

BEFORE THE BOARD OF ADJUSTMENT
CITY OF MIAMI BEACH, FLORIDA

FILE NO. ZBA22-0143

IN RE: APPEAL OF THE PLANNING
DIRECTOR'S NOVEMBER 15, 2022
ADMINISTRATIVE DETERMINATION
REGARDING 153 COLLINS AVENUE
AND 157 COLLINS AVENUE

**APPELLANT 125 COLLINS, LLC'S REPLY TO APPELLEE
CITY OF MIAMI BEACH AND 157 COLLINS AVE LLC'S RESPONSES**

The Determination violates the essential requirements of the City of Miami Beach Code ("Code")¹ and other law, is not based on competent substantial evidence, and violates due process. This is a situation where two property owners' rights have been impacted by the issuance of the Determination but the rights of only one owner – the 157 Parcel owner – were considered, while the rights of the second owner – the Strip owner – were completely disregarded and, ultimately, eviscerated.

The City has erred both in the issuance of the Determination and in its Response. It misconstrued the definition of legal building site, it ignored whether a

¹ The Code referenced throughout is that version which was in effect as of the issuance of the Determination unless otherwise noted. All capitalized terms not defined herein shall have the meaning ascribed to them in Appellant's Petition for Administrative Appeal to Board of Adjustment.

legal lot was established for said building, it overlooked the omission of the Strip from any permit documentation for the 157 Parcel - including the absence of the owner's consent, and the City disregarded relevant evidence regarding the Strip's prior approvals, its unification to other lots through board orders and covenants, and agreements between the parties. Likewise, the 157 Parcel owner's Response is misleading and chooses not to acknowledge known facts that contribute to the rights of the respective property owners and the agreements made between them.

Most importantly, the City and the 157 Parcel owner failed to acknowledge that the Strip is part of a separate platted lot under separate ownership, and authority was never granted to either the City or the 157 Parcel owner that would allow it to be considered a part of the 157 Parcel or for the City to issue the Determination. To affirm the Determination would yield a deprivation of property rights for the Strip owner and yield an absurd result that would impact all property owners within City jurisdiction.

I. In Order to Have a Building Site, There Must First Be an Underlying Legal Development Site.

A. Mere construction activity does not create a legal building site.

Respondents argue that a building site is created for zoning and land development regulatory purposes whenever mere construction activity occurs. [157 Resp. at 16-17; City Resp. 6-7]. The 157 Parcel owner even specifically states that *illegal* unpermitted construction suffices to create a legally recognized building

site. [157 Resp. at 16-17]. In support of that argument, the 157 Parcel owner provides citation to an out-of-context and irrelevant code snip from a different city in Florida. [157 Resp. at 17]. Respondents' interpretation is unsupported by a plain reading of the Code and, if implemented by the City in earnest, would yield an absurd result insofar as it would deprive property owners of their legal rights and authorize illegal encroachments such as those at issue in this case.

For example, under Respondents' rationale, a property owner could construct an unpermitted "Trojan Horse" building appendage that extends onto its neighbor's property without that neighbor's express consent and then claim the two properties have become one "building site" such that all future development at the encroached-upon property now requires the encroacher's consent (until such time that any Code Enforcement action for the illegal construction concludes, assuming the City even chooses to prosecute the illegal unpermitted construction in the first place). In other words, under the 157 Parcel owner's theory, encroachers could effectively hold their neighbors hostage by "zoning capture."

The correct interpretation of the Code is that a building site (including the legal obligations and privileges associated therewith) is created for zoning and land development regulatory purposes only when there is *legal* development as provided by valid government permitting. *See McKibben v. Mallory*, 293 So.2d 48 (Fla.1974) (Construction of a statute which would lead to an absurd result should

be avoided). *See* Section 114-4 of the Code (“No building shall be erected, converted, enlarged, reconstructed, moved or structurally altered without approval of the planning and zoning director and the building official.”).

B. Where a building site includes multiple lots, a unity of control covenant is required contemporaneous with building permitting and *before* a building site can be created.

The Code states that all applications for building permits proposing development across multiple lots “shall” be accompanied by a unity of control covenant – specifically, a “unity of title” where there is only one owner of the multiple lots, or a “covenant in lieu of unity of title” where there are multiple owners of the multiple lots. *See* Section 118-5 of the Code. Such unity of control covenants serve to document and memorialize the owner(s) intent to bind the various underlying lots together for zoning and land development purposes as part of a unified development site and, accordingly, a building site. *Id.*

The Determination and Responses focus myopically on the Code definition of “building site” and in doing so obfuscate the wider zoning regulatory framework. Specifically, where legal development occurs on a single lot, that lot is the “building site”; but where development occurs over multiple lots, the Code requires that a unified development site must first be effectuated by covenant *before* development can occur (and thus *before* the building site can be legally established). This concept is not only law, it is common sense. Without such a

framework in place, the fact pattern now playing out in the instant case would occur regularly at the complete disregard of the most basic land development and subdivision regulations.

Tellingly, in the instant case, there is no unity of control covenant binding the 157 Parcel with the Strip as a unified development site. Similarly, there is no easement and operating agreement in place between the 157 Parcel and the Strip, as would be required by a covenant in lieu of unity of title where there are multiple owners. *See* Section 118-5(2)(e) of the Code. Such an easement and operating agreement is required to address cross-access, shared roadways and ingress/egress, maintenance of common elements, and a very wide array of other similar subject matter. *Id.*

In fact, the record demonstrates that the Strip was already joined to other properties by a unity of control covenant when the encroachments were “approved” and constructed. The Strip remains subject to that unity of control covenant today and is bound to a different building site and unified development site. That unity of control covenant and other related recorded City approvals are discussed in greater detail in sections further below.

C. The Strip was not subject to the 1990’s building permits for the 157 Parcel.

Permits create significant rights and obligations that attach to property. It follows that permitting activity must be expressly authorized by the underlying

property owner(s). Permitting application materials must also precisely describe the property that is subject to the permitting.

The City's confirms in its Response that the Determination is based solely and entirely on the Planning Director's review of the following evidence:

1. 1994 Building Permit plans B9400397 entitled "Renovations for Big Pink";² and
2. 1998 Building Permit plans B9801070 entitled "Interior Renovations for Ted's Hideaway".³

The City says that the evidence "clearly and unambiguously" identifies the 157 Parcel and Strip as the subject property of that permitting. [City Resp. at 7]. However, a close examination of the permit records necessitates the opposite conclusion. Specifically, the permit records conspicuously omit the Strip⁴ throughout, as follows:

² See Composite Exhibit "A".

³ See Composite Exhibit "B".

⁴ For reference, the Strip is identified by Folio no. 02-4204-003-0290, its address is 153 Collins Avenue, and its legal description is: the North ½ of Lot 15, Block 2, of "Ocean Beach, Fla.," according to the plat thereof as recorded in Plat Book 2, Page 38, of the Public Records of Miami-Dade County, Florida.

1994 Building Permit plans B9400397, entitled "Renovations for Big Pink"

Legal Description:

Included in signed/sealed Sheet A-0 Cover Sheet and stated as Lot 16, Block 2.

(does not include Strip).

LEGAL DESCRIPTION

LOT 16, BLOCK 2, OCEAN BEACH, FLORIDA SUBDIVISION,
RECORDED IN PLAT BOOK 2 AT PAGE 38 OF THE
PUBLIC RECORDS OF DADE COUNTY, FLORIDA

AREA OF LOT IS 6500 SQ. FT. OR 0.149 AC. ±

Address:

Included in Sheet A-0 Cover Sheet and stated as 157 Collins Avenue, Miami Beach Florida.

(does not include Strip).

Renovations to:

BIG PINK

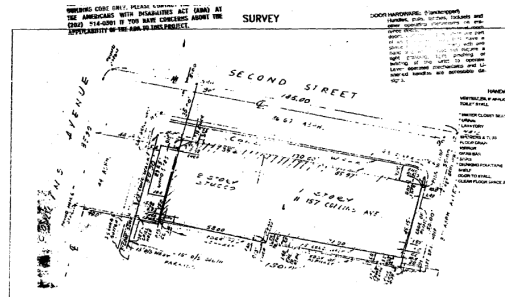
157 Collins Avenue

LIST OF DRAWINGS

Survey:

Included in Sheet A-0 Cover Sheet

(does not include Strip).

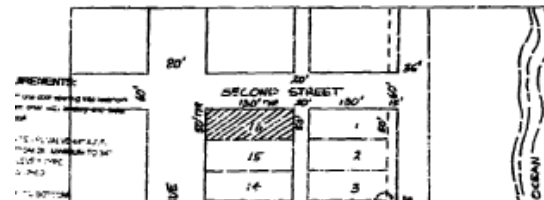


Location Map:

Included in Sheet A-0 Cover Sheet

(does not include Strip).

LOCATION MAP



Owners Affidavit:

Submitted April 18, 1995, includes the legal description for 157 Collins - Lot 16, Block 2.

(does not include Strip).

LAWRENCE F KAINE

party described as:

ADDRESS: **157 COLLINS AVE**

LOT: **16** BLOCK: **2** SUBDIVISION: **OCEAN BEACH**

authorizes

Inspection Report:

Inspected August 25, 1995 - only includes 157 Collins Ave as Project location.

(does not include Strip).

PROJECT:

157 Collins Ave
Miami Beach, FL

Notice of Commencement:

Description of property where improvements were being made only include legal description for the 157 Collins property - Lot 16, Block 2.

(does not include Strip).

Description of Property: Lot 16, Block 2, Ocean Beach, Florida, according to the Plat thereof, recorded in Plat Book 2, at Page 38 of the Public Records of Dade County, Florida also known as 157 Collins Avenue, Miami Beach, Florida 33139

1998 Building Permit plans B9801070, entitled “Interior Renovations for Ted’s Hideaway”

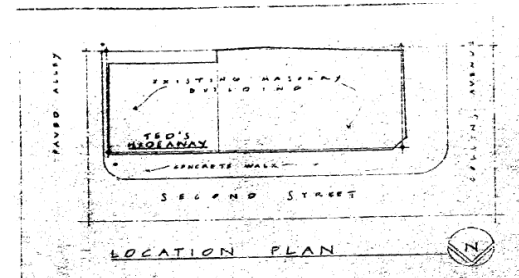
Application:

only states the address as 126 2nd Street
(does not include Strip)

IF SUBSIDIARY OR REVISION PROVIDE MASTER
LOCATION OF IMPROVEMENT
Job Address: 126 2nd STREET
Folio No.: 38
Lot: _____

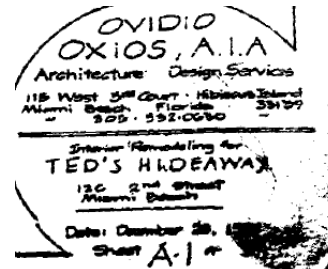
Location Plan

only includes 157 Collins and labels Ted’s Hideaway. Specifically delineates separation between 157 Collins and the Strip.
(does not include Strip)



Address:

On bottom right corner of each plan sheet states 126 2nd Street.
(does not include Strip)



Receipt for Building Work Permit only reference site address as 157 Collins Av and parcel #42030030300.
(does not include Strip).

Activity Number: B9801070
Status: CLOSED Issued By: BUILALAA
Site Address: 157 COLLINS AV MBCH
Parcel #: 42030030300 App

Notice of Commencement includes the legal description for the property address 124 2nd Street as Lot 16, Block 2. The description of improvement also only states “Interior Remodeling.”
(does not include Strip).

Legal description of property and street address: 124 2nd STREET MIA
LOT 16 BLOCK 2 OCEAN BEACH TR 2 P 38
Description of improvement: INTERIOR REMODELING

BP980583 Receipt for grease trap installation sub-permit Site Address: 157 Collins and parcel #42030030300.
(does not include Strip).

Activity Number: BP980583
is: FINAL Issued By: BUILRODR
Site Address: 157 COLLINS AV MBCH
Parcel #: 42030030300 Appro

The City cannot point to express written authorization by the then-owner of the Strip allowing any permit work affecting the Strip (because it does not exist). Instead, the permit documents that the City says it is exclusively relying upon clearly and repeatedly demonstrate express legal owner authorization for development only at the 157 Parcel. Accordingly, the Strip cannot be part of any legal building site with the 157 Parcel.

A permit may not be issued for any building construction, erection, alteration, modification, repair, or addition unless the applicant for such permit complies with the requirements for plan review established within the Florida Building Code. *See* §553.79(8), Fla. Stat. (2023). It is unlawful for any person to construct, erect, alter, repair, secure, or demolish any building without first obtaining a permit from the appropriate board issuing authority. The issuing authority is also empowered to revoke any such permit upon a determination by the authority that the construction, erection, alteration, repair, securing, or demolition of the building for which the permit was issued is in violation of or not in conformity with the building code or the fire code. § 553.79(1), Fla. Stat. (2023).⁵

The 1990's permits are clearly defective and should be revoked by the City, at least to the extent that they affect or rely upon the Strip. *O. P. Corp. v. Lewis*,

⁵ In addition to public safety, permitting is also a means of keeping the tax assessor aware of improvements to property. When improvements are completed, the tax assessor is notified so that the real property taxes may be adjusted as appropriate.

373 So. 2d 929, 930 (Fla. 4th DCA 1979) (finding building permit revocation is warranted where there are material misrepresentations by applicant regardless of intent); *Dade County v. Gayer*, 388 So.2d 1292 (Fla. 3d DCA 1980) (a governmental entity may not be estopped from the enforcement of its ordinances by an illegally issued permit). The 157 Parcel owner did not include, nor did it have the authority to include, the Strip. Therefore, the 157 Parcel owner must relocate its grease trap and rethink its access plan. Such a result is consistent with basic principles of equity which demand that encroachments must be removed and any defects with the 157 Parcel's permitting impact only the 157 Parcel, not its neighbors.

Rather than address the problems with the 1990's building permitting head on, the City instead attempts to take cover and rely on partially illegible and otherwise dubious plans sheets with missing information, as well as its own divining of the then-owners' subjective intent, to reach the conclusion that the two properties are now a single building site. [City Resp. at 8]. Specifically, the City states that because certain plans sheets within the 1990 building permit files appear to show access to and encroachments upon the Strip, that the then-owner of the Strip intended to burden both properties as a single building site. [City Resp. at 1]. The City's desire to find justification is not based in reality. The City cannot glean any intent on behalf of the Strip owner given the complete absence of references to

the Strip's address, legal description, parcel number, or location, or any authorization by its owner in any permit application or plans submitted by the 157 Parcel owner.

Again, the plans sheets referenced by the City state on their face that they are limited to the 157 Parcel only.⁶ Those plan sheets are self-described as “renovations” and “interior remodeling” to the existing building at the 157 Parcel (not an expansion to the adjacent Strip).⁷ Moreover, the Planning Director is not authorized to infer the subjective intent of the prior owner or unilaterally reform the building permit documents to correct errors of the past when determining whether a legal building site was created. He must objectively base his findings on competent substantial evidence in the record. *First Baptist Church v. Miami-Dade Cty.*, 768 So. 2d 1114, 1116 (Fla. 3d DCA 2000) (“flawed” and “erroneous” staff recommendations are “invalid” and “d[o] not constitute competent evidence”). Such objectivity is also a hallmark of fair, impartial adjudication. *See Charlotte Cty v. IMC Phosphates Co.*, 824 So.2d 298 (Fla. 1st DCA 2002) (impartial decision-maker is basic component of minimum due process).

The City's conclusion in the Determination that the Strip became part of a building site with the 157 Parcel by virtue of the faulty 1990's permitting manifests

⁶ See Composite Exhibits “A” and “B”.

⁷ *Id.*

a convenient end for the City without Code or other legal justification and should be rejected. Government decisions must be based on law, and,

[t]he [courts] . . . will not and cannot approve a zoning regulation-or any governmental action adversely affecting the rights of others-which is based on no more than the fact that those who support it have the power to work their will.

Debes v. City of Key West, 690 So. 2d 700, 702-03 (Fla. 3d DCA 1997) (citation omitted). *See also Grabba-Leaf, LLC v. Dep't of Bus. & Prof'l Regulation*, 257 So. 3d 1205 (Fla. 1st DCA 2018) ("Agency interpretations and applications must comport with the laws they are carrying out. And if they cannot be squared with the laws, their interpretations and applications must give way.").

One alternative explanation for the City's issuance of the 1990's building permits to only the 157 Parcel, notwithstanding possible encroachments on the Strip, is that the then-City staff perceived those encroachments as mere devices that could be removed or relocated whenever necessary. However, this theory assumes that the City was aware that the encroachments were occurring notwithstanding that the permits identified only the 157 Parcel as the subject property. In any case, Appellant hereby reiterates its position from the initial Petition: limited temporary or moveable items should not, in fairness, automatically establish a new "building site." A "building site" must be based on the relevant permit history and land use board approval history for all the properties subject to the building site. It should

not be the case that one neighbor be permitted to lay regulatory claim to another's property simply by installing a grease trap or using a walkway.

II. An Action By the Planning Director Must Consider All Substantial Competent Evidence.

A. The City continues to ignore relevant evidence.

The City admits in its Response that the Determination was based solely on the two 1990's building permits and reiterates that the City refuses to consider other evidence, as follows:

The analysis in the Determination is limited to the Strip and the 157 Collins Parcel. Appellant introduces additional evidence that suggests that a larger building site may exist, composed of the 157 Collins Parcel, the Strip and the lots to the south of the Strip. This exceeds the scope of the Determination. . . ." [City Resp. at 6].

The City's refusal to meaningfully consider evidence demonstrating that the Strip is already part of a separate development and building site is not only improper from an evidentiary perspective, but is also disingenuous given that the Determination states on its face that such evidence (or presumed lack thereof) was a central rationale for the Determination, as follows:

As more specifically noted herein, it appears that the Strip is not currently part of a unified development site or single building site with properties to the south. [Determination at 1-2].

The City cannot have it both ways.

As a matter of law, the Determination must be based on a meaningful and objective review of the available competent substantial evidence. *First Baptist Church*, 768 So. 2d 1114. The City cannot ignore evidence simply because that evidence contradicts the conclusion reached in the Determination. *Id.*; *IMC Phosphates Co.*, 824 So.2d 298. The Code even specifically requires the City's Land Development Regulations to be read, where possible, in harmony with "any easements covenants, or other agreements between parties," as follows:

It is not intended by these land development regulations to interfere with or abrogate or annul any easements, covenants, or other agreements between parties, or to repeal any provisions of the City Code. Where the regulations imposed by these land development regulations are more restrictive than those imposed by any other ordinances, rules, regulations, easements, covenants or agreements, then these land development regulations shall supersede them; however, when any of the above are more restrictive than this subpart, then the more restrictive provision shall govern to the extent necessary to give effect to its provisions.

See Section 114-2(b) of the Code. By focusing myopically only on the mere existence of 1990's building permits for the 157 Parcel to the exclusion of all other available evidence, the City has disregarded the law. *Id.* The Determination must be rescinded, and the Planning Director must consider all of the relevant evidence.

B. The City must consider the zoning approval, recorded covenant, and building permit history of the Strip

As referenced above and set forth in greater detail in the Petition, the Strip is already part of another building site and development site. Specifically, the Strip is subject to a zoning covenant recorded in connection with approval of three Board of Adjustment (“BOA”) applications for variances to permit the development of a proposed parking facility.⁸ Those BOA orders require as a condition that the lots (which include the Strip) “shall be combined ... through a covenant running with the land.” *See e.g.*, Condition 3 of Board of Adjustment Order under File No. 2083-B recorded in Miami-Dade County public records at Book 14864, Page 720.

The recorded covenant contains that same unification language. *See* Pages 1-2 of the Declaration recorded in Miami-Dade County Public Records at Official Records Book 14864, Page 725.⁹ Indeed, the Code at the time required a unity of control covenant. *See* Section 7-3 of the City’s 1989 zoning ordinance.¹⁰ Simply put, the Strip is not just an isolated piece of property – it was part of the BOA approvals for another project and is still recognized as part of a larger building site and unified development site by virtue of a recorded covenant running with the land for zoning purposes.

⁸ *See* Composite Exhibit “C”.

⁹ *See* Exhibit “D”.

¹⁰ *See* Exhibit “E”.

Below is a summary of the key evidence in this case arranged chronologically. The City says it will ignore everything except the items in **bold**.

<u>DATE</u>	<u>DOCUMENT</u>	<u>DESCRIPTION</u>
Meeting: 11/2/1990 Signed: 1/17/1991 Recorded: 1/17/1991	File No. 2081-B recorded in Official Records Book 14864 at Page 722 of the Public Records of Miami-Dade County, Florida. <i>See</i> Exhibit “C-1”.	Board of Adjustment order
Meeting: 11/2/1990 Signed: 1/17/1991 Recorded: 1/17/91	File No. 2082-B recorded in Official Records Book 14864 at Page 719 of the Public Records of Miami-Dade County, Florida. <i>See</i> Exhibit “C-2”.	Board of Adjustment order
Meeting: 11/2/1990 Signed: 1/17/1991 Recorded: 1/17/1991	File No. 2083-B recorded in Official Records Book 14864 at Page 716 of the Public Records of Miami-Dade County, Florida. <i>See</i> Exhibit “C-3”.	Board of Adjustment order
Signed: 12/7/1990 Recorded: 1/17/1991	Covenant Running With the Land, recorded in Official Records Book 14864 at Page 725 of the Public Records of Miami-Dade County, Florida. <i>See</i> Exhibit “D”.	Parking facilities / Unity of Title
Approved: 9/6/1994	Process No.: B9400397 <i>See</i> Exhibit “A”.	Renovations to Big Pink permit
Approved: 2/10/1998 Approved: 3/13/1998	Process No.: B9801070 <i>See</i> Exhibit “B”. Process No.: BP98053	Interior Remodeling for Ted’s Hideaway

	See Exhibit “B-5”.	Grease trap sub-permit
Approved 2014	Process No. B1405045 See Exhibit “F”.	Big Pink Building Concrete Repair *Originally Cover sheet stated “151 Collins” received 7/10/14 but was replaced with “157 Collins” received on 7/21/14; all information provided on the permit documents indicate that the “151” reference was in fact a typographical error.

There are two properties subject to the Determination – the 157 Parcel and the Strip. The City cannot consider only the 157 Parcel’s building permit and land use approval history. It must also consider the Strip’s. Substantial competent evidence is evidence that establishes “a substantial basis of fact from which the fact at issue can be reasonably inferred.” *DeGroot v. Sheffield*, 95 So. 2d 912, 916 (Fla. 1957). It is “such relevant evidence as a reasonable mind would accept as adequate to support a conclusion.” *Id.* The Planning Director’s overt unwillingness to review the Strip’s zoning history, the recorded covenant, or permitting file means that he did not form a reasonable basis of fact to support his conclusions or the Determination that rested on them. *Id.* The City refutes the “other evidence”

(which it also says it will not consider as part of the Determination) merely because that evidence undermines the Determination. Specifically, the other evidence demonstrates that the Strip is already part of another building site and unified development site.

The effect of the Covenant is that the Appellant's Property is considered part of a unified building site under single ownership. Importantly, the Covenant shall be construed as a unity of title for the parking use pursuant to Section 7-3.B of the 1989 Zoning Code.¹¹ Moreover, as explicitly stated in the Covenant, no portion of the Appellant's Property may be encumbered in any way unless the Covenant is terminated by the Appellant upon written consent from the City, which has not occurred.

C. The City must consider the private agreements between the parties.

Because the City failed to notify or otherwise solicit input from Appellant prior to issuing the Determination as discussed in the section below, the City was not aware of relevant private agreements between the parties when formulating the Determination. When Appellant alluded to such agreements in the instant Appeal, the City responded that such evidence is irrelevant. The Code specifically requires the City's Land Development Regulations to be interpreted, where possible, in harmony with "any easements, covenants, or other agreements between parties . .

¹¹ See "Exhibit E".

.” (emphasis added). Section 114-2(b) of the Code. In no uncertain terms, the Planning Director was obliged to consider additional information.

As set forth in the Petition, the 157 Parcel owner signed an agreement when it purchased the 157 Parcel expressly acknowledging that the sale of the property did not include any right, easement, or license to use the Strip. This agreement served to confirm that 157 Parcel owner, who remains the owner of the 157 Parcel, did not have a right of ingress, egress, or any other authorization to use the Strip other than through a lease of that parcel. *See* handwritten agreement in addendum to the deed recorded in Miami-Dade County Public Records at Official Records Book 26460, Page 1553.¹²

While this is a private agreement, it further evinces that the parties understood that control of the Strip is exclusively held by Appellant, and thus demonstrates that 157 Parcel owner acted in bad faith when it sought the Determination from the City. This duplicitous behavior is further supported by the 157 Parcel owner communicating in writing to the Strip owner on August 17, 2022 that the 157 Parcel owner had no need to utilize the Strip.¹³ On August 18, 2022, the representative for the Strip owner acknowledged the 157 Parcel owner's request to terminate the lease for the Strip and advised that a fence would be erected in the

¹² *See* “Exhibit “G”.

¹³ *See* “Exhibit “H”.

future.¹⁴ Then, on September 8, 2022 the 157 Parcel owner’s representatives claimed in the Determination request letter to the Planning Director that access to the Strip by the 157 Parcel owner is “necessary.” *See* Letter from Stroock & Stroock & Lavan LLP to Planning Director Dated September 8, 2022.¹⁵

This statement is not true. The 157 Parcel owner advised the Strip owner that, while the 157 Parcel owner’s lease of the Strip had “enabled my restaurant Big Pink to keep a large trash compactor/dumpster and storage facility on [the Strip] . . . [s]everal years ago, I relocated the dumpsters and storage facility onto [the 157 Parcel],” and the 157 Parcel owner further advised “I wish to terminate the lease” for the Strip. *See* Correspondence dated August 17, 2022.¹⁶ This written request of termination of the lease agreement is direct evidence to the fact that the 157 Parcel owner does not consider the Strip part of its building site.

The City ignores the additional evidence, and the 157 Parcel owner’s bad faith because, again, the evidence undermines the Determination. Specifically, the additional evidence demonstrates that the Strip (1) is already part of another building site and unified development site, and (2) is not, nor has it ever, been considered a part of the 157 Parcel building site.

III. The Determination was issued *Ultra Vires* and violates due process.

¹⁴ *See* “Exhibit ‘I’”

¹⁵ *See* “Exhibit ‘J’”.

¹⁶ *See* “Exhibit ‘H’”.

A. The Determination is not a legal enforcement action, but rather an illegal advisory opinion.

The Code does not permit the Planning Director to issue advisory opinions or unilaterally adjudicate property rights of an individual property owner, much less at the request of a third party and without notice to the subject property owner. Here, the Determination did all of those things in violation of the law and due process and should be rescinded or voided. *Corona Properties of Florida, Inc. v. Monroe Cnty.*, 485 So. 2d 1314 (Fla. 3d DCA 1986) (finding a zoning official's vested rights determination letter to be *ultra vires* and void where no express code authority was granted to zoning official to issue such letters); *See also Ammons v. Okeechobee Cnty.*, 710 So. 2d 641, 644 (Fla. 4th DCA 1998) (finding that county properly revoked unlawfully issued occupational license that was issued in reliance on a letter from zoning official that "was completely unauthorized and in violation of the legislative direction through the county's ordinances.").

The Code empowers the City's planning division (among others) to "enforce the provisions of [the City's] land development regulations" *See* Section 114-7 of the Code. Within that context, the Planning Director or his designee may refuse to approve applications for permits that would violate the land development regulations. *Id.* The Planning Director may also assist with "putting an end" to violations of the land development regulations by working with the City's Code Compliance department. *Id.* Consistent with the foregoing delegation of authority,

the Code provides specific scenarios under which the Planning Director may issue “determinations,” including for nonconforming uses, outdoor entertainment establishments, removal of parking spaces, accessory uses, supplementary yard regulations, and various other unique subject matter. *See* Sections 142-136, 118-397, 130-35, and 142-1131 of the Code.

The Code does not empower the Planning Director to issue “building site” determinations such as the one made here. Moreover, the Determination did not arise from a land development application before the City, but rather a letter from 157 Parcel’s counsel stating “[Appellant] has told [157 Parcel owner] that it believes that it has the right to erect a fence on [the Strip] immediately adjacent to [the 157 Parcel].” *See* Letter from Stroock & Stroock & Lavan LLP to Planning Director Dated September 8, 2022.¹⁷ The Planning Director does not have authority under the Code to issue determinations where there is no actual enforcement issue before him – i.e. an application, not just a rumor of one. *See* Section 114-7 of the Code. Therefore, the Determination is tantamount to an advisory opinion, which is also not permitted by the Code.

For a government to go about inventing imaginary provisions of its own Code and purporting to authorize the Planning Department and Director to re-characterize land use, without process or criteria, is the essence of arbitrary and

¹⁷ *See* “Exhibit “J”.

capricious government action. That constitutes a miscarriage of justice for anyone appearing before the government. *See Alvey v. City of North Miami Beach*, 206 So. 3d at 68.

B. The Determination was improperly issued without authorization from, or proper notice to, Appellant.

Section 118-9(b)(1)(A) of the Code states that written determinations of the Planning Director may be challenged by eligible parties including but not limited to the “Original applicant/property owner.” While no additional guidance is offered in the Code, the foregoing language (including the use of a “/” between “applicant” and “owner”) suggests that the Planning Director may issue determinations only to the subject property owner, or an applicant that is duly authorized by the owner in the context of an active land development application. Consistent with the foregoing Code language, the City has refused requests for determinations by non-owners in the past. For example, on May 3, 2023, the Planning Director informed another determination applicant as follows:

I have discussed your request . . . for an administrative determination regarding the property at [*address redacted*] with the City Attorney’s office; Nick Kallergis, Deputy City Attorney, is copied. Since your client does not own the parcel at [*address redacted*] I cannot provide an administrative determination for this property.

See Email dated May 3, 2023 at 6:08pm from Planning Director Thomas R. Mooney to Sanchez-Meina, Gonzalez, Queada, Lage, Gomez & Machado LLP.¹⁸

¹⁸ *See* “Exhibit “K”.

In the present case, the Determination was issued at the sole request of the 157 Parcel owner, breaking with the City's own policy. To make matters worse, Appellant did not even learn about the Determination until after it was issued. The City also failed to provide legal notice to Appellant of the request for the Determination that would severely impact its property rights. It is unclear why the City did not involve Appellant in discussions, solicit evidence from Appellant, or otherwise formally notify Appellant of the Determination. In any case, based on the foregoing facts, the Determination was improperly issued without authorization from Appellant, and the City's failure to communicate with Appellant or provide Appellant with legal notice of the Determination is a significant due process violation. At a minimum, procedural due process requires notice that affords a property owner a meaningful opportunity to be heard on a decision affecting his or her property interest. *See Goldberg v. Kelly* 397 U.S. 254 (1970).

IV. Appellant Objects to 157 Owner's "Undisputed" Facts.

The 157 Parcel owner's response refers to several assumptions as "undisputed" facts. This is deceptive. The response conflates the issues and misrepresents the definition of a building site. The response highlights the various facilities that are accessed via the Strip in an attempt to justify its claim to the Strip. However, it is a fact that "access" is **not** included in the definition of building site. *See* 114-1 of the Code. It is also a fact that (i) door swing projections,

(ii) utility meters and electrical panels, (iii) grease traps, (iv) driveways, (iv) walkways, (v) life/safety ingress and egress, (vi) garbage dumpsters and cans, (vii) delivery areas, and (ix) storage areas are **not** included in the definition of building site. *Id.* These facilities are not structural improvements and therefore the Code does not recognize them as elements of a building site.

The response suggests that the 157 Parcel owner cannot relocate or otherwise reprogram its encroachments in the Strip. The only justification for this assertion is that the 157 Parcel owner does not want to incur unwanted expenses. Unfortunately, the encroachments were not lawfully installed and must be removed.

V. The Determination Inordinately Burdens the Strip Owner.

The Determination is also illegal because it is designed to preclude further development of the entire Property until the neighbor authorizes development. That authorization might or might not ever come, but Appellant will, according to the City, be required to maintain the Property as a paved strip until it does. According to the City, Appellant cannot even block access to its own property now unless the neighbor agrees. [City Resp. at 8]. The City has effectively transformed private property into a public alleyway, open for all to use (and to the specific benefit of the 157 Parcel owner).

To provide a benefit that "the people want," unfairly and unlawfully imposes exclusively upon Appellant a significant financial burden for a public benefit, a burden that in fairness should be borne by the public at large. *See Armstrong v. United States*, 364 US 40, 49 (1960)("The Fifth Amendment's guarantee that private property shall not be taken for a public use without just compensation was designed to bar Government from forcing some people alone to bear public burdens which, in all fairness and justice, should be borne by the public as a whole"). The Determination also effectively constitutes an illegal development exaction on prospective future development. *See Nollan v. California Coastal Commission*, 483 US. 825 (1987); *Dolan v. City of Tigard*, 512 US. 374 (1994).

Respectfully submitted,

LSN LAW, P.A.

3800 NE 1 AVE, STE 200

Miami, Florida 33155

Phone: (305) 673-2585

tslavens@lsnlaw.com

whevia@lsnlaw.com

By: /s/ Tracy R. Slavens

Tracy R. Slavens

Fla. Bar No. 678031

Wesley J. Hevia

Fla. Bar No. 123839

CERTIFICATE OF SERVICE

I HEREBY CERTIFY that on this 11th day of September, 2023, a true and correct copy of the foregoing was served via electronic mail as follows:

Jeffrey S. Bass, Esq. SHUBIN & BASS, P.A. 150 W. Flagler Street Suite 1420 Miami, Florida 33130 Phone: (305) 381-6060 Facsimile: (305) 381-9457 jbass@shubinbass.com dfalce@shubinbass.com evaughan@shubinbass.com eservice@shubinbass.com Counsel for 157 Collins Ave LLC	Nick Kallergis, Esq. OFFICE OF THE CITY ATTORNEY 1700 Convention Center Drive 4th Floor Miami Beach, Florida 33139 nickkallergis@miamibeachfl.gov Counsel for Appellee, City of Miami Beach
Paul A. Shelowitz, Esq. STROOK & STROOK & LAVAN LLP 200 South Biscayne Blvd. Suite 3100 Miami, Florida 33131 pshelowitz@stroock.com Counsel for 157 Collins Ave LLC	Thomas Mooney PLANNING DEPARTMENT 1700 Convention Center Drive 2nd Floor Miami Beach, Florida 33139 ThomasMooney@miamibeachfl.gov DeborahTackett@miamibeachfl.gov MichaelBelush@miamibeachfl.gov Planning Director, City of Miami Beach

Table of Contents

Composite Exhibit A	1994 Building Permit B9400397 “Renovations for Big Pink”
Exhibit A-1	Building Plans for Permit B9400397
Exhibit A-2	April 18, 1995 Owner’s Affidavit
Exhibit A-3	August 25, 1995 Inspection Report
Exhibit A-4	July 18, 1996 Notice of Commencement
Composite Exhibit B	1998 Building Permit B9801070 “Interior Renovations for Ted’s Hideaway”
Exhibit B-1	Application for Permit B9801070
Exhibit B-2	Building Plans for Permit B9801070
Exhibit B-3	Receipt for Permit B9801070
Exhibit B-4	February 10, 1998 Notice of Commencement
Exhibit B-5	Receipt for Grease Trap Sub-permit BP980583
Composite Exhibit C	Board of Adjustment Approvals
Exhibit C-1	Recorded Board Order for File 2081-B
Exhibit C-2	Recorded Board Order for File 2082-B
Exhibit C-3	Recorded Board Order for File 2083-B
Exhibit D	Covenant Running with Land
Exhibit E	Section 7-3 from Zoning Ordinance 89-2665
Exhibit F	2014 Building Permit B1405045 Plans “Concrete Repair”
Exhibit G	Warranty Deed with Handwritten Agreement Addendum
Exhibit H	August 17, 2022 Communication from 157 Parcel Owner
Exhibit I	August 18, 2022 Communication from Strip Representative
Exhibit J	September 8, 2022 Zoning Determination Request
Exhibit K	May 3, 2023 Denial of Planning Determination from Planning Director

Exhibit A-1

PERMIT #
B 9400397

ADDRESS
157 Collins Avenue

LINE NO	NET SUB TV MEDIA SPOT/SEC	NO. PEOPLE	DATE/TIME AIR CITY/STATION	START DATE TIME	END DATE	REMARKS
SPOT 1	----	20	20	6:00	6:00	REMARKS
SPOT 2	----	20	20	6:00	6:00	REMARKS
SPOT 3	----	20	20	6:00	6:00	REMARKS
SPOT 4	----	0	20	6:00	6:00	REMARKS
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SPOT 66	----	0	20	6:00	6:00	REMARKS
SPOT 67	----	0	20	6:00	6:00</	

AIR CONDITIONING DRAWING SPECIFICATIONS

- | | | |
|-----------------------|------------------|--------------|
| UNIT NUMBER | SP-1 | SP-2 |
| AREA SERVED | SEE PLAN | SEE PLAN |
| LOCATION | CEILING | CEILING |
| DUTY | SUPPLY / EXHAUST | EXHAUST |
| FAN TYPE | CBMT | CBMT |
| DRIVE | BELT / DIRECT | CORRECT |
| FAN SPEED | RPM | RPM |
| AIR QUANTITY | CFM | CFM |
| TOTAL STATIC PRESSURE | H ₂ O | INCHES |
| OPENING REQUIRED | IN | INCHES |
| FAN MOTOR | HP | HP |
| ELECTRICAL CHARACTER. | VOLTS | VOLTS |
| MANUFACTURER | MODEL | MODEL |
| MODEL NUMBER | MANUFACTURER | MANUFACTURER |
| REMARKS | SEE NOTES | SEE NOTES |

SYMBOL	SIZE	THICK	MODEL SERIES	REMARKS
A	2424	TITUB	PA8-AA-CSD-5"	SUPPLY
B	2424	TITUB	TDG-AA-CSD-5"	SUPPLY
C	2424	TITUB	TDG-AA-CSD-5"	SUPPLY
D	2424	TITUB	TDG-AA-CSD-5"	SUPPLY
E	2424	---	STAINLESS STEEL (WALL REINFORCER)	SUPPLY
F	2424	2500	PC-2	SUPPLY
G	2424	TITUB	308SS-AA-CSD	SUPPLY
H	2424	TITUB	308SS-AA-CSD	SUPPLY
I	2424	TITUB	308SS-AA-CSD	SUPPLY
J	2424	TITUB	308SS-AA-CSD	SUPPLY
K	2424	TITUB	308SS-AA-CSD	SUPPLY
L	2424	---	STAINLESS STEEL (CEILING REINFORCER)	SUPPLY
M	2424	---	STAINLESS STEEL (WITH FILTER)	RETURN
N	2424	TITUB	SUPPLY-FILTERED	RETURN

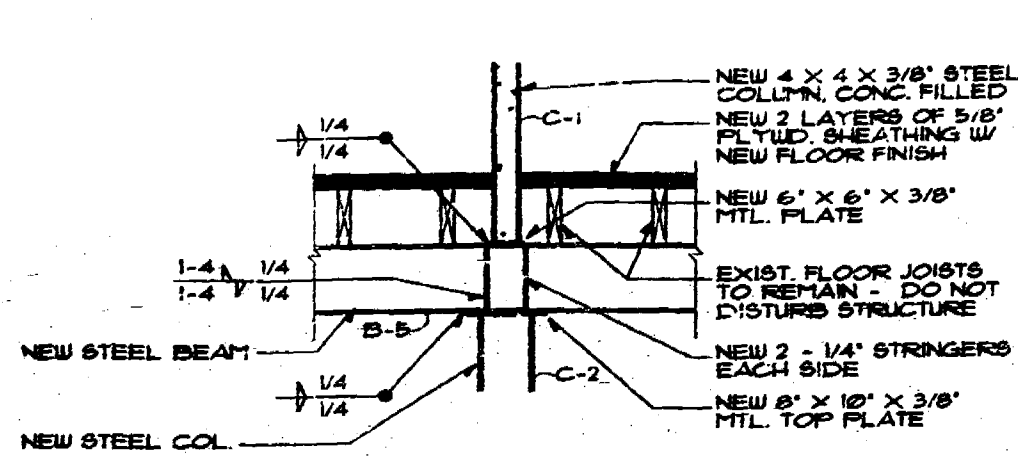
WOOD JOINT
CROSS STRUCTURAL
DRAWINGS

Diagram illustrating the correct installation of a vibration isolator on a support cross. The diagram shows a cross-section of the support structure with a vibration isolator mounted on it. Labels indicate: SUPPORT CROSS (ANGLE IF REQUIRED), MANGER RID, VIBRATION ISOLATOR, AHU BELLOW, and DOUBLE LOCKING NUTS (TYPICAL). The diagram is divided into TOP VIEW and BOTTOM VIEW sections.

