



BOA  
SUBMITTAL  
PROJECT TEAM

ARCHITECT OF RECORD  
**STUDIO Mc+G**  
ARCHITECTURE

7500 NE 4th Ct Studio 102 Miami, FL 33138  
305.573.2728

DESIGNER  
**JOSEPH DIRAND**  
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51, Rue Saint Georges 75009 Paris, France  
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32 Old Slip, 10<sup>th</sup> Floor New York, NY 10005  
312.682.6301

MEP ENGINEER  
**JBB**

Jaros, Baum & Bolles Consulting Engineers,  
LLP 80 Pine Street, New York, NY 10005  
212.530.9300

LANDSCAPE ARCHITECT  
**CCLA**

Christopher Cawley Landscape Architecture  
780 NE 69th St, Suite 200 Miami, FL 33188  
786.536.2961

PROJECT NUMBER  
**2201**

PROJECT NAME  
**PRIVATE  
RESIDENCE**

8 - 14 STAR ISLAND  
DRIVE MIAMI BEACH,  
FL. 33139

DRAWING  
**SITE PHOTO  
LOCATIONS**



JENNIFER McCONNEY  
FLORIDA LIC# AR93044  
ALL DRAWINGS AND WRITTEN MATERIAL  
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REVISIONS		
REV	DESCRIPTION	DATE

Scale: 1" = 1'-0"  
Drawn: CA  
Check: PDC/JMcG  
Date: 12/15/24

SHEET NUMBER  
**A0.18**





1 VIEW ALONG STREET FACING NORTH  
3/8" = 1'-0"



2 VIEW OF LOT 8,9 FACING WEST  
3/8" = 1'-0"



3 2ND VIEW OF LOT 8, 9 FACING WEST  
3/8" = 1'-0"



4 2ND VIEW OF LOT 8,9 FACING SW  
3/8" = 1'-0"

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SHEET NUMBER

A0.19





5 VIEW OF LOT 10, 11, 12 FACING SW  
3/8" = 1'-0"



6 VIEW OF LOT 10, 11, 12 FACING WEST  
3/8" = 1'-0"



7 VIEW OF LOT 10, 11, 12 FACING NW  
3/8" = 1'-0"



8 2ND VIEW OF LOT 10, 11, 12 FACING WEST  
3/8" = 1'-0"

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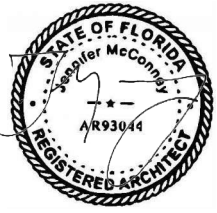
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SHEET NUMBER  
**A0.20**





9 2ND VIEW OF 10, 11, 12 FACING SW  
3/8" = 1'-0"



10 VIEW OF LOT 13 FACING NW  
3/8" = 1'-0"



11 VIEW OF LOT 13 FACING WEST  
3/8" = 1'-0"



12 VIEW OF LOT 14 FACING WEST  
3/8" = 1'-0"

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SHEET NUMBER  
**A0.21**





13 VIEW OF STREET ALONG LOT 21 FACING NORTH  
3/8" = 1'-0"



14 VIEW ALONG LOT 21 N CURVE FACING NE  
3/8" = 1'-0"



15 VIEW ALONG LOT 24, 25 EAST SIDE OF STREET FACING SOUTH  
3/8" = 1'-0"



16 VIEW OF LOT 10, 11, 12 FROM ACROSS MEDIAN FACING WEST  
3/8" = 1'-0"

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A0.22





17 VIEW ALONG LOT 39, 40 STREET ON EAST SIDE FACING SOUTH  
3/8" = 1'-0"



18 VIEW OF LOT 42 ALONG SOUTH SIDE CURVE FACING SOUTH  
3/8" = 1'-0"



19 VIEW OF ENTRANCE GATE FACING SOUTH  
3/8" = 1'-0"



20 VIEW OF BRIDGE TO ISLAND FACING SOUTH  
3/8" = 1'-0"

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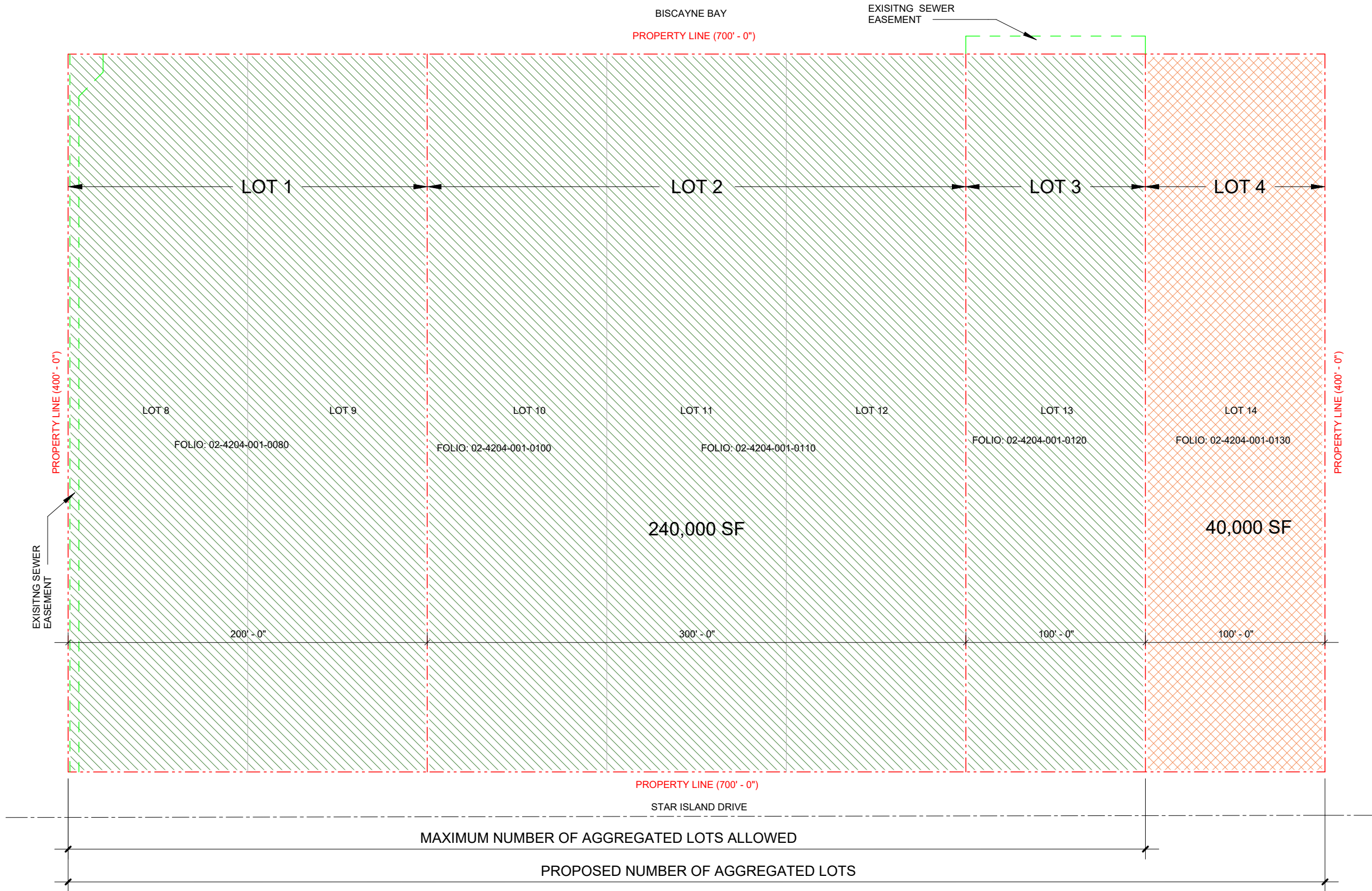
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A0.23

PLACE HOLDER PICTURES





**VARIANCE #1**  
NUMBER OF LOTS TO BE AGGREGATED

ALLOWED: AGGREGATION OF THREE (3) LOTS  
Section 7.2.2.3.b.4.B.

Lot aggregation for the construction of a new home located in the middle of a site consisting of three (3) lots, provided the sum of the side yard setbacks of the main structure are equivalent to the width of the smallest of the three (3) aggregated lots, and the overall unit size and lot coverage of the main home shall be based upon the combined size of the largest two (2) lots.

PROPOSED: AGGREGATION OF FOUR (4) LOTS

The lot coverage, the overall unit size of the main home and the sum of side setbacks are based on the combined size of the aggregation of 4 lots.



1 NUMBER OF AGGREGATED LOTS VARIANCE DIAGRAM  
1" = 60'-0"

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FL. 33139

DRAWING  
**VARIANCE  
DIAGRAM #1  
LOT  
AGGREGATION**

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**A0.24**



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DRAWING  
**LOT  
AGGREGATION  
PRECEDENTS**



