

ALPARSLAN RESIDENCE

437 WEST 31ST STREET, MIAMI BEACH, FL 33140

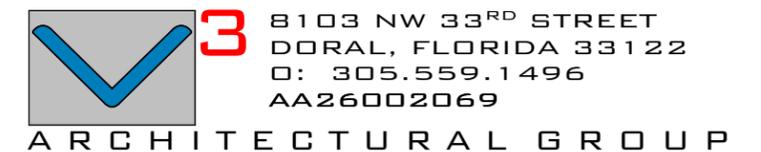
DESIGN REVIEW BOARD, CITY OF MIAMI BEACH

DRB24-1045

FINAL SUBMITTAL: 09.08.24

PROJECT GENERAL DATA & CODE SUMMARY

NAME OF THE PROJECT:	ALPARSLAN RESIDENCE
LOCATION:	437 WEST 31ST STREET, MIAMI BEACH, FL 33140
PROPOSED USE:	RESIDENCE
SCOPE OF WORK:	CONSTRUCTION OF A NEW RESIDENCE IN A VACANT LOT (NON-HABITABLE GROUND FLOOR & 2 FLOORS UNDER A/C)
CODE ENFORCEMENT JURISDICTION:	FLORIDA FIRE PREVENTION CODE (FFPC) 8TH. EDITION (2023) FLORIDA BUILDING CODE (FBC), BUILDING, 8TH. EDITION (2023) NFPA 1, 2021 EDITION, "FIRE CODE". NFPA 101, 2021 EDITION, "LIFE SAFETY CODE". NFPA 10, 2018 EDITION, "STANDARD FOR PORTABLE FIRE EXTINGUISHER". NFPA 13, 2019 EDITION, "STANDARD FOR THE INSTALLATION OF SPRINKLER SYSTEM". NFPA 70, 2020 EDITION, "NATIONAL ELECTRICAL CODE". NFPA 72, 2019 EDITION, "NATIONAL FIRE ALARM CODE". CITY OF MIAMI BEACH CODE OF ORDINANCES
ZONING:	RS-4-RESIDENTIAL SINGLE FAMILY
FOLIO NUMBER:	02-3227-001-0661
LEGAL DESCRIPTION:	PARCEL "A" IN LOTS 23 & 24, IN BLOCK 45, OF ORCHARD SUBDIVISION NO. 1, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 6, AT PAGE 111, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA. (REFER TO SURVEY FOR A MORE DETAILED DESCRIPTION)
OWNER:	SU SEVINE ALPARSLAN

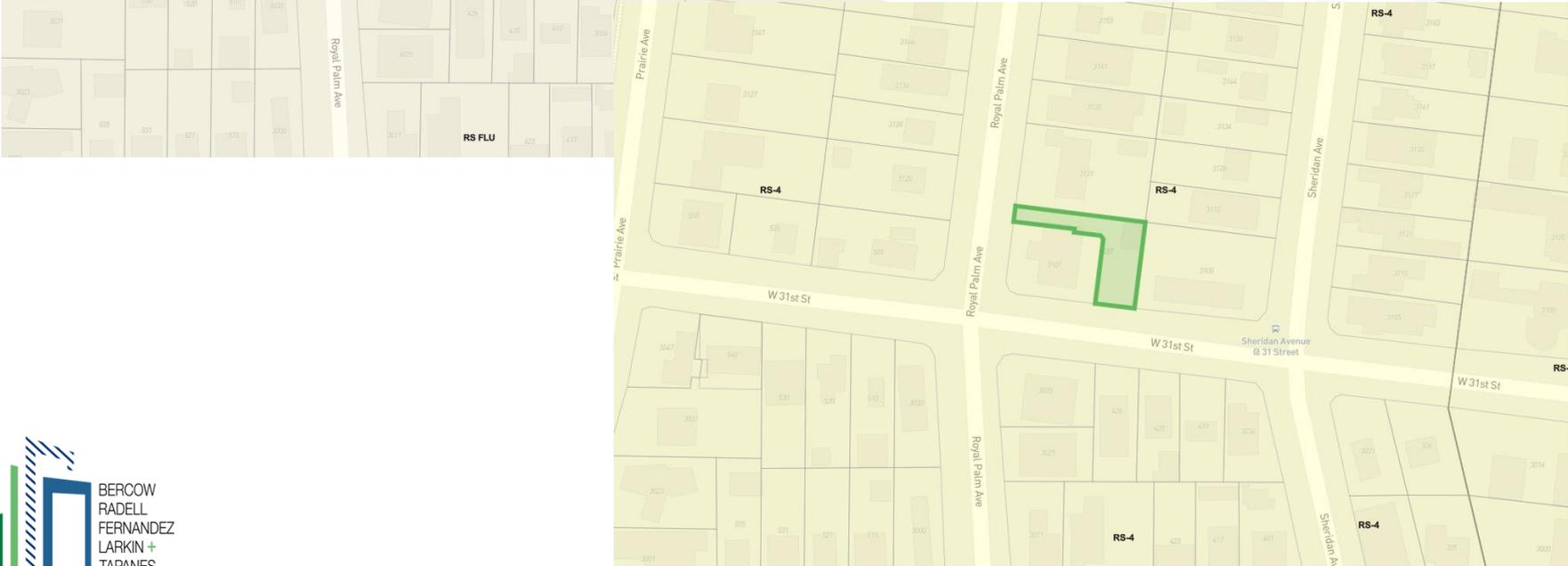


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Property Location



Land Use and Zoning



Context Photos



1. EXISTING CONDITION PROJECT SITE
ROYAL PALM AVE SOUTH-WEST VIEW

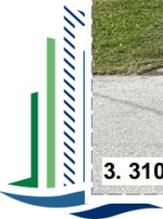


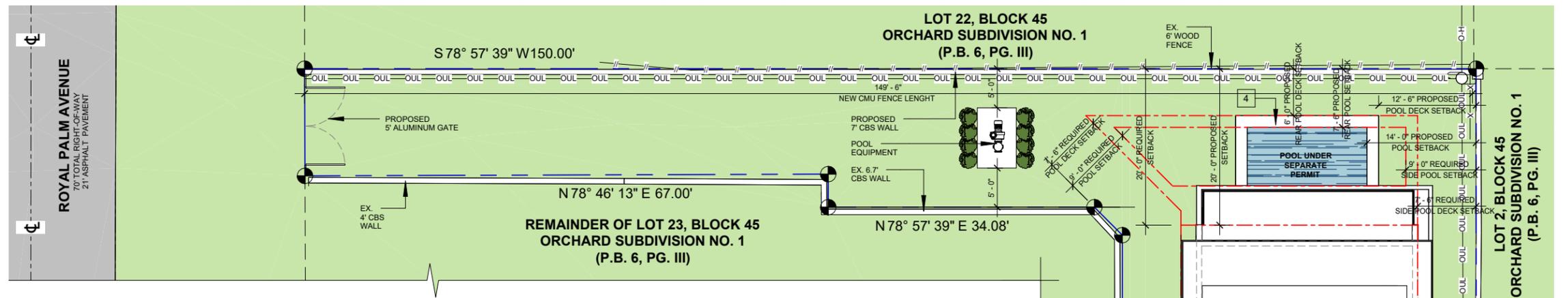
2. EXISTING CONDITION PROJECT SITE
ROYAL PALM AVE NORTH-WEST VIEW



3. EXISTING CONDITION PROJECT SITE
W 31TH ST SOUTH-EAST VIEW

Surrounding Properties





1 PROPOSED SITE PLAN
1/16" = 1'-0"



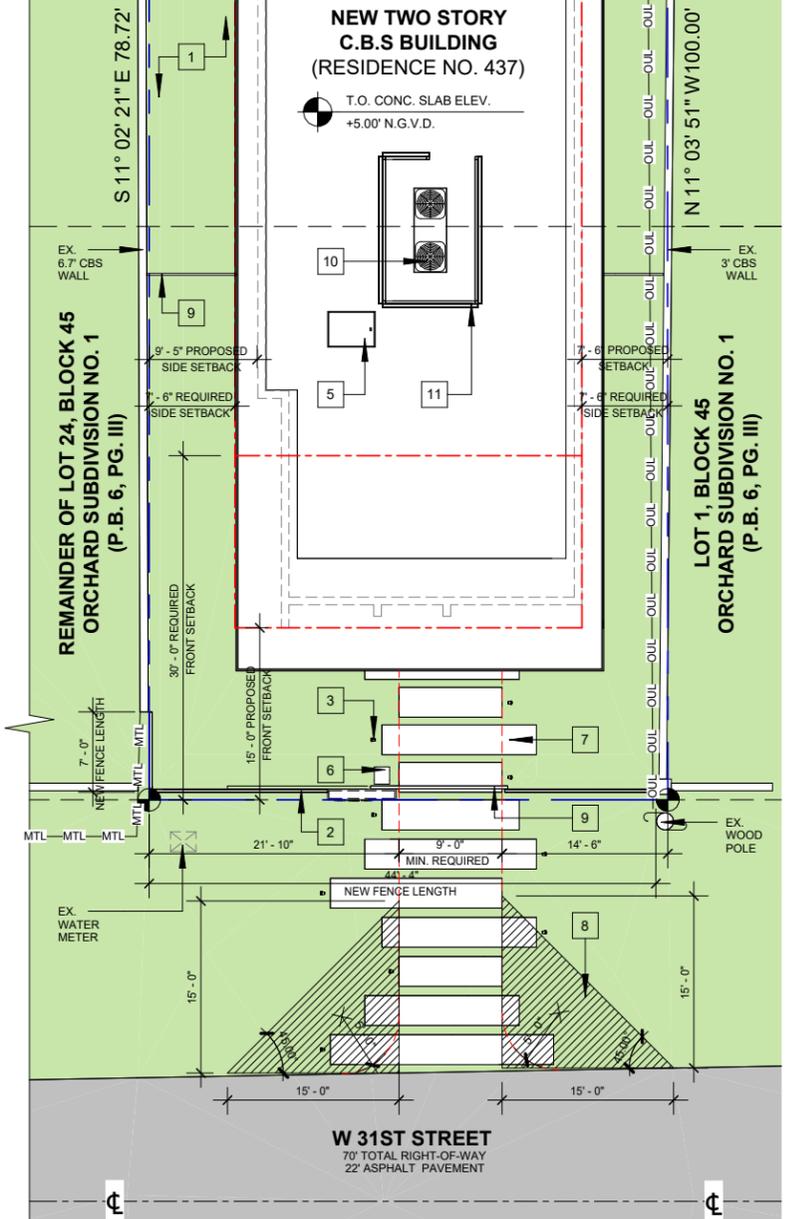
LEGEND	
	PROPERTY LINE
	REQUIRED SETBACK
	GREEN AREA
	POOL WATER
	EXISTING OVERHEAD UTILITY LINE
	EXISTING METAL FENCE
	EXISTING WOOD FENCE

POOL NOTES

GENERAL CONTRACTOR SHALL PROVIDE A 48" HIGH POOL SAFETY BARRIER FOR THE POOL COMPLYING WITH FBC 2017 AND SECTIONS FBC R4501.17.1.1 THROUGH R4501.17.1.14. THE BARRIER SHALL COMPLY BUT IS NOT LIMITED TO THE FOLLOWING. THE TOP OF THE BARRIER SHALL BE AT LEAST 48 INCHES ABOVE GRADE, MEASURED ON THE SIDE OF THE BARRIER WHICH FACES AWAY FROM THE SWIMMING POOL. THE MAXIMUM VERTICAL CLEARANCE BETWEEN GRADE AND THE BOTTOM OF THE BARRIER SHALL BE 2 INCHES MEASURED ON THE SIDE OF THE BARRIER WHICH FACES AWAY FROM THE SWIMMING POOL.

R4501.17.1.2 THE BARRIER MAY NOT HAVE ANY GAPS, OPENINGS, INDENTATIONS, PROTRUSIONS, OR STRUCTURAL COMPONENTS THAT COULD ALLOW A YOUNG CHILD TO CRAWL UNDER, SQUEEZE THROUGH, OR CLIMB OVER THE BARRIER AS HEREIN DESCRIBED BELOW. ONE END OF A REMOVABLE CHILD BARRIER SHALL NOT BE REMOVABLE WITHOUT THE AID OF TOOLS. OPENINGS IN ANY BARRIER SHALL NOT ALLOW PASSAGE OF A 4-INCH-DIAMETER (102 MM) SPHERE.

SITE PLAN KEY NOTES	
1	GREEN AREA
2	METAL FENCE
3	LANDSCAPE LIGHT
4	POOL DECK
5	36" X 48" STEEL ROOF ACCESS HATCH
6	GATE MOTOR
7	CONCRETE PAVERS DRIVEWAY
8	SAFE SIGHT TRIANGLE
9	NEW 48" HEIGHT MTL. FENCE TO ENCLOSE THE POOL
10	A/C COMPRESSOR ON TOP OF ROOF
11	MECHANICAL ROOF EQUIPMENT ALUMINUM ENCLOSURE



ALPARSLAN RESIDENCE

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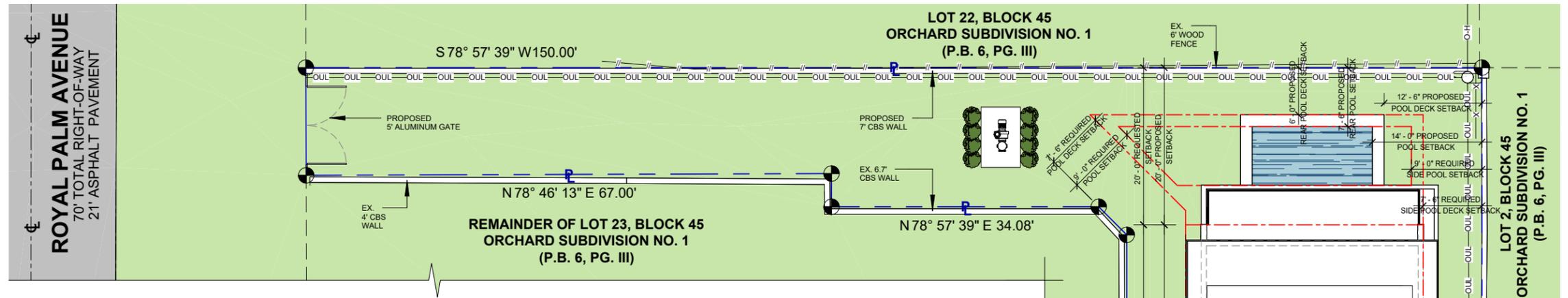
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A-1.0 PROPOSED SITE PLAN