FAN	UNIT NUMBER	A14-3		
	AREA SERVED	RES. PLAN	GEN. PLAN	SEC. PLAN
	TOTAL AIR SUPPLY	10000	30000	30000
	OUTSIDE AIR	071	300	400
	INTERNAL STATIC PRESSURE	WS	12	13
	FAN MOTOR	APPLA	6	112
	ELEC. CHARACTERISTICS	VOLTS	240VAC	240VAC
	COOL. COIL CAP.	SEER	10.000	10.000
	TOTAL SENSIBLE HZAT	BTU/HRS	10000	30000
	REF. AIR TEMP.	° F DB 70 DB	61	61
WALL	MODEL NUMBER	---		
	UNIT MANUFACTURER	TRANE	TRANE	TRANE
	MODEL NUMBER	TRANE	A 300	A 300
	WEIGHT	WS	346	346
	HEAT/COOLING HEATING	BTU/HR	367.3	367.3
	UNIT NUMBER	CU-3	CU-3	CU-3
	LOCATION	RES. PLAN	GEN. PLAN	SEC. PLAN
	AIR/FLOW TEMP.	° F	59	59
	REFRIGERANT	R	32	32
	COMPRESSED FAN	PLA	15	15
AIR COOLED CONDENSER UNIT	ELEC. CHARACTERISTICS	VOLTS	240VAC	240VAC
	UNIT MANUFACTURER	TRANE	TRANE	TRANE
	MODEL NUMBER	TRANE	300 C	300 C
	WEIGHT	WS	362	360
	SEER	10.000	10.000	10.000
	BTU/HR	362	362	360
	SYSTEM (SEER)	WS	6.50	6.50
	ELECTRIC	CU-3	CU-3	CU-3

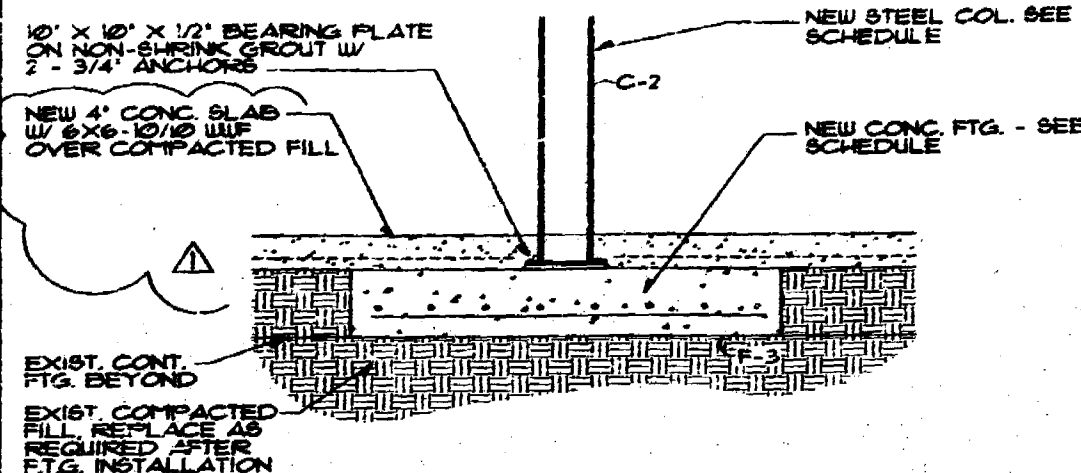
© 1996 Shellfish, Inc.
The design and drawings for this
project are the property of this
contractor and are protected under
the copyright protection act.

M-3



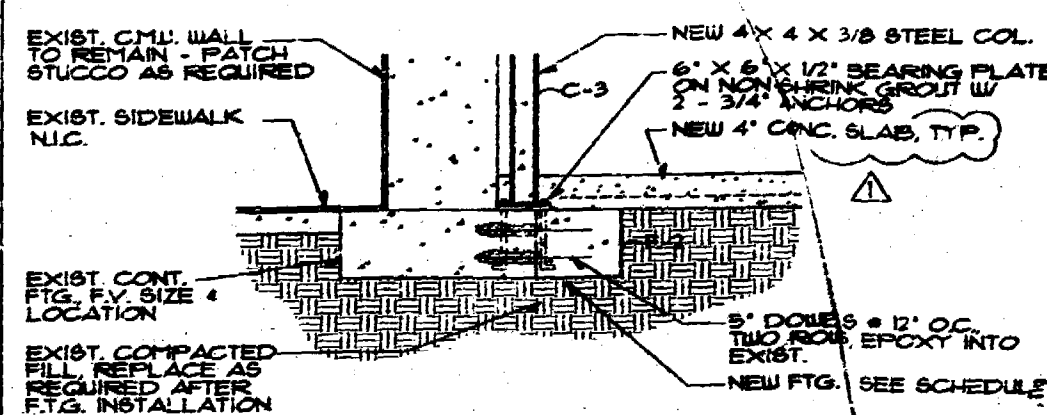
BEAM/COLUMN DETAIL

SCALE: 3/4" = 1'-0"



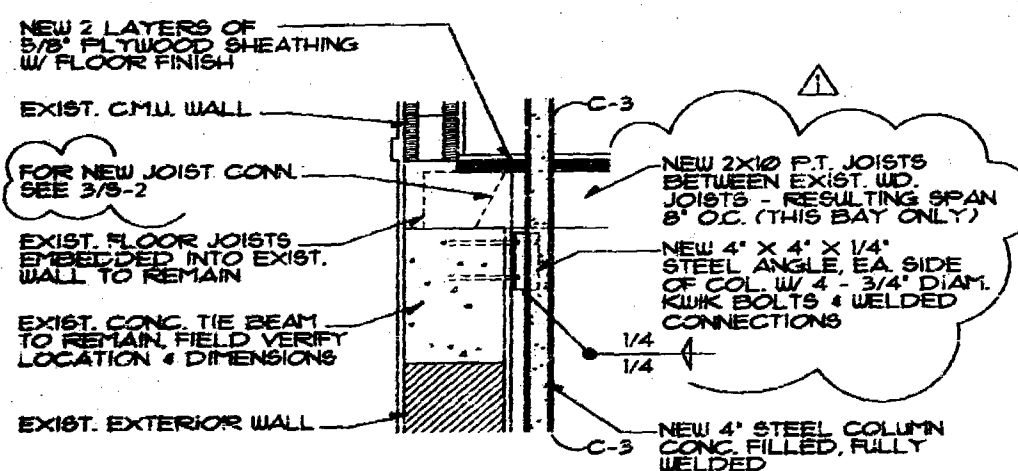
FOOTING DETAIL

SCALE: 3/4" = 1'-0"



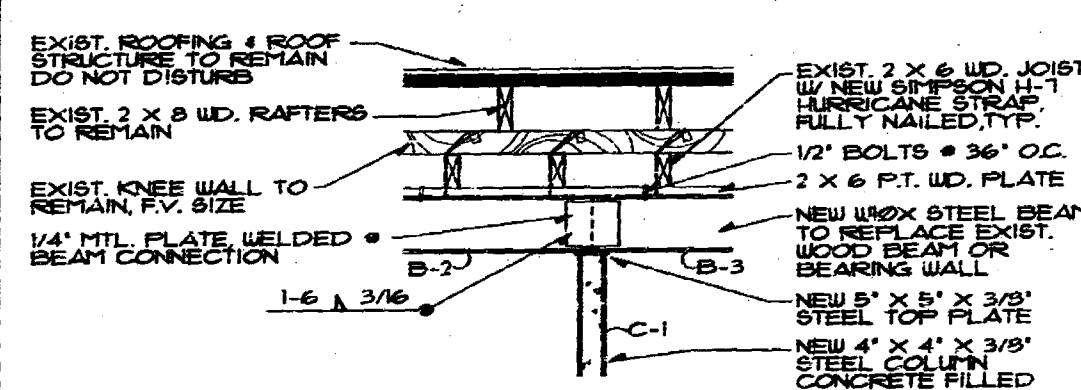
FOOTING DETAIL

SCALE: 3/4" = 1'-0"



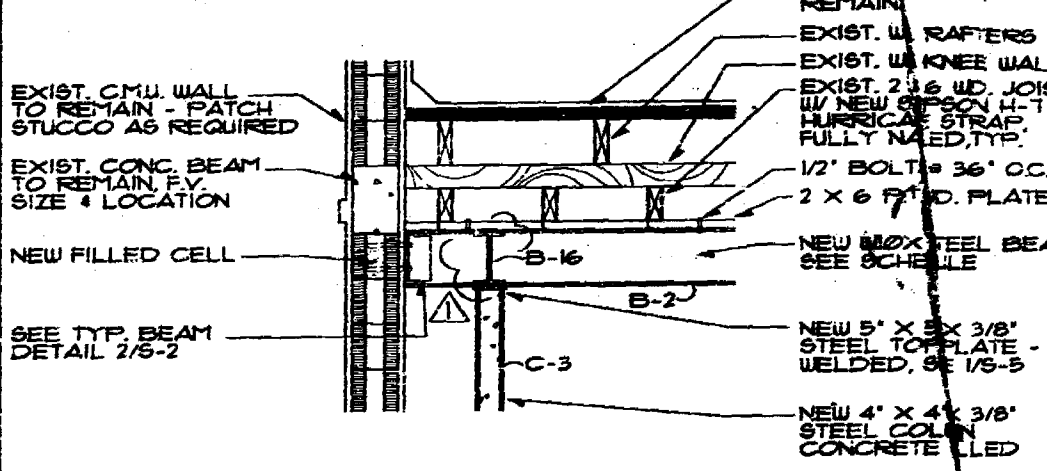
JOIST/COLUMN DETAIL

SCALE: 3/4" = 1'-0"



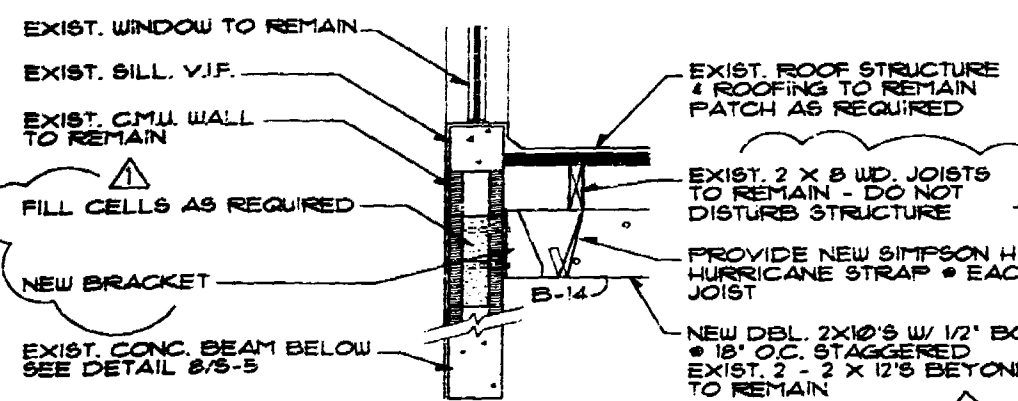
ROOF STRUCTURE

SCALE: 3/4" = 1'-0"



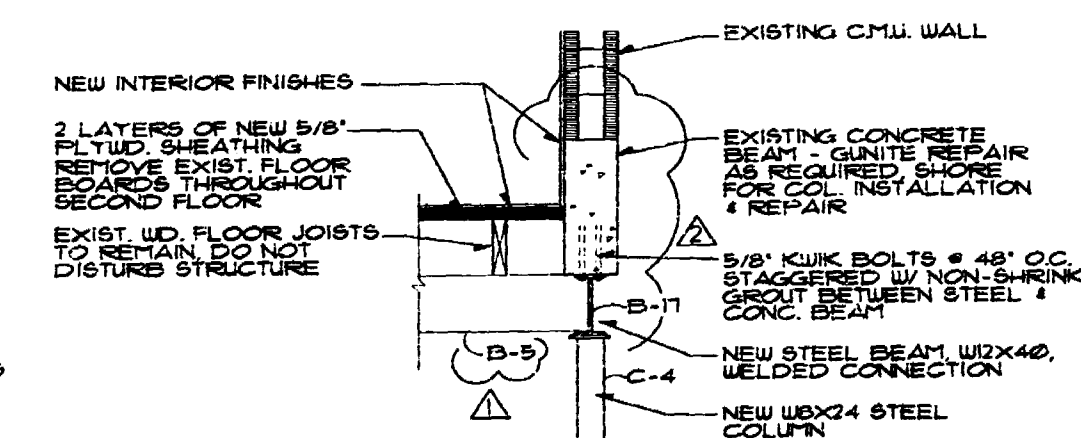
BEAM DETAIL

SCALE: 3/4" = 1'-0"



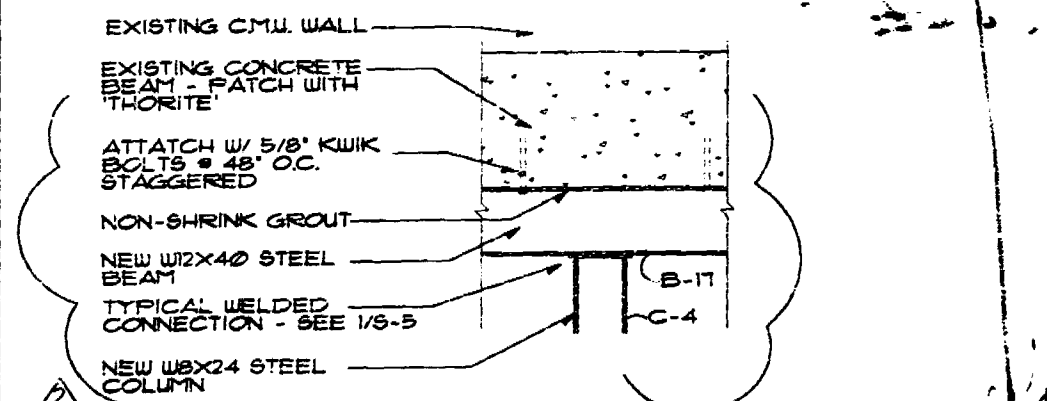
BEAM DETAIL

SCALE: 3/4" = 1'-0"



BEAM DETAIL

SCALE: 3/4" = 1'-0"



COLUMN DETAIL

SCALE: 3/4" = 1'-0"

NOTE: STEEL MANUFACTURERS TO SUBMIT SHOP DRAWINGS TO ARCHITECT/ENGINEER FOR APPROVAL PRIOR TO FABRICATION

RENOVATIONS TO:
BIG PINK
187 Collins Avenue
Miami Beach, Florida 33139

STRUCTURAL
DETAILS

REVISIONS
06-19-96
07-08-96

DATE: 05-04-96
PROJECT: COLLETT'S HOME
SCALE: 3/4" = 1'-0"
DRAWN BY: V.B.
APPROVED:

S-5

Renovations to: BIG PINK

157 Collins Avenue

Miami Beach, Florida

LIST OF DRAWINGS

ARCHITECTURAL

- A-0 COVER SHEET
- A-1 GROUND LEVEL FLOOR PLAN
- A-2 GROUND LEVEL REFLECTED CEILING PLAN
- A-3 SECOND FLOOR PLAN
- A-4 SECOND FLOOR REFLECTED CEILING PLAN
- A-5 ROOF PLAN
- A-6 GENERAL NOTES
- A-7 INTERIOR ELEVATIONS AND DETAILS
- A-7a INTERIOR ELEVATIONS AND DETAILS
- A-8 ENLARGED PUBLIC RESTROOMS
- A-8a ENLARGED BATHROOMS
- A-9 ARCHITECTURAL DETAILS
- A-10 SCHEDULES AND SPECIFICATIONS

EQUIPMENT

- Q-1 EQUIPMENT PLAN
- Q-2 PLUMBING ROUGH-IN
- Q-3 ELECTRICAL ROUGH-IN

ELECTRICAL

- E-1 GROUND FLOOR ELECTRICAL POWER PLAN
- E-2 SECOND FLOOR ELECTRICAL POWER PLAN
- E-3 GROUND FLOOR LIGHTING PLAN
- E-4 SECOND FLOOR LIGHTING PLAN
- E-5 PANELS, RISER
- E-6 NOTES

STRUCTURAL

- S-1 FOUNDATION/GROUND FLOOR FRAMING PLAN
- S-2 SECOND FLOOR AND LOW ROOF FRAMING PLAN
- S-3 ROOF FRAMING PLAN
- S-4 STRUCTURAL BUILDING SECTIONS
- S-5 STRUCTURAL DETAILS

PLUMBING

- P-1 GROUND FLOOR PLUMBING PLAN
- P-2 SECOND FLOOR PLUMBING PLAN
- P-3 DIAGRAM
- P-4 DIAGRAMS AND DETAILS

MECHANICAL

- M-1 GROUND FLOOR HVAC PLAN
- M-2 SECOND FLOOR HVAC PLAN
- M-3 NOTES AND DETAILS

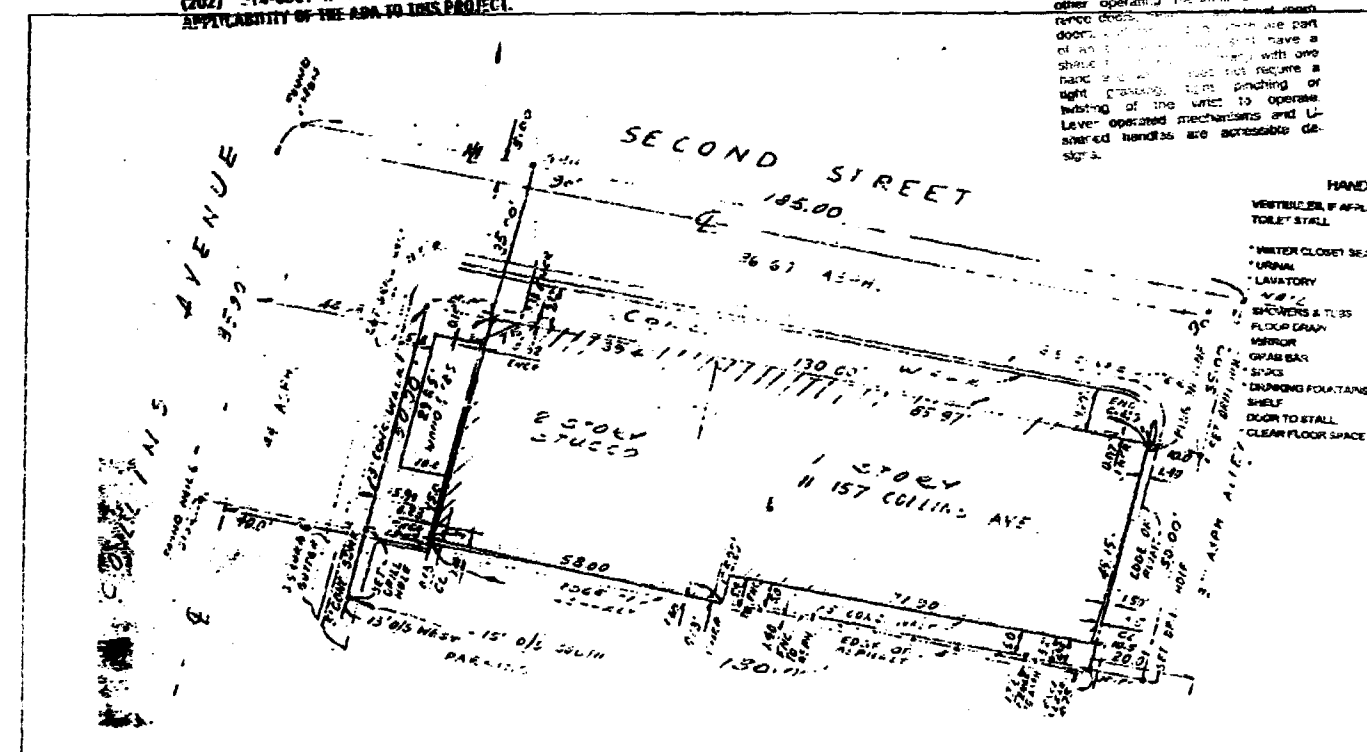
OFFICE COPY CITY OF MIAMI BEACH

APPROVED FOR PERMIT BY
THE FOLLOWING:

BUILDING: [Signature]
ZONING: [Signature]
PLUMBING: [Signature]
ELECTRICAL: [Signature]
MECHANICAL: [Signature]
FIRE PREVENTION: [Signature]
ENGINEERING: [Signature]
PUBLIC WORKS: [Signature]
STRUCTURAL: [Signature]
ACCESSIBILITY: [Signature]
ELEVATOR: [Signature]

NOTICE TO OWNER, DESIGNER & CONTRACTOR
THIS PLAN HAS BEEN REVIEWED FOR COMPLIANCE WITH THE PRESENT REQUIREMENTS OF THE SOUTH FLORIDA BUILDING CODE ONLY. PLEASE CONTACT THE OFFICE OF THE AMERICANS WITH DISABILITIES ACT (ADA) AT (305) 514-0301 IF YOU HAVE CONCERNS ABOUT THE APPLICABILITY OF THE ADA TO THIS PROJECT.

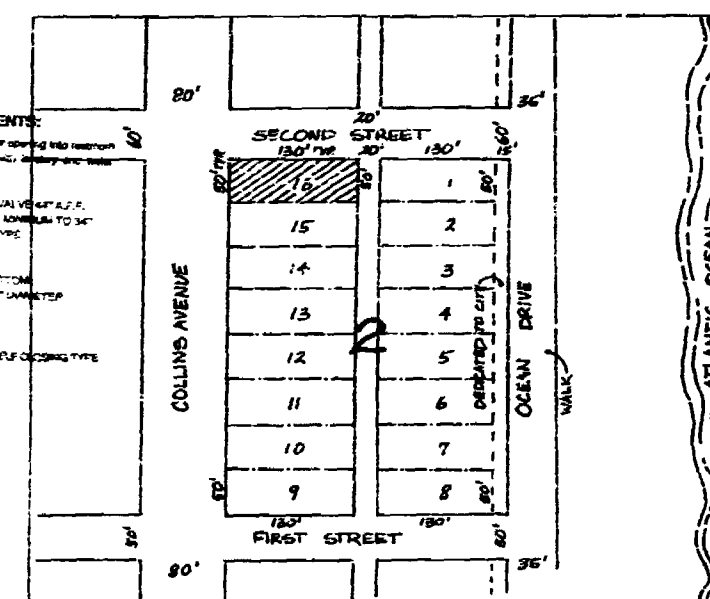
SURVEY



DOOR HARDWARE (RECOMMENDED)
HANDLES, PULLS, KICKERS, AND OTHER OPERATING MECHANISMS ON EXTERIOR DOORS SHALL BE LOCATED AT A MAXIMUM HEIGHT OF 48 INCHES ABOVE THE FINISHED FLOOR. INTERIOR DOORS SHALL HAVE A MINIMUM CLEARANCE OF 80 INCHES ABOVE THE FINISHED FLOOR. DOORS SHALL BE EASY TO OPERATE. LEVER OPERATED MECHANISMS AND LATCHES SHALL BE USED ON ALL INTERIOR DOORS.

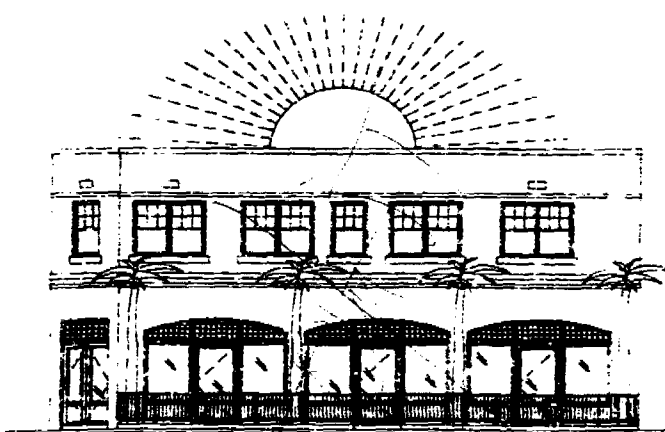
HANDICAP MINIMUM REQUIREMENTS:
VERTICAL CLEARANCE: Minimum 80 inches for wheelchair passage.
TOILET STALL: Minimum 56 inches wide.
WATER CLOSET SEAT: Minimum 18 inches high.
URINAL: Minimum 17 inches high.
LAVATORY: Minimum 28 inches high.
SINK: Minimum 28 inches high.
FLOOR DRAIN: Minimum 18 inches high.
SHOWER: Minimum 48 inches high.
BATHING PLATFORM: Minimum 48 inches high.
SHOWER TO STALL: Minimum 48 inches high.
CLEAN FLOOR SPACE: Minimum 60 inches wide.

LOCATION MAP



LEGAL DESCRIPTION

LOT 16, BLOCK 2, OCEAN BEACH, FLORIDA SUBDIVISION,
RECORDED IN PLAT BOOK 2 AT PAGE 38 OF THE
PUBLIC RECORDS OF DADE COUNTY, FLORIDA
AREA OF LOT IS 6500 SQ.FT. OR 0.149 AC. ±



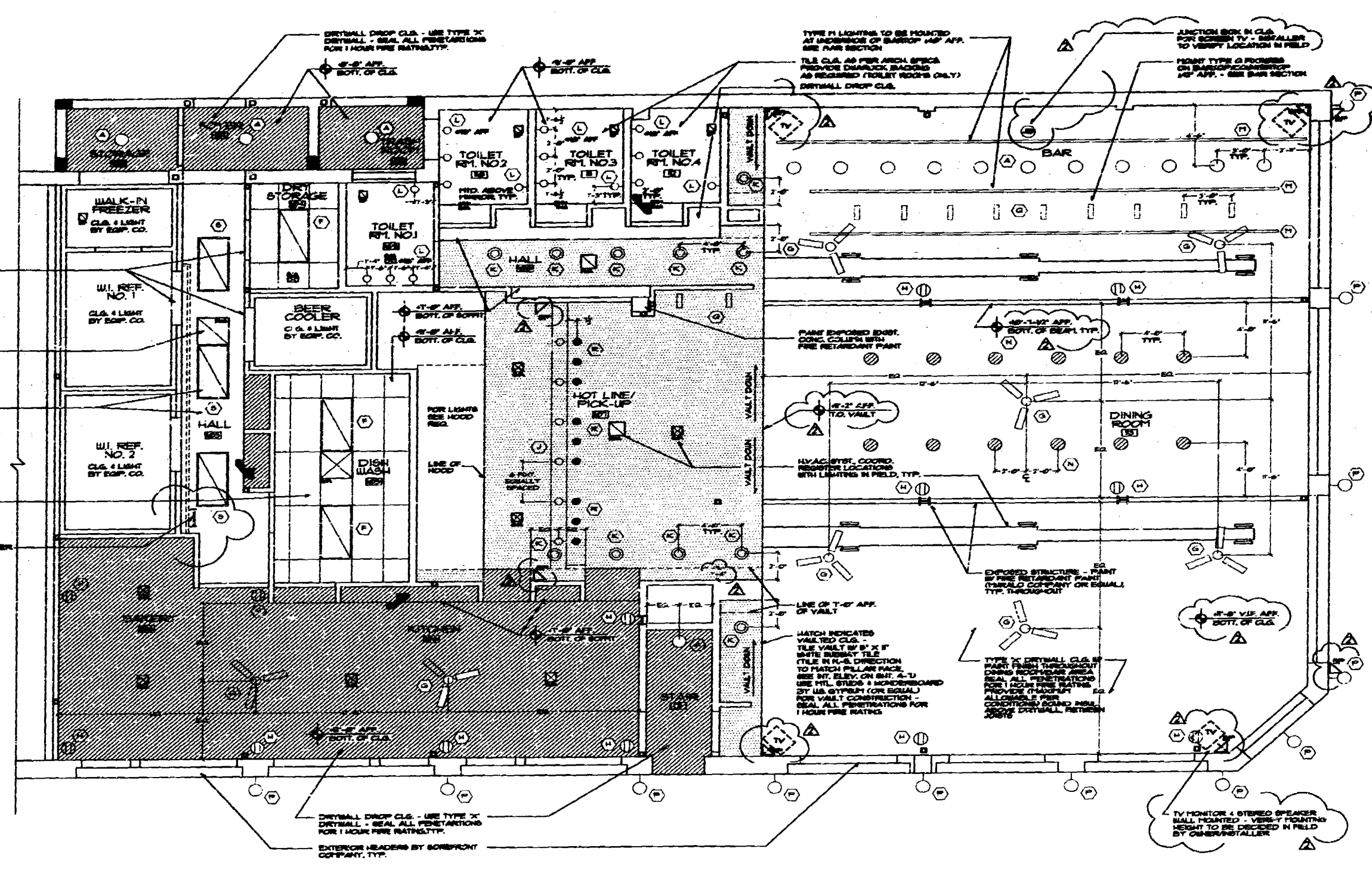
studiolido inc. • architecture • interiors • furniture • 940 Lincoln road • suite 314 • miami beach • florida 33139

STRUCTURAL ENGINEER
ED LANDERS
(305) 823-3838

M.E.P. ENGINEER
DAVID PUGA & ASSOCIATES
(305) 661-7700

SURVEYORS
ZURWELLE-WHITAKER, INC.
(305) 534-4658

EQUIPMENT BY ARROW INDUSTRIES
RAUL PINERO
(305) 635-6500



- LIGHTING SYMBOLS**
- SURFACE MOUNTED UTILITY PICTURE (750W)
 - SURFACE MOUNTED RECESSED PICTURE (750W)
 - TRACK LIGHTING
 - RECESSED CAN PICTURE
 - CLG. RAY TYPE 1, RECESSED, 1/2" DEPTH, 1" DIA. (SEE BAR SECTION)
 - RECESSED ALUMINUM (1/2" DEPTH, 1" DIA. (SEE BAR SECTION))
 - CLG. RAY TYPE 2, RECESSED, 1/2" DEPTH, 1" DIA. (SEE BAR SECTION)
 - CEILING MOUNTED OUTLET FOR BAR & DINING ROOM LIGHT FIXTURES TO BE LOCATED IN FIELD (SEE BAR SECTION)
 - CABLE LIGHT SYSTEM (12 VOLT)
 - RECESSED 12 VOLT FIXTURE UP INTERNAL TRANSFORMER
 - CHARGE FIXTURE (12 VOLT) IN RECYCLE TRANSFORMER
 - WIRE LIGHTING UNDER BARTOP
 - WIRE SURFACE MOUNTED FIXTURE
 - EXTERIOR BREATHERIGHT WALL SCONCE (250 W)
 - BARTOP LIGHT FIXTURES (12 VOLT) (SEE BAR SECTION)
 - PENDANT HEAT LAMP (250 W)
 - PENDANT HEAT LAMP (250 W)
 - PENDANT HEAT LAMP (250 W)
- HVAC SYMBOLS**
- EXHAUST FAN
 - RETURN AIR REMOVER
 - SUPPLY AIR REMOVER
 - SPECIAL SUPPLY AIR REMOVER
 - EXHAUST EXHAUSTOR
 - EXHAUST EXHAUSTOR
- NOTES:**
- NOTE: FOR HVAC SYSTEM REFER TO MECHANICAL DRAWING ELEVATION.
 - NOTE: HIGHT EXHAUSTOR OUTSIDE AS HIGH AS POSSIBLE THROUGH ROOF.
 - NOTE: IN CASE OF DISCREPANCY, NOTIFY ARCHITECT PRIOR TO PROCEEDING.

REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"

OFFICE COPY
CITY OF MIAMI BEACH

APPROVED FOR PERMIT BY

BUILDING	_____
ZONING	_____
PLANNING	_____
ELECTRICAL	_____
MUNICIPAL	_____
ENGINEERING	_____
PUBLIC WORKS	_____
STRUCTURAL	_____
ACCESSIBILITY	_____

RENOVATIONS TO:
BIG PINK
187 Collins Avenue
Miami Beach, Florida 33139

**GROUND FLOOR
REFL. CLG. PLAN**

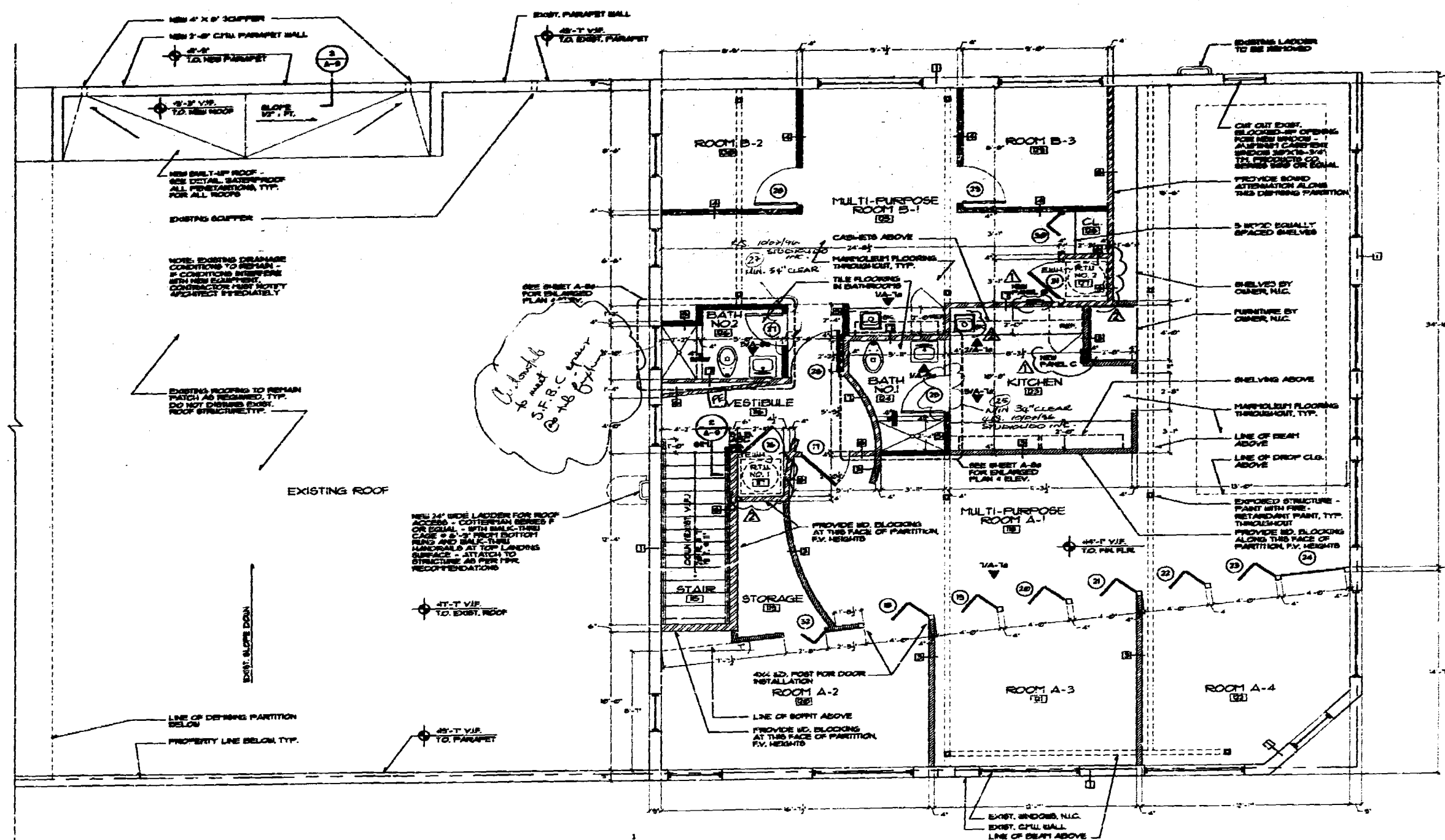
DATE: 06-07-96

PROJECT: 07-00-96

SCALE: 1/4" = 1'-0"

APPROVED BY: V.B.