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Date: \_\_\_\_\_ 12/15/24

SHEET NUMBER  
**A0.25**

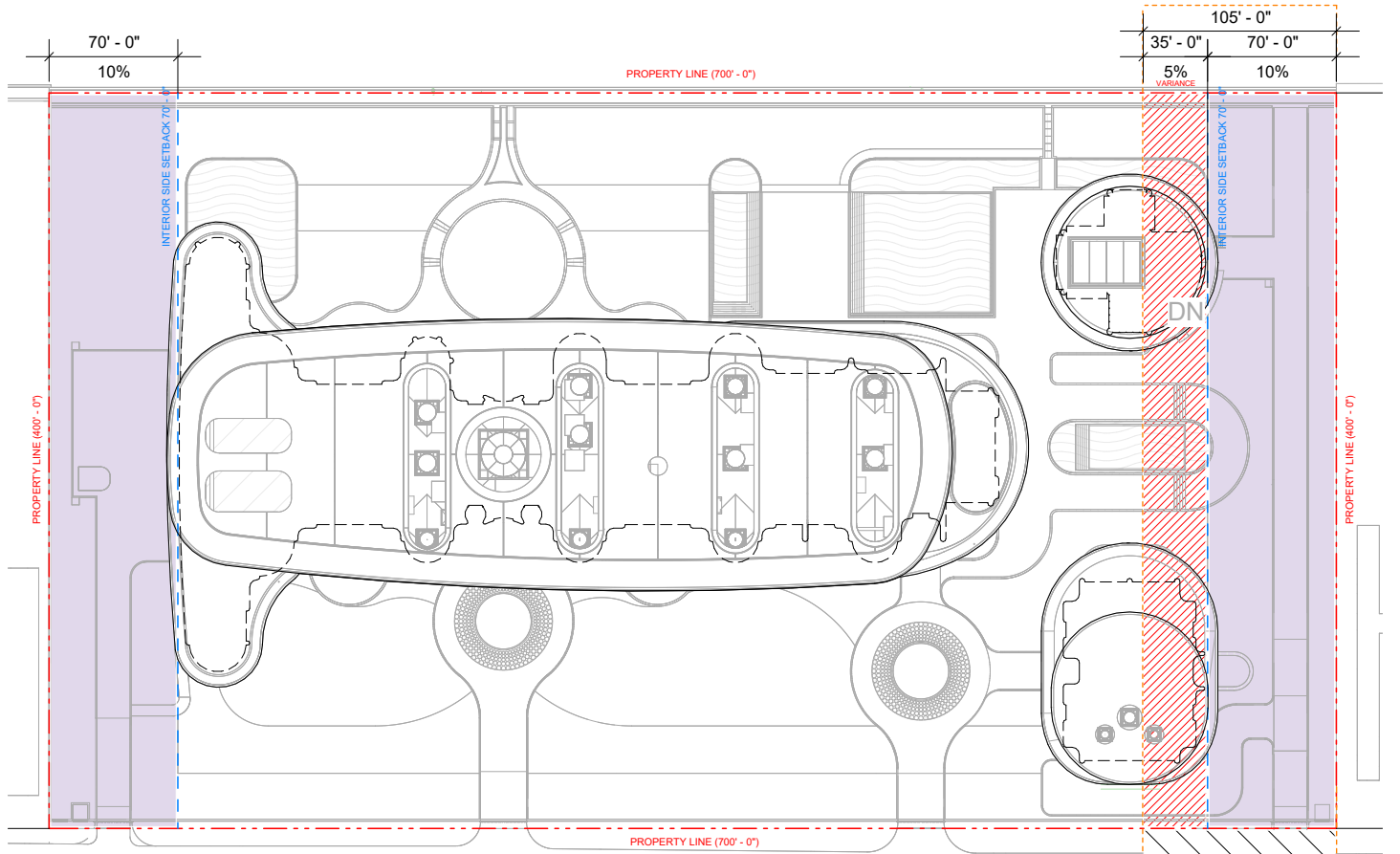


AERIAL VIEW OF STAR ISLAND - LOTS 16-21

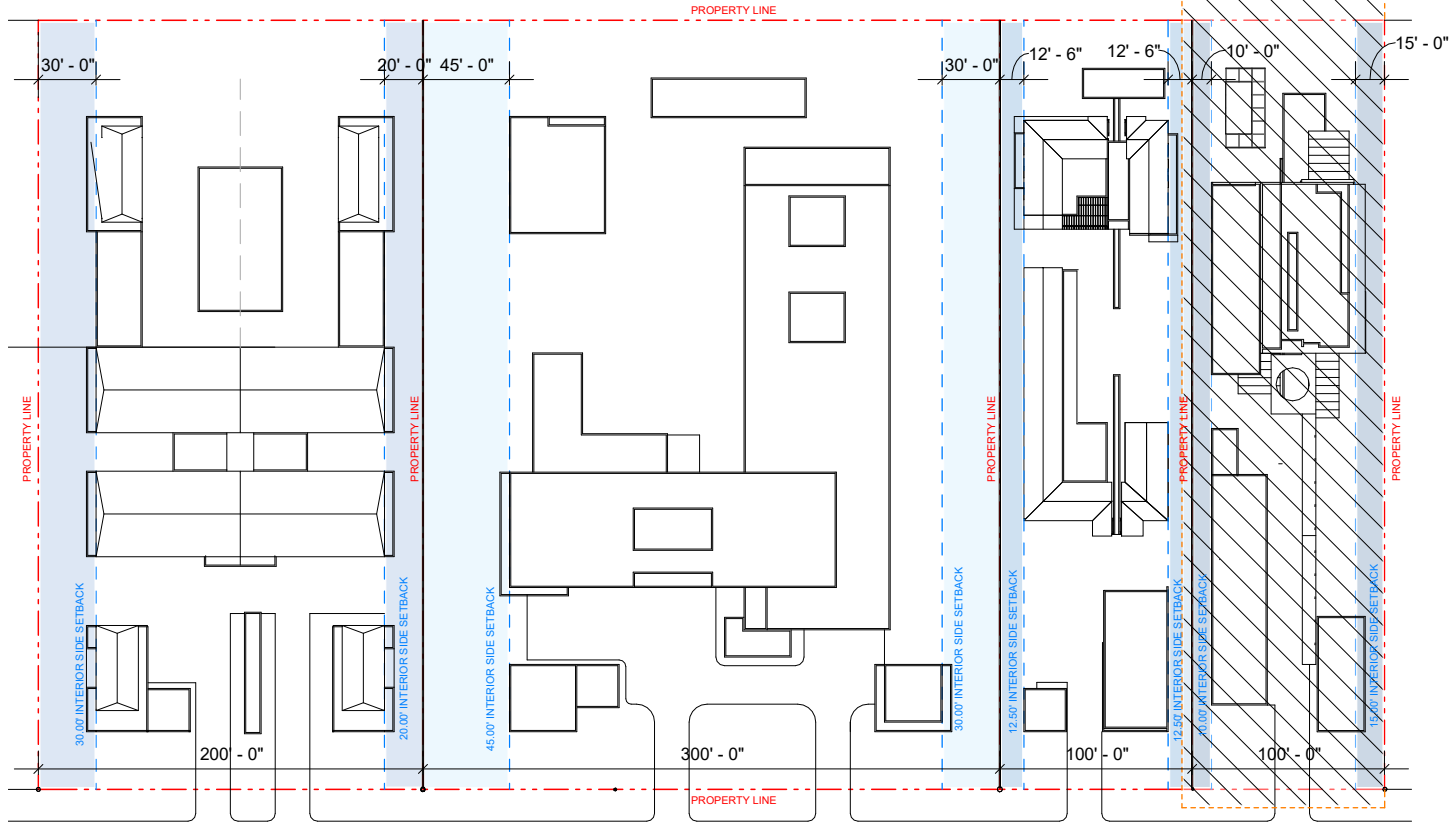


STAR ISLAND LOTS 16-21 (6 LOTS AGGREGATION)





PROPOSED AGGREGATED LOTS  
280,000 SF  
SOUTH SIDE SETBACK 10% = 70' - 0"  
NORTH SIDE SETBACK 10% = 70' - 0"  
SUM OF SETBACKS 20% = 140' - 0"



LOT 8 & 9  
80, 000 SF  
SOUTH SIDE SETBACK 15% = 30' - 0"  
NORTH SIDE SETBACK 10% = 20' - 0"  
SUM OF SETBACKS 25% = 50' - 0"

LOT 10, 11, & 12  
120,000 SF  
SOUTH SIDE SETBACK 15% = 45' - 0"  
NORTH SIDE SETBACK 10% = 30' - 0"  
SUM OF SETBACKS 25% = 75' - 0"

LOT 13  
40,000 SF  
SOUTH SIDE SETBACK 12.5% = 12' - 6"  
NORTH SIDE SETBACK 12.5% = 12' - 6"  
SUM OF SETBACKS 25% = 25' - 0"

LOT 14  
40,000 SF  
SOUTH SIDE SETBACK 10% = 10' - 0"  
NORTH SIDE SETBACK 15% = 15' - 0"  
SUM OF SETBACKS 25% = 25' - 0"

**NOTE:**  
Project proposes Minimum 70' of open space at North and South end of lot.

**NOTE:**  
A 20,000 SF home could be built within the 100' wide North Lot.

**VARIANCE #2**  
SUM OF SIDES SETBACK

**REQUIRED:**  
Section 7.2.2.3.b.1  
Side, Interior Setback - Lots greater than 65 feet in width  
10% of the lot width or 10 feet, whichever is greater and  
the sum of the required side yards shall be at least 25% of the lot width

700'-0" X .25 = 175'-0" (REQUIRED SUM OF SIDES SETBACK)

**PROPOSED:**  
10% on each side = 70'-0" EACH SIDE

700'-0" x .10 = 70'-0" (MINIMUM SIDE SETBACK)

70'-0" + 70'-0" = 140'-0" = 20% OF LOT WIDTH  
(PROPOSED SUM OF SIDES SETBACK)

175'-0" - 140'-0" = 35'-0" = 5% OF LOT WIDTH  
(PROPOSED VARIANCE)

**ALTERNATIVE DEVELOPMENT OF 4 LOTS SEPARATELY  
(ILLUSTRATIVE ONLY, NOT PROPOSED)**

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**DRAWING**

**VARIANCE  
DIAGRAM #2  
SIDE  
SETBACKS**

**DIGITAL SEAL**



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## PROJECT TEAM

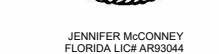
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Scale:	1" = 60'-0"
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Date:	12/15/2

A0.27



<b><u>SOLAR CARPORT SETBACK:</u></b>	
FRONT REQUIRED:	15'-0"
PROPOSED:	183'-10"
SIDE, INTERIOR REQUIRED:	4'-0"
PROPOSED:	16'-1"
REAR REQUIRED:	5'-0"
PROPOSED:	143'-11"

  SETBACKS DIAGRAM  
1" = 60'-0"





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Scale: 12" = 1'-0"  
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10'-0" MAX HEIGHT ALLOWED FOR DECORATIVE SCREEN  
41'-0" (53.00' NGVD)

T.O. DECORATIVE SCREEN  
39' - 0" (51.00' NGVD)

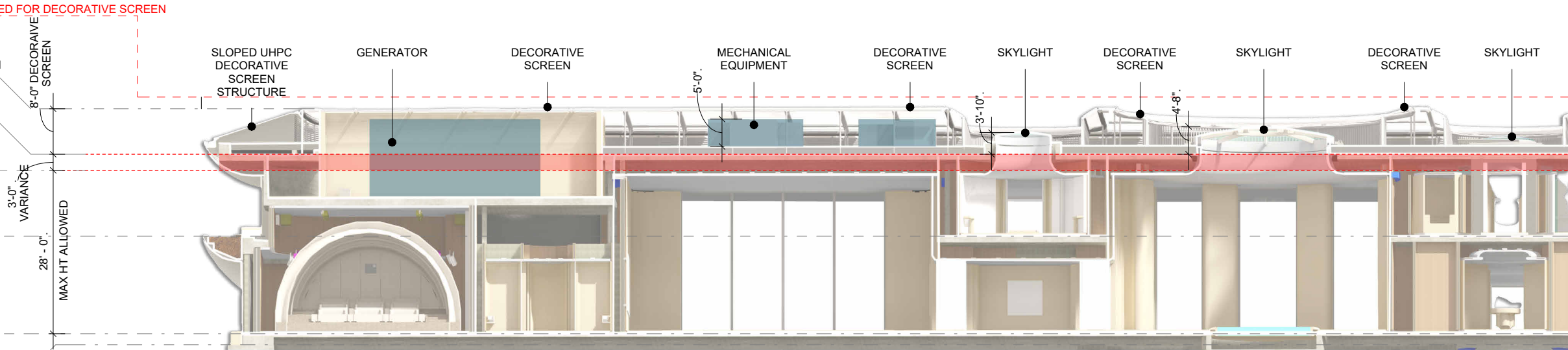
T.O. ROOF SLAB  
31' - 0" (43.00' NGVD)

