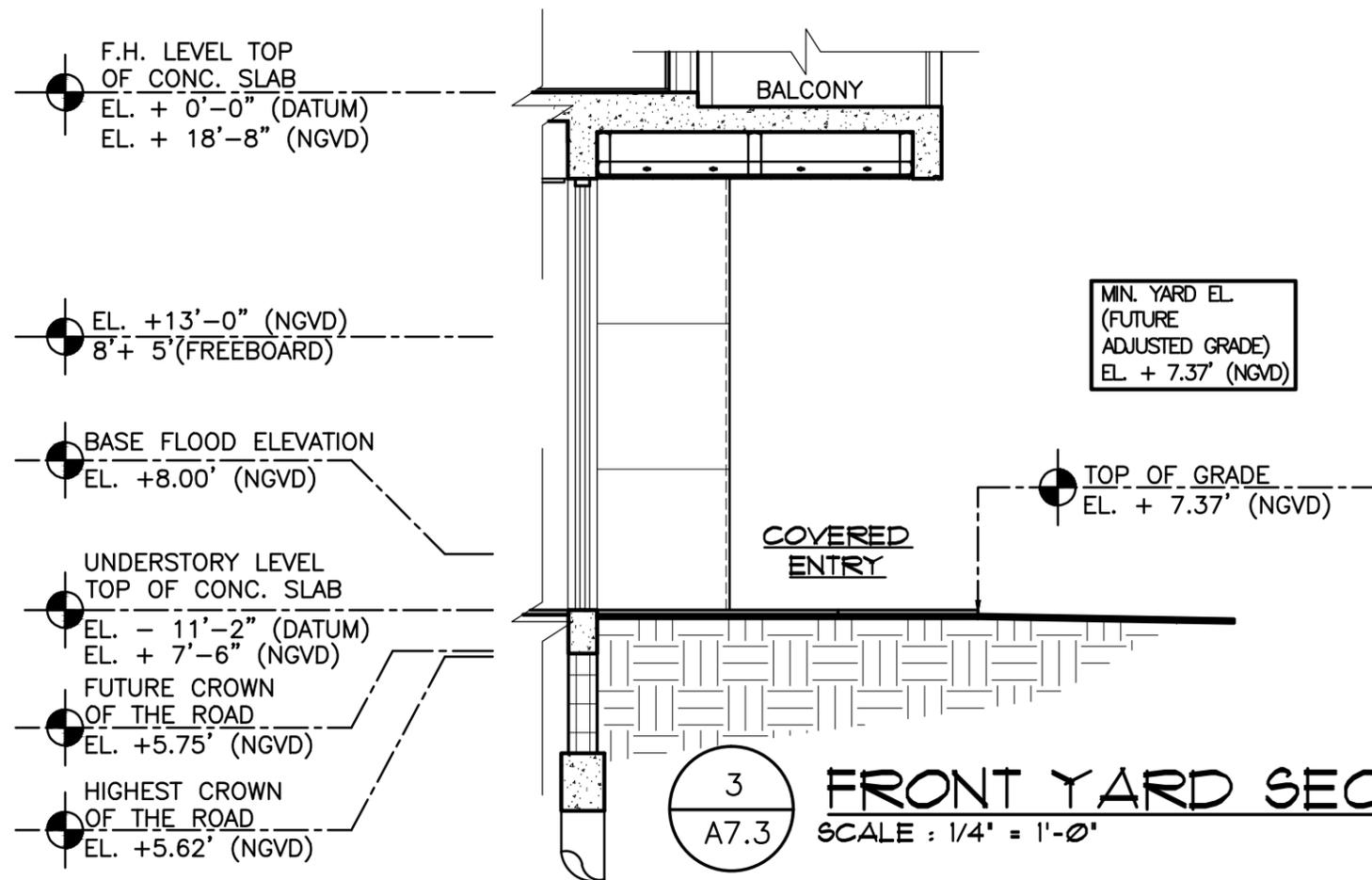
