



PRIVATE RESIDENCE RENOVATION
2334 ALTON ROAD, MIAMI BEACH, FL 33140.
No.BR220742

SCOPE OF WORK

LEVEL 2

- ENCLOSURE OF EXISTING BACKYARD COVERED TERRACE AT GROUND FLOOR AND SECOND FLOOR.
- MECHANICAL WORK AS REQUIRED AND INDICATED.
- ELECTRICAL WORK AS REQUIRED AND INDICATED.
- PLUMBING WORK AS REQUIRED AND INDICATED.

SEPARATE SUB-PERMITS

- NEW IMPACT WINDOWS AND DOORS.
- ROOFING/ WATERPROOFING.
- RAILINGS
- SEPARATE SUB-PERMITS :
 - NEW IMPACT WINDOWS AND DOORS.
 - ROOFING/ WATERPROOFING.
 - RAILINGS



PROJECT SITE



2848 S. BAYSHORE DRIVE
SUITE 201
MIAMI, FLORIDA 33133
TEL 305.559.4606
jberry@bdsstudio.com



James E. Berry, AIA
F.L. Lic. 0091454

PRIVATE RESIDENCE RENOVATION

ADDRESS: 2334 ALTON ROAD,
MIAMI BEACH, FL 33140

ARCHITECTURE
PLANNING
INTERIORS

All design drawings, renderings, and plans are created or represented by the design professional and are the property of the design professional. No part of this design may be reproduced or transmitted in any form or by any means electronic or mechanical, including photocopying, recording, or by any information storage and retrieval system, without the prior written permission of the design professional.

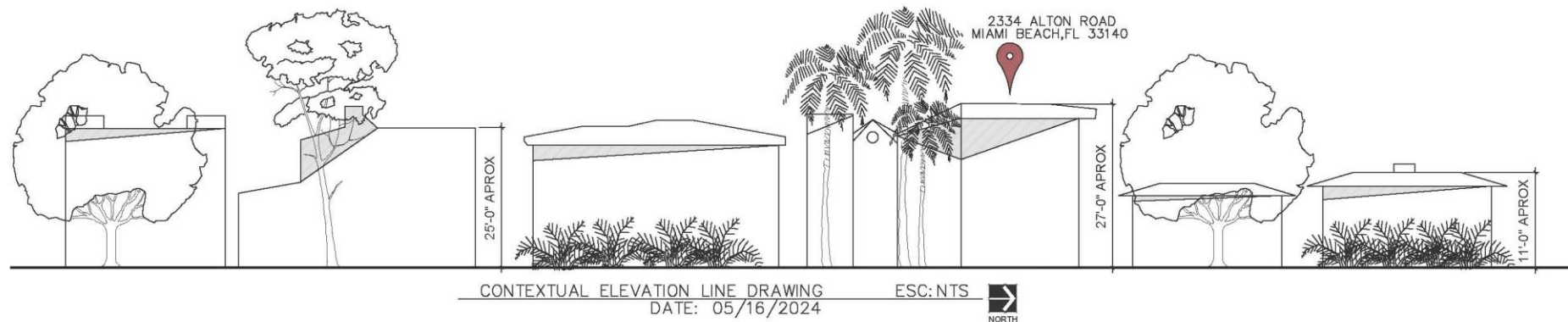
PROJECT NO.
2131
DATE
10/28/2021
REVISIONS

SHEET NO

A-1.2



REFERENCE PHOTOGRAPHY



2846 S. BAYSHORE DRIVE
BLDG. A SUITE 101
MIAMI, FLORIDA 33133
TEL 305.519.4606
jberry@bdsstudio.com



James E. Berry P.A.
F.L. Lic. 0081484

PRIVATE RESIDENCE RENOVATION

ADDRESS: 2334 ALTON ROAD,
MIAMI BEACH, FL 33140

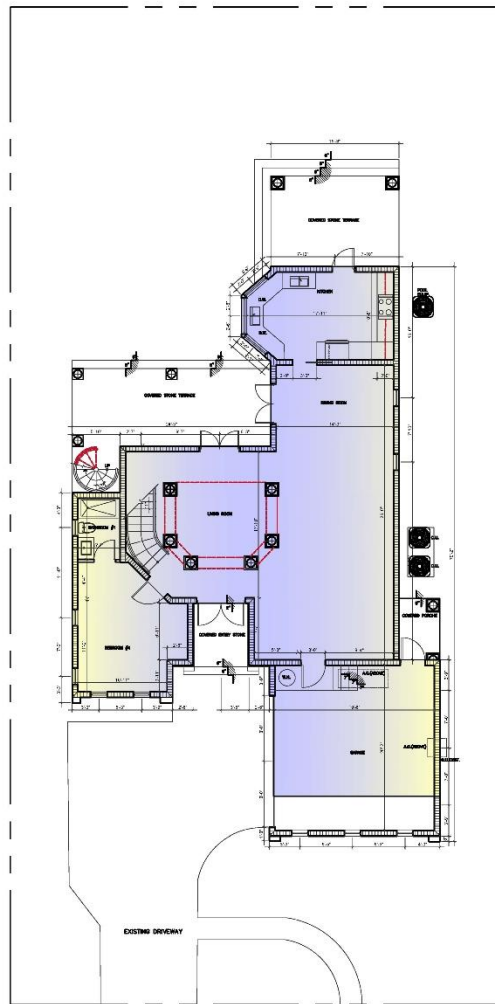
ARCHITECTURE
PLANNING
INTERIORS

All design drawings, specifications and other information contained herein are the property of Berry Design Studio and are not to be reproduced or used in any manner without the express written permission of Berry Design Studio. No part of this drawing may be reproduced or transmitted in any form or by any means electronic or mechanical, including photocopying, recording, or by any information storage and retrieval system, without the express written permission of Berry Design Studio.

PROJECT NO.
2131
DATE
10/28/2021
REVISIONS

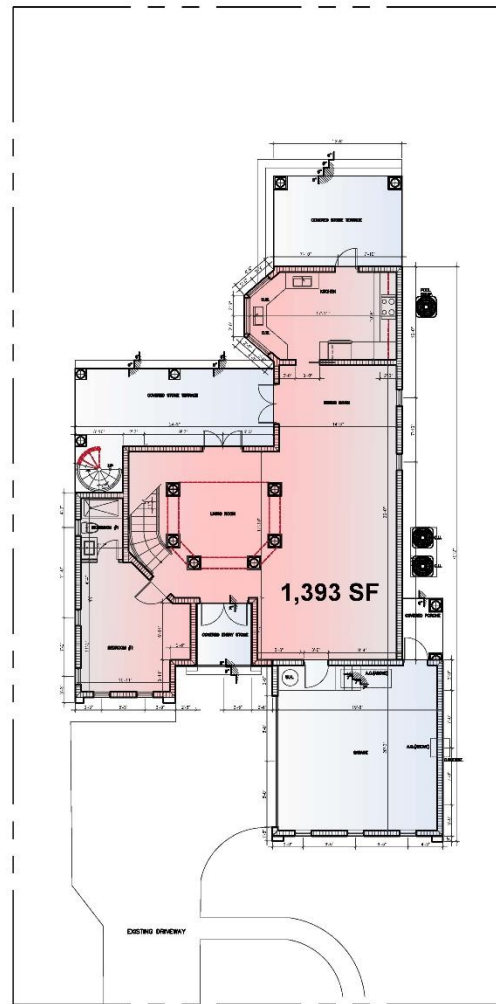
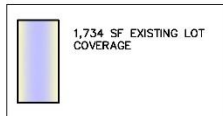
SHEET NO

A-1.3



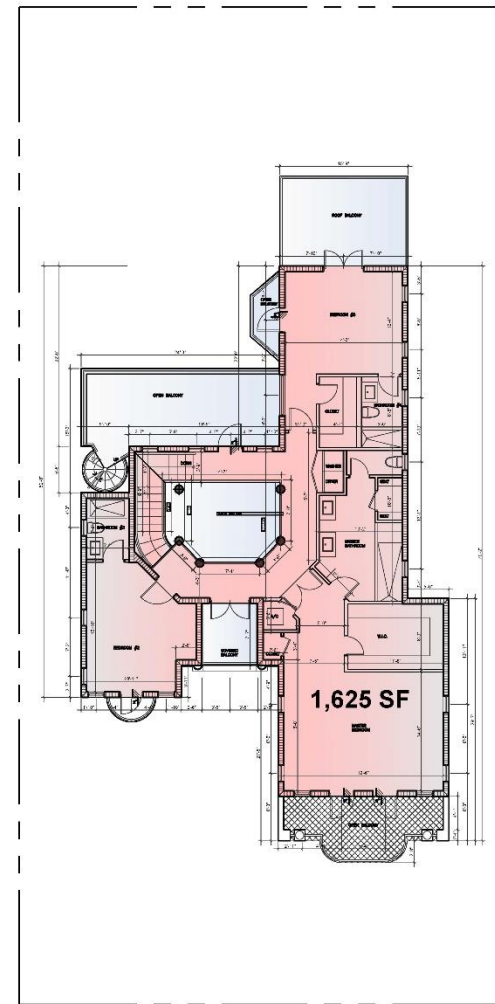
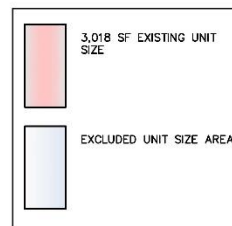
EXISTING LOT COVERAGE DIAGRAM 1/16"=1'-0" 

LOT COVERAGE LEGEND



EXISTING GROUND FLOOR PLAN 1/16"=1'-0"

EXISTING UNIT DIAGRAM 1/16"=1'-0" 



EXISTING SECOND FLOOR PLAN 1/16"=1'-0"



BERRY
DESIGN
STUDIO
2640 S. BAYSHORE DRIVE
SUITE 301
MIAMI, FLORIDA 33133
TEL 305 210 4684
berrystudio@gmail.com



DATE: 10/28/2021
FILE: 0001404

PRIVATE RESIDENCE RENOVATION
ADDRESS: 2334 ALTON ROAD,
MIAMI BEACH, FL 33140

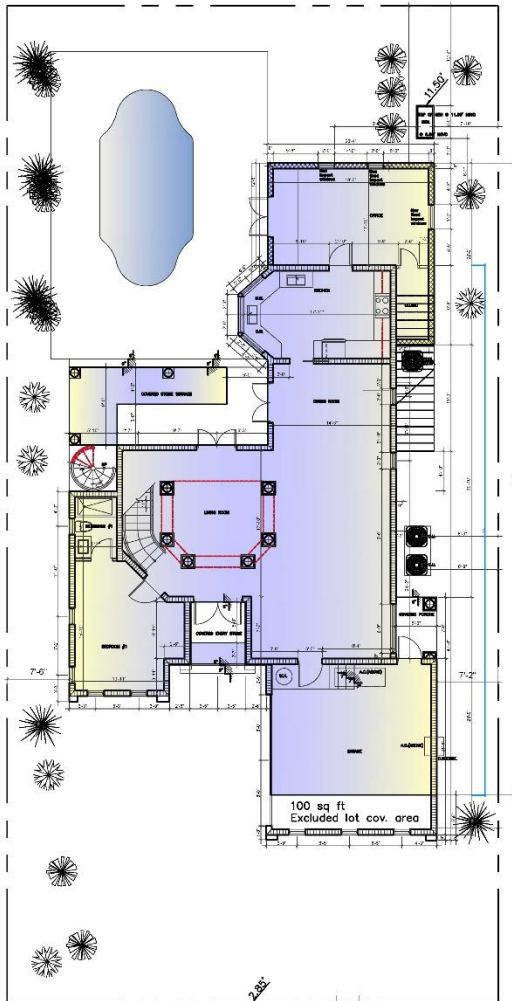
ARCHITECTURE
PLANNING
INTERIORS

These drawings represent the design of the project as shown on the drawings. The architect is not responsible for the construction of the project. The architect is not responsible for the construction of the project. The architect is not responsible for the construction of the project.

PROJECT NO.
2131
DATE
10/28/2021
REVISIONS

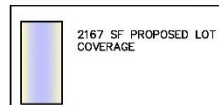
SHEET NO

A-2



PROPOSED LOT COVERAGE
DIAGRAM 1/16"=1'-0"

LOT COVERAGE LEGEND



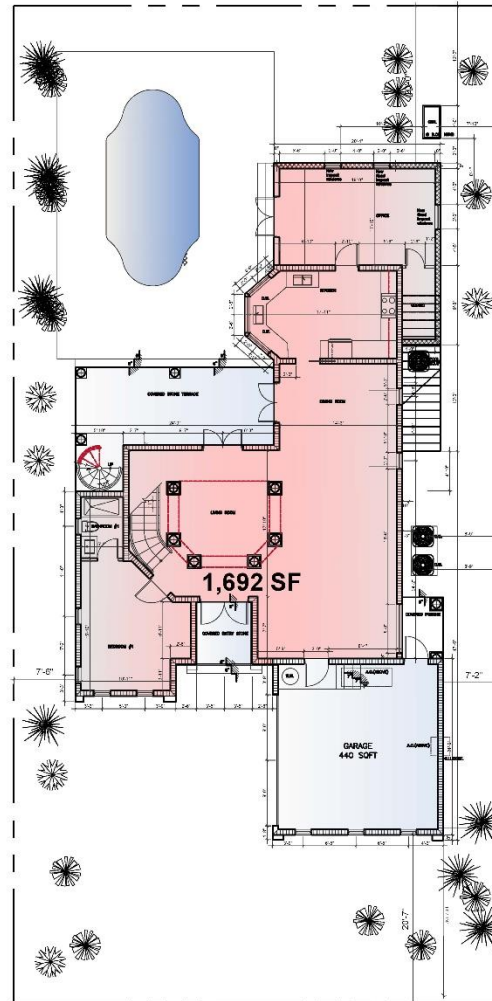
ZONING INFORMATION:

PROPERTY ADDRESS 2334 Alton Road, Miami Beach, FL 33140

ZONING AREA RS-4

LOT AREA 7,305 SF.

