

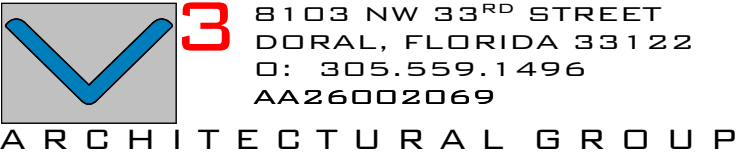
ALPARSLAN RESIDENCE

437 WEST 31ST STREET, MIAMI BEACH, FL 33140

DESIGN REVIEW BOARD, CITY OF MIAMI BEACH
DRB24-1045
FINAL SUBMITTAL: 09.08.24

PROJECT GENERAL DATA & CODE SUMMARY

NAME OF THE PROJECT:	ALPARSLAN RESIDENCE
LOCATION:	437 WEST 31ST STREET, MIAMI BEACH, FL 33140
PROPOSED USE:	RESIDENCE
SCOPE OF WORK:	CONSTRUCTION OF A NEW RESIDENCE IN A VACANT LOT (NON-HABITABLE GROUND FLOOR & 2 FLOORS UNDER A/C)
CODE ENFORCEMENT JURISDICTION:	FLORIDA FIRE PREVENTION CODE (FFPC) 8TH. EDITION (2023) FLORIDA BUILDING CODE (FBC), BUILDING, 8TH. EDITION (2023) NFPA 1, 2021 EDITION, "FIRE CODE". NFPA 101, 2021 EDITION, "LIFE SAFETY CODE". NFPA 10, 2018 EDITION, "STANDARD FOR PORTABLE FIRE EXTINGUISHER". NFPA 13, 2019 EDITION, "STANDARD FOR THE INSTALLATION OF SPRINKLER SYSTEM". NFPA 70, 2020 EDITION, "NATIONAL ELECTRICAL CODE". NFPA 72, 2019 EDITION, "NATIONAL FIRE ALARM CODE". CITY OF MIAMI BEACH CODE OF ORDINANCES
ZONING:	RS-4-RESIDENTIAL SINGLE FAMILY
FOLIO NUMBER:	02-3227-001-0661
LEGAL DESCRIPTION:	PARCEL "A" IN LOTS 23 & 24, IN BLOCK 45, OF ORCHARD SUBDIVISION NO. 1, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 6, AT PAGE 111, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA. (REFER TO SURVEY FOR A MORE DETAILED DESCRIPTION)
OWNER:	SU SEVINE ALPARSLAN

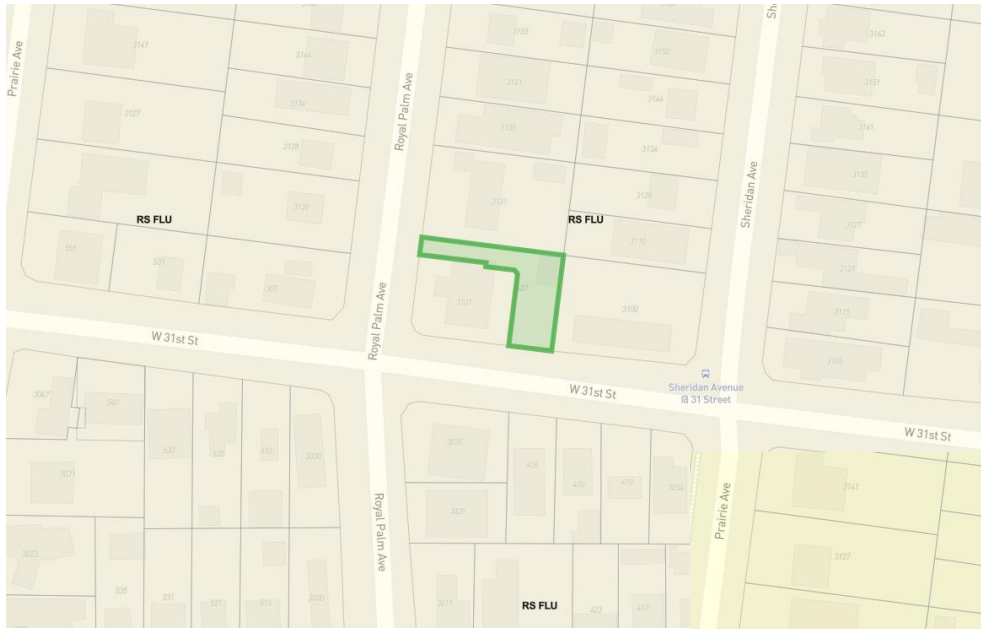


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Property Location



Land Use and Zoning



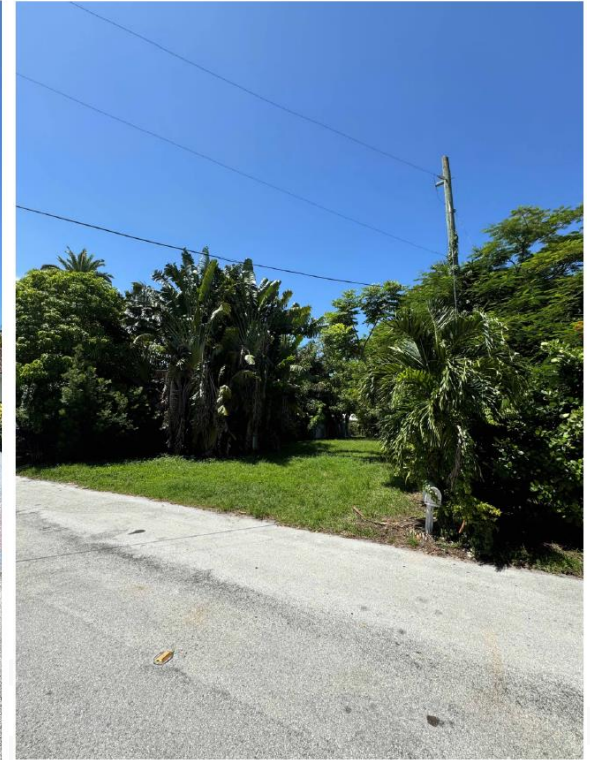
Context Photos



1. **EXISTING CONDITION PROJECT SITE
ROYAL PALM AVE SOUTH-WEST VIEW**

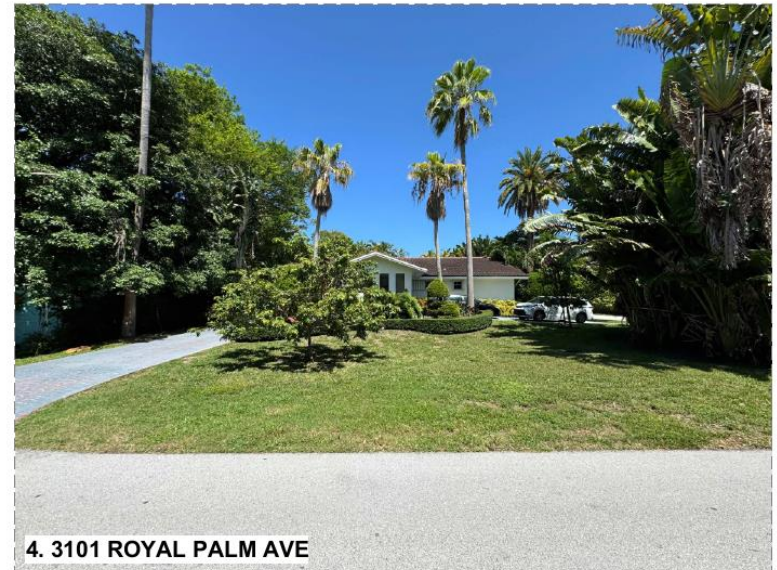
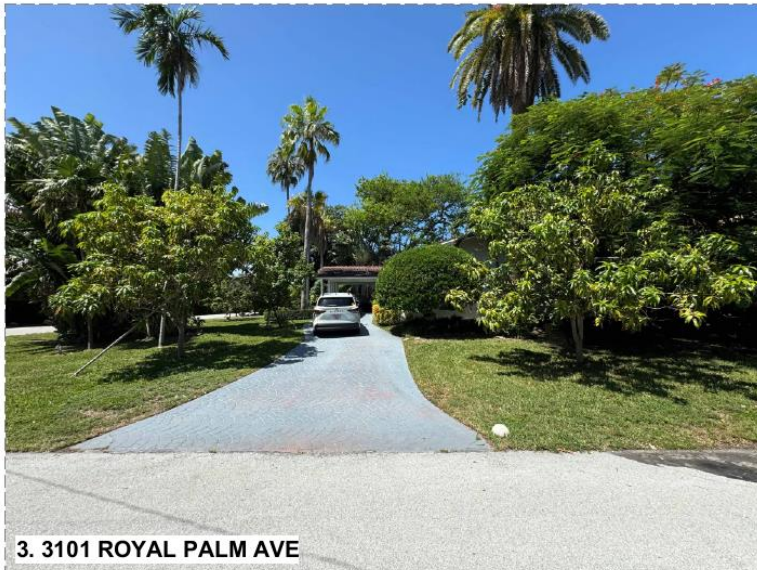


