



NIGHT CLUB C.U.P.

1235 WASHINGTON AVE.
MIAMI BEACH, FL.

FOR

1235 REDUX, LLC.

1235 WASHINGTON AVE.
MIAMI BEACH, FL 33140

COMM. NO. 21105A
June 2, 2024

PLANNING BOARD
File # PB24-0656
FINAL SUBMISSION

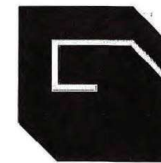


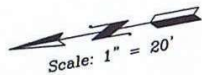
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signed by Ira D
Giller
Date:
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Giller & Giller, Inc.

The Giller Building
975 Arthur Godfray Road
Miami Beach, Florida 33140
(305) 538-6324 Reg. #AA C001364

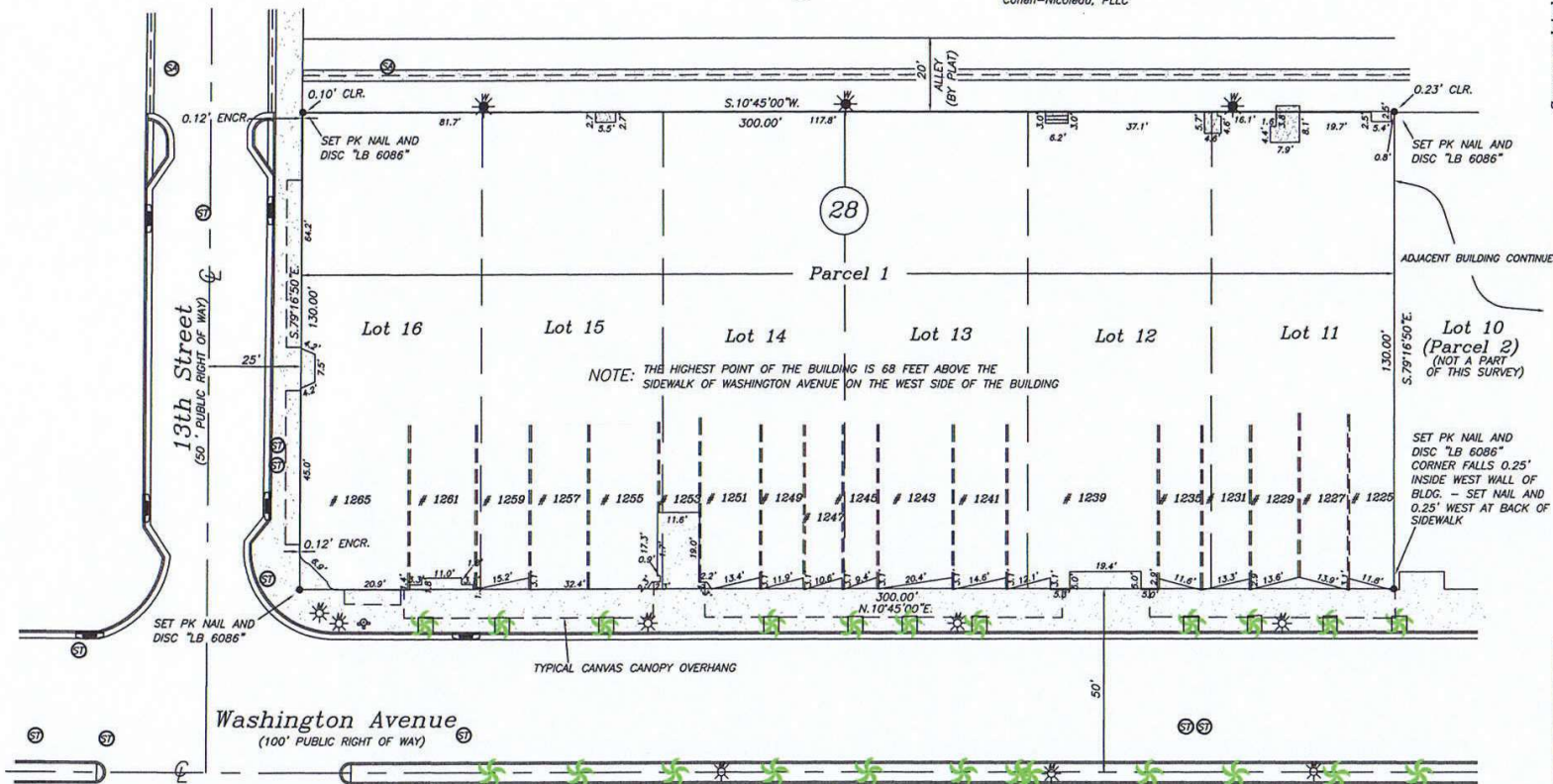
ARCHITECTS INTERIOR DESIGNERS CONSTRUCTION MANAGERS





CERTIFIED TO:

Pix Realty, L.P., a Delaware limited partnership
Chicago Title Insurance Company
Sabadell United Bank, N.A., its successors and/or assigns
Cohen-Nicoleau, PLLC



Legal Description

PARCEL 1
Lots 11 through 16, inclusive, in Block 28 of OCEAN BEACH ADDITION NO. 2 according to the Plat thereof as recorded in Plat Book 2, at page 56 of the Public Records of Miami-Dade County, Florida.