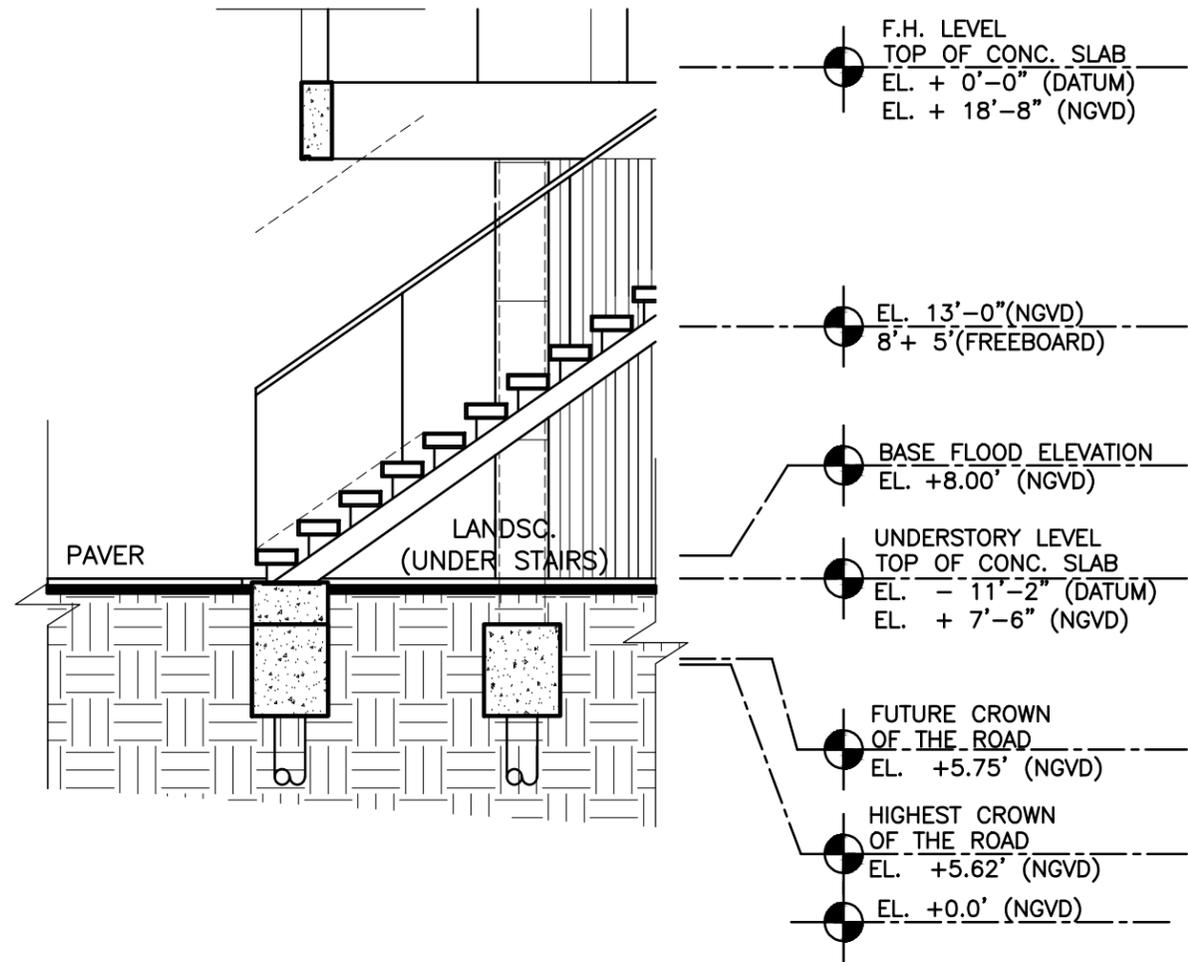