MAX ALLOWED HEIGHT  
T.O. ROOF SLAB  
28' - 0" (40.00' NGVD)

T.O. SLAB LEVEL 2  
16' - 9" (28.75' NGVD)

T.O. SLAB LEVEL 1  
DFE (BFE+2FT)  
0' - 0" (12.00' NGVD)

BFE  
(10.00' NGVD)



1 BUILDING MAX HEIGHT VARIANCE SECTION DIAGRAM  
12" = 1'-0"

10'-0" MAX HEIGHT ALLOWED FOR DECORATIVE SCREEN  
41'-0" (53.00' NGVD)

T.O. DECORATIVE SCREEN  
39' - 0" (51.00' NGVD)

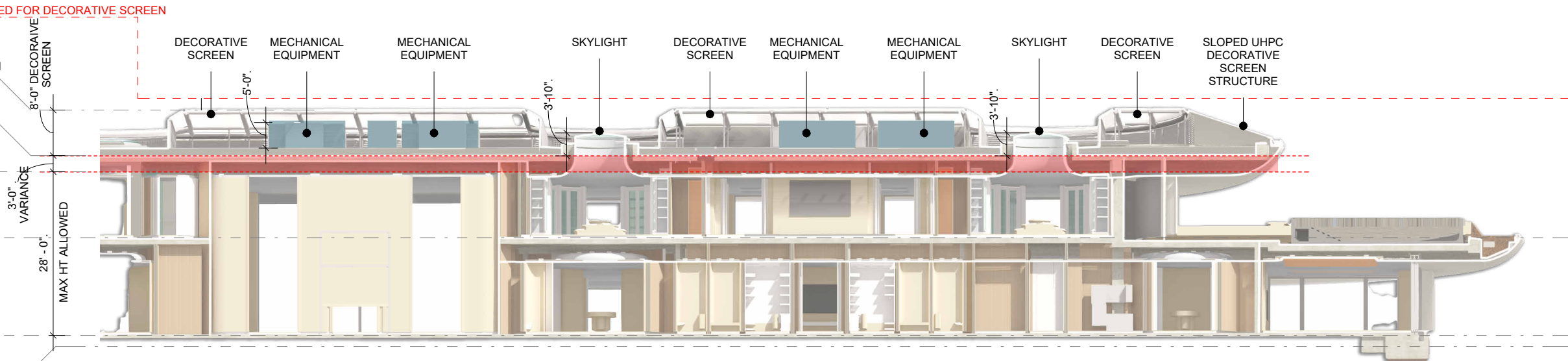
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31' - 0" (43.00' NGVD)

MAX ALLOWED HEIGHT  
T.O. ROOF SLAB  
28' - 0" (40.00' NGVD)

T.O. SLAB LEVEL 2  
16' - 9" (28.75' NGVD)

T.O. SLAB LEVEL 1  
DFE (BFE+2FT)  
0' - 0" (12.00' NGVD)

BFE  
(10.00' NGVD)



2 BUILDING MAX HEIGHT VARIANCE SECTION DIAGRAM (CONT'D)  
12" = 1'-0"

**BUILDING CODE 7.2.2.3b.9.**

Height exceptions. The height regulation exceptions contained in section 7.5.2 shall not apply to the RS-1, RS-2, RS-3 and RS-4 zoning districts. The following exceptions shall apply, and unless otherwise specified in terms of height and location, shall not exceed 10 feet above the highest point of the proposed roof. In general, height exceptions that have not been developed integral to the design intent of a structure shall be located in a manner to have a minimal visual impact on predominant neighborhood view corridors as viewed from public rights-of-way and waterways.

Chimneys and air vents, not to exceed 5 feet in height measured from the point at which they emerge from the roof.

Decorative structures used only for ornamental or aesthetic purposes such as spires, domes, and belfries.

Radio and television antennas, satellite, and internet dishes.

**Parapet walls**, only when associated with a habitable roof deck **on when used to screen roof top mechanical equipment.** When associated with a habitable roof deck, the parapet shall not exceed 3 feet, 6 inches above the finished roof deck height, and shall be set back a minimum of 10 feet from the perimeter of the enclosed floor below **When used to screen mechanical equipment, the parapet walls shall not exceed the height of the equipment being screened.**

**Rooftop curbs**, not to exceed 3 feet in height.

Elevator bulkheads shall be located as close to the center of the roof as possible and be visually recessive such that they do not become vertical extensions of exterior building elevations.

**Skylights**, not to exceed 5 feet above the point at which they emerge from the roof, and provided that the area of skylight(s) does not exceed 10 percent (10%) of the total roof area of the roof in which it is placed.

**Air conditioning and mechanical equipment** not to exceed 5 feet above the point at which they emerge from the roof and shall be required to be screened in order to ensure minimal visual impact as identified in the general section description above.

**Rooftop wind turbines**, not to exceed 10 feet above the highest point of the roof,

Solar panels, not to exceed 5 feet in height above the point at which they emerge from the roof.

Covered structures, which are open on all sides, and do not extend interior habitable space. Such structures shall not exceed a combined area of 20 percent (20%) of the enclosed floor area immediately one floor below, and shall be set back a minimum of 10 feet from the perimeter of the enclosed floor below.

**VARIANCE #3**

**BUILDING MAXIMUM HEIGHT**

BFE: 10FT NGVD

DESIGN FOOD ELEVATION: 10FT NGVD + 2FT FREEBOARD = 12 FT NGVD

ALLOWED: 28FT ABOVE BFE + FREEBOARD FOR FLAT ROOFS  
12FT NGVD + 28FT ALLOWED = 40FT NGVD

PROPOSED:

28FT ALLOWED + 3FT VARIANCE = 31FT MAX HEIGHT  
12FT NGVD + 31FT MAX HEIGHT = 43 FT NGVD



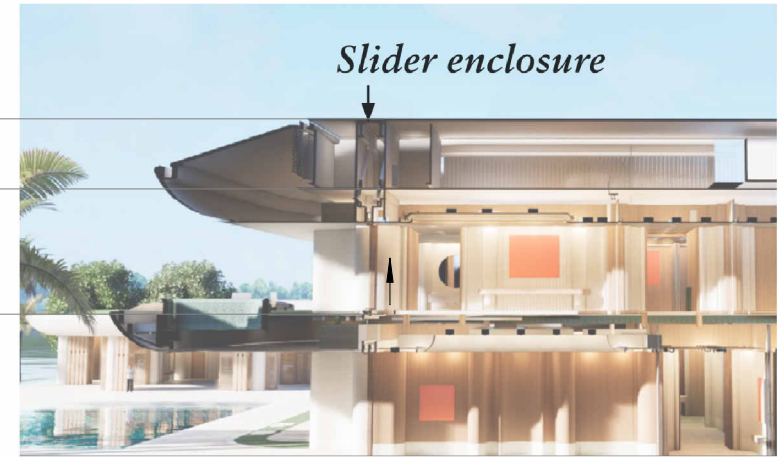
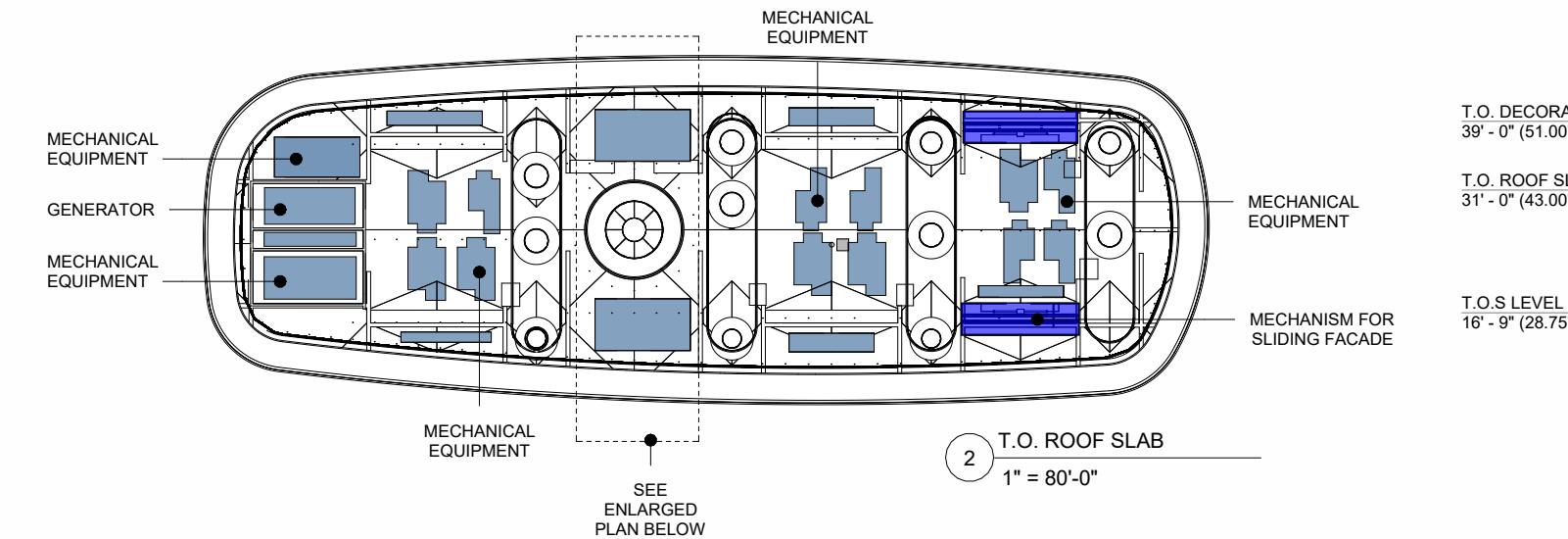


