

PERMIT NUMBER

B-9600327

BMS 70173

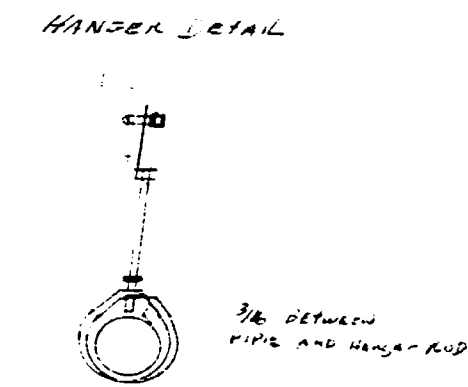
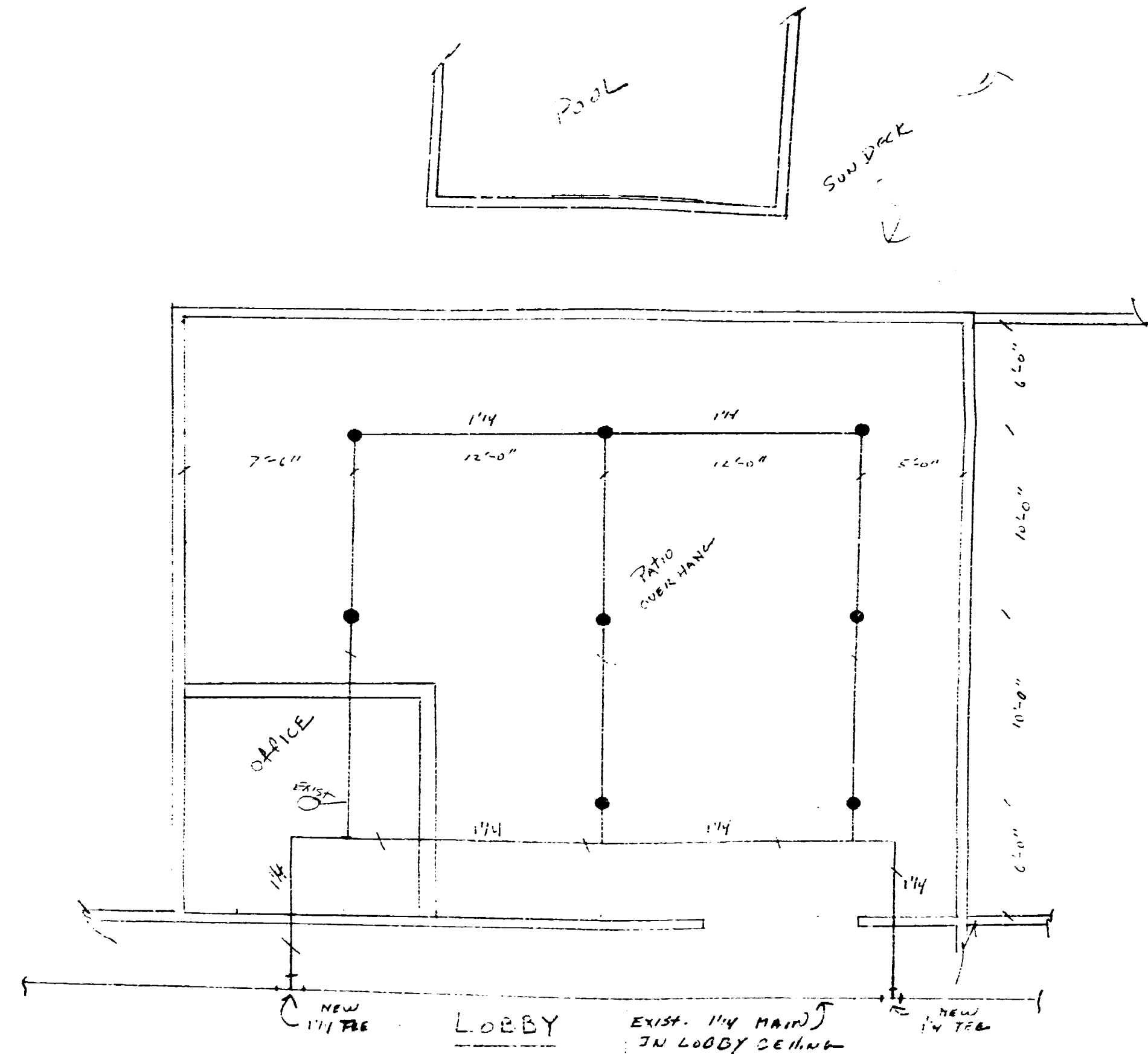
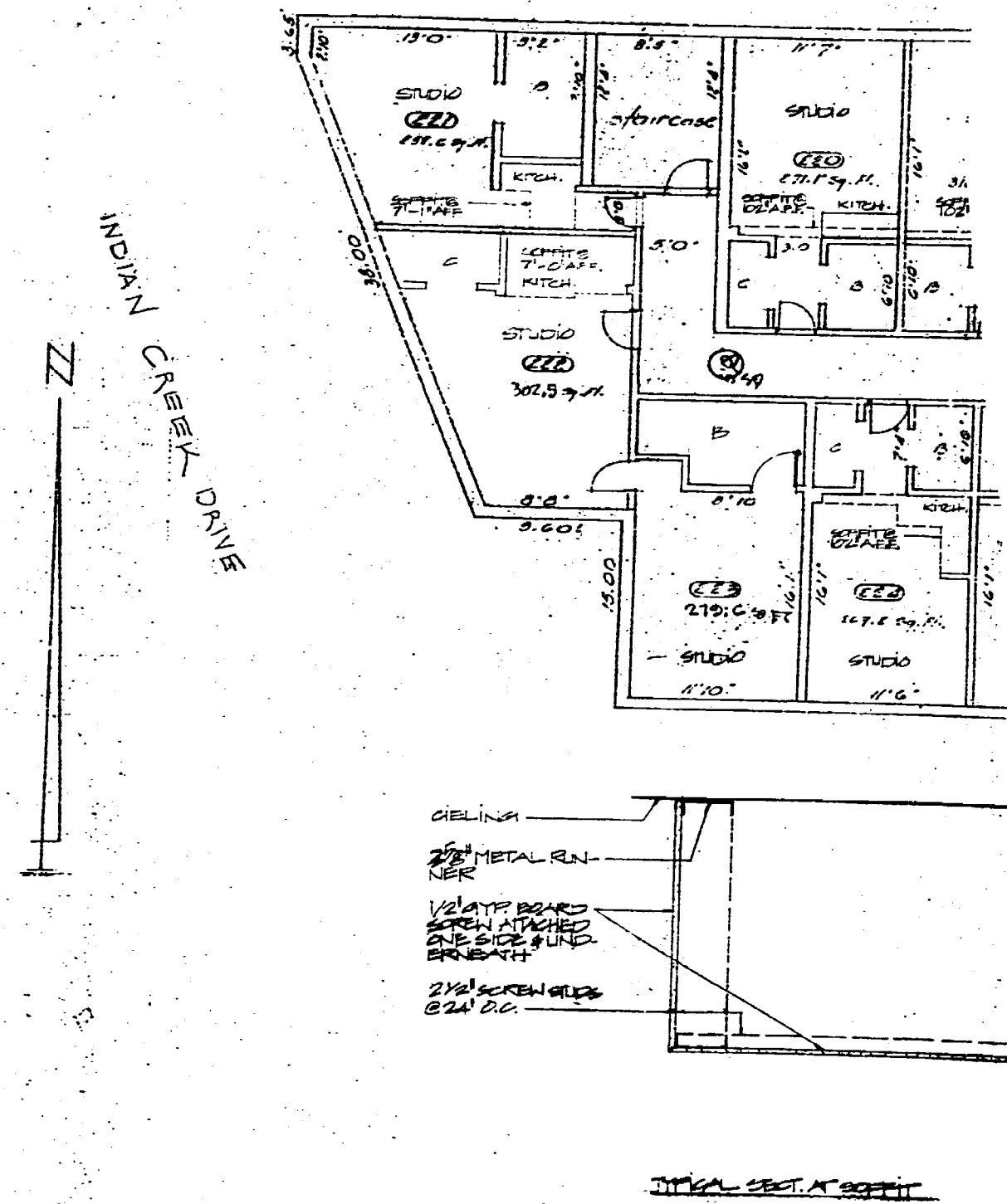
ADDRESS