A-2



SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

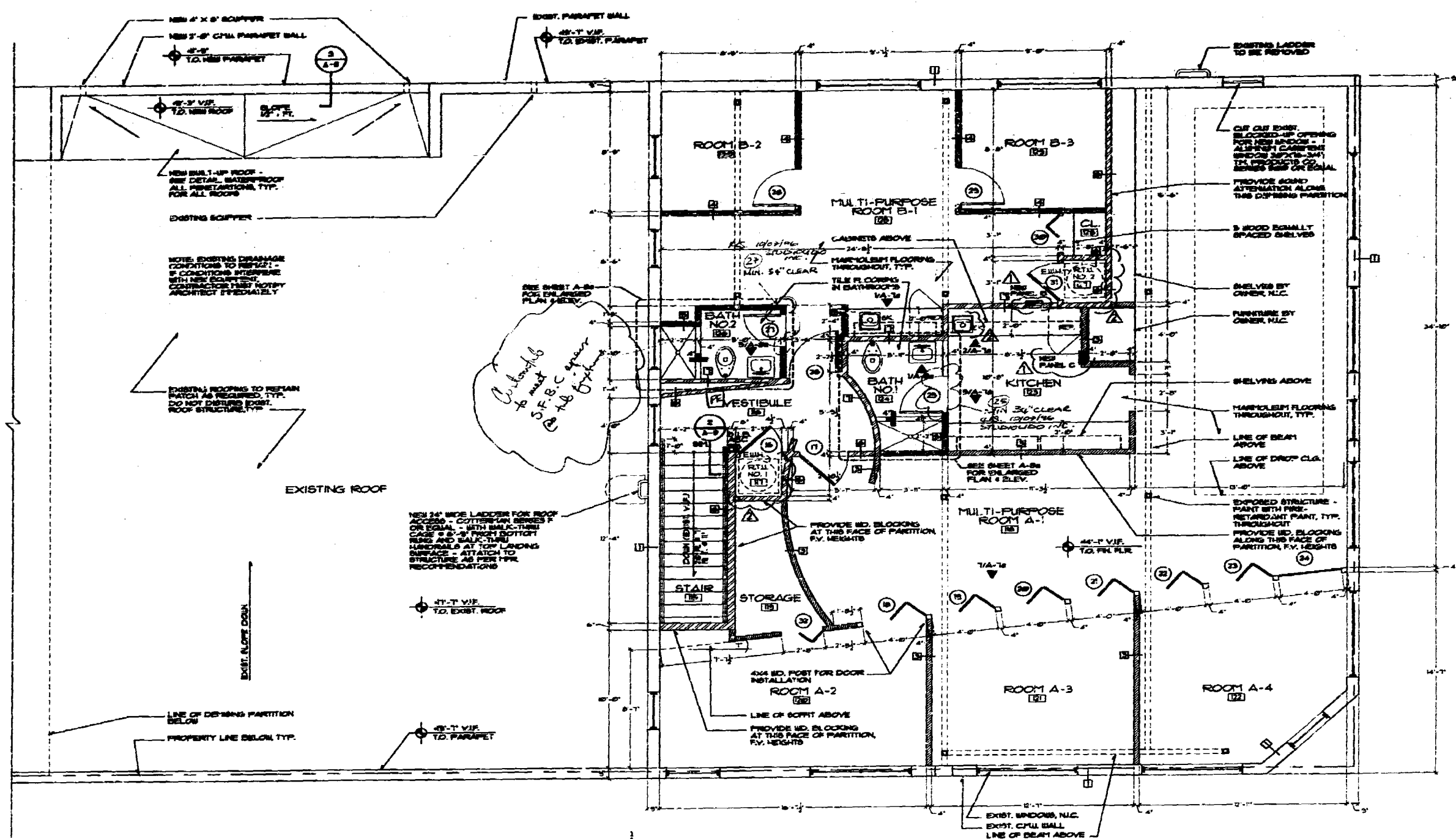


OFFICE COPY
CITY OF MIAMI BEACH
APPROVED FOR PERMIT BY
THE FOLLOWING:

BUILDING: _____
ZONING: _____
PLANNING: _____
ELECTRIC: _____
MECHANICAL: _____
FIRE: _____
ENGINEERING: _____
PUBLIC WORKS: _____
STRUCTURAL: _____
ACCESSIBILITY: _____
ELEVATOR: _____

RENOVATIONS TO: BIG PINK 157 Collins Avenue Miami Beach, Florida 33139	
SECOND FLOOR PLAN	PERMIT NO.: 07-19-96 EXPIRATION DATE: 08-07-96
PROJECT NO.: 87-88-96 PROJECT CODE/TYPE: 800 SCALE: 1/4" = 1'-0" DRAWN BY: V.B. CHECKED BY:	A-3

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OR BY ANY INFORMATION STORAGE AND
RETRIEVAL SYSTEM, WITHOUT PERMISSION
IN WRITING FROM THE CITY OF MIAMI BEACH.





SECOND FLOOR PLAN
 SCALE: 1/4" = 1'-0"

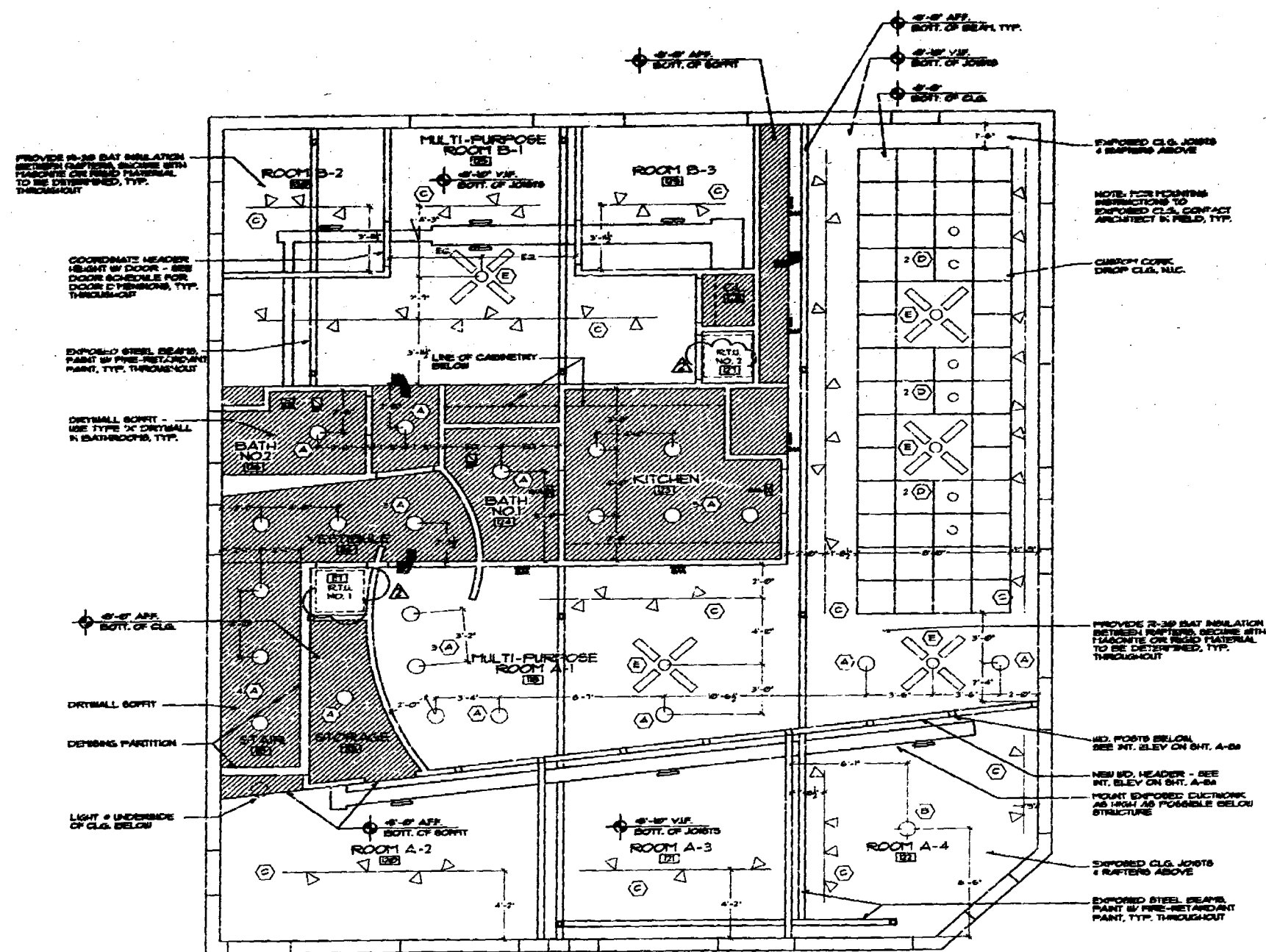


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 CITY OF MIAMI BEACH
 APPROVED FOR PERMIT BY
 THE FOLLOWING:

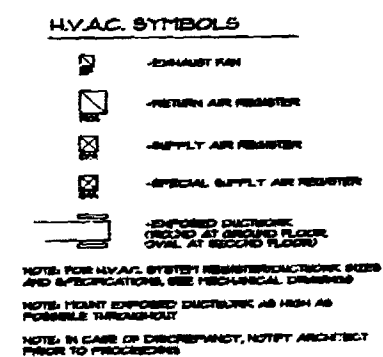
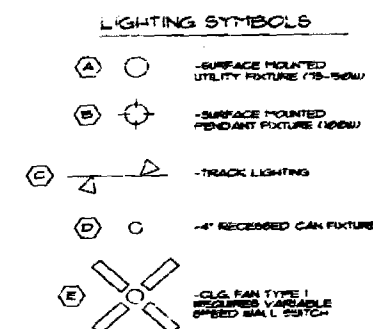
BUILDING:	_____
ZONING:	_____
PLUMBING:	_____
ELECTRICAL:	_____
Mechanical:	_____
FIRE PROTECTION:	_____
ENGINEERING:	_____
PUBLIC WORKS:	_____
STRUCTURAL:	_____
ACCESSIBILITY:	_____
ELEVATOR:	_____

RENOVATIONS TO: BIG PINK 157 Collins Avenue Miami Beach, Florida 33139	
SECOND FLOOR PLAN	
PERMITS: BUILDING: 07-15-96 PLUMBING: 08-07-96	SPECIAL: 07-09-96 PROJECT: 0000000000 SHEET: 01 SCALE: 1/4" = 1'-0" DRAWN BY: V.B. APPROVED: _____
	
A-3	

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REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"



OFFICE COPY
CITY OF MIAMI BEACH

APPROVED FOR PERMIT BY THE FOLLOWING:

BUILDING: _____
ELECTRICAL: _____
MECHANICAL: _____
FIRE PROTECTION: _____
ENGINEERING: _____
PUBLIC WORKS: _____
STRUCTURAL: _____
ACCESSIBILITY: _____
ELEVATOR: _____

RENOVATIONS TO:
BIG PINK
157 Collins Avenue
Miami Beach, Florida 33139

SECOND FLOOR
REFL. CLG. PLAN

DATE: 08-07-96

PROJECT NO: 07-00-76

SCALE: 1/4" = 1'-0"

DRAWN BY: V.B.

APPROVED: _____

A-4

architectural general notes

DIVISION 1 - GENERAL REQUIREMENTS

- 1.1 **General Notes:**
The work under these specifications and drawings shall be completed in accordance with the general notes and specifications on these drawings.
- 1.2 **Construction:**
The contractor shall be responsible for obtaining all necessary permits, licenses, and fees, and for obtaining all necessary approvals from the appropriate authorities.
- 1.3 **Materials:**
The contractor shall be responsible for obtaining all materials and equipment in accordance with the specifications and drawings.
- 1.4 **Installation:**
The contractor shall be responsible for the proper installation of all materials and equipment in accordance with the specifications and drawings.
- 1.5 **Finishing:**
The contractor shall be responsible for the proper finishing of all materials and equipment in accordance with the specifications and drawings.
- 1.6 **Protection:**
The contractor shall be responsible for the proper protection of all existing structures and utilities during the construction process.
- 1.7 **Access:**
The contractor shall be responsible for providing adequate access to all areas of the project during the construction process.
- 1.8 **Storage:**
The contractor shall be responsible for providing adequate storage for all materials and equipment during the construction process.
- 1.9 **Site Cleanup:**
The contractor shall be responsible for the proper cleanup of the site at the completion of the construction process.

DIVISION 2 - ROOF WORK

- 2.1 **Roofing:**
The contractor shall be responsible for the proper installation of the roof system in accordance with the specifications and drawings.
- 2.2 **Flashings:**
The contractor shall be responsible for the proper installation of all flashings in accordance with the specifications and drawings.
- 2.3 **Drainage:**
The contractor shall be responsible for the proper installation of the drainage system in accordance with the specifications and drawings.
- 2.4 **Insulation:**
The contractor shall be responsible for the proper installation of the insulation in accordance with the specifications and drawings.
- 2.5 **Structural:**
The contractor shall be responsible for the proper installation of the structural elements in accordance with the specifications and drawings.
- 2.6 **Finishing:**
The contractor shall be responsible for the proper finishing of the roof system in accordance with the specifications and drawings.
- 2.7 **Access:**
The contractor shall be responsible for providing adequate access to the roof system during the construction process.
- 2.8 **Storage:**
The contractor shall be responsible for providing adequate storage for all materials and equipment during the construction process.
- 2.9 **Site Cleanup:**
The contractor shall be responsible for the proper cleanup of the site at the completion of the construction process.

DIVISION 3 - WOOD AND PLASTER

- 3.1 **Wood:**
The contractor shall be responsible for the proper installation of all wood elements in accordance with the specifications and drawings.
- 3.2 **Plaster:**
The contractor shall be responsible for the proper installation of all plaster elements in accordance with the specifications and drawings.
- 3.3 **Finishing:**
The contractor shall be responsible for the proper finishing of all wood and plaster elements in accordance with the specifications and drawings.
- 3.4 **Access:**
The contractor shall be responsible for providing adequate access to all areas of the project during the construction process.
- 3.5 **Storage:**
The contractor shall be responsible for providing adequate storage for all materials and equipment during the construction process.
- 3.6 **Site Cleanup:**
The contractor shall be responsible for the proper cleanup of the site at the completion of the construction process.

DIVISION 4 - MASONRY AND METALWORK

- 4.1 **Masonry:**
The contractor shall be responsible for the proper installation of all masonry elements in accordance with the specifications and drawings.
- 4.2 **Metalwork:**
The contractor shall be responsible for the proper installation of all metalwork elements in accordance with the specifications and drawings.
- 4.3 **Finishing:**
The contractor shall be responsible for the proper finishing of all masonry and metalwork elements in accordance with the specifications and drawings.
- 4.4 **Access:**
The contractor shall be responsible for providing adequate access to all areas of the project during the construction process.
- 4.5 **Storage:**
The contractor shall be responsible for providing adequate storage for all materials and equipment during the construction process.
- 4.6 **Site Cleanup:**
The contractor shall be responsible for the proper cleanup of the site at the completion of the construction process.

DIVISION 5 - DOORS AND WINDOWS

- 5.1 **Doors:**
The contractor shall be responsible for the proper installation of all doors in accordance with the specifications and drawings.
- 5.2 **Windows:**
The contractor shall be responsible for the proper installation of all windows in accordance with the specifications and drawings.
- 5.3 **Finishing:**
The contractor shall be responsible for the proper finishing of all doors and windows in accordance with the specifications and drawings.
- 5.4 **Access:**
The contractor shall be responsible for providing adequate access to all areas of the project during the construction process.
- 5.5 **Storage:**
The contractor shall be responsible for providing adequate storage for all materials and equipment during the construction process.
- 5.6 **Site Cleanup:**
The contractor shall be responsible for the proper cleanup of the site at the completion of the construction process.

DIVISION 6 - PAINTS

- 6.1 **Interior:**
The contractor shall be responsible for the proper installation of all interior paint in accordance with the specifications and drawings.
- 6.2 **Exterior:**
The contractor shall be responsible for the proper installation of all exterior paint in accordance with the specifications and drawings.
- 6.3 **Finishing:**
The contractor shall be responsible for the proper finishing of all paint in accordance with the specifications and drawings.
- 6.4 **Access:**
The contractor shall be responsible for providing adequate access to all areas of the project during the construction process.
- 6.5 **Storage:**
The contractor shall be responsible for providing adequate storage for all materials and equipment during the construction process.
- 6.6 **Site Cleanup:**
The contractor shall be responsible for the proper cleanup of the site at the completion of the construction process.
- 6.7 **General:**
The contractor shall be responsible for the proper installation of all other elements in accordance with the specifications and drawings.
- 6.8 **Access:**
The contractor shall be responsible for providing adequate access to all areas of the project during the construction process.
- 6.9 **Storage:**
The contractor shall be responsible for providing adequate storage for all materials and equipment during the construction process.
- 6.10 **Site Cleanup:**
The contractor shall be responsible for the proper cleanup of the site at the completion of the construction process.

OFFICE COPY

CITY OF MIAMI BEACH

APPROVED FOR CONSTRUCTION BY

DATE: _____

PROJECT NO. _____

DATE: _____

PROJECT NO. _____

DATE: _____

PROJECT NO. _____

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PROJECT NO. _____

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PROJECT NO. _____

DATE: _____

PROJECT NO. _____

DATE: _____

PROJECT NO. _____

DATE: _____

RENOVATIONS TO:
BIG PINK
157 Collins Avenue
Miami Beach, Florida 33139

GENERAL NOTES

REVISIONS

DATE: 07-02-96

PROJECT NO. 0000000000

DATE: 07-02-96

PROJECT NO. 0000000000

DATE: 07-02-96

PROJECT NO. 0000000000

DATE: 07-02-96

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DATE: 07-02-96

PROJECT NO. 0000000000

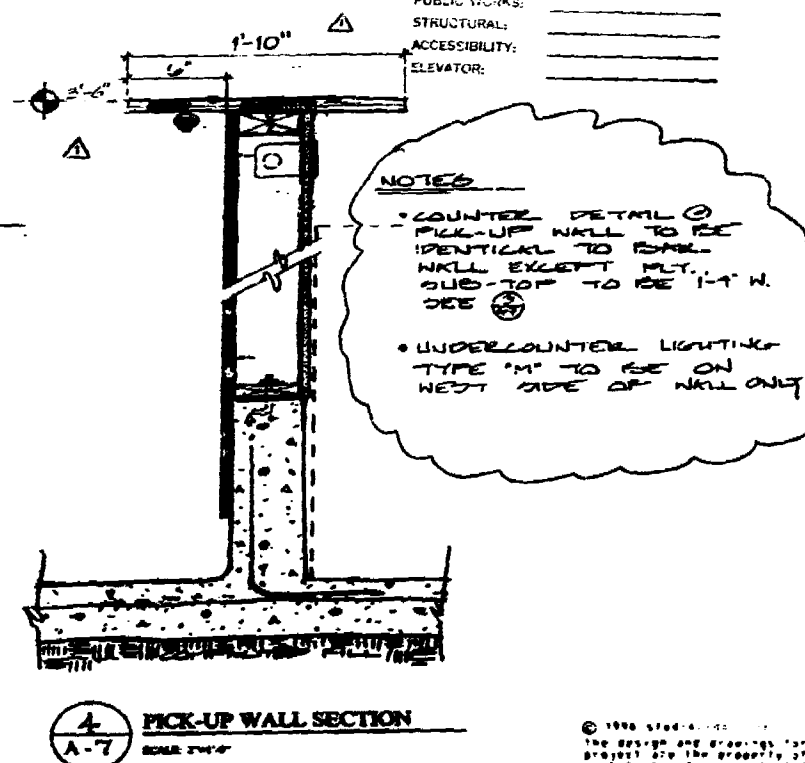
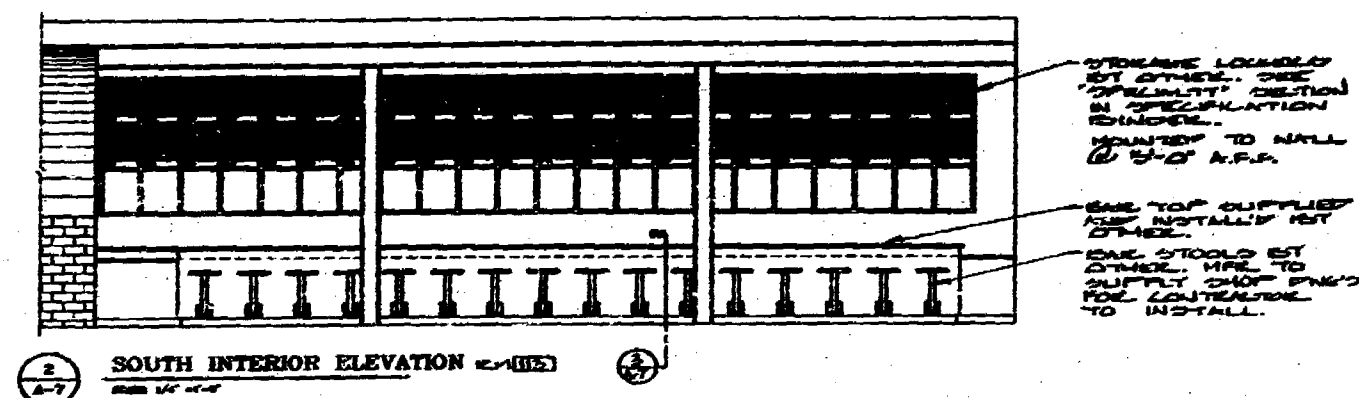
DATE: 07-02-96

PROJECT NO. 0000000000

DATE: 07-02-96

PROJECT NO. 0000000000

A-6



APPROVED FOR PERMIT BY

BUILDING: _____
 ZONE: _____
 PLANNING: _____
 ELECTRICAL: _____
 MECHANICAL: _____
 FIRE & PROTECTION: _____
 ENGINEERING: _____
 PUBLIC WORKS: _____
 STRUCTURAL: _____
 ACCESSIBILITY: _____
 ELEVATOR: _____

NOTES

- COUNTER DETAIL ②
FILL-UP WALL TO BE
IDENTICAL TO EARL-
WALL EXCEPT FLT.
SUB-TOP TO BE 1'-4" W.
DEE
- UNDERCOUNTER LIGHTING
TYPE "M" TO BE ON
WEST SIDE OF WALL ONLY

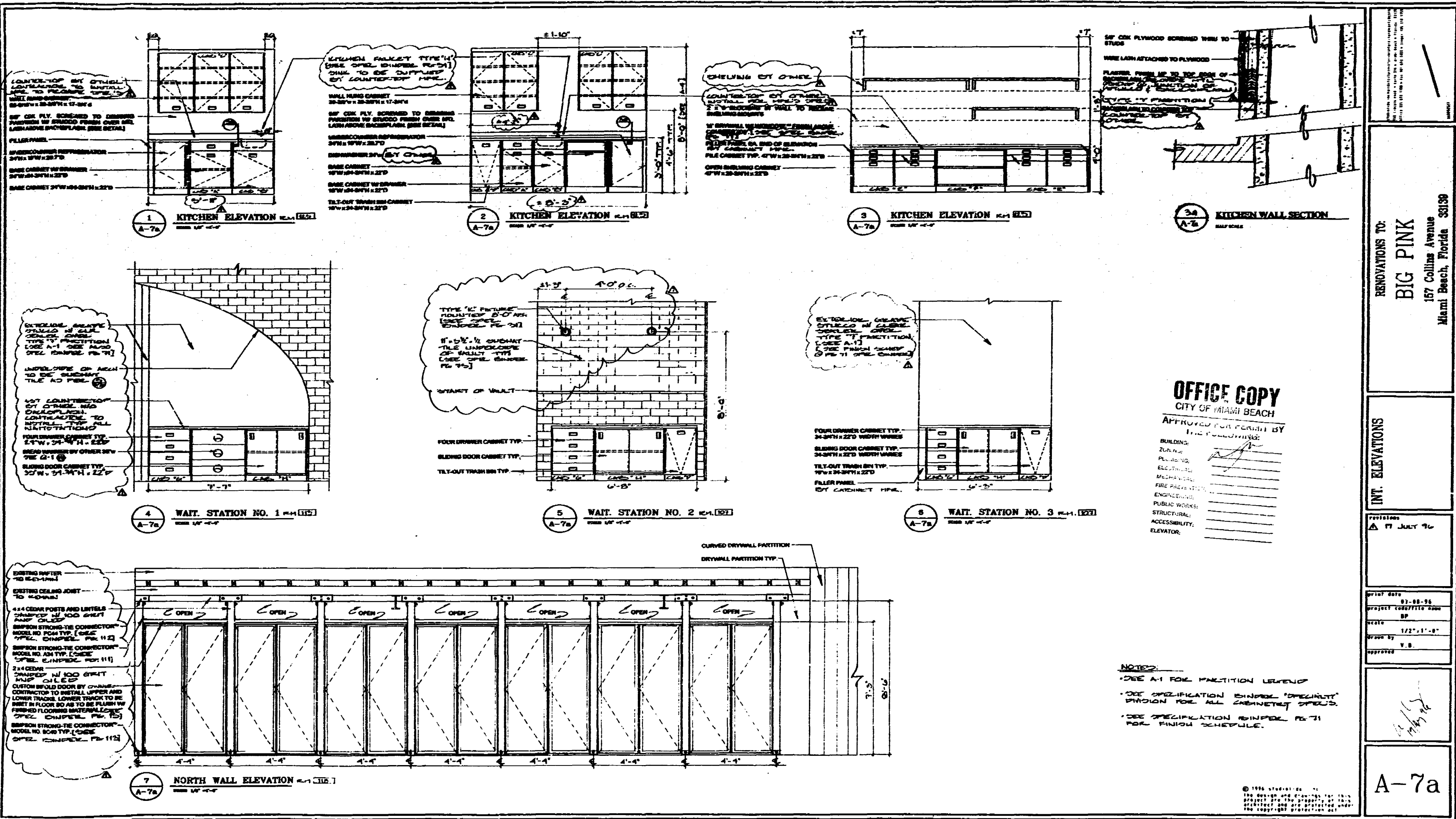
**RENOVATIONS TO:
BIG PINK
167 Collins Avenue
Miami Beach, Florida 33139**

INT. ELEVATIONS AND DETAILS

revisions
A 17 July 76

print date	07-08-96
project code/file name	BP
scale	1/4"=1'-0"
drawn by	V.B.
approved	

A-7



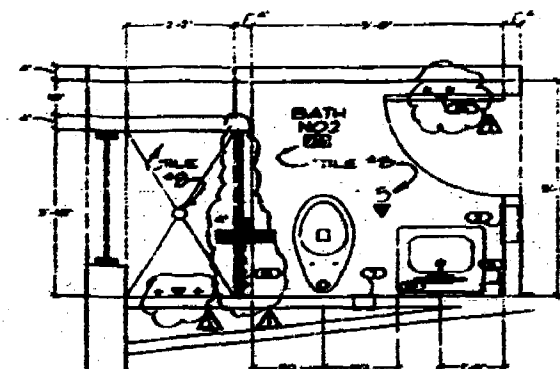
RENOVATIONS TO:
BIG PINK
 157 Collins Avenue
 Miami Beach, Florida 33139

INT. ELEVATIONS

DATE: JULY 96

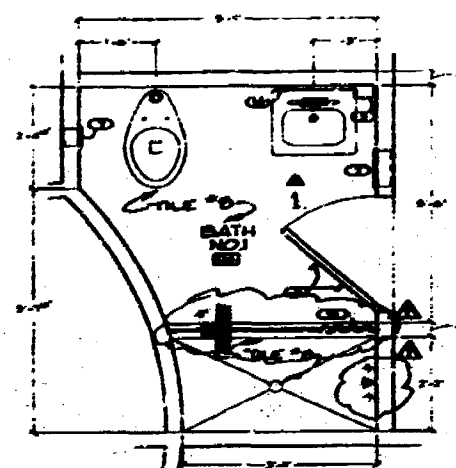
PROJECT: BIG PINK
 DRAWN BY: V.B.
 CHECKED BY: V.B.

A-7a



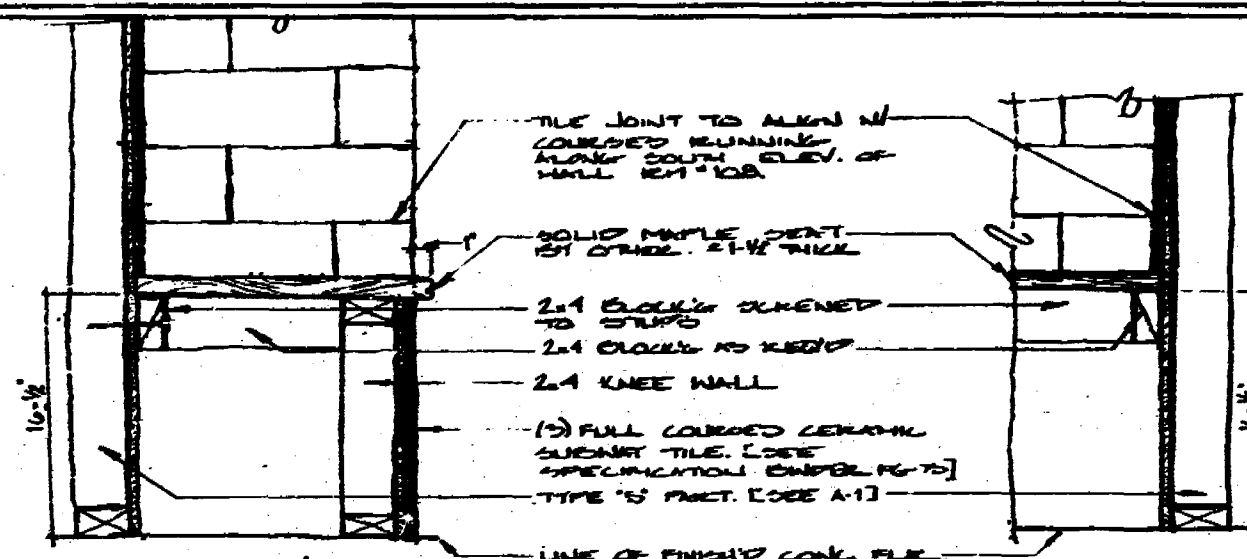
BATHROOM NO.1

SCALE: 1/2" = 1'-0"



BATHROOM NO.2

SCALE: 1/2" = 1'-0"

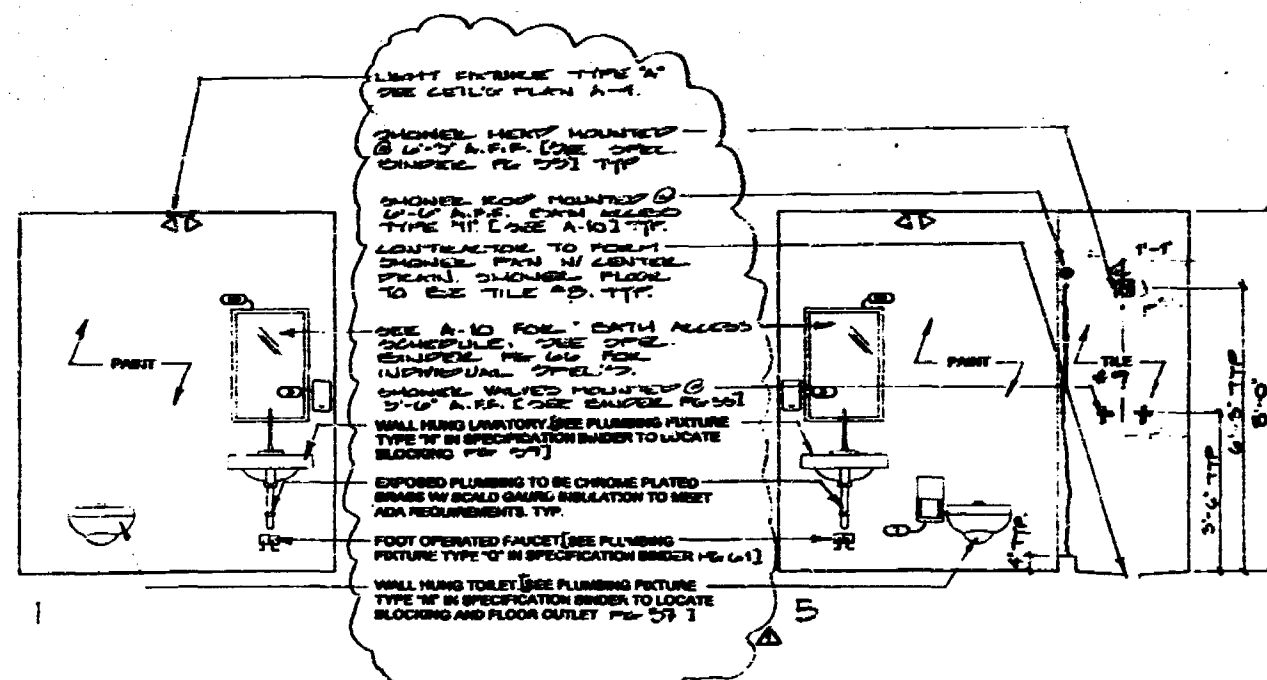


BENCH SECTION

SCALE: 2" = 1'-0"

BENCH SECTION

SCALE: 2" = 1'-0"



INTERIOR ELEVATIONS

SCALE: 1/2" = 1'-0"

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CITY OF MIAMI BEACH

APPROVED FOR PERMIT BY
THE FOLLOWING:

BUILDING	
PLUMBING	
ELECTRICAL	
Mechanical	
ENGINEERING	
PUBLIC WORKS	
STRUCTURAL	
ACCESSIBILITY	
ELEVATOR	

NOTES

- SEE A-1 FOR PARTITION LEGEND
- SEE A-10 FOR PLUMBING FIXTURE SCHEDULE
- SEE A-10 FOR BATHROOM ACCESSORY SCHEDULE
- SEE SPECIFICATION BOOK FOR BLOCKING REQUIREMENTS FOR EACH ITEM
- SEE FINISH SCHEDULE FOR FINISHES, COORDINATION, FINISH AND COLOR, ETC. (SCHEDULE PG. 7-2)
- SEE A-2 FOR PICTURE HANGING HEIGHTS

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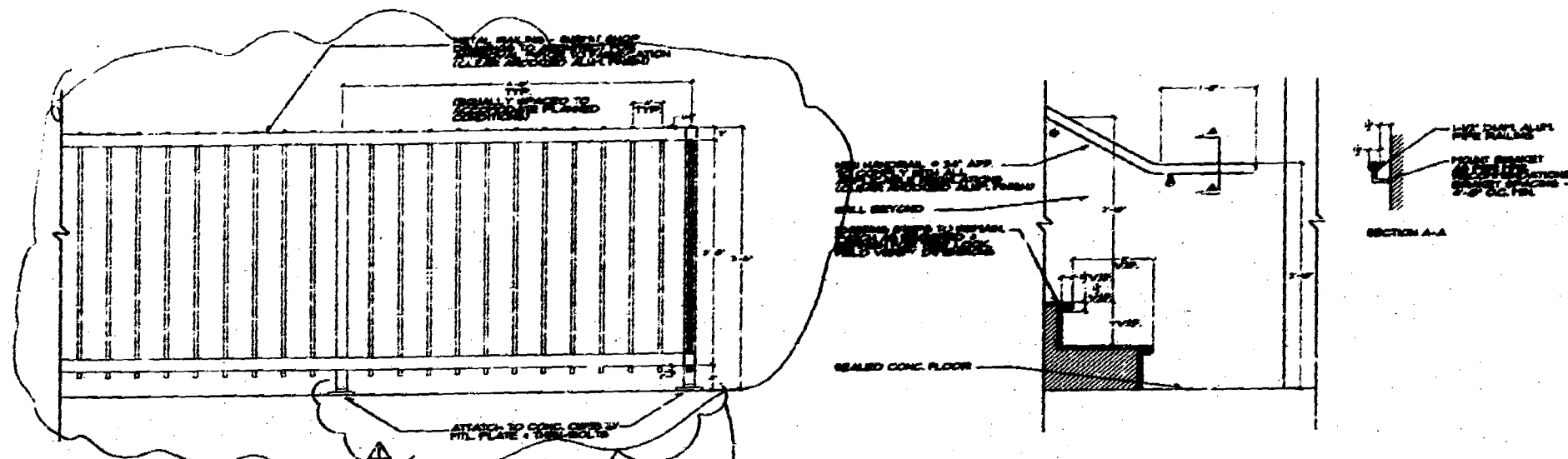
RENOVATIONS TO:
BIG PINK
157 Collins Avenue
Miami Beach, Florida 33139