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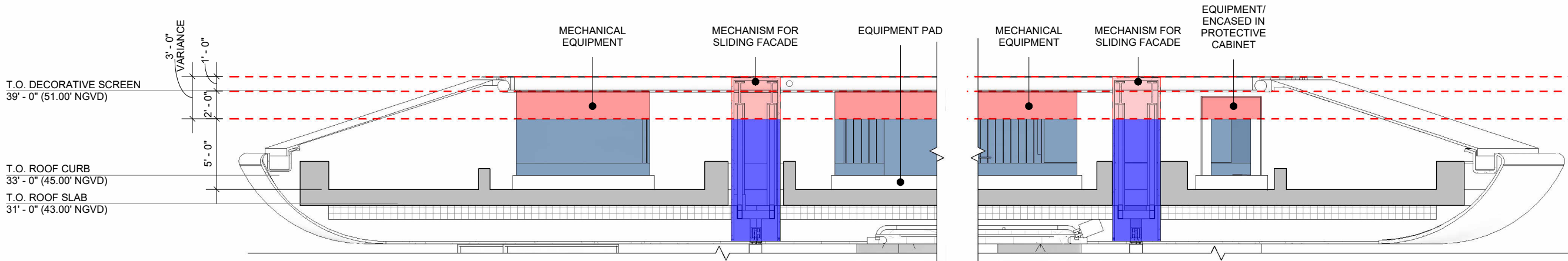
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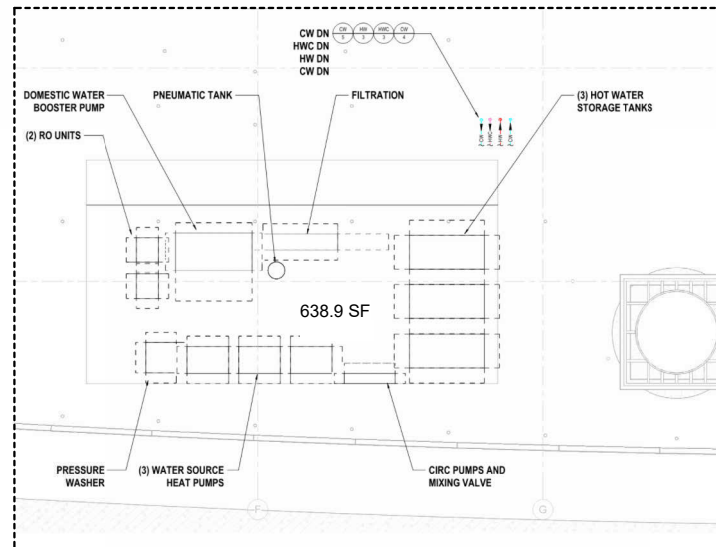
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RENDERED SECTION



1 VARIANCE HEIGHT EXCEPTION  
1/8" = 1'-0"



ENLARGED ROOF PLAN - EQUIPMENT DIAGRAM

**VARIANCE #4**  
MECHANICAL EQUIPMENT ABOVE 5FT

REQUIRED:  
Section 7.2.2.3.b.9.H  
Air conditioning and mechanical equipment not to exceed 5 feet above the point at which they emerge from the roof and shall be required to be screened in order to ensure minimal visual impact as identified in the general section description above.

PROPOSED: HVAC AND OTHER EQUIPMENT INCLUDING PIPING, DUCTS AND ASSOCIATED EQUIPMENT - 7FT (2FT VARIANCE)  
MECHANISM FOR SLIDING FACADE - 8FT (3FT VARIANCE)



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PROJECT NUMBER  
**2201**

PROJECT NAME  
**PRIVATE  
RESIDENCE**

8 - 14 STAR ISLAND  
DRIVE MIAMI BEACH,  
FL. 33139

DRAWING  
**EQUIPMENT  
ROOF SCREEN  
DIAGRAM**

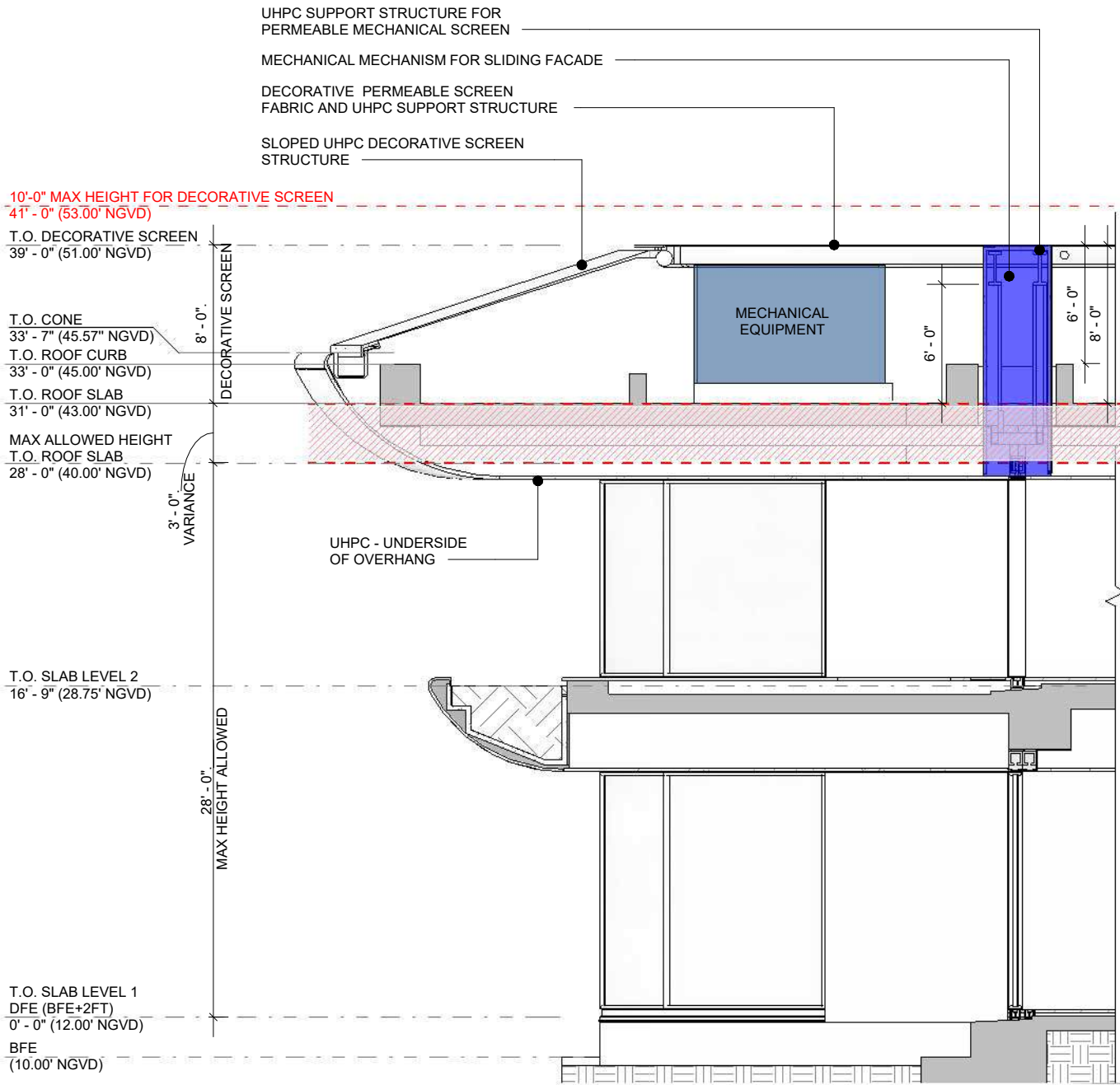


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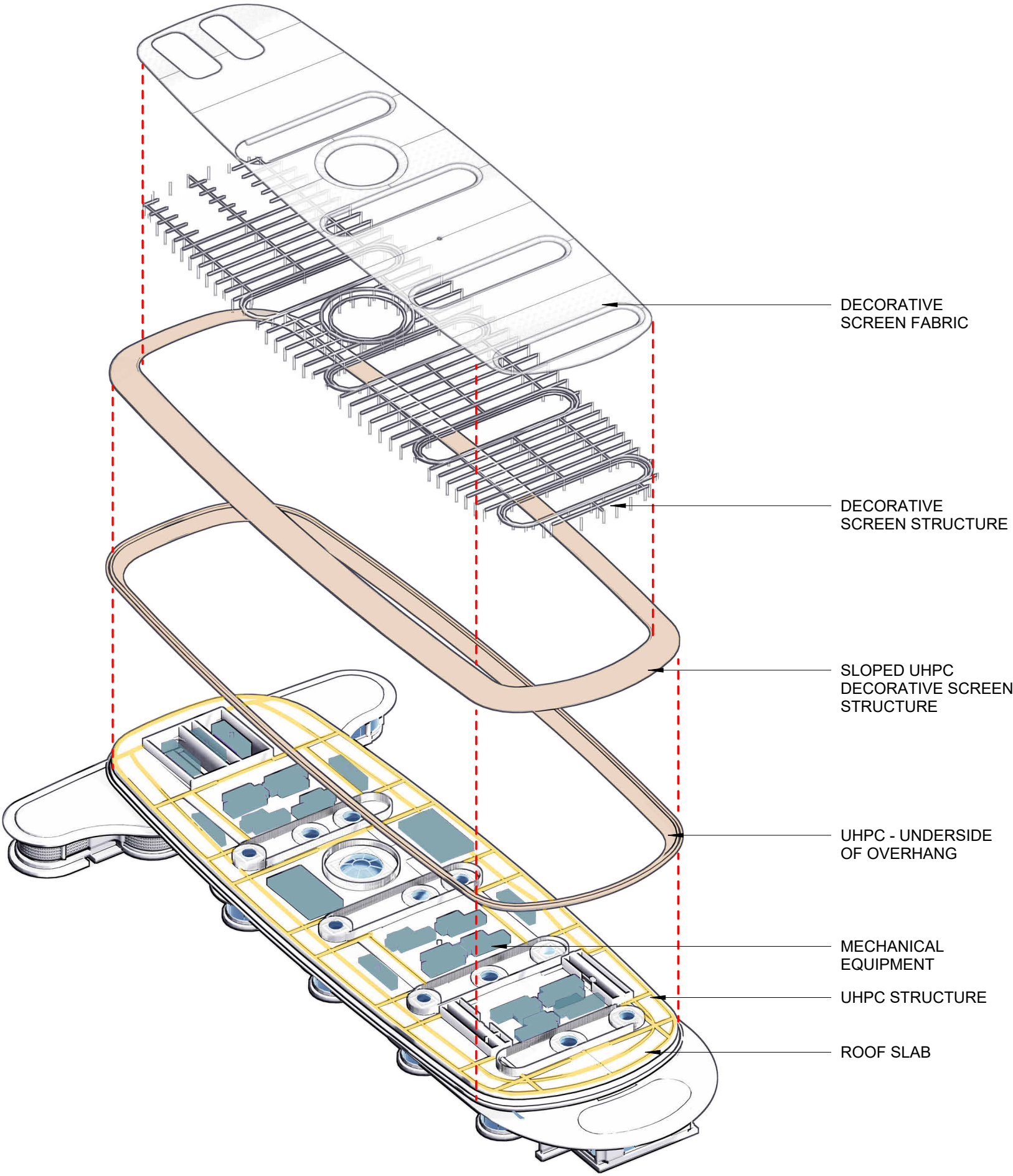
NOTE: EQUIPMENT ROOF SCREEN SHALL NOT EXCEED 10FT ABOVE THE HIGHEST POINT OF THE PROPOSED ROOF. NECESSARY TO SCREEN MECHANICAL EQUIPMENT ON ROOF.