23

B9600327
BMS 70173

"EXISTING INTERIOR PLAN"

PRINCE MICHAEL ~~HOTEL~~ Condo
FIRST (LOBBY) AND SECOND FLOORS



PRINCE MICHAEL HOTEL
FIRE SPRINKLER PLAN REVISION
OUTSIDE OVER HANG LOCATED
BY POOL DECK

CPVC PIPING AND FITTINGS
CENTRAL L.F. OR 1/2\"/>

NOTE: USE CORROSION RESISTANT
HEADS IN EXTERIOR AREAS

DECO SERVICES
RESIDENTIAL-COMMERCIAL-SPACE PLANNING
1561 ALTON COURT
MIAMI BEACH, FLORIDA 33139
TELEPHONE: (305) 673-4500
FAX: (305) 673-2211

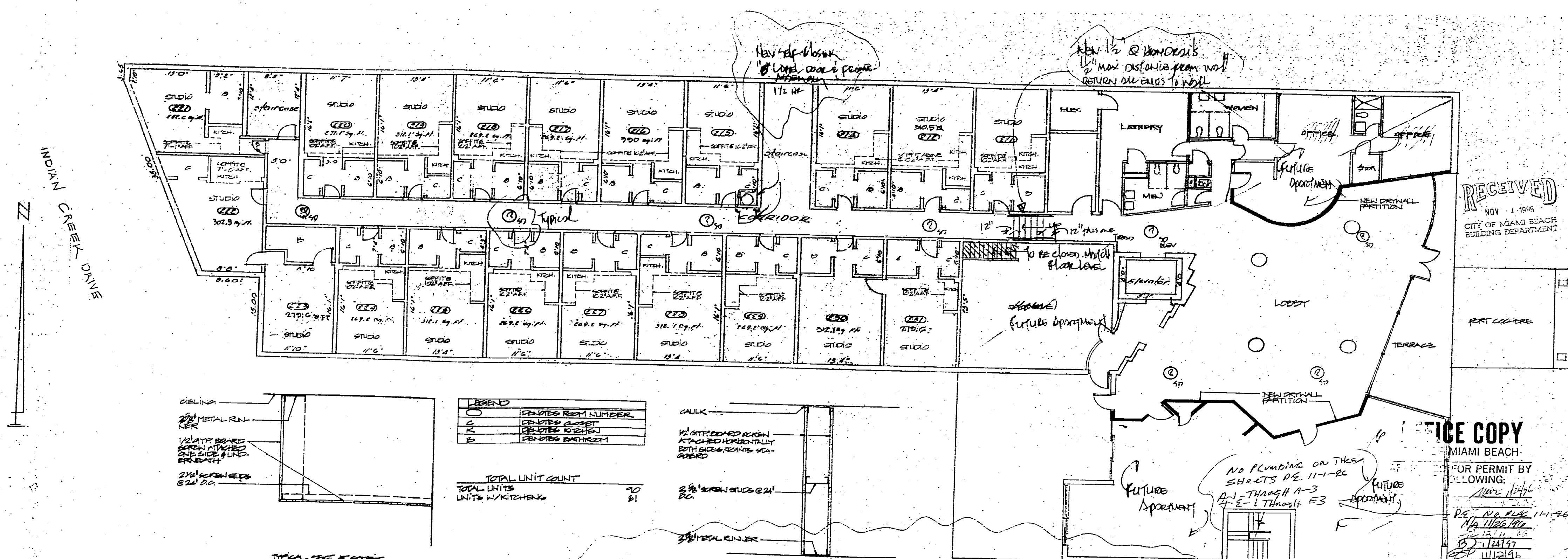
REVISION OF EXISTING CONDO
PRINCE MICHAEL CONDO
2618 COLLINS AVE
MIAMI BEACH
FLORIDA

ROBERT
10/21/86
1/4\"/>

A-1

"EXISTING INTERIOR PLAN"

PRINCE MICHAEL ~~HOVEN~~ Condo Unit
FIRST (LOBBY) AND SECOND FLOORS



LEGEND

1	UNITES ROOM NUMBER
2	UNITES CLOSET
3	UNITES KITCHEN
4	UNITES BATHROOM

TOTAL UNIT COUNT

TOTAL UNITS	40
UNITS W/ KITCHENS	51

General Notes:

ALL MEDICINE CABINETS SHALL BE PROVIDED WITH ONE LAYER OF 3/4\" TYPE 'X' GWS AFFIXED TO THE BACK SIDE AND SHALL BE REINSTALLED IN THE EXISTING FRAMED OPENING.
EXIT SIGNS SHALL BE PLACED AS DESIGNATED BY THE AUTHORITY HAVING JURISDICTION.
THE DOOR AT THE TOP OF THE NORTH STAIRWAY SHALL BE RATED.
ALL UNIT ENTRANCE DOORS SHALL BE PROVIDED WITH APPROVED SELF CLOSING DEVICES.
ALL STAIRWAY DOORS SHALL BE SELF-CLOSING AND POSITIVE LATCHING.
STAIRWAY WINDOWS TO BE PERMANENTLY SCREENED SHUT WITH NO MORE THAN A 1\" OPENING.

A NEW EARLY WARNING (SMOKE DETECTION) SYSTEM IS TO BE INSTALLED IN ALL COMMON CORRIDORS AND COMMON USE AREAS.
CONCEALED SPACES ABOVE EXISTING LOBBY CEILINGS SHALL ALSO BE PROVIDED WITH EARLY WARNING DEVICES.
DRAWINGS INDICATE APPROXIMATE LOCATION AND SPACING OF DEVICES. THE FIRE ALARM SUB-CONTRACTOR SHALL VERIFY ALL LOCATIONS AND DIMENSIONS FOR COMPLIANCE WITH THE MANUFACTURERS SPECIFICATIONS.
INITIATION OF ANY FIRE ALARM AUTOMATIC SERVICE (FLOW SWITCH, SMOKE DETECTOR, ETC.) SHALL ACTIVATE BOTH AUDIBLE AND VISUAL NOTIFICATION DEVICES. INITIATION SHALL ALSO CAUSE THE EXISTING HVAC TO AUTOMATICALLY SHUTDOWN. THE HVAC MUST BE MANUALLY RESET. INITIATION SHALL ALSO CAUSE THE NEW COMBINATION SMOKE / FIRE DAMPERS TO CLOSE AT EACH OF THE THREE (3) RETURN AIR TRANSFER GRILLE LOCATIONS.
EXISTING SUPPLY PENETRATIONS THROUGH THE EXISTING VERTICAL CHASE SHALL BE PROVIDED WITH NEW FURBULE LINK ACTIVATED FIRE CHAMBERS. CONTRACTOR SHALL PROVIDE FOR ACCESS PANELS FOR SERVICE AND MAINTENANCE.
THE EXISTING TRASH CHUTE SERVICE OPENINGS SHALL PROTECTED WITH A NEW SELF-CLOSING 1\" BEL DOOR AND FRAME ASSEMBLY.
ALL EXPOSED REBAR AREAS SHALL THOROUGHLY CLEANED WITH A WIRE BRUSH. ALL RUST AND LOOSE CONCRETE REMOVED AND PATCHED WITH EPOXY GROUT.