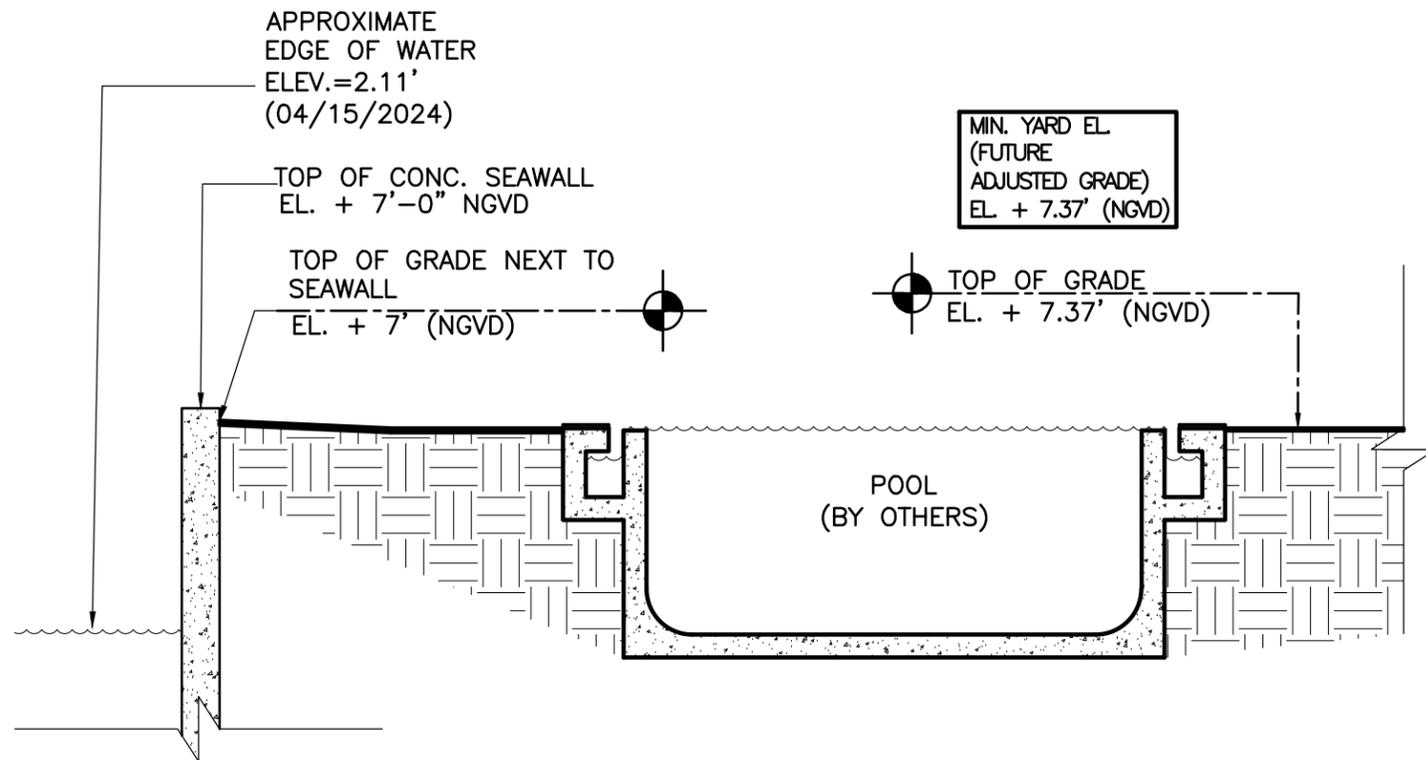
EL. +0.0' (NGVD)