ENLARGED SECTION - DECORATIVE SCREEN



3D VIEWS OF DECORATIVE SCREEN





EXPLODED DECORATIVE SCREEN DIAGRAM

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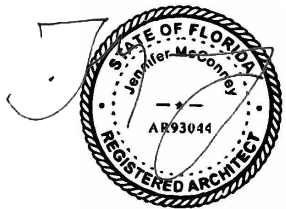
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RESIDENCE

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DRIVE MIAMI BEACH,  
FL. 33139

DRAWING

EXPLODED  
DECORATIVE  
SCREEN  
DIAGRAM

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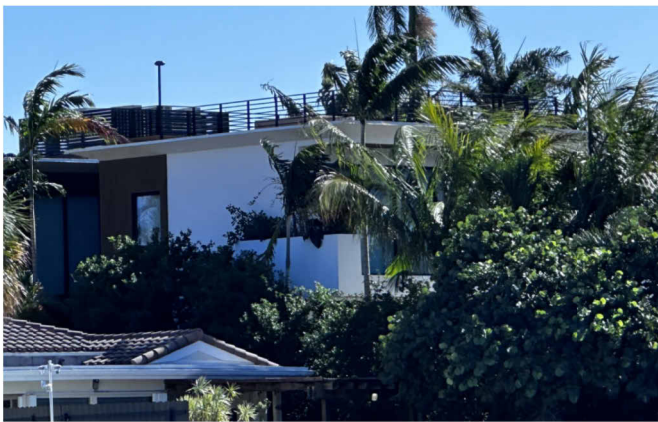
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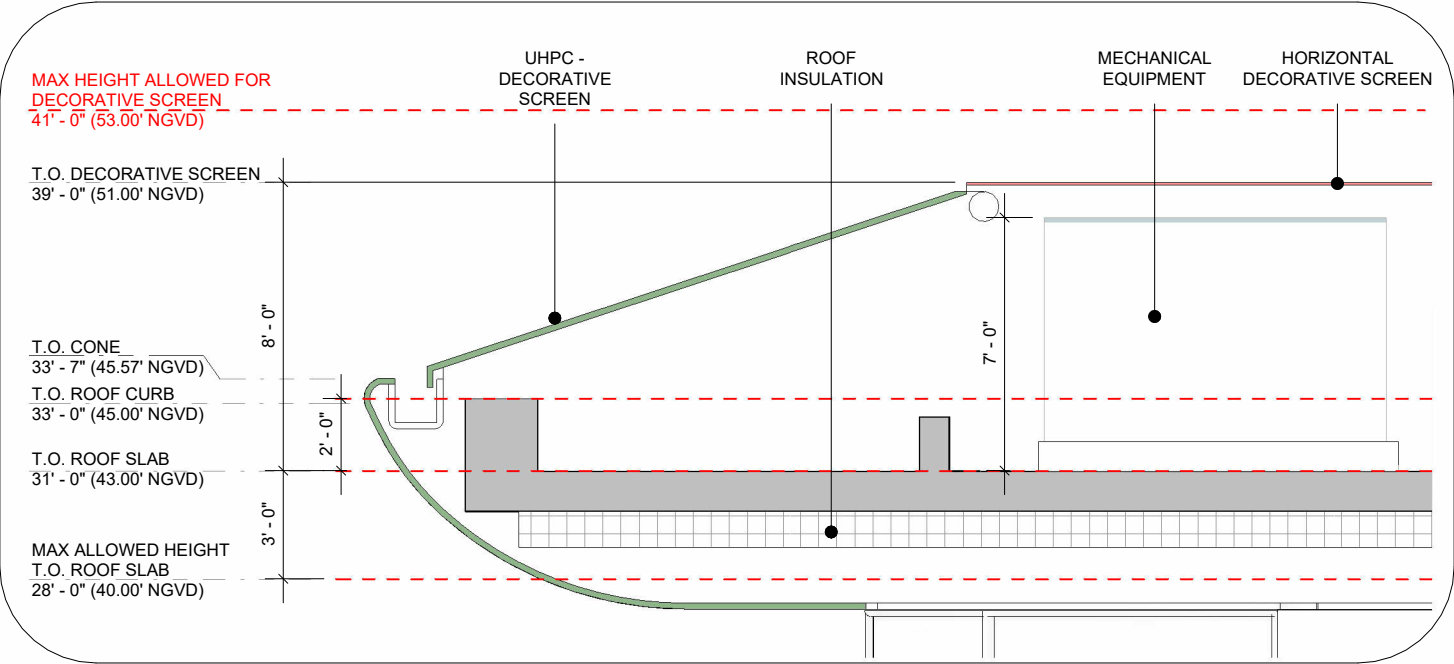
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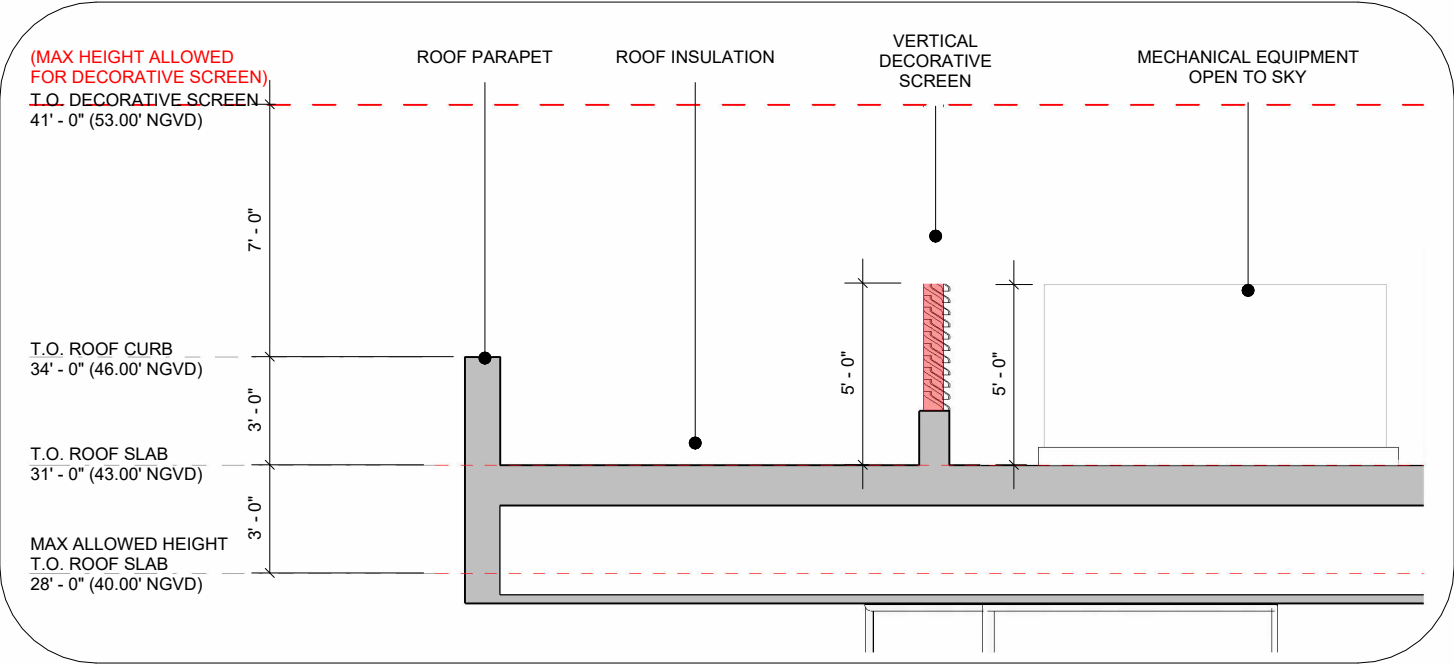




CONTEXT IMAGES - ROOF MECHANICAL SCREENS



HORIZONTAL DECORATIVE SCREEN - ENLARGED SECTION



VERTICAL DECORATIVE SCREEN - ENLARGED SECTION

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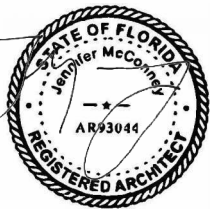
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**PRIVATE  
RESIDENCE**

8 - 14 STAR ISLAND  
DRIVE MIAMI BEACH,  
FL. 33139

DRAWING

HORIZONTAL  
VS VERTICAL  
DECORATIVE  
ROOF SCREEN  
DIAGRAM

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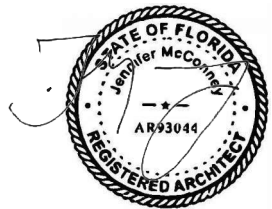
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PROJECT NAME  
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8 - 14 STAR ISLAND  
DRIVE MIAMI BEACH,  
FL. 33139