RECEIVED
NOV - 1 1996
CITY OF MIAMI BEACH
BUILDING DEPARTMENT

TRUE COPY
MIAMI BEACH

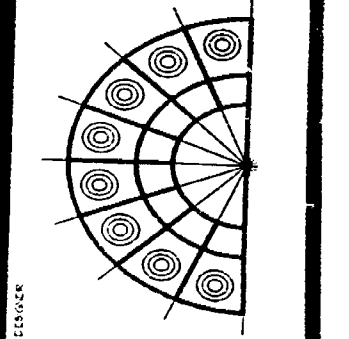
FOR PERMIT BY FOLLOWING:
DATE: 11/17/96
BY: [Signature]
DATE: 11/17/96
BY: [Signature]

1) PROVIDE DETAIL TO PD INSTALLATION
2) BATHROOMS
3) SHOW EXHAUST FAN DETAIL ON ROOF - GIBBS
4) SHOW AIR COND DUCT CRUISE, FOR 3RD FLOOR FROM MAR. TOWER HAVE THRU EXTERIOR WALL
22 11/17/96
10/31-96



GUSTAVO J. RAMOS & ASSOC.
ARCHITECTS / PLANNERS
235 Lincoln Rd., 322 Miami Beach, FL 33139 / 674-847

DECO SERVICES
RESIDENTIAL - COMMERCIAL SPACE PLANNING
1561 ALTON COURT
MIAMI BEACH, FLORIDA 33139
TELEPHONE: (305) 673-4500
FAX: (305) 673-1838



REVISION OF EXISTING CONDO
PRINCE MICHAEL CONDO
2618 COLLINS AVE
MIAMI BEACH
FLORIDA

ROBERT
DATE: 10/21/96
SCALE: 1/4\" = 1'-0\"
A-1

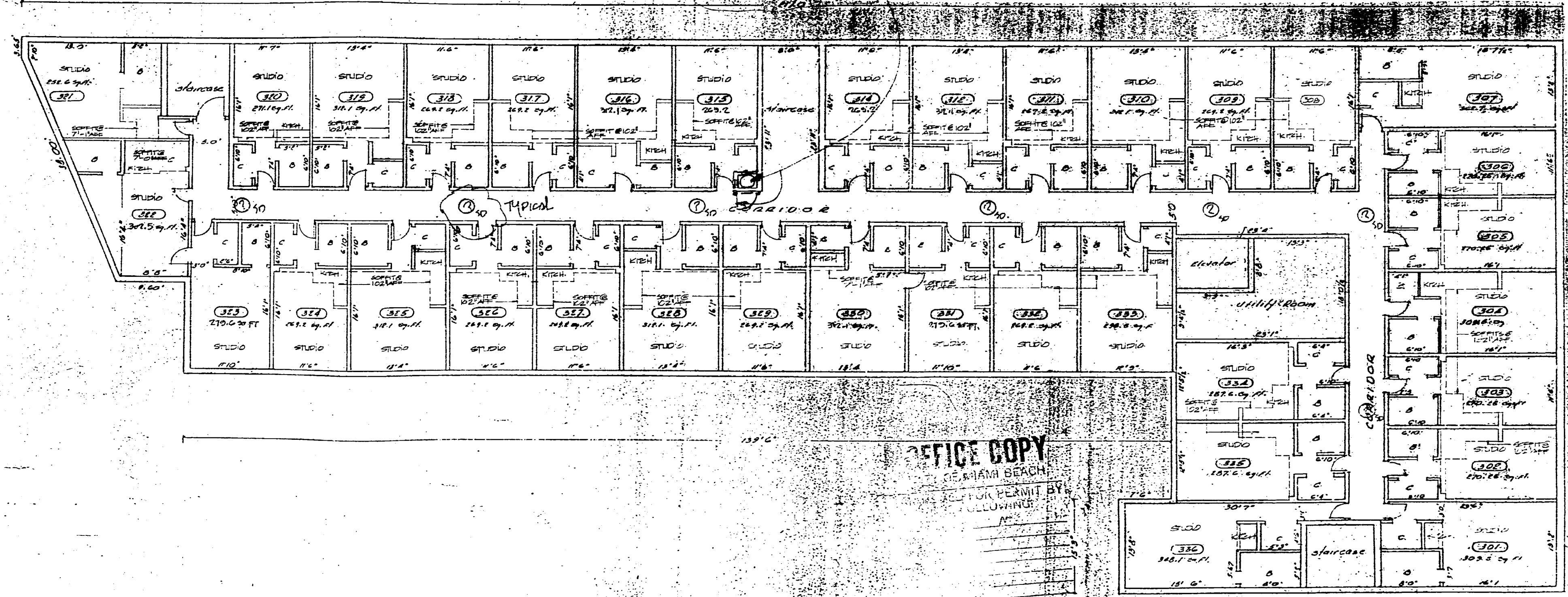
EXISTING INTERIOR PLAN

PRINCE MICHAEL HOTEL

3RD FLOOR

300/617/1411

NEW SELF-CLOSING 1/2" LEVEL
DOOR AND CRANE HANGING
ON EXISTING TRUSS CURVE
1/16" Ht.



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FOR PERMIT BY

FOLLOWING

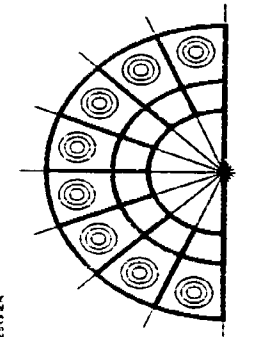


GUSTAVO J. RAMOS & ASSOC.
ARCHITECTS / PLANNERS
225 LINCOLN RD., 2ND FLOOR MIAMI BEACH, FL 33139 / 474 8477

Gustavo J. Ramos
10-31-96

DECO SERVICES

RESIDENTIAL-COMMERCIAL-SPACE PLANNING
1561 ALTON COURT
MIAMI BEACH, FLORIDA 33139
TELEPHONE: (305) 673-4500
(305) 673-2211
FAX: (305) 673-1888



REVISION OF EXISTING CONDO

PRINCE MICHAEL CONDO
2618 COLLINS AVE
MIAMI BEACH
FLORIDA

ROBERT

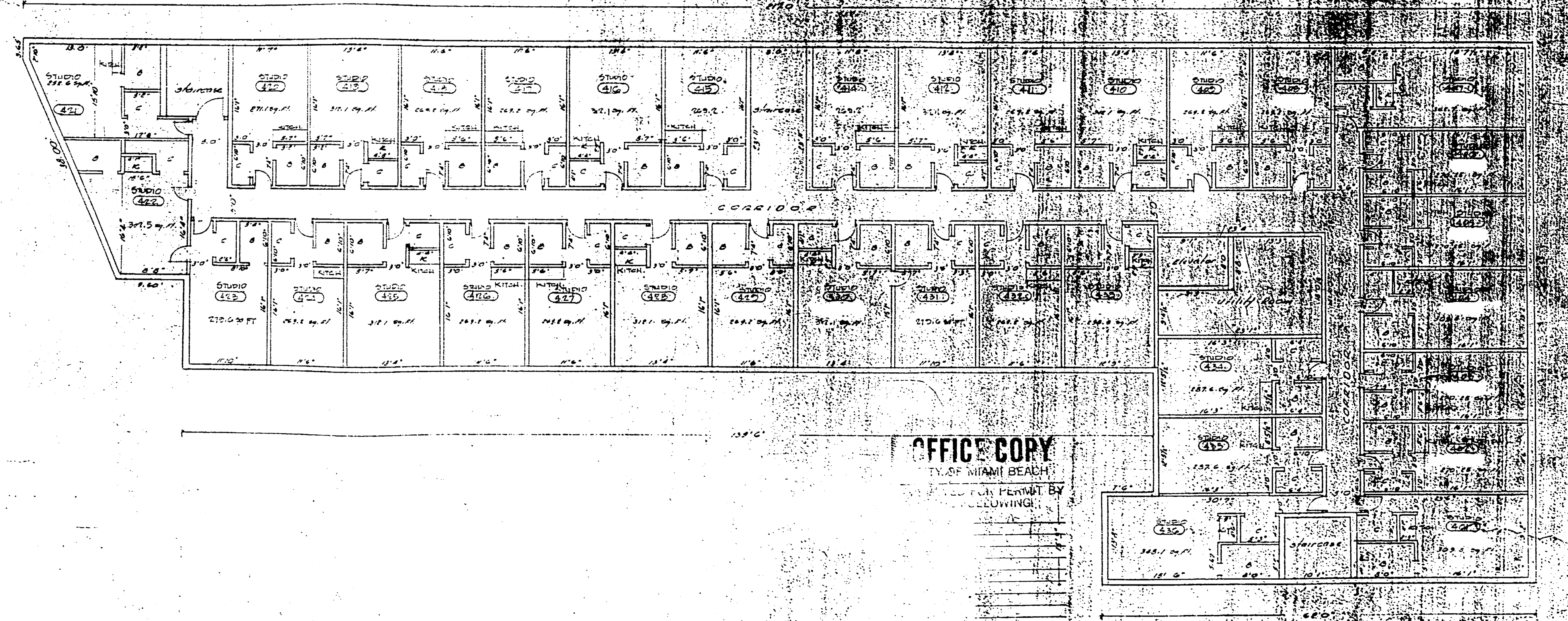
10/21/96

1/4" = 1'-0"