INT. ELEVATIONS
& DETAILS

Permitted
17 JULY 1996

PRINT DATE: 07-08-96
PROJECT: 1007777777
SHEET: 01
AS NOTED
BY: V.B.
DATE: 07/08/96

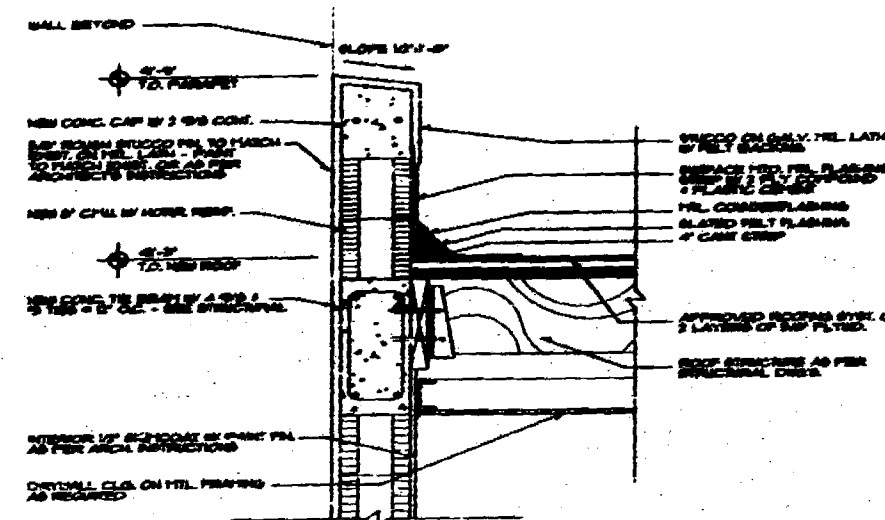
A-8a



1
A-9
RAILING DETAIL
SCALE 1" = 1'-0"

2
A-9
RISER/RAILING DETAIL
SCALE 1" = 1'-0"

Not part of this project



3
A-9
PARAPET DETAIL
SCALE 1" = 1'-0"

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CITY OF MIAMI BEACH

APPROVED FOR PERMIT BY
THE FOLLOWING:

BUILDING	
ZONING	
PLANNING	
ELECTRICAL	
Mechanical	
Fire Protection	
ENGINEERING	
Public Works	
Structural	
Accessibility	
Other	

RENOVATIONS TO
BIG PINK
157 Collins Avenue
Miami Beach, Florida 33139

DETAILS

POSITION
07-19-96

PROJECT NO.
07-08-96

PROJECT DESCRIPTION
BP

SCALE
AS NOTED

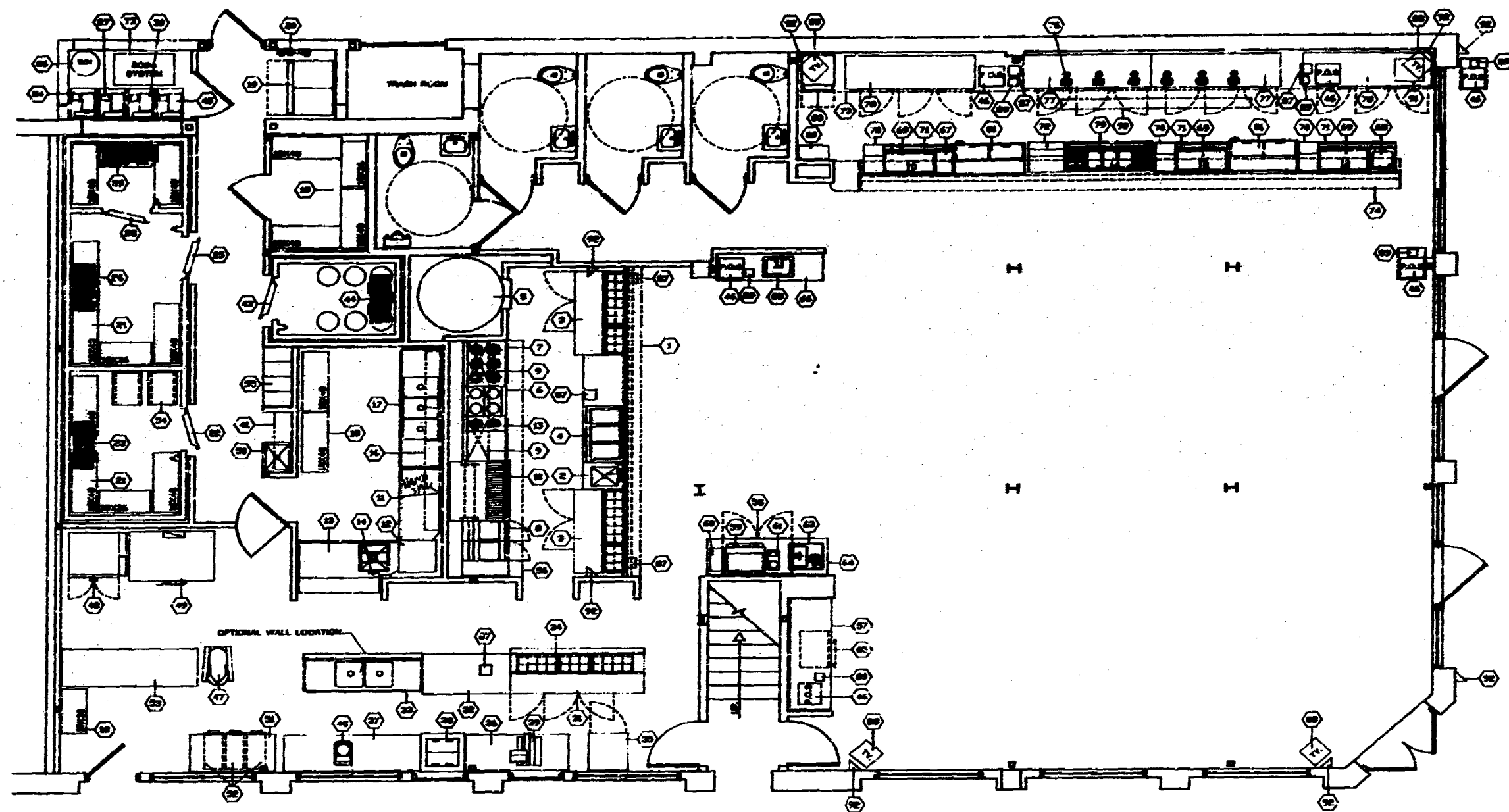
DESIGNED BY
V.B.

CHECKED BY

[Signature]

A-9

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OFFICE COPY
CITY OF MIAMI BEACH

Approved for use of
the restaurant

BUILDING
ZONING
PERMITS
ELECTRICAL
PLUMBING
MECHANICAL
PUBLIC WORKS
STRUCTURAL
ACCESSIBILITY
ELEVATOR

EQUIPMENT SCHEDULE

ITEM	QTY	DESCRIPTION
1	1	COUNTER SERVICE W/OVER SHELF
2	1	CABINET W/HAND SINK
3	2	PIZZA TABLE REFRIGERATED
4	1	DISP-IN HOT FOOD TABLE
5	1	PIZZA OVEN
6	1	14 BURNER WOK
7	1	18 BURNER RANGE
8	1	4-BURNER GRIDDLE W/DUMP STATION
9	2	SALAMANDER
10	1	CHAM-BROILER W/INTERSE
11	1	CLEAN DISHTABLE
12	1	DISHWASHER
13	1	SOIL DISHTABLE
14	1	PRE-RINSE FAUCET
15	1	20 BURNER RANGE W/GRIDDLE
16	1	WALL SHELF
17	1	20 COMPARTMENT SINK
18	LOT	STORAGE SHELVES
19	1	ICE MACHINE W/SIN
20	1	WATER FILTER
21	LOT	COOLER/FREEZER SHELVES
22	1	WALK-IN BAKERY COOLER
23	1	EVAPORATOR COIL
24	1	COMPRESSOR
25	1	WALK-IN COOLER
26	1	EVAPORATOR COIL
27	1	COMPRESSOR
28	1	WALK-IN FREEZER
29	1	EVAPORATOR COIL
30	1	COMPRESSOR
31	1	PIZZA TABLE REFRIGERATED
32	1	WORK TABLE
33	1	WORK TABLE W/22 SINK
34	1	DOUBLE OVERSHELF
35	1	GLASS DOOR REFRIGERATOR
36	1	WORK TABLE
37	1	ICE CREAM FREEZER
38	1	SLICER
39	1	FOOD PROCESSOR
40	1	WALL SHELF
41	1	OVEN WARMER
42	1	WALK-IN BEER COOLER
43	1	EVAPORATOR COIL
44	1	COMPRESSOR
45	1	P.A.S.
46	1	MIXER
47	1	CONVECTION OVEN
48	1	DECK OVEN
49	1	MOP SINK
50	1	BAKER TABLE
51	1	INGREDIENT SINK
52	3	WORK TABLE
53	1	WORK TABLE
54	2	PAN RACK
55	1	LOCKERS
56	1	EXHAUST HOOD SYSTEM
57	1	BEVERAGE COUNTER
58	1	UNDERCOUNTER REFRIGERATOR
59	1	EXPRESSO
60	1	GRINDER COFFEE
61	1	COFFEE MAKER
62	1	OPEN NUMBER
63	1	WATER STATION
64	1	CUTTING TABLE
65	1	BREAD WARMER
66	1	COUNTER CABINET
67	1	DRINKBOARD
68	1	HAND SINK
69	1	ICE CHEST
70	3	BLENDER STATION
71	3	BOTTLE RAIL
72	1	GLASS WASHER
73	1	BACK BAR COUNTER
74	1	BAR COUNTER
75	1	SODA SYSTEM
76	1	DISPENSING HEAD & DRAINER
77	2	DIRECT DRAW DRAFT BEER DISPENSER
78	2	131 DOOR BACK BAR REFRIGERATOR
79	1	131 COMPARTMENT BAR SINK
80	1	TASH CAN
81	2	BOTTLE COOLER
82	-	OPEN NUMBER
83	1	ICE MACHINE
84	-	OPEN NUMBER
85	1	ICE CHEST W/GUN
86	1	WATER HEATER
87	6	PRINTER
88	4	TV MONITOR
89	6	CREDIT CARD
90	1	DROP SCREEN TV
91	1	STEREO SYSTEM
92	8	SPEAKER

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ARROW
INDUSTRIES CORP.
RESTAURANT
EQUIPMENT
FURNISHING & SUPPLIES

2800 NW 20TH STREET
MIAMI, FLORIDA 33142 S.W.A.
PHONE 800 488 8888
FAX 305 488 8888

DATE DESCRIPTION NO.

REVISIONS

BIG PINK

DATE: 3-3-88
SCALE: 1/4"=1'-0"
DRAWN BY: RPH

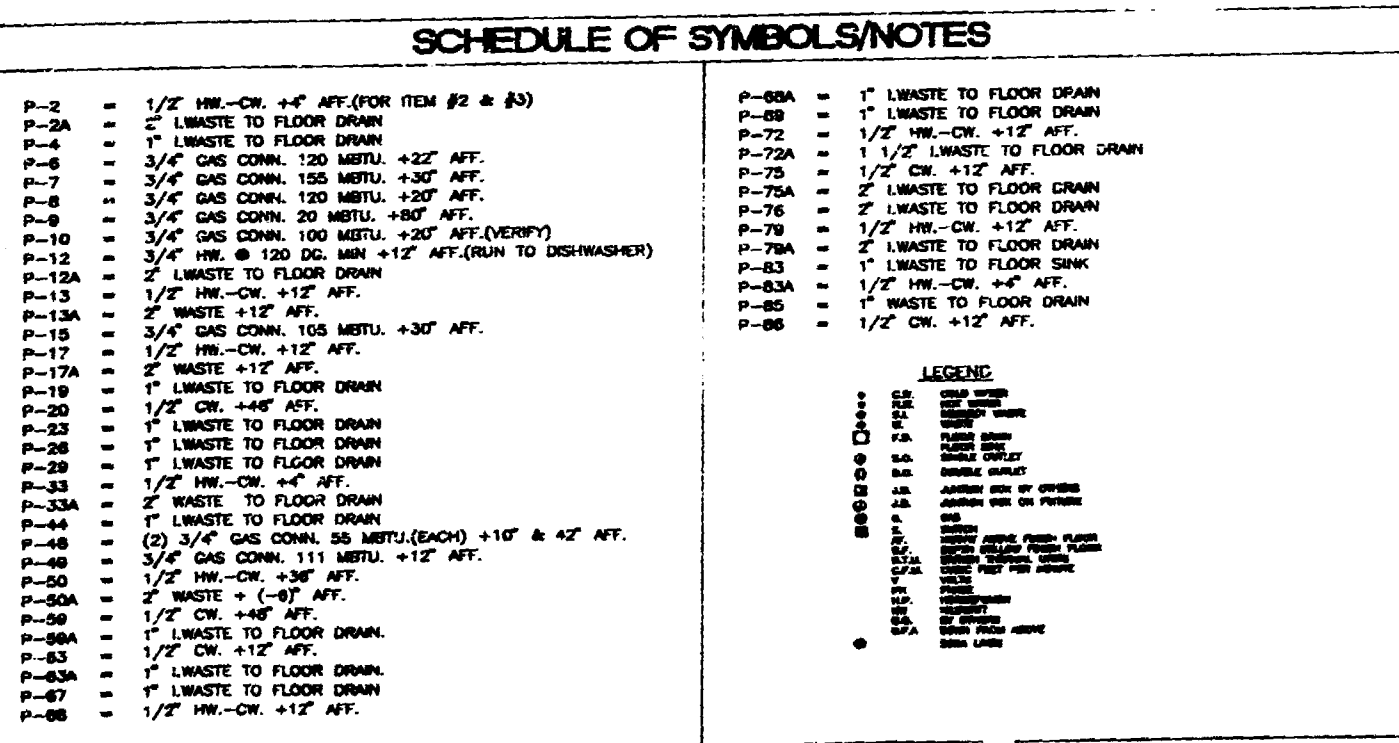
JOB # 29621

SHEET TITLE
FOOD SERVICE
EQUIPMENT

SHEET

Q-1

OF 3 SHEETS

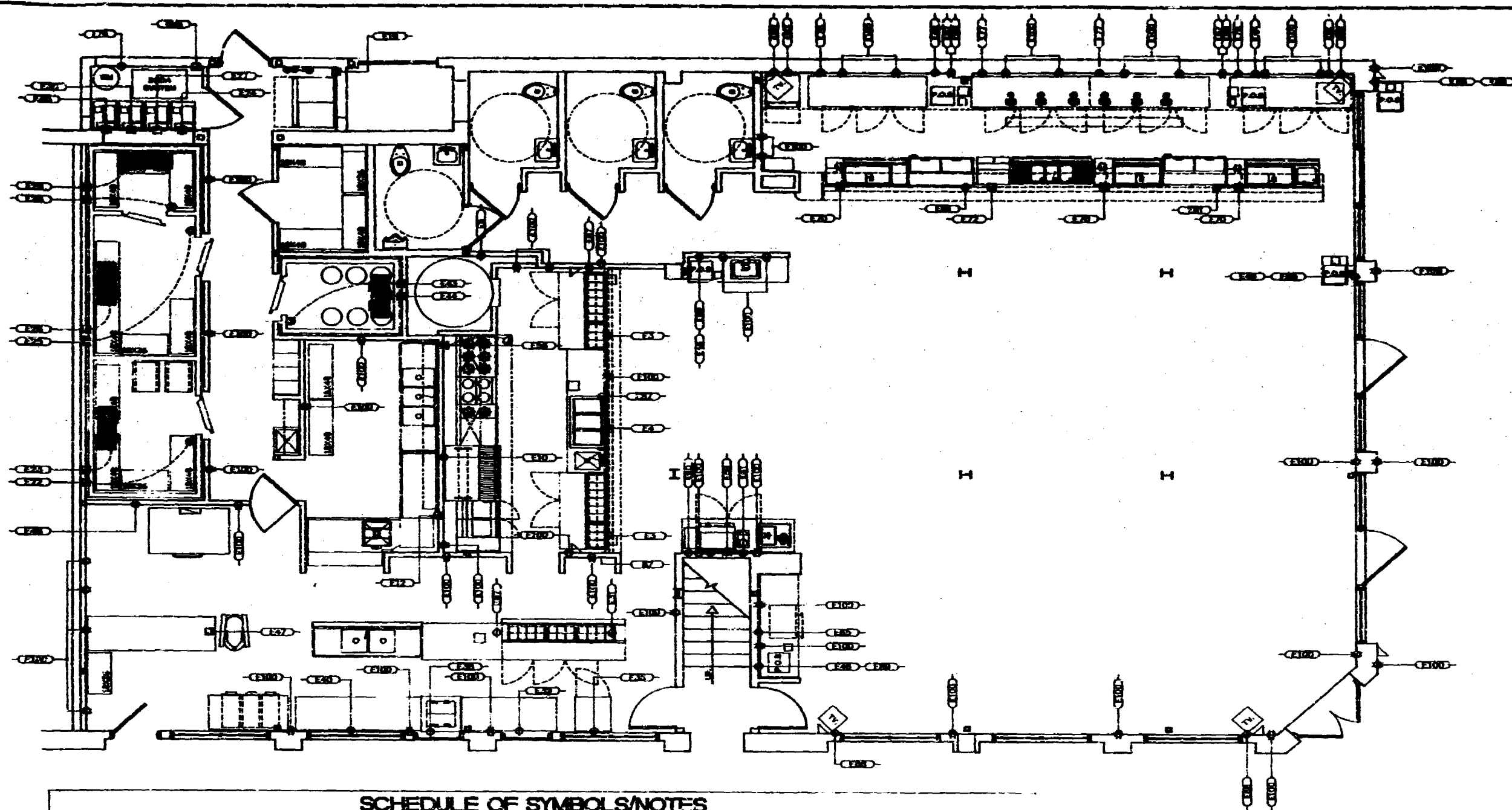


BUILDING: _____
 ADDRESS: _____
 CITY: _____
 STATE: _____
 ZIP: _____
 ENGINEER: _____
 PUBLIC WORKS: _____
 STRUCTURAL: _____
 ACCESSIBILITY: _____
 ELEVATOR: _____

- 1) THE DRAINING LOCALITIES AND SERVICES OF CONNECTION FOR EACH TYPE OF FOOD SERVICE EQUIPMENT, THE DESIGN OF THE SYSTEMS TO ACCOMMODATE THIS EQUIPMENT, THE WATER SUPPLY, THE NEED FOR ADDITIONAL WATER, THE NEED FOR HOT WATER, THE NEED FOR STEAM, AND THE NEED FOR VACUUM, MUST BE APPROVED BY ALL AGENCIES INVOLVED AND THE APPROVAL OF ALL AGENCIES AUTHORIZED.
- 2) THE DESIGN OF THE SYSTEMS MUST BE APPROVED APPROPRIATELY.
- 3) ALL PLUMBING MATERIALS - TUBING, VALVES SHUT OFF, REDUCING VALVES, GAUGES AND FITTINGS MUST BE APPROVED BY ALL AGENCIES INVOLVED.
- 4) THE DESIGN OF THE SYSTEMS MUST BE APPROVED APPROPRIATELY.
- 5) AS SHOWN ON THESE PLANS WILL BE DONE MECHANICAL (PLUMBING) WORK.
- 6) WATER PRESSURE IN EQUIPMENT AREA SHOULD NOT EXCEED 150 PSI. THE PRESSURE IN THE MAIN WATER SUPPLY LINE SHOULD NOT EXCEED 150 PSI. THE WATER PRESSURE TO DISBURSERS AND BOOSTERS SHOULD NOT EXCEED 150 PSI. THE WATER PRESSURE TO THE HOT WATER SYSTEM SHOULD NOT EXCEED 150 PSI. THE WATER PRESSURE TO THE STEAM SYSTEM SHOULD NOT EXCEED 150 PSI. THE WATER PRESSURE TO THE VACUUM SYSTEM SHOULD NOT EXCEED 150 PSI. THE WATER PRESSURE TO THE HOT WATER SYSTEM SHOULD NOT EXCEED 150 PSI. THE WATER PRESSURE TO THE STEAM SYSTEM SHOULD NOT EXCEED 150 PSI. THE WATER PRESSURE TO THE VACUUM SYSTEM SHOULD NOT EXCEED 150 PSI.
- 7) RECOMMENDED HOT WATER TEMPERATURE IN KITCHEN: 80 C (180 F).
- 8) HOT AND COLD WATER SUPPLY TO DISBURSING AREA AND ICE MAKERS SHOULD BE TREATED AND DISINFECTED BY MEANS OF A WATER TREATMENT SYSTEM.
- 9) THE DESIGN OF THE SYSTEMS MUST BE APPROVED APPROPRIATELY.
- 10) ONLY THE DRAINING MUST BE USED IN CONNECTION WITH THE DRAINING SYSTEM.

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SCHEDULE OF SYMBOLS/NOTES

E-3	= 120V/1PH/60Hz 1/3 HP. +4" AFF.	E-70	= 120V/1PH/60Hz 11.5 AMPS.(EACH) +12" AFF.
E-4	= 208-230V/1PH/60Hz 3/3.7. +4" AFF.	E-72	= 115-230V/1PH/60Hz 2 KW. +12" AFF.
E-5	= 120V/1PH/60Hz 20 AMPS. +12" AFF.	E-75	= (EQUIPMENT BY OTHERS VERIFY ELECTRICAL REQUIREMENTS WITH SUPPLIER)
E-10	= 120V/1PH/60Hz 1/20 HP. +12" AFF.	E-77	= 120V/1PH/60Hz 1/3 HP. +12" AFF.
E-12	= 200-230V/1PH/60Hz 50 AMPS. (1 HP.) +12" AFF.	E-78	= 120V/1PH/60Hz 1/3 HP. +12" AFF.
E-19	= 208-230V/1PH/60Hz 20 AMPS. +80" AFF.	E-81	= 120V/1PH/60Hz 1/3 HP. +48" AFF.
E-22	= 120V/1PH/60Hz 20 AMPS. +108" AFF.(FOR LIGHT ETC.)	E-83	= 120V/1PH/60Hz 1/2 HP. +12" AFF.
E-23	= 208V/1PH/60Hz 20 AMPS. +108" AFF.(COOLER COIL)	E-86	= (EQUIPMENT BY OTHERS VERIFY ELECTRICAL REQUIREMENTS WITH SUPPLIER)
E-24	= 208V/3PH/60Hz 1 HP. +108" AFF. (REMOTE COMPRESSOR)	E-87	= COORDINATE INSTALLATION AS REQ.
E-25	= 120V/1PH/60Hz 20 AMPS. +108" AFF.(FOR LIGHT ETC.)	E-88	= COORDINATE INSTALLATION AS REQ.
E-26	= 120V/1PH/60Hz 20 AMPS. +108" AFF.(COOLER COIL)	E-89	= COORDINATE INSTALLATION AS REQ.
E-27	= 208V/3PH/60Hz 1 HP. +108" AFF. (REMOTE COMPRESSOR)	E-91	= 120V/1PH/60Hz 20 AMPS. +48" AFF. (DEDICATED CIRCUIT)
E-28	= 120V/1PH/60Hz 20 AMPS. +108" AFF.(FOR LIGHT ETC.)	E-100	= 120V/1PH/60Hz 20 AMPS. (UTILITY) +48" AFF.
E-29	= 120V/1PH/60Hz 20 AMPS. +108" AFF.(FREEZER COIL)		
E-30	= 208V/3PH/60Hz 1 HP. +108" AFF. (REMOTE COMPRESSOR)		
E-31	= 120V/1PH/60Hz 1/4 HP. +4" AFF.		
E-35	= 120V/1PH/60Hz 1/4 HP. +60" AFF.		
E-36	= 120V/1PH/60Hz 1/5 HP. +12" AFF.		
E-39	= 120V/1PH/60Hz 20 AMPS. +48" AFF.		
E-40	= 120V/1PH/60Hz 20 AMPS. +48" AFF.		
E-43	= 120V/1PH/60Hz 20 AMPS. +108" AFF.(FOR LIGHT ETC.)		
E-44	= 208V/1PH/60Hz 20 AMPS. +108" AFF.(COOLER COIL)		
E-45	= 208V/3PH/60Hz 1 HP. +108" AFF. (REMOTE COMPRESSOR)		
E-46	= 120V/1PH/60Hz 20 AMPS. +48" AFF. (DEDICATED CIRCUIT)		
E-47	= 230V/1PH/60Hz 2 HP. +4" AFF.		
E-48	= 120V/1PH/60Hz 1/3 HP. (EACH) +36/88" AFF.		
E-56	= 120V/1PH/60Hz 20 AMPS. HOOD LIGHTS JBL. +108" AFF.		
	ON & OFF SWITCH MOUNT +80" AFF. W/ANSUL FIRE SUPP. SYSTEM		
E-58	= 120V/1PH/60Hz 1/5 HP. +12" AFF.		
E-59	= 120V/1PH/60Hz 20 AMPS. +48" AFF.		
E-60	= 120V/1PH/60Hz 20 AMPS. +48" AFF.		
E-61	= 120V/1PH/60Hz 20 AMPS. +48" AFF.		
E-65	= 120V/1PH/60Hz 7.5 AMPS. (800 WATTS.) +48" AFF.		

LEGEND
1. 120V/1PH/60Hz 1/3 HP. +4" AFF.
2. 208-230V/1PH/60Hz 3/3.7. +4" AFF.
3. 120V/1PH/60Hz 20 AMPS. +12" AFF.
4. 120V/1PH/60Hz 1/20 HP. +12" AFF.
5. 200-230V/1PH/60Hz 50 AMPS. (1 HP.) +12" AFF.
6. 208-230V/1PH/60Hz 20 AMPS. +80" AFF.
7. 120V/1PH/60Hz 20 AMPS. +108" AFF.(FOR LIGHT ETC.)
8. 208V/1PH/60Hz 20 AMPS. +108" AFF.(COOLER COIL)
9. 208V/3PH/60Hz 1 HP. +108" AFF. (REMOTE COMPRESSOR)
10. 120V/1PH/60Hz 20 AMPS. +108" AFF.(FOR LIGHT ETC.)
11. 120V/1PH/60Hz 20 AMPS. +108" AFF.(COOLER COIL)
12. 208V/3PH/60Hz 1 HP. +108" AFF. (REMOTE COMPRESSOR)
13. 120V/1PH/60Hz 20 AMPS. +108" AFF.(FREEZER COIL)
14. 208V/3PH/60Hz 1 HP. +108" AFF. (REMOTE COMPRESSOR)
15. 120V/1PH/60Hz 1/4 HP. +4" AFF.
16. 120V/1PH/60Hz 1/4 HP. +60" AFF.
17. 120V/1PH/60Hz 1/5 HP. +12" AFF.
18. 120V/1PH/60Hz 20 AMPS. +48" AFF.
19. 120V/1PH/60Hz 20 AMPS. +48" AFF.
20. 120V/1PH/60Hz 20 AMPS. +108" AFF.(FOR LIGHT ETC.)
21. 208V/1PH/60Hz 20 AMPS. +108" AFF.(COOLER COIL)
22. 208V/3PH/60Hz 1 HP. +108" AFF. (REMOTE COMPRESSOR)
23. 120V/1PH/60Hz 20 AMPS. +48" AFF. (DEDICATED CIRCUIT)
24. 230V/1PH/60Hz 2 HP. +4" AFF.
25. 120V/1PH/60Hz 1/3 HP. (EACH) +36/88" AFF.
26. 120V/1PH/60Hz 20 AMPS. HOOD LIGHTS JBL. +108" AFF.
27. ON & OFF SWITCH MOUNT +80" AFF. W/ANSUL FIRE SUPP. SYSTEM
28. 120V/1PH/60Hz 1/5 HP. +12" AFF.
29. 120V/1PH/60Hz 20 AMPS. +48" AFF.
30. 120V/1PH/60Hz 20 AMPS. +48" AFF.
31. 120V/1PH/60Hz 20 AMPS. +48" AFF.
32. 120V/1PH/60Hz 7.5 AMPS. (800 WATTS.) +48" AFF.

ELECTRICAL NOTES:

- THIS DRAWING LOCATES ELECTRICAL POINTS OF CONNECTION FOR EACH ITEM OF FOOD SERVICE EQUIPMENT. THE DESIGN OF SYSTEMS TO ACCOMMODATE THIS EQUIPMENT IS BY OTHERS AND IS TO BE IN ACCORDANCE WITH ALL LOCAL CODES AND MEET THE APPROVAL OF ALL GOVERNING AUTHORITIES. LOCATION, SIZE AND HEIGHTS ABOVE FLOOR ARE APPROXIMATELY.
- ALL MAIN SWITCHES, SAFETY CUT OUTS, FUSES BOXES, DISCONNECTS SWITCHES AND/OR OTHERS ELECTRICAL CONTROLS, FITTINGS AND CONNECTIONS IN KITCHEN AND OTHER AREAS SHALL BE FURNISHED AND INSTALLED BY MECHANICAL (ELECTRICAL) CONTRACTORS.
- FIRE PROTECTION SYSTEMS SHALL BE WIRING TO THE ELECTRICAL EMERGENCY SERVICE. ALL ELECTRICAL CONTROL SWITCHES REQUIRED FOR VENT EXHAUST AND FIRE PROTECTION SYSTEMS SHALL BE FURNISHED AND INSTALLED BY OTHERS UNLESS SPECIFIED OTHERWISE.
- ALL ELECTRICAL WIRING CONNECTION CONDUIT AND EXTERNAL CONNECTION FROM POINT OF CONNECTION ON EQUIPMENT TO HOUSE-IN POINT AS SHOWN ON THESE PLANS WILL BE DONE BY MECHANICAL (ELECTRICAL) CONTRACTOR.
- UNLESS OTHERWISE IS SPECIFIED NOTED ALL WIRING METHODS EXCEEDING 1 HP. OR 3 KW. HEATED ELEMENTS SHALL BE CONNECTED TO 3 PHASE CURRENT AND SHALL HAVE OVERLOAD PROTECTORS PROVIDED BY ELECTRICAL CONTRACTORS.
- ONLY AND THIS DRAWING MUST BE USED IN CONJUNCTION WITH ELECTRICAL DRAWINGS FOR OTHERS REQUIRED UTILITIES.
- PROVIDE COMPUTER GROUND CLEAN GROUND SERVICE FOR ELECTRONIC CASH REGISTERS.

OFFICE COPY CITY OF MIAMI BEACH

Approved for permit by
The following:

BUILDING	
PLUMBING	
ELECTRICAL	
Mechanical	
Fire Protection	
Structural	
Accessibility	
ELEVATOR	

DATE: 9-3-88
SCALE: 1/4"=1'-0"
DRAWN BY: RPT

JOB # 29621

SHEET TITLE
ELECTRICAL
ROUGH-IN

SHEET
Q-3

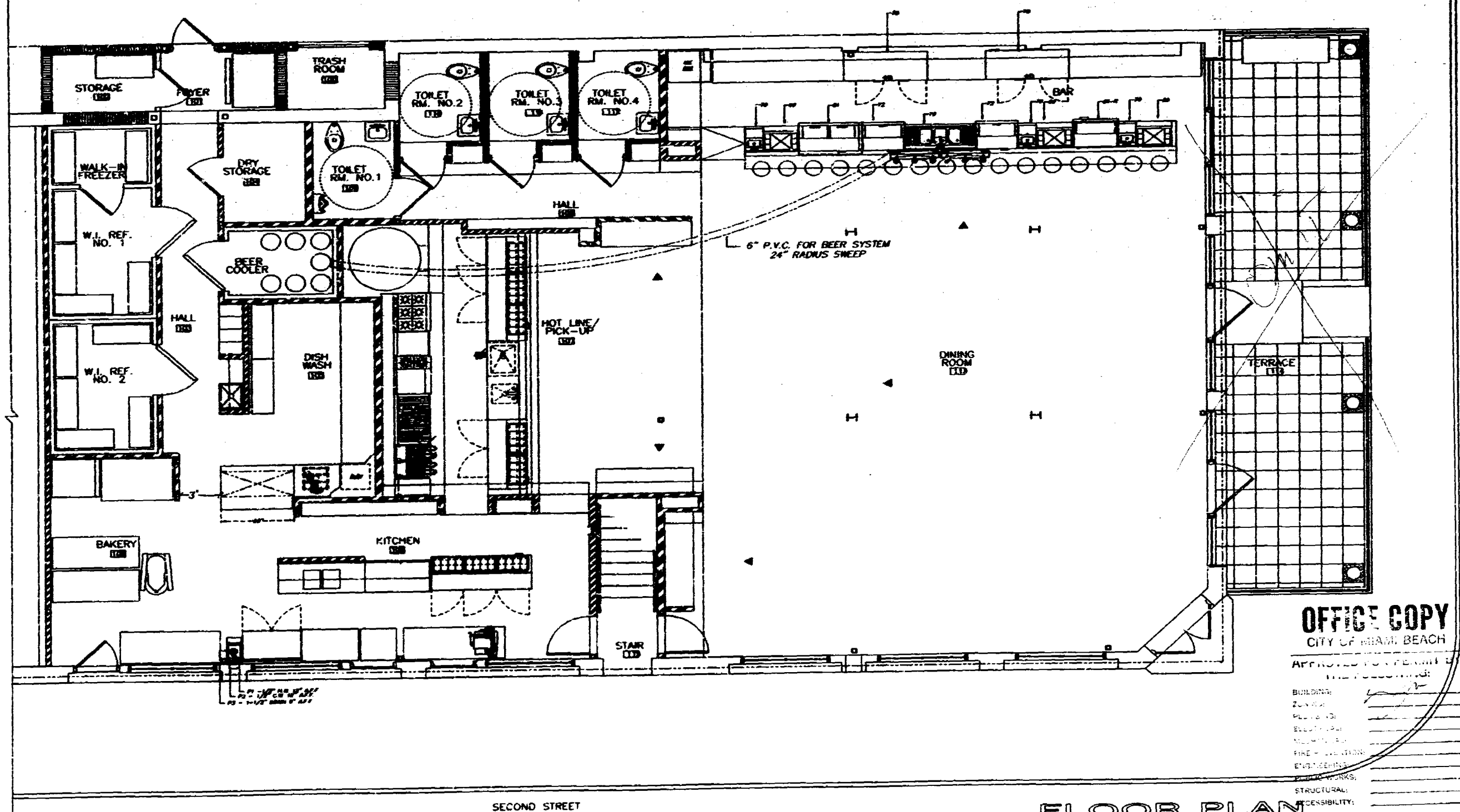


2886 NW 85TH STREET
MIAMI, FLORIDA 33146 U.S.A.
PHONE (305) 656-0800
FAX (305) 656-0800

DATE DESCRIPTION NO.

REVISIONS

BIG PINK



OFFICE COPY
CITY OF MIAMI BEACH

APPROVED FOR PERMIT

BUILDING
ZONING
FLOODING
FIRE
ENVIRONMENTAL
STRUCTURAL
ELECTRICAL
MECHANICAL
PLUMBING
PARKING
LANDSCAPE
TRAFFIC
OTHER

FLOOR PLAN
SCALE: 1/4"=1'-0"

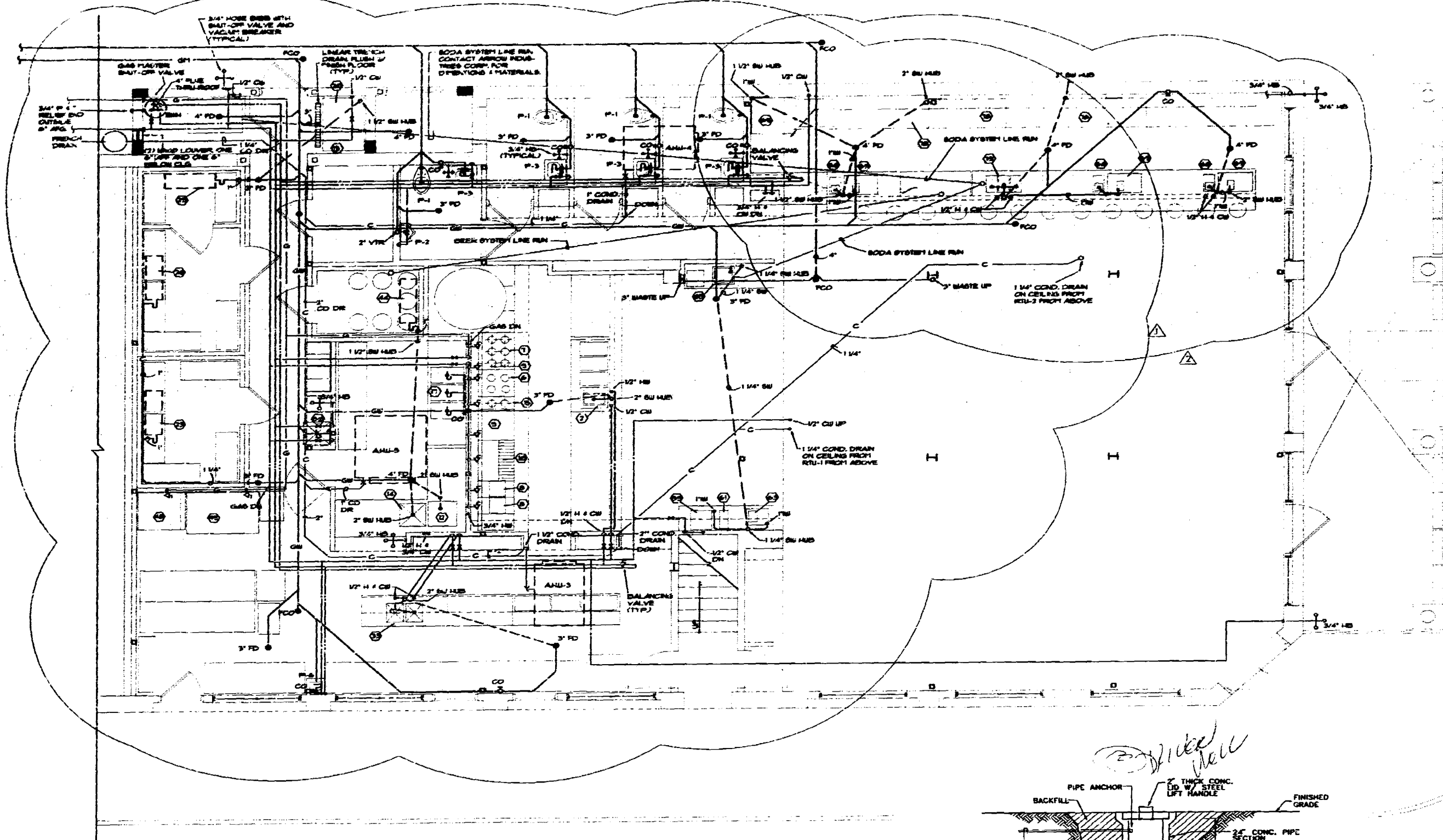
LEE EQUIPMENT COMPANY


REV. / LOT
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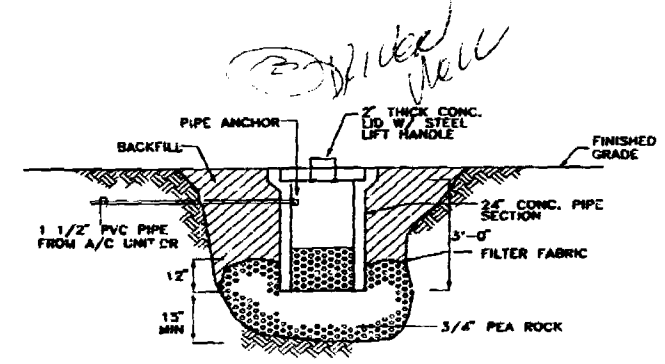
JOB NAME: BIG PINK
COLLINS AVE. & SECOND STREET

LEE EQUIPMENT CO.
1000 PEMBROKE ROAD
HALLANDALE, FLORIDA 33008 USA
Tel #: (954) 456-7500
Fax #: (954) 456-7555

DATE: 07/29/96
DRAWING #: 729-96R
FOOD SERVICE DESIGNER: J. BRANDT
EQUIPMENT LAYOUT: K-2
SHEET 2 OF 2





PLUMBING PLAN
 SCALE: 1/4" = 1'-0" GROUND FLOOR



COND. FRENCH DRAIN DETAIL
 R.T.A.