DRAWING  
NEIGHBORING  
PROPERTY

DIGITAL SEAL

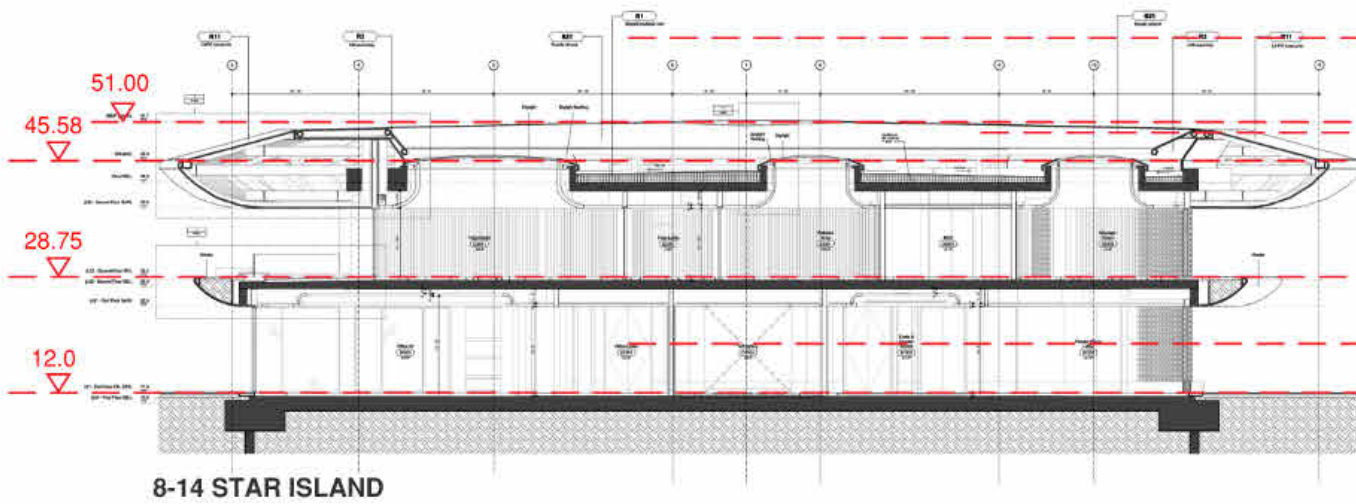


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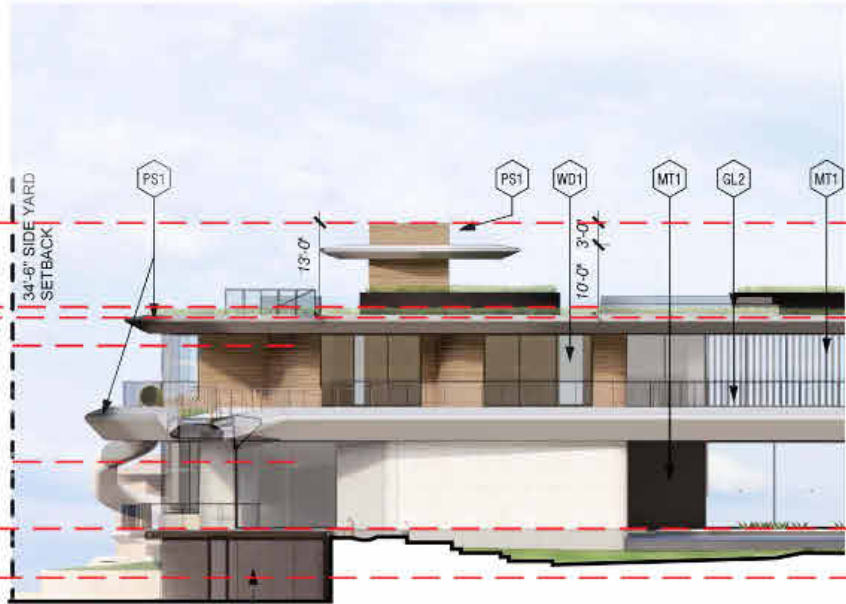
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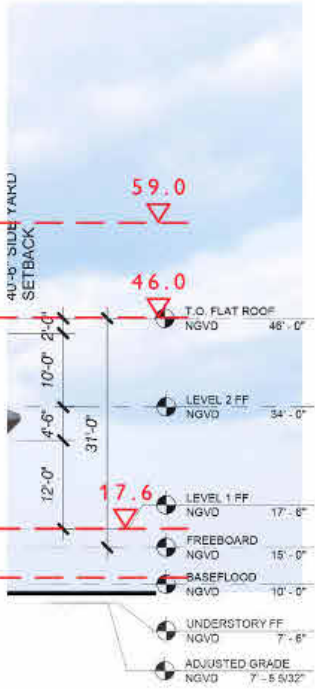
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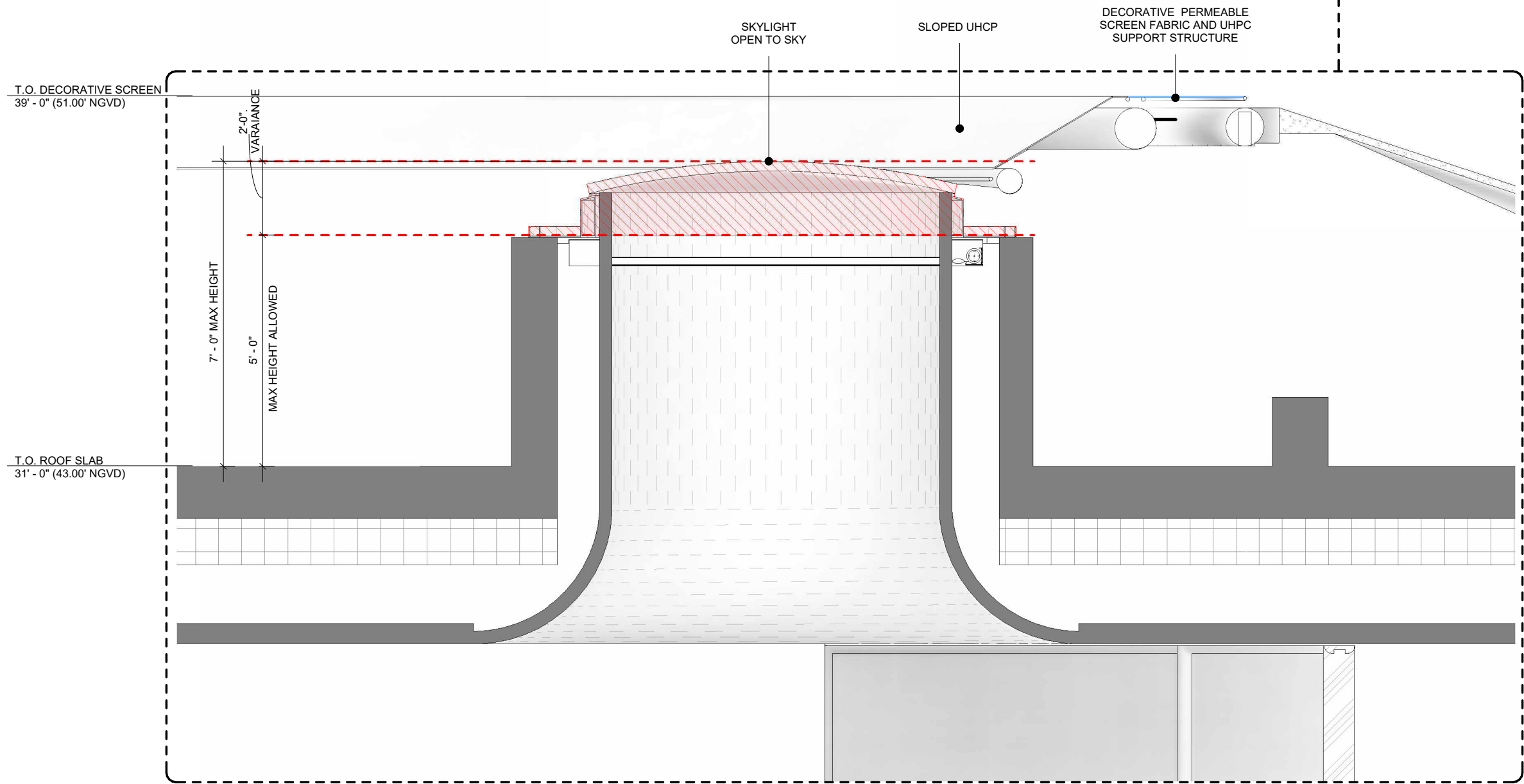
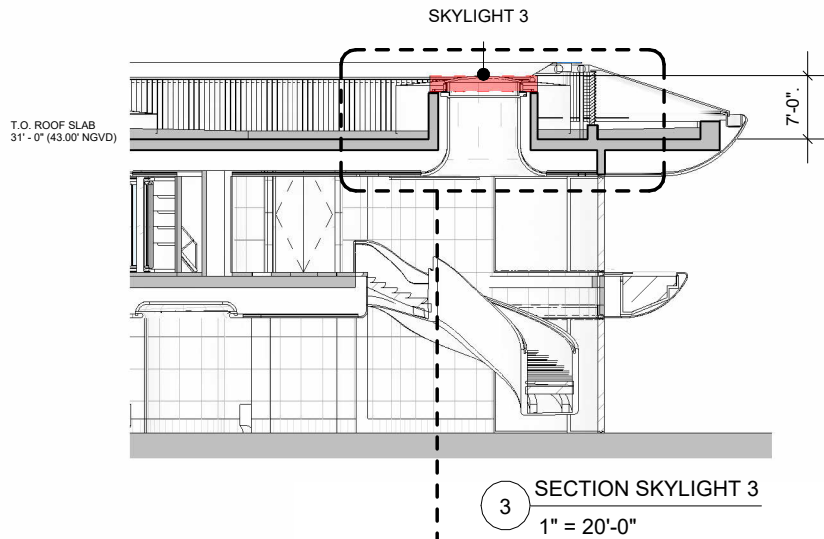
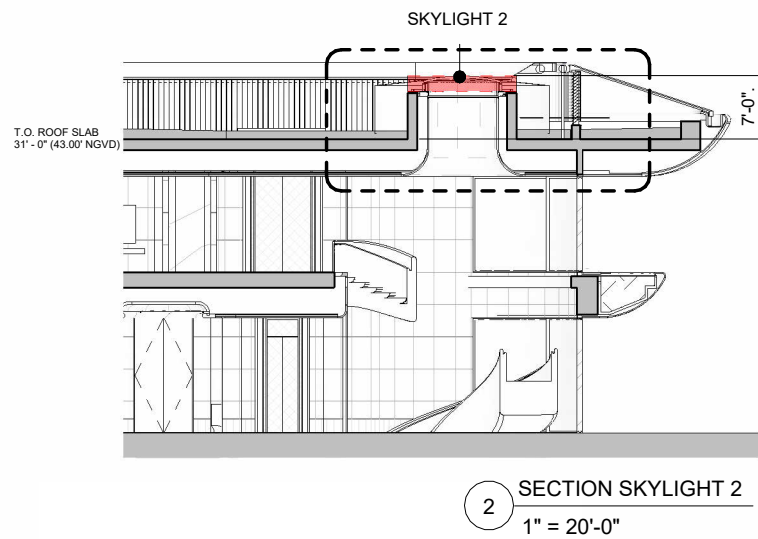
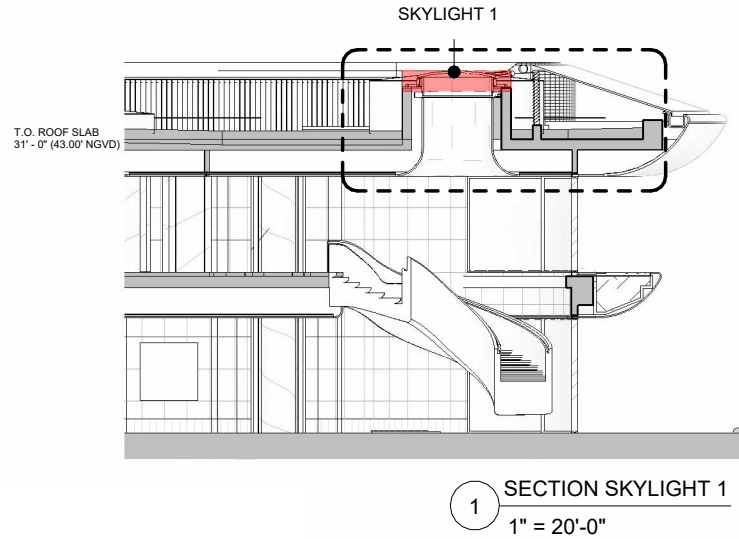
8-14 STAR ISLAND