A-2

4TH FLOOR

350101104/015



APPROVED FOR PERMIT BY
FOLLOWING:



GUSTAVO J. RAMOS & ASSOC.
ARCHITECTS / PLANNERS / INTERIORS
221 Avenue 24, 222 North Beach, Fl. 33139 / 574

GUSTAVO J. RAMOS & ASSOC.
ARCHITECTS / PLANNERS / INTERIO
225 LINDEN ST. 222 NORTH BROAD ST. 33139 / 674-2

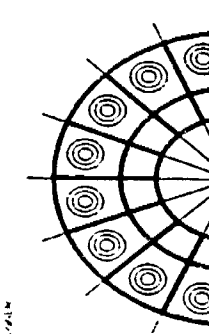
DECO SERVICES

RESIDENTIAL-COMMERCIAL-SPACE PLANNING
541 ALTON COURT

RESIDENTIAL-6011 E
561 ALTON COURT
MIAMI BEACH, FLORID, 33139
TELEPHONE: (305) 673-4500

(305) 673-2211

(305) 673-2211



REVISION OF EXISTING CONDO

PRINCE MICHAEL CONDO

PRINCE MICHAEL CONDO
2618 COLLINS AVE

WALTON BEACH
HOTEL WITH
PINE COTTON AVE

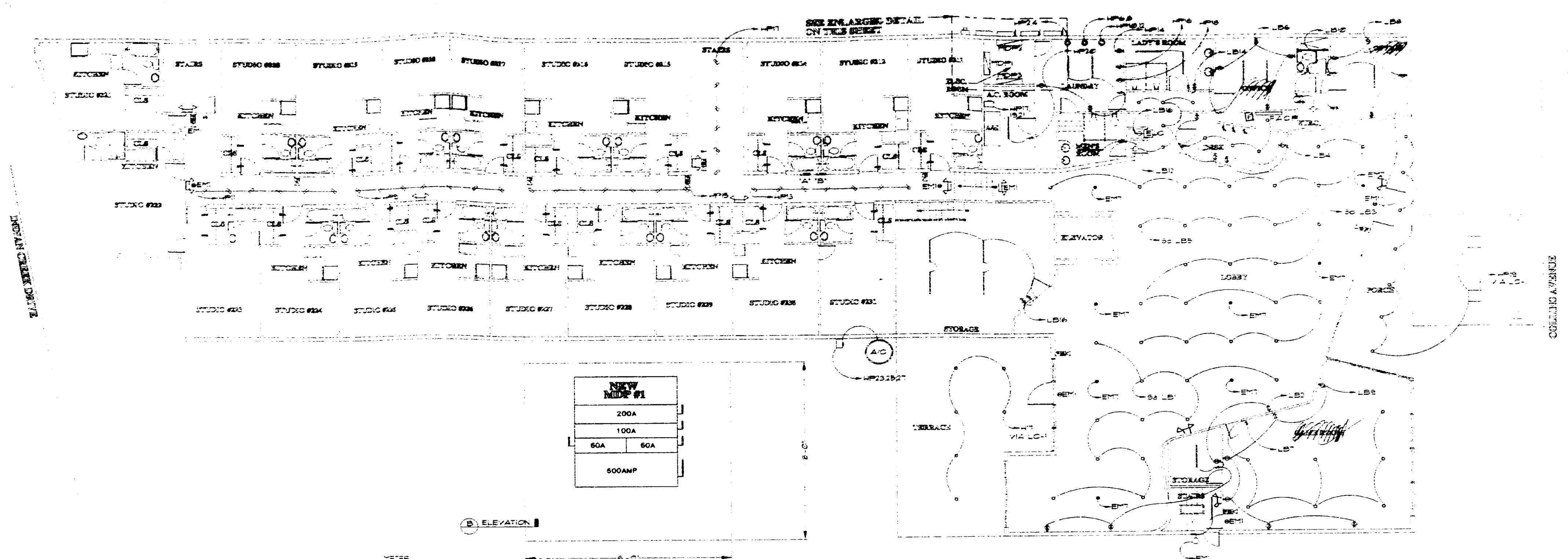
FLORIDA

ROBERT

10/21/36

$$12' = 1'-2'$$

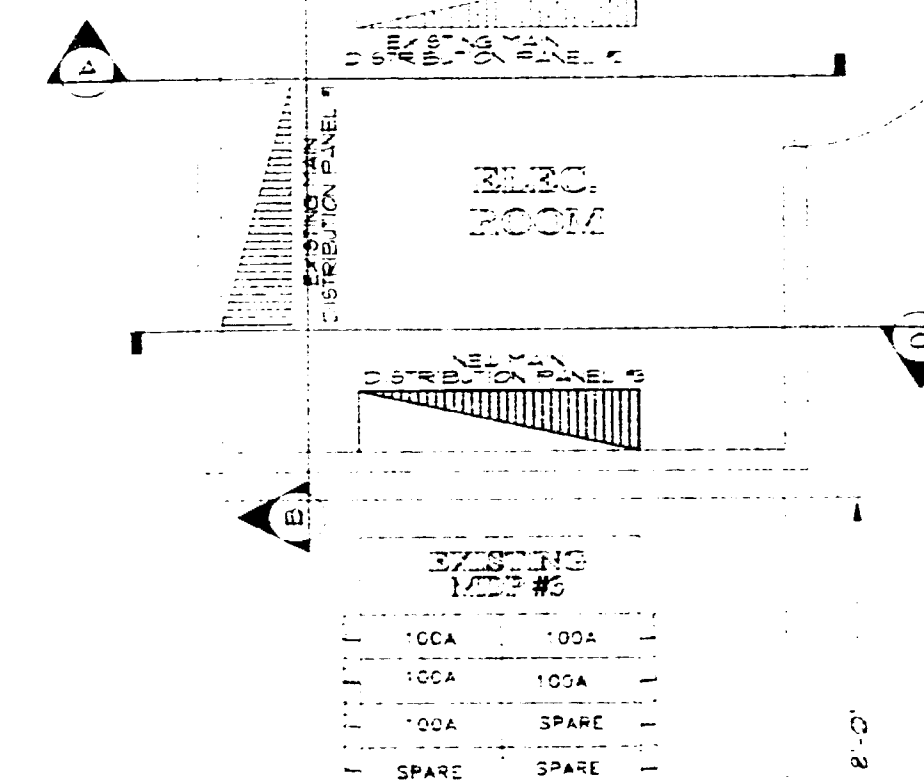
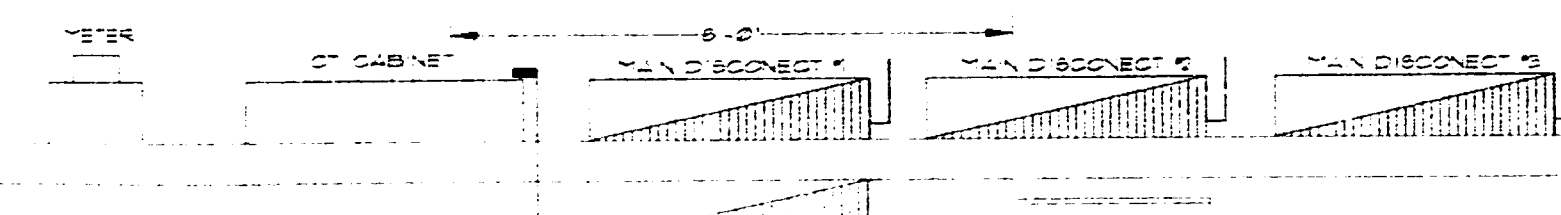
A-3