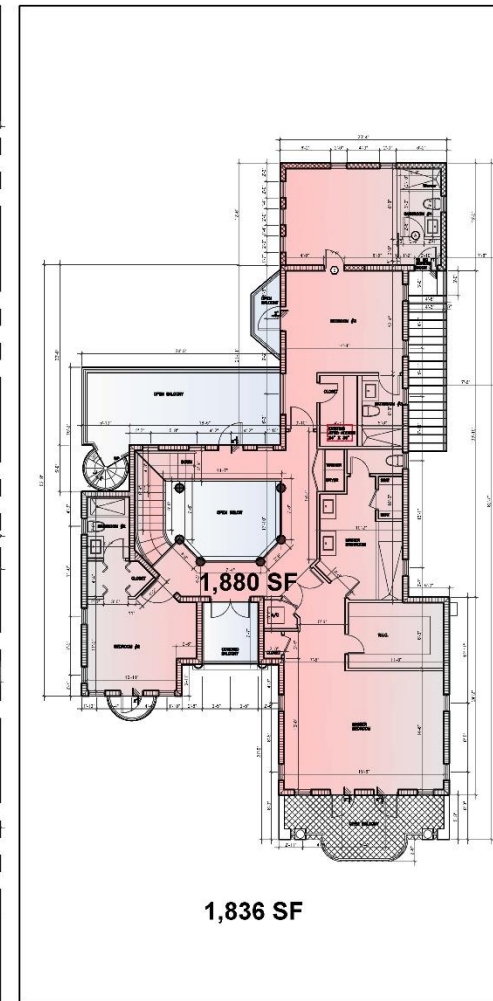
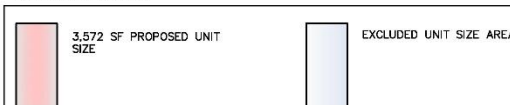
| | REQUIRED | EXISTING | PROPOSED |
|-------------------------------------|-----------------------|------------------------------------|----------|
| A. LOT AREA | 6,000 SF. MIN | 7,305 SF. | NA |
| B. LOT WIDTH | 50 FT. MIN. | 60'-0" FT. (EXISTING TO REMAIN) | NA |
| C. LOT COVERAGE | | | |
| 30% MAX LOT COVERAGE (2 STORY HOME) | 2,192 SF | 1734.18 SF | 2,167 SF |
| 50% MAX UNIT | 3,653 SF | 3,018 SF | 3,572 SF |
| D. FLOOR LOT RATIO | NA | NA | NA |
| E. FRONTAGE @ FRONT SETBACK | 50% MIN. | NA | NA |
| F. GREEN OPEN SPACE REQ. | 50% OF LOT 3,652.5 | 4,671 SF. | NA |



PROPOSED GROUND FLOOR PLAN 1/16"=1'-0"

PROPOSED UNIT DIAGRAM 1/16"=1'-0"

UNIT SIZE LEGEND



PROPOSED SECOND FLOOR PLAN 1/16"=1'-0"



2640 S. BAYSHORE DRIVE
 SUITE 301
 MIAMI, FLORIDA 33133
 TEL 305 210 4684
 JBERDESIGNSTUDIO.COM



DATE: 10/28/2021
 FILE: 0001404

PRIVATE RESIDENCE RENOVATION
 ADDRESS: 2334 ALTON ROAD,
 MIAMI BEACH, FL 33140

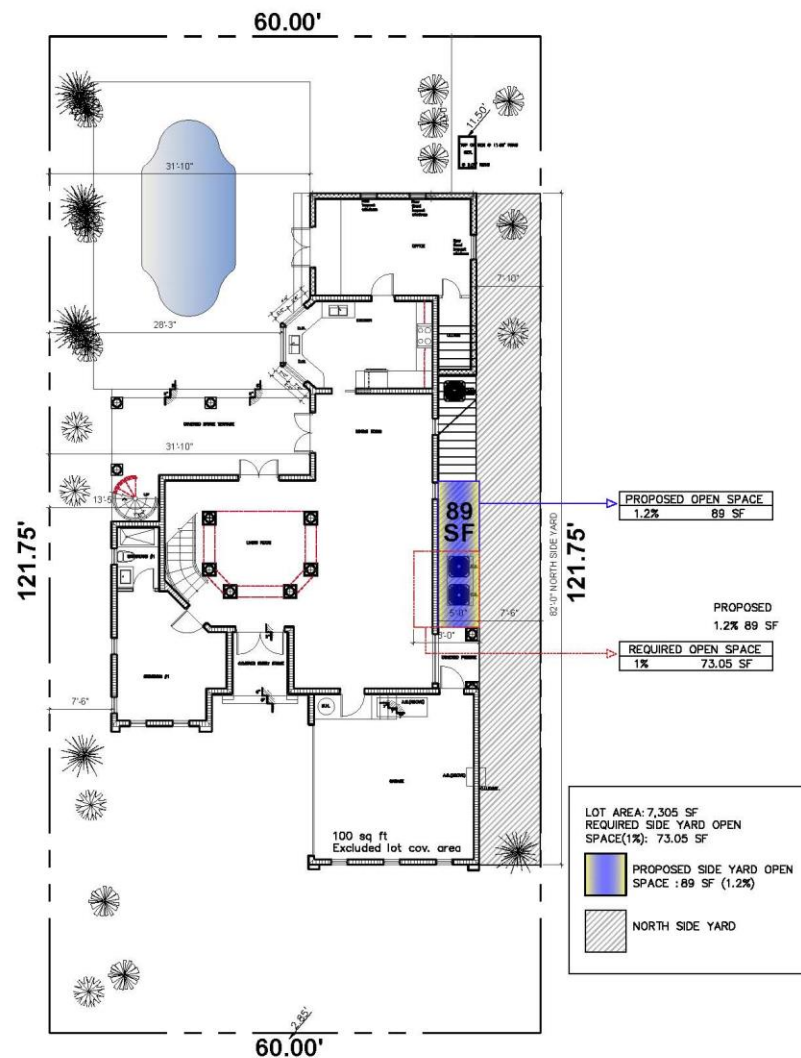
ARCHITECTURE
 PLANNING
 INTERIORS

These drawings represent the design of the project as shown on the drawings. The architect is not responsible for the accuracy of the information provided by the client. The architect is not responsible for the accuracy of the information provided by the client. The architect is not responsible for the accuracy of the information provided by the client.

PROJECT NO.
 2131
 DATE
 10/28/2021
 REVISIONS

SHEET NO

A-2.1



PROPOSED SIDE YARD OPEN SPACE DIAGRAM 1/16"=1'-0"



BERRY
DESIGN
STUDIO

2646 S. BAYSHORE DRIVE
BLDG. A SUITE 301
MIAMI, FLORIDA 33133
TEL 305 219 4894
jdberry@bdsai.com



James E. Berry, R.A.
F.L.C. 0091404

PRIVATE RESIDENCE RENOVATION

ADDRESS: 2334 ALTON ROAD,
MIAMI BEACH, FL 33140

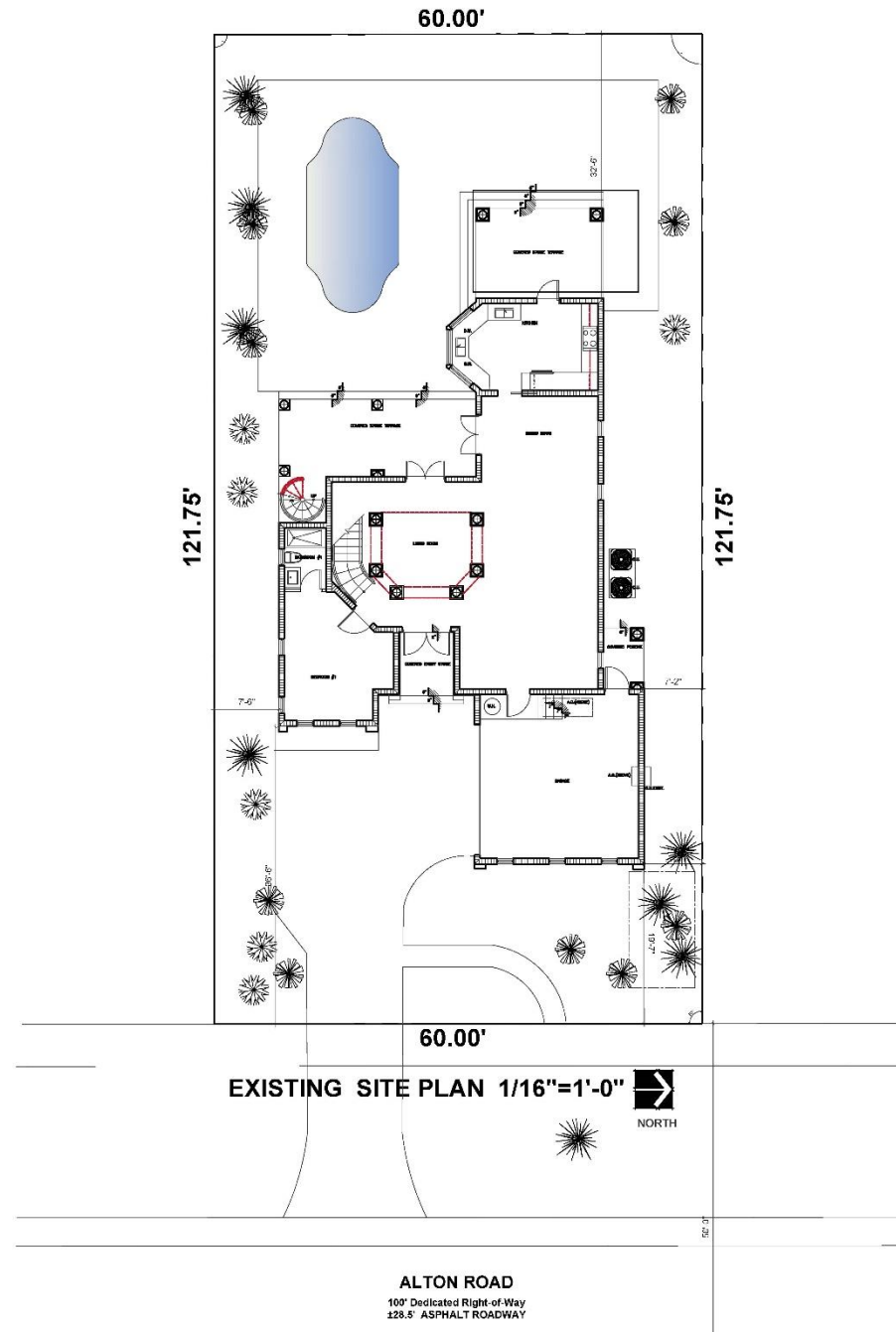
ARCHITECTURE
PLANNING
INTERIORS

All design drawings and plans
submitted or represented by this design
are intended for the property owner's use
and are not to be used for any other
purpose without the express written
consent of Berry Design Studio, Inc.