2 INTERIOR SIDE YARD SECTION  
 A7.2 SCALE : 1/4" = 1'-0"

1 INTERIOR SIDE YARD SECTION  
 A7.2 SCALE : 1/4" = 1'-0"



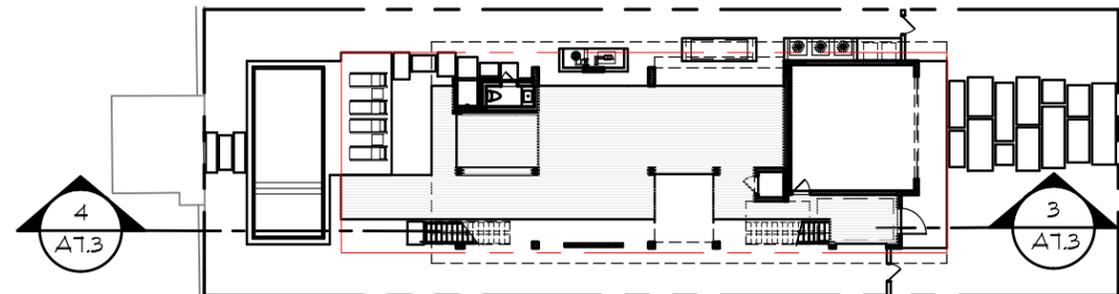
YARD SECTION KEYPLAN



4  
A7.3

## REAR YARD SECTION

SCALE : 1/4" = 1'-0"



3  
A7.3

## FRONT YARD SECTION

SCALE : 1/4" = 1'-0"

## YARD SECTION KEYPLAN

**COURTYARD REQUIREMENTS:**

TWO STORY HOUSES STANDARDS.  
 TWO-STORY SIDE ELEVATIONS LOCATED PARALLEL TO A SIDE PROPERTY LINE SHALL NOT EXCEED 50 PERCENT (50%) OF THE LOT DEPTH, OR 60 FEET, WHICHEVER IS LESS, WITHOUT INCORPORATING ADDITIONAL OPEN SPACE, IN EXCESS OF THE MINIMUM REQUIRED SIDE YARD, DIRECTLY ADJACENT TO THE REQUIRED SIDE YARD. THE ADDITIONAL OPEN SPACE SHALL BE REGULAR IN SHAPE, OPEN TO THE SKY FROM GRADE, AND AT LEAST 8 FEET IN DEPTH, MEASURED PERPENDICULAR FROM THE MINIMUM REQUIRED SIDE SETBACK LINE. THE SQUARE FOOTAGE OF THE ADDITIONAL OPEN SPACE SHALL NOT BE LESS THAN ONE PERCENT (1%) OF THE LOT AREA.

LOT AREA: 8,000 SF  
 COURTYARD AREA MIN. REQUIRED: 80 SF (1%)

**WAIVER REQUEST:**

REQUEST TO WAIVE ONE SIDE COURTYARD FOR REQUIREMENTS FOR 2 STORY ELEVATIONS GREATER THAN 60' IN LENGTH:  
 AS PER 7.2.2.4.A.4.A.V. COURTYARDS: THE MINIMUM COURTYARD REQUIREMENTS SPECIFIED IN SECTION 7.2.2.3.B.2.A. MAY BE WAIVED AT THE ADMINISTRATIVE LEVEL, PROVIDED THAT THE REVIEW CRITERIA IN SECTION 7.2.2.3 HAVE BEEN SATISFIED, AS DETERMINED BY THE PLANNING DIRECTOR OR DESIGNEE.

**WAIVER REQUEST:**

NO OPEN TO THE SKY COURTYARD AREA PROVIDED

COURTYARD AREA REQUIRED  
 10'X8'=80 SF  
 (1% OF LOT AREA: 8,000 SF)