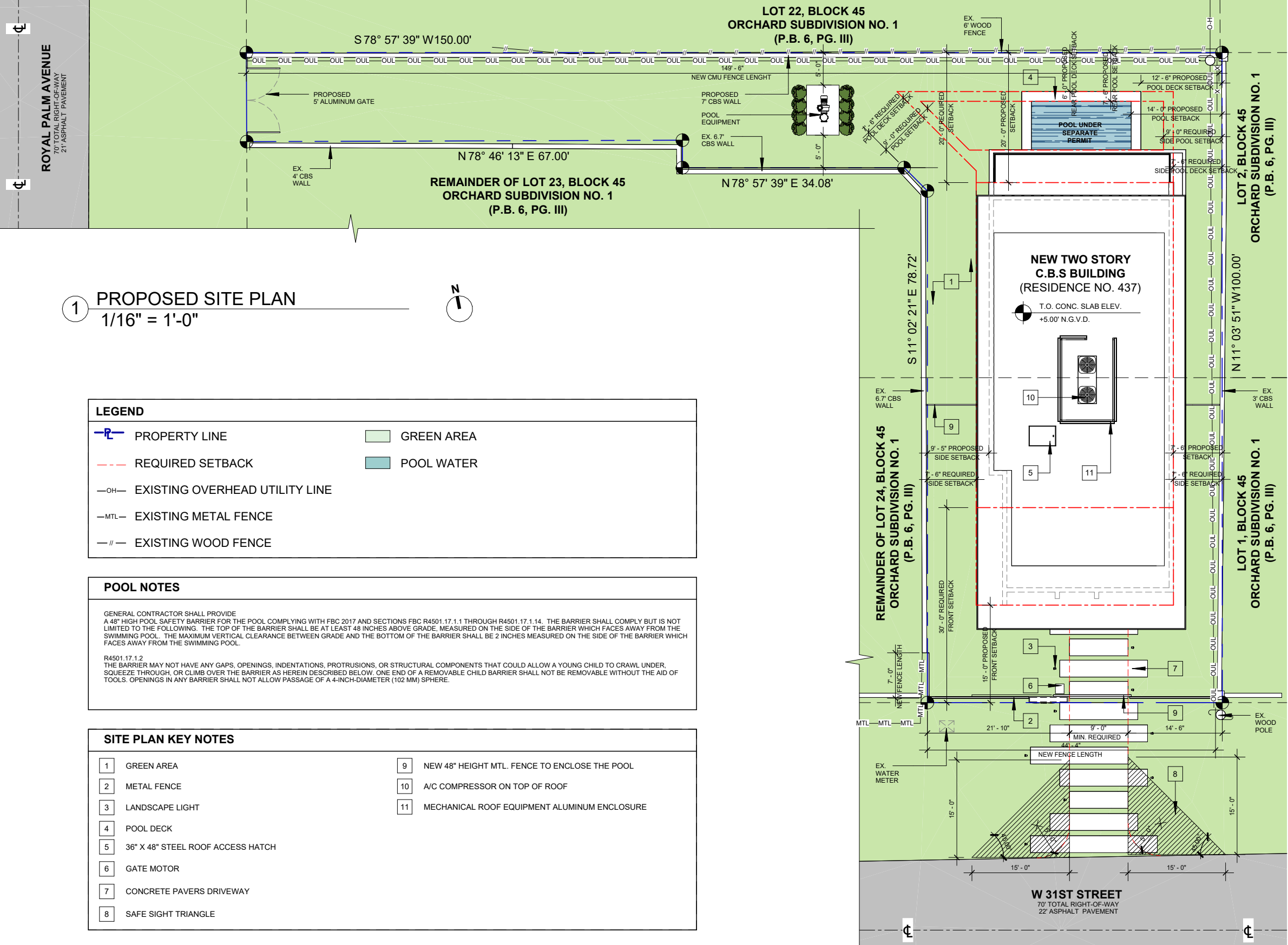
2. **EXISTING CONDITION PROJECT SITE
ROYAL PALM AVE NORTH-WEST VIEW**



3. **EXISTING CONDITION PROJECT SITE
W 31TH ST SOUTH-EAST VIEW**

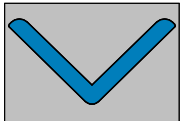
Surrounding Properties





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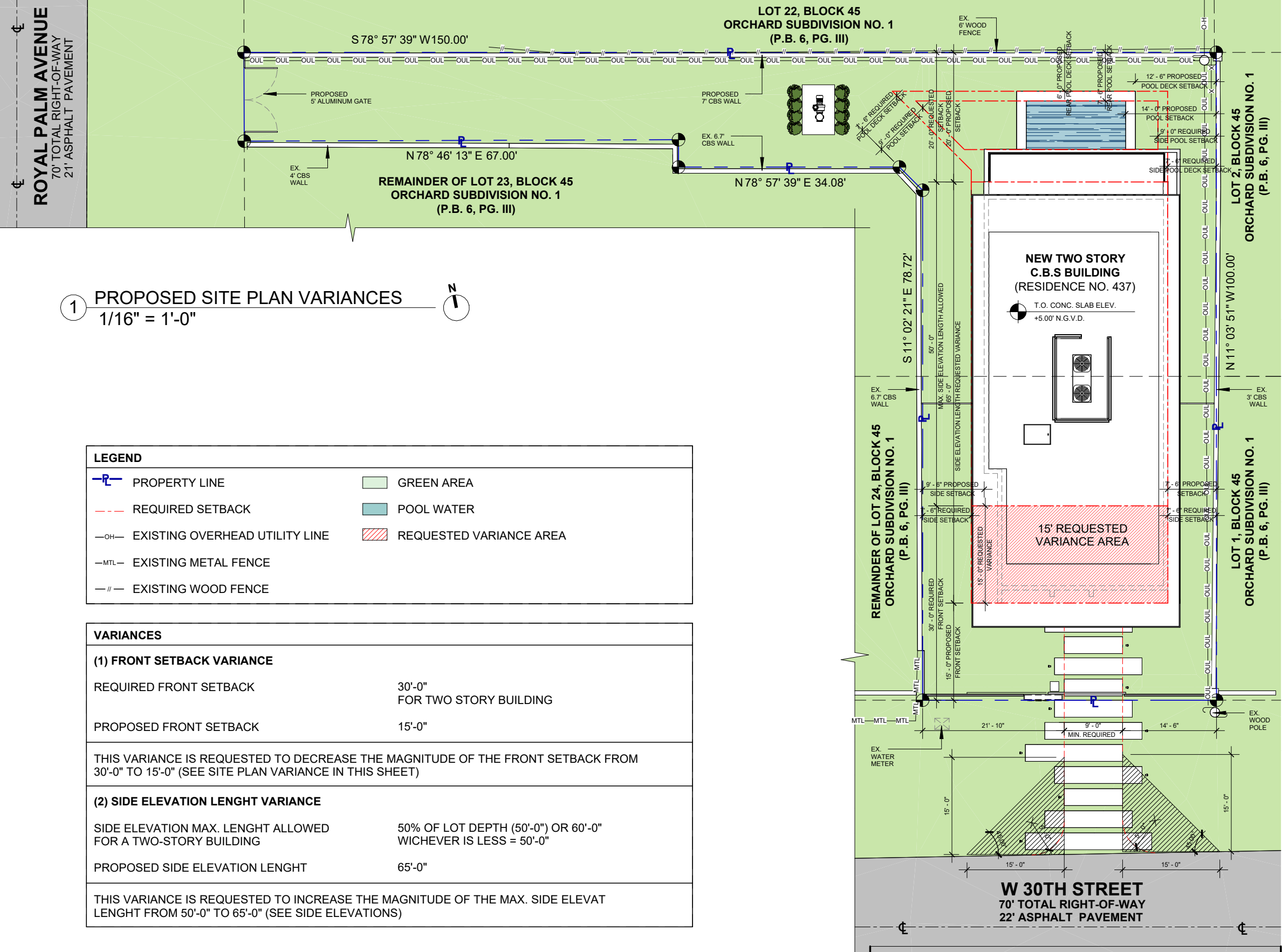
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A-1.0 PROPOSED SITE PLAN



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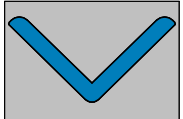
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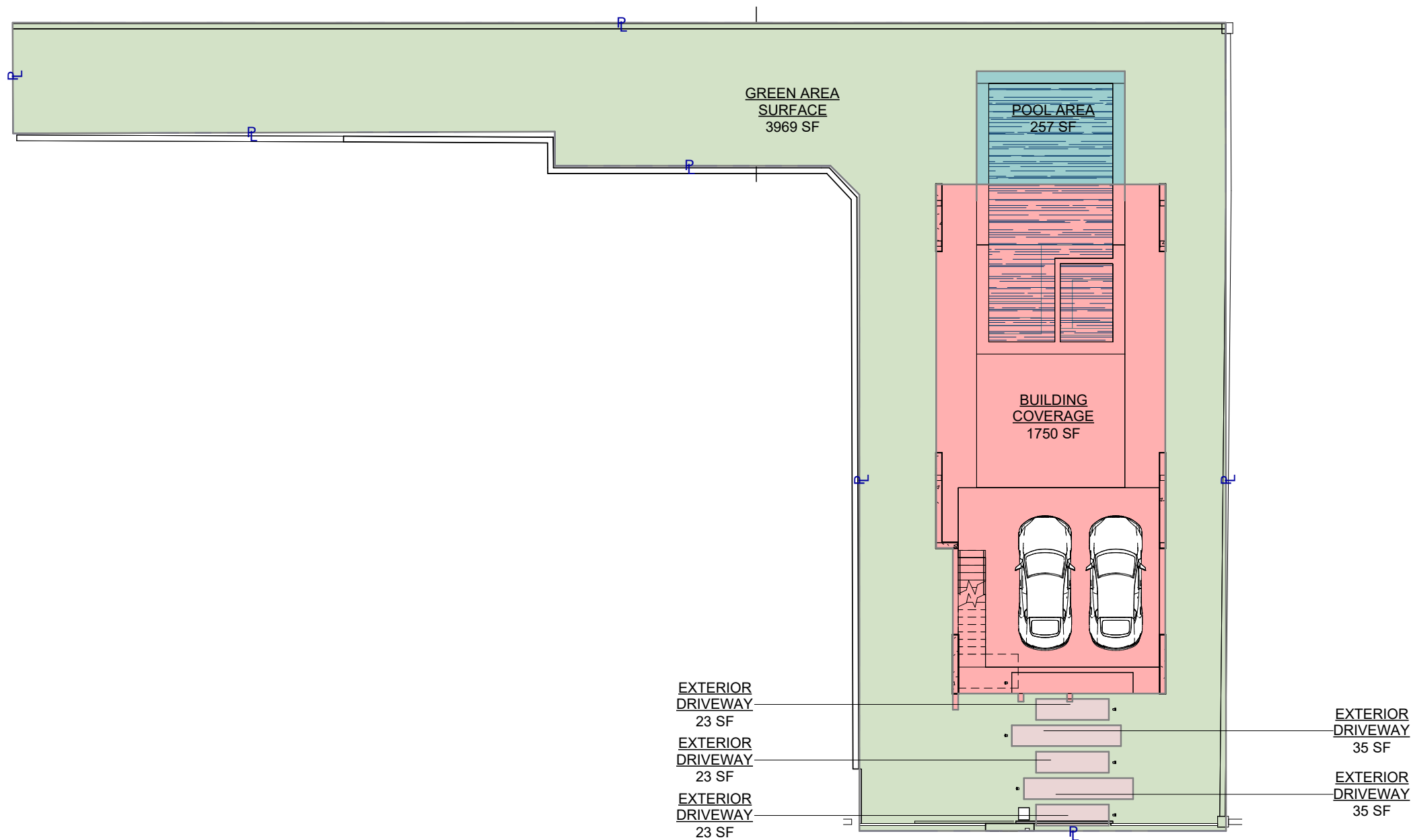
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A-1.1 PROPOSED SITE PLAN VARIANCES



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LEGEND	
	PROPERTY LINE
	REQUIRED SETBACK
	BUILDING COVERAGE MAIN HOUSE (SEE TABLE BELOW)
	GREEN AREA SURFACE
	EXTERIOR DRIVEWAY AREA
	POOL AREA

LOT COVERAGE DATA	
EXISTING LOT SIZE:	6,125.0 SF.
MAXIMUM BUILDING LOT COVERAGE ALLOWED (30% OF THE LOT SIZE)	1,837.5 SF (30.0 % OF LOT SIZE)
BUILDING LOT COVERAGE PROPOSED	1,750.0 SF (28.5 % OF LOT SIZE)

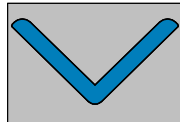
① LOT COVERAGE DIAGRAM
1/16" = 1'-0"

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A-1.4 LOT COVERAGE DIAGRAM

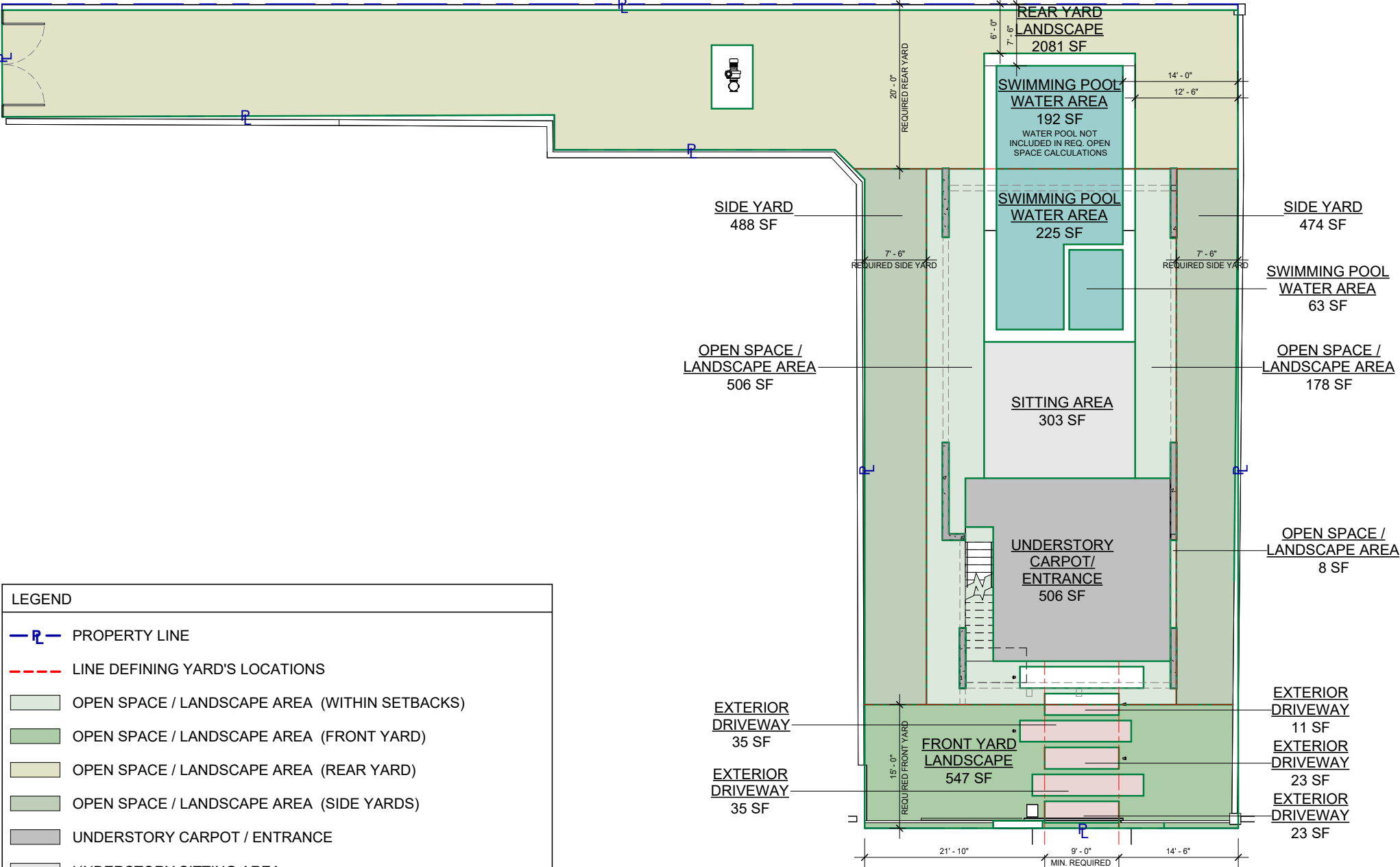


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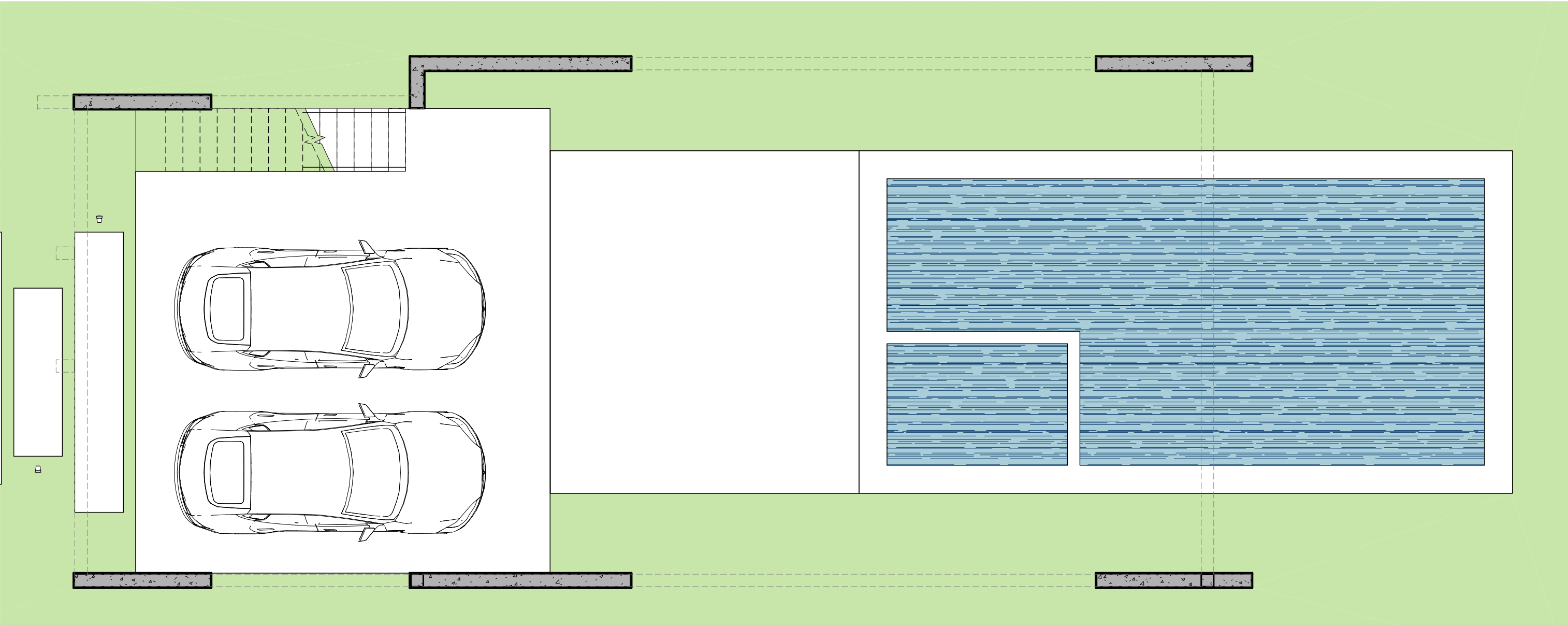
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1 OPEN SPACE DIAGRAM
1/16" = 1'-0"