PROJECT NO.
2131
DATE
10/28/2021
REVISIONS

SHEET NO

A-2.2



2840 S. BAYSHORE DRIVE
SUITE A SUITE 301
MIAMI, FLORIDA 33133
TEL 305 216 4684
jacob@berrystudio.com



PRIVATE RESIDENCE RENOVATION

ADDRESS: 2334 ALTON ROAD,
MIAMI BEACH, FL 33140

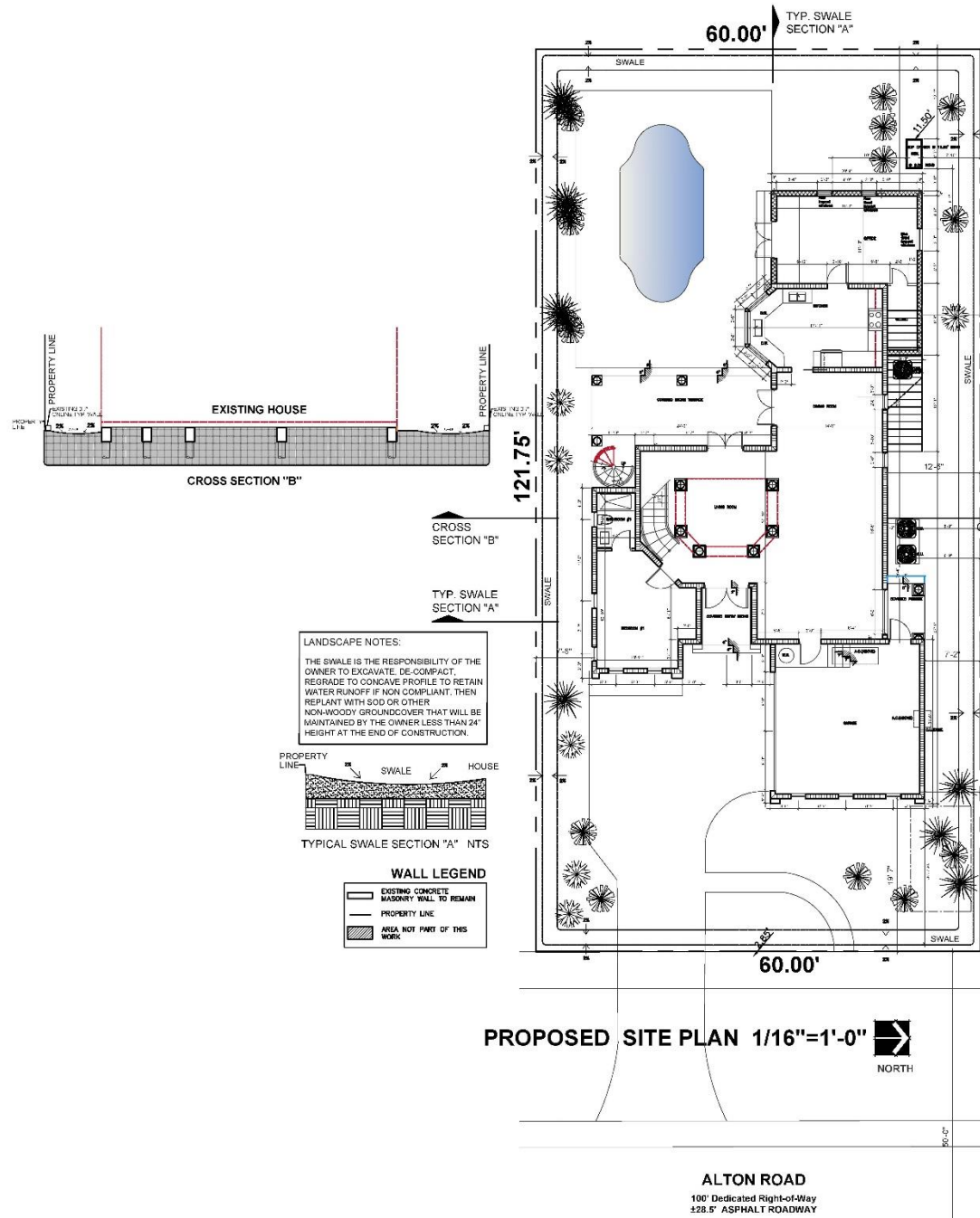
ARCHITECTURE
PLANNING
INTERIORS

This document is the property of Berry Design Studio. It is to be used for the project and site only. It is not to be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of Berry Design Studio. The user of this document is responsible for obtaining all necessary permits and approvals from the appropriate authorities. The user of this document is also responsible for obtaining all necessary permits and approvals from the appropriate authorities. The user of this document is also responsible for obtaining all necessary permits and approvals from the appropriate authorities.

PROJECT NO.
2131
DATE
10/28/2021
REVISIONS

SHEET NO

A-3



LEGAL DESCRIPTION :

LOT 4, BLOCK 13, OF "AMENDED PLAT OF SUNSET LAKE SUBDIVISION OF THE MIAMI BEACH BAY SHORE COMPANY", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 8, AT PAGE 52, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

PROPERTY ADDRESS: 2334 ALTON ROAD, MIAMI BEACH, FL 33140
 FOLIO: 02-3227-008-0820

CODE IN EFFECT:

FLORIDA BUILDING CODE 2020 7TH EDITION
 NEC 2017

SCOPE OF WORK:

LEVEL 2

- Enclosure of existing Backyard covered terrace at ground floor and second floor.
- Mechanical work as required and indicated.
- Electrical work as required and indicated.
- Plumbing work as required and indicated.

ZONING INFORMATION:

PROPERTY ADDRESS 2334 Alton Road, Miami Beach, FL 33140

ZONING AREA RS-4

LOT AREA 7,305 SF

| | REQUIRED | EXISTING | PROPOSED |
|-------------------------------------|---------------------|------------------------------------|----------|
| A. LOT AREA | 6,000 SF. MIN | 7,305 SF. | NA |
| B. LOT WIDTH | 50 FT. MIN. | 60'-0" FT. (EXISTING TO REMAIN) | NA |
| C. LOT COVERAGE | | | |
| 30% MAX LOT COVERAGE (2 STORY HOME) | 2,192 SF | 1,734 SF | 2,167 SF |
| 50% MAX UNIT | 3,653 SF | 3,018 SF | 3,572 SF |
| D. FLOOR LOT RATIO | NA | NA | NA |
| E. FRONTAGE @ FRONT SETBACK | 50% MIN. | NA | NA |
| F. GREEN OPEN SPACE REQ. | 50% OF LOT 3,653 | 4,671 SF. | NA |

BUILDING SETBACKS:

| | | | |
|------------------------------|-------------|-------------------------|--------|
| A. PRINCIPAL FRONT | 20'-0" MIN. | 19'-7" (EXIST. TO REM.) | NA |
| B. SECONDARY F./ STREET SIDE | 10'-0" MIN. | NA | |
| C. SIDES | 7'-6" | 7'-6" (EXIST. TO REM.) | NA |
| D. REAR | 20'-0" | 32'-6" (EXISTING) | 20'-0" |

FRONT YARD:

| | |
|--------------------------------|-------------------|
| REQUIRED LANDSCAPE: 282 SF | 789 SF (EXISTING) |
| MAX APPROVED HARDSCAPE: 780 SF | 400 SF (EXISTING) |

| PROJECT DATA WORK AREA | |
|------------------------------|---------------|
| OCCUPANCY GROUP | SINGLE FAMILY |
| ALTERATION TYPE | LEVEL 2 |
| EXIST. NO. HOUSES CROSS AREA | 3,265 SF |
| ALTERATION WORK AREA | 472 SF |
| FLOORING REVOLUTION AREA | 348 SF |

| | |
|------------------------------|----------------------------|
| FLOOD ZONE | AE |
| BASE FLOOD ELEVATION (BFE): | 8.0' |
| EXISTING BUILDING ELEVATION: | F.F.E. 8.20' |
| TYPE OF CONSTRUCTION: | SINGLE-FAMILY- RESIDENTIAL |
| COMMUNITY NAME/NUMBER: | 120551 |
| FIRM PANEL NUMBER: | 12096C0317 |

NO TREE TO BE DISTURBED UNDER THIS PERMIT



2840 S. BAYSHORE DRIVE
 SUITE A SUITE 301
 MIAMI, FLORIDA 33133
 TEL 305 210 4684
 JBERRYDESIGNSTUDIO.COM



DATE: 2021.04.24
 P.L. 001454

PRIVATE RESIDENCE RENOVATION
 ADDRESS: 2334 ALTON ROAD,
 MIAMI BEACH, FL 33140

ARCHITECTURE
 PLANNING
 INTERIORS

"We warrant that the design and construction of the project shall conform to the applicable building codes and regulations of the State of Florida and the County of Miami-Dade, and that the project shall be completed within the time frame specified in the contract documents."

PROJECT NO.
 2131
 DATE
 10/28/2021
 REVISIONS

SHEET NO

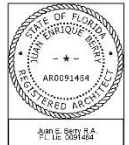
A-3.1



CURRENT COLOR PHOTOGRAPHS
PROJECT SITE AND EXISTING STRUCTURES
DATE: 05/16/2024



BERRY
DESIGN
STUDIO



PRIVATE RESIDENCE RENOVATION
ADDRESS: 2334 ALTON ROAD,
MIAMI BEACH, FL 33140

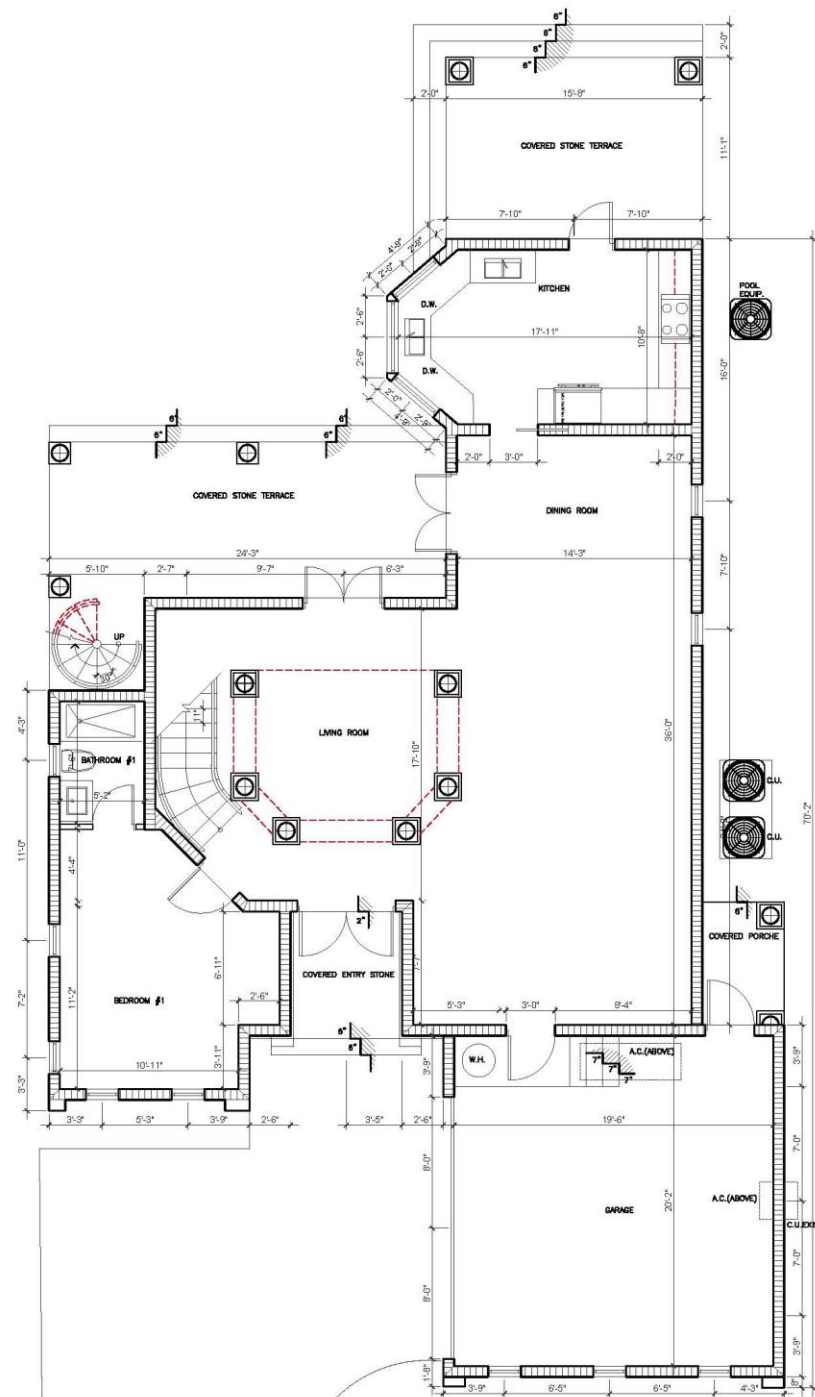
ARCHITECTURE
PLANNING
INTERIORS

These drawings represent the design of a project as shown on the drawings. The architect is not responsible for the construction of the project. The architect is not responsible for the construction of the project. The architect is not responsible for the construction of the project.

PROJECT NO.
2131
DATE
10/28/2021
REVISIONS

SHEET NO

A-4



WALL LEGEND

| | |
|--|--|
| | EXISTING CONCRETE MASONRY WALL |
| | PROPOSED CONCRETE MASONRY WALL |
| | EXISTING STANDARD INTERIOR DRYWALL PARTITION |
| | PROPOSED STANDARD INTERIOR DRYWALL PARTITION |
| | EXISTING TO BE DEMOLISHED |

EXISTING GROUND FLOOR PLAN 1/8"=1'-0"