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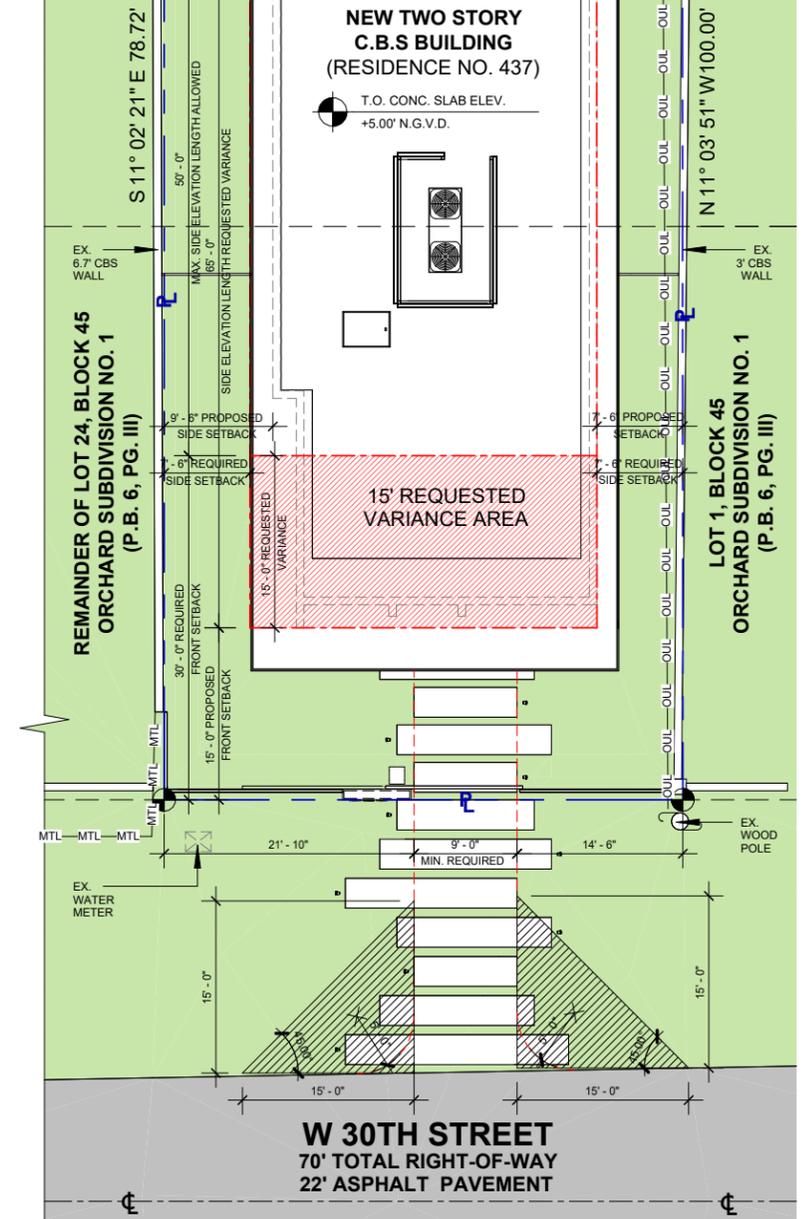
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1 PROPOSED SITE PLAN VARIANCES
1/16" = 1'-0"

LEGEND	
	PROPERTY LINE
	REQUIRED SETBACK
	EXISTING OVERHEAD UTILITY LINE
	EXISTING METAL FENCE
	EXISTING WOOD FENCE
	GREEN AREA
	POOL WATER
	REQUESTED VARIANCE AREA

VARIANCES	
(1) FRONT SETBACK VARIANCE	
REQUIRED FRONT SETBACK	30'-0" FOR TWO STORY BUILDING
PROPOSED FRONT SETBACK	15'-0"
THIS VARIANCE IS REQUESTED TO DECREASE THE MAGNITUDE OF THE FRONT SETBACK FROM 30'-0" TO 15'-0" (SEE SITE PLAN VARIANCE IN THIS SHEET)	
(2) SIDE ELEVATION LENGHT VARIANCE	
SIDE ELEVATION MAX. LENGHT ALLOWED FOR A TWO-STORY BUILDING	50% OF LOT DEPTH (50'-0") OR 60'-0" WICHEVER IS LESS = 50'-0"
PROPOSED SIDE ELEVATION LENGHT	65'-0"
THIS VARIANCE IS REQUESTED TO INCREASE THE MAGNITUDE OF THE MAX. SIDE ELEVAT LENGHT FROM 50'-0" TO 65'-0" (SEE SIDE ELEVATIONS)	



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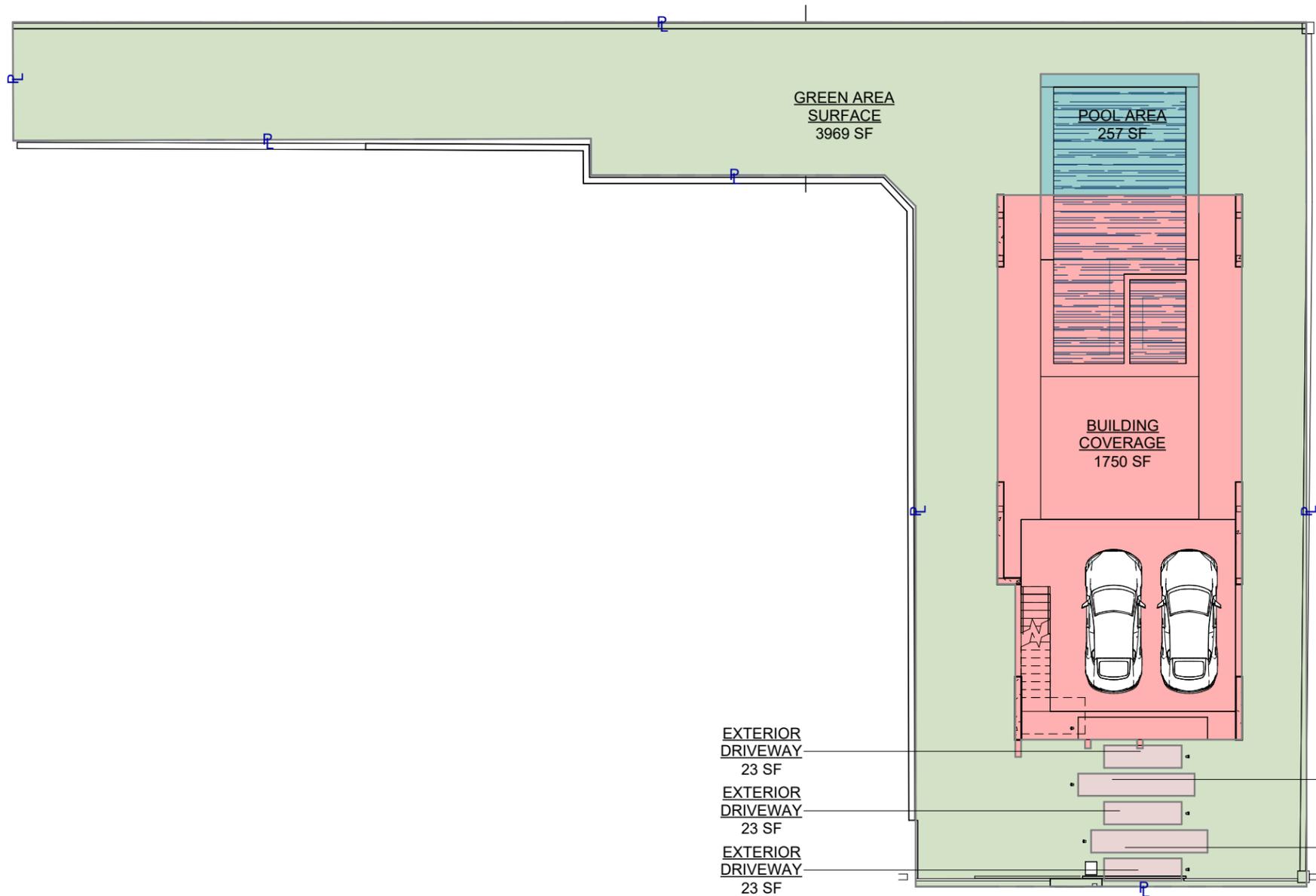
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A-1.1 PROPOSED SITE PLAN VARIANCES

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LEGEND	
	PROPERTY LINE
	REQUIRED SETBACK
	BUILDING COVERAGE MAIN HOUSE (SEE TABLE BELOW)
	GREEN AREA SURFACE
	EXTERIOR DRIVEWAY AREA
	POOL AREA

LOT COVERAGE DATA	
EXISTING LOT SIZE:	6,125.0 SF.
MAXIMUM BUILDING LOT COVERAGE ALLOWED (30% OF THE LOT SIZE)	1,837.5 SF (30.0 % OF LOT SIZE)
BUILDING LOT COVERAGE PROPOSED	1,750.0 SF (28.5 % OF LOT SIZE)

① LOT COVERAGE DIAGRAM
1/16" = 1'-0"

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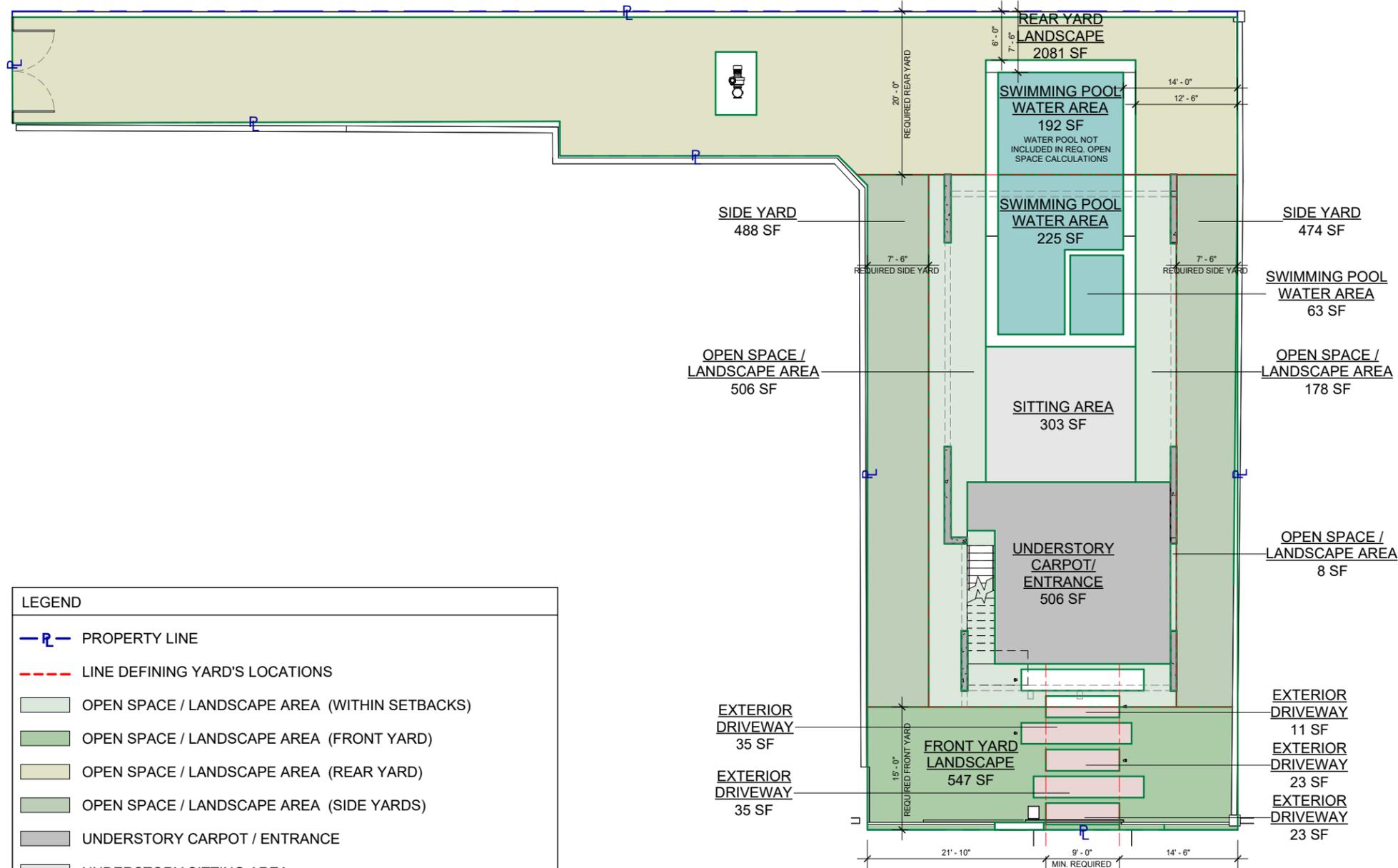
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A-1.4 LOT COVERAGE DIAGRAM

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LEGEND	
	PROPERTY LINE
	LINE DEFINING YARD'S LOCATIONS
	OPEN SPACE / LANDSCAPE AREA (WITHIN SETBACKS)
	OPEN SPACE / LANDSCAPE AREA (FRONT YARD)
	OPEN SPACE / LANDSCAPE AREA (REAR YARD)
	OPEN SPACE / LANDSCAPE AREA (SIDE YARDS)
	UNDERSTORY CARPOT / ENTRANCE
	UNDERSTORY SITTING AREA
	SWIMMING POOL WATER AREA (FOR OPEN SPACE CALCULATIONS)

1 OPEN SPACE DIAGRAM
1/16" = 1'-0"

OPEN SPACE CALCULATIONS	
FRONT YARD CALCULATION DATA:	
FRONT SETBACK REQUIRED:	30'-0" FOR FIRST FLOOR ON TWO STORY BUILDING
FRONT SETBACK PROVIDED:	15'-0" VARIANCE
FRONT YARD AREA REQUIRED: MINIMUM 70% OF REQUIRED FRONT YARD SHALL BE SODDED / LANSCAPED	680.0 SF X 70.0% 476.0 SF
YARD PERVIOUS PROVIDED: WITHIN THE REQUIRED FRONT YARD	547.0 SF (80.4% OF REQUIRED FRONT YARD)
REAR YARD CALCULATION DATA:	
REAR SETBACK REQUIRED:	(15% OF 100' = 15.00') NOT APPLICABLE (20' MIN IS THE APPLICABLE)
REAR SETBACK PROVIDED:	20'-0"
REAR YARD AREA REQUIRED: MINIMUM 70% OF REQUIRED REAR YARD SHALL BE SODDED / LANSCAPED	2,489.24 SF X 70.0% 1,742.47 SF
YARD SODDED / LANSCAPED PROVIDED: WITHIN THE REQUIRED REAR YARD	2,081.00 SF (83.6% OF REQUIRED REAR YARD)
SIDE YARD CALCULATION DATA	
SIDE YARD SETBACK REQUIRED:	7'-6" (2 X 7'-6") = 15'-0" 15'-0" GREATER THAN 11'-4" (25% OF THE LOT WIDTH) (25% X 45'-4" = 11'-4")
SIDE SETBACK PROVIDED:	7'-6"
SIDE YARD AREA REQUIRED: MINIMUM 70% OF REQUIRED SIDE YARD SHALL BE SODDED / LANSCAPED	975.32 SF X 70.0% 682.72 SF
YARD SODDED / LANSCAPED PROVIDED: WITHIN THE REQUIRED SIDE YARD	962.00 SF (98.6% OF REQUIRED REAR YARD)

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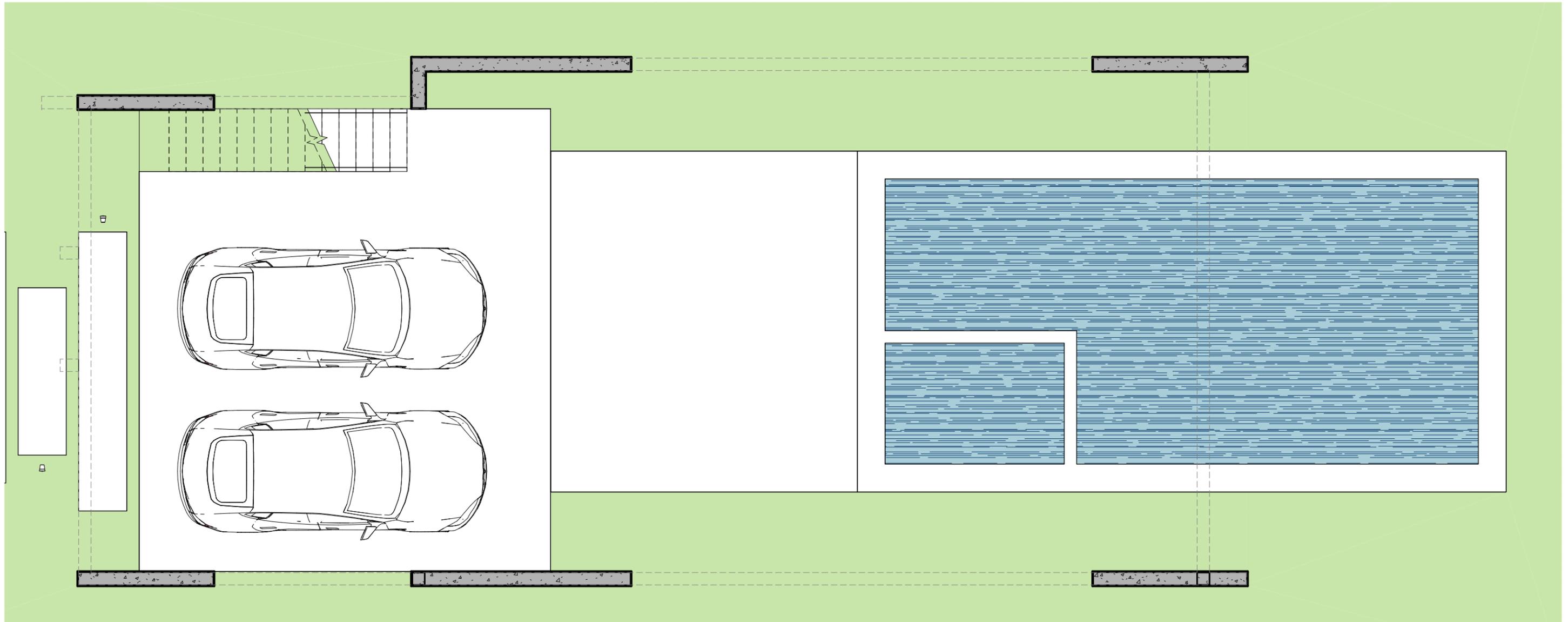
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A-1.5 OPEN SPACE DIAGRAM