OPEN SPACE CALCULATIONS	
FRONT YARD CALCULATION DATA:	
FRONT SETBACK REQUIRED:	30'-0" FOR FIRST FLOOR ON TWO STORY BUILDING
FRONT SETBACK PROVIDED:	15'-0" VARIANCE
FRONT YARD AREA REQUIRED: MINIMUM 70% OF REQUIRED FRONT YARD SHALL BE SODDED / LANSCAPED	680.0 SF X 70.0% 476.0 SF
YARD PERVIOUS PROVIDED: WITHIN THE REQUIRED FRONT YARD	547.0 SF (80.4% OF REQUIRED FRONT YARD)
REAR YARD CALCULATION DATA:	
REAR SETBACK REQUIRED:	(15% OF 100'= 15.00') NOT APPLICABLE (20' MIN IS THE APPLICABLE)
REAR SETBACK PROVIDED:	20'-0"
REAR YARD AREA REQUIRED: MINIMUM 70% OF REQUIRED REAR YARD SHALL BE SODDED / LANSCAPED	2,489.24 SF X 70.0% 1,742.47 SF
YARD SODDED / LANSCAPED PROVIDED: WITHIN THE REQUIRED REAR YARD	2,081.00 SF (83.6% OF REQUIRED REAR YARD)
SIDE YARD CALCULATION DATA	
SIDE YARD SETBACK REQUIRED:	7'-6" (2 X 7'-6") = 15'-0" 15'-0" GREATER THAN 11'-4" (25% OF THE LOT WIDTH) (25% X 45'-4" = 11'-4")
SIDE SETBACK PROVIDED:	7'-6"
SIDE YARD AREA REQUIRED: MINIMUM 70% OF REQUIRED SIDE YARD SHALL BE SODDED / LANSCAPED	975.32 SF X 70.0% 682.72 SF
YARD SODDED / LANSCAPED PROVIDED: WITHIN THE REQUIRED SIDE YARD	962.00 SF (98.6 % OF REQUIRED REAR YARD)



1 UNDERSTORY LEVEL (DRB)
3/16" = 1'-0"

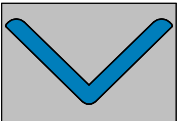
LEGEND	
	PROPERTY LINE
	LINE DEFINING YARD'S LOCATIONS
	UNIT SIZE HATCH LEGEND (SEE NEXT DATA SCHEDULE)

UNIT SIZE DATA:			
EXISTING LOT SIZE:		6,125 SF (0.14 ACRES MORE OR LESS)	
MAX. UNIT SIZE (REQUIRED)		MAX. ALLOWED	PROVIDED
• LOT AREA 6,125 S.F. X 50%:		3,062.5 SF	3,061 SF 49.98%
• UNIT SIZE AT FIRST LEVEL			1,587 SF
• UNIT SIZE AT SECOND LEVEL			1,474 SF

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A-1.6 UNIT SIZE DIAGRAM UNDERSTORY

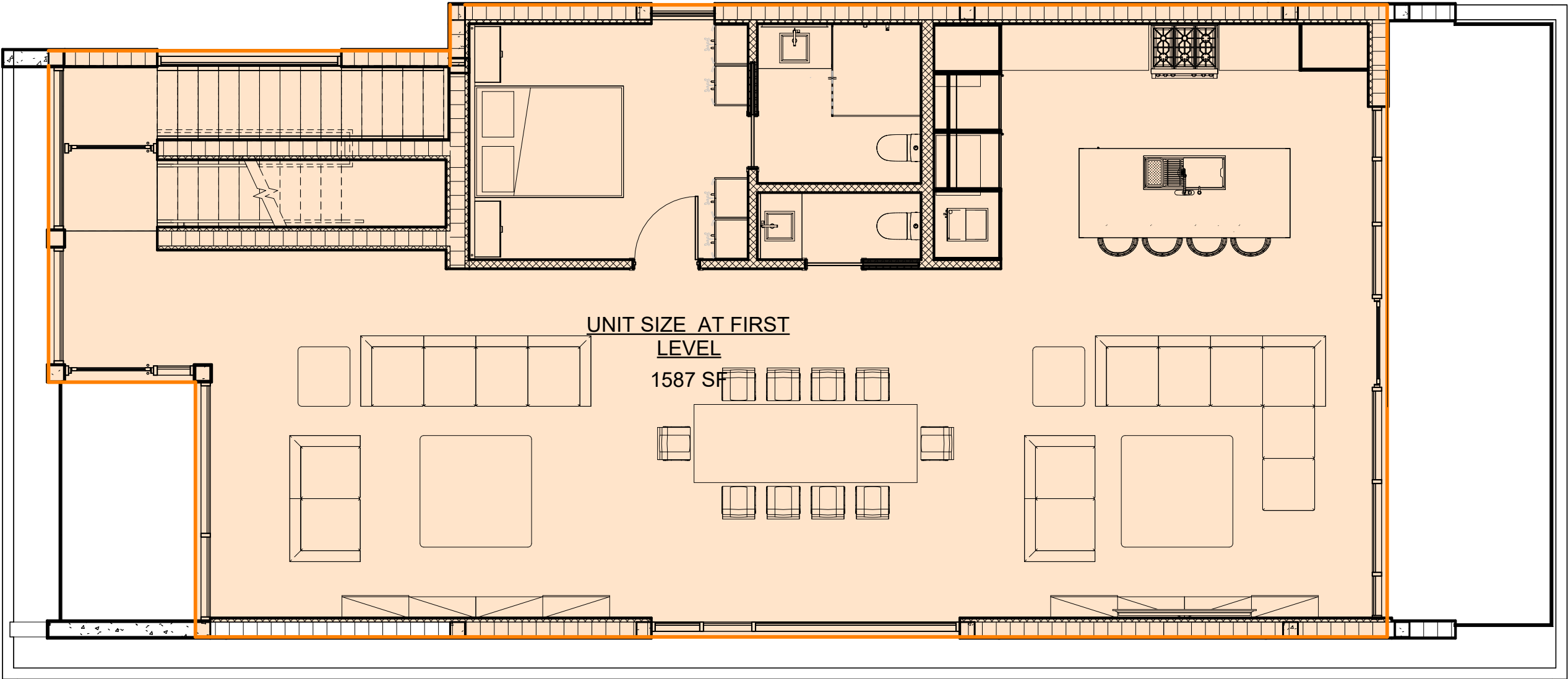


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1 FIRST LEVEL (DRB)
3/16" = 1'-0"



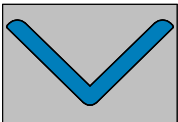
LEGEND	
	PROPERTY LINE
	LINE DEFINING YARD'S LOCATIONS
	UNIT SIZE HATCH LEGEND (SEE NEXT DATA SCHEDULE)

UNIT SIZE DATA:			
EXISTING LOT SIZE:		6,125 SF (0.14 ACRES MORE OR LESS)	
MAX. UNIT SIZE (REQUIRED)		MAX. ALLOWED	PROVIDED
• LOT AREA 6,125 S.F. X 50%:		3,062.5 SF	3,061 SF 49.98%
• UNIT SIZE AT FIRST LEVEL			1,587 SF
• UNIT SIZE AT SECOND LEVEL			1,474 SF

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A-1.7 UNIT SIZE DIAGRAM FIRST LEVEL

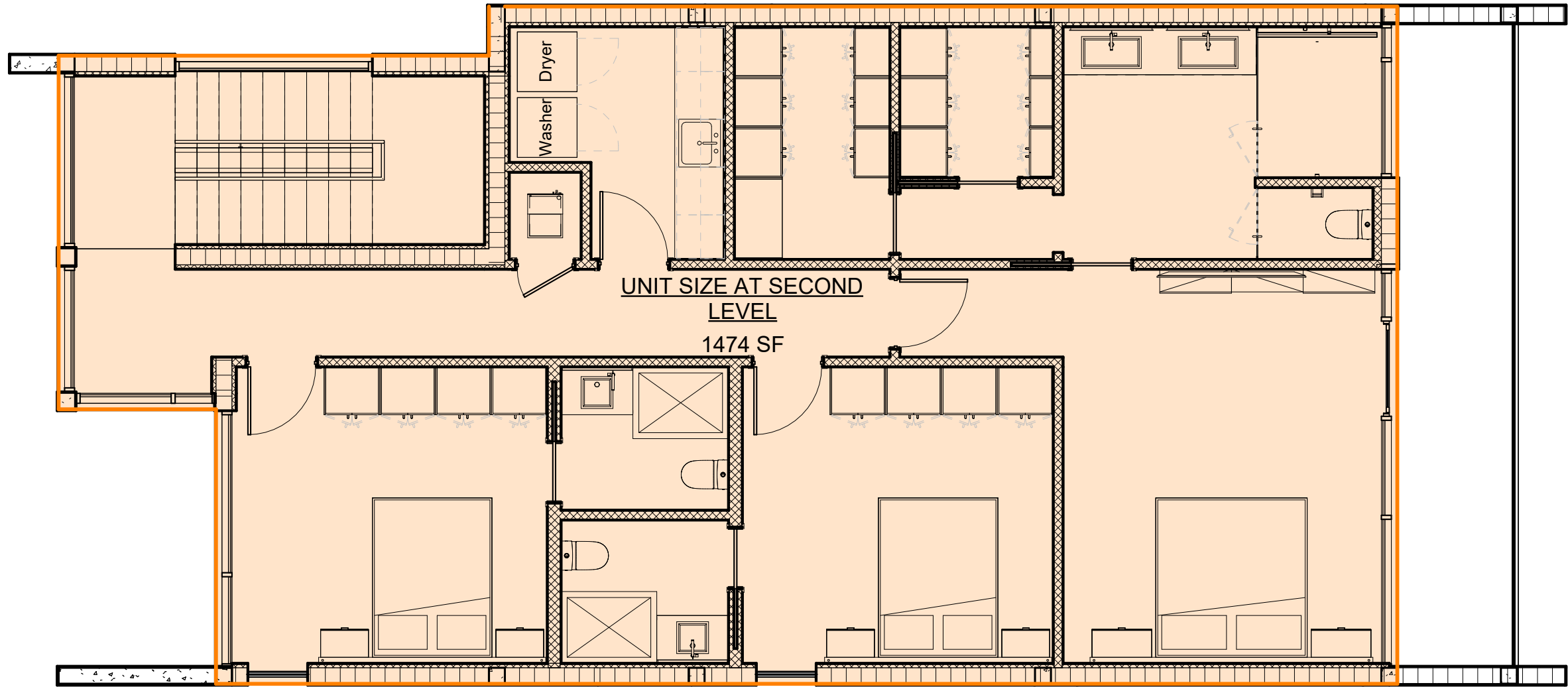


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1 SECOND LEVEL (DRB)
3/16" = 1'-0"

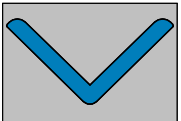
LEGEND	
	PROPERTY LINE
	LINE DEFINING YARD'S LOCATIONS
	UNIT SIZE HATCH LEGEND (SEE NEXT DATA SCHEDULE)

UNIT SIZE DATA:			
EXISTING LOT SIZE:		6,125 SF (0.14 ACRES MORE OR LESS)	
MAX. UNIT SIZE (REQUIRED)		MAX. ALLOWED	PROVIDED
• LOT AREA 6,125 S.F. X 50%:		3,062.5 SF	3,061 SF 49.98%
• UNIT SIZE AT FIRST LEVEL			1,587 SF
• UNIT SIZE AT SECOND LEVEL			1,474 SF

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A-1.8 UNIT SIZE SECOND LEVEL



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1. PROPOSED SOUTH FACADE. SOUTH-WEST NIGHT VIEW



2. PROPOSED SOUTH FACADE. SOUTH-EAST NIGHT VIEW

ALPARSLAN RESIDENCE

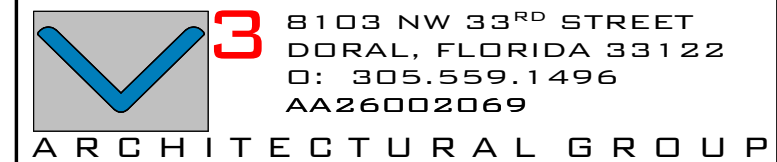
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A-6.0 RENDERINGS

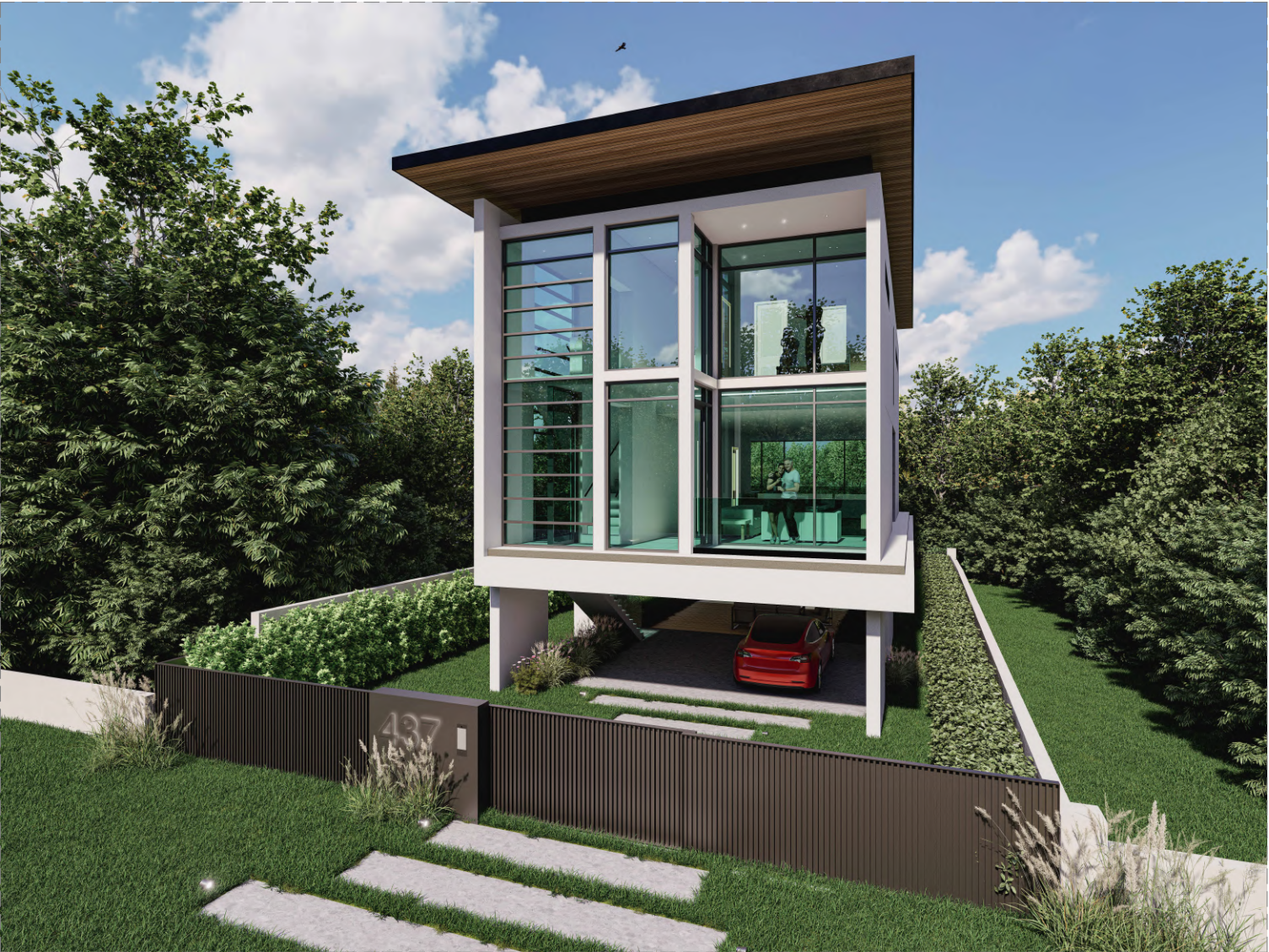


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3. PROPOSED SOUTH FACADE. SOUTH-WEST DAYTIME VIEW



4. PROPOSED SOUTH FACADE. SOUTH-EAST DAYTIME VIEW



5. PROPOSED WEST FACADE. NORTH-WEST DAYTIME VIEW



6. PROPOSED EAST FACADE. SOUTH-EAST DAYTIME VIEW



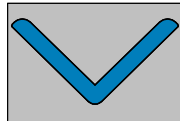
7. PROPOSED NORTH FACADE. NORTH DAYTIME VIEW