2846 S. BAYSHORE DRIVE
BLDG. A SUITE 301
MIAMI, FLORIDA 33133
TEL 305 219 4894
jerry@berrystudio.com



Jerry E. Berry, R.A.
FL Lic. 0091484

PRIVATE RESIDENCE RENOVATION

ADDRESS: 2334 ALTON ROAD,
MIAMI BEACH, FL 33140

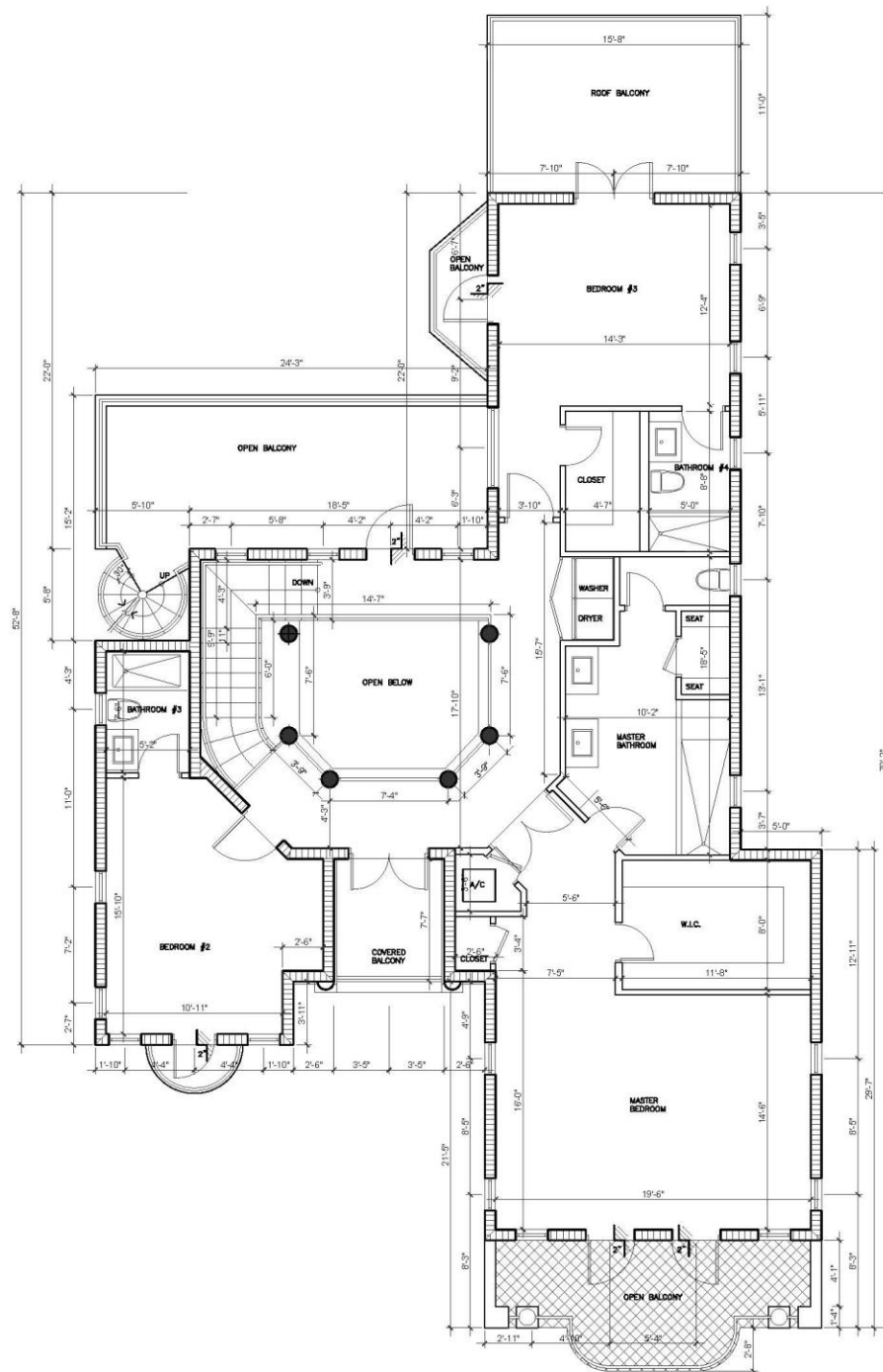
ARCHITECTURE
PLANNING
INTERIORS

All design drawings and plans are submitted as representations of the design, and are not to be used for construction without the approval of the architect. The architect is not responsible for the accuracy of the information provided in this drawing. The architect is not responsible for the accuracy of the information provided in this drawing. The architect is not responsible for the accuracy of the information provided in this drawing.

PROJECT NO.
2131
DATE
10/28/2021
REVISIONS

SHEET NO

A-5



WALL LEGEND

| | |
|--|--|
| | EXISTING CONCRETE MASONRY WALL |
| | PROPOSED CONCRETE MASONRY WALL |
| | EXISTING STANDARD INTERIOR DRYWALL PARTITION |
| | PROPOSED STANDARD INTERIOR DRYWALL PARTITION |
| | EXISTING TO BE DEMOLISHED |

EXISTING SECOND FLOOR PLAN 1/8"=1'-0"



BERRY
DESIGN
STUDIO

2848 S. BAYSHORE DRIVE
BLDG. A SUITE 301
MIAMI, FLORIDA 33133
TEL 305 219 4894
jam@berrystudio.com



James E. Berry, R.A.
FL Lic. 0091484

PRIVATE RESIDENCE RENOVATION

ADDRESS: 2334 ALTON ROAD,
MIAMI BEACH, FL 33140

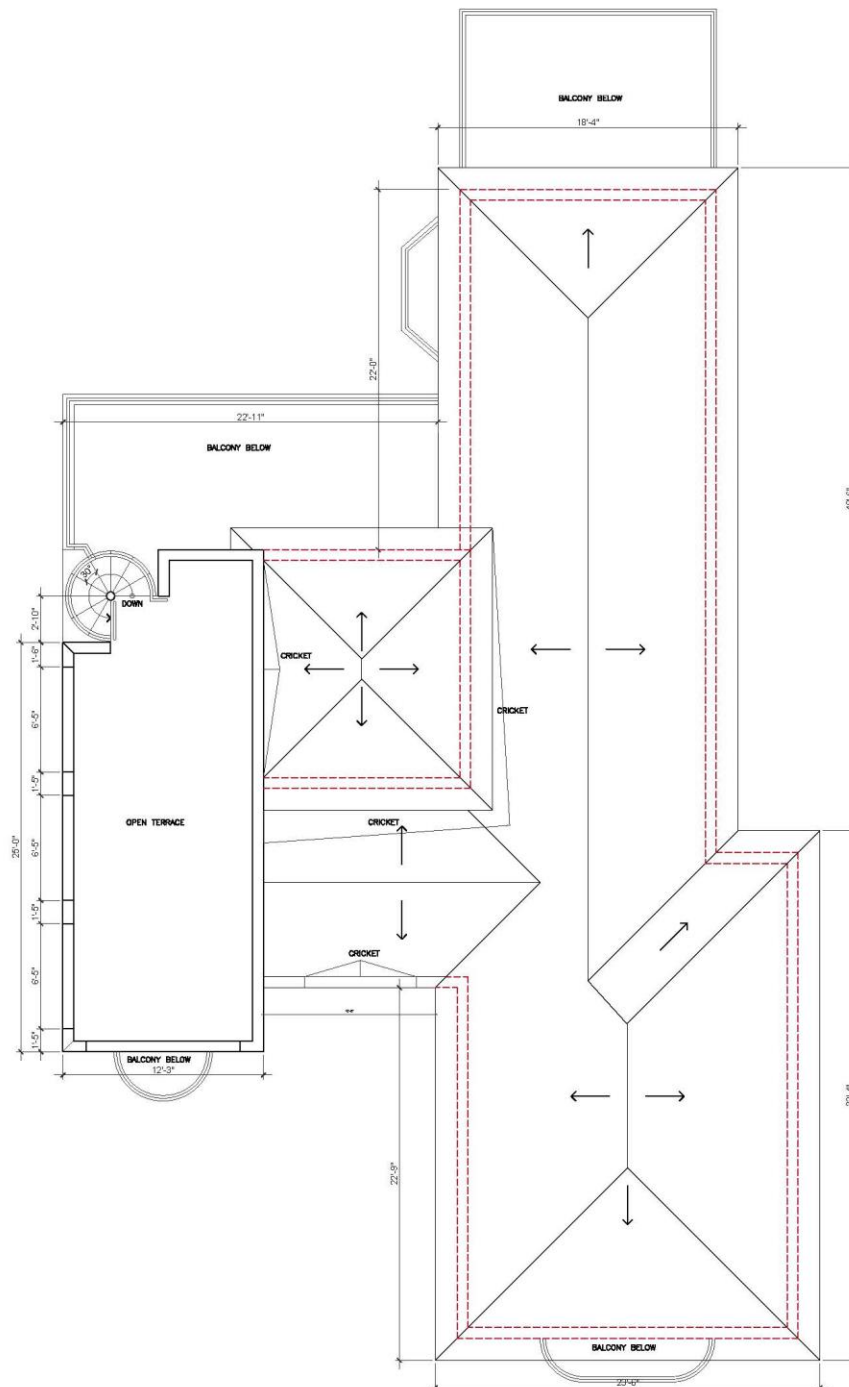
ARCHITECTURE
PLANNING
INTERIORS

All design drawings are the property of the architect and shall not be reproduced, copied, or used in any manner without the written consent of the architect. The architect shall not be responsible for any errors or omissions in the drawings or for any consequences resulting therefrom. The architect shall not be responsible for any construction or other work not shown on the drawings or for any construction or other work not shown on the drawings or for any construction or other work not shown on the drawings.

PROJECT NO.
2131
DATE
10/28/2021
REVISIONS

SHEET NO

A-6



WALL LEGEND

| | |
|--|--|
| | EXISTING CONCRETE MASONRY WALL |
| | PROPOSED CONCRETE MASONRY WALL |
| | EXISTING STANDARD INTERIOR DRYWALL PARTITION |
| | PROPOSED STANDARD INTERIOR DRYWALL PARTITION |
| | EXISTING TO BE DEMOLISHED |

EXISTING ROOF PLAN 1/8"=1'-0"



BERRY
DESIGN
STUDIO



James E. Berry, R.A.
FL Lic. 0091484

PRIVATE RESIDENCE RENOVATION
ADDRESS: 2334 ALTON ROAD,
MIAMI BEACH, FL 33140

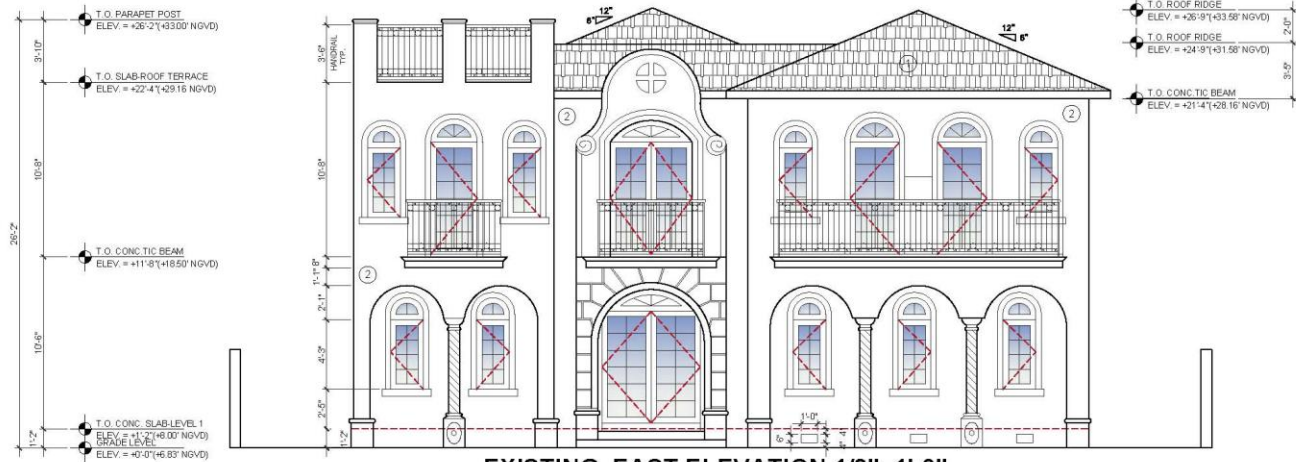
ARCHITECTURE
PLANNING
INTERIORS

All design drawings and plans
submitted or represented by the design
firm shall be the property of the design
firm and shall remain confidential.
No part of these drawings or plans
shall be copied or reproduced in any
manner without the express written
consent of Berry Design Studio, Inc.

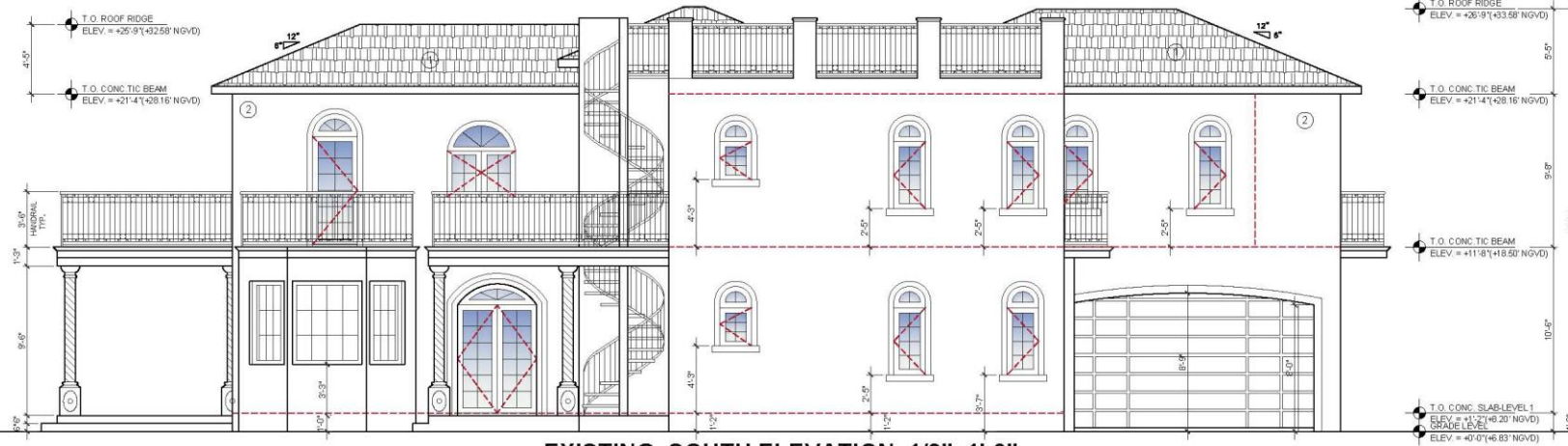
PROJECT NO.
2131
DATE
10/28/2021
REVISIONS

SHEET NO

A-7



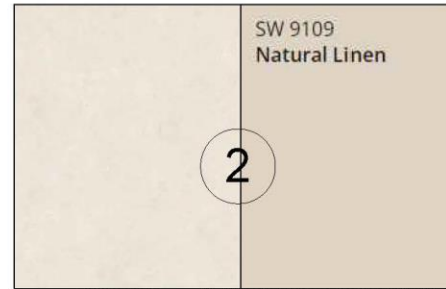
EXISTING EAST ELEVATION 1/8"=1'-0"



EXISTING SOUTH ELEVATION 1/8"=1'-0"



ROOF TILE
TO MATCH EXISTING



STUCCO + APPROVED COLOR PAINT
TO MATCH EXISTING



PROPOSED WINDOWS
TO MATCH EXISTING



2848 S. BAYSHORE DRIVE
BLDG. A SUITE 301
MIAMI, FLORIDA 33133
TEL 305 218 4884
jam@berrystudio.com



Jam E. Berry, R.A.
P.L.C. No. 0091484

PRIVATE RESIDENCE RENOVATION
ADDRESS: 2334 ALTON ROAD,
MIAMI BEACH, FL 33140

ARCHITECTURE
PLANNING
INTERIORS

All design drawings and plans shall be submitted to the appropriate authority for review and approval. The architect shall be responsible for obtaining all necessary permits and approvals. The architect shall be responsible for obtaining all necessary permits and approvals. The architect shall be responsible for obtaining all necessary permits and approvals.