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① UNDERSTORY LEVEL (DRB)
3/16" = 1'-0"

LEGEND	
	PROPERTY LINE
	LINE DEFINING YARD'S LOCATIONS
	UNIT SIZE HATCH LEGEND (SEE NEXT DATA SCHEDULE)

UNIT SIZE DATA:		
EXISTING LOT SIZE:	6,125 SF (0.14 ACRES MORE OR LESS)	
MAX. UNIT SIZE (REQUIRED)	MAX. ALLOWED	PROVIDED
• LOT AREA 6,125 S.F. X 50%:	3,062.5 SF	3,061 SF 49.98%
• UNIT SIZE AT FIRST LEVEL		1,587 SF
• UNIT SIZE AT SECOND LEVEL		1,474 SF

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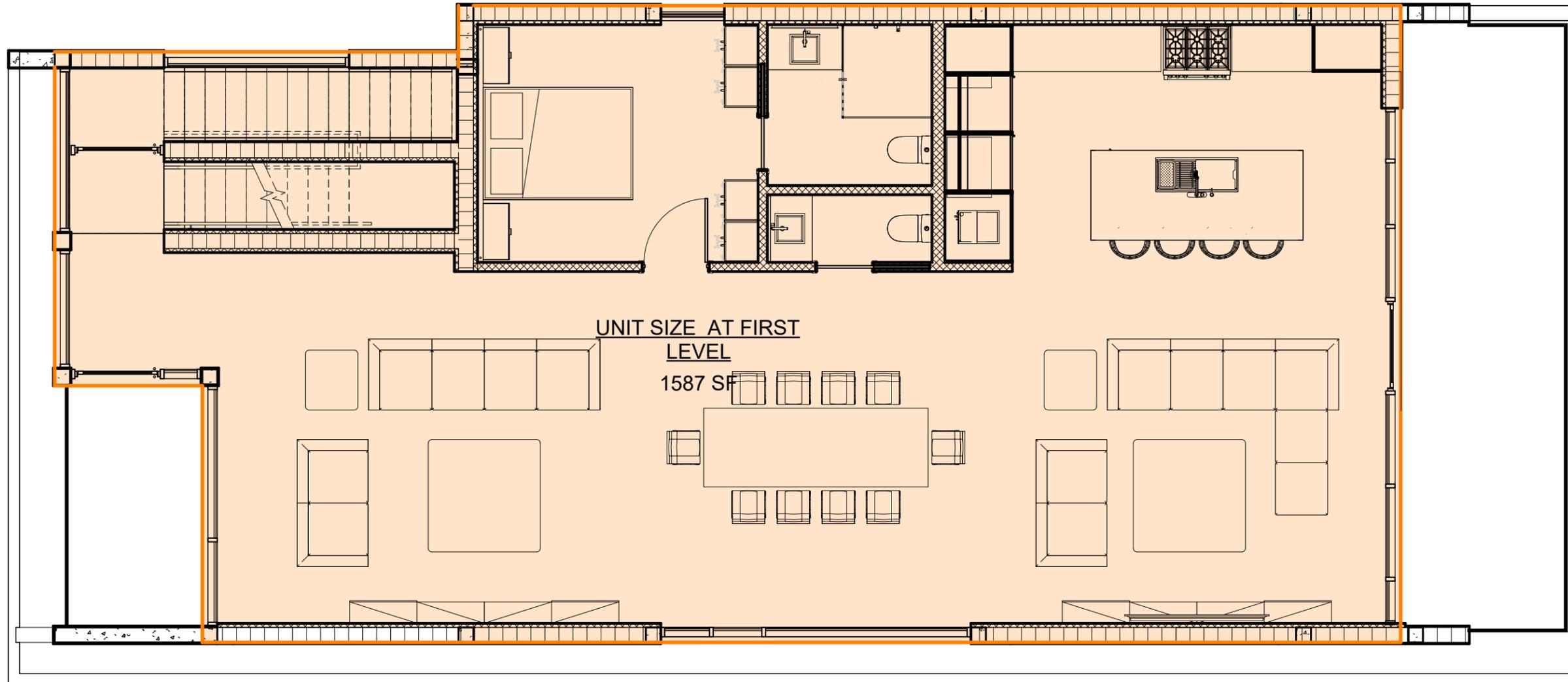
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A-1.6 UNIT SIZE DIAGRAM UNDERSTORY

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① FIRST LEVEL (DRB)
3/16" = 1'-0"

LEGEND	
	PROPERTY LINE
	LINE DEFINING YARD'S LOCATIONS
	UNIT SIZE HATCH LEGEND (SEE NEXT DATA SCHEDULE)

UNIT SIZE DATA:		
EXISTING LOT SIZE:	6,125 SF (0.14 ACRES MORE OR LESS)	
MAX. UNIT SIZE (REQUIRED)	MAX. ALLOWED	PROVIDED
• LOT AREA 6,125 S.F. X 50%:	3,062.5 SF	3,061 SF 49.98%
• UNIT SIZE AT FIRST LEVEL		1,587 SF
• UNIT SIZE AT SECOND LEVEL		1,474 SF

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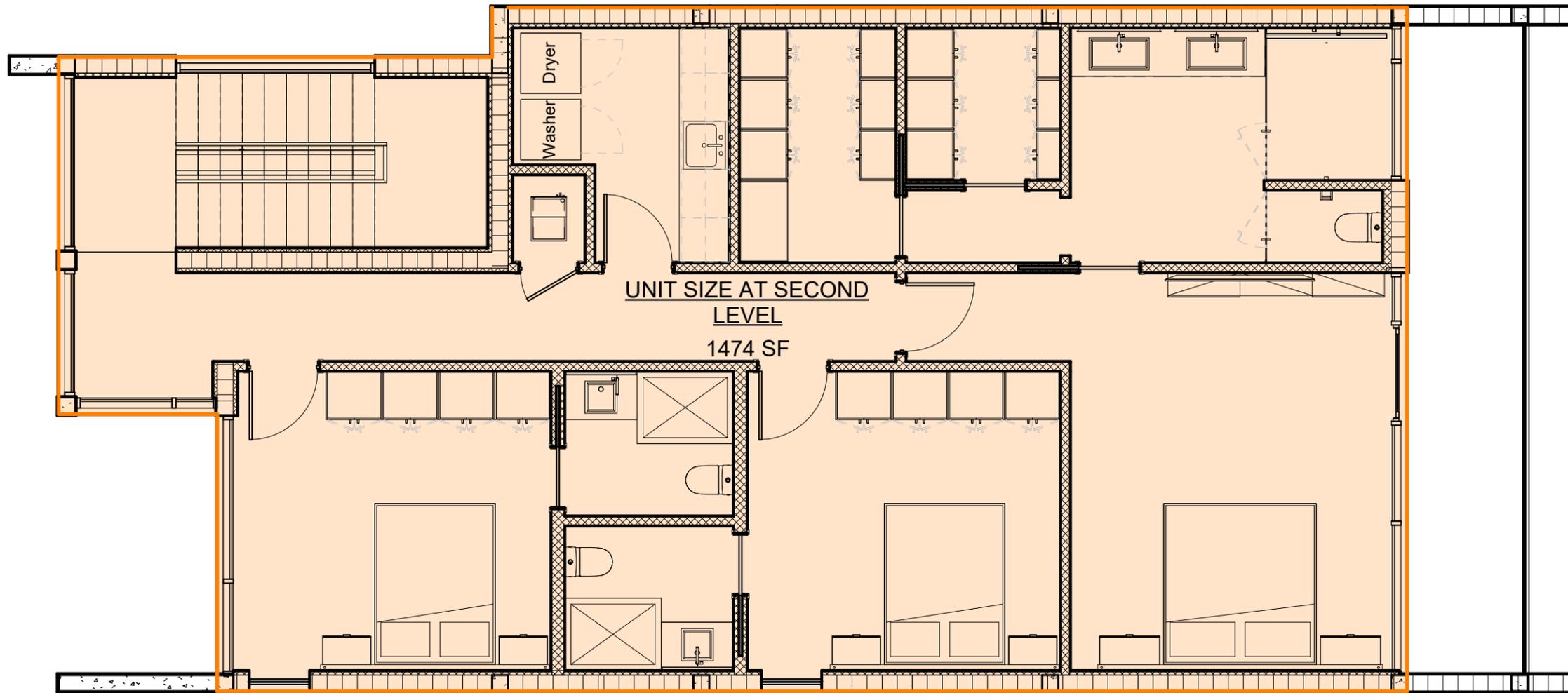
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A-1.7 UNIT SIZE DIAGRAM FIRST LEVEL

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① SECOND LEVEL (DRB)
3/16" = 1'-0"

LEGEND	
	PROPERTY LINE
	LINE DEFINING YARD'S LOCATIONS
	UNIT SIZE HATCH LEGEND (SEE NEXT DATA SCHEDULE)

UNIT SIZE DATA:		
EXISTING LOT SIZE:	6,125 SF (0.14 ACRES MORE OR LESS)	
MAX. UNIT SIZE (REQUIRED)	MAX. ALLOWED	PROVIDED
• LOT AREA 6,125 S.F. X 50%:	3,062.5 SF	3,061 SF 49.98%
• UNIT SIZE AT FIRST LEVEL		1,587 SF
• UNIT SIZE AT SECOND LEVEL		1,474 SF

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A-1.8 UNIT SIZE SECOND LEVEL

3

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1. PROPOSED SOUTH FACADE. SOUTH-WEST NIGHT VIEW



2. PROPOSED SOUTH FACADE. SOUTH-EAST NIGHT VIEW

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A-6.0 RENDERINGS

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3. PROPOSED SOUTH FACADE. SOUTH-WEST DAYTIME VIEW



4. PROPOSED SOUTH FACADE. SOUTH-EAST DAYTIME VIEW

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A-6.1 RENDERINGS



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5. PROPOSED WEST FACADE. NORTH-WEST DAYTIME VIEW



6. PROPOSED EAST FACADE. SOUTH-EAST DAYTIME VIEW

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A-6.2 RENDERINGS



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7. PROPOSED NORTH FACADE. NORTH DAYTIME VIEW



8. PROPOSED NORTH FACADE. NORTH-WEST DAYTIME VIEW

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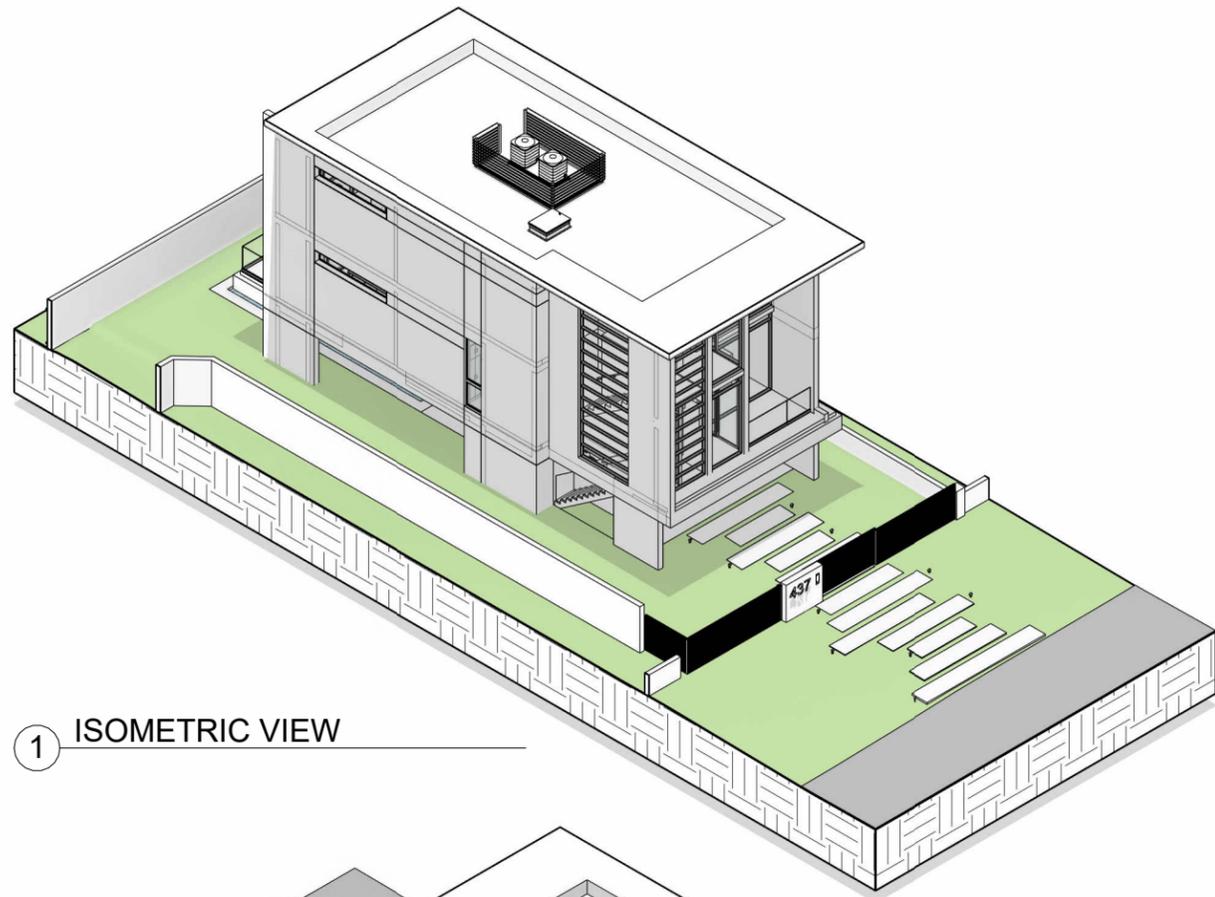
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A-6.3 RENDERINGS