8. PROPOSED NORTH FACADE. NORTH-WEST DAYTIME VIEW

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A-6.3 RENDERINGS

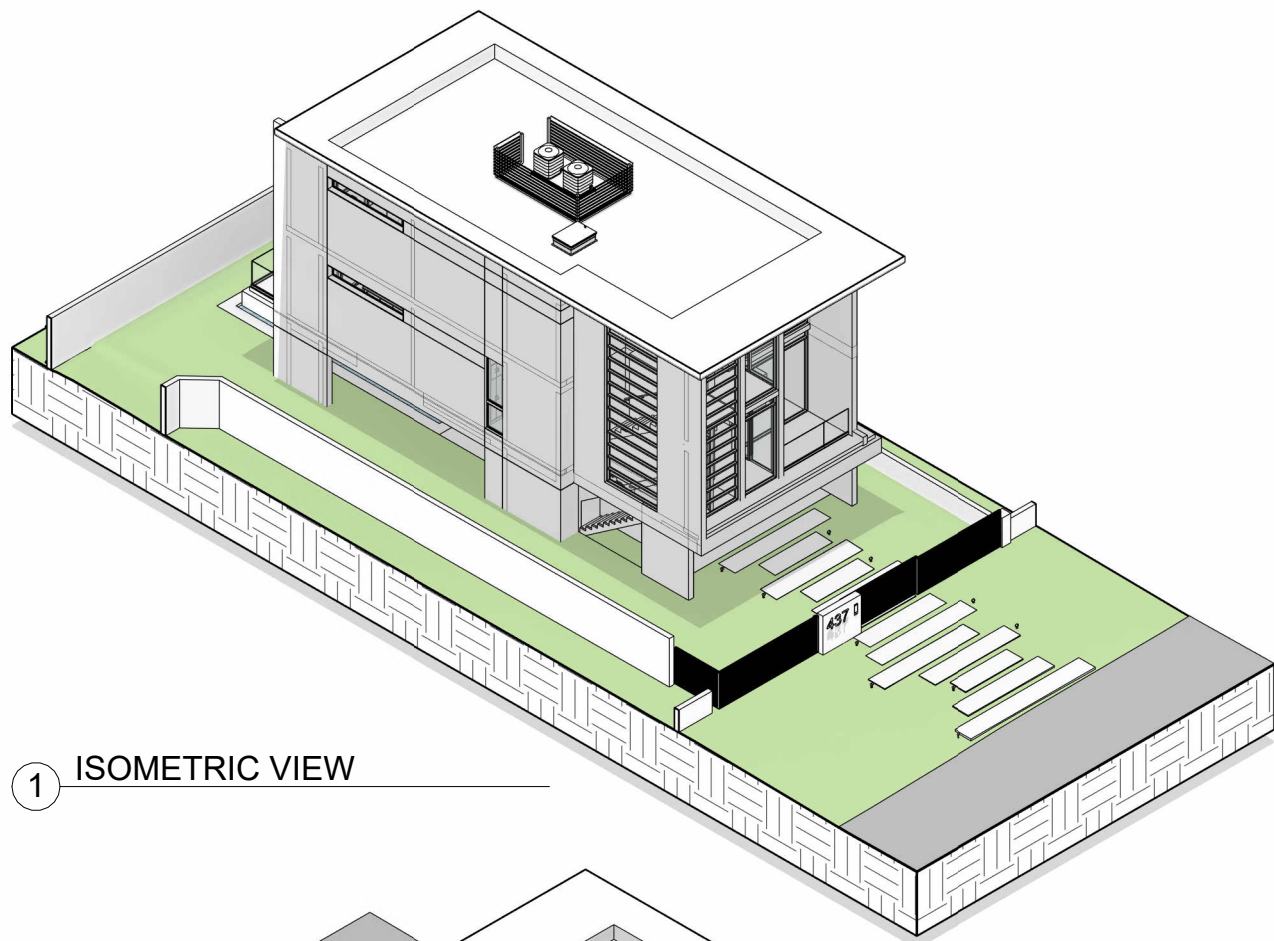


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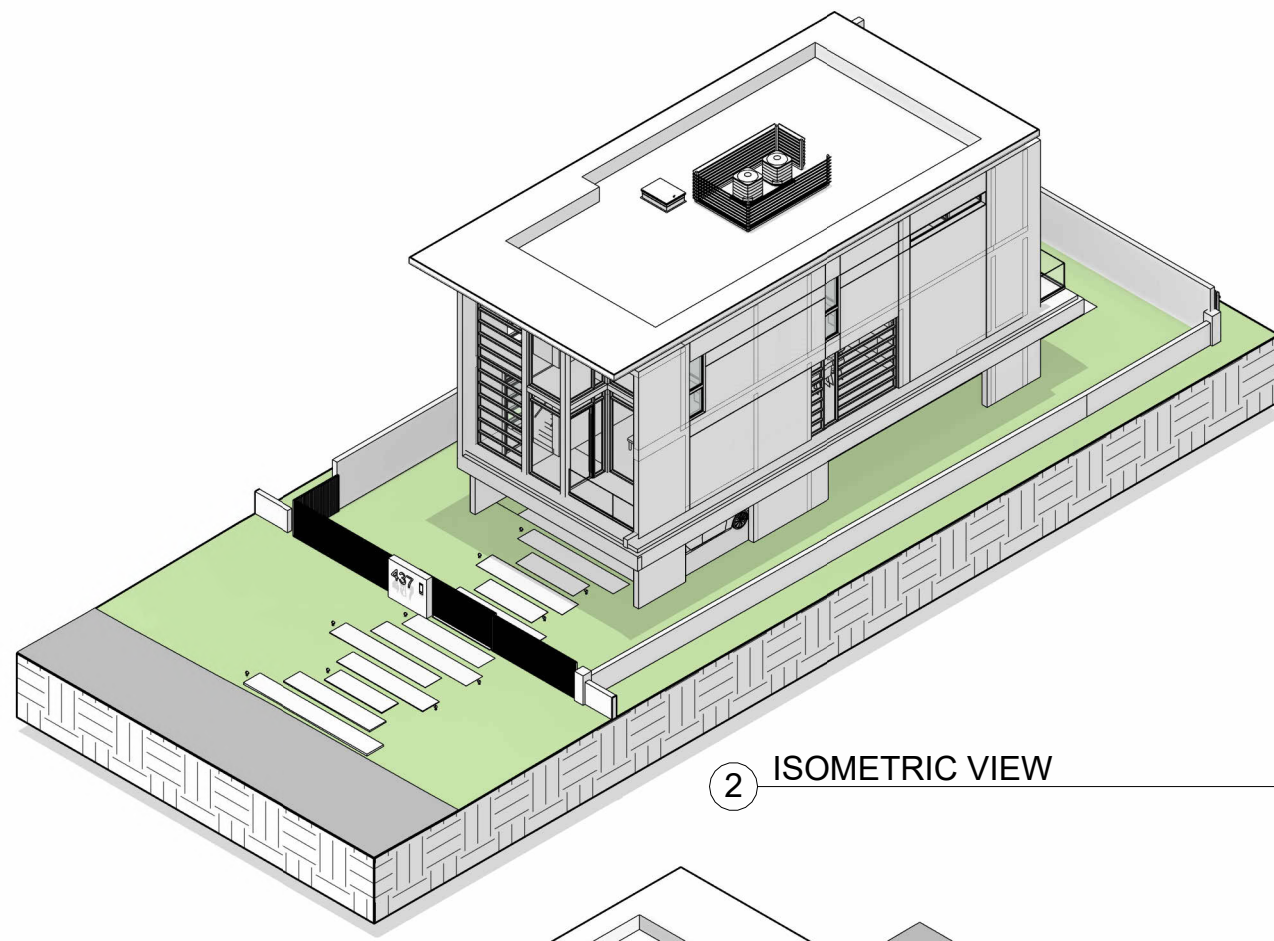
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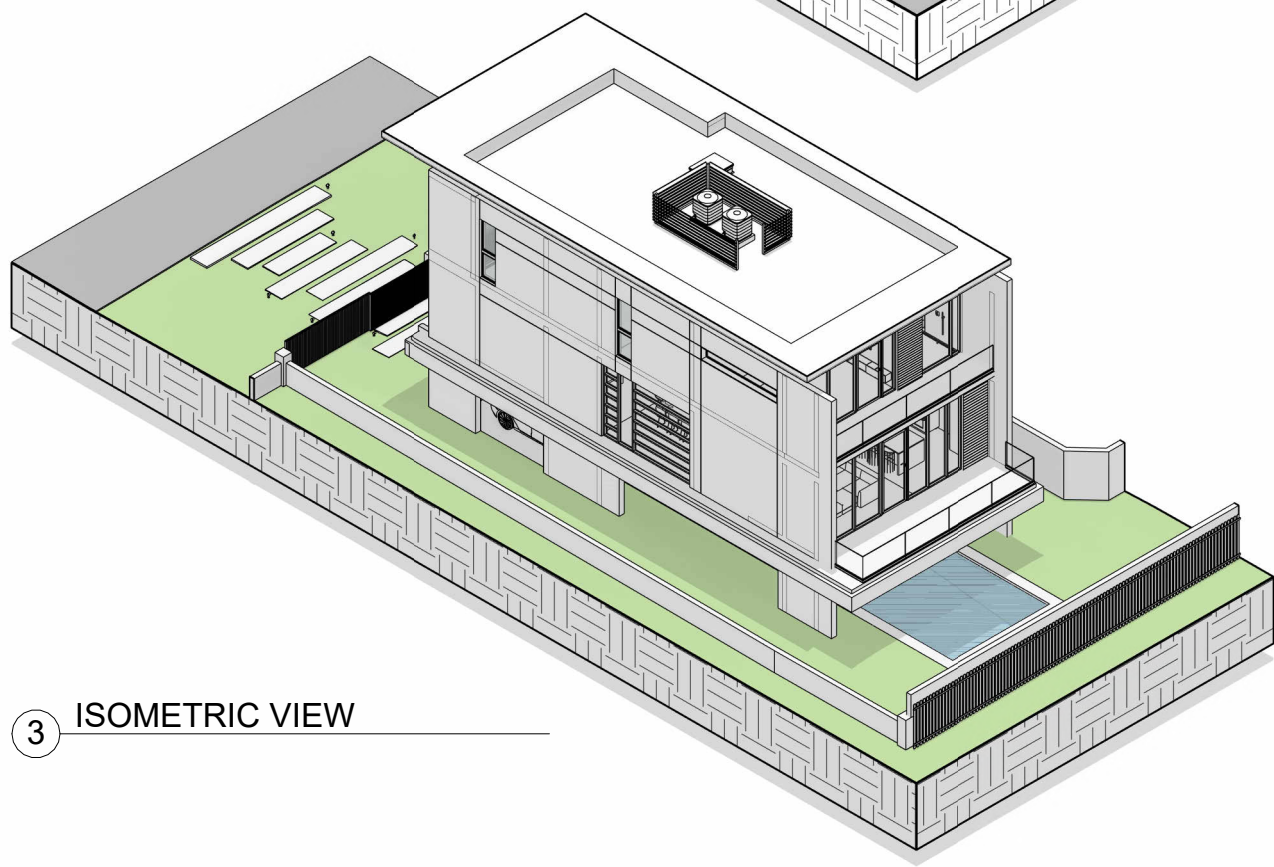
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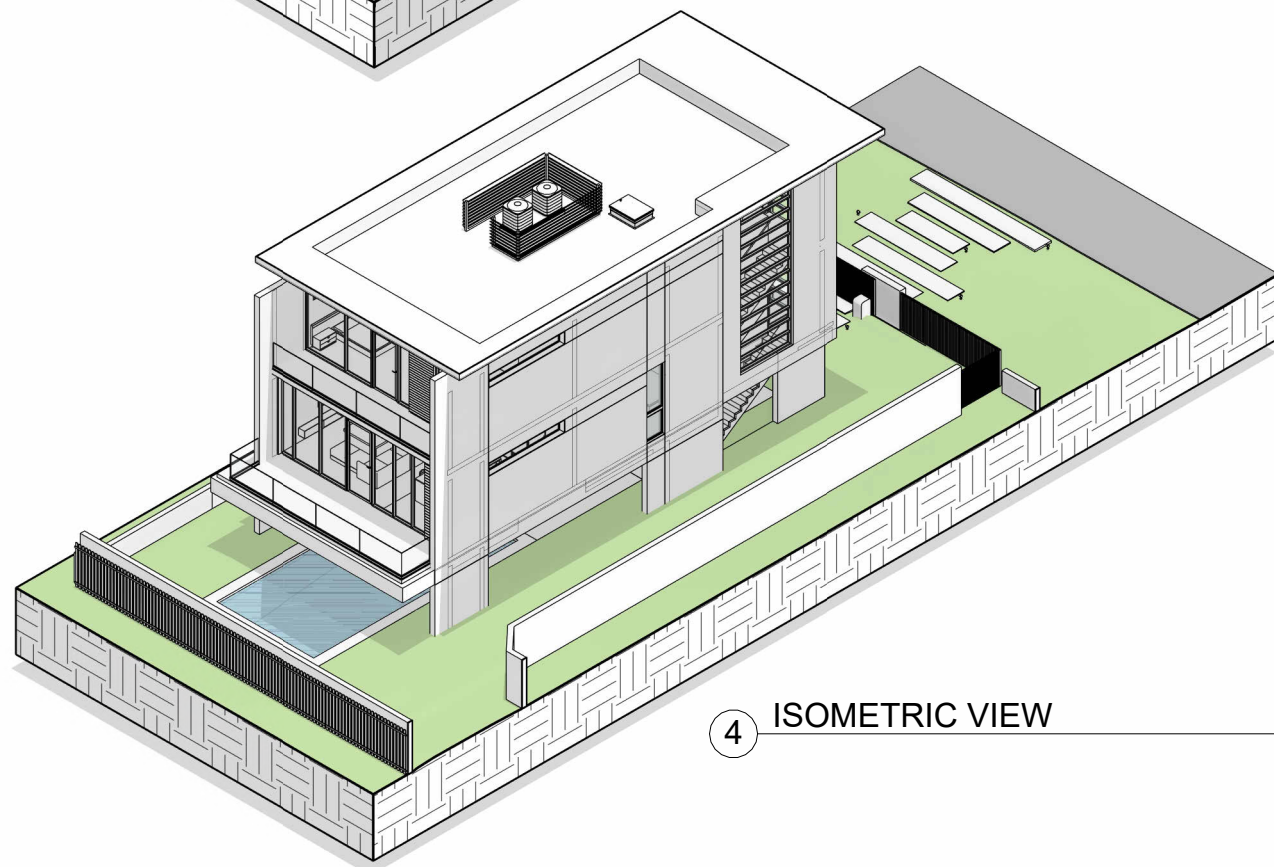
1 ISOMETRIC VIEW