PROJECT NO.
2131
DATE
10/28/2021
REVISIONS

SHEET NO

A-8

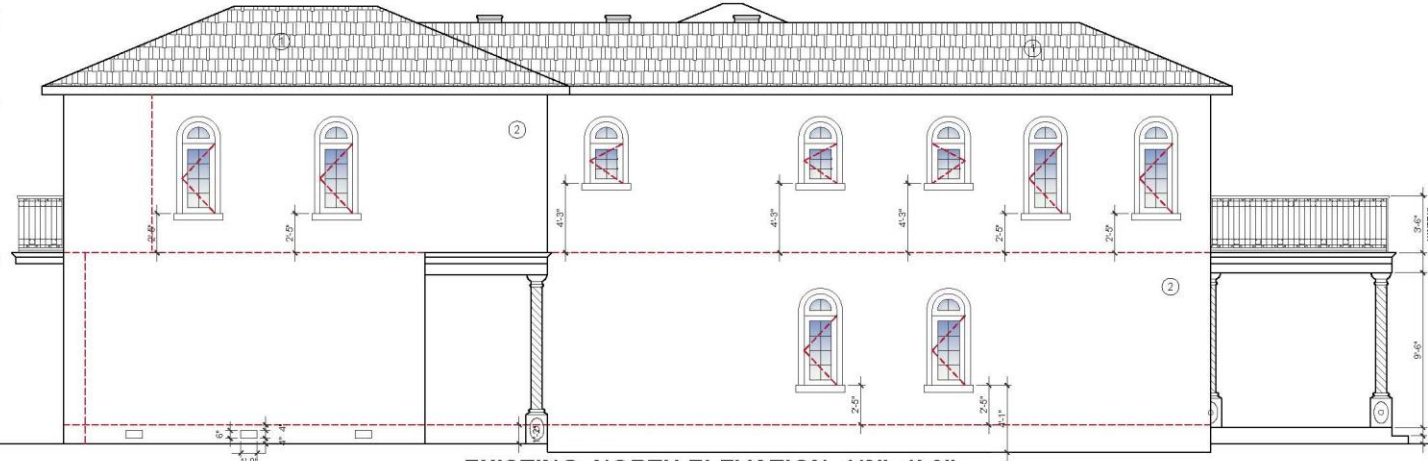
T.O. ROOF RIDGE
 ELEV. = +26'-9" (+33.58' NGVD)
 ELEV. = +25'-9" (+32.58' NGVD)
 T.O. CONCRETE BEAM
 ELEV. = +21'-4" (+26.16' NGVD)
 T.O. CONCRETE BEAM
 ELEV. = +11'-8" (+16.50' NGVD)
 T.O. CONC. SLAB LEVEL 1
 GRADE LEVEL
 ELEV. = +0'-0" (+0.00' NGVD)
 ELEV. = +0'-0" (+0.00' NGVD)



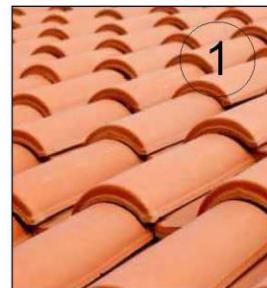
T.O. PARAPET POST
 ELEV. = +26'-2" (+33.00' NGVD)
 T.O. ROOF RIDGE
 ELEV. = +24'-9" (+31.58' NGVD)
 T.O. SLAB-ROOF TERRACE
 ELEV. = +22'-4" (+29.16' NGVD)

EXISTING WEST ELEVATION 1/8"=1'-0"

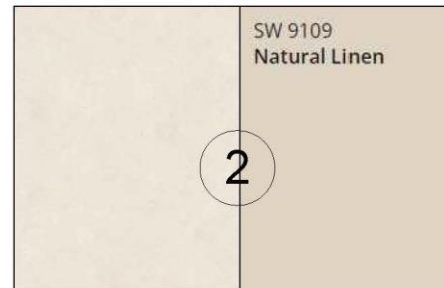
T.O. ROOF RIDGE
 ELEV. = +26'-9" (+33.58' NGVD)
 ELEV. = +25'-9" (+32.58' NGVD)
 T.O. CONCRETE BEAM
 ELEV. = +21'-4" (+26.16' NGVD)
 T.O. CONCRETE BEAM
 ELEV. = +11'-8" (+16.50' NGVD)
 T.O. CONC. SLAB LEVEL 1
 GRADE LEVEL
 ELEV. = +0'-0" (+0.00' NGVD)
 ELEV. = +0'-0" (+0.00' NGVD)



EXISTING NORTH ELEVATION 1/8"=1'-0"



ROOF TILE
TO MATCH EXISTING



STUCCO + APPROVED COLOR PAINT
TO MATCH EXISTING



PROPOSED WINDOWS
TO MATCH EXISTING



2640 S. BAYSHORE DRIVE
 WILMINGTON, DE 19804
 TEL 302 310 4884
 jacob@berrydesignstudio.com



JOHN E. BERRY, R.A.
 FL. LIC. 0081484

PRIVATE RESIDENCE RENOVATION
 ADDRESS: 2334 ALTON ROAD,
 MIAMI BEACH, FL 33140

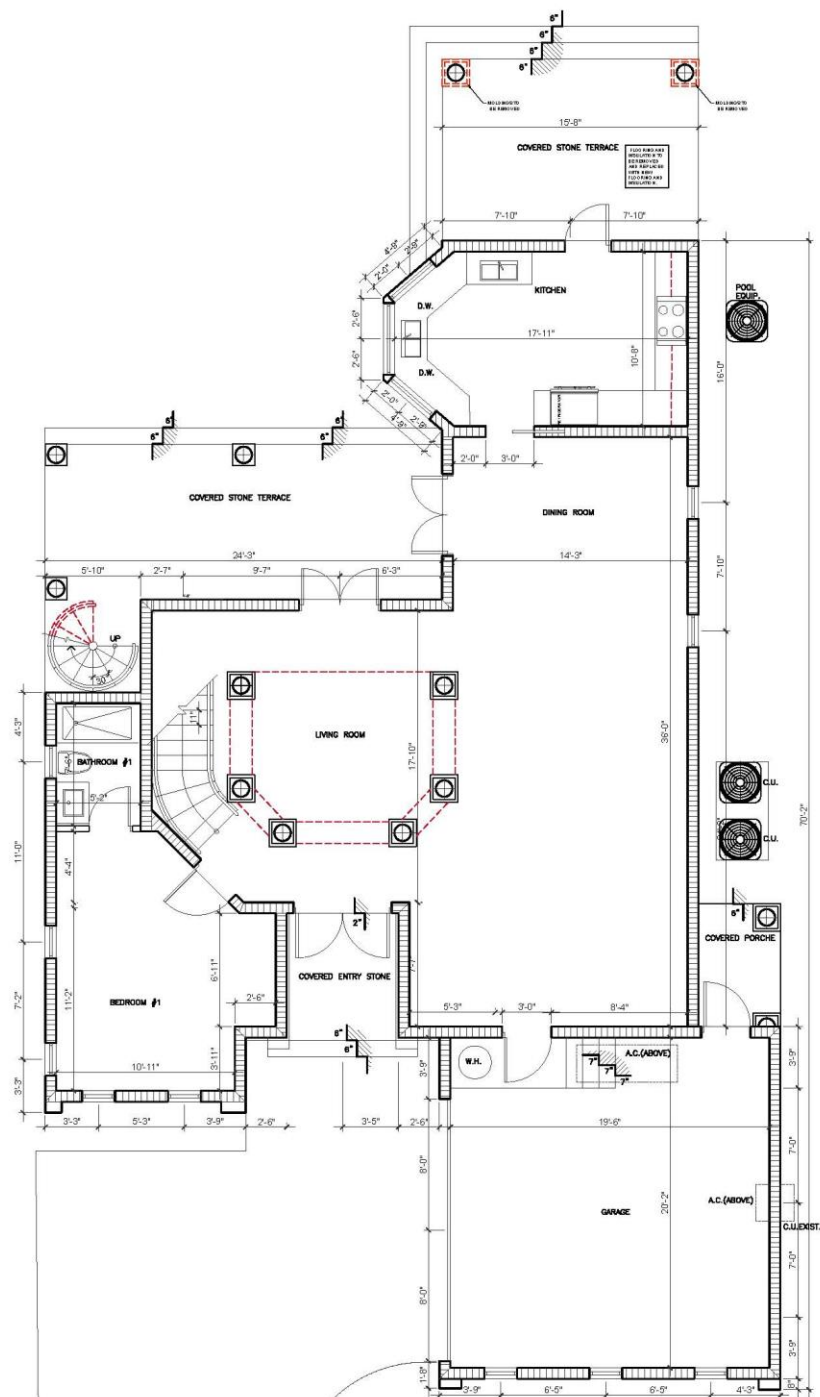
ARCHITECTURE
 PLANNING
 INTERIORS

All design drawings are prepared by the architect and are subject to the architect's review and approval. The architect is not responsible for the accuracy of the information provided by the owner or for the accuracy of the information provided by the engineer or other consultants. The architect is not responsible for the accuracy of the information provided by the owner or for the accuracy of the information provided by the engineer or other consultants.