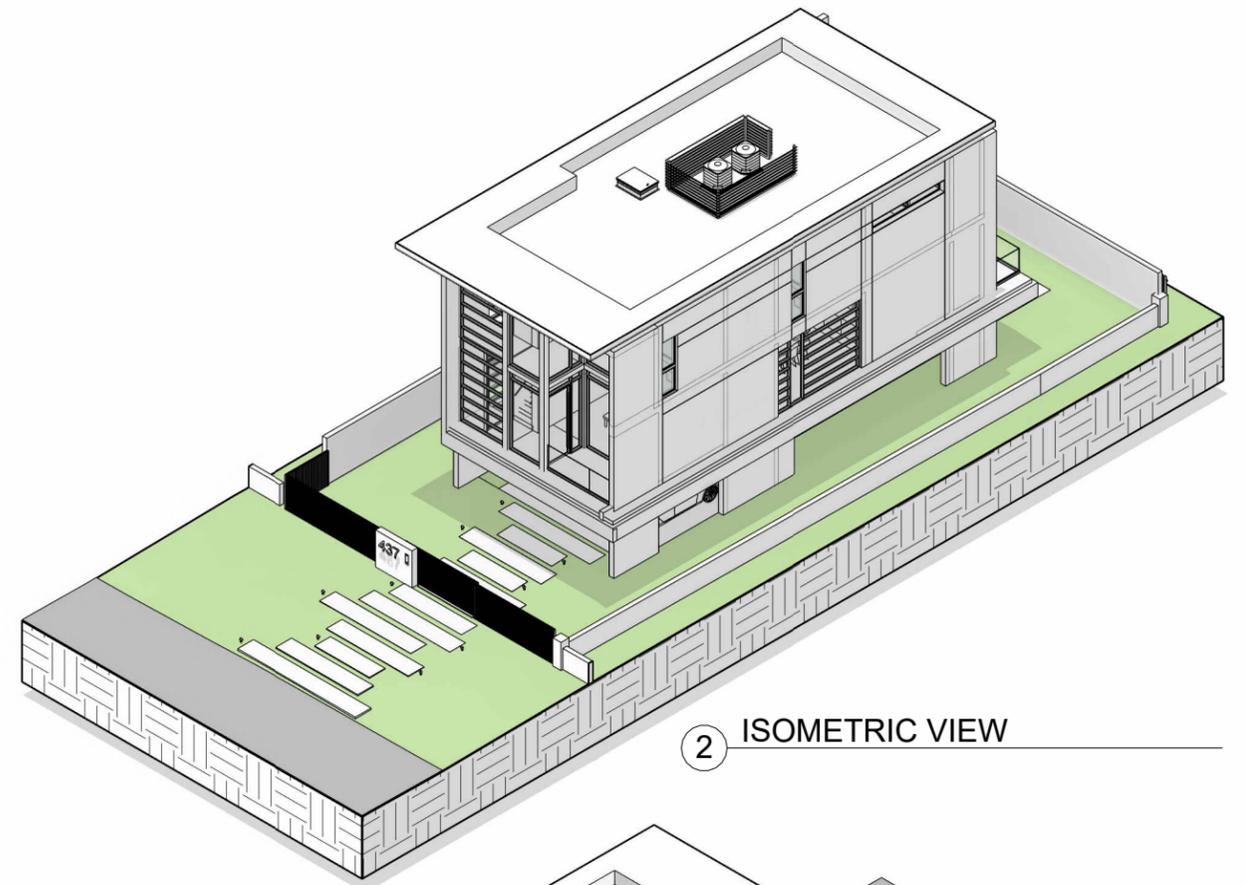


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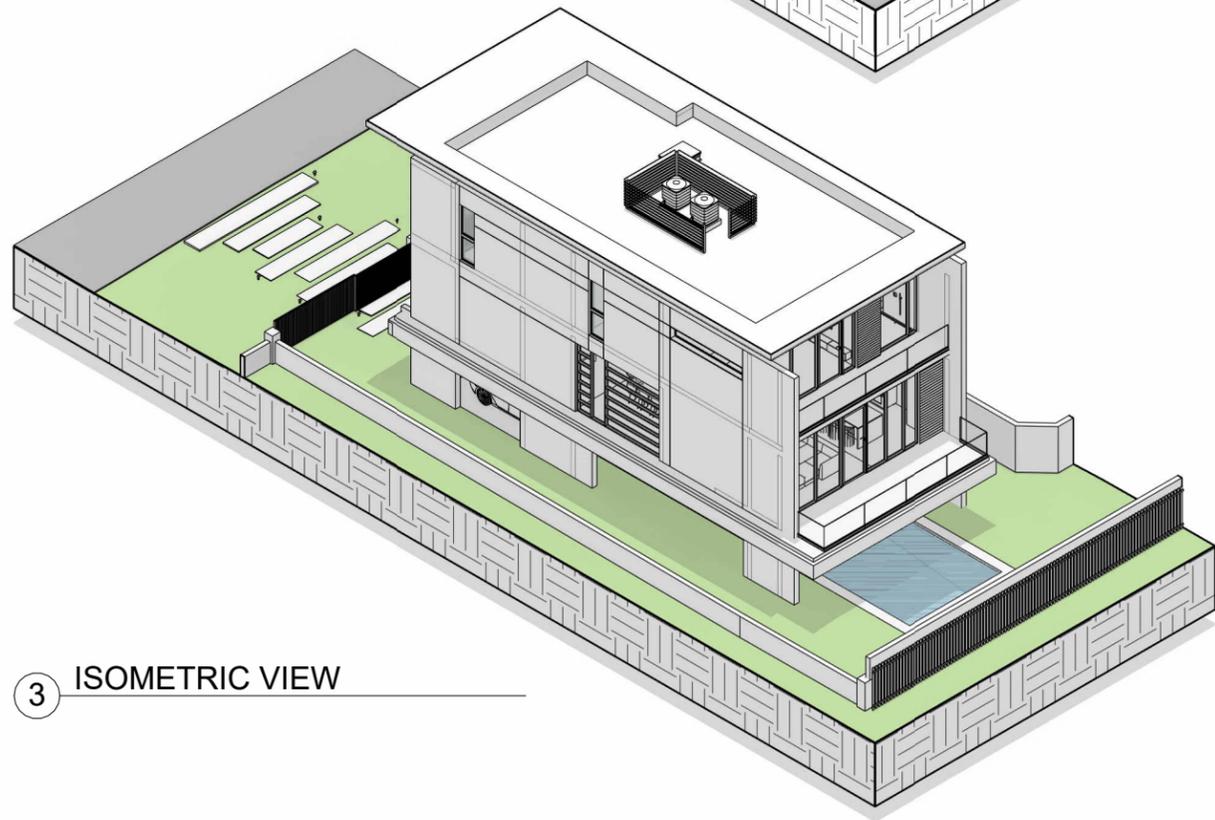
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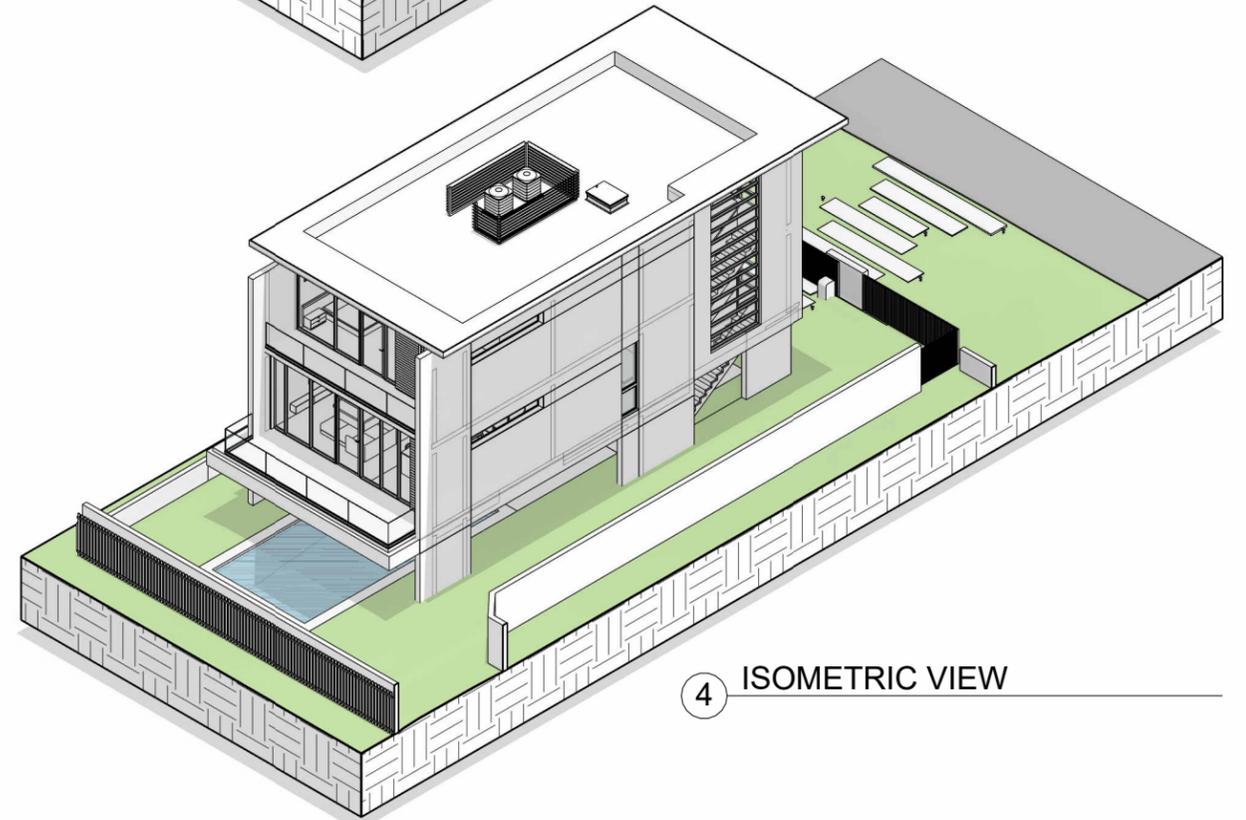
1 ISOMETRIC VIEW



2 ISOMETRIC VIEW



3 ISOMETRIC VIEW



4 ISOMETRIC VIEW

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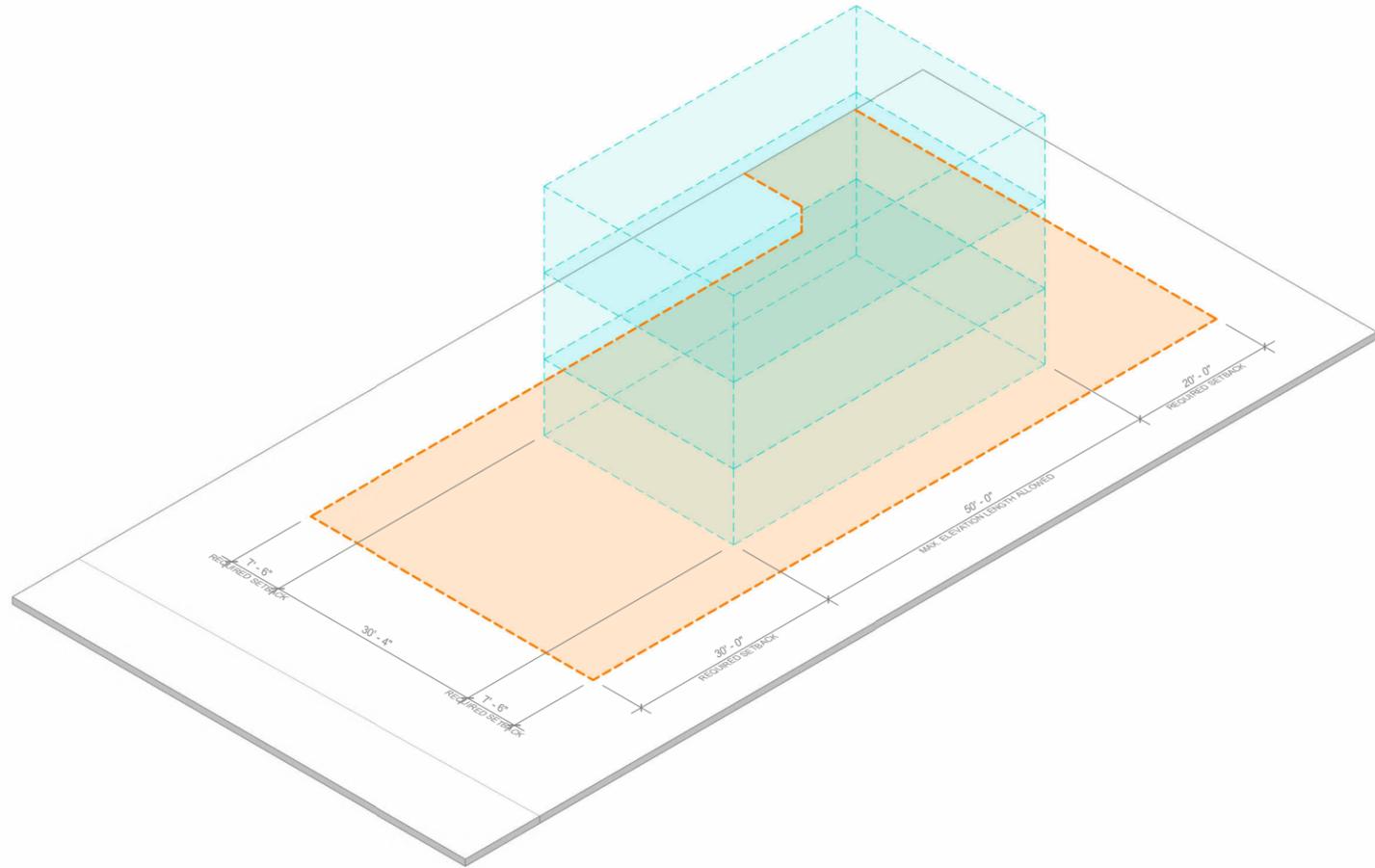
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A-1.9 AXONOMETRICS PROJECTION DIAGRAMS