4-6 STAR ISLAND  
2024 DRB APPLICATION





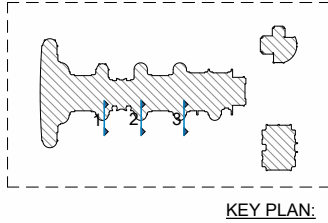


**VARIANCE #5**  
SKYLIGHTS ABOVE 5FT HEIGHT

REQUIRED: SKYLIGHT MAX 5FT HEIGHT

PROPOSED: SKYLIGHTS 1, 2 and 3 - 7FT HEIGHT (2FT VARIANCE)

4 SKYLIGHT - ENLARGED DETAIL  
3/8" = 1'-0"



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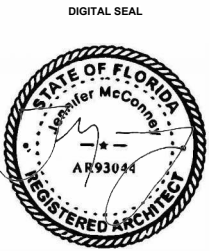
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LANDSCAPE ARCHITECT  
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PROJECT NUMBER  
**2201**

PROJECT NAME  
**PRIVATE RESIDENCE**  
8 - 14 STAR ISLAND  
DRIVE MIAMI BEACH,  
FL. 33139

DRAWING  
**VARIANCE  
DIAGRAM #5  
SKYLIGHT  
HEIGHT**



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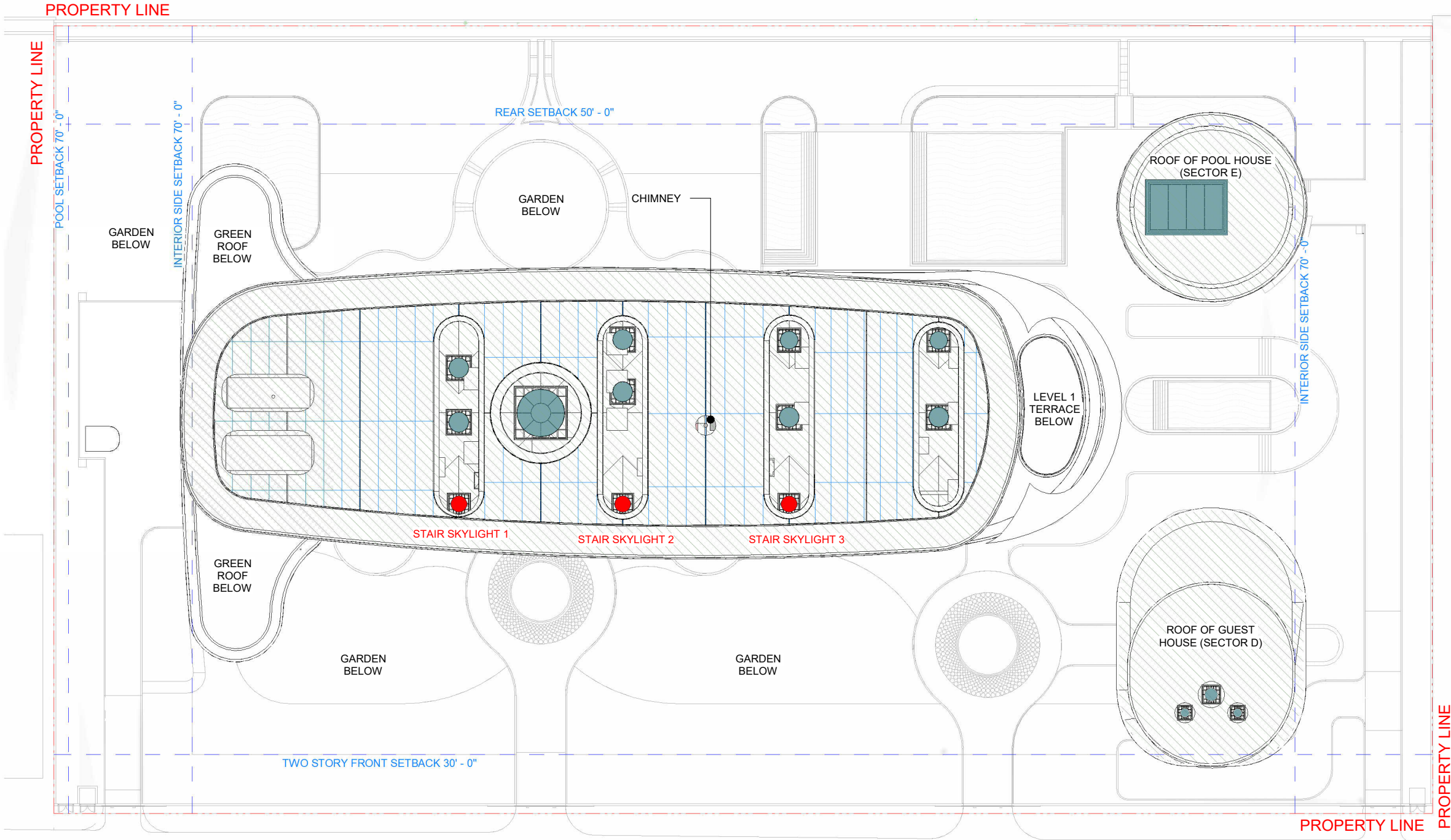
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**VARIANCE #5**  
**SKYLIGHTS ABOVE 5FT HEIGHT**


REQUIRED:  
Section 7.2.2.3.b.9.G  
Skylights, not to exceed 5 feet above the point at which they emerge from the roof, and provided that the area of skylight(s) does not exceed 10 percent (10%) of the total roof area of the roof in which it is placed.

PROPOSED: SKYLIGHTS 1, 2 AND 3 - 7FT HEIGHT (2FT VARIANCE)

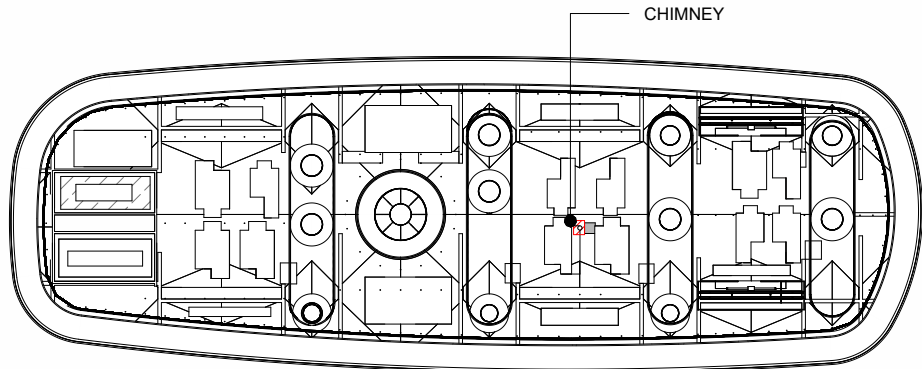
1 PLAN OF SKYLIGHTS REQUIRING HEIGHT VARIANCE  
1" = 60'-0"