2 ISOMETRIC VIEW



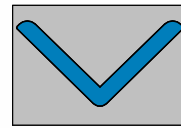
3 ISOMETRIC VIEW



4 ISOMETRIC VIEW

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A-1.9 AXONOMETRICS PROJECTION DIAGRAMS

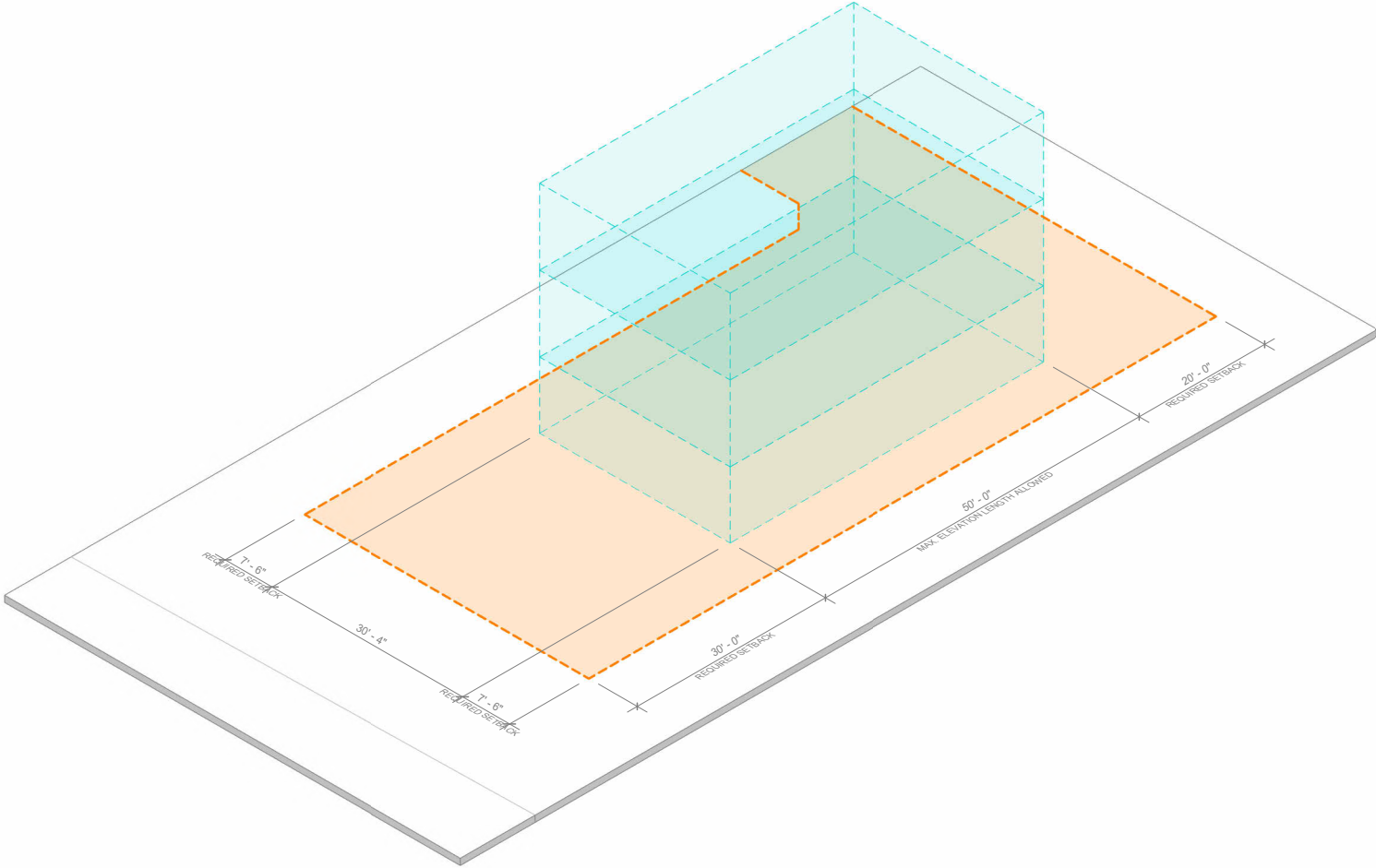


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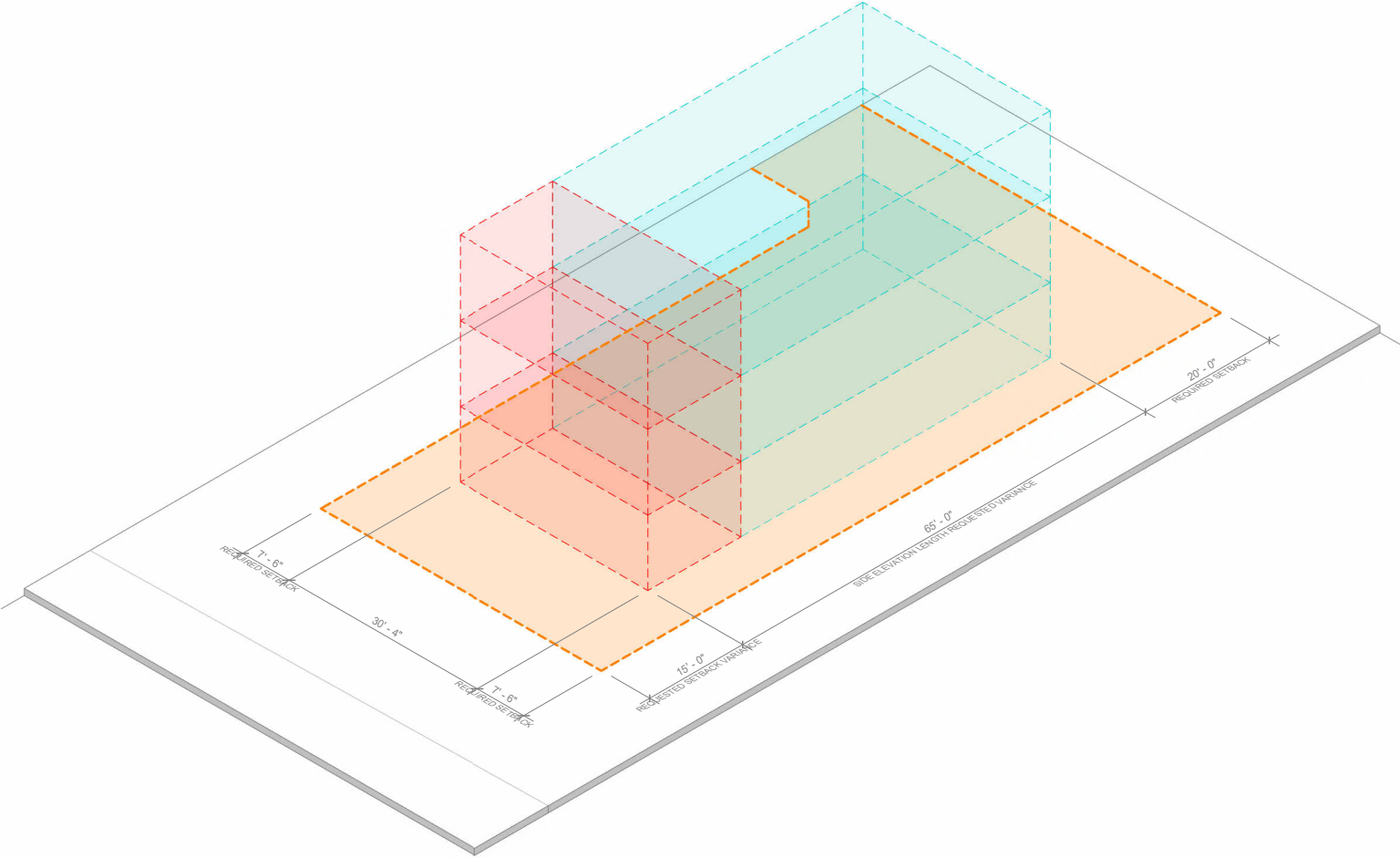
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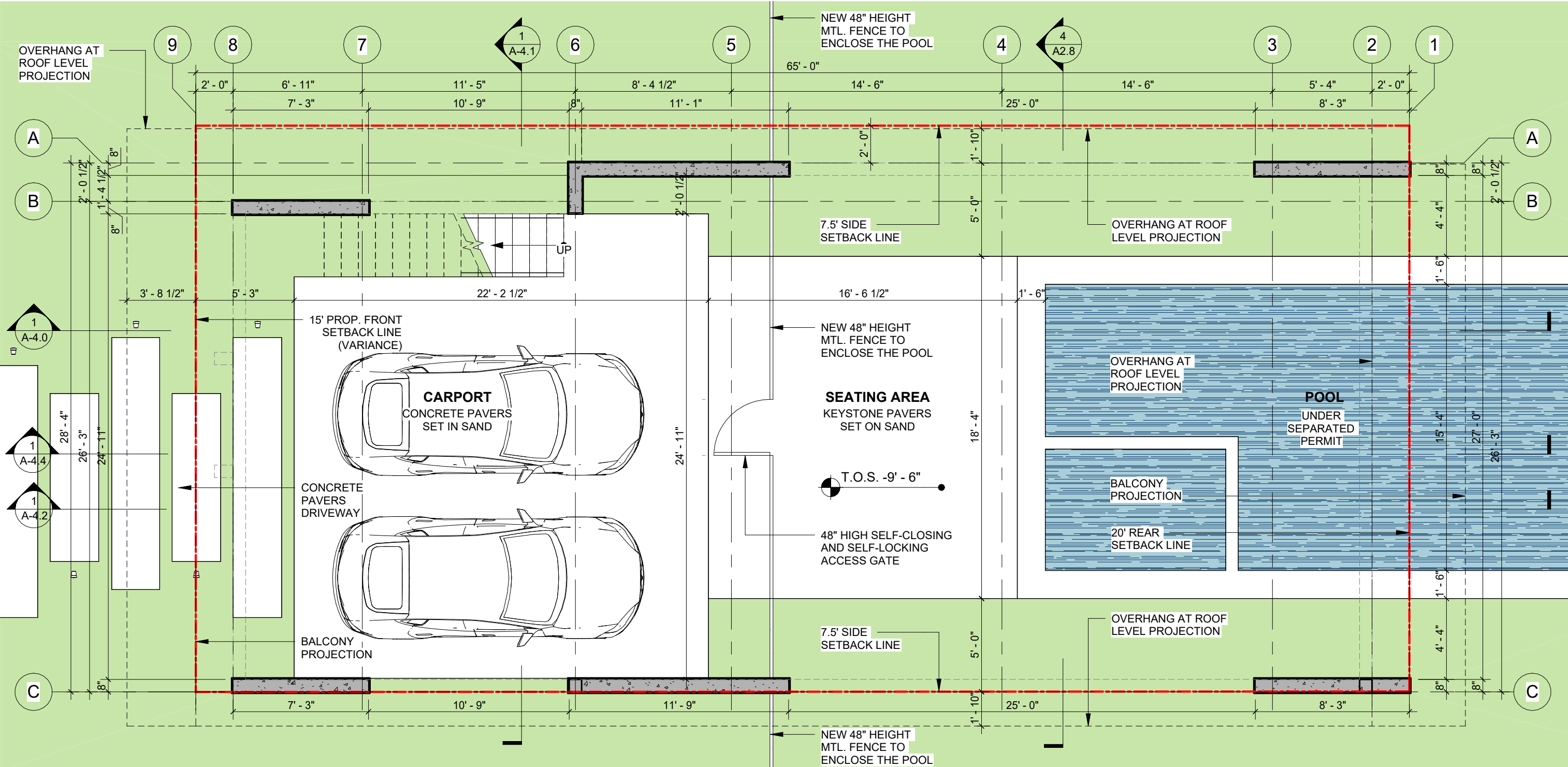
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1 REQUIRED SETBACKS



2 REQUESTED SETBACK



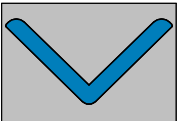
1 PROPOSED UNDERSTORY FLOOR PLAN
3/16" = 1'-0"