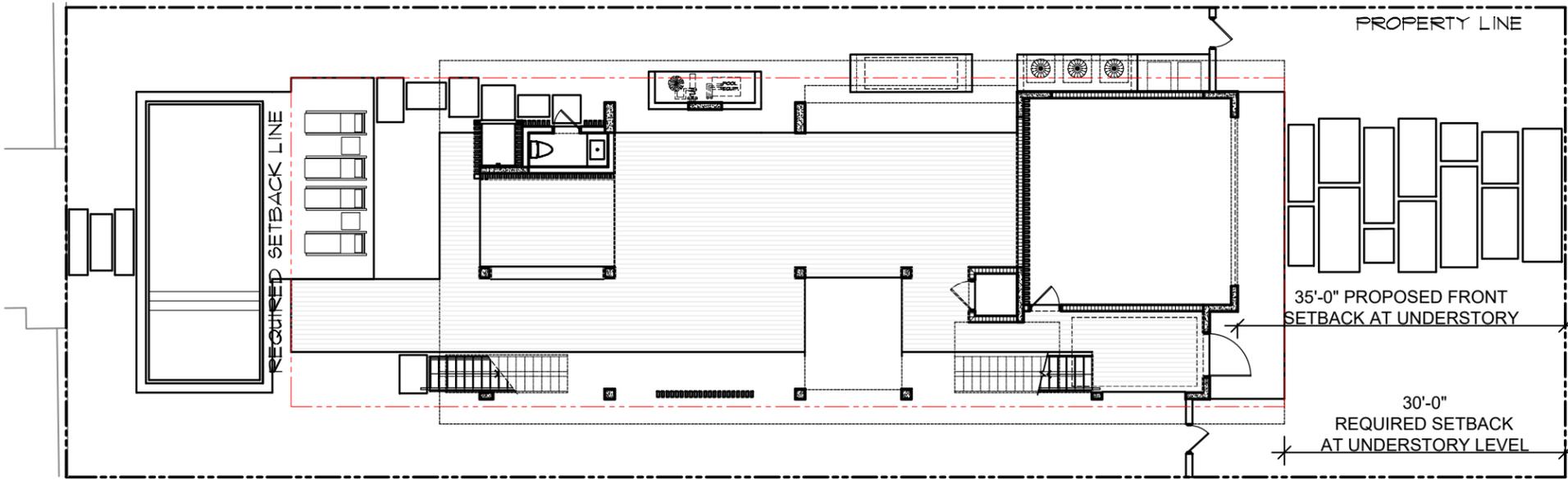
COURTYARD AREA  
 REQUIRED = 10'X8'=80 SF  
 (1% OF LOT AREA: 8,000 SF)

**COURTYARD AREA PROVIDED**  
 11'-11" X 10'-2"=121 SF  
 THIS COURTYARD COMPLIES

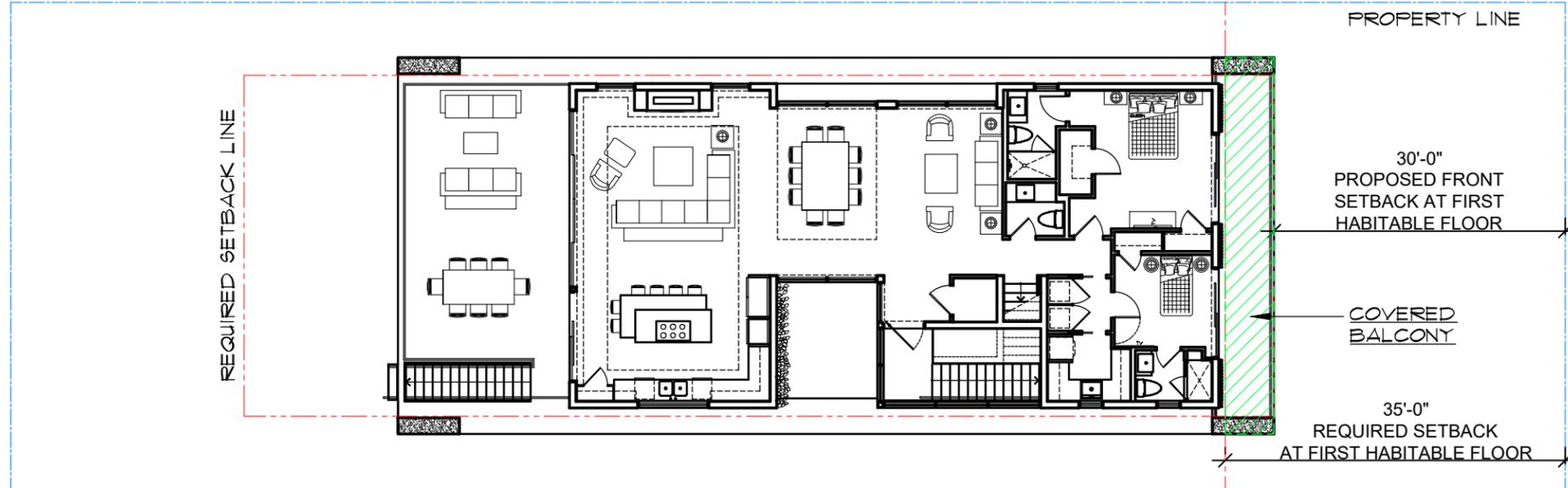
- LINE OF ENCLOSED 2ND FL ABOVE
- LINE OF REQUIRED SETBACK
- LINE OF EYEBROW ABOVE
- PROPERTY LINE