**SKYLIGHT LEGEND**

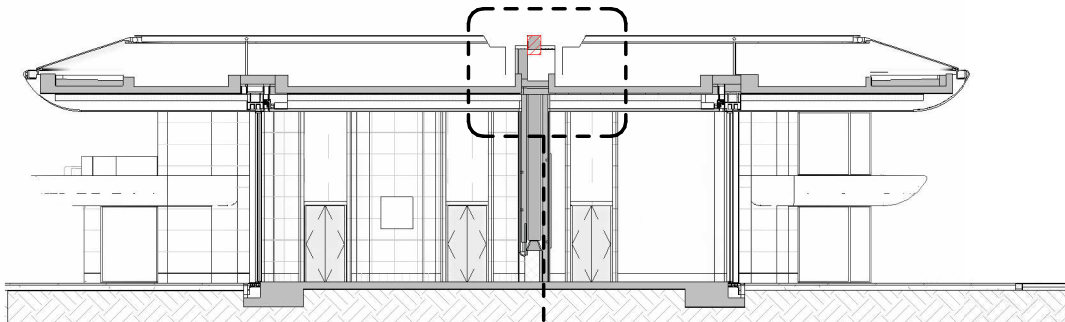
 SKYLIGHTS COMPLY WITH 5' MAX HEIGHT

 SKYLIGHTS REQUIRE 2' VARIANCE

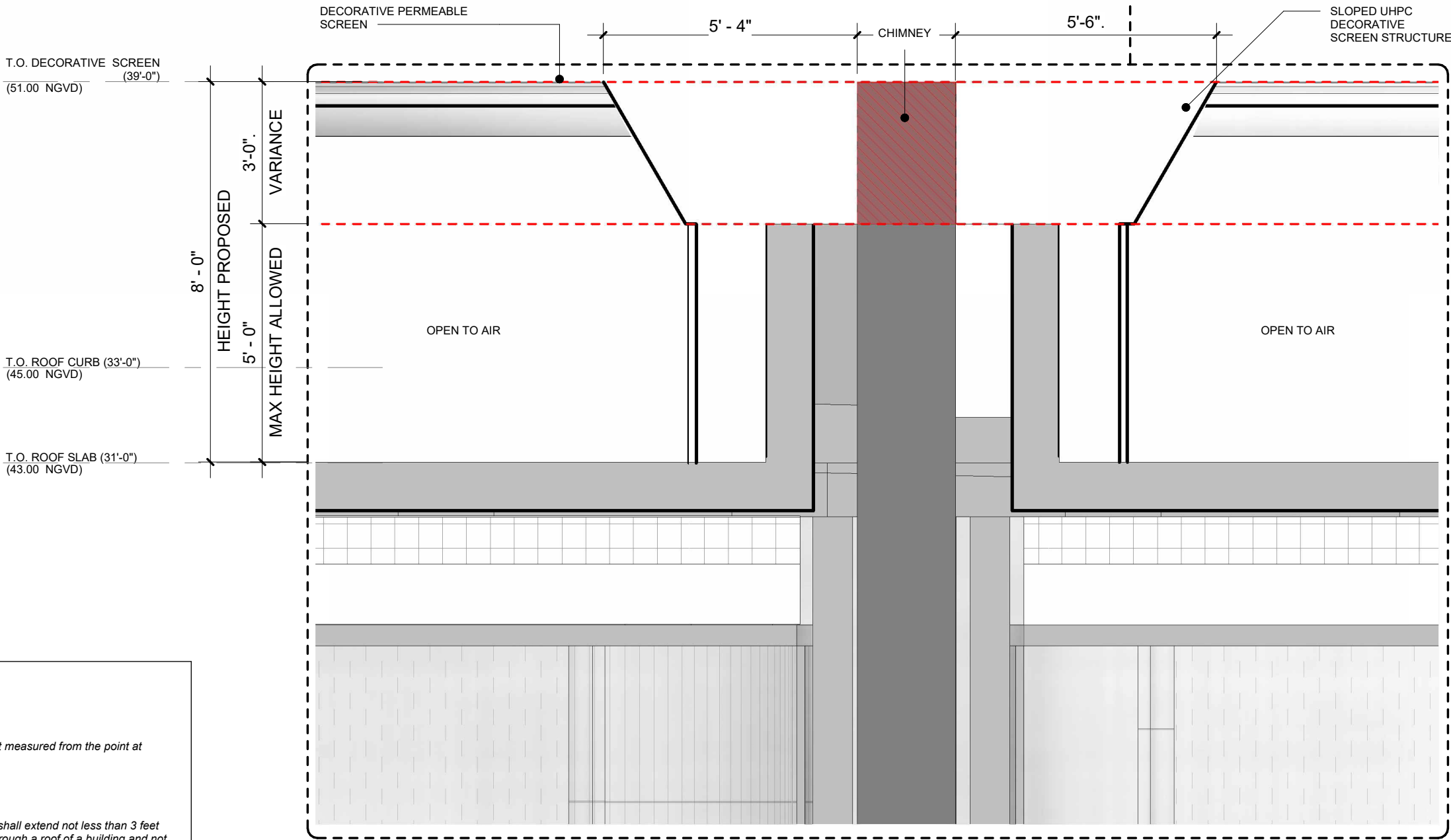




1 T.O. ROOF SLAB - VARIANCE 6  
1" = 90'-0"



2 Section 10  
1" = 30'-0"



**VARIANCE #6**  
**CHIMNEY ABOVE 5FT**

REQUIRED:  
Section 7.2.2.3.b.9.A  
Chimneys and air vents, not to exceed 5 feet in height measured from the point at which they emerge from the roof.

PROPOSED: CHIMNEY - 8FT (3FT VARIANCE)  
to comply with FBC 2023, 8th Ed. Fuel, Gas  
Section 503.5.4 Chimney Termination  
Chimneys for residential-type or low-heat appliances shall extend not less than 3 feet (914 mm) above the highest point where they pass through a roof of a building and not less than 2 feet (610 mm) higher than any portion of a building within a horizontal distance of 10 feet (3048 mm).

3 CHIMNEY SECTION  
3/8" = 1'-0"

# BOA SUBMITTAL

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786.536.2961

PROJECT NUMBER  
**2201**

PROJECT NAME  
**PRIVATE RESIDENCE**

8 - 14 STAR ISLAND DRIVE MIAMI BEACH, FL. 33139

DRAWING

**VARIANCE DIAGRAM #6  
CHIMNEY HEIGHT**

DIGITAL SEAL



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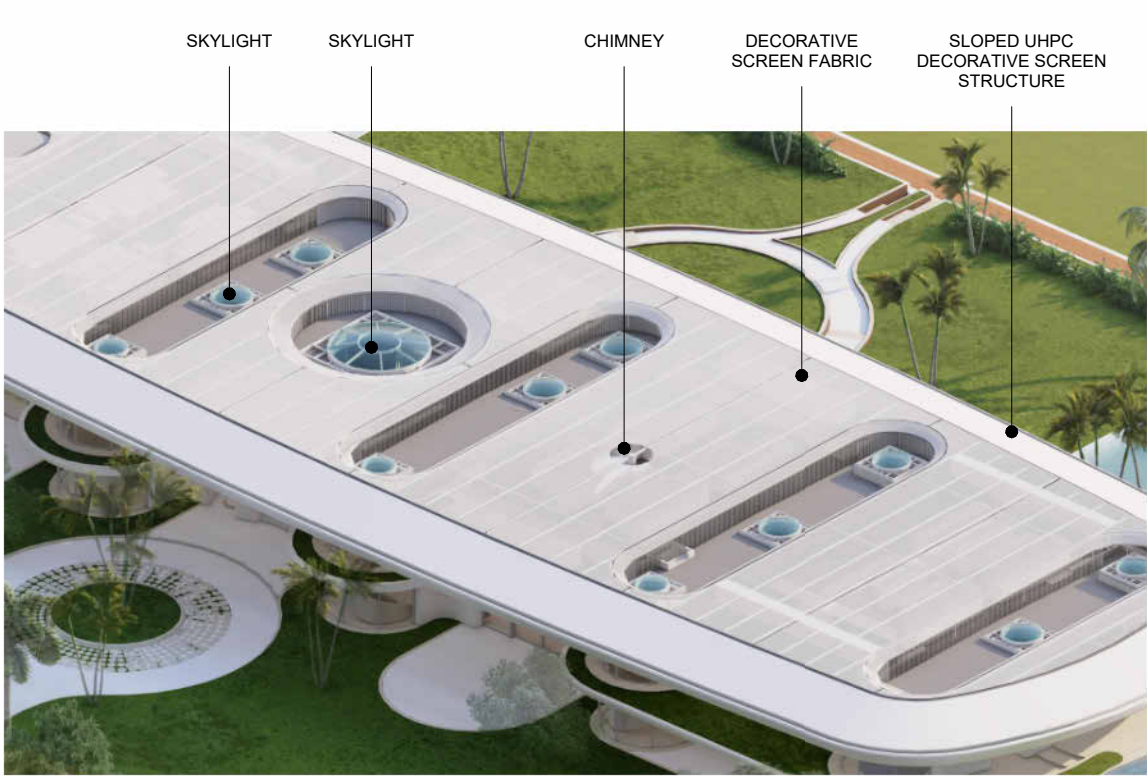
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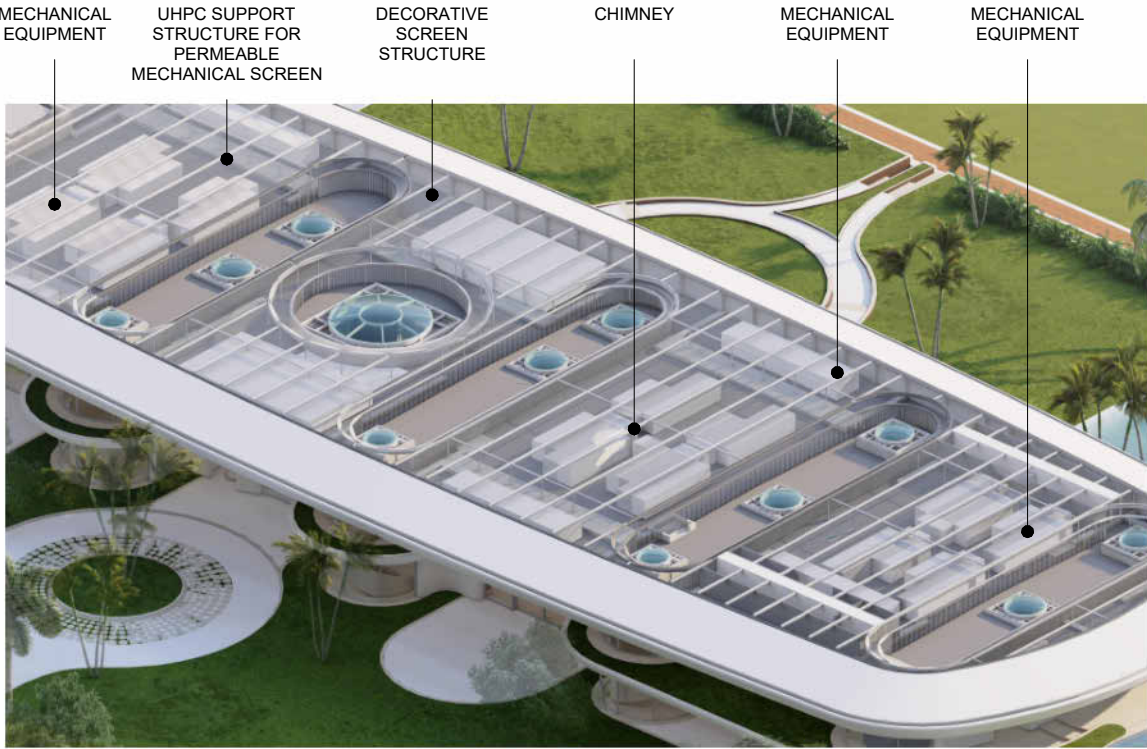
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PROPOSED DECORATIVE SCREEN



WITHOUT DECORATIVE SCREEN  
(ILLUSTRATIVE ONLY, NOT PROPOSED)



PROPOSED RENDER VIEW



PROPOSED RENDER VIEW

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DRIVE MIAMI BEACH,  
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DRAWING

DECORATIVE  
SCREEN  
DIAGRAMS

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