WALL LEGEND	
	EXTERIOR CMU WALL
	MTL. FRAME PARTITIONS. SEE FLOOR PLAN & WALL TYPES FOR THICKNESS
	CONCRETE COLUMN OR CONCRETE WALL REFER TO STRUCTURAL

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A-2.0 PROPOSED UNDERSTORY FLOOR PLAN

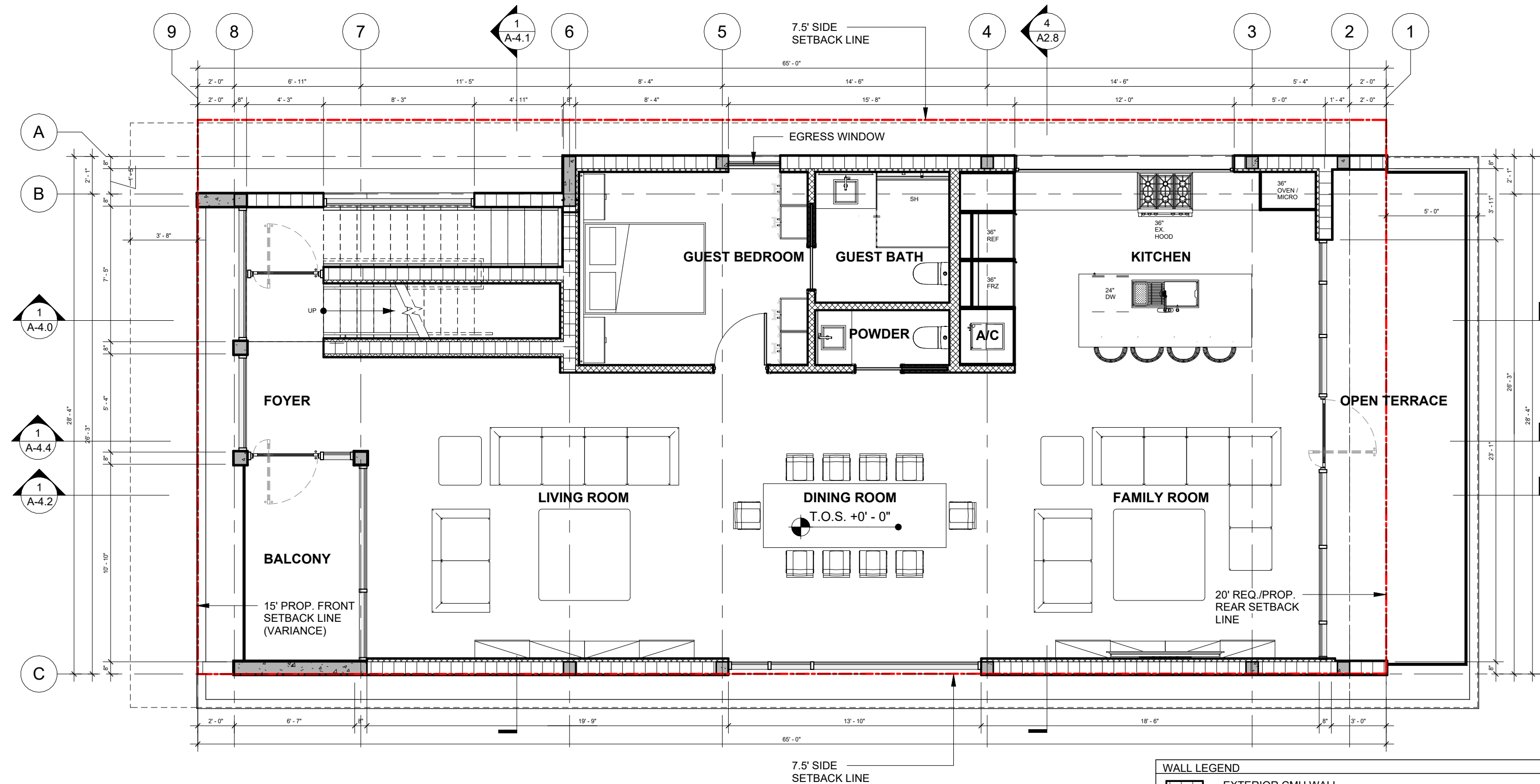


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1 PROPOSED FIRST FLOOR PLAN
3/16" = 1'-0"

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A-2.1 PROPOSED FIRST FLOOR PLAN



1 PROPOSED SECOND FLOOR PLAN
3/16" = 1'-0"



WALL LEGEND	
	EXTERIOR CMU WALL
	MTL. FRAME PARTITIONS. SEE FLOOR PLAN & WALL TYPES FOR THICKNESS
	CONCRETE COLUMN OR CONCRETE WALL REFER TO STRUCTURAL

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24-0017

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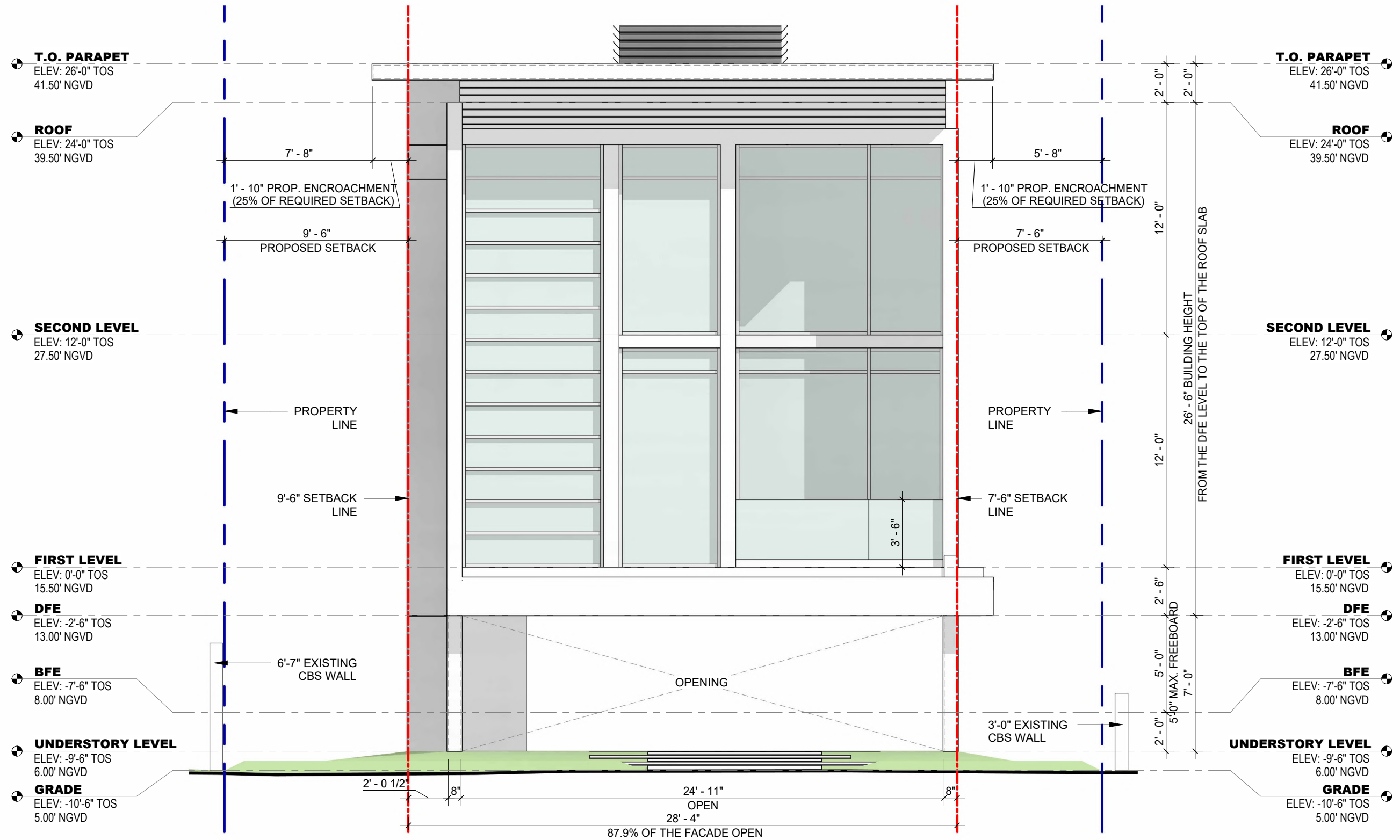
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A-2.2 PROPOSED SECOND FLOOR PLAN

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1 PROPOSED FRONT ELEVATION (SOUTH)
3/16" = 1'-0"

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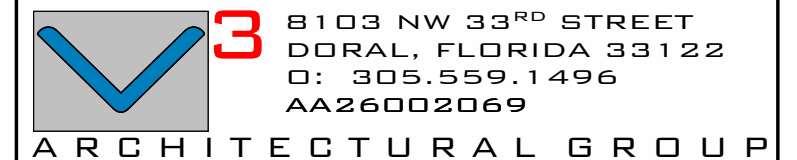
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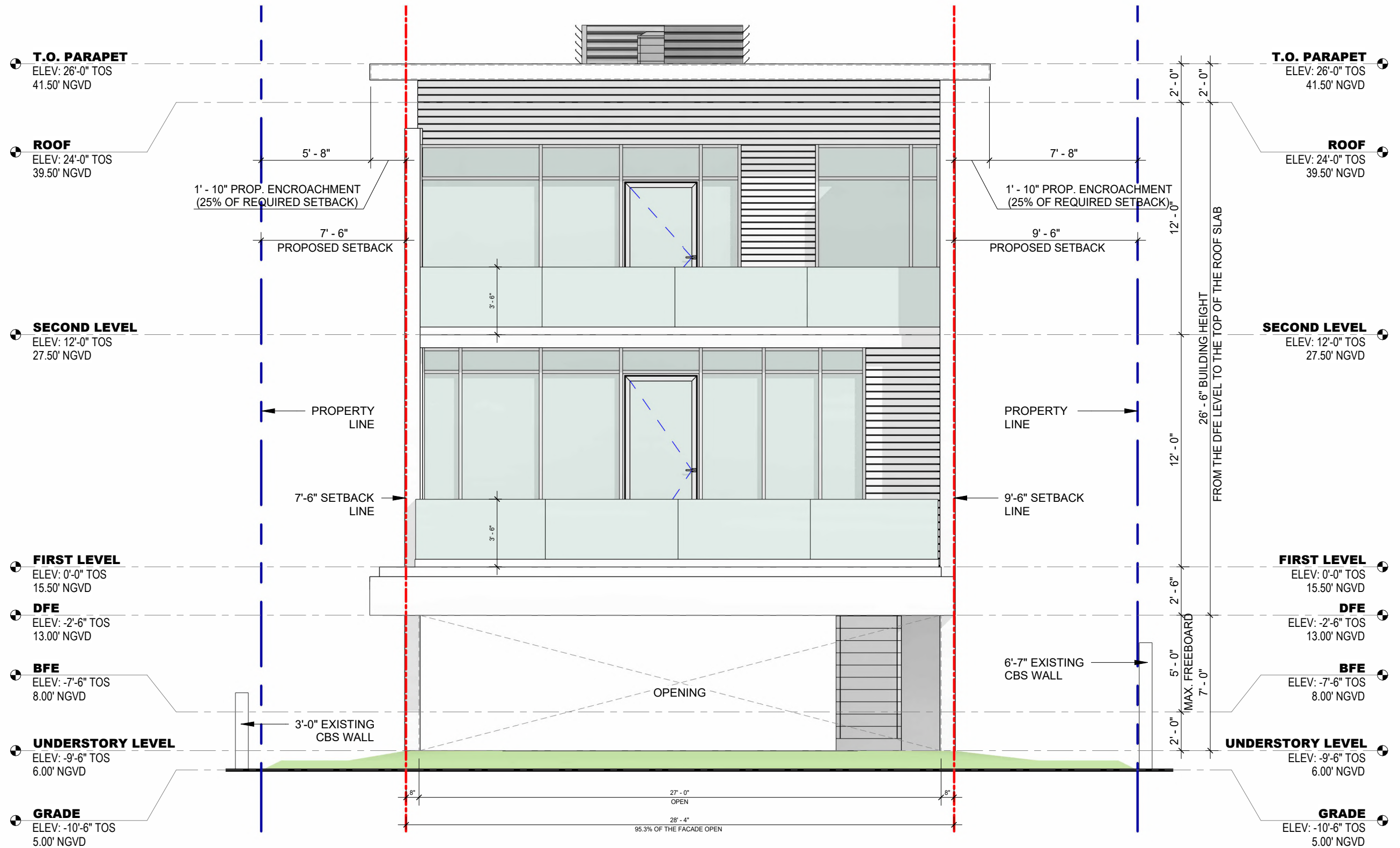
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A-3.0 PROPOSED FRONT ELEVATION (SOUTH)



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1 PROPOSED REAR ELEVATION (NORTH)
3/16" = 1'-0"