PROJECT NO.
 2131
 DATE
 10/28/2021
 REVISIONS

SHEET NO

A-9



- DEMOLITION NOTES:
1. INTERIOR PARTITIONS SHALL BE REMOVED AND DISPOSED AS INDICATED ON THIS PLAN & LEGEND.
 2. CONTRACTOR SHALL PATCH AND REPAIR DRYWALL CEILING THAT IS DAMAGED TO REMAIN.
 3. EXISTING DOORS, LOCK FRAMES & HANDICAPS SHALL BE REMOVED. (SEE OTHER SIDE NOTES)
 4. THE CONTRACTOR SHALL FURNISH ALL LABOR MATERIALS & EQUIPMENT TO DEMOLISH, DEMOLITION, REMOVE & SALVAGE IN THE DISPOSITION OF DEMOLITION IN EXISTING SPACE.
 5. CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PREVENT DAMAGE TO EXISTING STRUCTURE OR EQUIPMENT CAUSED BY THIS OPERATION AND SHALL NOT INTERFERE WITH EXISTING STRUCTURE SYSTEMS.
 6. UPON COMPLETION OF DEMOLITION, THE EXISTING AREA SHALL BE CLEARED OF ALL DEBRIS AND PREPARED FOR NEW CONSTRUCTION.
 7. EXISTING CONDITIONS NOT SHOWN ON THIS PLAN SHALL BE REMOVED WITH DEBRIS OR CLUST TO REMAIN.
 8. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY SAFEGUARDS AND SAFETY BARRIERS AS REQUIRED BY AISC. CONTRACTOR TO PROVIDE DUST CONTROL MEASURES.
 9. WHERE EXISTING FLOOR IS TO BE REMOVED, CONTRACTOR SHALL PREPARE SLAB TO BE LEVEL & SMOOTH, READY TO RECEIVE NEW FLOOR.
 10. CONTRACTOR SHALL REMOVE AS INDICATED FINISH FLOOR SURFACE SHALL BE PREPARED TO RECEIVE NEW FINISHES.
 11. CONTRACTOR SHALL LOCATE, IDENTIFY, TURN-OFF AND DISCONNECT UTILITY SERVICES THAT ARE NOT INDICATED TO REMAIN FULL BLANK WITH SAME FINE WATER INTERFERENCE. REMOVE ALL ELECTRICAL WIRING, P-RODS, HANGERS, ETC. IN EXISTING PARTITIONS AND TURN-OFF AT SOURCE. REMOVE AND PLACE WATER LINES AT SOURCE. (ONLY IF SO INDICATED)
 12. ALL ITEMS OF SALVAGEABLE VALUE, AS DETERMINED BY THE OWNER, SHALL BE CAREFULLY HANDLED, COUNTEY STORED AND TUNED OVER TO THE BUILDING MANAGER, CONTRACTOR TO OBTAIN A RECEIPT. THESE ITEMS SHALL BE STORED FOR THE BUILDING IN AN AREA DESIGNATED BY THE BUILDING MANAGER.
 13. CONTRACTOR SHALL VISIT AND INSPECT THE SITE PRIOR TO BID.
 14. ALL EXISTING FIRE ALARMS (WIRELESS OPERATORS, BUILT-UP/EXTINGUISHERS) SHALL REMAIN CONNECTED TO EXISTING SYSTEMS, ORDER TO ENGINEERING (SEE OTHER SIDE FOR ADDITIONAL INFORMATION)
 15. ALL EXISTING A/C SYSTEMS, EXTERIORS (RETURN/EXHAUST) AIR DISTRIBUTION CONTRACTOR SHALL REMAIN PRIOR TO EXISTING SYSTEMS (SEE OTHER SIDE FOR ADDITIONAL INFORMATION)
 16. CONTRACTOR SHALL COORDINATE WORK WITH OTHER TRADES AND SHALL PROTECT THE BUILDING STRUCTURE AND ALL EXISTING MATERIAL AND EQUIPMENT NOT SCHEDULED FOR DEMOLITION.
 17. CONTRACTOR SHALL COORDINATE TO ENSURE UTILITY SYSTEMS REMAIN IN OPERATION AS REQUIRED TO ACCOMMODATE DEMOLITION ACTIVITIES. COORDINATE INTERUPTIONS TO UTILITIES WITH THE OWNER'S REPRESENTATIVE AND ARCHITECT.
 18. CONTRACTOR SHALL MAINTAIN ALL PRACTICAL CARE TO PROVIDE DUST AND NOISE CONTROL. PROTECTION, COMPLY WITH GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION.
 19. IF HAZARDOUS MATERIALS ARE ENCOUNTERED DURING DEMOLITION OPERATIONS, NOTIFY APPROPRIATE REGULATORY AGENCIES AND IMMEDIATELY CONSIDER REMOVAL, HANDLING AND PROTECTION AGAINST EXPOSURE TO ENVIRONMENTAL POLLUTION.
 20. CONTRACTOR IS RESPONSIBLE FOR PROVIDING CURBING AND INSTALLING ALL ITEMS DESCRIBED IN THE DRAWINGS FOR A COMPLETE INSTALLATION REGARDLESS OF HOW OR HOW IT IS SHOWN, UNLESS THEY ARE MARKED BOLD (NOT IN CONTRACT). CONTRACTOR SHALL COORDINATE AND FACILITATE INSTALLATION OF ALL ITEMS FOR MORE MARKED BOLD, REFER TO GENERAL.
 21. CONTRACTOR SHALL OBTAIN ALL PERMITS WITH APPLICABLE BUILDING DEPARTMENTS AND SHALL OBTAIN AND FOLLOW ALL APPLICABLE ORDINANCES AND CODES.
 22. THE LATEST VERSION OF THE GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION BY THE AMERICAN INSTITUTE OF ARCHITECTS SHALL APPLY.
 23. CONTRACTOR TO SUBMIT UNIT PRICES FOR ALL MATERIALS AND LABOR COSTS.
 24. CONTRACTOR SHALL INSPECT THE EXISTING BUILDING AREA AND FURNISHES SIGNED WITH ALL EXISTING STRUCTURAL, MECHANICAL, AND ELECTRICAL CONDITIONS INVOLVED IN THIS CONTRACT.
 25. CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY DISCREPANCIES IN DRAWINGS OR THE PLANS AND FIELD CONDITIONS AND DISCREPANCIES IN PRODUCTS SPECIFIED. IN CASE OF DISCREPANCY IN METHOD OR PRODUCTS & MATERIAL, MOST CONFORMING SOLUTION APPLIES.
 26. ALL CONSTRUCTION DELAYED ARE TO BE COORDINATED WITH THE BUILDING MANAGEMENT.
 27. GENERAL CONTRACTOR SHALL COORDINATE AND ARRANGE USE OF TOILET FACILITIES WITH BUILDING MANAGEMENT AT A PRE-CONSTRUCTION MEETING.
 28. CONTRACTOR SHALL REMOVE, CUT AND PATCH ALL EXISTING CONSTRUCTION AND REPAIRS AS REQUIRED TO PREPARE THE PREPARATION FOR NEW WORK AND ALTERED WORK.
 29. FOR ALL CONSULTATION WORK AND RESULTS OF CONSTRUCTION DURING, THE CONTRACTOR IS TO COORDINATE WITH THE BUILDING DESIGNER IN ORDER THAT IT WILL NOT INTERFERE WITH THE EXISTING BUILDING AND THE USE OF ELEVATORS, ETC.
 30. ALL EXISTING SURFACES THAT ARE WITHIN THE SCOPE OF NEW WORK SHALL BE CHANGED FOR CRACKS, BRICKS, IMPERFECTIONS AND IMPERFECTIONS. ALL SURFACES SHALL BE EITHER PATCHED OR PATCHED AND MADE READY TO RECEIVE NEW FINISHES OR MADE TO MATCH OR ALIGN WITH ALL EXISTING MATERIALS AND FINISHES.
 31. PATCH AND REPAIRS TO MATCH AND ALIGN WITH ALL EXISTING MATERIALS AND FINISHES, ALL WORK BEYOND LIMITS OF NEW WORK THAT IS DAMAGED OR ALTERED DURING THE EXECUTION OF THE WORK IN THIS CONTRACT.
 32. ALL CONSTRUCTION WORK PERFORMED ON OTHER FLOORS / TENANT SPACES, THE SPACES ARE TO BE RETURNED TO THEIR ORIGINAL CONDITION AT NO ADDITIONAL COST TO EXISTING TENANT OR OWNER. CONTRACTOR SHALL OBTAIN WRITTEN PERMISSION FROM THE OCCUPYING SPACE AND THE OWNER PRIOR TO PERFORMANCE ANY WORK.
 33. THE CONTRACTOR IS RESPONSIBLE FOR ALL DAMAGE THAT OCCURS TO THE EXISTING BUILDING, COVER FLOOR, PLUMBING AND TENANT SPACE, CAUSED BY THE NEW CONSTRUCTION.
 34. ALL IMPROVED REPAIRS, CONSULTANTS, SPECIALISTS, THESE SECTIONS AND ALL OTHER DEVICES, UNLESS OTHERWISE NOTED SHALL REMAIN AND OR BE REPAIRS/REPLACED, ORDER TO ENGINEERING DRAWINGS FOR ADDITIONAL INFORMATION.
 35. ALL PREPARATION PREPARED FOR METAL PIPE AND INSULATED PIPE SHALL BE IN ACCORDANCE WITH UNDERWRITERS LABORATORY TEST ASSEMBLY 14.1476.
 36. CONTRACTOR SHALL MAINTAIN THE INTEGRITY OF THE FIRE ENVELOPE DURING DEMOLITION AND CONSTRUCTION.
 37. CONTRACTOR SHALL NOTIFY DESIGNER OR CLIENT OF ANY EXISTING CONDITIONS NOT SHOWN ON THIS PLAN AND SHALL SHOW THESE PRIOR TO PROCEEDING WITH WORK.
 38. ANY ELECTRICAL, PLUMBING LINES SHOWN REQUIRE REMOVAL, ORDER A TYPICAL CONTRACTOR SHALL CAP & SEAL SLAB/PARTITION WITH SAME FINE WATER INTERFERENCE.
 39. ALL EXISTING FIRE EXTINGUISHERS SHALL REMAIN, UNLESS IMPACTED BY DEMOLITION, STORE EXTINGUISHERS IN IMPACTED AREA SHALL BE STORED FOR REUSE IN TENANT SPACE.

WALL LEGEND

| | |
|--|--|
| | EXISTING CONCRETE MASONRY WALL |
| | PROPOSED CONCRETE MASONRY WALL |
| | EXISTING STANDARD INTERIOR DRYWALL PARTITION |
| | PROPOSED STANDARD INTERIOR DRYWALL PARTITION |
| | EXISTING TO BE DEMOLISHED |

DEMOLITION GROUND FLOOR PLAN 1/8"=1'-0"



2840 S. BAYSHORE DRIVE
BLDG. A SUITE 301
MIAMI, FLORIDA 33133
TEL 305 210 4894
jacob@berrystudio.com



James E. Berry, R.A.
FL Lic. 0091404

PRIVATE RESIDENCE RENOVATION
ADDRESS: 2334 ALTON ROAD,
MIAMI BEACH, FL 33140

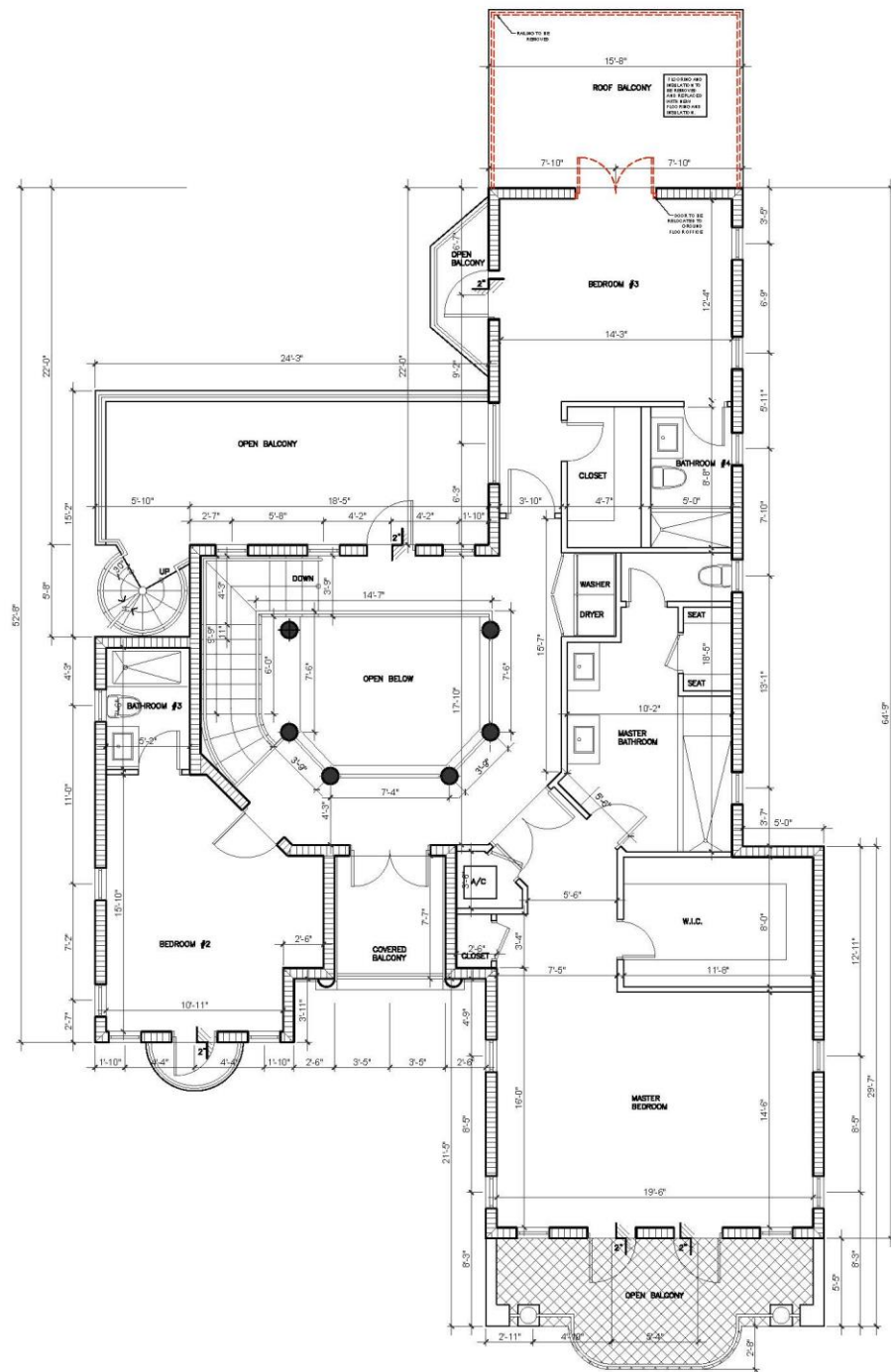
ARCHITECTURE
PLANNING
INTERIORS

All design drawings and plans shall be submitted to the client for review and approval. It is the client's responsibility to ensure that all drawings and plans are submitted to the client for review and approval. The client shall be responsible for any errors or omissions in the drawings and plans. The client shall be responsible for any errors or omissions in the drawings and plans.