Easement created by Easement Agreement recorded December 2, 1955 in Deed Book 4190, page 225 for the benefit of Parcel 1 over and on a portion of Parcel 11 which is occupied by an existing building; said Parcel 11 being described as follows:

PARCEL 11

Lpt 10 in Block 28 of OCEAN BEACH ADDITION NO. 2, according to the Plat thereof as recorded in Plat Book 2, at page 56 of the Public Records of Miami-Dade County, Florida.

Surveyor's Notes

- 1) Bearings are based on the centerline of Washington Avenue which bears N10°45'00\"E.
- 2) Only those easements and other matters of record which appear in Chicago Title Insurance Company Commitment for Title, NBU No. 21401613, Local No. 4804408, Issued 5/15/2014 Effective Date: April 28, 2014 at 11:00 PM are reflected here.
- 3) Subject property is subject to an Easement Agreement as recorded in Deed Book 4190 page 225, Public Records of Miami-Dade County, Florida.
- 4) Total area of subject property = 39,000 square feet, more or less.
- 5) Subject property falls in FEMA Zone AE, having a Base Flood Elevation of 8.0, N.G.V.D. per FEMA Map No. 12086C0317L, revised Sept. 11, 2009.
- 6) This Survey is not valid unless it bears the signature and embossed seal of the surveyor.

- STORM SEWER MANHOLE
- SANITARY SEWER MANHOLE
- WOOD UTILITY POLE
- METAL PUMP POST
- FIRE HYDRANT
- DRAINAGE INLET
- PALM TREE

Symbols Legend

1415.DWG
WASHINGTON.CRD

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2011 Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 2, 3, 4, 7(a), 7(b)(1), 7(c), 8, 9, 10(a) (if party walls exist), 11(a) and 20(a) of Table A thereof. The field work was completed on May 13, 2014.

Date: 7-01-2014

By:

William O. High

Professional Land Surveyor No. 4632
State of Florida

Survey updated 4-27-15

Date	6-13-14
Proj.	1415
P.B.	181
Pg.	47

ALTA/ACSM Survey
1225 - 1265 Washington Avenue,
Miami Beach, Florida

Certificate of Authorization No. LB 6006
HIGH SURVEYING & MAPPING
12340 S.W. 132nd Court, Suite 216, Miami, FL 33186
Tel: (305) 252-0050, Fax: (305) 252-9551

Sheet
1 of 1

COMMERCIAL - ZONING DATA SHEET

ALL INFORMATION REQUIRED BELOW MUST BE SUBMITTED AS REQUESTED. THE FORMAT OF THIS DOCUMENT MAY NOT BE MODIFIED OR ALTERED IN ANY WAY. SUBMITTALS FOUND INSUFFICIENT OR INCOMPLETE MAY RESULT IN A FAILED REVIEW

ITEM #	Project Information				
1	Address:	Folio number(s):	02-3234-008-1091	Year built:	1934
2	Board file number(s), Determination of Architectural Significance:			Lot Area:	39,000
3	Located within a Local Historic District (Yes or No): Yes	Zoning District:	CD-3	Lot width:	300'
4	Individual Historic Site (Yes or No): No			Lot Depth:	130'
5	Base Flood Elevation:	+8.0' NGVD	Grade value in NGVD:		+5.0
6	Future Adjusted Grade (BFE+Grade / 2):	N/A	Free board:	N/A	
7	Proposed Use:	NIGHT CLUB			
8	Proposed Accessory Use:				
9	Signed and sealed Landscape Plans (Tree/Vegetation Survey, Tree Disposition Plan, and Irrigation Plan):	N/A			
	ZONING INFORMATION / CALCULATION	Required	Existing	Proposed	Deficiencies
13	Floor Area Ratio (FAR)	2.25	1.98	1.98	
14	Building Height	75' MAX	68'	68'	
15	At grade parking lot on the same lot	N/A			
a	Front setbacks	0'	0'	0'	
b	Side interior setback	0'	0'	0'	
c	Side facing street setback	0'	0'	0'	
d	Rear setback	0'	0'	0'	
16	Subterranean, Pedestal & Tower (non-Oceanfront)	Required	Existing	Proposed	Deficiencies
a	Front setbacks	0'	0'	0'	
b	Side interior setback	0'	0'	0'	
c	Side facing street setback	0'	0'	0'	
d	Rear setback	0'	0'	0'	
17	Subterranean, Pedestal & Tower (non-Oceanfront)	Required	Existing	Proposed	Deficiencies
a	Front setbacks	0'	0'	0'	
b	Side interior setback	0'	0'	0'	
c	Side facing street setback	0'	0'	0'	
d	Rear setback	0'	0'	0'	
18	Minimum Apartment Unit Size	Required	Existing	Proposed	Deficiencies
a	New Construction	N/A			
b	Rehabilitated Buildings				
c	Hotel Unit				
19	Average Apartment Unit Size	Required	Existing	Proposed	Deficiencies
a	New Construction	N/A			
b	Rehabilitated Buildings				
c	Hotel Unit				
20	Required Open-space ratio (RPS, CPS)	N/A			
21	Parking	0	0	0	
22	Loading	0	0	0	

DRAWING INDEX

COVER SHEET
SURVEY

A-1 DRAWING INDEX, SCOPE, LEGAL, ZONING, AERIAL
A-2 CONTEXT LOCATION PLAN

A-3 SITE PLAN
A-4 FIRST FLOOR PLAN & SECTION
A-5 MEZZANINE & SECOND FLOOR PLANS
A-6 LIFE SAFETY PLAN

A-7 ENTRY DETAILS

A-8 SECTION

A-1 ROUGH DIMENSIONS - 1ST FL

A-2 ROUGH DIMENSIONS - 2ND FL.