OFFICE COPY
 CITY OF MIAMI BEACH
 APPROVED FOR RECORD BY
 (Signature)
 BUILDING DEPT.
 ZONING DEPT.
 FIRE DEPT.
 PUBLIC WORKS
 ACCESSIBILITY
 Elected Rep.



Page and Associates, Inc.
 Engineers/Consultants
 # 33 000593
 4870 S.W. 72 Avenue, #107
 Miami, Florida 33155
 (305) 681-7700

RENOVATIONS TO: BIG PINK 157 Collins Avenue Miami Beach, Florida 33139	
GROUND FLOOR PLUMBING PLAN	
REVISIONS: 8-8-96 8-16-96	DATE: 07-08-96 PROJECT CODE: 96-1004 DRAWN BY: BP CHECKED BY: 1/6/97 DESIGNED BY: P.T. COORDINATED BY:
P-1	



Approved for Release of
the President:

BUILDING
 ADDRESS
 CITY AND STATE
 ZIP CODE
 PHONE NUMBER
 FAX NUMBER
 E-MAIL ADDRESS
 ENROLLING
 PUBLIC WORKS
 STRUCTURAL
 ACCESSIBILITY
 ELEVATOR



Puga and Associates, Inc.
Engineers/Consultants
EB 0005613
4970 S.W. 72 Avenue, #10
Miami, Florida 33155
(305) 661-7700

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RENOVATIONS TO:
BIG PINK
157 Collins Avenue
Miami Beach, Florida 33139

**SECOND FLOOR
PLUMBING PLAN**

revisions
 8-8-96

Print Date 07-08-96
Project code/file name 82
Scale 1/2" = 1'-0"
Drawn by E.T.
Checked by

[Signature]

P-2

[illegible]

APPROVED FOR PERMIT BY
THE FOLLOWING:

ENGINEERING: CONSTRUCTION SCHEDULE

[illegible]

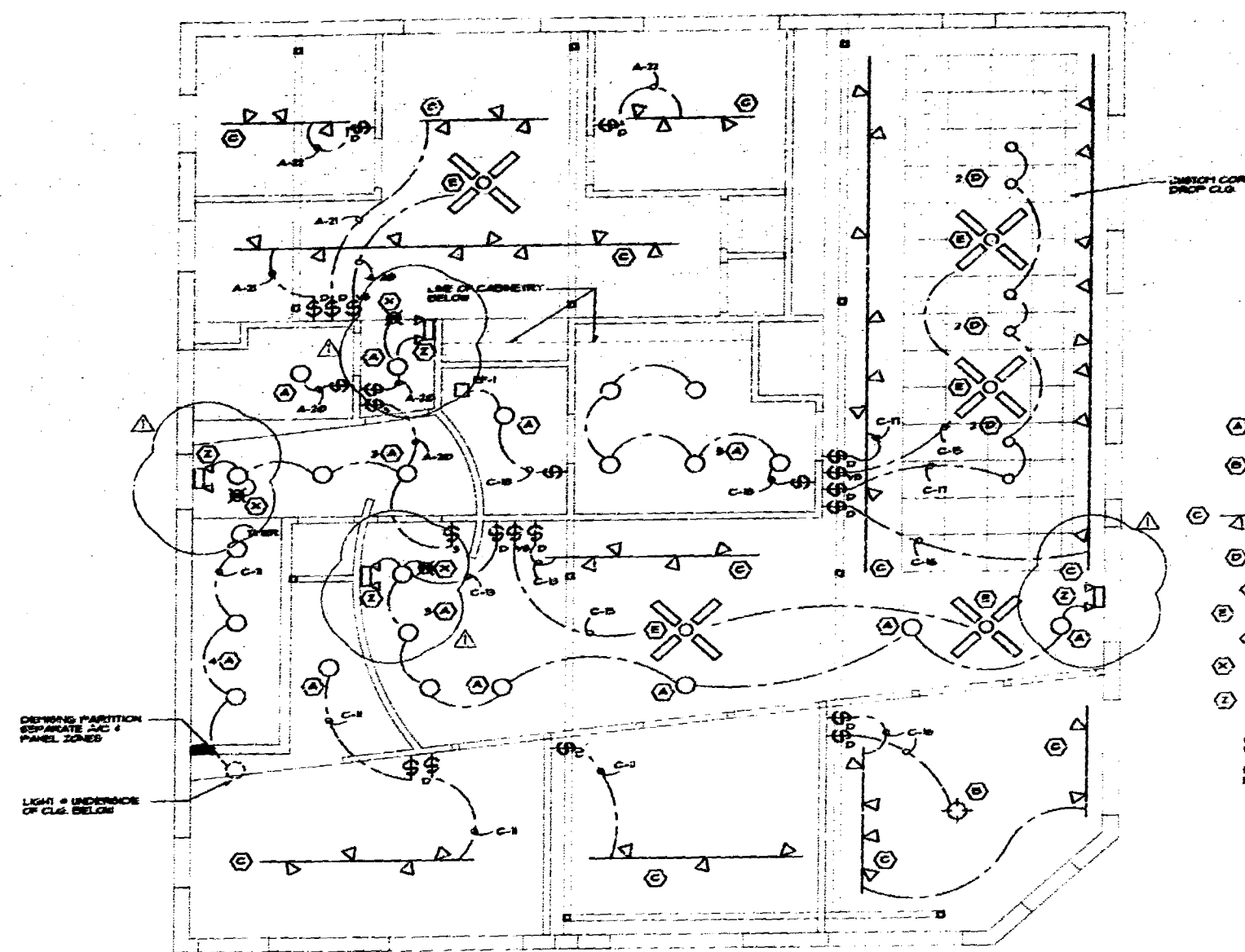
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RISERS
 SCHEDULES
 NOTES

print date	07-08-94
project code/title name	BP
scale	N.T.S.
drawn by	F.T.
approved	

[Signature]

P-4



- LIGHTING SYMBOLS**
- ⊙ SURFACE MOUNTED RECESSED DOWN LIGHT (10-200W)
 - ⊙ SURFACE MOUNTED PENDANT FUTURE (100W)
 - △ TRACK LIGHTING
 - ⊙ RECESSED C-ON FUTURE
 - ⊗ C-ON TYPE I RECESSED C-ON TYPE I RECESSED BALL BEAM
 - ⊗ B-ON TYPE I RECESSED BALL BEAM
 - ⊗ BATTERY BACK-UP
 - ⊗ BATTERY BACK-UP
- NOTE: SEE LIGHTING FIXTURE SCHEDULE FOR LIGHTING SPECIFICATIONS
REFER TO SCHEDULE AND SPECIFICATION BOOK FOR INDIVIDUAL FIXTURE REQUIREMENTS

- GENERAL LIGHTING NOTES**
- ALL FLUORESCENT FIXTURES SHALL HAVE EACH BALLAST RATED.
 - ALL FIXTURES SHALL BE PROPERLY SECURED TO CEILING GRID SYSTEM.
 - VERIFY ALL DIMENSIONS AND LOCATIONS WITH TENANT PRIOR TO INSTALLATION.
 - ALL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE AND OTHER APPLICABLE CODES AND STANDARDS.
 - THE CONTRACTOR IS RESPONSIBLE FOR EVALUATING FIELD CONDITIONS BY VISITING THE SITE PRIOR TO COMMENCEMENT OF WORK.
 - THE CONTRACTOR SHALL SATISFACTORILY REPAIR/REPLACE EQUIPMENT OR PART OF STRUCTURE DAMAGED AS A RESULT OF HIS WORK. SURFACES AND FINISHED AREAS SHALL BE RESTORED TO MATCH ADJACENT AREAS.
 - APPROVAL SHALL BE OBTAINED FROM THE ENGINEER PRIOR TO CUTTING OR DRILLING ANY STRUCTURAL SUPPORT MEMBER.
 - ALL CONNECTIONS SHALL BE OF COPPER.
 - ALL MATERIALS SHALL BE UL APPROVED.
 - ALL LUMINAIRES SHALL BE PROPERLY SUPPORTED IN ACCORDANCE WITH THE CEILING SYSTEM MANUFACTURER RECOMMENDATIONS AND LOCAL CODE REQUIREMENTS.

ELECTRICAL LIGHTING PLAN
SCALE: 1/4" = 1'-0"
SECOND FLOOR

OFFICE COPY
CITY OF MIAMI BEACH
APPROVED FOR THE CITY OF MIAMI BEACH
DATE: 07-08-96
PROJECT CODE/NO. NAME: 123 0000013
SCALE: 1/4" = 1'-0"
DRAWN BY: J.P.P.
CHECKED BY: J.P.P.
ENGINEER: J.P.P.
PUBLIC WORKS: J.P.P.
STRUCTURAL: J.P.P.
ACCESSIBILITY: J.P.P.

Pagan and Associates, Inc.
Engineers/Consultants
123 0000013
4670 S.W. 72 Avenue, #107
Miami, Florida 33155
(305) 681-7700

RENOVATIONS TO:
BIG PINK
157 Collins Avenue
Miami Beach, Florida 33139

SECOND FLOOR
LIGHTING PLAN

DATE: 07-08-96
PROJECT CODE/NO. NAME: 123 0000013
SCALE: 1/4" = 1'-0"
DRAWN BY: J.P.P.
CHECKED BY: J.P.P.
ENGINEER: J.P.P.
PUBLIC WORKS: J.P.P.
STRUCTURAL: J.P.P.
ACCESSIBILITY: J.P.P.

E-4

PANEL K
SINGLE PHASE LOAD CALCULATION
KITCHEN EQUIPMENT - 120 VOLT @ 100% = 9,000
Total Demand Load 9,000
9,000 VA / 240 = 37.5 Amps

THREE PHASE LOAD CALCULATION
KITCHEN EQUIPMENT @ 100% = 28,800 VA
HVAC @ 100% NON-CONCURRENT = 41,300 VA
HVAC, 25% OF LARGEST MOTOR = 3,302 VA
Total Demand Load 71,202 VA
71,202 VA / 415 = 171.6 Amps
TOTAL DEMAND LOAD = 31.5 + 171.6 = 203 AMPS

PANEL A									
TYPE		PNT		FLUSH		LOC		FEEDER	
SOD-00		FLUSH		LOC		KITCHEN		3-1/2, 2.5"	
MANS		BUS		VOLTS		A.I.C.			
200A MCB		225A		120/240, 3P4S, 3W		10,000			
CKT	POLE	KVA	DESCRIPTION	WIRE, C	CKT	POLE	KVA	DESCRIPTION	WIRE, C
1	1/20	3	KITCHEN PRINTER (1G)	3-1/2, 1/2	2	1/20	10	CASH REGISTER (1G)	3-1/2, 1/2
3	1/20	3	CASH REGISTER (1G)	3-1/2, 1/2	4	1/20	10	CASH REGISTER (1G)	3-1/2, 1/2
5	1/20	3	CASH REGISTER (1G)	3-1/2, 1/2	6	1/20	10	COMPUTER (1G)	3-1/2, 1/2
7	1/20	10	TELEVISION	2-1/2, 1/2	8	1/20	10	TELEVISION	2-1/2, 1/2
9	1/20	10	TELEVISION	2-1/2, 1/2	10	1/20	10	TELEVISION	2-1/2, 1/2
11	1/20	10	RECEPTACLE	2-1/2, 1/2	12	1/20	10	RECEPTACLE	2-1/2, 1/2
13	1/20	10	RECEPTACLE	2-1/2, 1/2	14	1/20	10	RECEPTACLE	2-1/2, 1/2
15	1/20	3	RECEPTACLE	2-1/2, 1/2	16	1/20	3	RECEPTACLE	2-1/2, 1/2
17	1/20	3	RECEPTACLE	2-1/2, 1/2	18	1/20	15	SMALL APPLIANCE	2-1/2, 1/2
19	1/20	10	REFRIGERATOR	2-1/2, 1/2	20	1/20	3	LIGHTING	2-1/2, 1/2
21	1/20	3	LIGHTING	2-1/2, 1/2	22	1/20	3	LIGHTING	2-1/2, 1/2
23	1/20	136	LIGHTING	2-1/2, 1/2	24	1/20	15	LIGHTING	2-1/2, 1/2
25	1/20	15	LIGHTING	2-1/2, 1/2	26	1/20	15	LIGHTING	2-1/2, 1/2
27	1/20	10	LIGHTING	2-1/2, 1/2	28	1/20	12	LIGHTING	2-1/2, 1/2
29	1/20	12	LIGHTING	2-1/2, 1/2	30	1/20	15	LIGHTING	2-1/2, 1/2
31	1/20	15	LIGHTING	2-1/2, 1/2	32	1/20	10	LIGHTING	2-1/2, 1/2
33	1/20	12	LIGHTING	2-1/2, 1/2	34	1/20	12	LIGHTING	2-1/2, 1/2
35	1/20	3	LIGHTING	2-1/2, 1/2	36	1/20	12	LIGHTING	2-1/2, 1/2
37	1/20	12	LIGHTING	2-1/2, 1/2	38	1/20	12	LIGHTING	2-1/2, 1/2
39	1/20	12	LIGHTING	2-1/2, 1/2	40	1/20	10	T.T.S.	2-1/2, 1/2
41	1/20				42	1/20			
TOTAL				2012 KVA		TOTAL			
						2156 KVA			

4160 KVA / 240 = 173.3 AMPS
4160 KVA - TOTAL CONNECTED LOAD

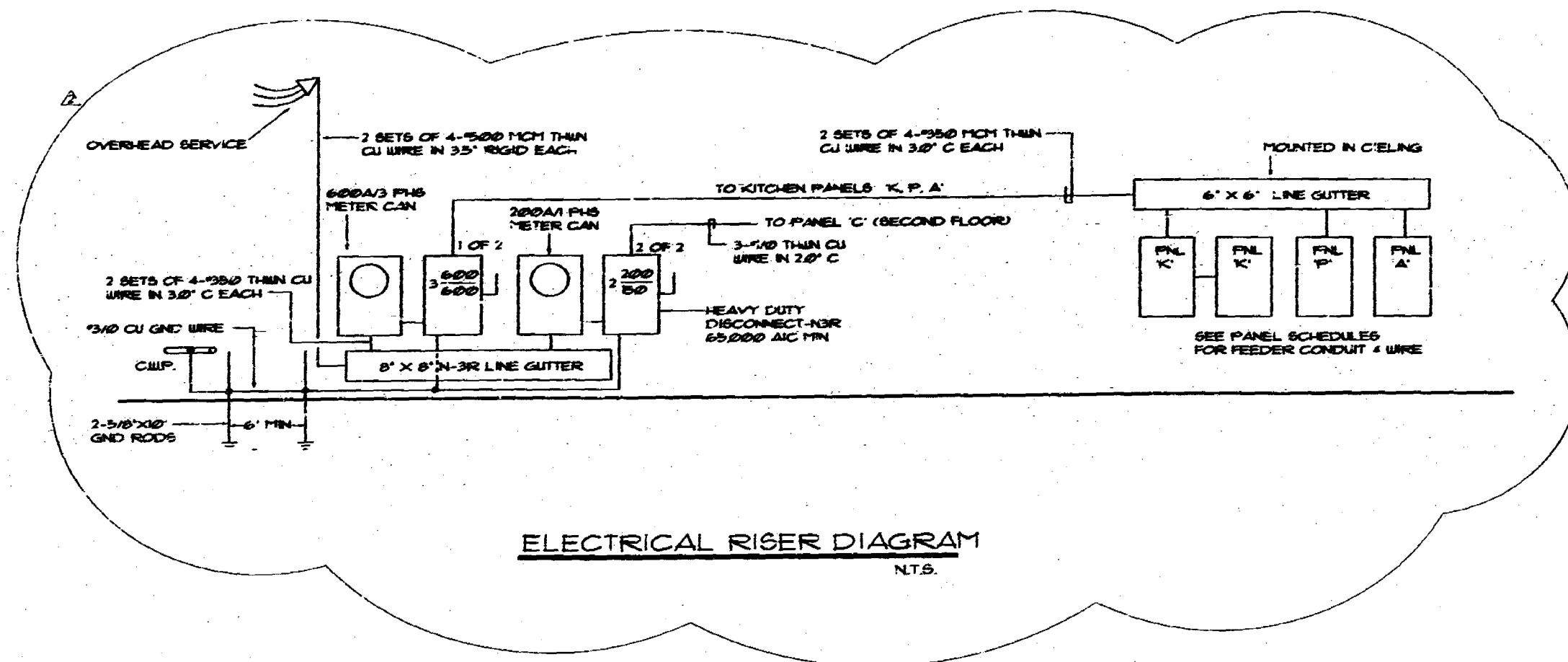
PANEL C									
TYPE		PNT		FLUSH		LOC		FEEDER	
SOD-00		FLUSH		LOC		SECOND FLOOR		3-1/2, 2.5"	
MANS		BUS		VOLTS		A.I.C.			
M.L.O.		225A		120/240, 3P4S, 3W		10,000			
CKT	POLE	KVA	DESCRIPTION	WIRE, C	CKT	POLE	KVA	DESCRIPTION	WIRE, C
1	1/20	10	RECEPTACLE	2-1/2, 1/2	2	1/20	10	RECEPTACLE	2-1/2, 1/2
3	1/20	10	RECEPTACLE	2-1/2, 1/2	4	1/20	10	RECEPTACLE	2-1/2, 1/2
5	1/20	10	RECEPTACLE	2-1/2, 1/2	6	1/20	10	RECEPTACLE	2-1/2, 1/2
7	1/20	10	RECEPTACLE	2-1/2, 1/2	8	1/20	10	RECEPTACLE	2-1/2, 1/2
9	1/20	10	RECEPTACLE	2-1/2, 1/2	10	1/20	10	REFRIGERATOR	2-1/2, 1/2
11	1/20	10	LIGHTING	2-1/2, 1/2	12	1/20	10	WATER HEATER	2-1/2, 3/4
13	1/20	10	LIGHTING	2-1/2, 1/2	14	1/20	10	LIGHTING	2-1/2, 1/2
15	1/20	10	CEILING FANS	2-1/2, 1/2	16	1/20	10	LIGHTING	2-1/2, 1/2
17	1/20	10	LIGHTING	2-1/2, 1/2	18	1/20	10	LIGHTING	2-1/2, 1/2
19	1/20	10	RTU-1	2-1/2, 3/4	20	1/20	10	LIGHTING	2-1/2, 1/2
21	1/20	10	ROOFTOP G.F.I.	2-1/2, 1/2	22	1/20	10	WORK STATION	2-1/2, 1/2
23	1/20	10	WORK STATION	2-1/2, 1/2	24	1/20	10	WORK STATION	2-1/2, 1/2
25	1/20	10	WORK STATION	2-1/2, 1/2	26	1/20	10	WORK STATION	2-1/2, 1/2
27	1/20	10	WORK STATION	2-1/2, 1/2	28	1/20	10	WORK STATION	2-1/2, 1/2
29	1/20	10	SPARE	2-1/2, 1/2	30	1/20	10	SPARE	2-1/2, 1/2
31	1/20	10			32	1/20	10		
33	1/20	10			34	1/20	10		
35	1/20	10			36	1/20	10		
37	1/20	10			38	1/20	10		
39	1/20	10			40	1/20	10		
41	1/20	10			42	1/20	10		
TOTAL				2012 KVA		TOTAL			
						1561 KVA			

3365 KVA - TOTAL CONNECTED LOAD
3365 KVA / 240 = 140.2 AMPS

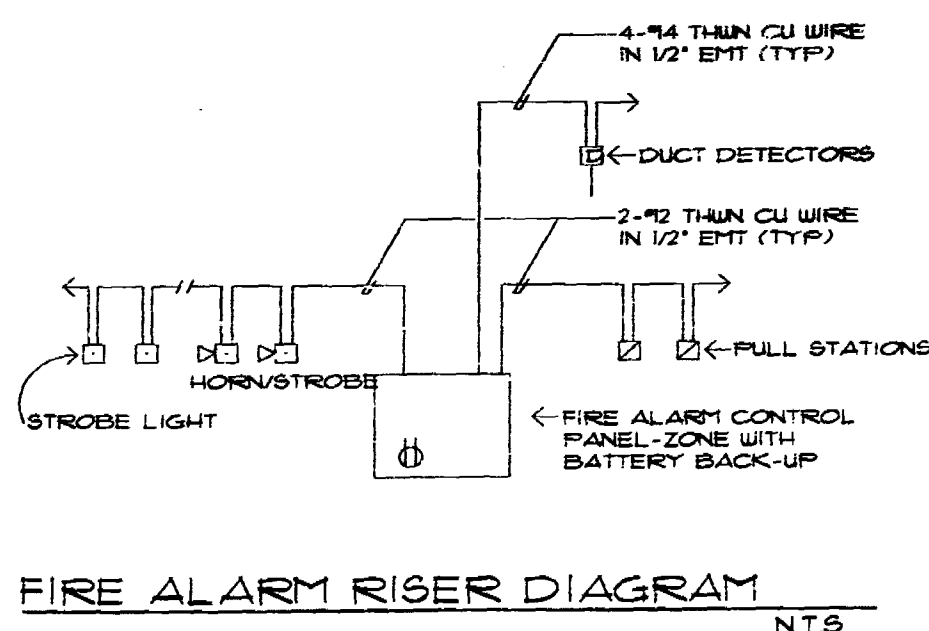
PANEL P									
TYPE		PNT		FLUSH		LOC		FEEDER	
SOD-00		FLUSH		LOC		KITCHEN		3-1/2, 2.5"	
MANS		BUS		VOLTS		A.I.C.			
200A MCB		225A		120/240, 3P4S, 3W		10,000			
CKT	POLE	KVA	DESCRIPTION	WIRE, C	CKT	POLE	KVA	DESCRIPTION	WIRE, C
1	1/20	10	SODA SYSTEM	2-1/2, 1/2	2	1/20	10	OVEN MOTOR	2-1/2, 1/2
3	1/20	10	SMALL APPLIANCE	2-1/2, 1/2	4	1/20	10	RECEPTACLE	2-1/2, 1/2
5	1/20	10	UTILITY	2-1/2, 1/2	6	1/20	10	ICE CREAM FREEZER	2-1/2, 1/2
7	1/20	10	SLICER	2-1/2, 1/2	8	1/20	10	REFRIGERATOR	2-1/2, 1/2
9	1/20	10	FOOD PROCESSOR	2-1/2, 1/2	10	1/20	10	PIZZA TABLE REF.	2-1/2, 1/2
11	1/20	10	FRITTER	2-1/2, 1/2	12	1/20	10	TIME CLOCK	2-1/2, 1/2
13	1/20	10	RECEPTACLE	2-1/2, 1/2	14	1/20	10	WATER HEATER	2-1/2, 1/2
15	1/20	10	HOOD LIGHTS	2-1/2, 1/2	16	1/20	10	PIZZA OVEN	2-1/2, 1/2
17	1/20	10	COFFEE GRINDER	2-1/2, 1/2	18	1/20	10	PIZZA TABLE REF.	2-1/2, 1/2
19	1/20	10	W.C. REFRIGERATOR	2-1/2, 1/2	20	1/20	10	PIZZA TABLE REF.	2-1/2, 1/2
21	1/20	10	EXPRESSO	2-1/2, 1/2	22	1/20	10	RECEPTACLE	2-1/2, 1/2
23	1/20	10	COFFEE MAKER	2-1/2, 1/2	24	1/20	10	RECEPTACLE	2-1/2, 1/2
25	1/20	10	BREAD WARMER	2-1/2, 1/2	26	1/20	10	BLENDER STATION	2-1/2, 1/2
27	1/20	10	UTILITY	2-1/2, 1/2	28	1/20	10	BOTTLE COOLER	2-1/2, 1/2
29	1/20	10	RECEPTACLE	2-1/2, 1/2	30	1/20	10	BLENDER STATION	2-1/2, 1/2
31	1/20	10	BACK BAR REF.	2-1/2, 1/2	32	1/20	10	BACK BAR REF.	2-1/2, 1/2
33	1/20	10	BOTTLE COOLER	2-1/2, 1/2	34	1/20	10	RECEPTACLE	2-1/2, 1/2
35	1/20	10	BLENDER STATION	2-1/2, 1/2	36	1/20	10	BOTTLE COOLER	2-1/2, 1/2
37	1/20	10	RECEPTACLE	2-1/2, 1/2	38	1/20	10	TELEPHONES	2-1/2, 1/2
39	1/20	10	RECEPTACLE	2-1/2, 1/2	40	1/20	10	RECEPTACLE	2-1/2, 1/2
41	1/20	10	SIGN CIRCUIT (-)	2-1/2, 1/2	42	1/20	10	RECIRC. PUMP FOR WH.	2-1/2, 1/2
TOTAL				2342 KVA		TOTAL			
						196 KVA			

4382 KVA - TOTAL CONNECTED LOAD
4382 KVA / 240 = 182.6 AMPS
TOTAL DEMAND LOAD (KITCHEN EQUIPMENT @ 65%)
435 KVA / 240 = 181.3 AMPS

PANEL K					SECTION I				
TYPE		PNT		FLUSH		MANS		200A PCB	
LOC		KITCHEN		VOLTS		BUS		400A	
FEEDER		4-7500, 25"		A.I.C.		120/240, 3P4S, 4W		10,000	
CKT	POLE	KVA	DESCRIPTION	WIRE, C	CKT	POLE	KVA	DESCRIPTION	WIRE, C
1	2/20	10	ICE MACHINE	2-1/2, 1/2	2				
3	--	--	--	--	4	3/20	15	REFRIG. COMP.	3-1/2, 1/2
5	--	--	--	--	6				
7	3/20	15	REFRIG. COMP.	3-1/2, 1/2	8				
9	--	--	--	--	10	3/20	15	REFRIG. COMP.	3-1/2, 1/2
11	--	--	--	--	12				
13	3/20	15	REFRIG. COMP.	3-1/2, 1/2	14	2/20	2.0	FEEDER	2-1/2, 1/2
15	--	--	--	--	16	--	--	--	--
17	1/20	05	COOLER COIL	2-1/2, 1/2	18	1/20	05	COOLER COIL	2-1/2, 1/2
19	1/20	05	COOLER LIGHTS	2-1/2, 1/2	20	1/20	05	COOLER LIGHTS	2-1/2, 1/2
21	--	--	--	--	22	--	--	--	--
23	1/20	05	FEEDER COOLER LIGHTS	2-1/2, 1/2	24	1/20	05	FEEDER COIL	2-1/2, 1/2
25	1/20	05	FEEDER COOLER COIL	2-1/2, 1/2	26	1/20	05	FEEDER COIL	2-1/2, 1/2
27	1/20	05	DSH BLOWER	2-1/2, 1/2	28	2/20	1.4	HOT FOOD TABLE	2-1/2, 1/2
29	--	--	--	--	30	--	--	--	--
31	3/20	2.0	GLASS WARMER	2-1/2, 1/2	32	1/30	5.4	RTU-2	2-1/2, 3/4
33	--	--	--	--	34	--	--	--	--
35	1/20	05	EP5	2-1/2, 1/2	36	1/20	.75	HEAT LAMP	2-1/2, 1/2
37	--	--	--	--	38	1/20	.75	HEAT LAMP	2-1/2, 1/2
39	--	--	--	--	40	--	--	--	--
41	1/20	.75	HEAT LAMP	2-1/2, 1/2	42	1/20	0.8	PROJECTOR SCREEN	2-1/2, 1/2
SUB		1956	KVA		SUB		16.74	KVA	



- NUMBERED ELECTRICAL NOTES**
1. PRIOR TO BID, THE CONTRACTOR SHALL VISIT THE JOB SITE AND BECOME FAMILIAR WITH ALL EXISTING CONDITIONS. NOTIFY THE ARCHITECT OR ENGINEER OF ANY DISCREPANCIES. THE CONTRACTOR SHALL QUALIFY THE BID ACCORDINGLY.
 2. MEET, SHOP DRAWINGS FOR ACCEPTANCE BY THE ARCHITECT AND/OR ENGINEER BEFORE PROCEEDING WITH THE PURCHASE OR INSTALLATION OF THE EQUIPMENT AND MATERIALS.
 3. CONNECT EXIST AND EMERGENCY LIGHTS AHEAD OF SWITCH LEG ON EACH LIGHTING CIRCUIT AS PER PLANS.
 4. PROVIDE J BOX FOR EACH CIRCUIT AT STORE FRONT ABOVE CEILING. VERIFY EXACT LOCATION PRIOR TO INSTALLATION. CONNECT THEM TO THE CLOCK INTERMEDIATE T-R.
 5. NEW RECEPTACLES TO BE INSTALLED IN COUNTER SPACE. VERIFY EXACT LOCATION AND MOUNTING HEIGHT OF EACH DEVICE PRIOR TO REMAIN INSTALLATION. COORDINATE ALL WORK WITH MECHANICAL CONTRACTOR. DETAILS PROVIDED BY THE ARCHITECT AND/OR MECHANICAL CONTRACTOR.
 6. HVAC DUCT SMOKE DETECTORS SHALL BE INSTALLED AS PART OF THE FIRE ALARM SYSTEM. DETECTORS SHALL BE INSTALLED BY MECHANICAL CONTRACTOR AND WIRING BY ELECTRICAL CONTRACTOR. COORDINATE ALL FIRE ALARM WORK WITH THE BUILDING FIRE ALARM MAINTENANCE CONTRACTOR.
 7. ALL WORK SHALL CONFORM WITH THE SOUTH FLORIDA BUILDING CODE, DADE COUNTY EDITION AND ALL OTHER APPLICABLE STATE AND LOCAL REGULATIONS AND ORDINANCES.
 8. CONTRACTOR SHALL WARRANT ALL WORK TO BE FREE OF DEFECT IN WORKMANSHIP AND MATERIALS FOR A PERIOD OF ONE YEAR AFTER ACCEPTANCE OF THE PROJECT.
 9. VERIFY EXACT LOCATION OF ALL EQUIPMENT WITH TENANT PRIOR TO REMAIN INSTALLATION.



FIRE ALARM SYSTEM
IT IS THE INTENT OF THIS DOCUMENT TO PRODUCE A WIRING PLAN FOR THE INSTALLATION OF A NEW FIRE ALARM SYSTEM.

SYSTEM OPERATION
ACTIVATION OF A MANUAL PULL STATION OR SMOKE DETECTOR SHALL:

- A) CAUSE ALL HORNS TO SOUND AND ALL STROBE LIGHTS TO FLASH THROUGHOUT THE BUILDING.
- B) INDICATE THE ZONE OF ALARM AT THE FIRE ALARM CONTROL PANEL (FACP).
- C) CLOSE CONTACT WITHIN THE FIRE ALARM CONTROL PANEL (FACP) FOR CENTRAL STATION MONITORING.

NOTES

1. ALL SYSTEM DEVICES SHALL BE LISTED FOR THEIR INTENDED USE AND AS A COMPLETE SYSTEM.
2. COMPLETE SYSTEM TO BE FULLY ELECTRICALLY SUPERVISED. ANY DISMANTLING OF THE SYSTEM WIRING, REMOVAL OF DEVICES OR LOSS OF NORMAL A.C. POWER SHALL CAUSE THE SYSTEM TO ALARM AND SOUND.
3. ZONE OF NORMAL A.C. POWER SHALL, IN ADDITION TO ACHIEVING A MINIMUM 120V, BE INSTALLED IN ACCORDANCE WITH NFPA 70-101 AND NFPA 70-101. SYSTEM WIRING SHALL COMPLY WITH N.E.C. ARTICLES 240, 250, 252, 255, 256, 258, 260, 262, 264, 265, 266, 268, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000.

APPROVED FOR SUBMITTAL BY THE FOLLOWING:

DESIGN COPY

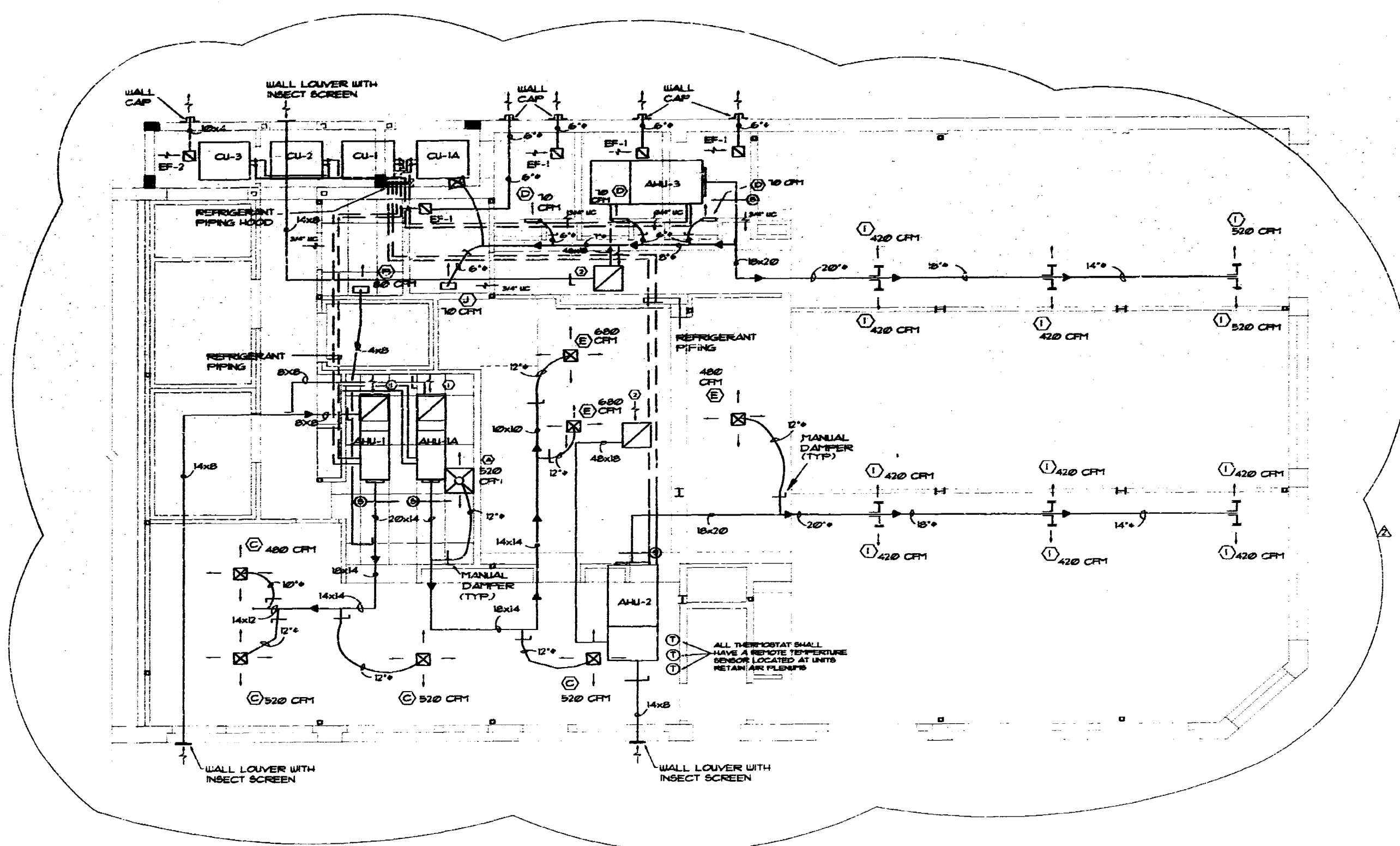
Page and Associates, Inc.
Engineers/Consultants
33 0005613
4870 S.W. 72 Avenue, #107
Miami, Florida 33155
(305) 861-7700

RENOVATIONS TO:
BIG PINK
157 Collins Avenue
Miami Beach, Florida 33139

ELECTRICAL RISERS & DETAILS


07-08-96
SPRINT/USE/RE-OPEN
SP
N.T.S.
J.D.P.
J.D.P.