ALPARSLAN RESIDENCE

24-0017

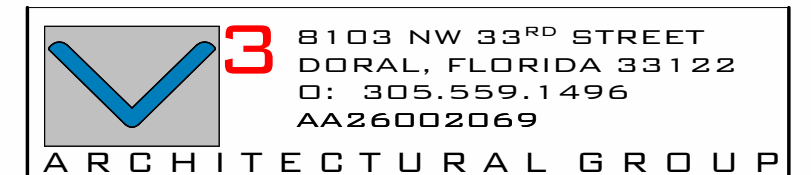
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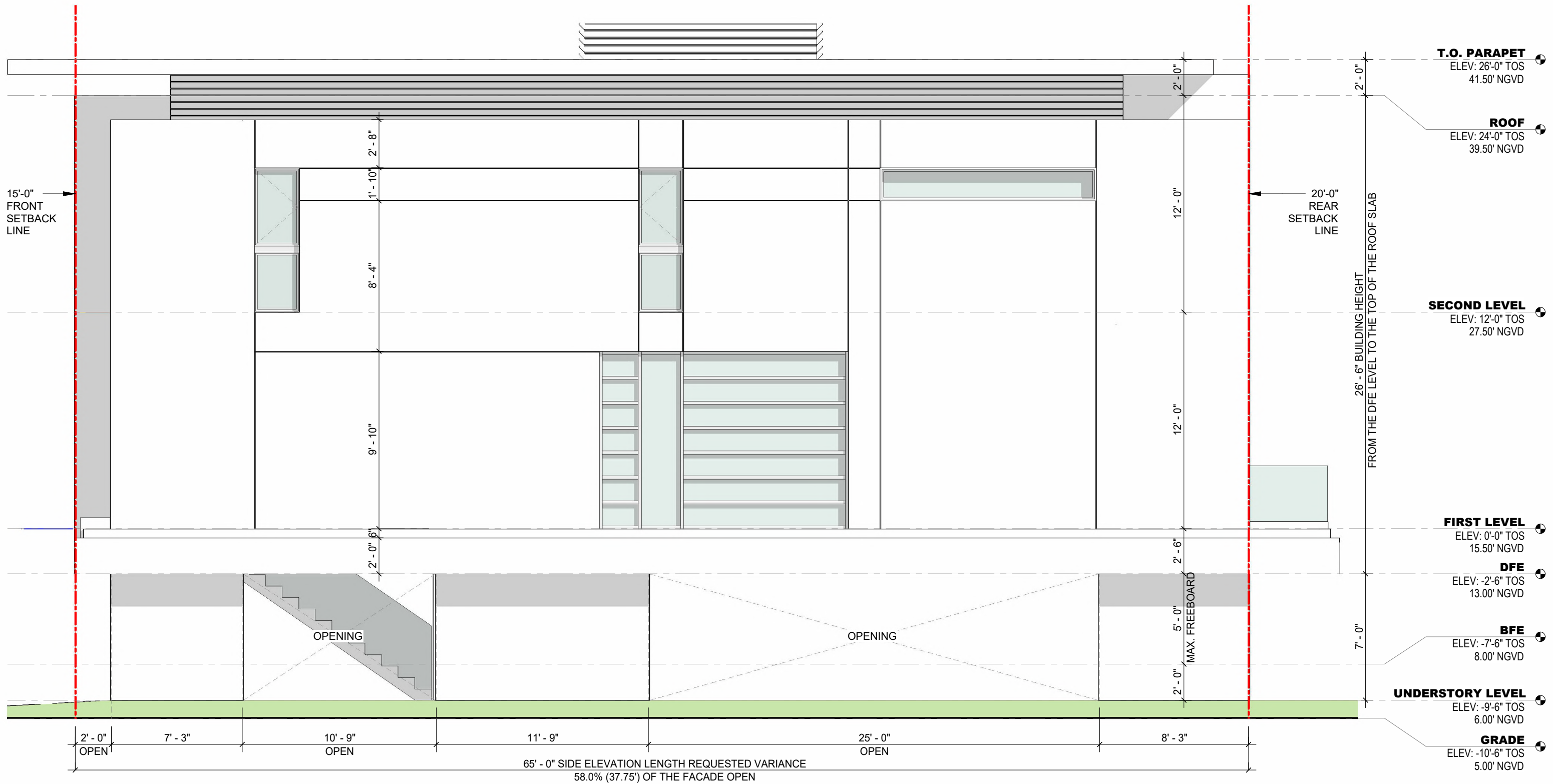
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DRB24-1045

A-3.1 PROPOSED REAR ELEVATION (NORTH)



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1 PROPOSED SIDE ELEVATION (EAST)
3/16" = 1'-0"

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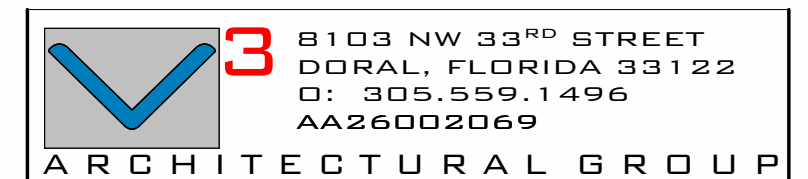
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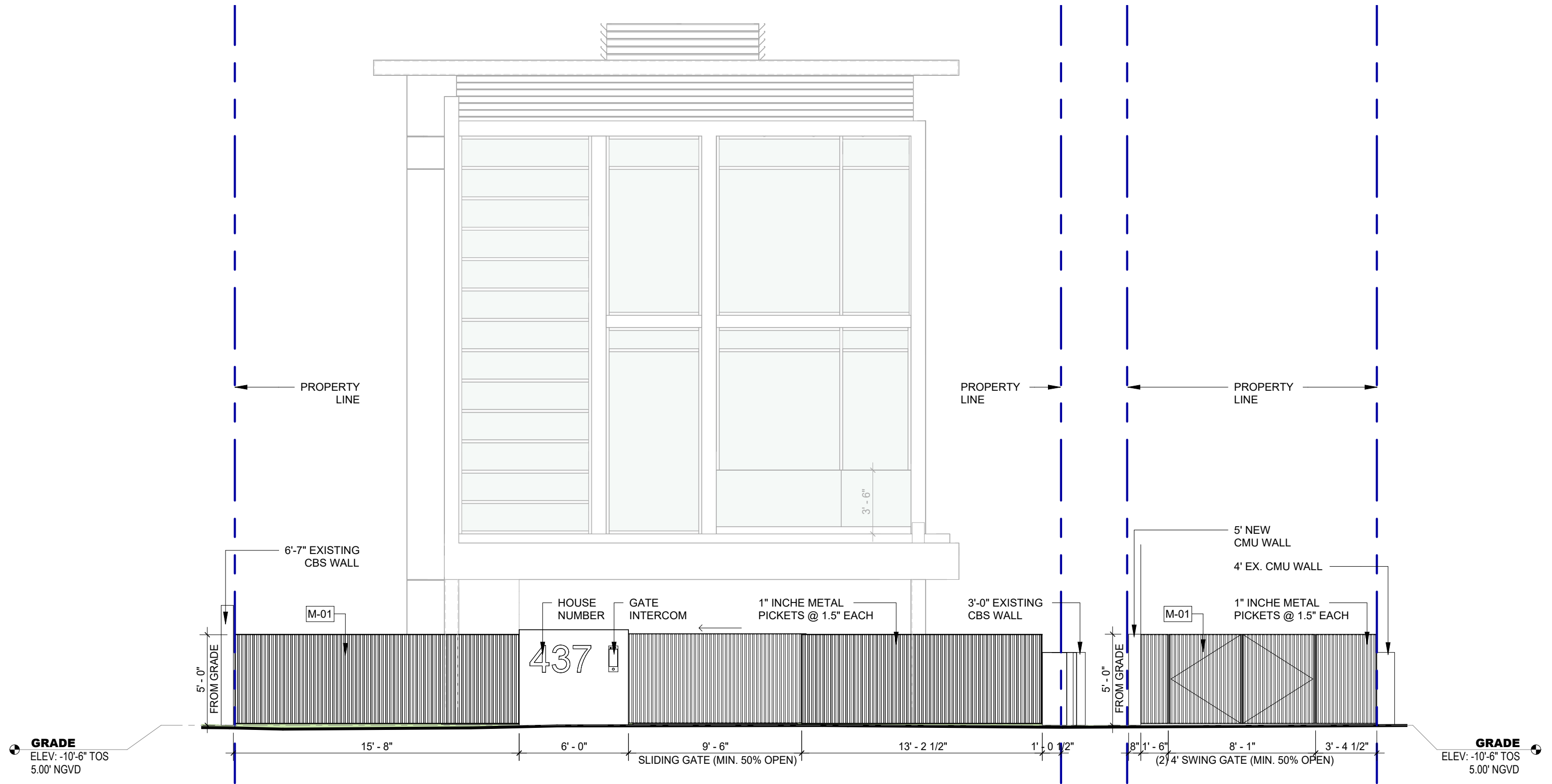
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A-3.2 PROPOSED SIDE ELEVATION (EAST)



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1 FRONT AND SIDE FENCE ELEVATION
3/16" = 1'-0"

ALPARSLAN RESIDENCE

24-0017

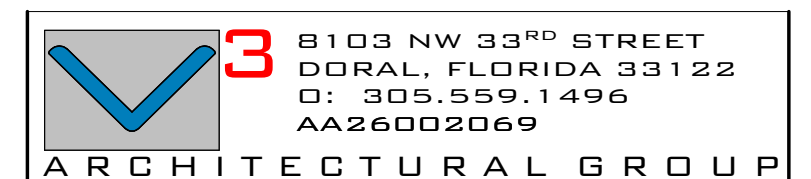
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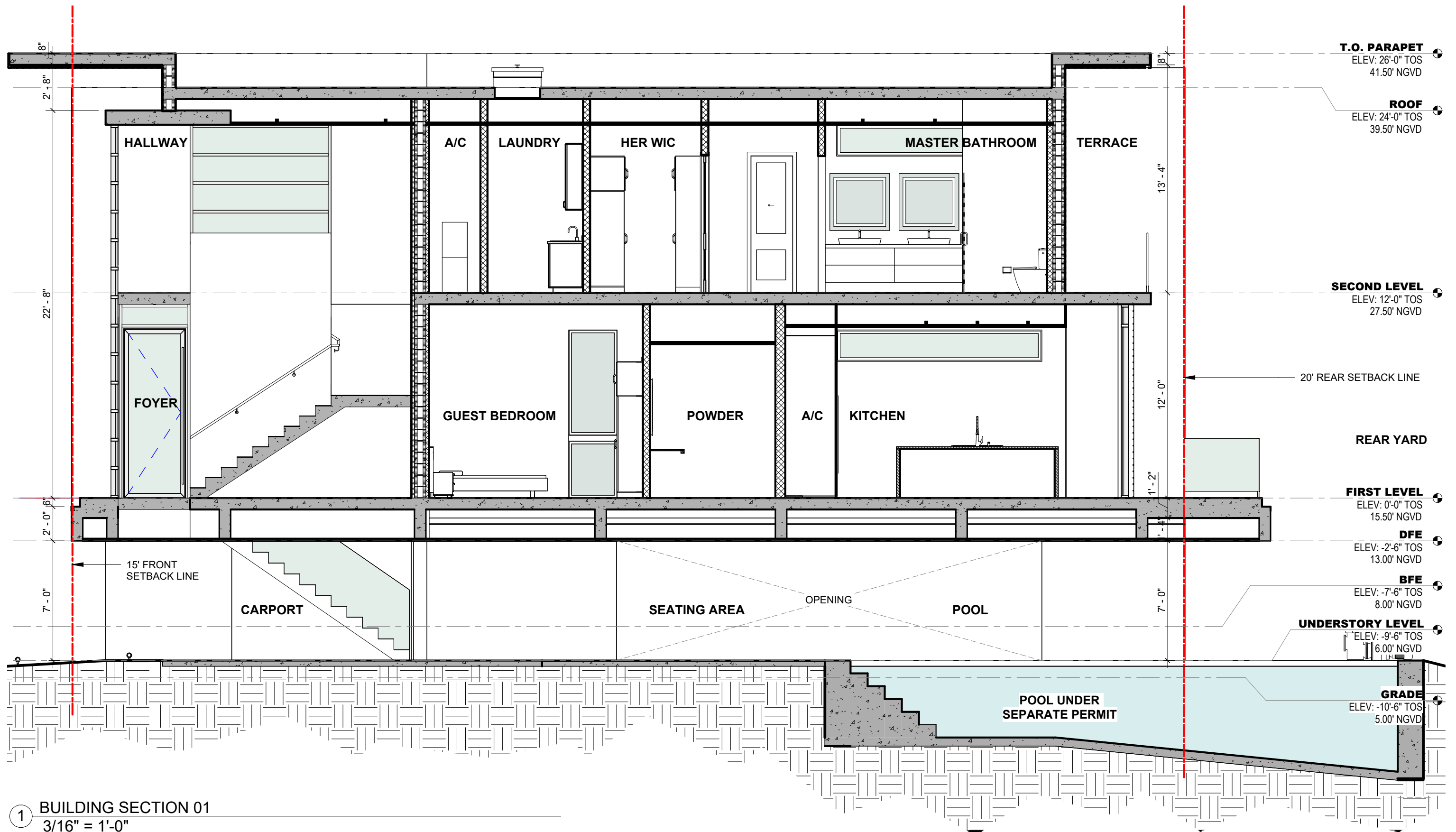
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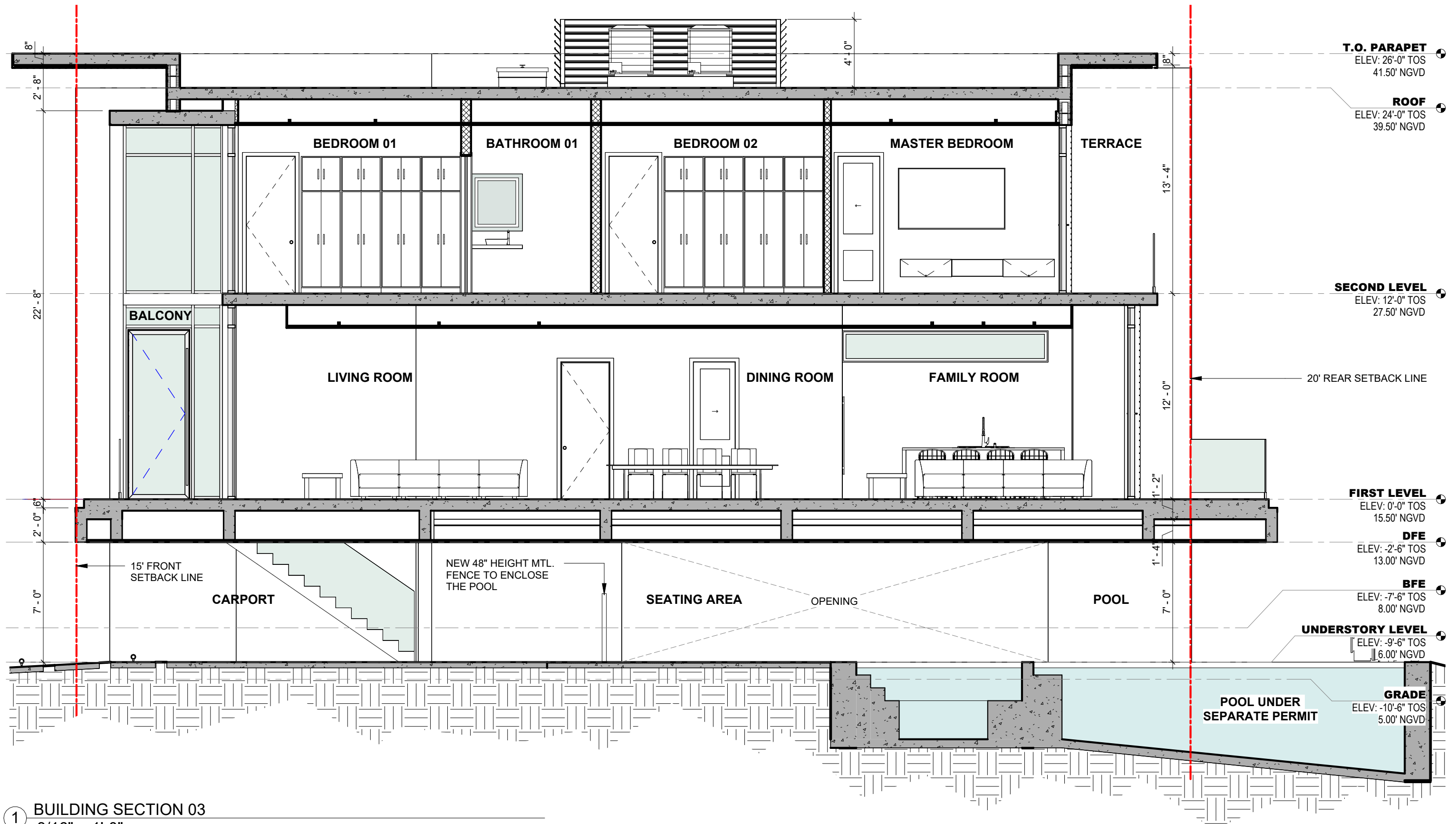
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A-4.5 FENCE ELEVATIONS