PH-1 EXTERIOR PHOTOS
PH-2 CONTEXT PHOTO
PH-3 INTERIOR PHOTOS

SCOPE OF CONDITIONAL USE PERMIT REQUEST:

CONDITIONAL USE PERMIT TO INCREASE THE OCCUPANT LOAD OF AN EXISTING 24,366 SF NIGHT CLUB FROM 1,466 TO 2,471 PERSONS. NO INCREASE IN AREA. THE NIGHT CLUB WILL BECOME A NEIGHBORHOOD IMPACT ESTABLISHMENT

LEGAL DESCRIPTION:

FOLIO #02-3234-008-1091.
LOTS 11 THRU 16, BLK 28, OCEAN BEACH ADDITION NO. 2, PB 2-6 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FL.



Giller & Giller, Inc.
1700 Convention Center Drive, 2nd Floor
Miami Beach, Florida 33139
305.673.7550

NIGHT CLUB C.U.P.
FOR 1235 REDUX, LLC
1235 WASHINGTON AVE, WASHINGTON AVE
MIAMI BEACH, FL

Digitally signed by
Giller & Giller, Inc.
Date: 2024.08.23
15:10:00
+0400

RECEIVED
DATE: 8/23/24
TIME: 1:10 PM
BY: [Signature]
FOR: [Signature]

INDEX, SCOPE, LEGAL,
ZONING, AERIAL

DATE: 8/23/24
BY: [Signature]
FOR: [Signature]



1/2 mile rad.