EXISTING MDP #1

NOT USED	NOT USED
NOT USED	NOT USED
NOT USED	NOT USED
100A	100A
100A	100A
100A	100A

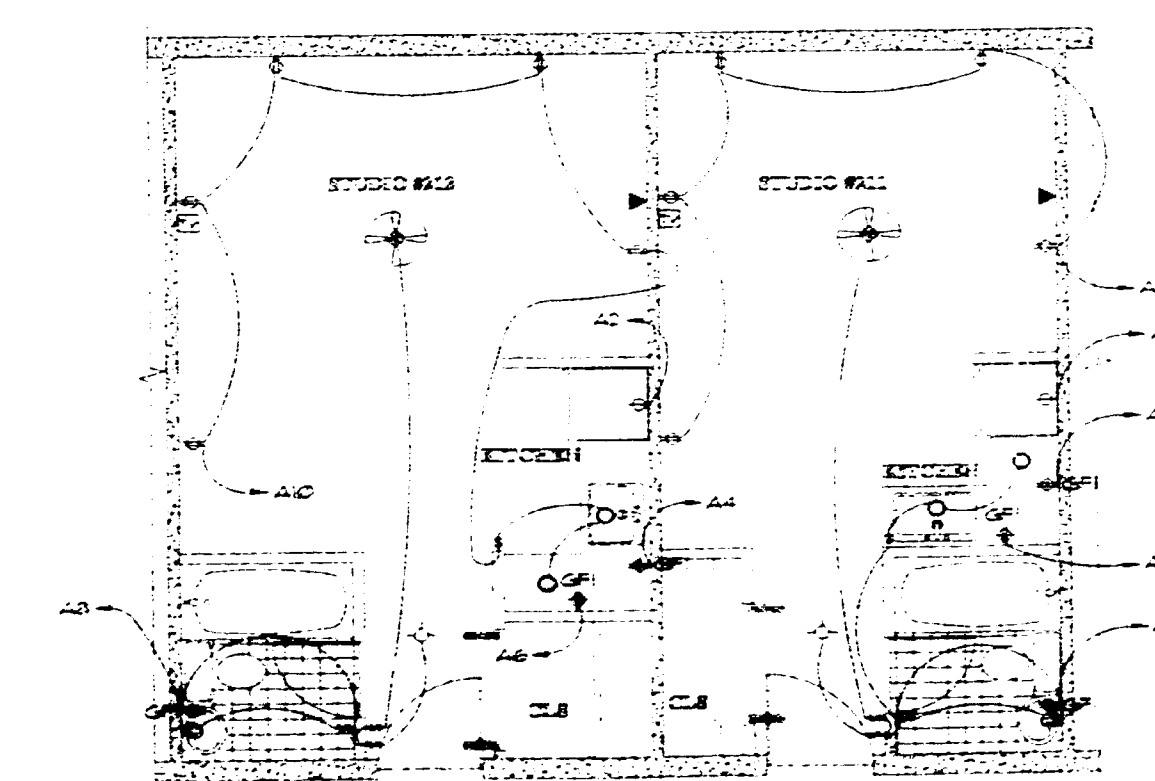
(B) ELEVATION



(C) ELEVATION

ELECTRICAL ROOM PLAN

LOBBY AND GROUND FLOOR PLAN



TYPICAL FLOOR PLAN

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CITY OF MIAMI BEACH
APPROVED FOR PERMIT BY THE FOLLOWING:

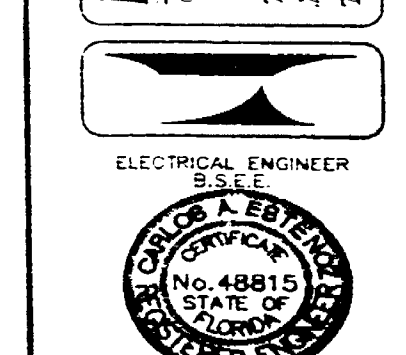
BLDG. NO.	
ZONING	
PERMIT NO.	
DATE	
DESIGNED BY	
CHECKED BY	
APPROVED BY	
DATE	

10/17/96

REVISIONS

PRINCE MICHAEL
2618 COLLINS AVENUE, MIAMI BEACH, FL 33140

HEINZ ENGINEERING INC.
Consulting Engineers
713 East Broward Blvd.
Ft. Lauderdale, Florida 33301
Tel: 305-523-4933 fax: 523-5052



PROJECT NO.	960408
DATE	10-14-96
PLOTTED	10-14-96
DESIGNED BY	INTERNO
CHECKED BY	INTERNO
DATE	
SET NO.	01

E-1

PANELBOARD TYPICAL FOR 2:

RATED VOLTAGE 20 / 25KV 3PH 4W
 RATED AMPERE 250A
 MAIN FID
 BRANCH POLES 4C
 INTERRUPTING RATE 8K

LOCATION - HALL 3AY
 MOUNTING RUSH
 FEEDER CONNECTING SEE SHEET
 FEEDER CONDUIT
 MANUFACTURER CAT NO

NO	DISC NO	DESCRIPTION	3P W/ 4C	WIR TYPE	GROUP TERMIN	RAY	WIR TYPE	3P W/ 4C	WIR TYPE	3P W/ 4C
1	0	MAIN FEEDER	250A	MC	1	1	250A	MC	1	250A
2	0	MAIN FEEDER	250A	MC	1	1	250A	MC	1	250A
3	0	MAIN FEEDER	250A	MC	1	1	250A	MC	1	250A
4	0	MAIN FEEDER	250A	MC	1	1	250A	MC	1	250A
5	0	MAIN FEEDER	250A	MC	1	1	250A	MC	1	250A
6	0	MAIN FEEDER	250A	MC	1	1	250A	MC	1	250A
7	0	MAIN FEEDER	250A	MC	1	1	250A	MC	1	250A
8	0	MAIN FEEDER	250A	MC	1	1	250A	MC	1	250A
9	0	MAIN FEEDER	250A	MC	1	1	250A	MC	1	250A
10	0	MAIN FEEDER	250A	MC	1	1	250A	MC	1	250A
11	0	MAIN FEEDER	250A	MC	1	1	250A	MC	1	250A
12	0	MAIN FEEDER	250A	MC	1	1	250A	MC	1	250A
13	0	MAIN FEEDER	250A	MC	1	1	250A	MC	1	250A
14	0	MAIN FEEDER	250A	MC	1	1	250A	MC	1	250A
15	0	MAIN FEEDER	250A	MC	1	1	250A	MC	1	250A
16	0	MAIN FEEDER	250A	MC	1	1	250A	MC	1	250A
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21	0	MAIN FEEDER	250A	MC	1	1	250A	MC	1	250A
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39	0	MAIN FEEDER	250A	MC	1	1	250A	MC	1	250A
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42	0	MAIN FEEDER	250A	MC	1	1	250A	MC	1	250A
43	0	MAIN FEEDER	250A	MC	1	1	250A	MC	1	250A
44	0	MAIN FEEDER	250A	MC	1	1	250A	MC	1	250A

78 67 54 TOTAL

TOTAL DISC A 78 67 54

D 67 67 54

S 54 54 67 54

TOTAL CONNECTED DISC 3P / 4C 100 100

RED W/ 4C 5C 5C 5C 5C 5C

GROUP DISC 5C 5C 5C 5C 5C

COMPUTED LOAD (TABLE 980-1)