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1 BUILDING SECTION 03
3/16" = 1'-0"

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A-4.2 BUILDING SECTION

3 8103 NW 33RD STREET
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● **T.O. PARAPET**
ELEV: 26'-0" TOS
41.50' NGVD

● **ROOF**
ELEV: 24'-0" TOS
39.50' NGVD

● **SECOND LEVEL**
ELEV: 12'-0" TOS
27.50' NGVD

PROPERTY LINE

● **FIRST LEVEL**
ELEV: 0'-0" TOS
15.50' NGVD

● **DFE**
ELEV: -2'-6" TOS
13.00' NGVD
GATE INTERCOM BOX

● **BFE**
ELEV: -7'-6" TOS
8.00' NGVD

● **UNDERSTORY LEVEL**
ELEV: -9'-6" TOS
6.00' NGVD

● **GRADE**
ELEV: -10'-6" TOS
5.00' NGVD

PROPOSED
ENCHROACHMENT
(25% OF THE FRONT SETBACK)

15' - 0"
PROPOSED FRONT SETBACK (VARIANCE)

FRONT YARD

15' FRONT SETBACK LINE

PROPOSED FRONT 5' HIGH
METAL FENCE AND
AUTOMATIC SLIDING GATE

GATE MOTOR

5' - 0"
NEW MTL. FENCE

HALLWAY

FOYER

TERRACE

FAMILY ROOM

OPEN TERRACE

20' - 0"
REQUIRED / PROPOSED REAR SETBACK

REAR YARD

NEW REAR 7' HIGH
C.M.U WALL

PROPOSED
ENCHROACHMENT (25% OF
THE REAR SETBACK)

EX. REAR 6' HIGH
WOOD FENCE

POOL UNDER
SEPARATE PERMIT

● **T.O. PARAPET**
ELEV: 26'-0" TOS
41.50' NGVD

● **ROOF**
ELEV: 24'-0" TOS
39.50' NGVD

● **SECOND LEVEL**
ELEV: 12'-0" TOS
27.50' NGVD

PROPERTY LINE

● **FIRST LEVEL**
ELEV: 0'-0" TOS
15.50' NGVD

● **DFE**
ELEV: -2'-6" TOS
13.00' NGVD

● **BFE**
ELEV: -7'-6" TOS
8.00' NGVD

● **UNDERSTORY LEVEL**
ELEV: -9'-6" TOS
6.00' NGVD

● **GRADE**
ELEV: -10'-6" TOS
5.00' NGVD

① Section 1
3/16" = 1'-0"

ALPARSLAN RESIDENCE

24-0017

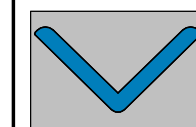
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A-4.4 FRONT & REAR YARD SECTION



3

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
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[illegible]

A	Arc
FND	Found
U.E.	Utility Easement
IP	Iron Pipe
IR	Rebar
N&D	Nail & Disc
COL.	Column
P.B.	Plat Book
Pg.	Page
ENC	Encroachment
R/W	Right-of-Way
C	Center Line
CL	Clear
M	Monument Line
TBM	Temporary Benchmark
W/P	Water Pump
PWY	Parkway
M	Measured
R	Record Plat
C.S.	Concrete slab

	Unknown Manhole
	Electric Box
	Light Pole
	Property Corner
	Fire Hydrant
	Catch basin
	Water Meter
	Water Valve
	Utility Pole
	CLP
	Concrete Light Pole
	Drain
	Control Valve
	Gasoline Valve
	Back Flood Preventer
	Chain Link Fence
	Wood Fence
	Metal Fence
	Overhead Utility line

TREE LEGEND

SYMBOL	COMMON NAME	SYMBOL	COMMON NAME	SYMBOL	COMMON NAME
	Dragon Tree		Avocado Tree		Cabbage Palm Tree
	Manila Tree		Umbrella Tree		Ficus Tree
	Fishtail Tree		Palm Tree		Olive Tree
	Brazilian Pepper Tree				

ROYAL PALM AVENUE

SHERIDAN AVENUE

W. 31st STREET

LOT 1, 2, 3, 4, 5, 6

LOT 19, 20, 21, 22, 23, 24

Dimensions: 13.70', 22', 17.70', 45.34', 23'

North Arrow

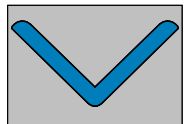
45

LOCATION SKETCH
NOT TO SCALE

I certify: This Map of Boundary Survey meets all applicable requirements of the Florida Minimum Technical Standards as contained Chapter 5J-17. Unless indicated to the contrary, the measured distance and directions shown on the Map of Boundary Survey are the same as the deed distances and directions. Not valid without the signature and the original raised seal of Florida Licensed Surveyor and Mapper. Additions or deletions to Map of Boundary Survey by other than signing party or parties is prohibited without written consent of the signing party or parties.

EX-1.0 SURVEY

	FormTech Land Surveying, Inc. State of Florida L.B. # 7980 12955 S.W. 42nd Street, Suite 5, Miami, Florida, 33186 Ph: (786) 429-3034 (786) 443-0285 (786) 443-0878 www.formtechsurveys.com email: formtechsurveys@gmail.com	Date: <u>08-28-2024</u> Eugenia L. Formoso, P.S.M. State of Florida L.S. # 6660	Job # 18-01087 Proj # 24-081421
			Page 1 of 1



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• EXISTING CONDITION PROJECT SITE
REFERENCE CONTEXT MAP



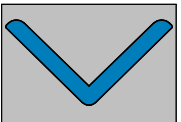
1. EXISTING CONDITION PROJECT SITE
ROYAL PALM AVE SOUTH-WEST VIEW



2. EXISTING CONDITION PROJECT SITE
ROYAL PALM AVE NORTH-WEST VIEW

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EX-3.0 EXISTING CONDITION



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Requests

- 1) Understory Approval;**
- 2) Two-Story Side Elevation Waiver Approval;**
- 3) Second Floor Setback Waiver Approval;**
- 4) Front Setback Variance.**

Hardship Criteria

The Project satisfies the Hardship Criteria under Section 2.8.3.a of the Code:

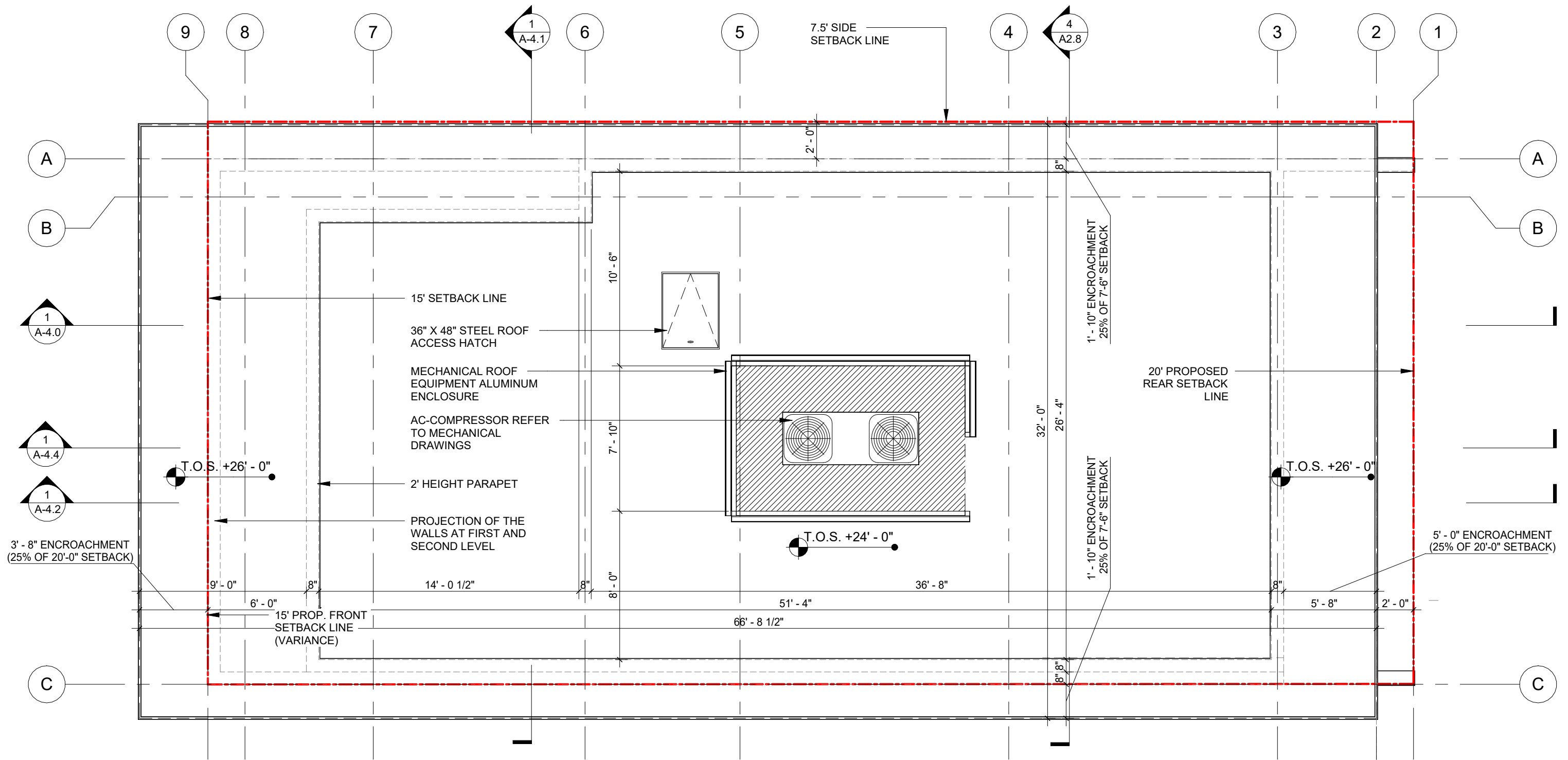
- 1. Special conditions and circumstances exist;**
- 2. Which do not result from the action of the application;**
- 3. No special privilege;**
- 4. Applicant is deprived of rights creating unnecessary and undue hardship;**
- 5. Requested variances are minimum that will make possible reasonable use of the Property;**
- 6. Variance requests are in harmony with intent and purpose of the Code and will not be injurious to area involved or public welfare;**
- 7. Request is consistent with comprehensive plan and does not reduce levels of service.**

Thank You

200 S. Biscayne Boulevard
Suite 300, Miami, FL 33131

www.brzoninglaw.com

305.374.5300 office
305.377.6222 fax
Info@brzoninglaw.com



1 PROPOSED ROOF PLAN
3/16" = 1'-0"



WALL LEGEND	
	EXTERIOR CMU WALL
	MTL. FRAME PARTITIONS. SEE FLOOR PLAN & WALL TYPES FOR THICKNESS
	CONCRETE COLUMN OR CONCRETE WALL REFER TO STRUCTURAL

ALPARSLAN RESIDENCE

24-0017
437 WEST 31ST STREET, MIAMI BEACH, FL 33140

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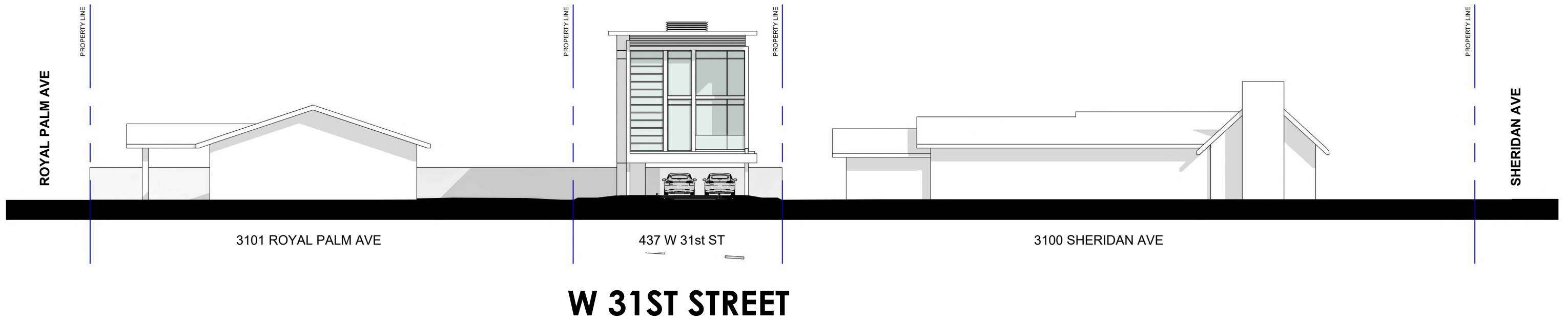
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A-2.3 PROPOSED ROOF PLAN

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① CONTEXT STREET ELEVATION
3/64" = 1'-0"

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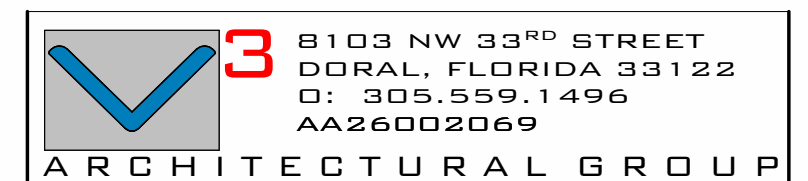
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A-6.10 CONTEXTUAL STREET ELEVATION



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