SHEET NO. **A-2**
 TOTAL SHEETS **2**
 PROJECT NO. **1235**
 DATE **08/20/20**

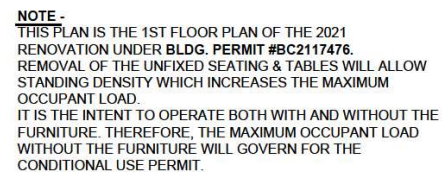
CONTEXT LOCATION
 PLAN

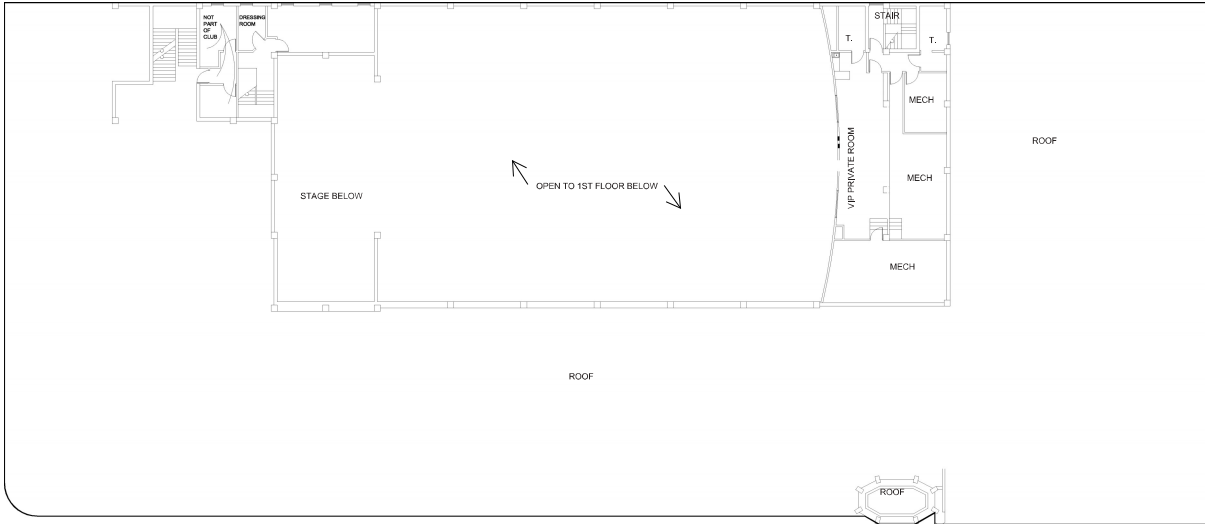


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 MIAMI BEACH, FL

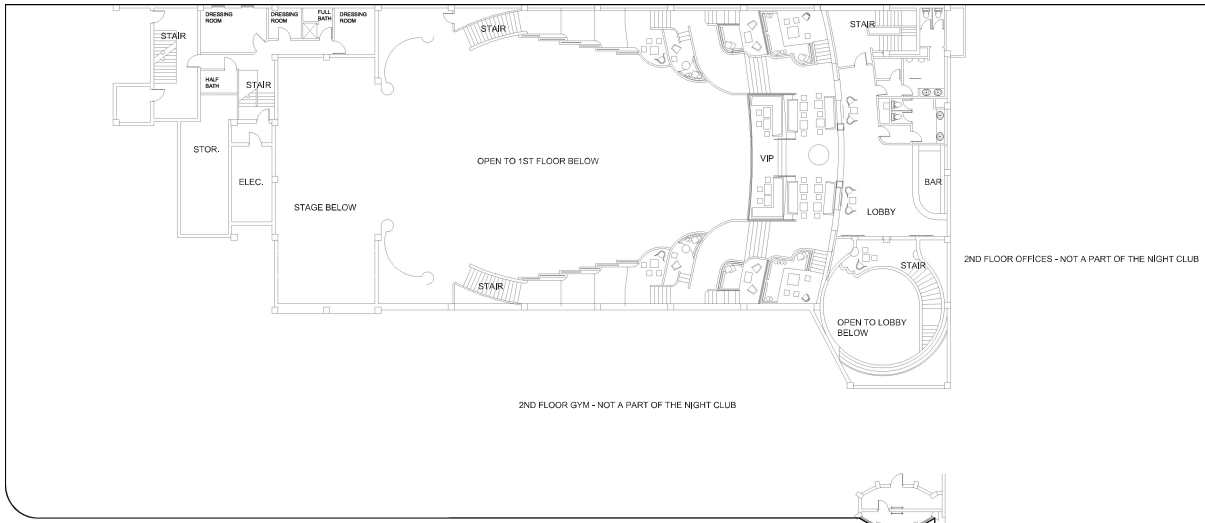
Giller & Giller, Inc.
 1235 WASHINGTON AVE, WASHINGTON AVE
 MIAMI BEACH, FL



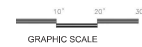




2ND FLOOR PLAN



MEZZANINE FLOOR PLAN



DATE BY REVISION DATE BY REVISION DATE BY REVISION	MEZZANINE & 2ND FLOOR PLANS	PROJECT NO. 1235 WASHINGTON AVE. WASHINGTON, FL 32187	CLIENT NIGHT CLUB C.U.P. FOR 1235 REDUX, LLC	ARCHITECT GILLER & GILLER, INC. <small>The Giller Building 1235 Washington Ave. Miami Beach, Florida 33141</small>

1ST FLOOR EXIT CALCULATION DETAILS				MEZZ FLOOR EXIT CALCULATION DETAILS				2ND FLOOR EXIT CALCULATION DETAILS			
EXIT #	NOM WIDTH	NET WIDTH	CAPACITY	EXIT #	NOM WIDTH	NET WIDTH	CAPACITY	EXIT #	NOM WIDTH	NET WIDTH	CAPACITY
①	1 DOOR, F	34 INCHES / 0.20	170 PERSONS	③	48" WIDE STAIRS	48 INCHES / 0.30	160 PERSONS	④	48" WIDE STAIRS	44 INCHES / 0.30	147 PERSONS
②	1 DOOR, F	34 INCHES / 0.20	170 PERSONS	④	48" WIDE STAIRS	44 INCHES / 0.30	147 PERSONS				
③	2 DOORS, F	68 INCHES / 0.20	340 PERSONS	⑤	50" WIDE STAIRS	50 INCHES / 0.30	167 PERSONS				
④	1 DOOR, F	34 INCHES / 0.20	170 PERSONS	⑥	50" WIDE STAIRS	50 INCHES / 0.30	167 PERSONS				
⑤	2 DOORS, F	68 INCHES / 0.20	340 PERSONS								
⑥	2 DOORS, F	68 INCHES / 0.20	340 PERSONS								
			2500 PERSONS				640 PERSONS				147 PERSONS
				OCCUPANT LOAD AT MEZZANINE = 4,157 / 15 = 277 PERSONS OK!!!							
⑦	1 DOOR, F	34 INCHES / 0.20	170 PERSONS								
⑧	1 DOOR, F	34 INCHES / 0.20	170 PERSONS								
			2500 PERSONS								
				OCCUPANT LOAD AT 2ND FLOOR = 1,635 / 15 = 109 PERSONS OK!!!							

1. EXIT CAPACITY BY DOORS & CORRIDORS @ 1ST FL ALLOWS FOR 2,550 PERSONS
2. OCCUPANT LOAD BY SF ALLOWS FOR 2,471 PERSONS
3. 2,550 > 2,471, THEREFORE OCCUPANT LOAD SHALL BE 2,471 PERSONS

4. **NORTH MEZZANINE & 2ND FLOOR EXIT ANALYSIS:** OCC LOAD BY SF ALLOWS FOR 1,449/15=97 PERSONS
5. **DOORS 7 & 8 ALLOW FOR 340 PERSONS**
6. **340 > 97, THEREFORE OCCUPANT LOAD AT MEZZ & 2ND FLOOR NORTH SHALL BE 97**

1. MAX TRAVEL DISTANCE IN AN A-2 OCCUPANCY WITH AUTOMATIC SPRINKLERS IS 250'
2. MAX TRAVEL DISTANCE PROVIDED IS 171' (2ND FLOOR TO EXTERIOR DOOR AT EAST)