PROJECT NO. 2131
DATE 10/28/2021
REVISIONS

SHEET NO

A-10



- DEMOLITION NOTES**
1. EXISTING PARTITIONS SHALL BE REMOVED AND EXPOSED AS INDICATED ON THIS PLAN & LEGEND.
 2. CONTRACTOR SHALL PATCH AND REPAIR EXISTING CEILING THAT IS EXPOSED TO REMAIN.
 3. EXISTING DOORS, SINK FRAMES & HARDWARE SHALL BE REMOVED. (SEE OVERLAP NOTED)
 4. THE CONTRACTOR SHALL FURNISH ALL LABOR MATERIALS & EQUIPMENT TO DEMOLISH EXISTING WALLS, REMOVE & SALVAGE IN THE DISPOSITION OF DEMOLITION IN EXISTING SPACE.
 5. CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PREVENT DAMAGE TO EXISTING STRUCTURE OR EQUIPMENT CAUSED BY THIS OPERATION AND SHALL NOT INTERFERE WITH EXISTING STRUCTURE SYSTEMS.
 6. UPON COMPLETION OF DEMOLITION, THE EXISTING AREA SHALL BE CLEANED OF ALL DEBRIS AND PREPARED FOR NEW CONSTRUCTION.
 7. EXISTING CONDITIONS NOT SHOWN ON THIS PLAN SHALL BE REMOVED WITH OWNER OR CLIENT TO REMAIN.
 8. THE CONTRACTOR SHALL FURNISH ALL NECESSARY SAFETY BARRIERS AND SAFETY SIGNAGE AS REQUIRED BY WORK. CONTRACTOR TO PROVIDE DAILY CONTROL MEASURES.
 9. BEFORE EXISTING FLOOR IS TO BE REMOVED, CONTRACTOR SHALL PREPARE SLAB TO BE LEVEL & SMOOTH, READY TO RECEIVE NEW FINISH.
 10. CONTRACTOR SHALL REMOVE ALL EXISTING FLOOR PLAN, SURFACES SHALL BE PREPARED TO RECEIVE NEW FINISHES.
 11. CONTRACTOR SHALL LOCATE EXISTING STUDY-UP AND DISCONNECT UTILITY SERVICES THAT ARE NOT INDICATED TO REMAIN, FILL SLAB WITH SINK FILL RATED EVIDENTLY, REMOVE ALL ELECTRICAL, W.C., J-BOXES, INSULATION, ETC. IN EXISTING PARTITIONS AND 10'-0" AT BOUNDS. REMOVE AND FILL WATER LINES AT SOURCE (ONLY IF NO DETECTED).
 12. ALL ITEMS OF UNREMARKABLE VALUE, AS DETERMINED BY THE OWNER, SHALL BE CAREFULLY REMOVED, CLEARED, STORED AND TURNED OVER TO THE BUILDING MANAGER. CONTRACTOR TO FURNISH A RECEIPT. THESE ITEMS SHALL BE STORED FOR THE BUILDING IN AN AREA DESIGNATED BY THE BUILDING MANAGER.
 13. CONTRACTOR SHALL MEET AND INSPECT THE SITE PRIOR TO BEG.
 14. ALL CEILING FIRE ALARM DEVICES (SPRINKLER, SMOKE DETECTORS) SHALL REMAIN, CONNECTED TO EXISTING SYSTEMS, REFER TO ENGINEERING DRAWINGS FOR ADDITIONAL INFORMATION.
 15. ALL EXISTING A/C DUCTWORK, DIFFUSERS (RETURN/SUPPLY) ARE TO REMAIN. CONTRACTOR SHALL REMOVE, REFER TO ENGINEERING DRAWINGS FOR ADDITIONAL INFORMATION.
 16. CONTRACTOR SHALL COORDINATE WORK WITH OTHER TRADES AND SHALL PROTECT THE BUILDING STRUCTURE AND ALL EXISTING MATERIALS AND EQUIPMENT NOT SCHEDULED FOR DEMOLITION.
 17. CONTRACTOR SHALL COORDINATE TO DISBURSE UTILITY SYSTEMS REMAIN IN OPERATION AS NEEDED TO ACCOMMODATE DEMOLITION ACTIVITIES. COORDINATE INTERFERENCE TO UTILITIES WITH THE OWNER'S REPRESENTATIVE AND ARCHITECT.
 18. CONTRACTOR SHALL PRACTICE ALL PRACTICE, CARE TO PROVIDE BEST AND MAKE CONTROL, PROTECTING EXISTING WITH DEMOLITION. REGULATIONS PERTAINING TO DEMOLITION, PROTECTION.
 19. IF HAZARDOUS MATERIALS ARE ENCOUNTERED DURING DEMOLITION OPERATIONS, OWNER'S WITH APPLICABLE REGULATIONS, LAWS AND ORDINANCES CONCERNING REMOVAL, HANDLING AND PROTECTION AGAINST EXPOSURE OF ENVIRONMENTAL POLLUTION.
 20. CONTRACTOR IS RESPONSIBLE FOR PROVIDING PLUMBING AND INSTALLING ALL ITEMS EXPOSED IN THE DRAWINGS FOR A COMPLETE INSTALLATION. REGULATION OF WATER OR HOT IT IS BEING LIAISON. THEY ARE MARKED A.L.C. (NOT IN CONTRACT), CONTRACTOR SHALL COORDINATE AND FURNISH INSTALLATION OF ALL ITEMS FOR WORK MARKED A.L.C. REFER TO DRAWINGS.
 21. CONTRACTOR SHALL OBTAIN ALL PERMITS WITH APPLICABLE BUILDING DEPARTMENT AND SHALL OBTAIN AND FOLLOW ALL APPLICABLE ORDINANCES AND CODES.
 22. THE LATEST VERSION OF THE GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION BY THE AMERICAN INSTITUTE OF ARCHITECTS SHALL APPLY.
 23. CONTRACTOR TO MAINTAIN UNIT PRICES FOR ALL MATERIAL AND LABOR COSTS.
 24. CONTRACTOR SHALL RESPECT THE EXISTING BUILDING AREA AND FURNISHING. REMAIN WITH ALL EXISTING STRUCTURAL, MECHANICAL, AND ELECTRICAL CONDITIONS SHOWN IN THIS CONTRACT.
 25. CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY DISCREPANCIES IN BUILDINGS IN THE PLANS AND FIELD CONDITIONS ARE DISCOVERED IN PRODUCTS SPECIFIED. IN CASE OF DISCREPANCY IN METHODS OR PRODUCTS A MATERIAL, MOST CONSERVATIVE SOLUTION APPLIES.
 26. ALL CONSTRUCTION SERVICES ARE TO BE COORDINATED WITH THE BUILDING MANAGEMENT.
 27. GENERAL CONTRACTOR SHALL COORDINATE AND APPROVE USE OF TOILET FACILITIES WITH BUILDING MANAGER AT A PRE-CONSTRUCTION MEETING.
 28. CONTRACTOR SHALL REMOVE, CUT AND PATCH ALL EXISTING CONSTRUCTION AND PREPARE AS REQUIRED TO PREPARE THE PREPARATION FOR NEW WORK AND ALTERED WORK.
 29. FOR ALL DEMOLITION WORK AND REMOVAL, OF CONSTRUCTION DURING, THE CONTRACTOR IS TO COORDINATE WITH THE BUILDING MANAGER IN ORDER THAT IT WILL NOT INTERFERE WITH THE EXISTING TOWARDS AND THE USE OF ELEVATORS, ETC.
 30. ALL EXISTING SURFACES THAT ARE WITHIN THE SCOPE OF NEW WORK SHALL BE EXAMINED FOR CRACKS, SINKS, IMPERFECTIONS AND DISINTEGRATION. ALL SURFACES SHALL BE EITHER PATCHED OR PLASTERED AND MADE READY TO RECEIVE NEW FINISHES OR MADE TO MATCH OR ALIAS WITH ALL EXISTING MATERIALS AND FINISHES.
 31. REPAIR AND RESTORE, TO MATCH AND ALIAS WITH ALL EXISTING MATERIALS AND FINISHES. ALL NEW FINISHES LAYERS OF NEW WORK THAT IS CHANGED OR ALIGNED DURING THE DEMOLITION OF THE WORK IN THIS CONTRACT.
 32. ALL CONSTRUCTION WORK PERFORMED ON OTHER FLOORS / TENANT SPACES, THE SPACES ARE TO BE RETURNED TO THEIR ORIGINAL CONDITION AT AN ADDITIONAL COST TO EXISTING TENANT OR OWNER. CONTRACTOR SHALL OBTAIN WRITTEN PERMISSION FROM THE OCCUPIED SPACE AND THE OWNER PRIOR TO PERFORMING ANY WORK.
 33. THE CONTRACTOR IS RESPONSIBLE FOR ALL DAMAGE THAT OCCURS TO THE EXISTING BUILDING, OTHER FLOOR AREAS AND TENANT SPACE CAUSED BY THE NEW CONSTRUCTION.
 34. ALL SPRINKLER HEADS, DOWNSPUTS, SPRINKLER, SMOKE DETECTORS AND ALL OTHER DEVICES, UNLESS OTHERWISE NOTED SHALL REMAIN AND OR BE REPAIR/RELOCATED, REFER TO ENGINEERING DRAWINGS FOR ADDITIONAL INFORMATION.
 35. ALL PENETRATION PREPARED FOR METAL PIPE AND INSULATED PIPE SHALL BE IN ACCORDANCE WITH UNDERWRITERS LABORATORY TEST ASSEMBLY U.L. 140.
 36. CONTRACTOR SHALL MAINTAIN THE INTEGRITY OF THE FIRE ENVELOPE DURING DEMOLITION AND CONSTRUCTION.
 37. CONTRACTOR SHALL NOTIFY EXISTING OR CLIENT OF ANY EXISTING CONDITIONS NOT SHOWN ON THIS PLAN AND SHALL REVIEW THESE PRIOR TO PROCEEDING WITH WORK.
 38. ANY ELECTRICAL & PLUMBING LINES WHICH REQUIRE REMOVAL AND/OR ALTERATION CONTRACTOR SHALL CAP & FILL SLAB/PARTITION WITH SINK FILL RATED EVIDENTLY.
 39. ALL EXISTING FIRE EXTINGUISHERS SHALL REMAIN UNLESS IMPACTED BY DEMOLITION. STONE EXTINGUISHERS IN IMPACTED AREA SHALL BE STORED FOR REUSE IN TENANT SPACE.

WALL LEGEND

| | |
|--|--|
| | EXISTING CONCRETE MASONRY WALL |
| | PROPOSED CONCRETE MASONRY WALL |
| | EXISTING STANDARD INTERIOR DRYWALL PARTITION |
| | PROPOSED STANDARD INTERIOR DRYWALL PARTITION |
| | EXISTING TO BE DEMOLISHED |

DEMOLITION SECOND FLOOR PLAN 1/8"=1'-0"



2848 S. BAYSHORE DRIVE
SUITE 101
MIAMI, FLORIDA 33133
TEL: 305.319.4604
jerry@berrystudio.com



Jerry A. Berry, P.A.
F.L.C. 0091454

PRIVATE RESIDENCE RENOVATION
ADDRESS: 2334 ALTON ROAD,
MIAMI BEACH, FL 33140

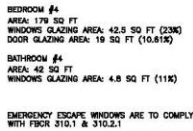
ARCHITECTURE
PLANNING
INTERIORS

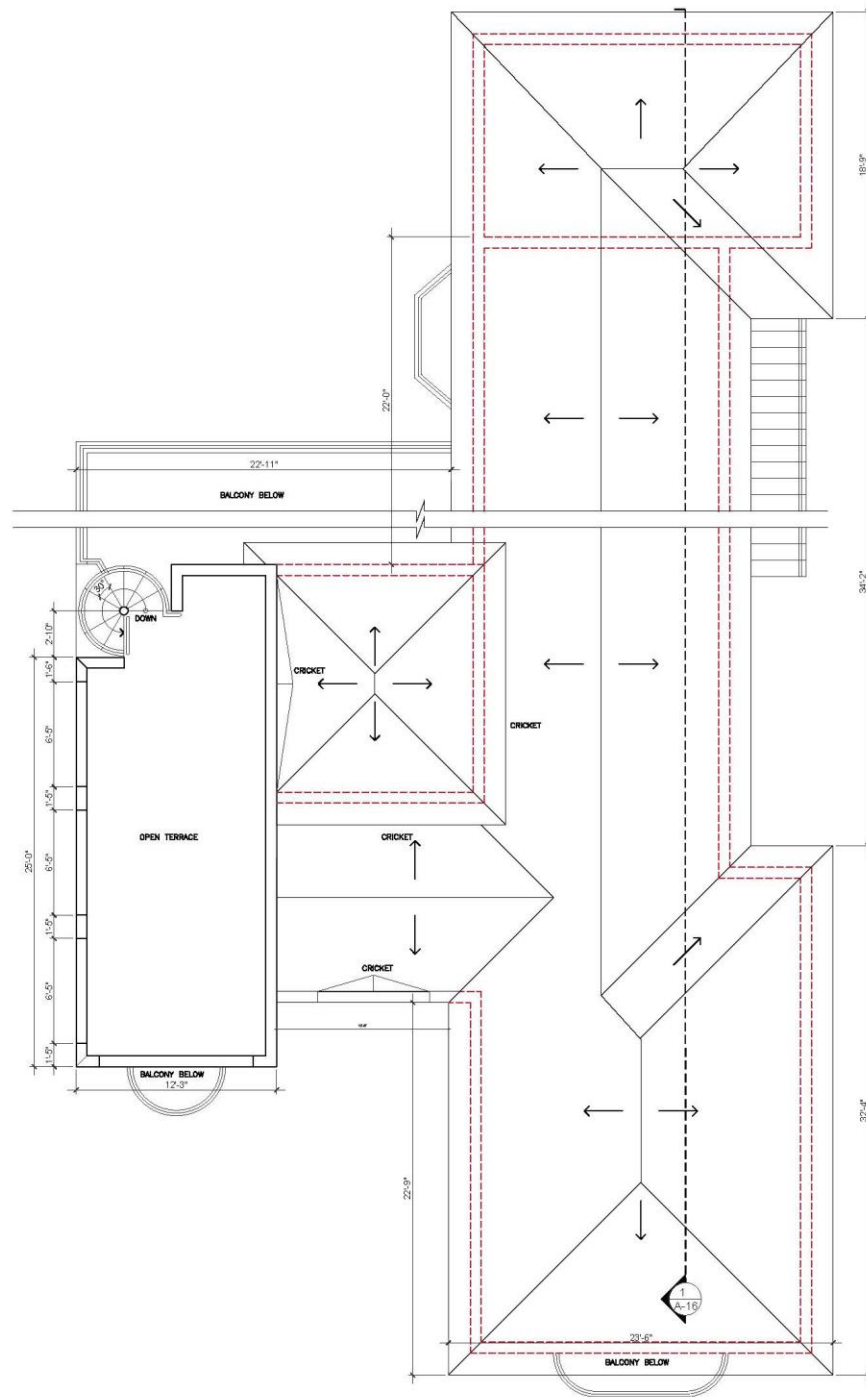
All design drawings and plans shall be submitted to the appropriate authorities for review and approval. The design professional shall be responsible for obtaining all necessary permits and for ensuring that the design complies with all applicable codes and regulations. The design professional shall also be responsible for coordinating with the client and other stakeholders to ensure that the design meets their needs and expectations.