E-6



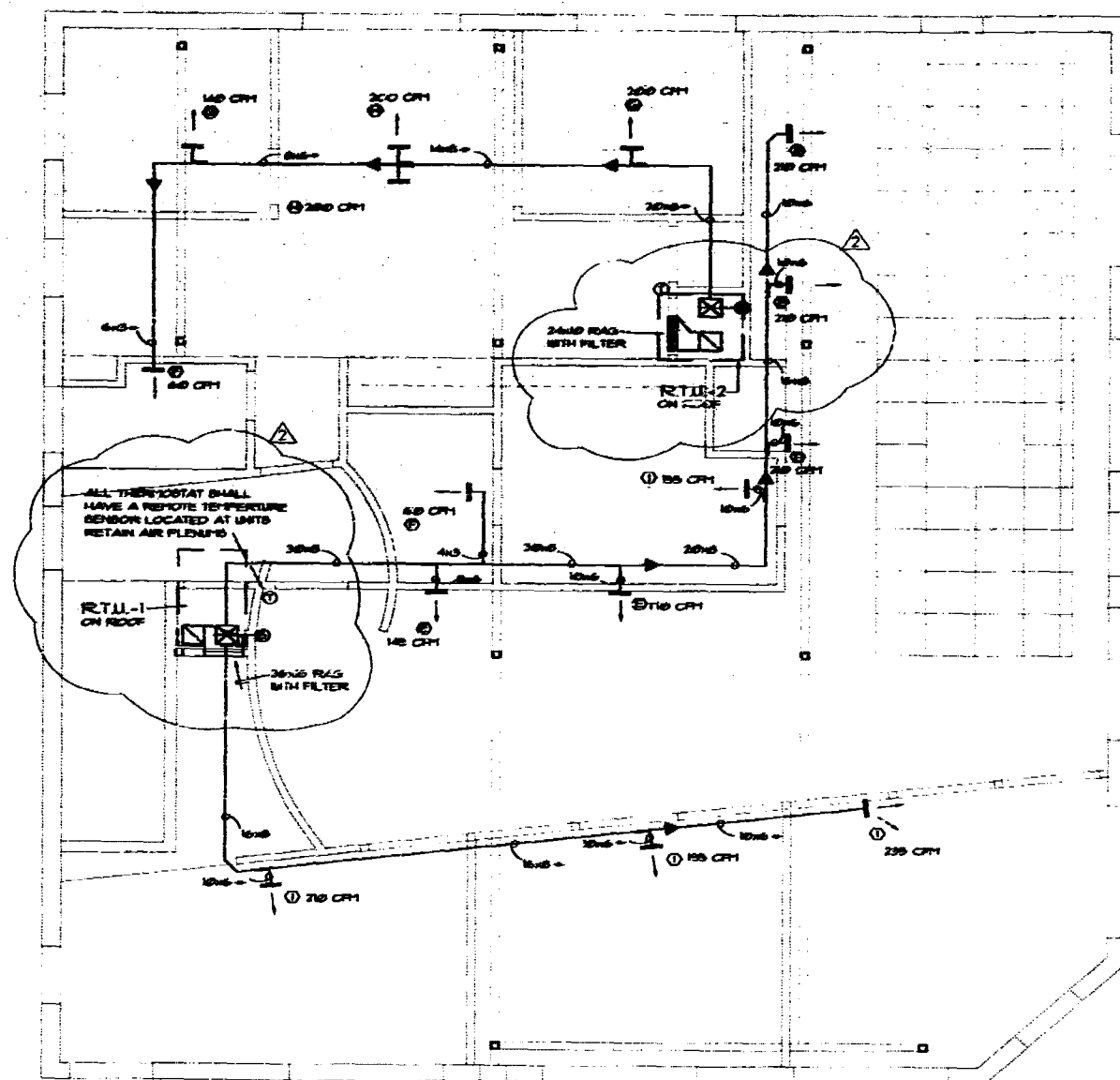

H.V.A.C. PLAN
 SCALE: 1/4" = 1'-0" GROUND FLOOR

OFFICE COPY
 CITY OF MIAMI BEACH
 APPROVED FOR SUBMITTAL OF THE FOLLOWING:
 BUILDING: _____
 ZONING: _____
 PLUMBING: _____
 ELECTRICAL: _____
 MECHANICAL: *PR 9/17/96*
 FIRE PROTECTION: _____
 ENGINEERING: _____
 PUBLIC WORKS: _____
 STRUCTURAL: _____
 ACCESSIBILITY: _____
 ELEVATOR: _____


 Page and Associates, Inc.
 Engineers/Consultants
 ESR 0005813
 4970 S.W. 72 Avenue, #107
 Miami, Florida 33155
 (305) 861-7700

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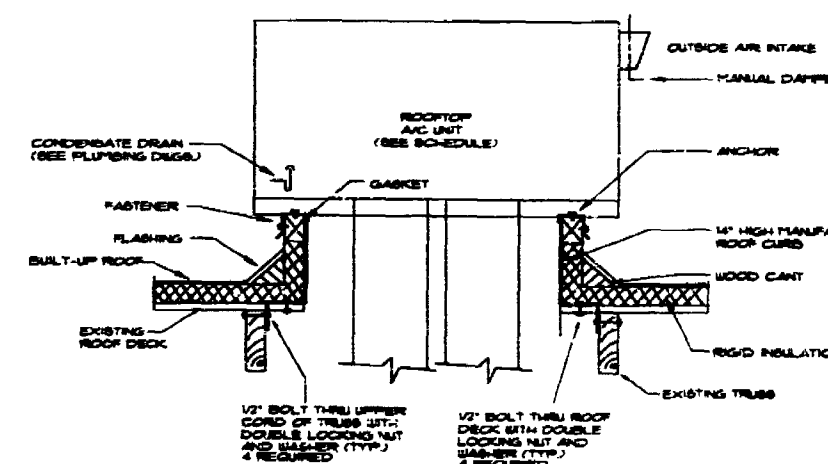
RENOVATIONS TO: BIG PINK 157 Collins Avenue Miami Beach, Florida 33139	
GROUND FLOOR MECHANICAL PLAN	
REVISIONS: A 8-8-96 B 8-16-96 CRAL REVISION	DATE: 07-08-96 PROJECT CODE/REFERENCE: BP SCALE: 1/4" = 1'-0" DRAWN BY: E.B. APPROVED: <i>[Signature]</i>
M-1	



H.V.A.C. PLAN
SCALE: 1/4" = 1'-0" SECOND FLOOR

PACKAGED ROOFTOP A.C. UNIT SCHEDULE		
UNIT DESIGNATION	RTU-1	RTU-2
AREA SERVED	250	250
OPERATING WEIGHT, lbs. - CURB	150	150
LOCATION	ROOF	ROOF
(6) EER	10.0	10.0
NOMINAL TONS	5	5
TOTAL AIR SUPPLY CFM	3500	3500
OUTSIDE AIR SUPPLY CFM	250	250
EXT. STATIC PRESS. IN. OF H ₂ O	4.0	4.0
FAN MOTOR	HP/FLA	3/3 1/2
SENSIBLE COOLING CAP. BTU/Hr	42,000	42,000
TOTAL COOLING CAP. BTU/Hr	46,000	46,000
ENTERING AIR TEMP. °F DB/AB	80/67	80/67
LEAVING AIR TEMP. °F DB/AB	55/51	55/51
FILTER TYPE AND THICKNESS	4" THROBREAT	4" THROBREAT
FILTER SIZES	CUT TO FIT	CUT TO FIT
TOTAL HEATING CAPACITY BTU/Hr	26,200	26,200
TOTAL KW HEATING	16.0	16.0
NOMINAL TOTAL COP, FLA	21.0	21.0
NOMINAL TOTAL FAN HP/FLA	1/2	1/2
AIRBENT AIR TEMP. °F DB	80	80
CONDENSING TEMP. °F MAX	95	95
DESIGN MANUFACTURER	TRANE	TRANE
MODEL NO.	TC080P060	TC080P060
ELECTRICAL REQUIREMENTS V/PHS	240V/60	240V/60

* PROVIDES A SMOKE DETECTOR IN THE SUPPLY DUCT INTERLOCKED WITH THE UNIT SO THAT THE UNIT WILL SHUT-DOWN UPON DETECTION.



A/C UNIT (ROOFTOP) INSTALLATION DETAIL

OFFICE COPY
CITY OF MIAMI BEACH

APPROVED FOR THE CITY OF MIAMI BEACH

DATE: 07-08-96

PROJECT CODE/NO. NAME

DATE: 07-08-96

SCALE: 1/8" = 1'-0"

DESIGNED BY

STRUCTURAL

ACCESSIBILITY

ELEVATION

Puga and Associates, Inc.
Engineers/Consultants
4970 S.W. 75 Avenue, #107
Miami, Florida 33155
(305) 561-7700

RENOVATIONS TO:
BIG PINK
157 Collins Avenue
Miami Beach, Florida 33139

SECOND FLOOR
MECHANICAL PLAN

8-2-96
8-10-96

07-08-96

BP

1/8" = 1'-0"

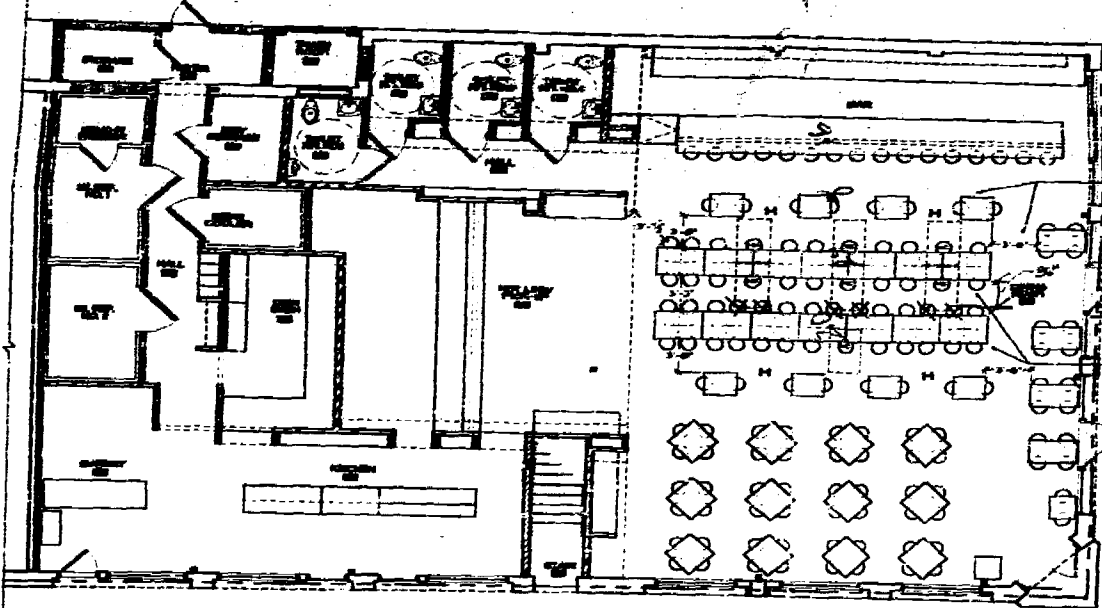
DESIGNED BY

STRUCTURAL

ACCESSIBILITY

ELEVATION

M-2



OFFICE COPY
CITY OF MIAMI BEACH

APPROVED FOR PERMIT BY
THE FOLLOWING:

BUILDING:	
ZONING:	
PLUMBING:	
ELECTRICAL:	
Mechanical:	
Structural:	
Accessibility:	

Handwritten signature

Exhibit A-2

City of Miami Beach
Building Department
555 East Sunset Blvd. (17th St.)
Miami Beach, Florida 33139
(305) 673-7610 Hours of Operation 8:30 to 5:00

157 COLLINS AV
Permit Number: B9406397
Project Number: A9410755

TOTAL THIS DATE		*****	
Fees Required		Fees Collected & Credits	
Fees:	160.30	Total Credits:	.00
Adjustments:	.00	Total Payments:	160.30
Total Fees:	160.30	Balance Due:	.00

Distribution: 1-Building Inspection (with Cashier Stamp), 2-Building Insp
3-City Accounting Division, 4-Metro Dade Co. Tax Assessor Dept., 5-Applicant
(Rev: 9001, PFBIDG01.en)

CITY OF MIAMI BEACH
Building Department
555 East Sunset Blvd. (17th St.)
Miami Beach, Florida 33139
(305) 673-7610

DATE: 4/18/75

ATTENTION: BUILDING OFFICIAL

OWNER'S AFFIDAVIT

I, LAWRENCE F. KALIE certify that I am the owner of the property described as:

ADDRESS: 157 COLLINS AVE
LOT: 116 BLOCK: 2 SUBDIVISION: OCEAN BEACH

I authorize to obtain a building permit for the following work:

WINDOWS & DOORS STRUCTURAL REPAIRS
TO BEACH RESTAURANT

On this the 18 day of April, 1975
before me, the undersigned Notary Public of the State of Florida, personally appeared:
LAWRENCE F. KALIE
and whose name(s) is/are subscribed to the within instrument, and he/they acknowledged that he/she/they executed it.
Witness my hand and official seal.
NOTARY PUBLIC, STATE OF FLORIDA

(Type of Notary Public: Print or Type as Commissioner)
Personally known to me, or
Produced ID: _____ (Type of ID Produced)
DID take an oath, or
DID NOT take an oath.

NOTICE OF COMMENCEMENT MUST BE FILED IF JOB VALUATION EXCEEDS \$ 2,500.00 IN LABOR AND MATERIAL.

NOTICE OF COMMENCEMENT MUST BE POSTED PRIOR TO JOB COMMENCING

NOTICE OF COMMENCEMENT CAN BE FILED AT:
44 WEST FLAGLER STREET, 5TH FLOOR, MIAMI, FLORIDA

Exhibit A-3

S. D. I.

Architecture • Engineering • Interior • Inspections • Construction Management

STRUCTURAL DESIGN, INC.

INSPECTION REPORT

TO: City Of Miami Beach
Building Department
555 Hank Meyer Blvd.
Miami Beach, Florida 33139

PROJECT: 157 Collins Ave.
Miami Beach, Fl

CONTRACTOR: Construction International, Inc.
6915 Red Road, Suite 213-c
Coral Gables, Fl 33143

PERMIT NO: B-9400397

INSPECTOR: Farrokh Rasekhi, P.E.

DATE OF INSP.: Aug. 25, 1995

WEATHER: Sunny

CONSTRUCTION PHASE: Beams and columns

CONSTRUCTION AREA: Exterior walls on the South and West

WORK DESCRIPTION: Inspection of the reinforcements and forming of the proposed reinforcements in the columns on the North and West walls, including the existing beams

REMARKS: All reinforcements were inspected and instructions given on adding new bars at all areas requiring additional bars.

BY

Farrokh Rasekhi 8/25/95
FARROKH RASEKHI, P.E.
Fl. Registration #38001
Special Inspector #919

13

Exhibit A-4

Prepared By
Myles Chefetz
100 Collins Avenue
Miami Beach, Florida 33139
NOTICE OF COMMENCEMENT

OFF. REC. 17279PC3238

96R317712:1996 JUL 19 09:56

Permit Number BMS61000

Tax Folio Number
02 4203 003 0300

State of Florida
County of Dade

The undersigned hereby gives notice that improvement will be made to certain real property, and in accordance with Chapter 713, Florida Statutes, the following information is provided in this Notice of Commencement

Description of Property: Lot 16, Block 2, Ocean Beach, Florida, according to the Plat thereof, recorded in Plat Book 2, at Page 38 of the Public Records of Dade County, Florida also known as 157 Collins Avenue, Miami Beach, Florida 33139

General description of improvement: Interior and Exterior remodeling for restaurant

Owner Information: Big Pink, Inc. 100 Collins Avenue, Miami Beach, Florida 33139 Interest: Lessee

Name and Address of fee simple titleholder: Lawrence F. Kaine, 305 N. W. 12 Avenue, Miami, Florida 33128

Contractor: Dacra Construction, Inc. 230 Fifth Street, Miami Beach, Florida 33139

Surety: None

Lender: None

Persons within the State of Florida designated by Owner upon whom notices or other documents may be served as provided by section 713.13 (1) (a) 7 Florida Statutes Myles Chefetz, 100 Collins Avenue, Miami Beach, Florida 33139

In addition to himself, Owner designates Dacra Construction, Inc Attn: Cole Haynes, 230 Fifth Street, Miami Beach, Florida 33139 to receive a copy of the Lienor's notice as provided in Section 713.13 (1) (b) Florida Statutes

Expiration date is July 1, 1997.

Big Pink, Inc.

Subscribed and sworn to before me this 18th day of July, 1996.
by Myles Chefetz as president of Big Pink, Inc.
Produced ID

PERSONALLY KNOWN

Notary Public



RECORDED IN OFFICIAL RECORDS BOOK
OF DADE COUNTY, FLORIDA
RECORD VERIFIED
HARVEY RUVIN
CLERK CIRCUIT COURT

Exhibit B-1

PERMIT APPLICATION FORM

1. PROJECT INFORMATION

2. PERMIT FEE SCHEDULE

3. PERMITTER INFORMATION

4. PROJECT DESCRIPTION

5. PROJECT LOCATION

6. PROJECT SCHEDULE

7. PROJECT BUDGET

8. PROJECT RISK ASSESSMENT

9. PROJECT APPROVAL

10. PROJECT CLOSURE

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8. PROJECT RISK ASSESSMENT

9. PROJECT APPROVAL

10. PROJECT CLOSURE

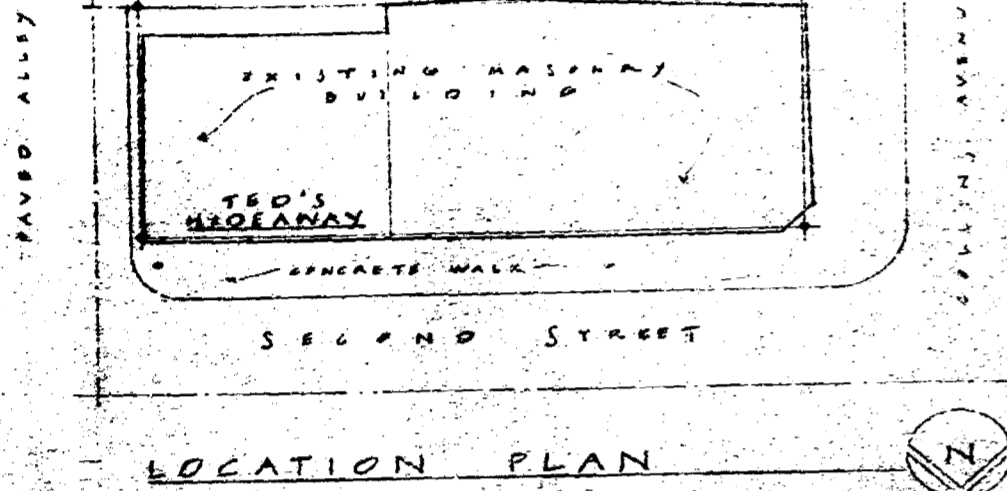
00421

Exhibit B-2

PERMIT #
B9801070

ADDRESS
126 2nd street

40040

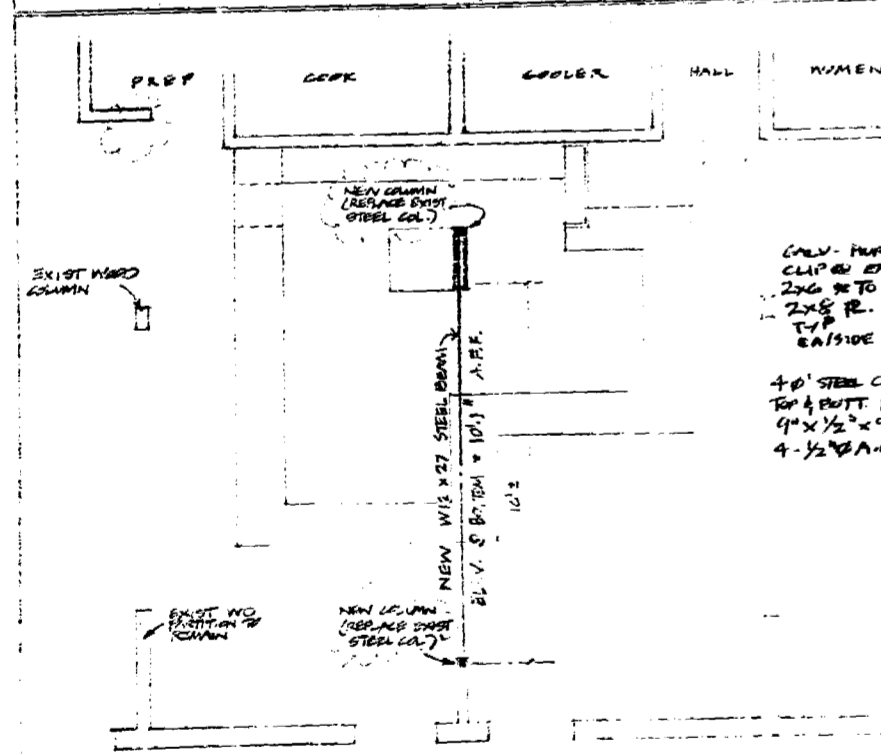


DOOR SCHEDULE

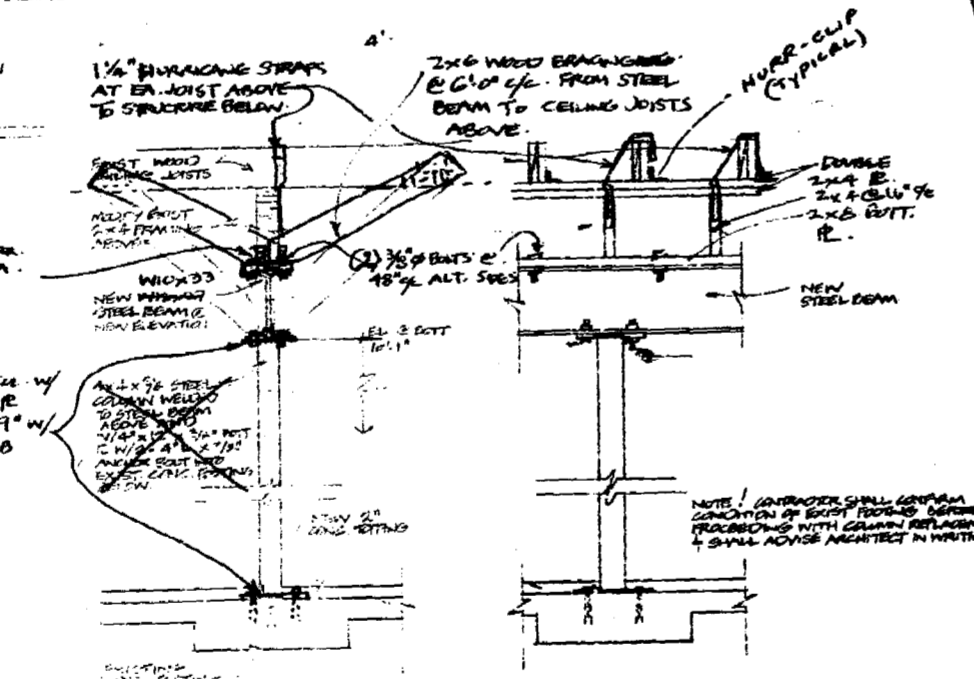
NO.	WIDTH	HEIGHT	THICK	FRAME	MAT'L	TYPE	REMARKS
1	3'-0"	6'-8"	1 1/2"	WOOD	WOOD	FLUSH	REPLACE EXIST. DOOR & FRAME 1 1/2" BR. DOOR
2	3'-0"	6'-8"	1 1/2"	WOOD	WOOD	FLUSH	REPLACE EXIST. DOOR & FRAME 1 1/2" BR. DOOR
3	3'-0"	6'-8"	1 1/2"	WOOD	WOOD	PANEL	REPLACE EXIST. DOOR & FRAME 1 1/2" BR. DOOR
4	3'-0"	6'-8"	1 1/2"	WOOD	WOOD	PANEL	REPLACE EXIST. DOOR & FRAME 1 1/2" BR. DOOR
5	3'-0"	6'-8"	1 1/2"	WOOD	WOOD	PANEL	REPLACE EXIST. DOOR & FRAME 1 1/2" BR. DOOR
6	3'-0"	6'-8"	1 1/2"	WOOD	WOOD	PANEL	REPLACE EXIST. DOOR & FRAME 1 1/2" BR. DOOR
7	3'-0"	6'-8"	1 1/2"	WOOD	WOOD	PANEL	REPLACE EXIST. DOOR & FRAME 1 1/2" BR. DOOR
8	3'-0"	6'-8"	1 1/2"	WOOD	WOOD	PANEL	REPLACE EXIST. DOOR & FRAME 1 1/2" BR. DOOR

NOTES:

1. UNLESS OTHERWISE SPECIFIED, ALL MATERIALS SHALL BE FINISHED TO MATCH EXISTING.
2. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES OF THE CITY OF MIAMI BEACH.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF MIAMI BEACH.



PARTIAL PLAN 1/4" = 1'-0"



SECTION DETAILS 1/4" = 1'-0"

BRANDED PLANS ARE REQUIRED FOR ALL ALIEN AND LIFE SAFETY SYSTEMS. BRANDED AND SIGNED BY A STATE OF FLORIDA P.E.

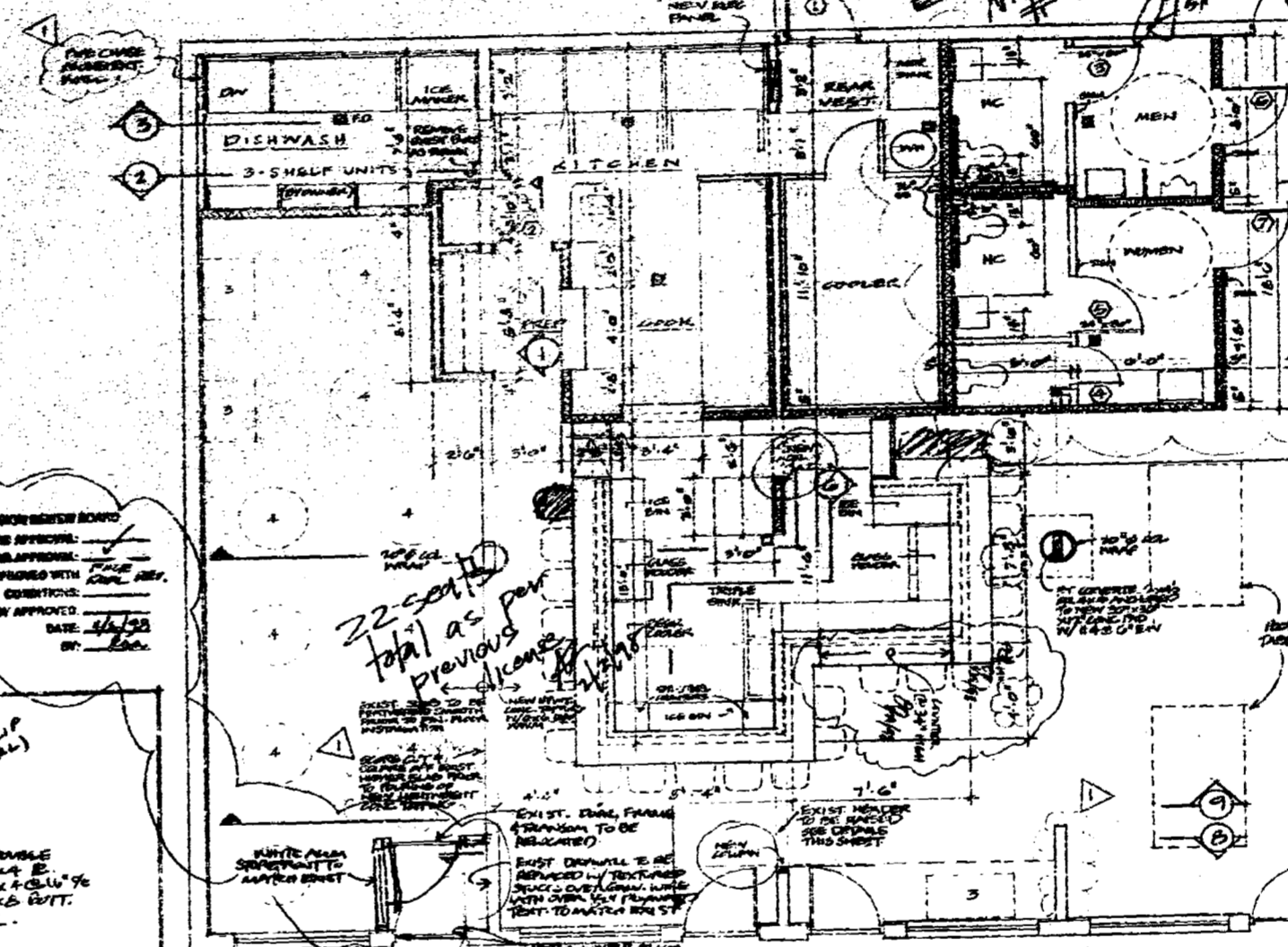
MAINTAIN EFFECTIVENESS OF FIRE SUPPRESSION / LIFE SAFETY SYSTEMS IN ACCORDANCE WITH SFBC CHAPTER 32.

APPROVAL IS CONTINGENT ON PERFORMANCE OF FIRE SUPPRESSION / LIFE SAFETY SYSTEMS IN ACCORDANCE WITH SFBC CHAPTER 32.

FIRE STOPPING REQUIREMENT
Penetrations through walls and floors shall be sealed with a material capable of withstanding the design fire resistance of the wall or floor assembly in accordance with the requirements of the Florida Building Code, Chapter 32.

"SHOP DRAWINGS ARE REQUIRED FOR FIRE ALARMS, FIRE SPRINKLERS, AND LIFE SAFETY SYSTEMS. SEALS AND SIGNED BY A STATE OF FLORIDA P.E."

CONTRACTOR OR APPROVED SUBMITTAL SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF MIAMI BEACH.



FLOOR PLAN 1/4" = 1'-0"

- GENERAL NOTES**
1. ALL WORK SHALL COMPLY WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL REQUIREMENTS.
 2. ALL CONTRACTORS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF MIAMI BEACH.
 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF MIAMI BEACH.
 4. NEW WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES OF THE CITY OF MIAMI BEACH.
 5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF MIAMI BEACH.
 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF MIAMI BEACH.
 7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF MIAMI BEACH.

EXTERIOR DOORS UNDER SEPARATE PERMIT

OFFICE COPY
CITY OF MIAMI BEACH

APPROVED FOR PERMIT BY THE FOLLOWING:

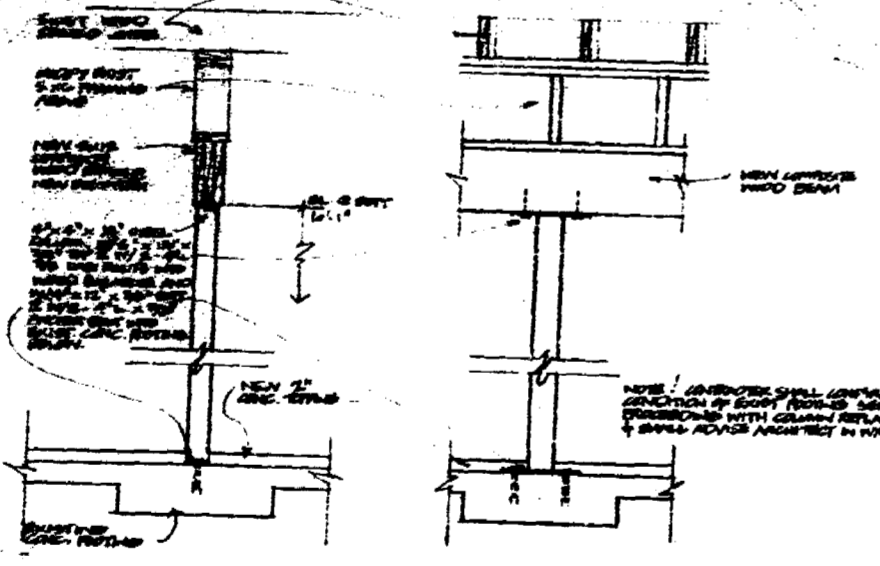
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PLUMBING: [Signature]
ELECTRICAL: [Signature]
MECHANICAL: [Signature]
FIRE PREVENTION: [Signature]
ENGINEERING: [Signature]
PUBLIC WORKS: [Signature]
STRUCTURAL: [Signature]
ACCESSIBILITY: [Signature]
ELEVATOR: [Signature]

REVISIONS
1. JANUARY 20, 1978

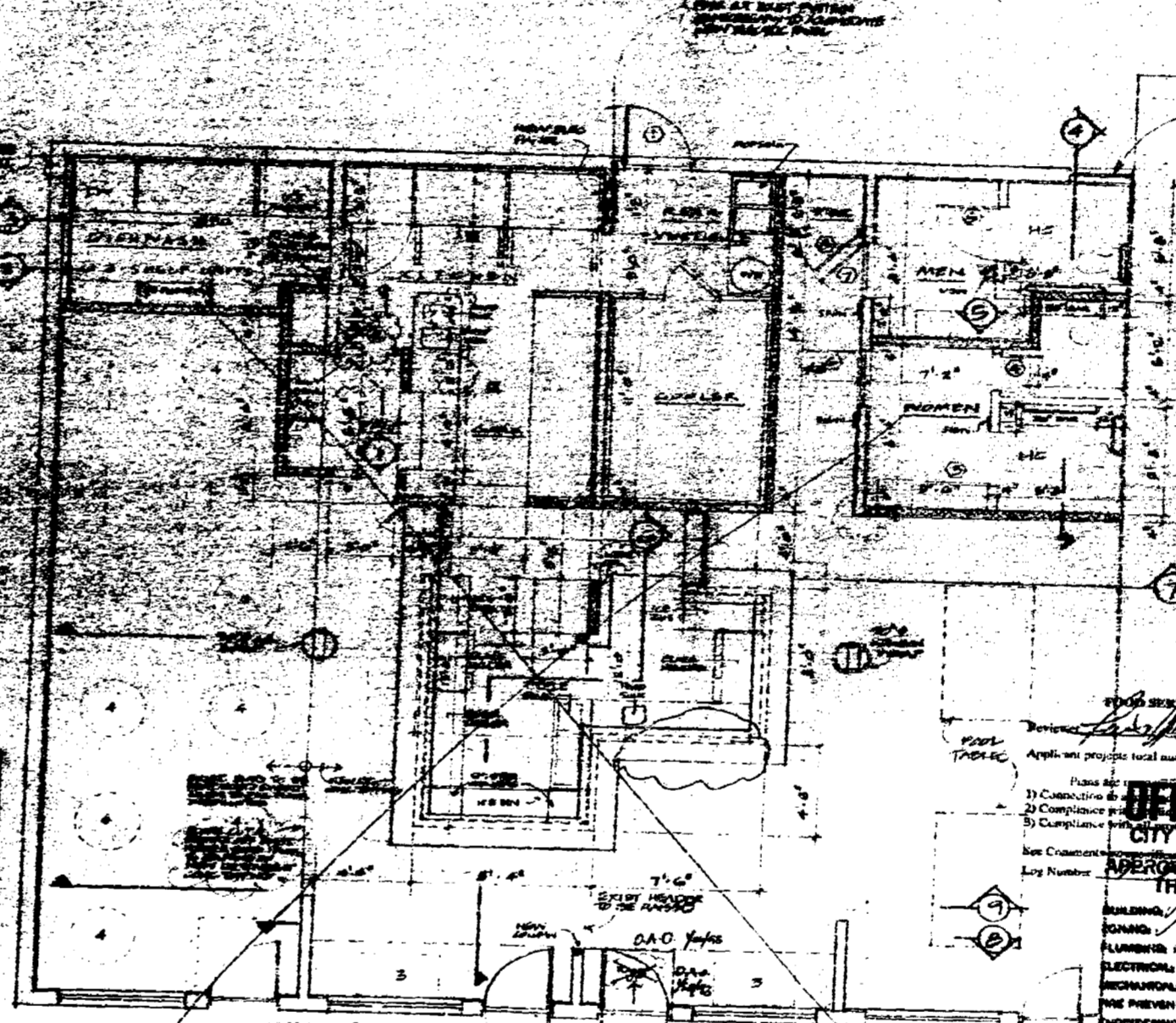
OVIDIO OXIOS, A.I.A.
Architecture Design Services
118 West 3rd Street, Miami Beach, FL 33139
Phone: 305.352.0000
Fax: 305.352.0000
Date: December 28, 1977
Sheet: A-1

00405

A hand-drawn floor plan of a building. The plan shows a central vertical corridor containing a staircase labeled "DOWN STAIRS". To the right of the stairs is a large room labeled "BED ROOM". Below the stairs is a room labeled "LIVING ROOM". At the bottom left is a room labeled "DINING ROOM". Above the living room is a room labeled "KITCHEN". To the left of the kitchen is a room labeled "BATH". There are also two small rooms labeled "CLOSET" and "W.C.". The drawing is labeled "PART" at the top left.