1. DESIGN SHALL COMPLY WITH THE FLORIDA FIRE PREVENTION CODE 8TH ED
2. **AUTOMATIC FIRE SPRINKLERS** ARE EXISTING TO REMAIN AT ALL EXISTING LAYOUTS.
3. **FIRE ALARM SYSTEM** IS EXISTING TO REMAIN AT ALL EXISTING LAYOUTS.
4. **PORTABLE FIRE EXTINGUISHERS** (AS PER 37.3.5.3) SHALL BE PROVIDED IN ALL ASSEMBLY OCCUPANCIES IN ACCORDANCE WITH 9.7.4.1. (EVERY 75', MIN - SEE PLAN FOR LOCATIONS)
5. **EXISTING EMERGENCY LIGHTING AND EXIT LIGHTS** SHALL REMAIN, SEE PLAN FOR LOCATIONS THERE SHALL BE NO CHANGES OF FLOOR ELEVATION GREATER THAN 1/2", ALL FLOORING SHALL SLIP RESISTANT
6. **ALL INTERIOR FURNISHINGS & FINISHES** SHALL COMPLY WITH THE FFPC 7TH ED 101-10.2, CHAP 10; TABLE A.10.2.2; AND FBCB TABLE 803.11 & 805 - CLASS "A" OR CLASS "B" (BLDG IS FULLY SPRINKLERED SO CLASS "B" FINISHES AT THE EXIT COMPONENTS ARE ALLOWED)
7. THE RATING OF ANY EXISTING SURROUNDING DEMISING WALLS SHALL BE MAINTAINED AS A 2 HOUR FIRE RATED WALL, IN COMPLIANCE WITH THE FFPC 7TH ED TABLES 6.1.14.4.1(A)(B)
8. THE FRONT ENTRY DOORS (#1) SHALL BE FREE SWINGING, HAVE A KEY OPERATED LOCK ON BOTH SIDES AND SHALL HAVE A SIGN POSTED AT DOORS THAT THEY SHALL REMAIN UNLOCKED DURING BUSINESS HOURS. SIGN COPY SHALL READ, "THESE DOORS SHALL REMAIN UNLOCKED DURING BUSINESS HOURS".
9. ALL OTHER EXIT DOORS (#2 THROUGH #8) HAVE PANIC DEVICES AND SHALL REMAIN

NET SF & OCCUPANT LOAD OVERVIEW (PER FFPC 14.8.1.2)															
	PUBLIC	BAR	STAGE	STAGE/ BACK		DRESS	TOILETS	EQUIP	MECH / HOUSE	OFFICE	BAREMENT & STORAGE	CORRIDORS	STAIRS		
				STAGE	ROOMS										
1ST FLOOR	9,585	1,078	-	2,038	2,417	1,051	500	-	-	-	-	-	-	17,114	1ST FLOOR SUBTOTAL NSF
MEZZANINE	3,627	135	-	-	-	404	445	640	-	-	-	-	-	5,251	MEZZ FLOOR SUBTOTAL NSF
2ND FLOOR	-	-	-	-	-	355	71	1,094	-	-	-	-	-	1,920	2ND FLOOR SUBTOTAL NSF
SUBTOTALS	13,692	1,214	2,038	799	1,567	2,314	1,917	623	-	-	241	-	-	24,355	TOTAL NSF
OCCUPANT LOAD FACTOR	7	7	15	15	15	100	100	100	100	100	100	100	100		
OCCUPANT LOAD BY AREA	1,596	173	135	51	104	23	19	6	2	-	-	-	-	2,471	TOTAL OCC LOAD

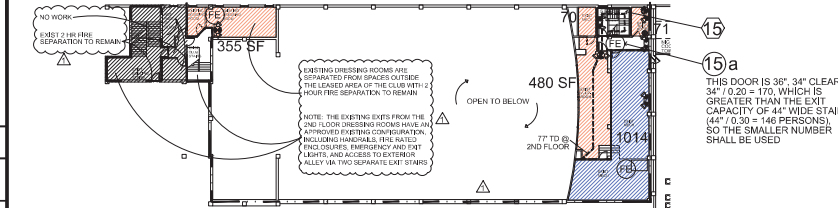
7 SF/PERSON
 15 SF/PERSON
 100 SF/PERSON
 0 SF/PERSON

BUT LIGHT WITH BATTERY BACKUP
 (EXITING TO REMAIN)
 BUT LIGHT WITH COMB. EMERG LIGHT
 WITH BATTERY BACKUP
 (EXIT TO REMAIN)
 EMERGENCY LIGHT WITH BATTERY BACKUP
 (EXITING TO REMAIN)

FIRE HOSE
 FIRE EXTINGUISHER
 (EXITING TO REMAIN)
 EMERGENCY LIGHT
 WITH BATTERY BACKUP
 (EXIT TO REMAIN)

TRAVEL DISTANCE
 2 HR FIRE RATED TENANT SEPARATION
 1 HR FIRE RATED WALL
 480 NSF FOR LIFE SAFETY PLAN

EXIT CAPACITY (DOOR)
 EXIT CAPACITY (STAIRS)



1ST FLOOR PLAN - LIFE SAFETY PLAN

SCALE: 1/16" = 1'-0"

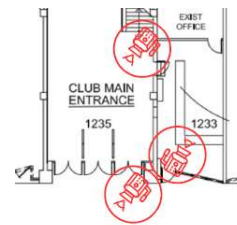
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SHEET #
 A-6
 TOTAL

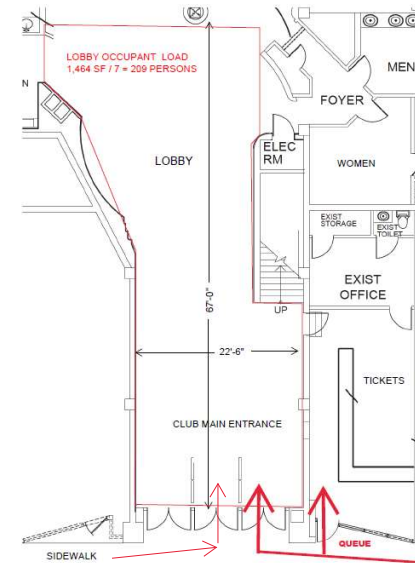
21105

ENTRY LINE PROCEDURES:

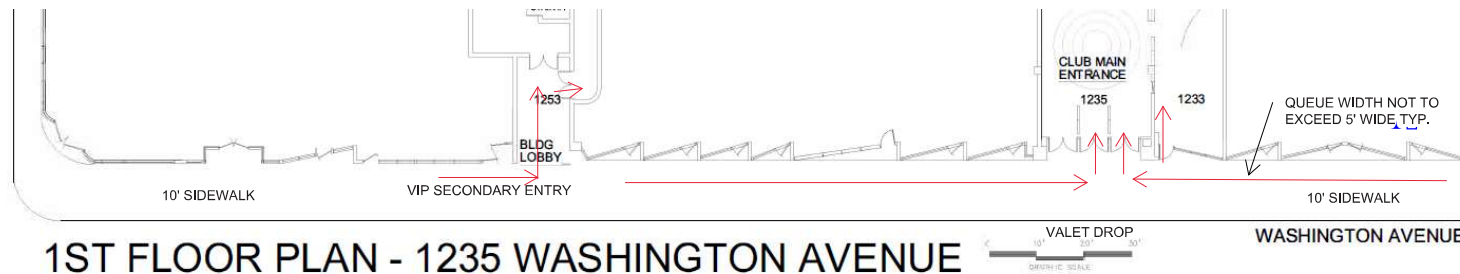
1. MAIN ENTRANCE WILL BE AT THE FRONT DOORS TO THE LOBBY. TICKETS WILL BE CHECKED AT THE DOOR. MOST TICKETING IS ELECTRONIC VIA SMARTPHONES.
2. LINES WILL BE FORMED IN FRONT OF THE MAIN ENTRANCE AS NEEDED AND EXTEND NORTH AND SOUTH ALONG THE STOREFRONTS AS SHOWN. THE LINE WILL BE MAINTAINED NEXT TO THE STOREFRONTS SO THAT 5' OF THE SIDEWALK IS CLEAR.
3. A SECONDARY/V.I.P. ENTRANCE WILL BE PROVIDED AT BUILDING LOBBY (1253) TO RELIEVE THE MAIN ENTRANCE LINE BACK-UP.
4. SECURITY WILL BE POSTED AT BOTH ENTRANCES (7 @ MAIN AND 3@ V.I.P.) TO MANGE THE DOOR AS WELL AS THE SIDEWALK QUEUES.
5. TICKETS CAN BE PURCHASED AT THE OFFICE WITH INTERNAL ACCESS TO THE LOBBY. THIS IS LIMITED AS MOST TICKETS ARE PRE-PURCHASED AND SMARTPHONE BASED.
6. TEMPORARY REMOVEABLE, ROPE & STANCHIONS MAY BE PROVIDED TO DIRECT THE LINES PARALLEL WITH THE STOREFRONTS.
7. SECURITY CAMERAS ARE PROVIDED AT THE ENTRY AS SHOWN.