PROJECT NO.
2131
DATE
10/28/2021
REVISIONS

SHEET NO

A-11





GENERAL NOTES:

All work should be in accordance with the requirements of the actual florida 2020 7th edition building code, zoning requirements and other applicable municipal requirements.

Before performing any work or ordering any materials, the contractor shall verify all dimensions and conditions of any existing and new work and shall be responsible for their accuracy, any differences found shall be submitted to architect or engineer for verification before proceeding with the work.

The general contractor shall be held to have examined the site with respect to all existing field conditions and to have fully examined the complete set of architectural drawings as prepared by others, and shall be responsible for the condition and insertion of this drawing set, as is included as part of the original drawing set.

The general contractor shall locate all general reference points and take ordinary precautions to prevent their disruption, each prime subcontractor shall be responsible for layout of his own work and shall be required of and for his work, he shall be responsible for all lines, elevations, measurements, and others as may be required of and for his work, he shall be responsible for verifying all figures and details shown on the drawings which relate to his work, prior to laying out the work, he shall be held responsible for any error resulting from his failure to take such precautions.

Divisions of the work for subcontracting purposes shall be as per the general contractor's direction.

It shall be the responsibility of all subcontractors to have examined and reviewed the complete set of working drawings, and /or specifications and to provide labor and material for their respective area of work for a complete and finished installation in compliance with the intent of the drawing and / or specifications, whether it is indicated or not, all work, whether indicated or not, shall be in compliance with all building codes and ordinances which are applicable to the project.

Subcontractors shall cooperate with each other and with the general contractor to provide materials and labor that are necessary in each other's work at the proper times so that the construction schedule is not affected, these interfacings shall be the responsibility of the subcontractors whose work is affected as such, all work shall be performed by qualified contractors in strict accordance with manufacture's specifications.

Product manufactures indicated in schedule and /or on plans were selected based upon quality, style, size, color, etc. and are not intended to restrict competitive bidding, products "equal to" intended to be used as substitutes are subject to architects approval in writing prior to product purchase and installation.

This drawing package is based on documents, specifications and related information provided by owner and or owner's agent.

The design information indicated on these plans is intended to be a complete and workable systems in accordance with all products manufactures' specifications, existing and / or proposed, building design, field conditions, etc.

Architect shall be notified prior to start-up of construction, should existing conditions vary from drawings by greater than 1".

The general contractor or subcontractors shall be held responsible for the removal and disposal of materials and items commonly referred to as "debris" or determined by the remove all specific items indicated on drawings, also remove any other item or construction architect to be refuse.

The general contractor shall have made all required provisions for the removal of debris from the site, having charges, dumping fees, etc., in his original bid submission.

The general contractor shall provide and install signage, barricades, fencing, lighting, etc. as required for the prevention of personal injuries to the owners, its employees, representatives, clientele, or others within the area of construction.

Protection devices to be installed shall comply with the requirements of all local state and national governing codes, the general contractor shall take ordinary precautions to prevent their disruption during the course of work.

General contractor shall take ordinary precautions to secure and protect materials to be relocated or warehoused as determined by the owner.

Prior to the start of any work, contractor shall secure all permits, licenses, utility connections confirmations, governmental approvals, etc. all prime permits, impact fees and any other special condition that arise beyond the normal scope of the project shall be paid by owner unless stated in the construction contract.

All new finishes (wall ceiling/floor/trim/decor), are to comply with FBCB Chapter 8, for flame spread and smoke development classification.

All new wood backing to be fire rated.

½ inch maximum thresholds or floor transitions inside the unit, FBCB 1010.1.5& 13.

Habitable spaces shall have ceiling height of 7 feet minimum FBCB 1208.2-EXC 4

Contractor to provide sound insulation with a min STC of 50 in partition walls of dwellings/sleeping unit separation or against public or service areas in compliances with FBCB 1207.2

Contractor to reinforce all vanity walls as required for wall hung cabinets.



John E. Berry, AIA
FL Lic. 0091404

PRIVATE RESIDENCE RENOVATION
ADDRESS: 2334 ALTON ROAD,
MIAMI BEACH, FL 33140

ARCHITECTURE
PLANNING
INTERIORS

All design drawings and plans shall be submitted to the owner for review and approval. The owner shall be responsible for the accuracy of the information provided and the contractor shall be responsible for the accuracy of the information received. The contractor shall be responsible for the accuracy of the information received and the owner shall be responsible for the accuracy of the information provided.

PROJECT NO.
2131
DATE
10/28/2021
REVISIONS

SHEET NO

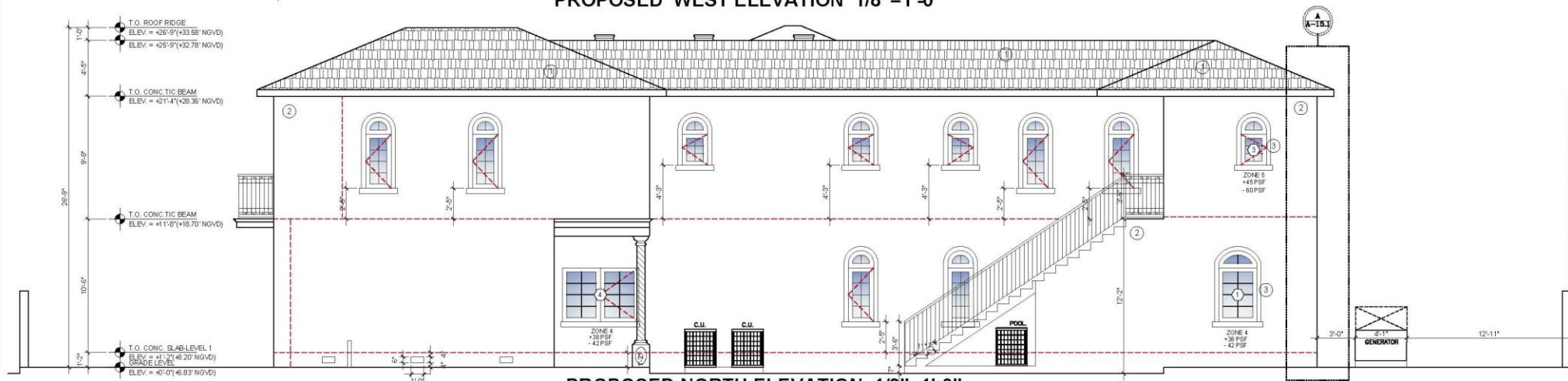
A-14

PROPOSED ROOF PLAN 1/8"=1'-0"

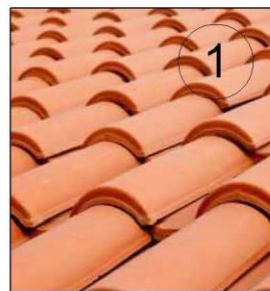




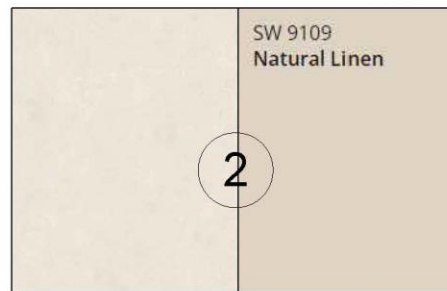
PROPOSED WEST ELEVATION 1/8"=1'-0"



PROPOSED NORTH ELEVATION 1/8"=1'-0"



ROOF TILE
TO MATCH EXISTING



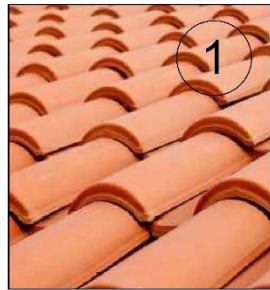
STUCCO + APPROVED COLOR PAINT
TO MATCH EXISTING



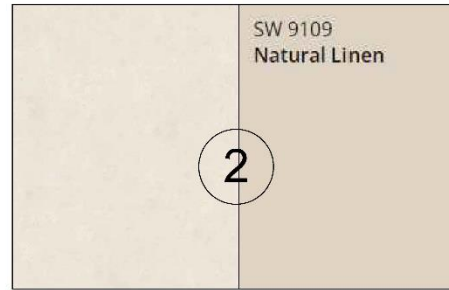
PROPOSED WINDOWS
TO MATCH EXISTING



PROPOSED SOUTH ELEVATION 1/8"=1'-0"



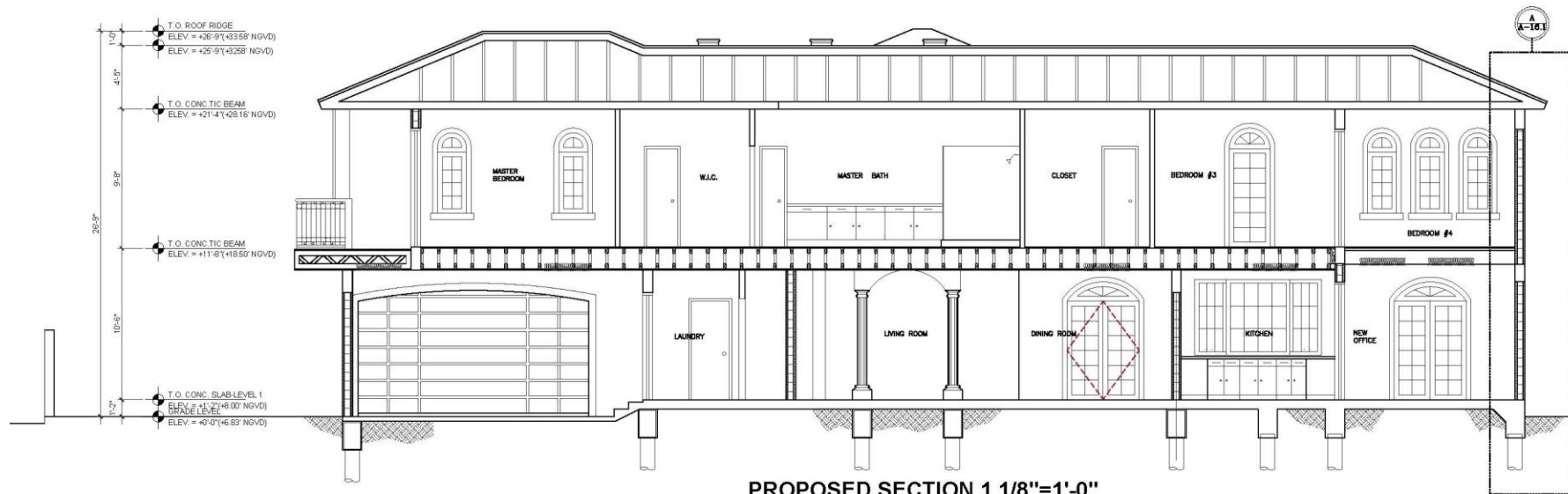
**ROOF TILE
TO MATCH EXISTING**



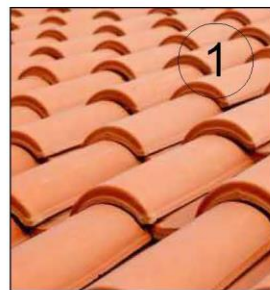
**STUCCO + APPROVED COLOR PAINT
TO MATCH EXISTING**



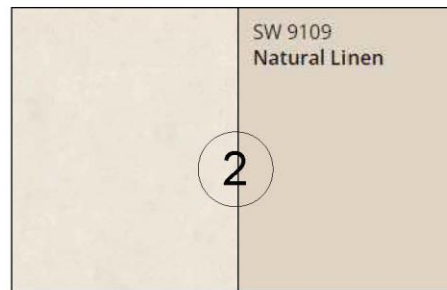
**PROPOSED WINDOWS
TO MATCH EXISTING**



PROPOSED SECTION 1 1/8"=1'-0"



ROOF TILE
TO MATCH EXISTING



STUCCO + APPROVED COLOR PAINT
TO MATCH EXISTING



PROPOSED WINDOWS
TO MATCH EXISTING



BERRY
DESIGN
STUDIO



John E. Berry, P.E.
FL Lic. 0091484

PRIVATE RESIDENCE RENOVATION
ADDRESS: 2334 ALTON ROAD,
MIAMI BEACH, FL 33140

ARCHITECTURE
PLANNING
INTERIORS

All design drawings are prepared by the architect and are not to be used for construction without the architect's approval. The architect is not responsible for the accuracy of the information provided by the owner or for the accuracy of the information provided by the owner's consultants. The architect is not responsible for the accuracy of the information provided by the owner's consultants.

PROJECT NO.
2131
DATE
10/28/2021
REVISIONS

SHEET NO
A-17



COLOR RENDERINGS



BERRY
DESIGN
STUDIO

2840 S. BAYSHORE DRIVE
SUITE 101
MIAMI, FLORIDA 33133
TEL 305.310.4664
jberry@berrystudio.com



JAMES E. BERRY, P.A.
P.L. Lic. 0001464

PRIVATE RESIDENCE RENOVATION

ADDRESS: 2334 ALTON ROAD,
MIAMI BEACH, FL 33140

ARCHITECTURE
PLANNING
INTERIORS

THIS DOCUMENT IS THE PROPERTY OF BERRY DESIGN STUDIO. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, WITHOUT THE WRITTEN PERMISSION OF BERRY DESIGN STUDIO. ANY VIOLATION OF THIS AGREEMENT WILL BE PROSECUTED TO THE FULL EXTENT OF THE LAW.

PROJECT NO.
2131
DATE
10/28/2021
REVISIONS

SHEET NO

A-18