SECTION DETAILS



FLOOR PLAN

- [illegible]

Device: Handwritten signature Date: 1-13-98
Applicant projects total number of seats: 72

OFFICE COPY
CITY OF MIAMI BEACH
APPROVED FOR PERMIT BY
THE FOLLOWING

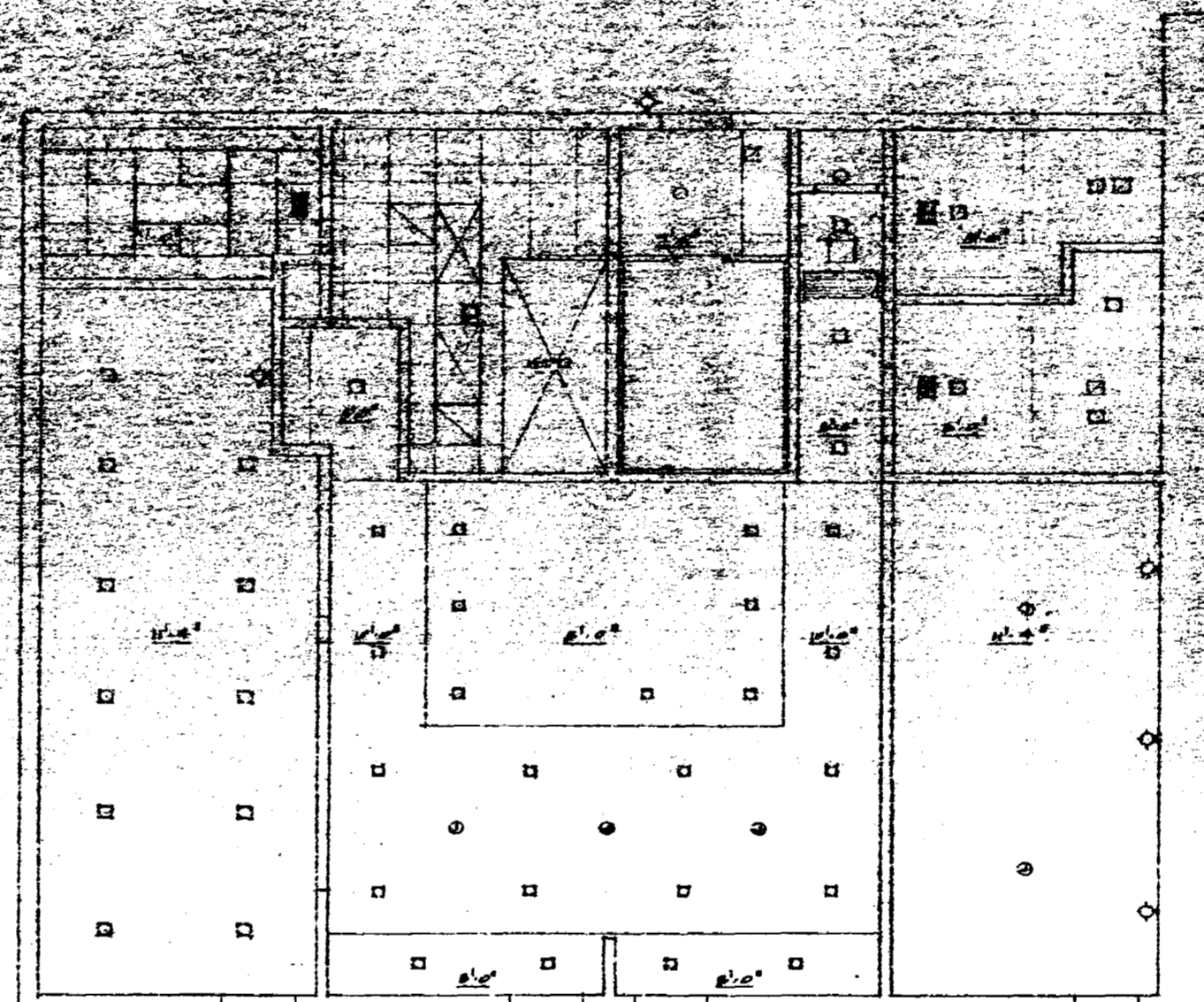
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 ZONING _____
 PLUMBING _____
 ELECTRICAL _____
 MECHANICAL _____
 THE PREVENTION _____
 ENGINEERING _____
 PUBLIC WORKS _____
 STRUCTURAL _____
 ACCESSIBILITY _____
 DESIGN _____

VOID

OXIDIO
OXIOS, A.I.A.
Architecture Design Services
118 West 5th Court - Hollywood, Fla. 33020
Miami Beach, Florida 33139
305-322-0050

TED'S HIDEAWAY
124 2nd Street
Greenwich, Conn.
Order Chapter 21, 1961
Class A-1-1

00406



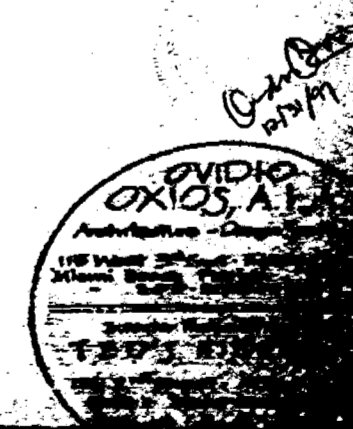
REFLECTED CEILING PLAN

OFFICE COPY

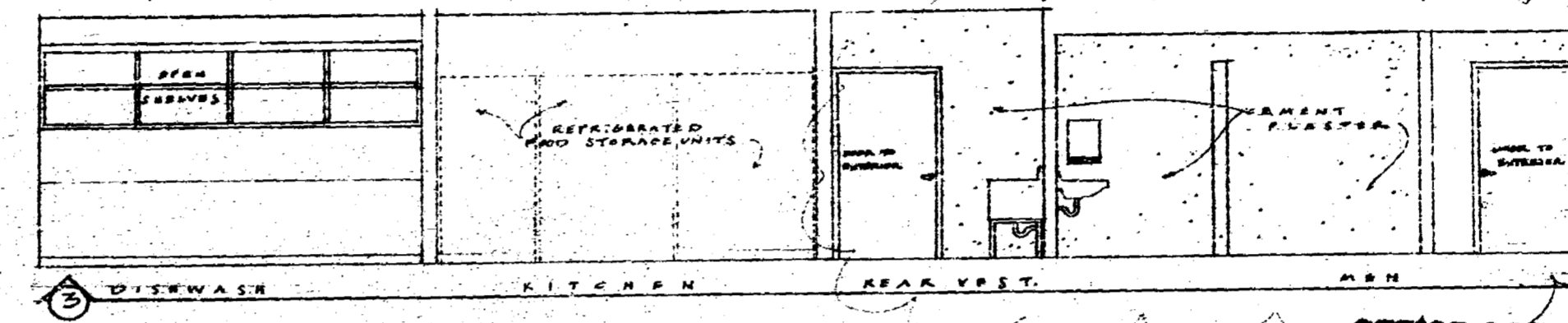
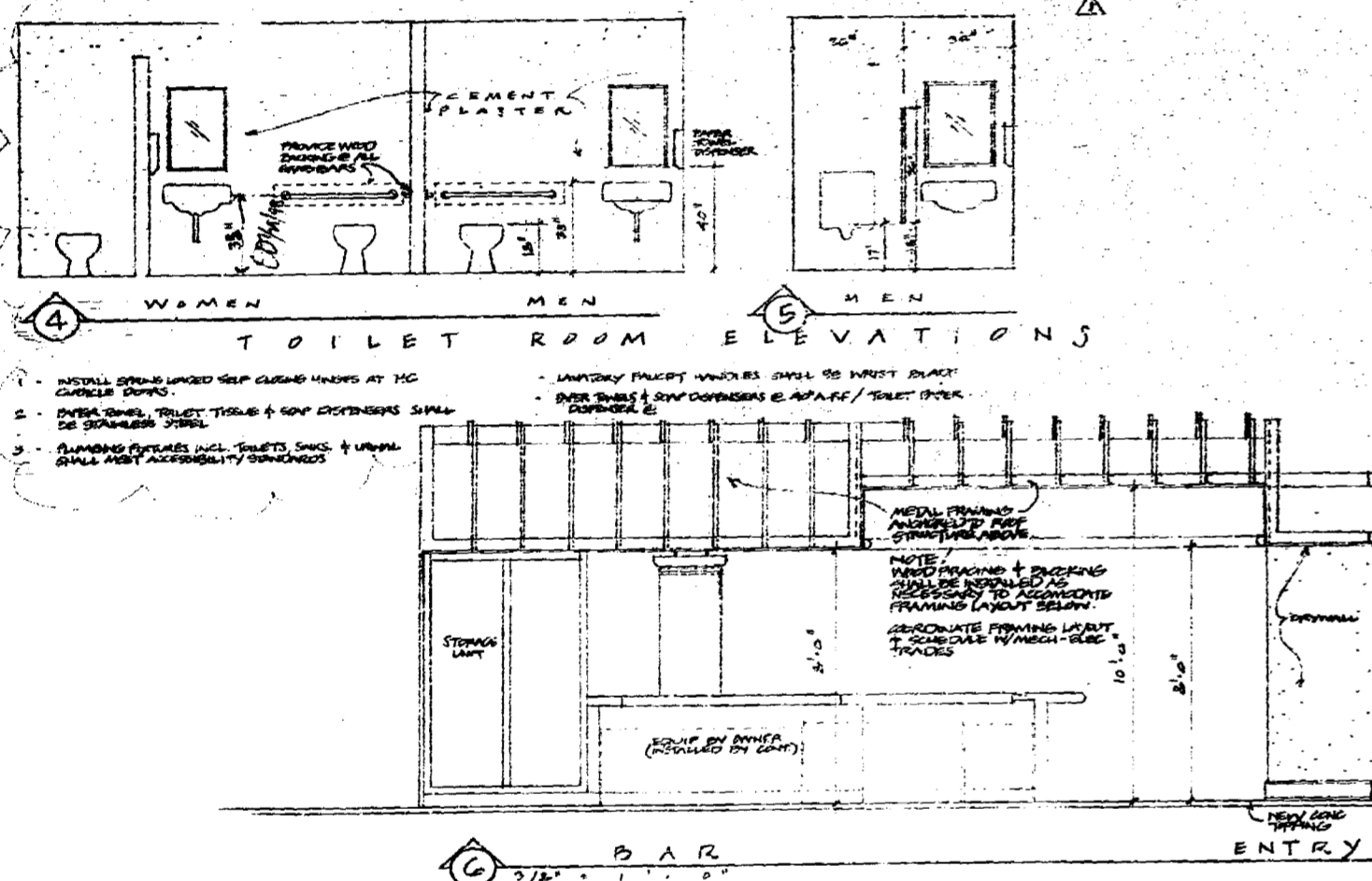
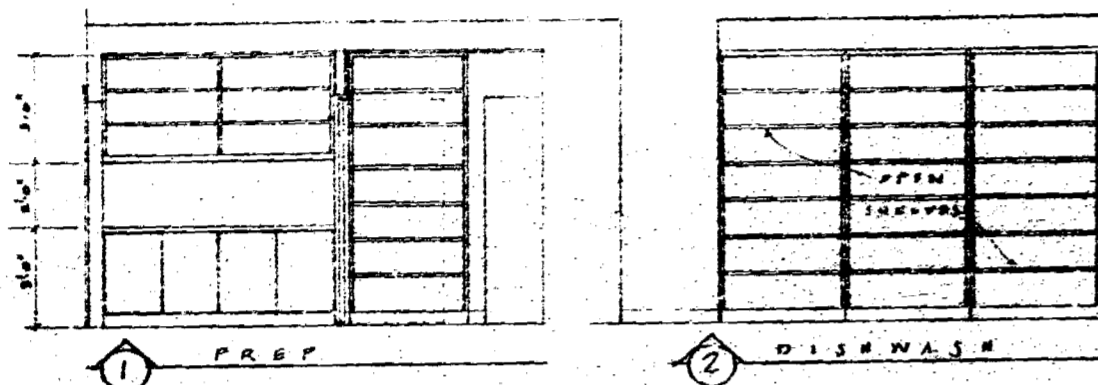
CITY OF MIAMI BEACH

APPROVED FOR PERMIT BY THE FOLLOWING:

- BUILDING 11-2-98
- ZONING 11-2-98
- FLOODING 11-2-98
- ELECTRICAL 11-2-98
- MECHANICAL 11-2-98
- FIRE PREVENTION 11-2-98
- SPRINKLING 11-2-98
- PUBLIC WORKS 11-2-98
- STREETS 11-2-98
- SEWERAGE 11-2-98
- WATER 11-2-98



000407

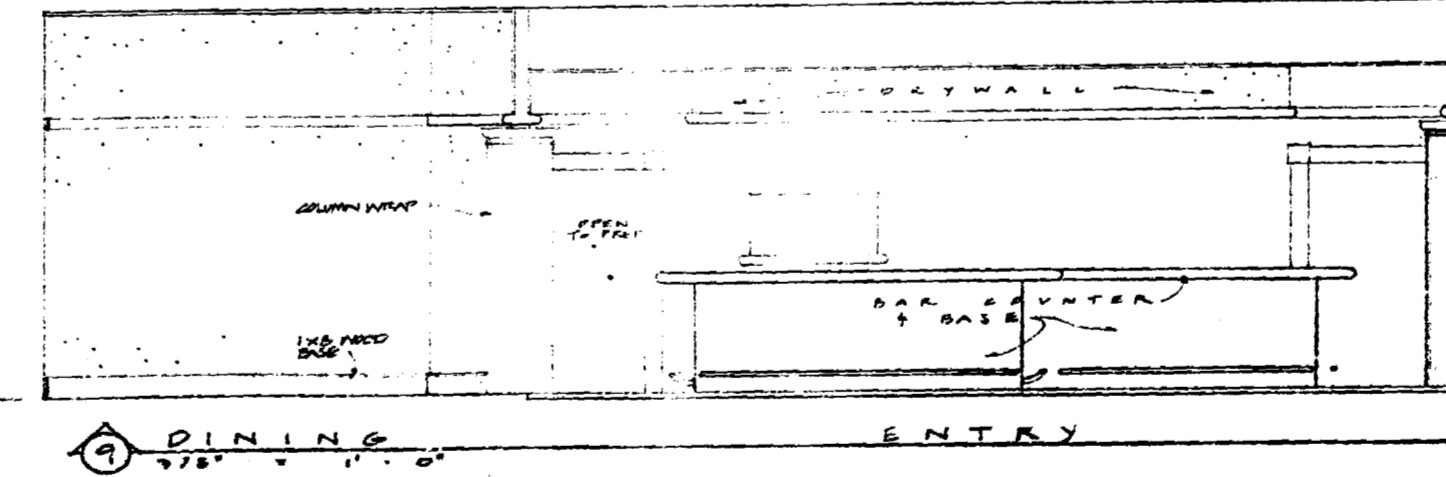
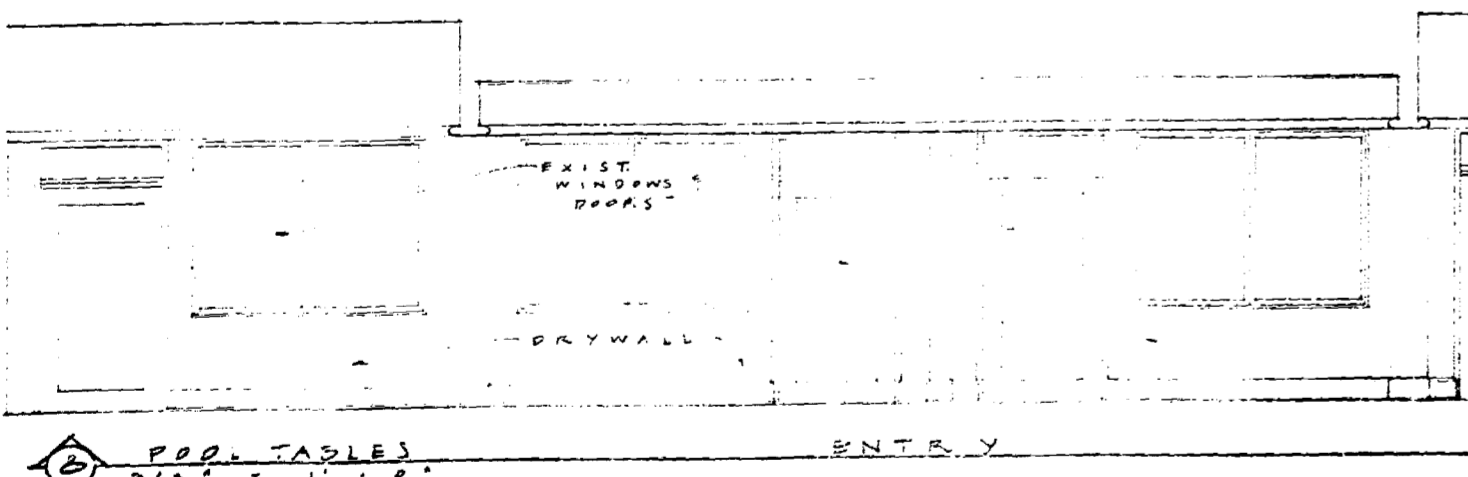
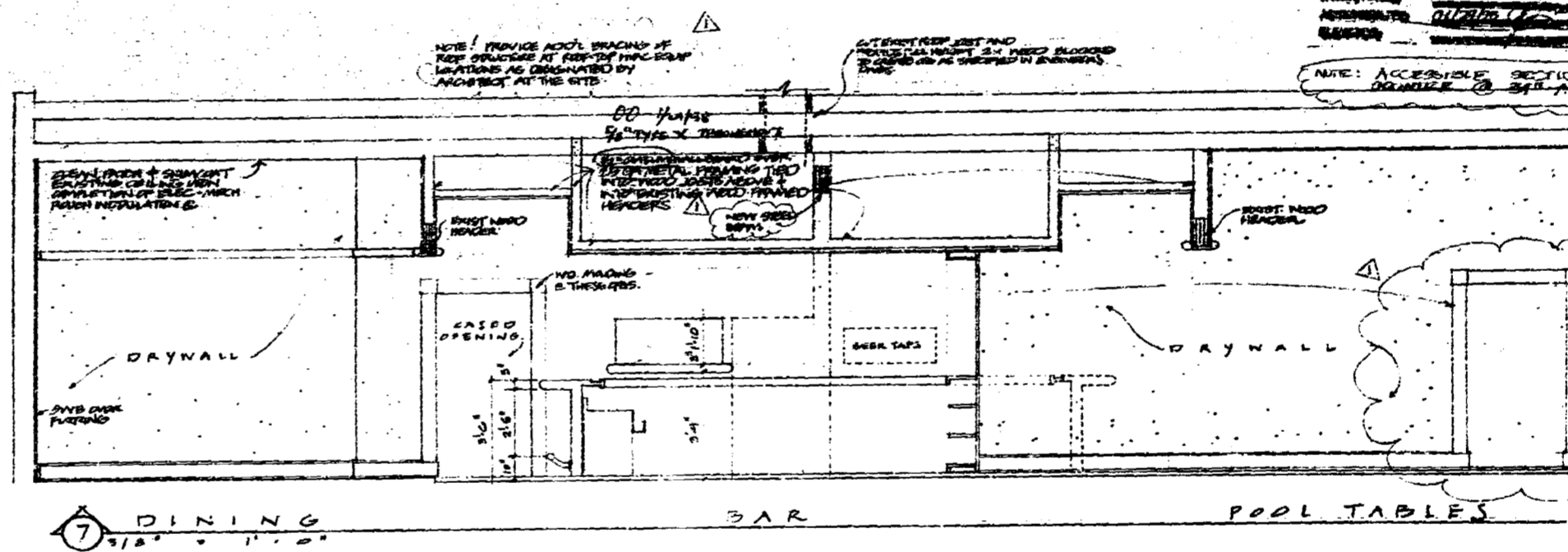


OFFICE COPY
CITY OF MIAMI BEACH

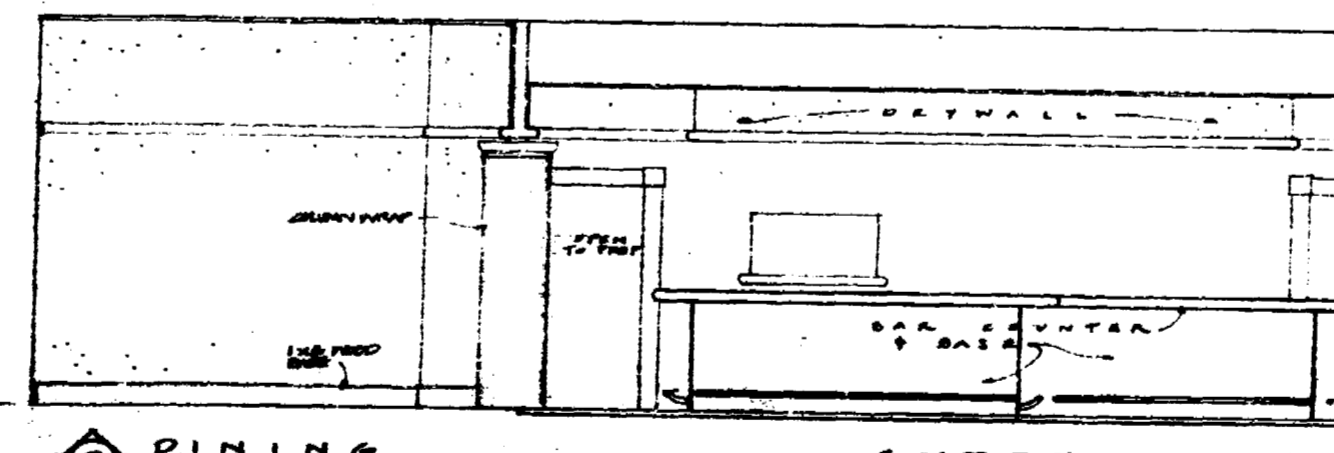
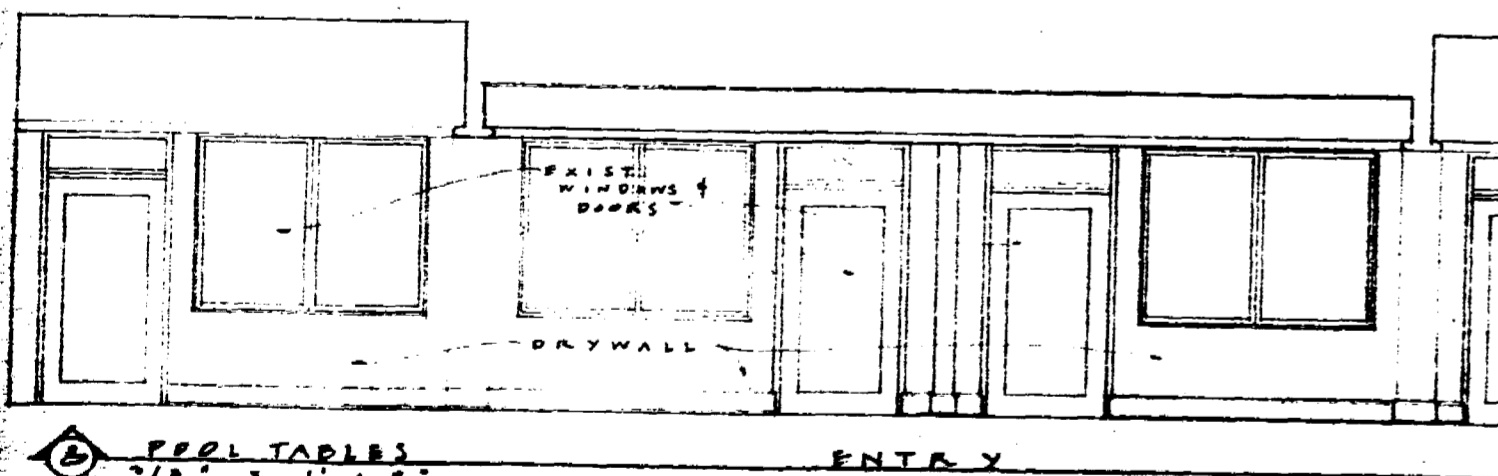
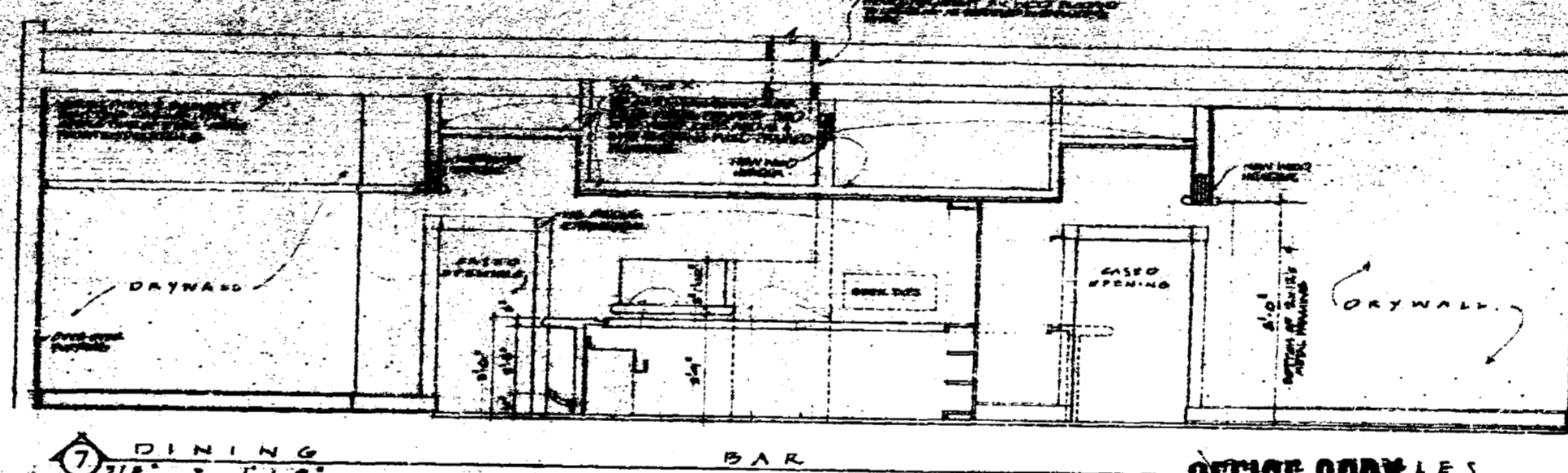
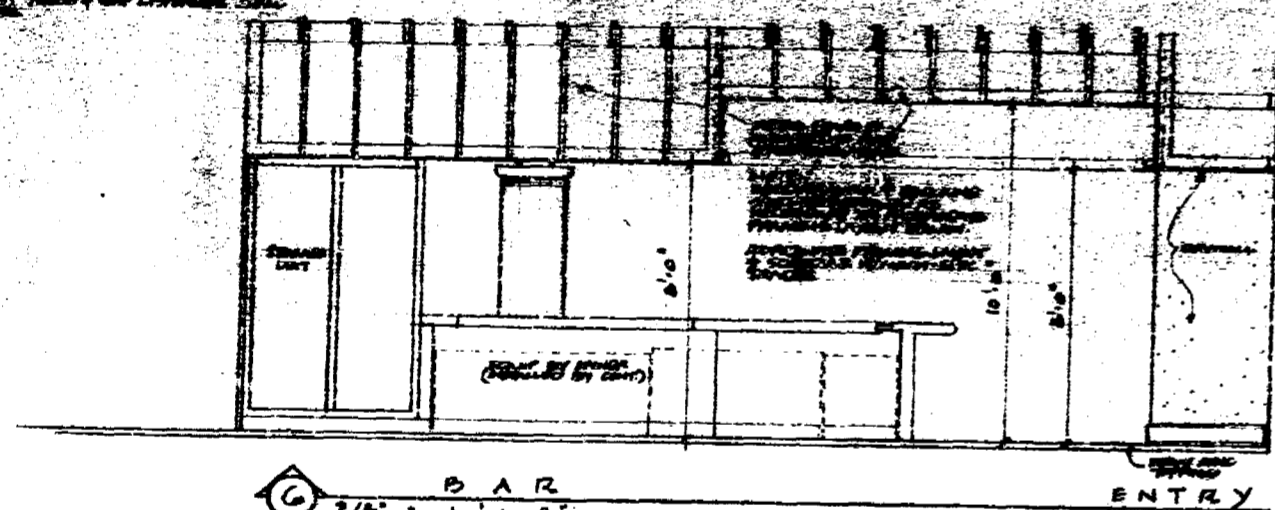
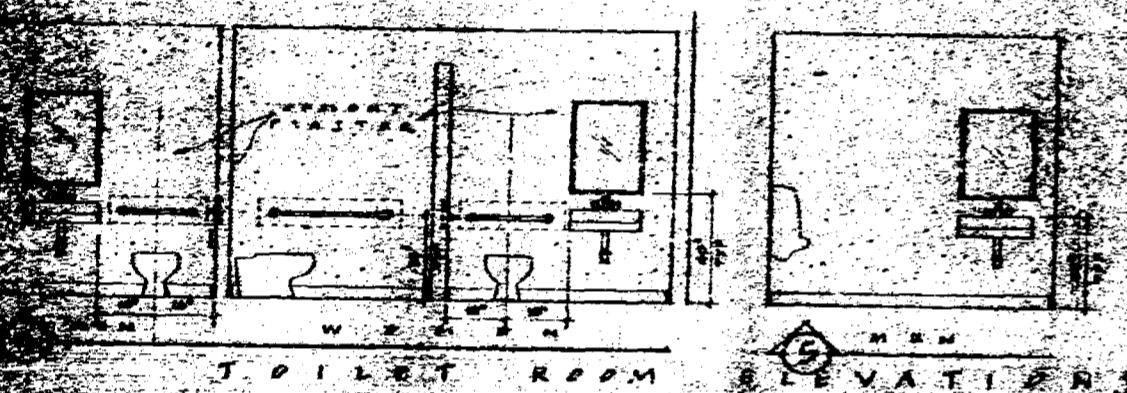
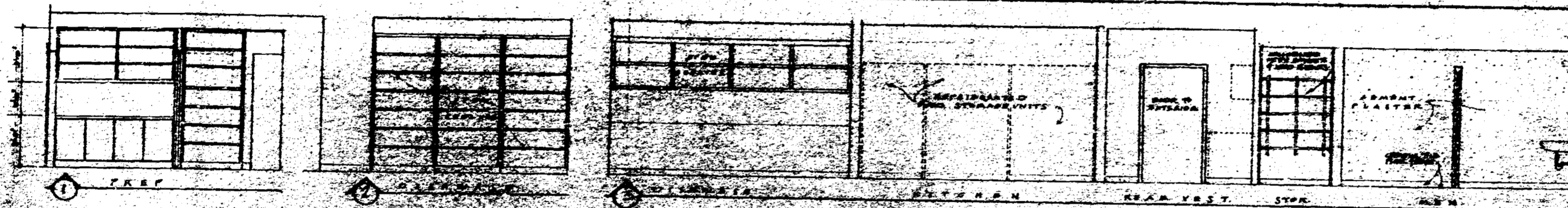
APPROVED FOR PERMIT BY
THE FOLLOWING:

ENGINEER: [Signature]
PLUMBER: [Signature]
ELECTRICIAN: [Signature]
MECHANICAL: [Signature]
FIRE PROTECTION: [Signature]
INSPECTION: [Signature]
PUBLIC WORKS: [Signature]
REGULATORY: [Signature]
REVISIONS: [Signature]

NOTE: ACCESSIBLE SECTION 304.1.1



REVISIONS
January 26, 1998
OVIDIO
OXIOS, AIA.
Architecture - Design Services
110 West 24th Street, Suite 201
Miami Beach, Florida 33139
Tel: 305-358-0000
Fax: 305-358-0001
Interior Remodeling for
TED'S HIDEAWAY
1500 S.W. 1st Street - Miami Beach
Date: December 20, 1997
Sheet A-3 of 3



OFFICE COPY
CITY OF MIAMI BEACH
APPROVED FOR PERMIT BY
THE FOLLOWING:

BUILDING
ELECTRICAL
MECHANICAL
PLUMBING
FIRE
Hazardous Waste
Other: _____
DATE: 1-16/95

VOID

OVIDIO
OXIOS, AIA
Architect - Design
11111 NE 11th Ave, Suite 100
Miami, FL 33138
Tel: 305-555-1111
Fax: 305-555-1111
Ted's Rides

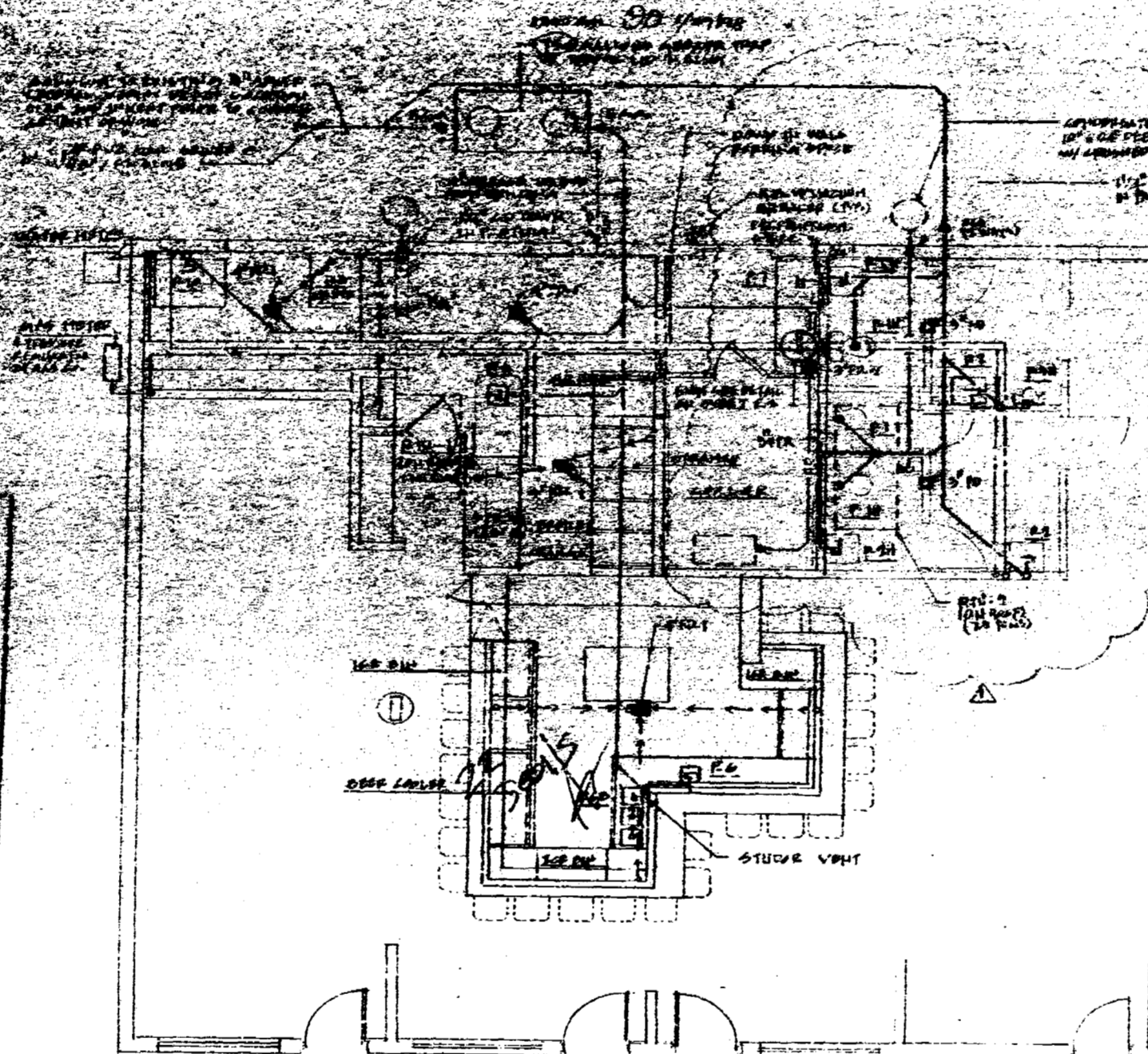
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GENERAL PLUMBING NOTES:

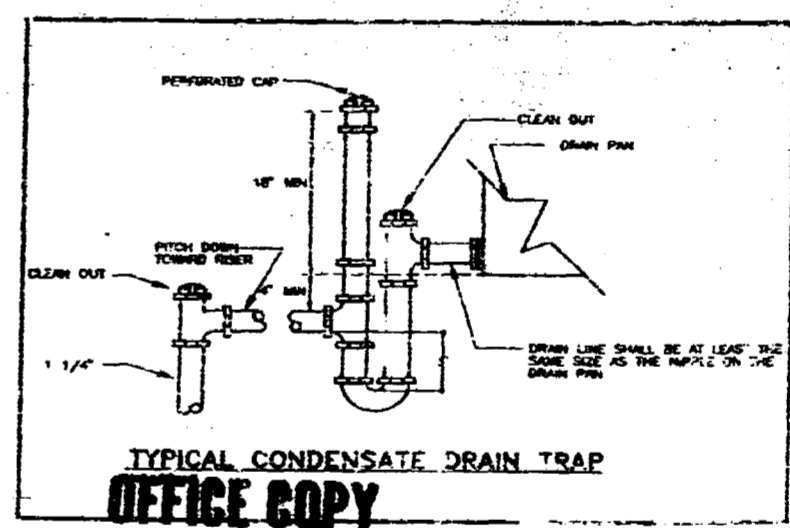
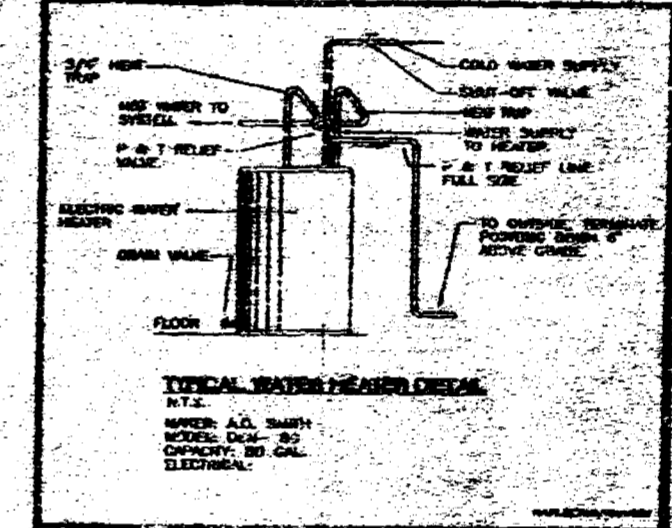
1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE SOUTH FLORIDA BUILDING CODE AND ALL CITY OF MIAMI ORDINANCES.
2. WORKMAN: Refer to all drawings for identification of the plumbing work.
3. APPROVE: AND FOR ALL PERMITS, LICENSES, INSPECTIONS AND TESTS. Obtain the required certification and permit to work.
4. CONCEALED: No concealed plumbing shall be installed until approved by the City of Miami. Concealed plumbing shall be installed in accordance with the requirements of the South Florida Building Code and all City of Miami Ordinances.
5. ALL CONCEALED PLUMBING SHALL BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF THE SOUTH FLORIDA BUILDING CODE AND ALL CITY OF MIAMI ORDINANCES.
6. TEST: All sanitary and domestic water supply piping shall be tested for leaks before being connected to the building. All sanitary and domestic water supply piping shall be tested for leaks before being connected to the building. All sanitary and domestic water supply piping shall be tested for leaks before being connected to the building.
7. VALVES: Domestic water valves shall be of bronze body, steel stem.
8. SHUT-OFF OR GATE VALVE: Shut-off valves shall be installed in all cold water supply lines. Gate valves shall be installed in all cold water supply lines.
9. ALL CONCEALED PLUMBING: Concealed plumbing shall be installed in accordance with the requirements of the South Florida Building Code and all City of Miami Ordinances.
10. ALL PLUMBING PIPES: All plumbing pipes shall be installed in accordance with the requirements of the South Florida Building Code and all City of Miami Ordinances.
11. ALL UNDERGROUND WATER PIPING: All underground water piping shall be installed in accordance with the requirements of the South Florida Building Code and all City of Miami Ordinances.
12. CONTRACTOR TO COORDINATE: The contractor shall coordinate with the electrical contractor to install the plumbing work in accordance with the requirements of the South Florida Building Code and all City of Miami Ordinances.
13. HOSE ENDS: All hose ends shall be of 3/4 inch, rough brass construction with steel nut and O-ring seal. Provide removable key handles.
14. CONTRACTOR SHALL FURNISH: The contractor shall furnish all materials, labor and equipment required for the installation of the plumbing work in accordance with the requirements of the South Florida Building Code and all City of Miami Ordinances.
15. CONTRACTOR TO VERIFY: The contractor shall verify the location and invert elevation of all existing underground plumbing work in accordance with the requirements of the South Florida Building Code and all City of Miami Ordinances.
16. CONTRACTOR SHALL: The contractor shall install the plumbing work in accordance with the requirements of the South Florida Building Code and all City of Miami Ordinances.