**WAIVER REQUEST  
 DIAGRAM: COURTYARD**  
 SCALE : 1/8" = 1'-0"

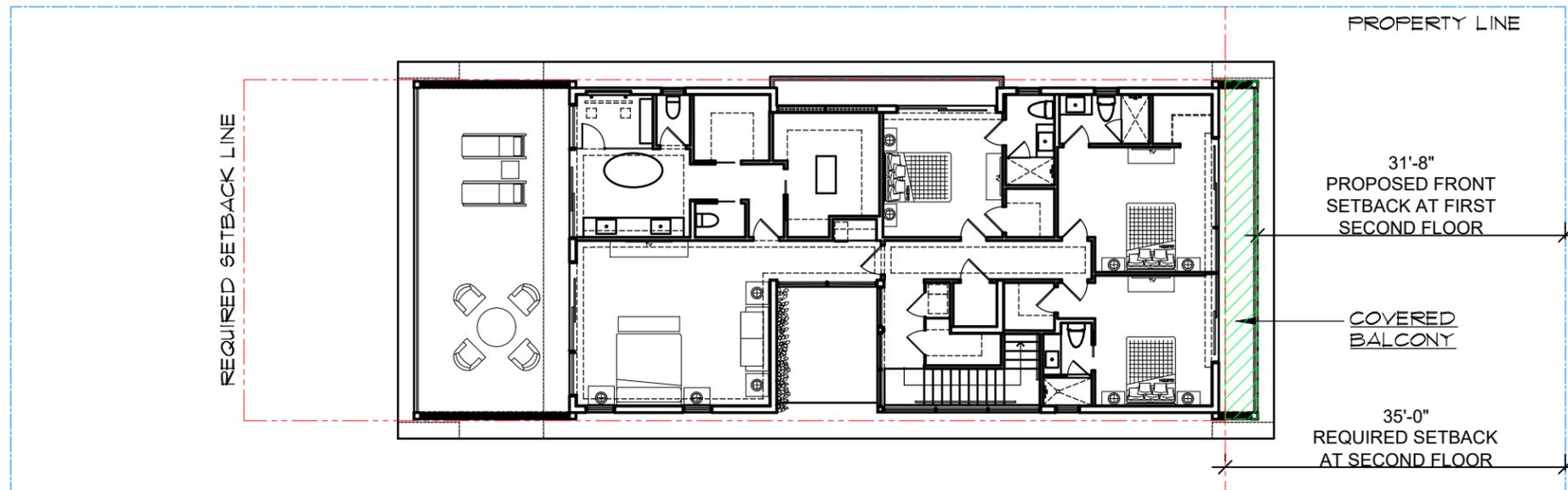




**UNDERSTORY LEVEL**

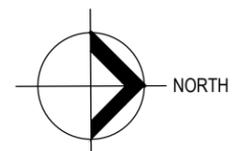


**FIRST HABITABLE FLOOR**



**SECOND FLOOR**

**WAIVER REQUEST  
DIAGRAM: FRONT  
BALCONIES SETBACK**



SCALE : 1/16" = 1'-0"

DATE:	02/02/2025
ISSUED:	
DRAWN:	D.P.
CHECKED:	A.R.
PROJECT No.	