150 20 KVA @ 0.80 = 100K

REMAINER @ 0.80 DISC X 0.10 = 70K

TOTAL COMPUTED LOAD = 150 KVA @ 50 A

NO. DATE RECEIVED

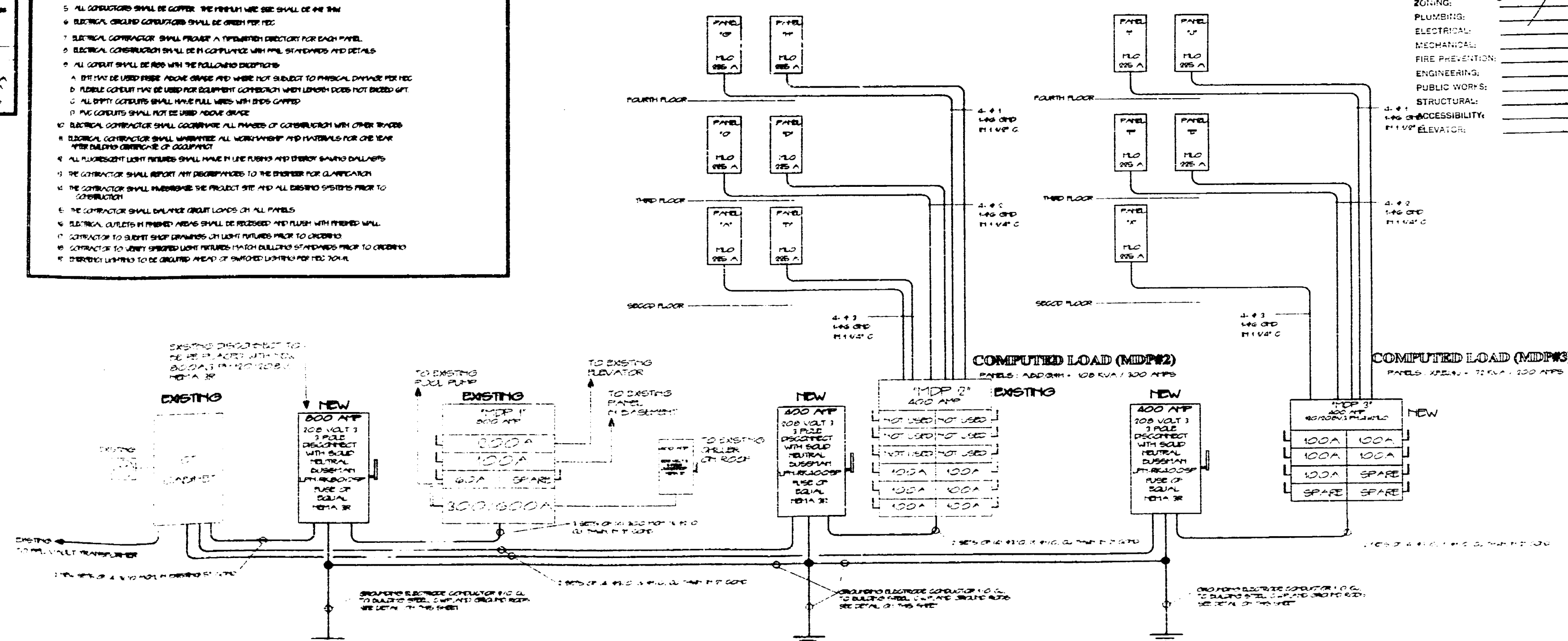
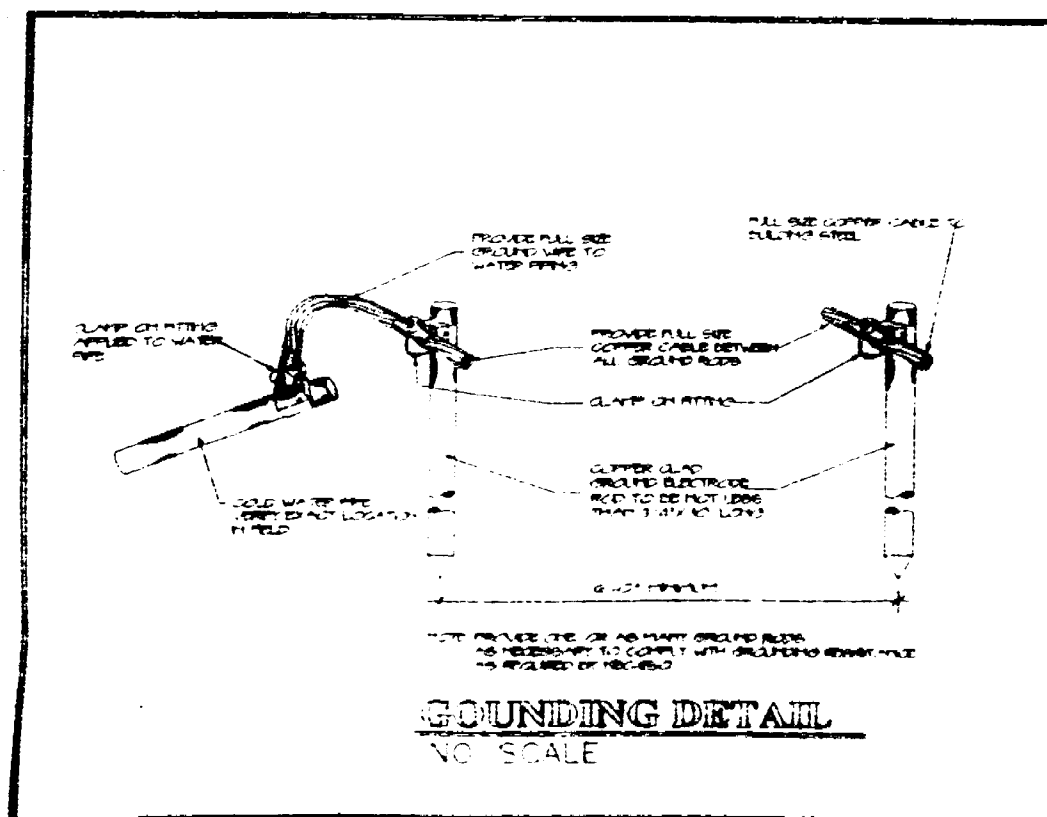
**PRINCE MICHAEL
APARTMENTS**

2618 COLLINS AVE.,
MIAMI BEACH, FLORIDA, 33140

[illegible]

ELECTRICAL SPECIFICATIONS:

1. INSTALLATION SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF NEC, NFPA AND ALL LOCAL AND STATE CODES.
2. ALL MATERIALS SHALL BE USED.
3. ELECTRICAL CONTRACTOR SHALL PROVIDE ALL REQUIRED PERMITS.
4. ELECTRICAL CONTRACTOR SHALL PROVIDE PROTECTIVE PLANTING FOR USE BY ALL TRADES AS REQUIRED FOR CONSTRUCTION AND AS PER SPECIFICATIONS.
5. ALL CONDUITS SHALL BE COPPER. THE MINIMUM SIZE SHALL BE ONE INCH.
6. ELECTRICAL GROUND CONDUITS SHALL BE GREEN FOR NEC.
7. ELECTRICAL CONTRACTOR SHALL PROVIDE A TYPICAL DIRECTORY FOR EACH PANEL.
8. ELECTRICAL CONSTRUCTION SHALL BE IN COMPLIANCE WITH ALL STATE AND LOCALS.
9. ALL CABLES SHALL BE ADD WITH THE FOLLOWING EXCEPTS:
 - A. BIF THAT BE USED PER ADD AND WHERE NOT SUBJECT TO PHYSICAL DAMAGE PER NEC.
 - B. FLEXIBLE CABLE TO BE USED FOR EQUIPMENT CONNECTION WHEN LENGTH DOES NOT EXCEED 6 FT.
 - C. ALL DIFFY CABLES SHALL HAVE FULL WIRES WITH STRIPS GAPPED.
 - D. PVC CABLES SHALL NOT BE USED ABOVE GROUND.
10. ELECTRICAL CONTRACTOR SHALL COORDINATE ALL PHASES OF CONSTRUCTION WITH OTHER TRADES.
11. ELECTRICAL CONTRACTOR SHALL MAINTAIN ALL WORK AREAS AND MATERIALS FOR ONE YEAR AFTER DEDICATION OF OCCUPANCY.
12. ALL PLUMBING LIGHT FIXTURES SHALL HAVE IN LINE FUSERS AND THERMO SAFETY DALLERS.
13. THE CONTRACTOR SHALL REPORT ANY DISCREPANCIES TO THE ORDERER FOR CLARIFICATION.
14. THE CONTRACTOR SHALL MAINTAIN THE PROJECT SITE AND ALL DESIGNED SYSTEMS PRIOR TO COMPLETION.
15. THE CONTRACTOR SHALL DALLANCE GROUND LOADS ON ALL PANELS.
16. ELECTRICAL OUTLETS IN FREQUENT AREAS SHALL BE REDUCED AND FLUSH WITH FINISHED WALL.
17. CONNECTION TO SHORT SHOP DRAWINGS ON LIGHT FIXTURES PRIOR TO ORDERING.
18. CONTRACTOR TO VERIFY SHIPPED LIGHT FIXTURES WITH BULBS/SHOWN/SHOWN PRIOR TO ORDERING.
19. DEDICATED LIGHTING TO BE ORDERED AND OF SHOWN/SHOWN AND OF SHOWN.