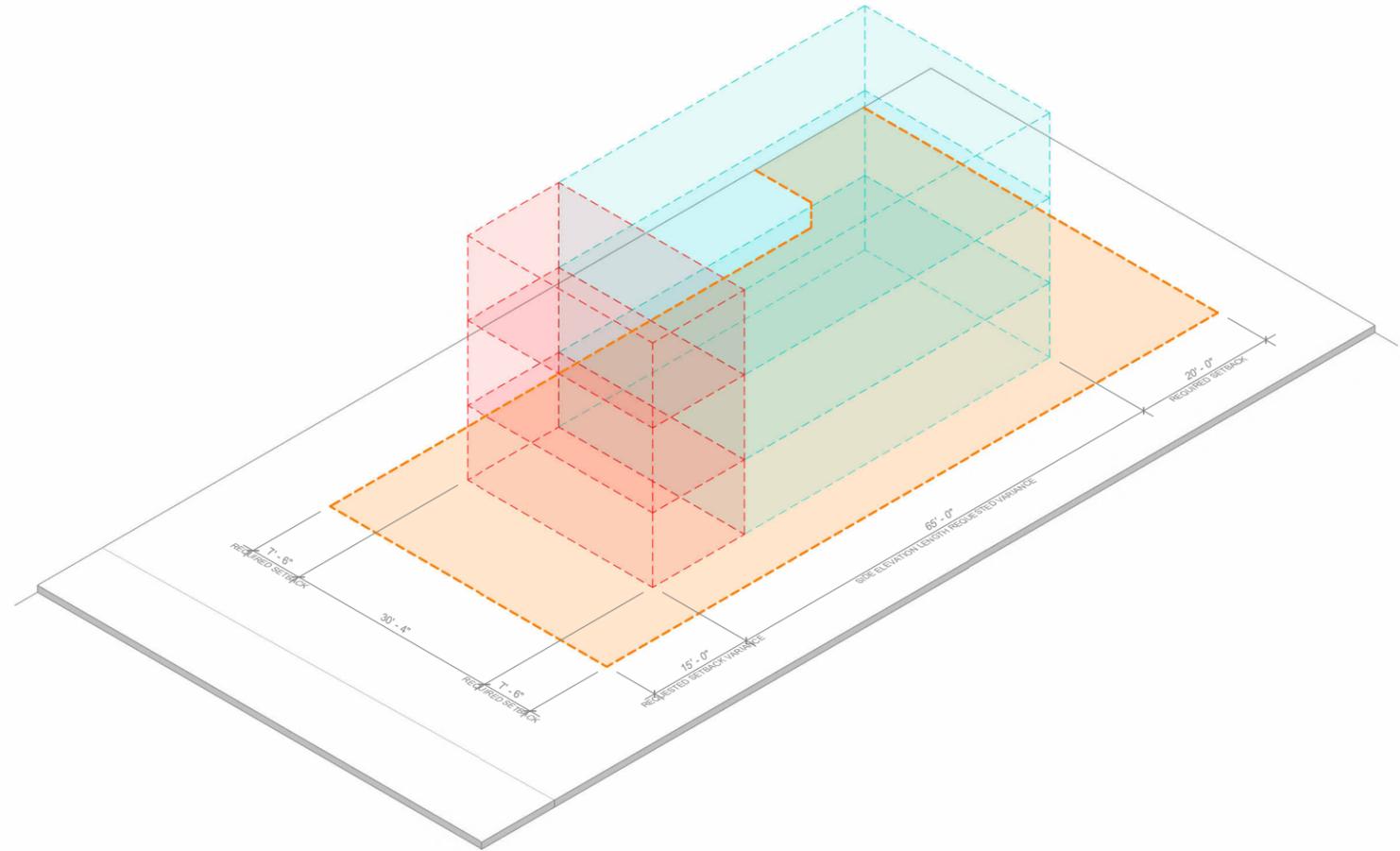


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1 REQUIRED SETBACKS



2 REQUESTED SETBACK

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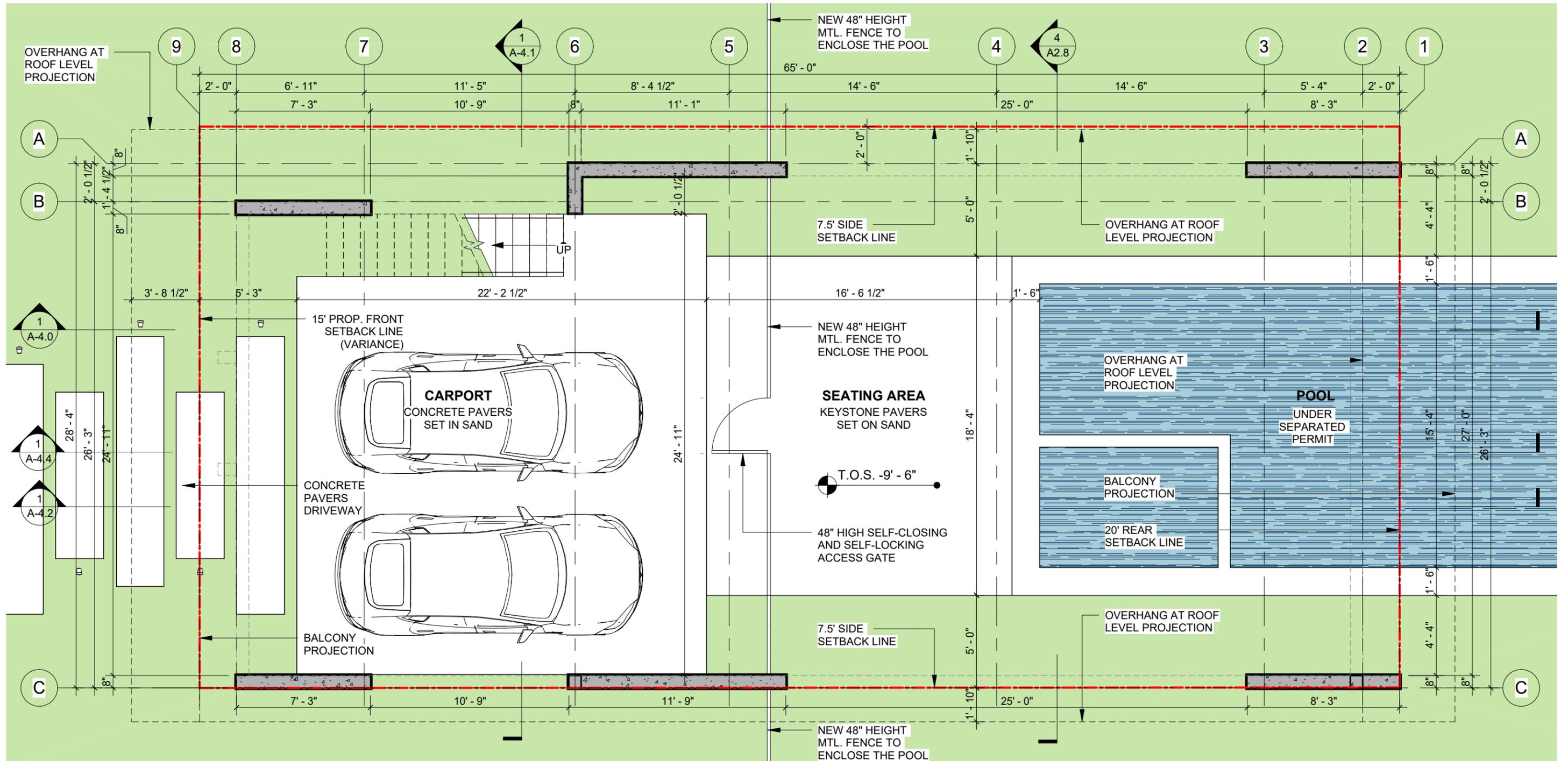
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A-1.10 VARIANCE DIAGRAM



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1 PROPOSED UNDERSTORY FLOOR PLAN
 3/16" = 1'-0"

WALL LEGEND	
	EXTERIOR CMU WALL
	MTL. FRAME PARTITIONS. SEE FLOOR PLAN & WALL TYPES FOR THICKNESS
	CONCRETE COLUMN OR CONCRETE WALL REFER TO STRUCTURAL

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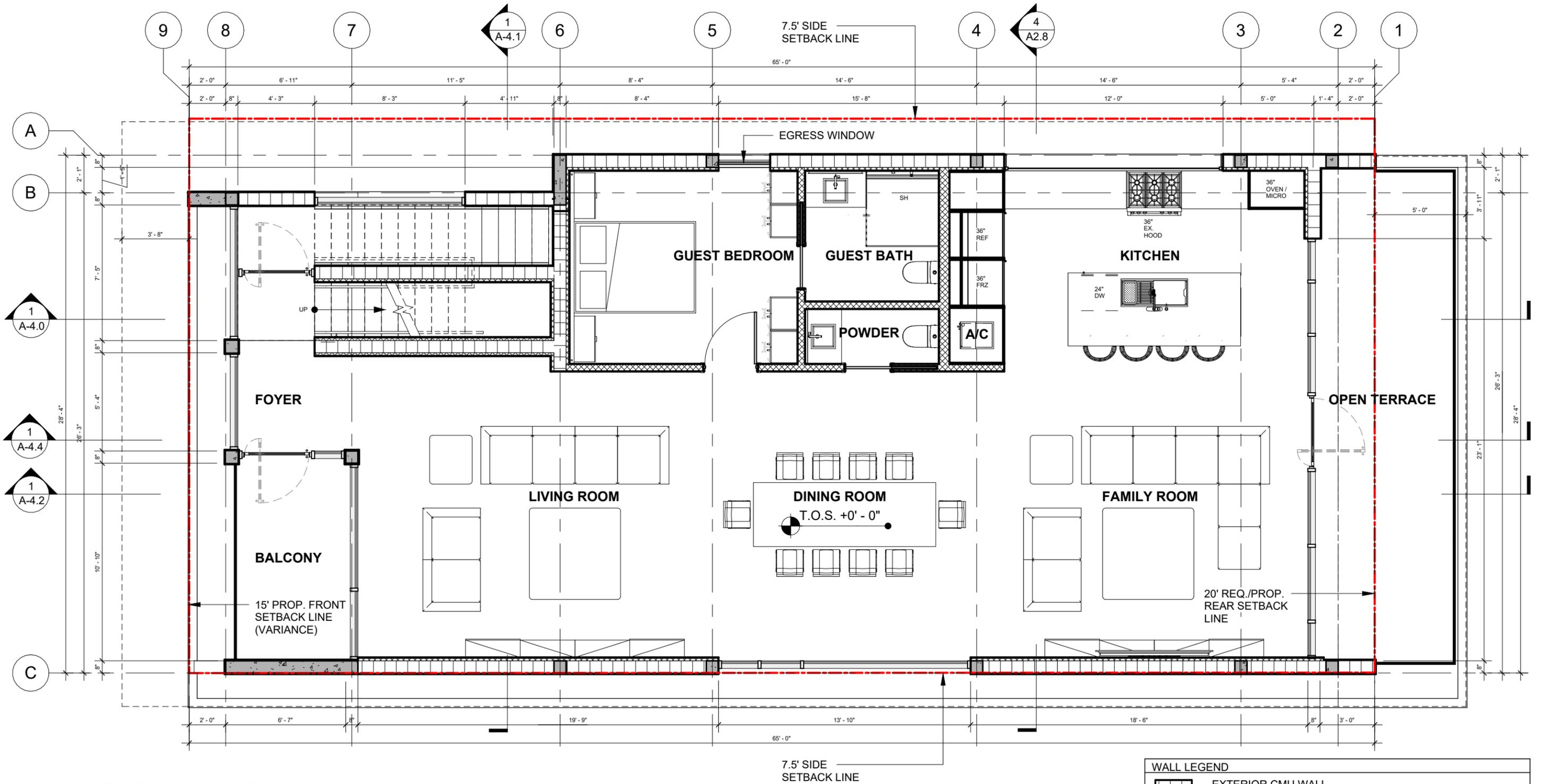
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A-2.0 PROPOSED UNDERSTORY FLOOR PLAN

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1 PROPOSED FIRST FLOOR PLAN
3/16" = 1'-0"



WALL LEGEND	
	EXTERIOR CMU WALL
	MTL. FRAME PARTITIONS. SEE FLOOR PLAN & WALL TYPES FOR THICKNESS
	CONCRETE COLUMN OR CONCRETE WALL REFER TO STRUCTURAL

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A-2.1 PROPOSED FIRST FLOOR PLAN

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1 PROPOSED SECOND FLOOR PLAN
3/16" = 1'-0"

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	EXTERIOR CMU WALL
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	CONCRETE COLUMN OR CONCRETE WALL REFER TO STRUCTURAL

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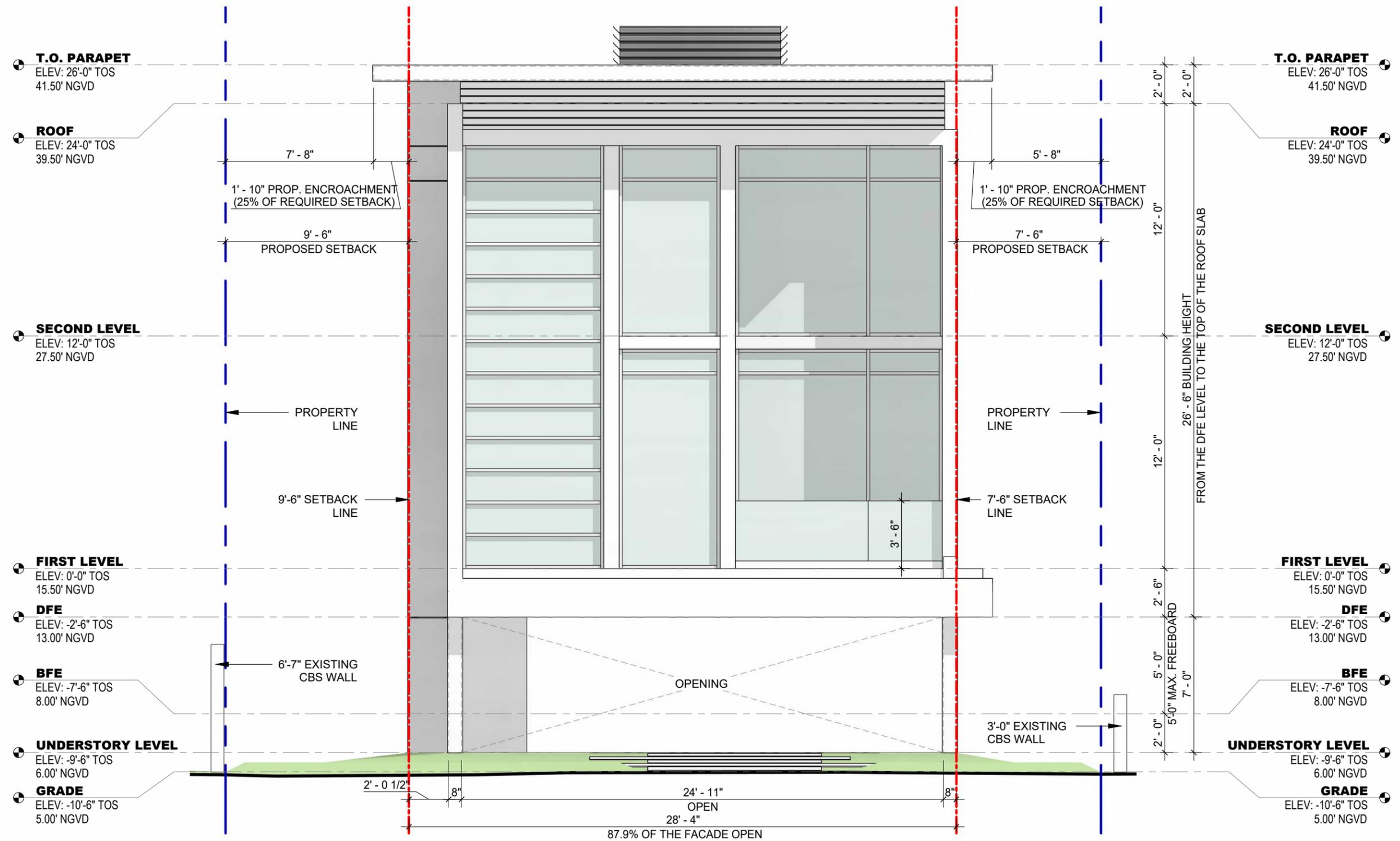
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A-2.2 PROPOSED SECOND FLOOR PLAN

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1 PROPOSED FRONT ELEVATION (SOUTH)
3/16" = 1'-0"

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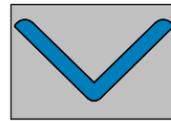
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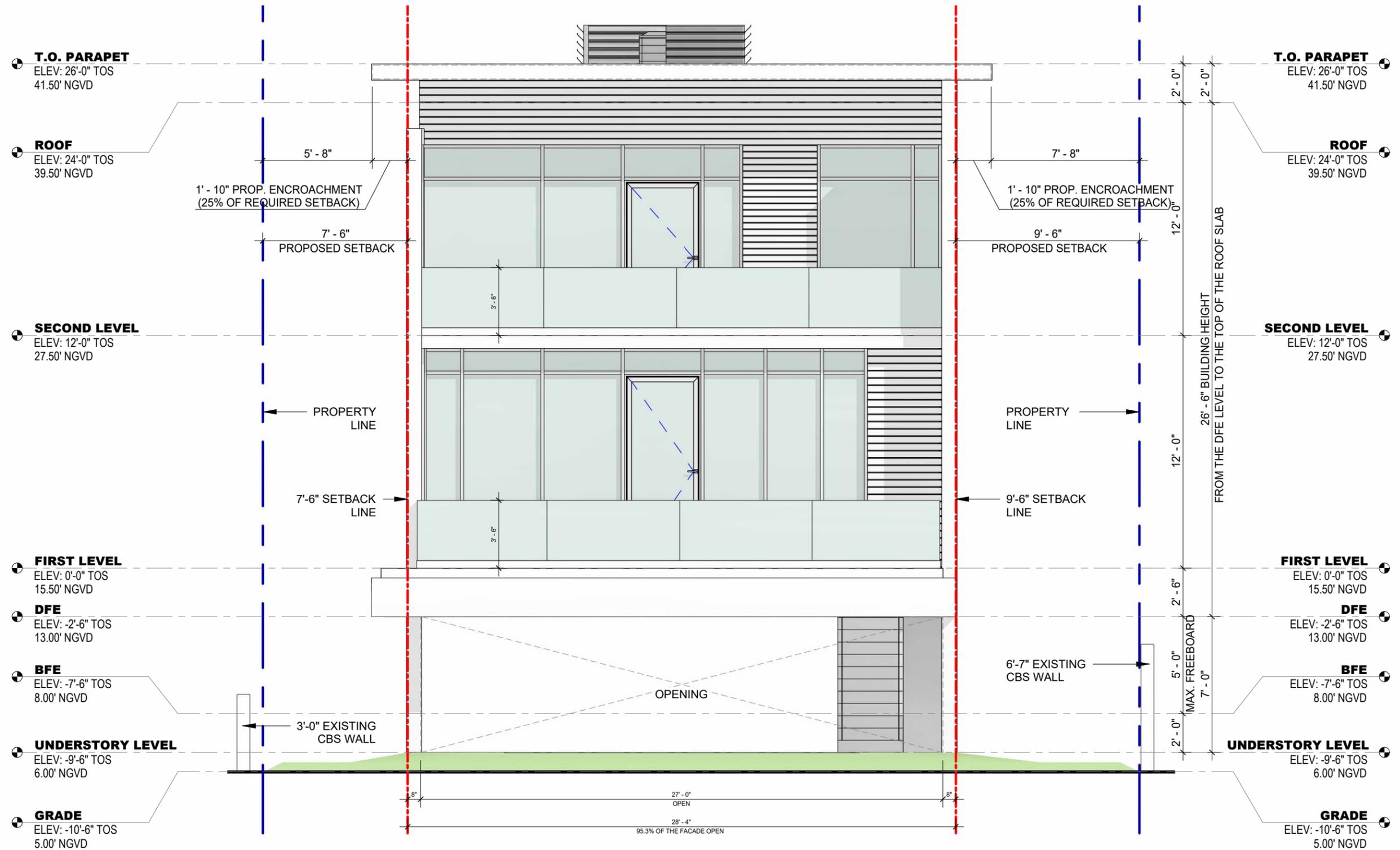
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A-3.0 PROPOSED FRONT ELEVATION (SOUTH)