ENTRY CAMERAS

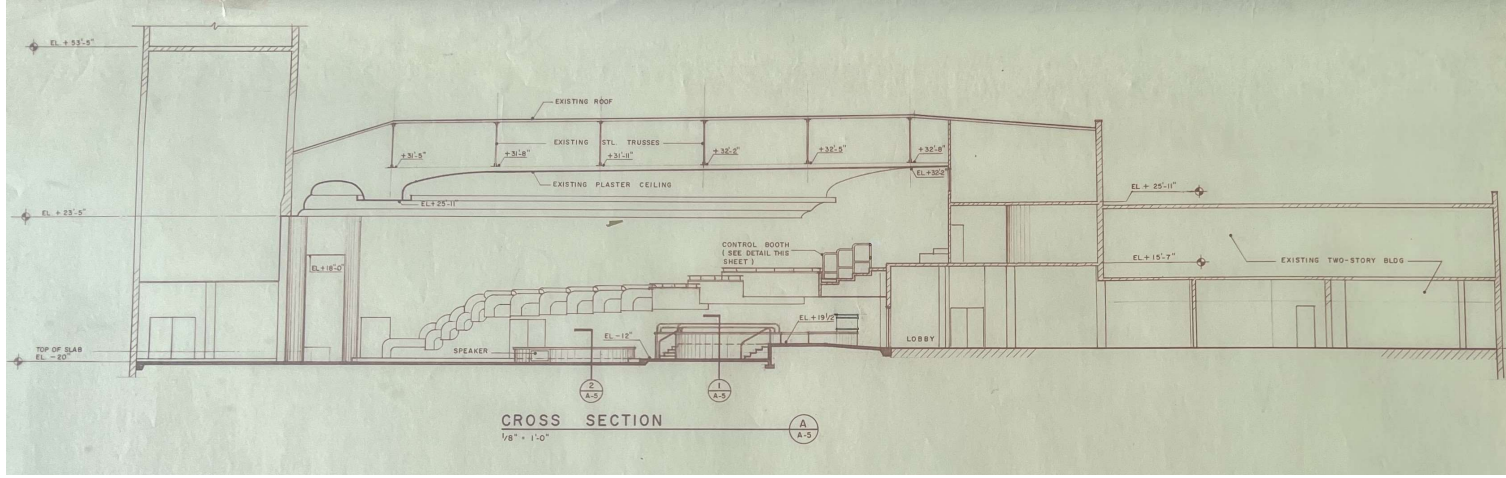


ENTRY DETAIL



1ST FLOOR PLAN - 1235 WASHINGTON AVENUE

<p>Giller & Giller, Inc. The Giller Building 1235 Washington Ave. Miami Beach, Florida 33139 ARCHITECTS INTERIOR DESIGNERS CONSULTING MANAGER</p>							
<p>NIGHT CLUB C.U.P. FOR 1235 REDUX, LLC 1235 WASHINGTON AVE, WASHINGTON AVE MIAMI BEACH, FL</p>							
<p>Digitally signed by H&D Giller DN: cn=H&D Giller, o=H&D Giller, email=h&d@h&d.com, c=US</p>							
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NO.	DATE	DESCRIPTION					
1							
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Giller & Giller, Inc.

1235 Washington Ave., Suite 200
Miami Beach, FL 33139
Tel: 305.673.1111
Fax: 305.673.1112
www.gillerandgiller.com

**NIGHT CLUB C.U.P.
FOR 1235 REDUX, LLC**

1235 WASHINGTON AVE, WASHINGTON AVE
MIAMI BEACH, FL



DATE	03/01/2018
BY	03/01/2018
CHECKED	03/01/2018
APPROVED	03/01/2018

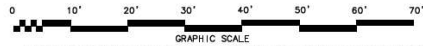
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A-8

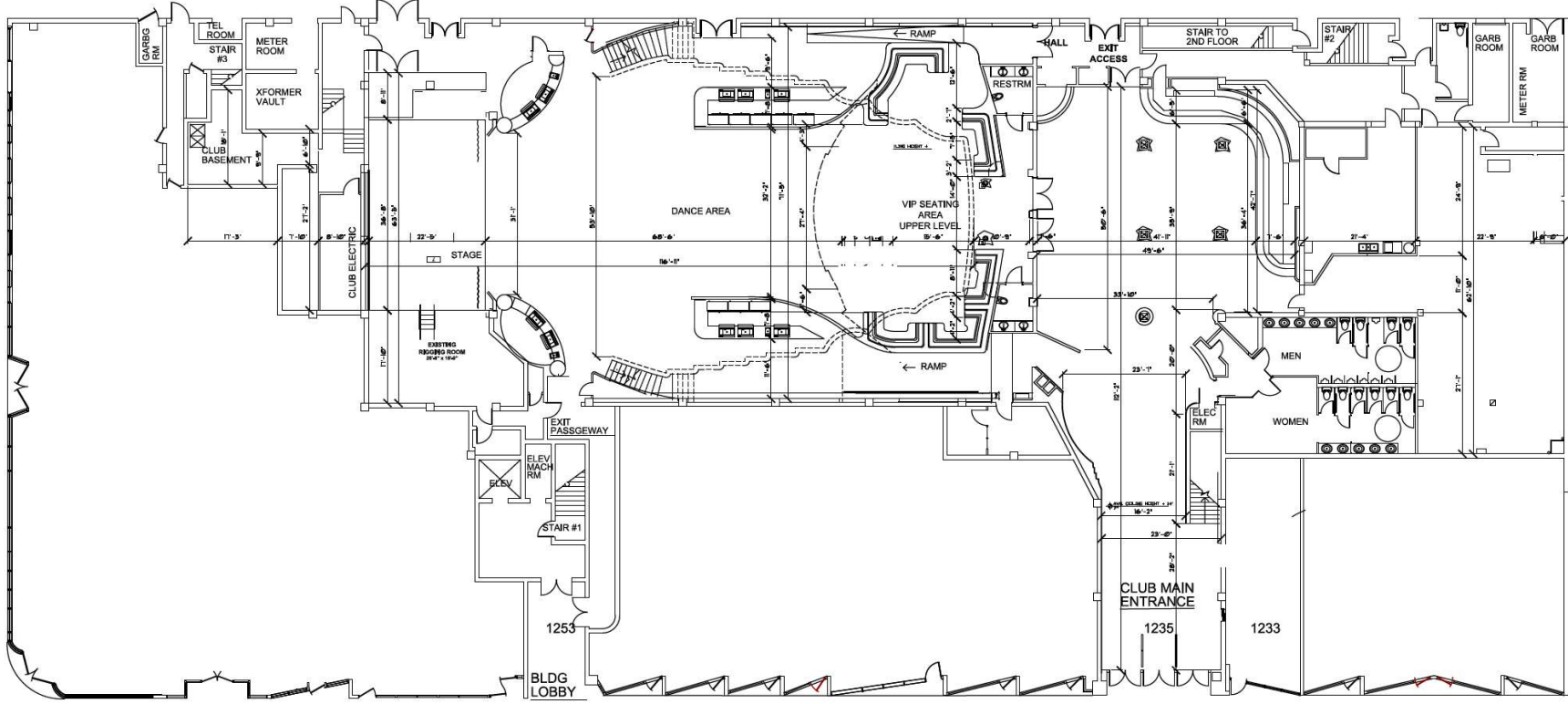
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1ST FLOOR PLAN

SCALE: 1/8" = 1'-0"