ELECTRICAL RISER PLAN: _____ 
NO SCALE

OFFICE COPY
CITY OF MIAMI BEACH

APPROVED FOR PERMIT BY
THE FOLLOWING:

BUILDING: _____
ZONING: _____
PLUMBING: _____
ELECTRICAL: _____
MECHANICAL: _____
FIRE PREVENTION: _____
ENGINEERING: _____
PUBLIC WORKS: _____
STRUCTURAL: _____
ACCESSIBILITY: _____
1/8" & ENLARGED

Henz Engineering Inc.
Consulting Engineers
713 East Broadway Blvd.
P.O. Lauderdale, Florida 33061
Tel: 904-823-9533 Fax: 972-0057 E-mail: 972-4146

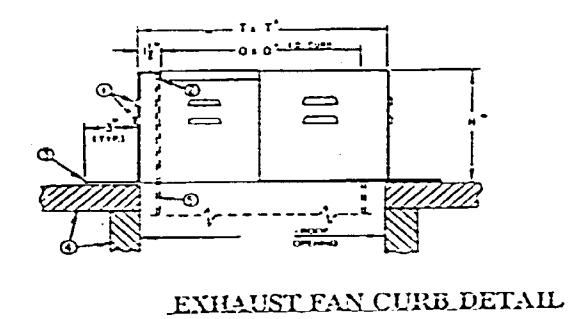
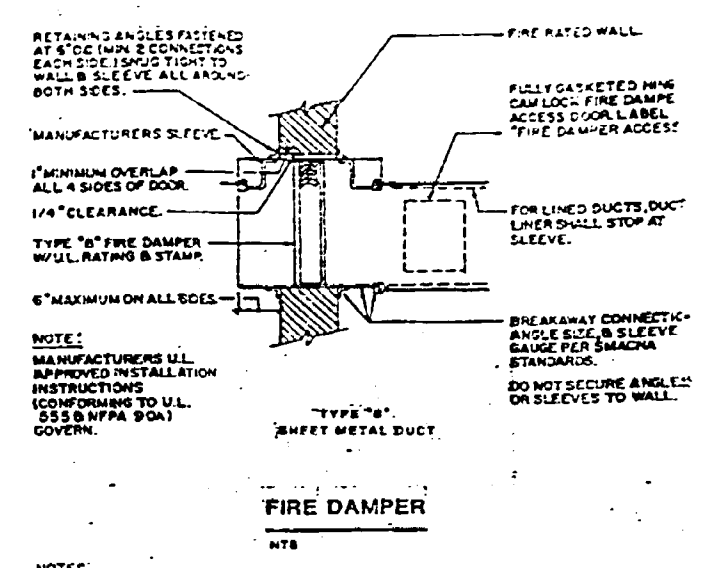
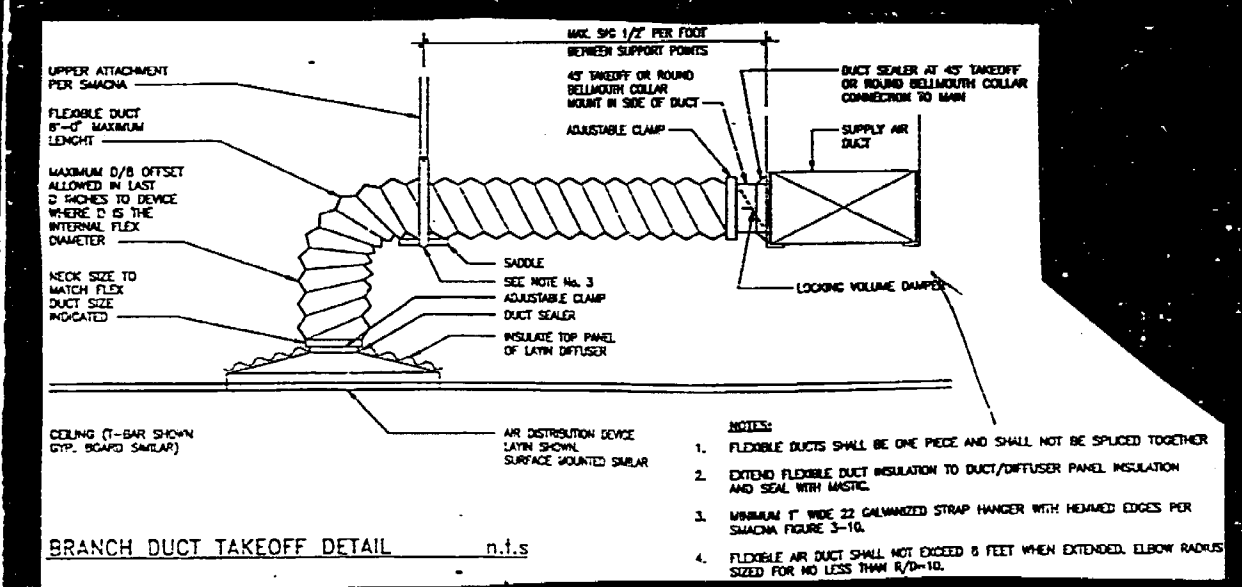
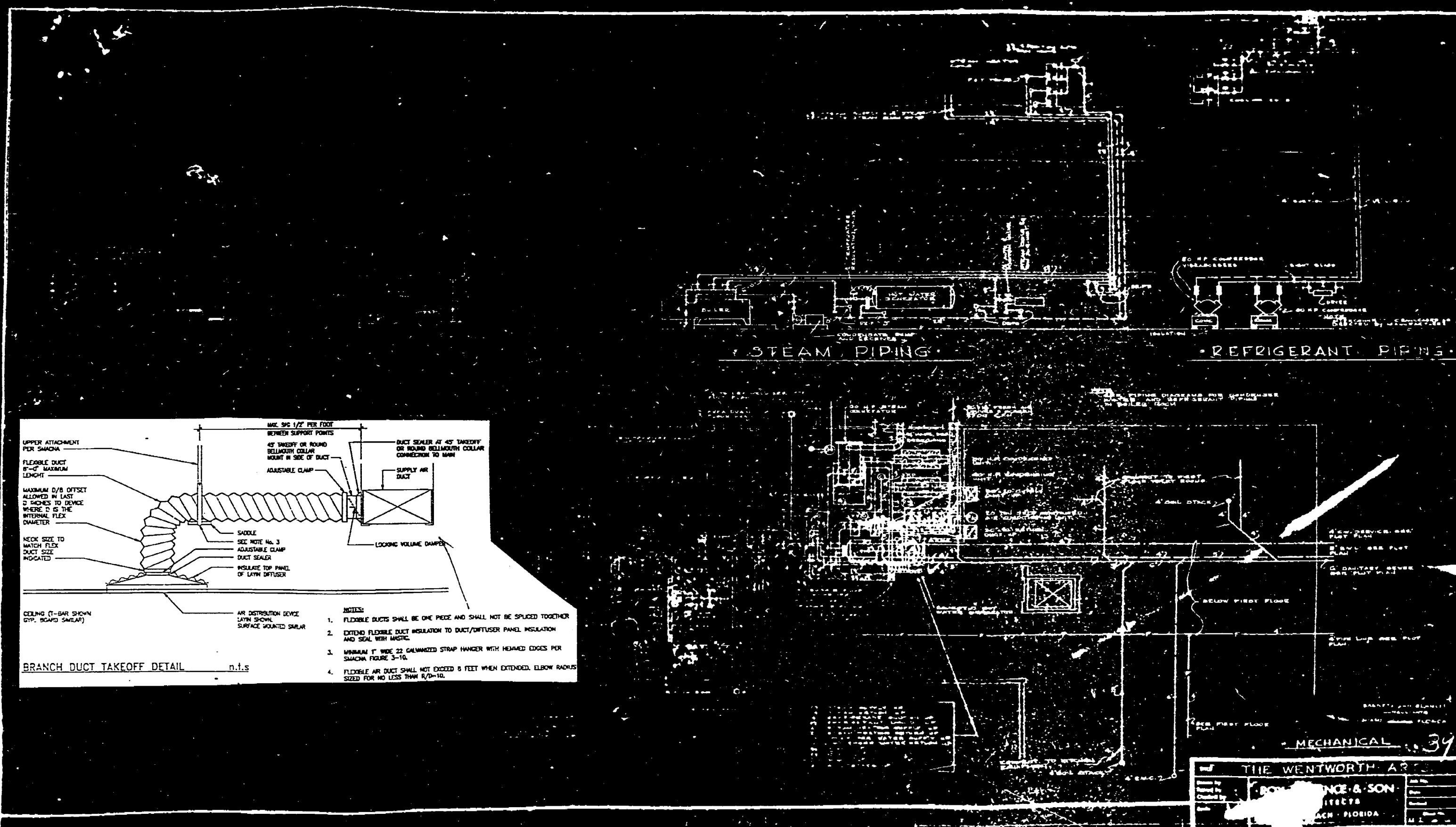
"TO THE BEST OF MY KNOWLEDGE, THE PLANS AND SPECIFICATIONS SUBMITTED HEREWITH COMPLY WITH THE EXISTING INTERPRETATIONS AND PROVISIONS OF THE APPLICABLE BUILDING CODES. THIS DRAWING IS THE PROPERTY OF HENZ ENGINEERING, INC. AND IS AN INSTRUMENT OF SERVICE, NOT TO BE REPRODUCED IN WHOLE OR IN PART, WITHOUT THE EXPRESS WRITTEN PERMISSION OF SAME."