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① PROPOSED REAR ELEVATION (NORTH)
3/16" = 1'-0"

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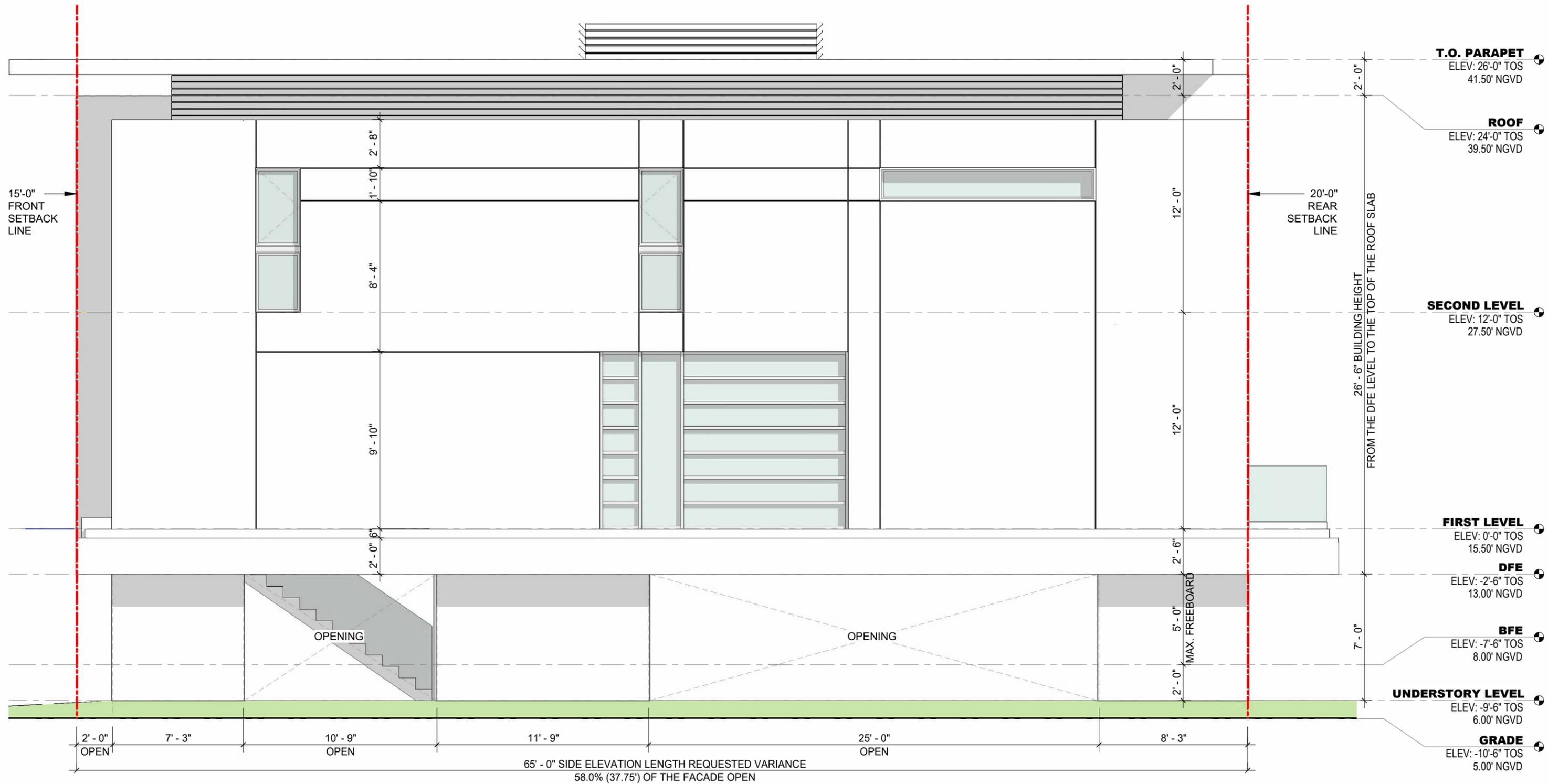
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A-3.1 PROPOSED REAR ELEVATION (NORTH)



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1 PROPOSED SIDE ELEVATION (EAST)
3/16" = 1'-0"

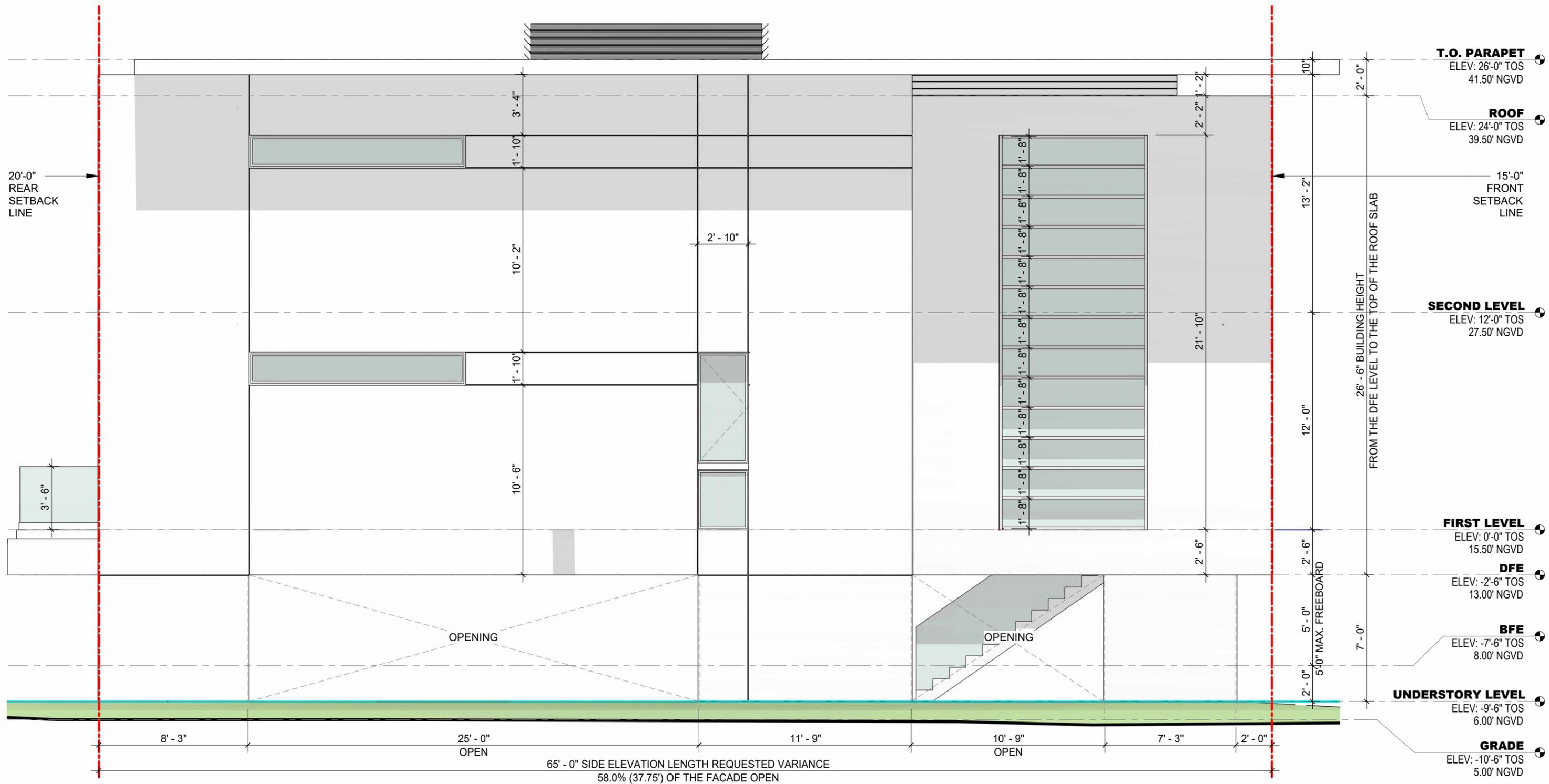
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A-3.2 PROPOSED SIDE ELEVATION (EAST)



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1 PROPOSED SIDE ELEVATION (WEST)
3/16" = 1'-0"

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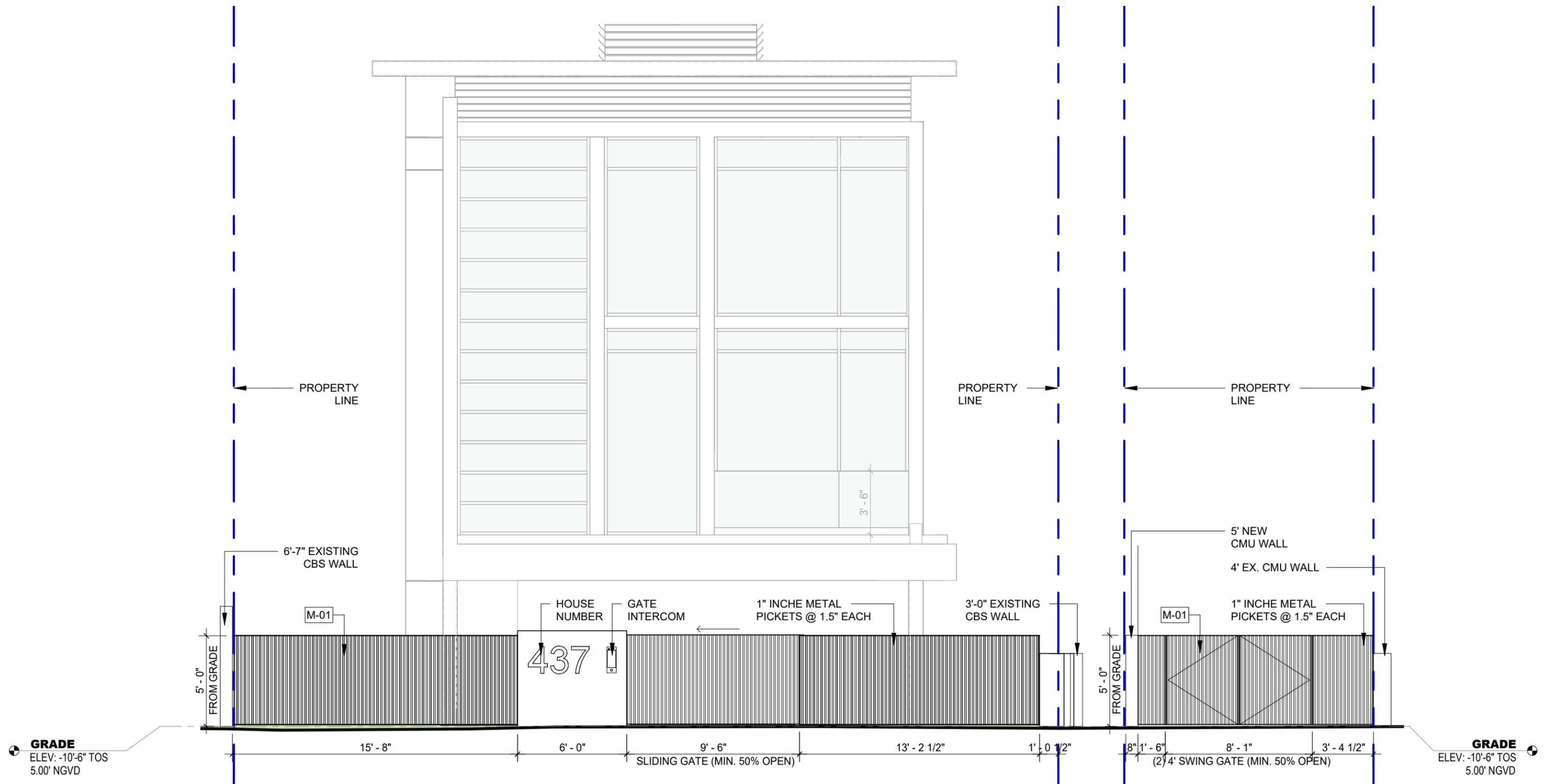
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A-3.3 PROPOSED SIDE ELEVATION (WEST)



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① FRONT AND SIDE FENCE ELEVATION
3/16" = 1'-0"

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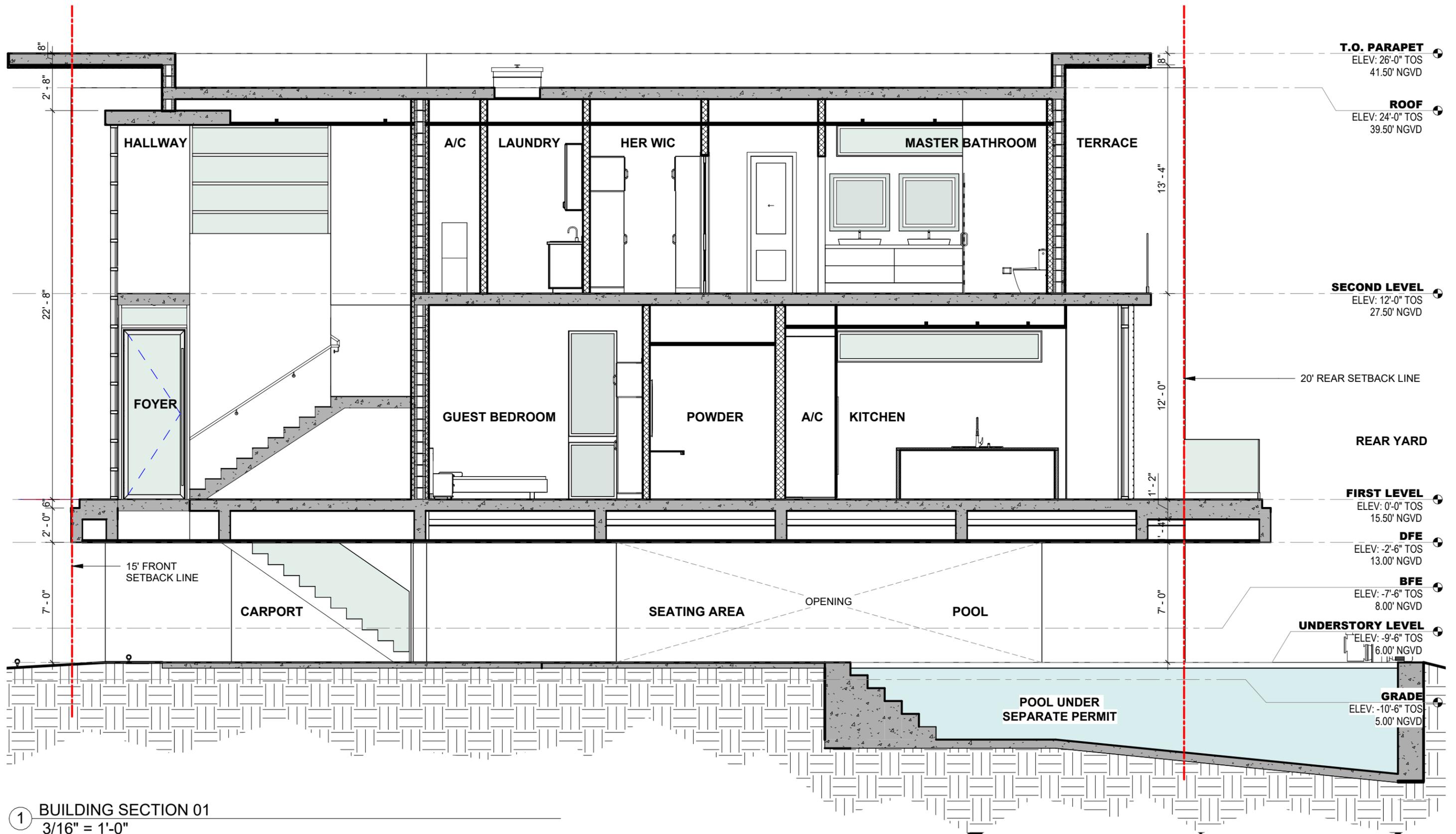
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A-4.5 FENCE ELEVATIONS