NOTE: DIMENSIONS SHOWN ARE APPROXIMATE AND SHOULD BE FIELD VERIFIED



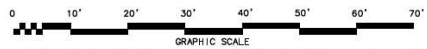
Giller & Giller, Inc.
1261 WASHINGTON AVE. MB, FL 33507
TEL: 813-941-1111
FAX: 813-941-1112
ARCHITECTS INTERIOR DESIGNERS CONSTRUCTION MANAGERS

NIGHTCLUB
ROUGH DIMENSIONS
FOR PK REALTY, L.P.
1261 WASHINGTON AVE. MB, FL



DATE	REVISION DESCRIPTION

SHEET #	SHEET TITLE	DESIGNED BY	CHECKED BY	APPROVED BY
A-1	1ST FLOOR PLAN			
OF TOTAL				
PRINT DATE				



NOTE: DIMENSIONS SHOWN ARE APPROXIMATE AND SHOULD BE FIELD VERIFIED





PH-1 PHOTOGRAPH # OF TOTAL	PHOTOS - EXTERIOR	DATE TIME CHECKED BY APPROVED BY L.S.	RETURN RESERVATION DATE TIME CHECKED BY APPROVED BY L.S.	Digital signed by J. D. Giller Date 10/12/14 10:12 AM -0400	Giller & Giller, Inc. 1235 Washington Ave, Suite 1010 Miami Beach, FL 33139 305.673.0001 ARCHITECTS INTERIOR DESIGNERS CONSTRUCTION MANAGERS



Giller & Giller, Inc.

1235 Washington Ave, Suite 1000
Miami Beach, FL 33139
305.673.1001
ARCHITECTS INTERIOR DESIGNERS CONSTRUCTION MANAGERS

NIGHT CLUB C.U.P.
FOR 1235 REDUX, LLC

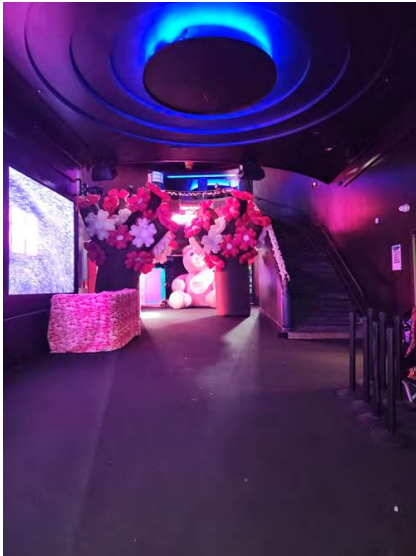
1235 WASHINGTON AVE, WASHINGTON AVE MIAMI BEACH, FL



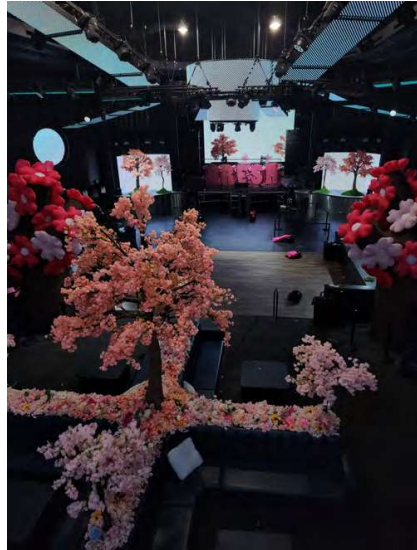
DATE	REVISION DESCRIPTION

PHOTOS - AERIAL

PHOTO #	DATE	APPROVED BY	DATE
PH-2	02/04/2024	Giller & Giller, Inc.	02/04/2024
PH-3			
PH-4			
PH-5			



ENTRY LOBBY



MAIN ROOM FROM BALCONY



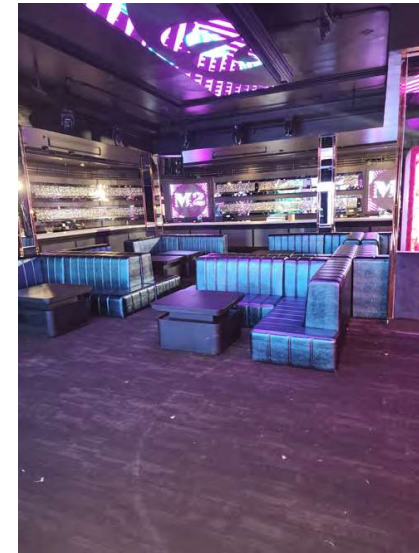
DANCE FLOOR & STAGE



BALCONY MEZZANINE



MAIN LEVEL VIP AREA



LOBBY BAR

 <p>Giller & Giller, Inc. 1235 Washington Ave, Suite 100 Miami Beach, FL 33139 (305) 673-1234 www.gillerandgiller.com</p>	<p>NIGHT CLUB C.U.P. FOR 1235 REDUX, LLC 1235 WASHINGTON AVE, WASHINGTON AVE MIAMI BEACH, FL</p>	
	<p>Digitally signed by Giller & Giller, Inc. Date: 2024.05.30 15:15:17 -0400</p>	
<p>PHOTOS - INTERIOR</p>	<p>DATE: _____</p> <p>REVISION: _____</p>	<p>APPROVED BY: _____</p> <p>CHECKED BY: _____</p> <p>DATE: _____</p> <p>SCALE: _____</p> <p>PROJECT: _____</p> <p>PHOTOGRAPH # _____</p> <p>TOTAL _____</p>