ELECTRICAL ENGINEER
BSEE

CARLOS A. ESTENOZ
 CERTIFICATE
 No. 48815
 STATE OF
 FLORIDA
 REGISTERED ENGINEER

DESIGNED BY:	RETHNO
CHECKED BY:	RETHNO
DATE:	08-26-9
PROJECT NO.:	9080.0
DRAWING NO.	

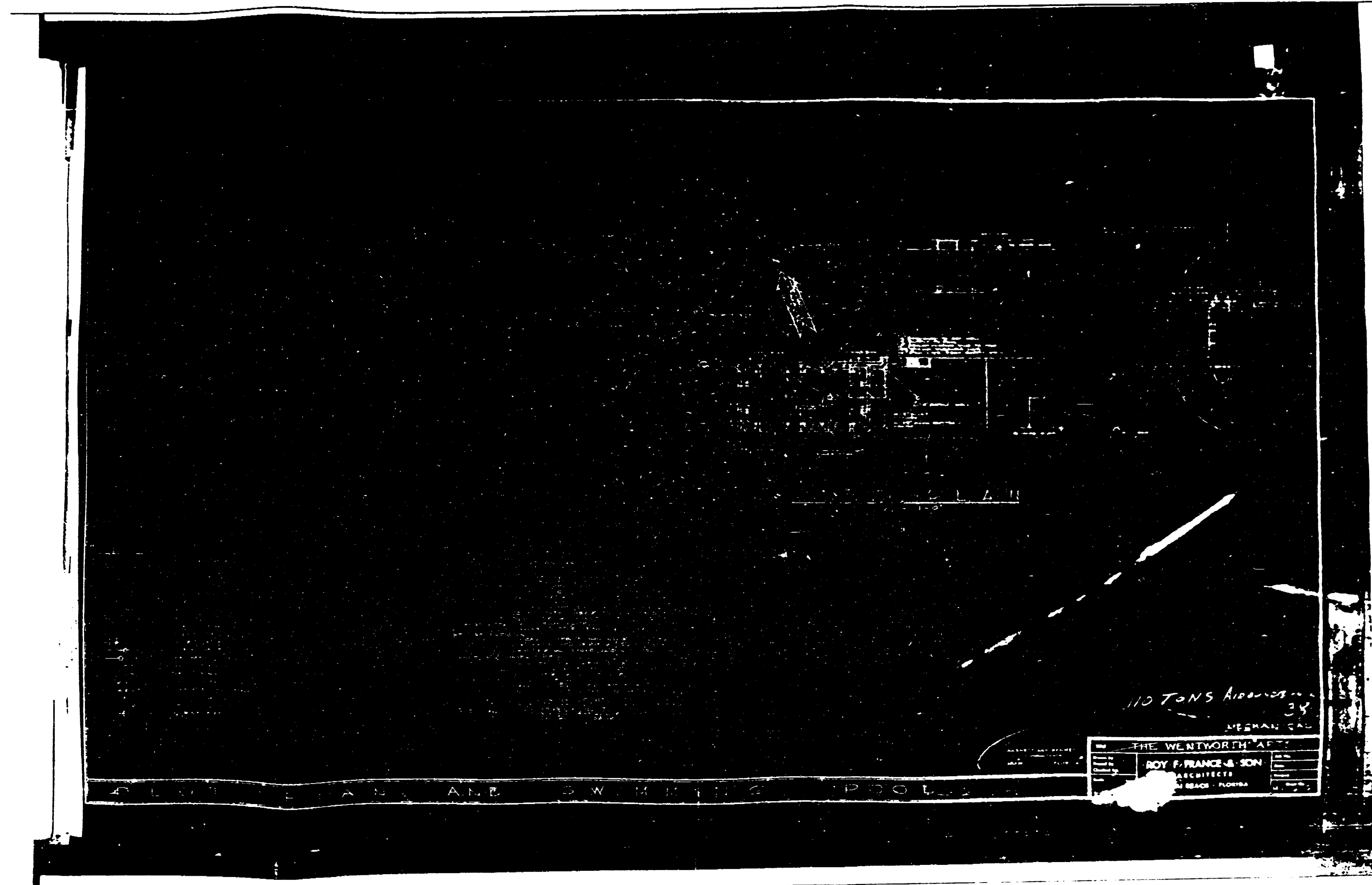
E-3



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BUILDING	
ZONING	
PLUMBING	
ELECTRICAL	
MECHANICAL	
FIRE PREVENTION	
ENGINEERING	
PUBLIC WORKS	
STRUCTURAL	
ACCESSIBILITY	
ELEVATION	



PHOTOCOPY
CITY OF MIAMI BEACH
APPROVED FOR PERMIT BY
THE FOLLOWING:

BUILDING	_____
PLUMBING	_____
ELECTRICAL	_____
Mechanical	_____
Fire Protection	_____
Engineering	_____
Public Works	_____
Structural	_____
Accessories	_____
ELEVATOR	_____

110 TONS AIR CONDITIONING
33
MECHANICAL
THE WENTWORTH APARTMENTS
BOY F. FRANCIS & SON
ARCHITECTS
MIAMI BEACH - FLORIDA

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BMS 70173