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1 BUILDING SECTION 01
3/16" = 1'-0"

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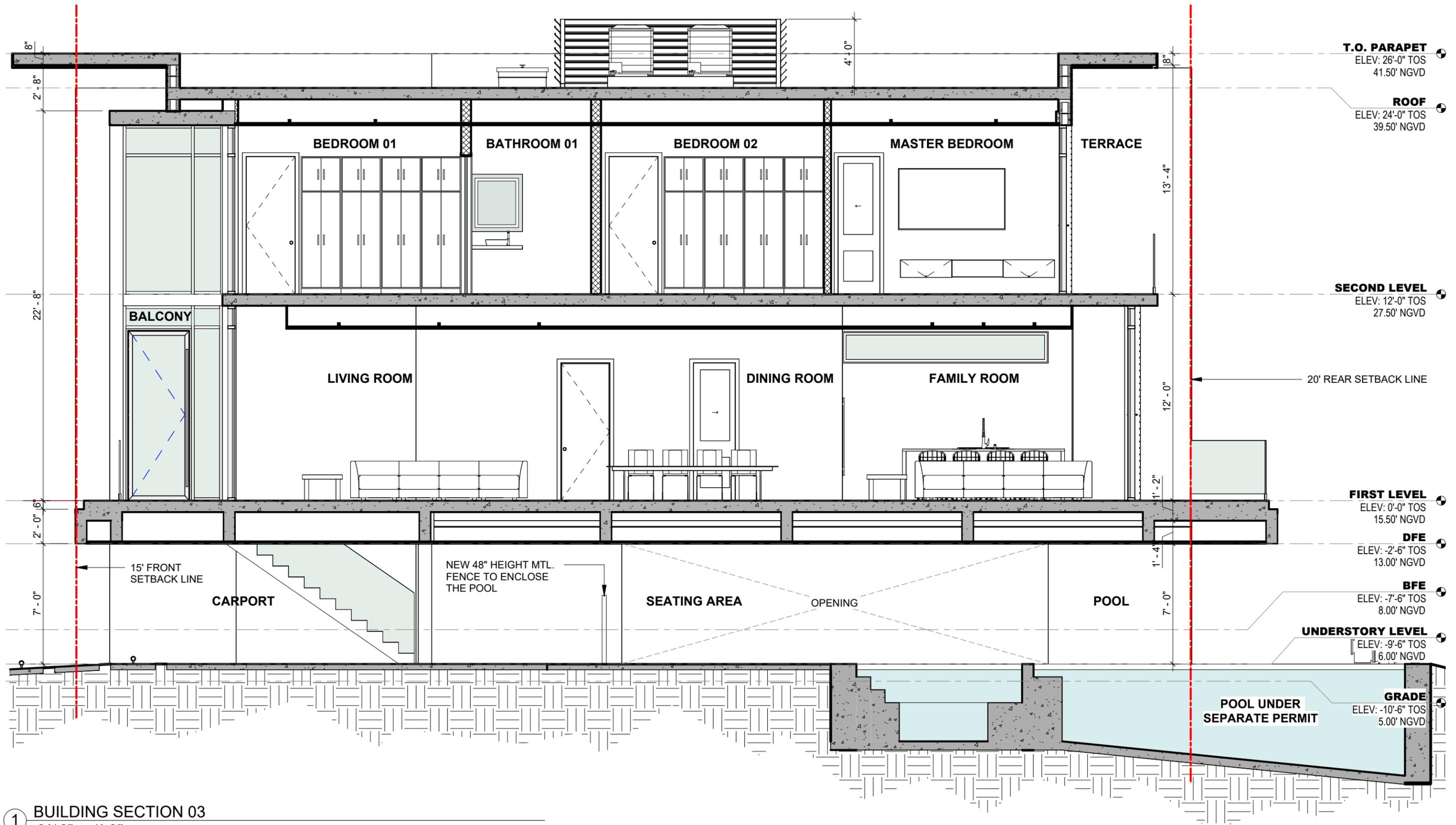
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A-4.0 BUILDING SECTION

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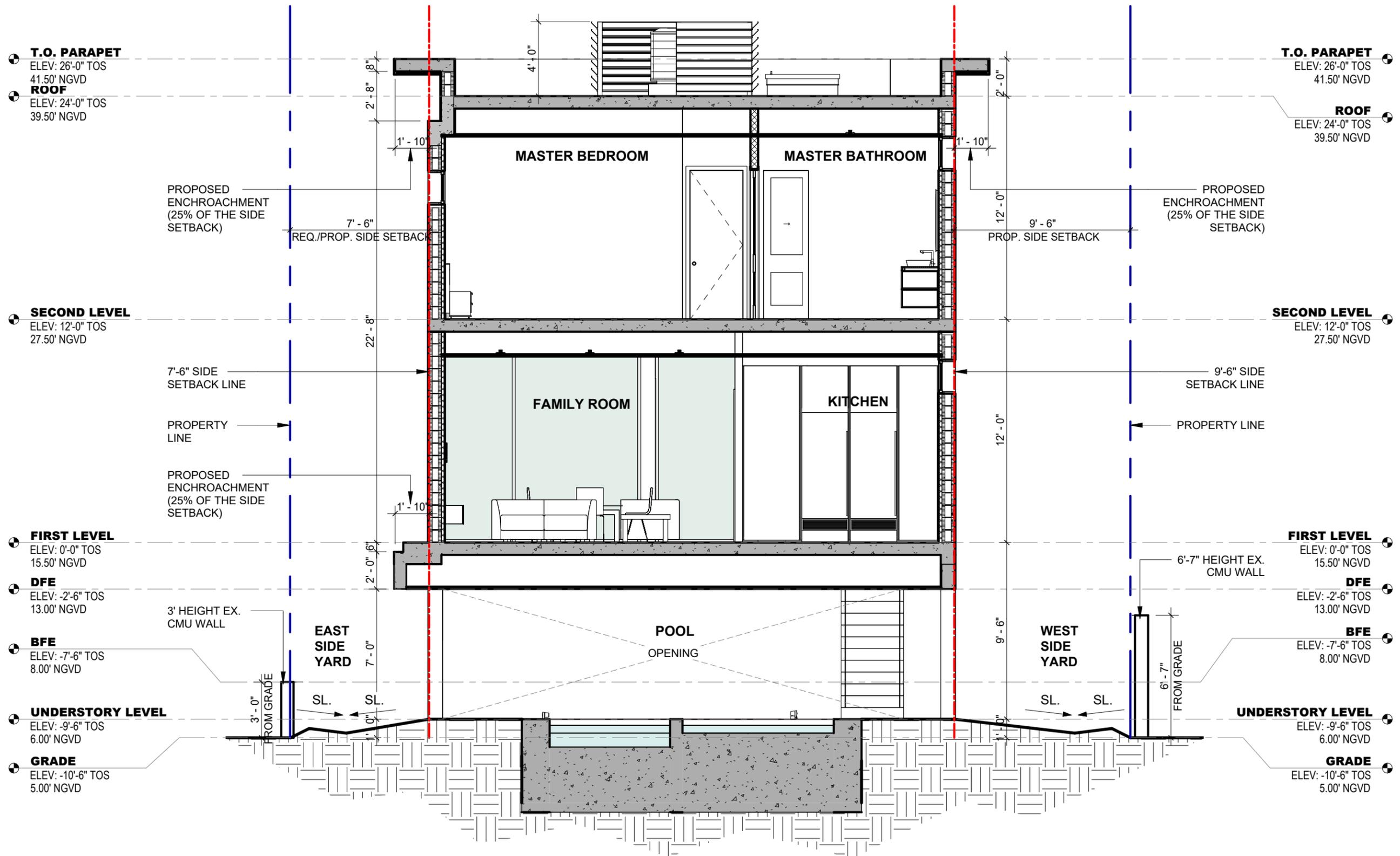
1 BUILDING SECTION 03
3/16" = 1'-0"

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A-4.2 BUILDING SECTION

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1 BUILDING SECTION 04
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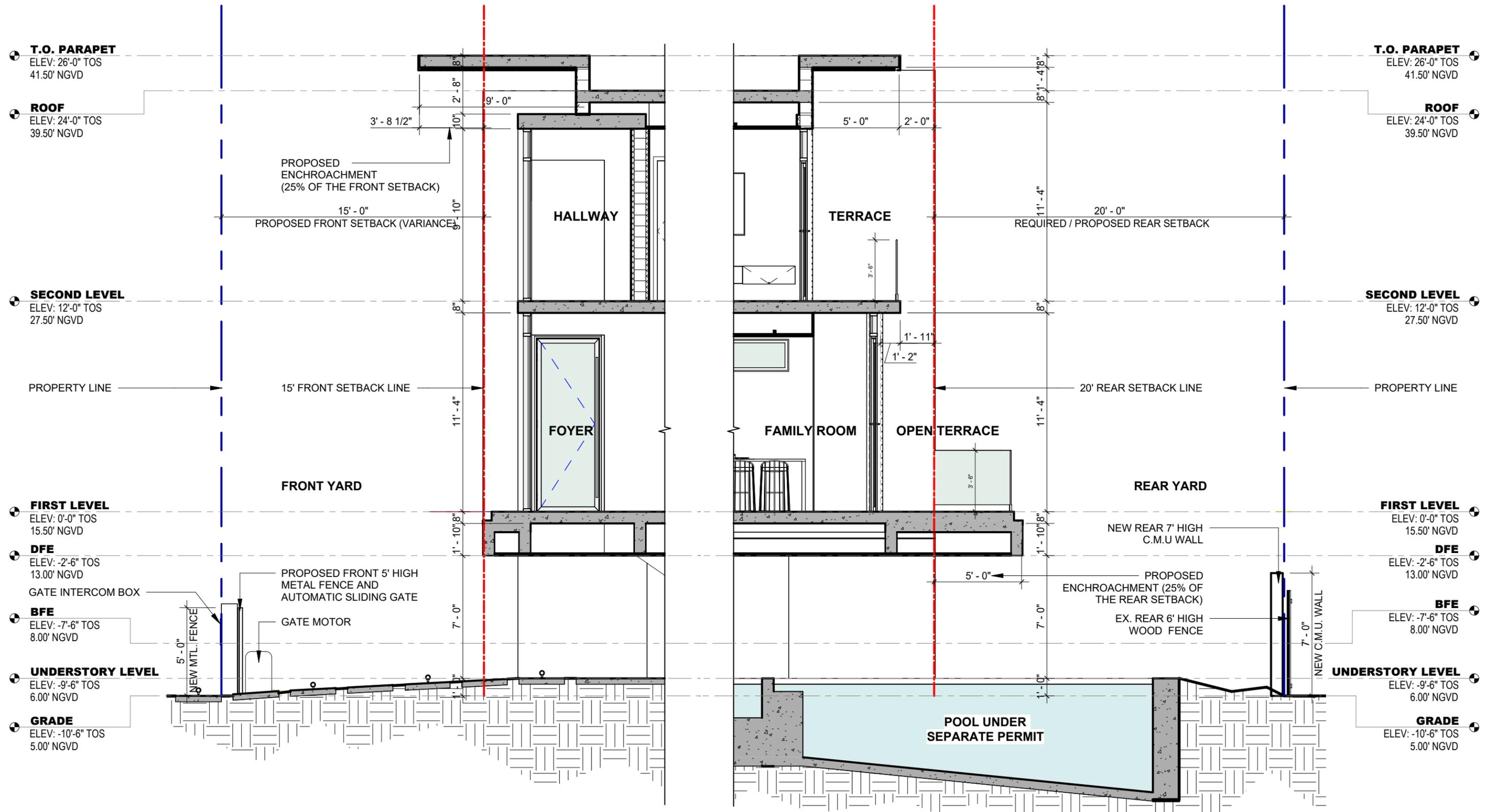
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A-4.3 BUILDING SECTION

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1 Section 1
3/16" = 1'-0"

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A-4.4 FRONT & REAR YARD SECTION

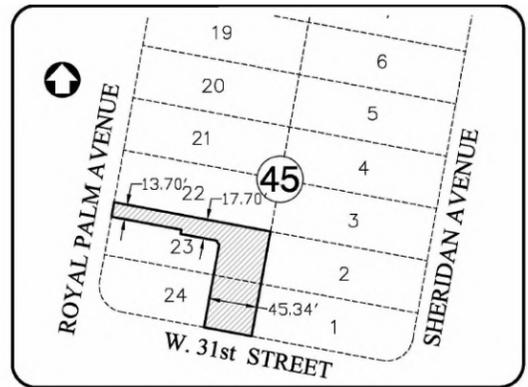
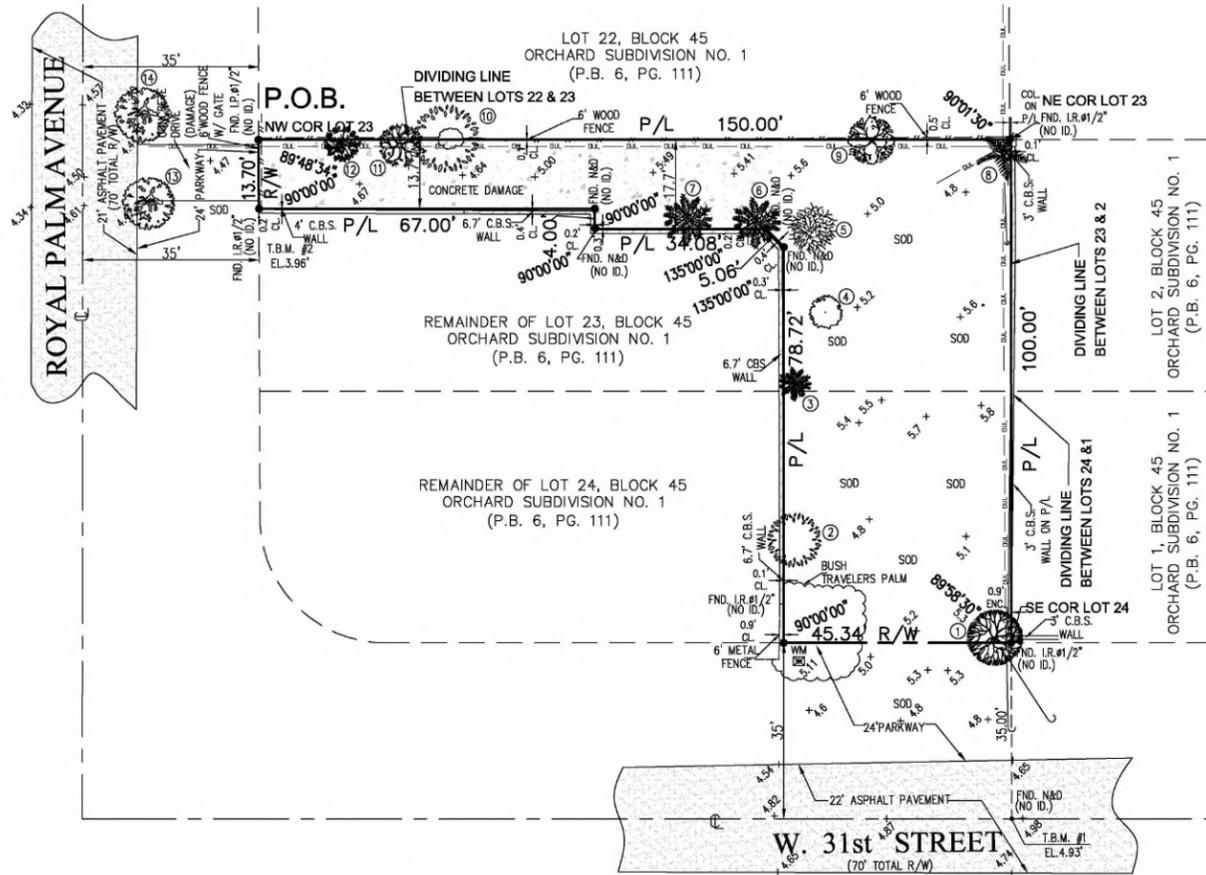
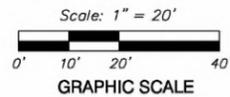
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MAP OF BOUNDARY SURVEY
 437 West 31st Street, City of Miami Beach
 Miami-Dade County, FL 33140
 Folio# 02-3227-001-0661

P.B. 6, PG. 111



LOCATION SKETCH
NOT TO SCALE

Abbreviations

- A Arc
- FND Found
- U.E. Utility Easement
- IP Iron Pipe
- IR Rebar
- N&D Nail & Disc
- COL Column
- PLat Plat Book
- Pg. Page
- ENC Encroachment
- R/W Right-of-Way
- C Center Line
- CL Clear
- M Monument Line
- TBM Temporary Benchmark
- W/P Water Pump
- PWKY Parkway
- M Measured
- R Record Plat
- C.S. Concrete slab

Legend

- Unknown Manhole
- Electric Box
- Light Pole
- Property Corner
- Fire Hydrant
- Catch basin
- Water Meter
- Water Valve
- Utility Pole
- Concrete Light Pole
- Drain
- Control Valve
- Gasoline Valve
- Back Flood Preventer
- Chain Link Fence
- Wood Fence
- Metal Fence
- Overhead Utility line

TREE TABLE

No.	TREE NAME	DIAM.	HEIGHT	SPREAD
1	DRAGON TREE	12"	10'	6'
2	MANILA TREE	5"	28'	8'
3	6 FISHTAIL TREE	7"	28'	12'
4	AVOCADO TREE	13"	27'	18'
5	UMBRELLA TREE	14"	27'	15'
6	6 FISHTAIL TREE	4"	10'	8'
7	6 FISHTAIL TREE	5"	14'	8'
8	PALM TREE	5"	16'	8'
9	BRAZILIAN PEPPER TREE	5"	17'	18'
10	MANILIA TREE	54"	40'	40'
11	CABBAGE PALM TREE	12"	20'	10'
12	FICUS TREE	72"	35'	30'
13	OLIVE TREE	5"	16'	8'
14	OLIVE TREE	5"	16'	10'

TREE LEGEND

- | | | | | | |
|----------|-----------------------|----------|---------------|----------|-------------------|
| SYMBOL | COMMON NAME | SYMBOL | COMMON NAME | SYMBOL | COMMON NAME |
| (Symbol) | Dragon Tree | (Symbol) | Avocado Tree | (Symbol) | Cabbage Palm Tree |
| (Symbol) | Manila Tree | (Symbol) | Umbrella Tree | (Symbol) | Ficus Tree |
| (Symbol) | Fishtail Tree | (Symbol) | Palm Tree | (Symbol) | Olive Tree |
| (Symbol) | Brazilian Pepper Tree | | | | |

* Tree types are determined to the best of our ability and should be confirmed by botanist or a trained specialist.

Encroachments and other points of interest:
 -The southwest corner of a 4 foot height concrete column is encroaching into the southeast corner of the Subject Property.
 -None easement described by Plat Book 6, at Page 111.

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EX-1.0 SURVEY

SURVEYOR'S REPORT:

1. **MAP OF BOUNDARY SURVEY**, Fieldwork date of data acquisition: August 28th, 2024.
 2. **LEGAL DESCRIPTION:**
 Parcel "A" in Lots 23 and 24, in Block 45, of ORCHARD SUBDIVISION NO. 1, according to the plat thereof as recorded in Plat Book 6, at Page 111, of the Public Records of Miami-Dade County, Florida, more particularly described as follows:
 Beginning at the NW corner of Lot 23, in Block 45, as shown on a Plat entitled "ORCHARD SUBDIVISION NO. 1" as recorded in Plat Book 6 at Page 111 of the Public Records of Dade County, Florida, run Easterly along the dividing line between Lots 22 and 23, in Block 45, as shown on aforesaid recorded Plat a distance of 150 feet to the NE corner of said Lot 23; thence run Southerly along the dividing line between Lots 23 and 2 and Lots 24 and 1 of said Block 45, a distance of 100.0 feet to the SE corner of said Lot 24, said point being on the N. line of W. 31st Street; thence run Westerly along the Southerly line of said Lot 24 or the Northerly line of said West 31st Street a distance of 45.34 feet to a point; thence run Northerly along a line deflection 90 to the right, said line being parallel to and 45.34 feet distant Westerly from the Easterly line of said Lots 23 and 24, a distance of 78.72 feet to a point; thence run NW along a line deflecting 45 to the left a distance of 5.06 feet to a point; thence run Westerly along a line deflecting 45 to the left along a line parallel to and 17.70 feet distant Southerly from the North line of said Lot 23 in Block 45, a distance of 34.08 feet to a point; thence run North along a line deflection 90 to the right a distance of 4.0 feet to a point; thence run Westerly along a line deflecting 90 to the left along a line parallel to and 13.70 feet distant Southerly from the North line of said Lot 23 a distance of 67.0 feet to a point on the E. line of Royal Palm Avenue; thence run Northerly along the Easterly line of Royal Palm Avenue or the Westerly line of said Lot 23 a distance of 13.70 feet to the point of beginning of the parcel of land herein described.
 3. **AREA:**
 Containing 6,125 Square Feet or 0.14 Acres more or less by calculations.
 4. **ACCURACY:**
 The accuracy obtained by measurement and calculations of a closed geometric figure was found to exceed this requirement. Linear 1 foot in 7,500 feet.
 5. **DATA OF SOURCES:**
 HORIZONTAL CONTROL:
 -The Legal Description was furnished by client.
 -North Arrow as per Plat Book 6, Page 111, of the Public Records of Miami-Dade County, Florida.
 VERTICAL CONTROL:
 Elevations are referred to N.G.V.D. 1929.
 Benchmark used: Miami-Dade County Benchmark No. D-183, Elevation=3.17' (N.G.V.D. 1929) located @ W 29 Street and Prairie. Nail and Aluminum washer set on concrete flow of catch basin.
 6. **FLOOD INFORMATION:**
 By scale determination this property is located in Flood Zone AE, Base Flood Elevation 8 feet as per Federal Emergency Management Agency (FEMA), NFIP Community Name: City of Miami Beach and Community Number 120651 Map/Panel Number 12086C0317, Suffix L, FIRM Panel Effective/Revised Date 09-11-2009.
 7. **LIMITATIONS:**
 No research was made for other instruments than the existing in the plat and provided by client. No determination was made as to how the site can be served with utilities. Fences and walls ownership by visual means only, legal ownership not determined. No underground utilities and/or structures(foundations) was located within or abutting the Subject property.
SURVEYOR'S CERTIFICATION:
 I certify: This Map of Boundary Survey meets all applicable requirements of the Florida Minimum Technical Standards as contained Chapter 5J-17. Unless indicated to the contrary, the measured distance and directions shown on the Map of Boundary Survey are the same as the deed distances and directions. Not valid without the signature and the original raised seal of Florida Licensed Surveyor and Mapper. Additions or deletions to Map of Boundary Survey by other than signing party or parties is prohibited without written consent of the signing party or parties.

	FormTech	Seal:	Job # 18-01087
	Land Surveying, Inc.		Proj # 24-081421
	State of Florida LR # 7980 12965 S.W. 42nd Street, Suite 5, Miami, Florida, 33186 Ph: (786)429-3034 (786)443-0285 (786)443-0678 www.formtechsurveyors.com email:formtechsurveyors@gmail.com	Date:	08-28-2024
		Eugenia L. Formoso, P.S.M.	State of Florida LS # 6660

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• EXISTING CONDITION PROJECT SITE
REFERENCE CONTEXT MAP



1. EXISTING CONDITION PROJECT SITE
ROYAL PALM AVE SOUTH-WEST VIEW



2. EXISTING CONDITION PROJECT SITE
ROYAL PALM AVE NORTH-WEST VIEW

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EX-3.0 EXISTING CONDITION



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Requests

- 1) Understory Approval;**
- 2) Two-Story Side Elevation Waiver Approval;**
- 3) Second Floor Setback Waiver Approval;**
- 4) Front Setback Variance.**

Hardship Criteria

The Project satisfies the Hardship Criteria under Section 2.8.3.a of the Code:

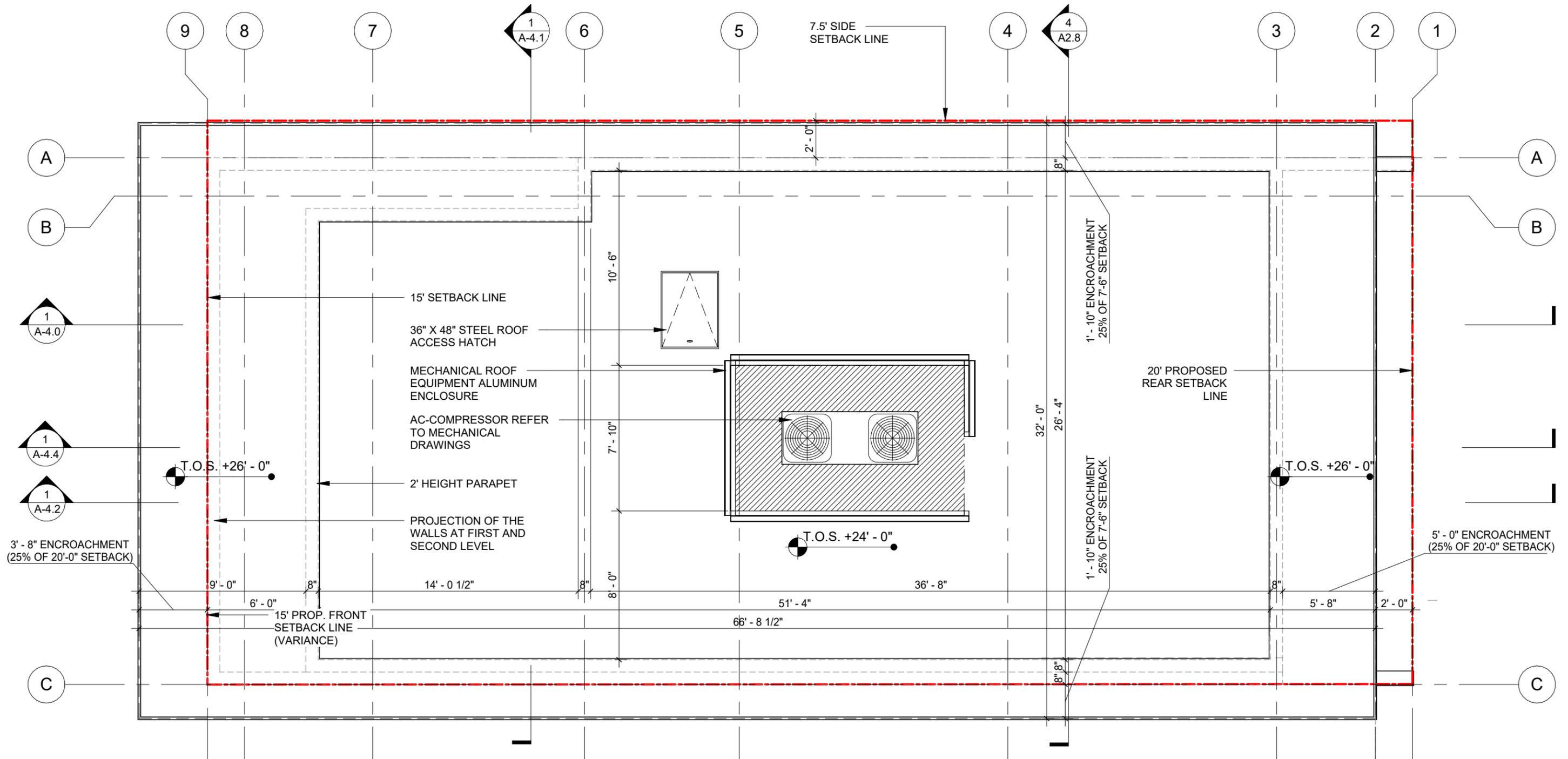
1. **Special conditions and circumstances exist;**
2. **Which do not result from the action of the application;**
3. **No special privilege;**
4. **Applicant is deprived of rights creating unnecessary and undue hardship;**
5. **Requested variances are minimum that will make possible reasonable use of the Property;**
6. **Variance requests are in harmony with intent and purpose of the Code and will not be injurious to area involved or public welfare;**
7. **Request is consistent with comprehensive plan and does not reduce levels of service.**

Thank You

200 S. Biscayne Boulevard
Suite 300, Miami, FL 33131

www.brzoninglaw.com

305.374.5300 office
305.377.6222 fax
Info@brzoninglaw.com



1 PROPOSED ROOF PLAN
3/16" = 1'-0"



WALL LEGEND	
	EXTERIOR CMU WALL
	MTL. FRAME PARTITIONS. SEE FLOOR PLAN & WALL TYPES FOR THICKNESS
	CONCRETE COLUMN OR CONCRETE WALL REFER TO STRUCTURAL

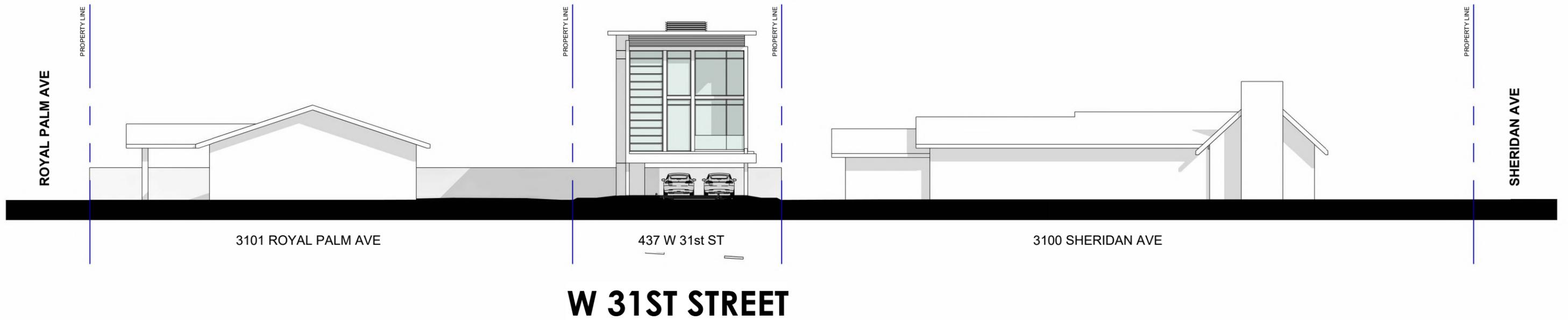
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A-2.3 PROPOSED ROOF PLAN

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① CONTEXT STREET ELEVATION
3/64" = 1'-0"

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A-6.10 CONTEXTUAL STREET ELEVATION

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