SYMBOL	DESCRIPTION
—	WATER LINE
—	SEWER LINE
—	CONDENSATE LINE
—	VENT LINE
—	RAIN LINE
—	FLUE LINE
—	PLUMBING FIXTURE
—	PLUMBING EQUIPMENT
—	PLUMBING ACCESSORY
—	PLUMBING MATERIAL
—	PLUMBING FINISH

PIPE	SIZE	MATERIAL	INSTALLATION
1/2"	1/2"	COPPER	BY OWNER, CONTRACTOR TO INSTALL
3/4"	3/4"	COPPER	BY OWNER, CONTRACTOR TO INSTALL
1"	1"	COPPER	BY OWNER, CONTRACTOR TO INSTALL
1 1/2"	1 1/2"	COPPER	BY OWNER, CONTRACTOR TO INSTALL
2"	2"	COPPER	BY OWNER, CONTRACTOR TO INSTALL
2 1/2"	2 1/2"	COPPER	BY OWNER, CONTRACTOR TO INSTALL
3"	3"	COPPER	BY OWNER, CONTRACTOR TO INSTALL
3 1/2"	3 1/2"	COPPER	BY OWNER, CONTRACTOR TO INSTALL
4"	4"	COPPER	BY OWNER, CONTRACTOR TO INSTALL
4 1/2"	4 1/2"	COPPER	BY OWNER, CONTRACTOR TO INSTALL
5"	5"	COPPER	BY OWNER, CONTRACTOR TO INSTALL
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6"	6"	COPPER	BY OWNER, CONTRACTOR TO INSTALL
6 1/2"	6 1/2"	COPPER	BY OWNER, CONTRACTOR TO INSTALL
7"	7"	COPPER	BY OWNER, CONTRACTOR TO INSTALL
7 1/2"	7 1/2"	COPPER	BY OWNER, CONTRACTOR TO INSTALL
8"	8"	COPPER	BY OWNER, CONTRACTOR TO INSTALL
8 1/2"	8 1/2"	COPPER	BY OWNER, CONTRACTOR TO INSTALL
9"	9"	COPPER	BY OWNER, CONTRACTOR TO INSTALL
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56 1/2"	56 1/2"	COPPER	BY OWNER, CONTRACTOR TO INSTALL
57"	57"	COPPER	BY OWNER, CONTRACTOR TO INSTALL
57 1/2"	57 1/2"	COPPER	BY OWNER, CONTRACTOR TO INSTALL
58"	58"	COPPER	BY OWNER, CONTRACTOR TO INSTALL
58 1/2"	58 1/2"	COPPER	BY OWNER, CONTRACTOR TO INSTALL
59"	59"	COPPER	BY OWNER, CONTRACTOR TO INSTALL
59 1/2"	59 1/2"	COPPER	BY OWNER, CONTRACTOR TO INSTALL
60"	60"	COPPER	BY OWNER, CONTRACTOR TO INSTALL
60 1/2"	60 1/2"	COPPER	BY OWNER, CONTRACTOR TO INSTALL
61"	61"	COPPER	BY OWNER, CONTRACTOR TO INSTALL
61 1/2"	61 1/2"	COPPER	BY OWNER, CONTRACTOR TO INSTALL
62"	62"	COPPER	BY OWNER, CONTRACTOR TO INSTALL
62 1/2"	62 1/2"	COPPER	BY OWNER, CONTRACTOR TO INSTALL
63"	63"	COPPER	BY OWNER, CONTRACTOR TO INSTALL
63 1/2"	63 1/2"	COPPER	BY OWNER, CONTRACTOR TO INSTALL
64"	64"	COPPER	BY OWNER, CONTRACTOR TO INSTALL
64 1/2"	64 1/2"	COPPER	BY OWNER, CONTRACTOR TO INSTALL
65"	65"	COPPER	BY OWNER, CONTRACTOR TO INSTALL
65 1/2"	65 1/2"	COPPER	BY OWNER, CONTRACTOR TO INSTALL
66"	66"	COPPER	BY OWNER, CONTRACTOR TO INSTALL
66 1/2"	66 1/2"	COPPER	BY OWNER, CONTRACTOR TO INSTALL
67"	67"	COPPER	BY OWNER, CONTRACTOR TO INSTALL
67 1/2"	67 1/2"	COPPER	BY OWNER, CONTRACTOR TO INSTALL
68"	68"	COPPER	BY OWNER, CONTRACTOR TO INSTALL
68 1/2"	68 1/2"	COPPER	BY OWNER, CONTRACTOR TO INSTALL
69"	69"	COPPER	BY OWNER, CONTRACTOR TO INSTALL
69 1/2"	69 1/2"	COPPER	BY OWNER, CONTRACTOR TO INSTALL
70"	70"	COPPER	BY OWNER, CONTRACTOR TO INSTALL
70 1/2"	70 1/2"	COPPER	BY OWNER, CONTRACTOR TO INSTALL
71"	71"	COPPER	BY OWNER, CONTRACTOR TO INSTALL
71 1/2"	71 1/2"	COPPER	BY OWNER, CONTRACTOR TO INSTALL
72"	72"	COPPER	BY OWNER, CONTRACTOR TO INSTALL
72 1/2"	72 1/2"	COPPER	BY OWNER, CONTRACTOR TO INSTALL
73"	73"	COPPER	BY OWNER, CONTRACTOR TO INSTALL
73 1/2"	73 1/2"	COPPER	BY OWNER, CONTRACTOR TO INSTALL
74"	74"	COPPER	BY OWNER, CONTRACTOR TO INSTALL
74 1/2"	74 1/2"	COPPER	BY OWNER, CONTRACTOR TO INSTALL
75"	75"	COPPER	BY OWNER, CONTRACTOR TO INSTALL
75 1/2"	75 1/2"	COPPER	BY OWNER, CONTRACTOR TO INSTALL
76"	76"	COPPER	BY OWNER, CONTRACTOR TO INSTALL
76 1/2"	76 1/2"	COPPER	BY OWNER, CONTRACTOR TO INSTALL
77"	77"	COPPER	BY OWNER, CONTRACTOR TO INSTALL
77 1/2"	77 1/2"	COPPER	BY OWNER, CONTRACTOR TO INSTALL
78"	78"	COPPER	BY OWNER, CONTRACTOR TO INSTALL
78 1/2"	78 1/2"	COPPER	BY OWNER, CONTRACTOR TO INSTALL
79"	79"	COPPER	BY OWNER, CONTRACTOR TO INSTALL
79 1/2"	79 1/2"	COPPER	BY OWNER, CONTRACTOR TO INSTALL
80"	80"	COPPER	BY OWNER, CONTRACTOR TO INSTALL
80 1/2"	80 1/2"	COPPER	BY OWNER, CONTRACTOR TO INSTALL
81"	81"	COPPER	BY OWNER, CONTRACTOR TO INSTALL
81 1/2"	81 1/2"	COPPER	BY OWNER, CONTRACTOR TO INSTALL
82"	82"	COPPER	BY OWNER, CONTRACTOR TO INSTALL
82 1/2"	82 1/2"	COPPER	BY OWNER, CONTRACTOR TO INSTALL
83"	83"	COPPER	BY OWNER, CONTRACTOR TO INSTALL
83 1/2"	83 1/2"	COPPER	BY OWNER, CONTRACTOR TO INSTALL
84"	84"	COPPER	BY OWNER, CONTRACTOR TO INSTALL
84 1/2"	84 1/2"	COPPER	BY OWNER, CONTRACTOR TO INSTALL
85"	85"	COPPER	BY OWNER, CONTRACTOR TO INSTALL
85 1/2"	85 1/2"	COPPER	BY OWNER, CONTRACTOR TO INSTALL
86"	86"	COPPER	BY OWNER, CONTRACTOR TO INSTALL
86 1/2"	86 1/2"	COPPER	BY OWNER, CONTRACTOR TO INSTALL
87"	87"	COPPER	BY OWNER, CONTRACTOR TO INSTALL
87 1/2"	87 1/2"	COPPER	BY OWNER, CONTRACTOR TO INSTALL
88"	88"	COPPER	BY OWNER, CONTRACTOR TO INSTALL
88 1/2"	88 1/2"	COPPER	BY OWNER, CONTRACTOR TO INSTALL
89"	89"	COPPER	BY OWNER, CONTRACTOR TO INSTALL
89 1/2"	89 1/2"	COPPER	BY OWNER, CONTRACTOR TO INSTALL
90"	90"	COPPER	BY OWNER, CONTRACTOR TO INSTALL
90 1/2"	90 1/2"	COPPER	BY OWNER, CONTRACTOR TO INSTALL
91"	91"	COPPER	BY OWNER, CONTRACTOR TO INSTALL
91 1/2"	91 1/2"	COPPER	BY OWNER, CONTRACTOR TO INSTALL
92"	92"	COPPER	BY OWNER, CONTRACTOR TO INSTALL
92 1/2"	92 1/2"	COPPER	BY OWNER, CONTRACTOR TO INSTALL
93"	93"	COPPER	BY OWNER, CONTRACTOR TO INSTALL
93 1/2"	93 1/2"	COPPER	BY OWNER, CONTRACTOR TO INSTALL
94"	94"	COPPER	BY OWNER, CONTRACTOR TO INSTALL
94 1/2"	94 1/2"	COPPER	BY OWNER, CONTRACTOR TO INSTALL
95"	95"	COPPER	BY OWNER, CONTRACTOR TO INSTALL
95 1/2"	95 1/2"	COPPER	BY OWNER, CONTRACTOR TO INSTALL
96"	96"	COPPER	BY OWNER, CONTRACTOR TO INSTALL
96 1/2"	96 1/2"	COPPER	BY OWNER, CONTRACTOR TO INSTALL
97"	97"	COPPER	BY OWNER, CONTRACTOR TO INSTALL
97 1/2"	97 1/2"	COPPER	BY OWNER, CONTRACTOR TO INSTALL
98"	98"	COPPER	BY OWNER, CONTRACTOR TO INSTALL
98 1/2"	98 1/2"	COPPER	BY OWNER, CONTRACTOR TO INSTALL
99"	99"	COPPER	BY OWNER, CONTRACTOR TO INSTALL
99 1/2"	99 1/2"	COPPER	BY OWNER, CONTRACTOR TO INSTALL
100"	100"	COPPER	BY OWNER, CONTRACTOR TO INSTALL



PLUMBING FLOOR PLAN
SCALE: 1/4" = 1'



TYPICAL CONDENSATE DRAIN TRAP

OFFICE COPY
CITY OF MIAMI BEACH

APPROVED FOR PERMIT BY
THE FOLLOWING:

DESIGNER: [Signature]
ENGINEER: [Signature]
PLUMBER: [Signature]
ELECTRICIAN: [Signature]
MECHANICAL: [Signature]
HVAC: [Signature]
FIRE: [Signature]
STRUCTURAL: [Signature]
ARCHITECTURAL: [Signature]
ELECTRONIC: [Signature]

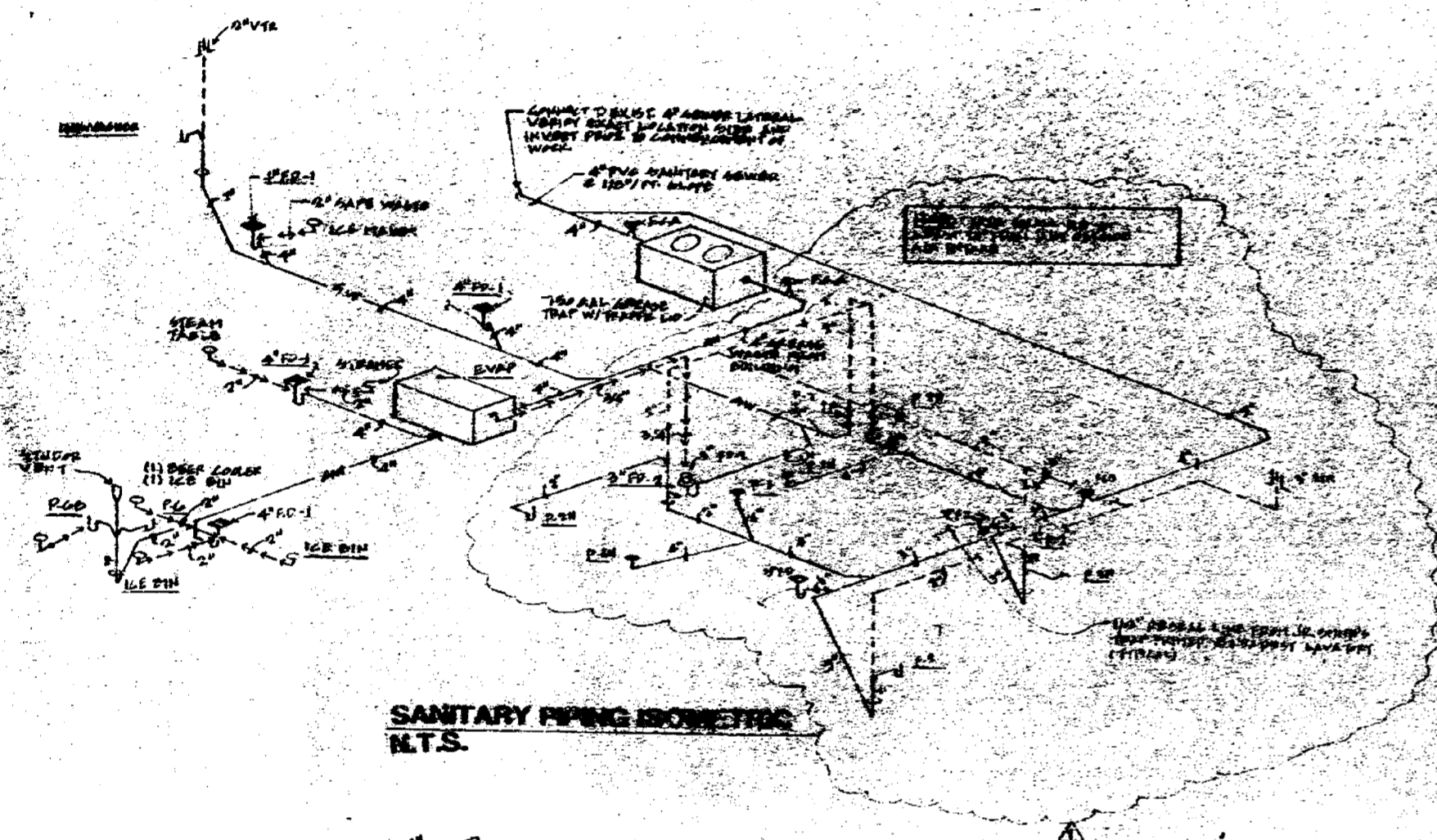
DATE: 12-12-12

PROJECT: [Project Name]

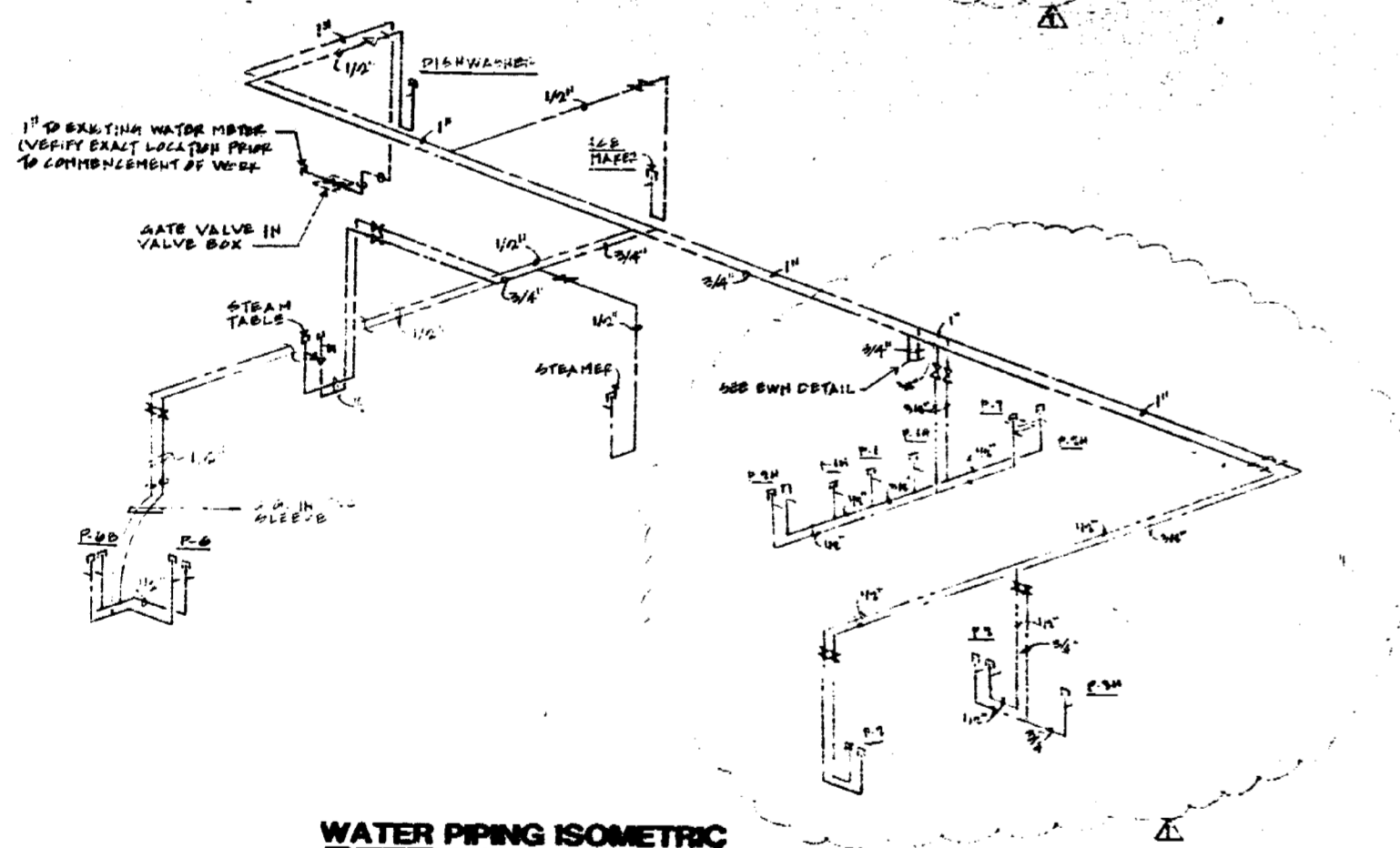
LOCATION: [Location]

SCALE: [Scale]

OVIDIO
OXIOS, A.I.A.
Architecture Design Services
110 Village Square, Suite 200
Miami, Florida 33130
305-557-0000
305-557-0001
Fax: 305-557-0002
www.ovidioaia.com
December 25, 1997
Sheet P-1 of 2



**SANITARY PIPING ISOMETRIC
N.T.S.**

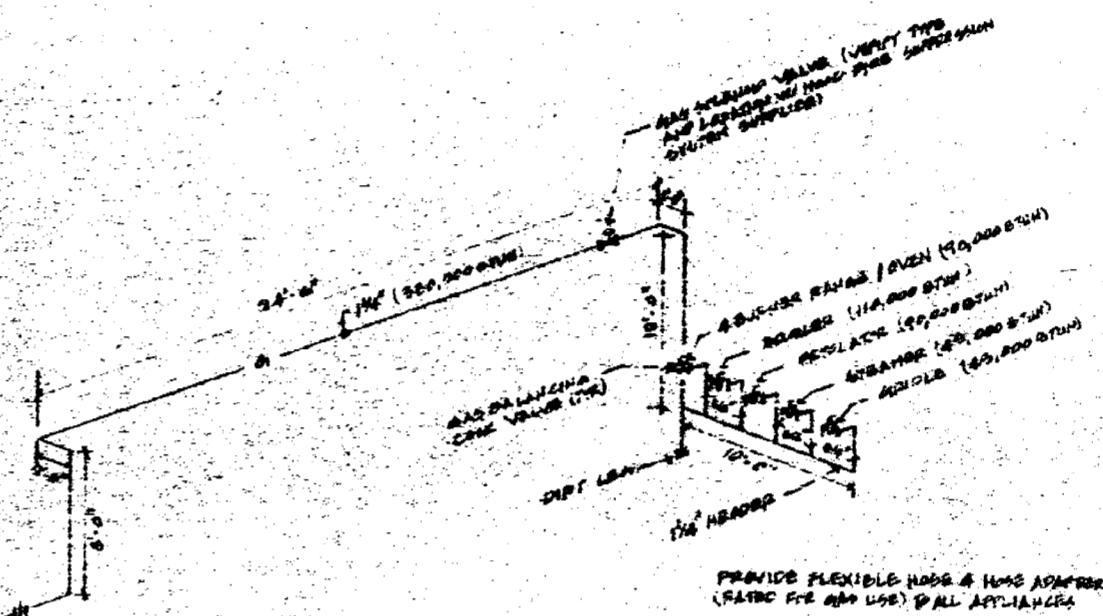


**WATER PIPING ISOMETRIC
N.T.S.**

VERIFY BY:
1. FIELD SURVEY
2. EXISTING RECORDS
3. EXISTING PIPING
4. EXISTING ELEVATIONS

1" (800,000 BTU) OR
LARGER (VERIFY
LOCATION)

**GAS PIPING ISOMETRIC
N.T.S.**



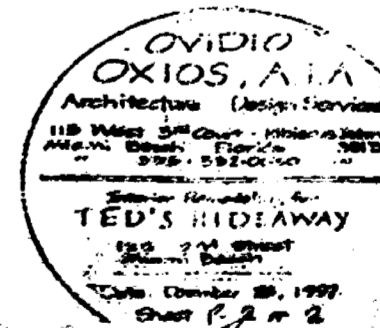
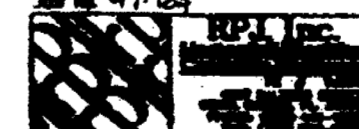
OFFICE COPY
CITY OF MIAMI BEACH

APPROVED FOR PERMIT BY:
THE FOLLOWING:

ENGINEER	_____
PLUMBER	_____
ELECTRICIAN	_____
Mechanical	_____
Fire Protection	_____
Structural	_____
Accidentality	_____
Blowing	_____

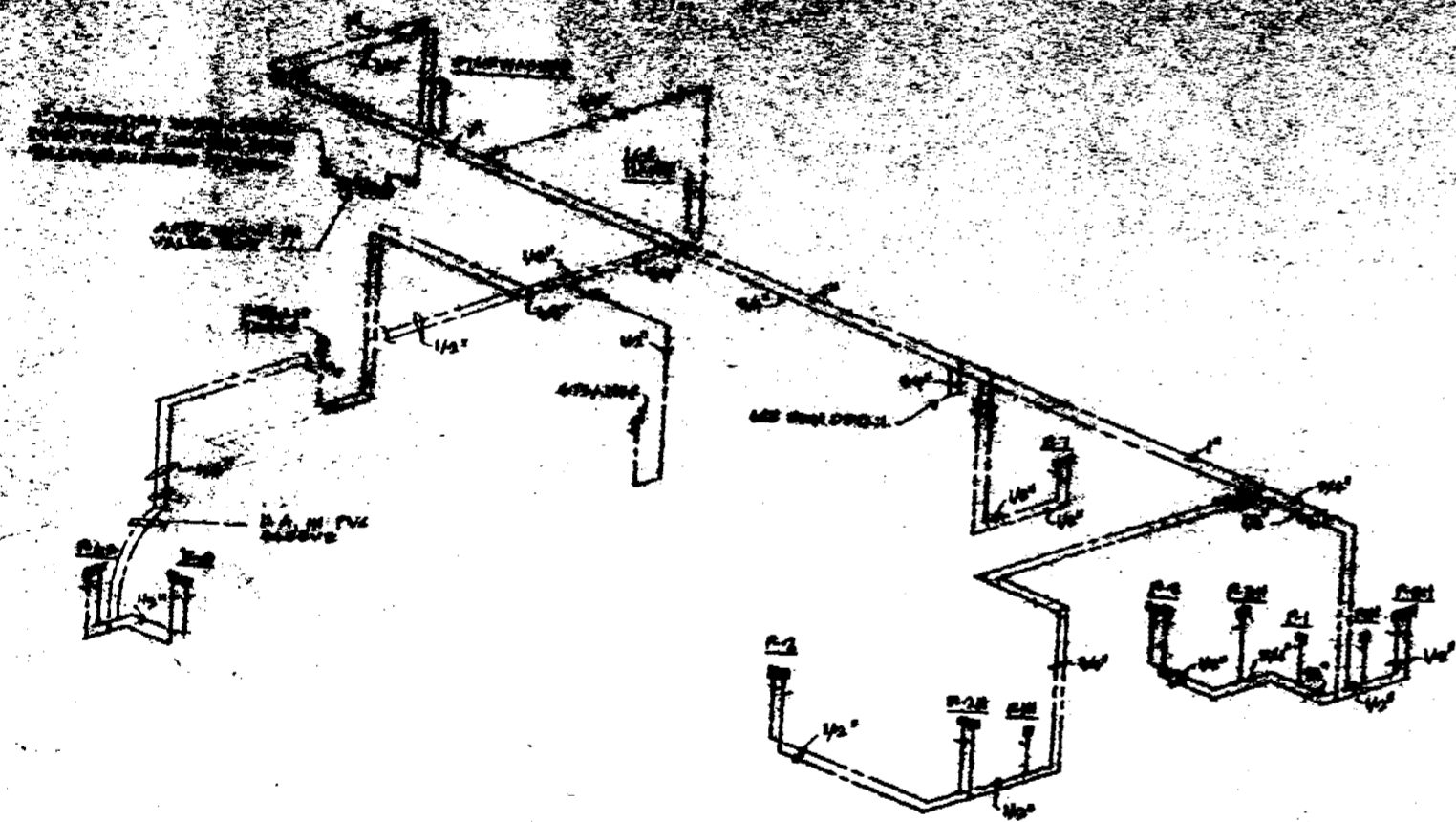
Handwritten signature

1/24/90 10:00 AM
10:00 AM



000412

4004-3



OFFICE COPY
CITY OF MIAMI BEACH

APPROVED FOR PERMIT BY
THE FOLLOWING:

BUILDING:	_____
ZONING:	_____
PLUMBING:	_____
ELECTRICAL:	_____
MECHANICAL:	_____
FIRE PREVENTION:	_____
ENGINEERING:	_____
PUBLIC WORKS:	_____
STRUCTURAL:	_____
ACCESSIBILITY:	_____
ELEVATION:	_____

CITY OF MIAMI BEACH
ENGINEERING DEPARTMENT
VOID

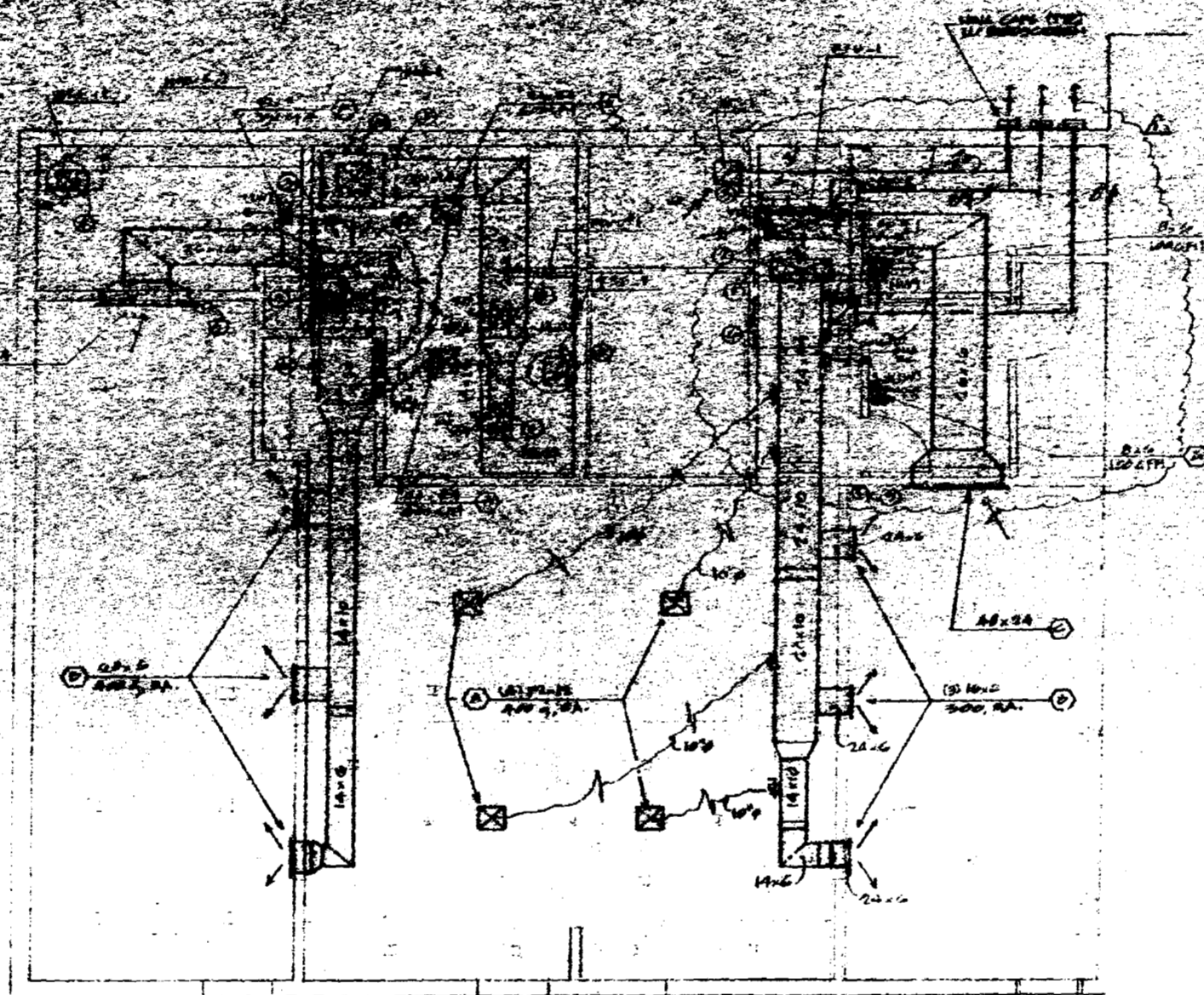
BY _____
DATE _____



4-500

GENERAL NOTES-HVAC

1. All work shall be done in accordance with the City of Miami Building Code, Chapter 22, and the Florida Building Code, Chapter 6, and the applicable provisions of the International Mechanical Code, 2003 Edition, and the applicable provisions of the International Mechanical Code, 2003 Edition, and the applicable provisions of the International Mechanical Code, 2003 Edition.
2. The HVAC system shall be designed to provide for the cooling and heating of the building spaces. The system shall be designed to provide for the cooling and heating of the building spaces. The system shall be designed to provide for the cooling and heating of the building spaces.
3. The HVAC system shall be designed to provide for the cooling and heating of the building spaces. The system shall be designed to provide for the cooling and heating of the building spaces. The system shall be designed to provide for the cooling and heating of the building spaces.
4. The HVAC system shall be designed to provide for the cooling and heating of the building spaces. The system shall be designed to provide for the cooling and heating of the building spaces. The system shall be designed to provide for the cooling and heating of the building spaces.
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9. The HVAC system shall be designed to provide for the cooling and heating of the building spaces. The system shall be designed to provide for the cooling and heating of the building spaces. The system shall be designed to provide for the cooling and heating of the building spaces.
10. The HVAC system shall be designed to provide for the cooling and heating of the building spaces. The system shall be designed to provide for the cooling and heating of the building spaces. The system shall be designed to provide for the cooling and heating of the building spaces.



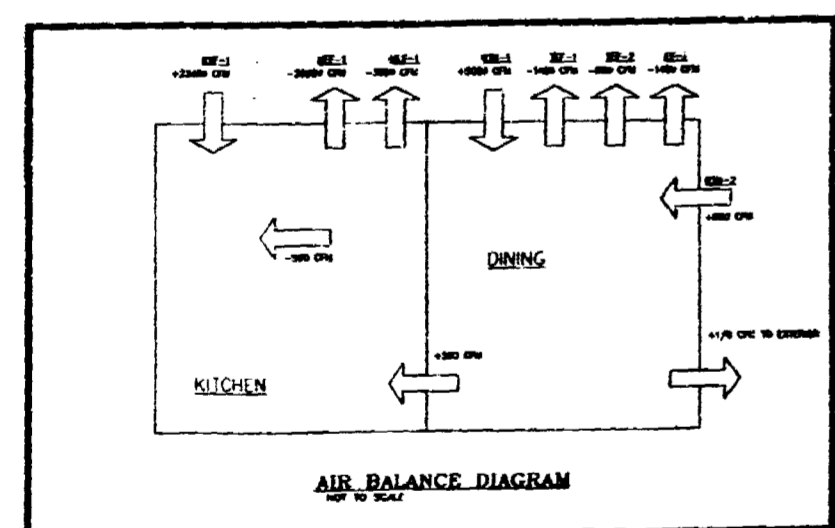
CEILING PLAN - HVAC
SCALE: 1/4" = 1'-0"

- ## HVAC KEY NOTES
1. DUCTS SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF MIAMI BUILDING CODE, CHAPTER 22, AND THE FLORIDA BUILDING CODE, CHAPTER 6, AND THE APPLICABLE PROVISIONS OF THE INTERNATIONAL MECHANICAL CODE, 2003 EDITION.
 2. THE HVAC SYSTEM SHALL BE DESIGNED TO PROVIDE FOR THE COOLING AND HEATING OF THE BUILDING SPACES. THE SYSTEM SHALL BE DESIGNED TO PROVIDE FOR THE COOLING AND HEATING OF THE BUILDING SPACES.
 3. THE HVAC SYSTEM SHALL BE DESIGNED TO PROVIDE FOR THE COOLING AND HEATING OF THE BUILDING SPACES. THE SYSTEM SHALL BE DESIGNED TO PROVIDE FOR THE COOLING AND HEATING OF THE BUILDING SPACES.
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 8. THE HVAC SYSTEM SHALL BE DESIGNED TO PROVIDE FOR THE COOLING AND HEATING OF THE BUILDING SPACES. THE SYSTEM SHALL BE DESIGNED TO PROVIDE FOR THE COOLING AND HEATING OF THE BUILDING SPACES.
 9. THE HVAC SYSTEM SHALL BE DESIGNED TO PROVIDE FOR THE COOLING AND HEATING OF THE BUILDING SPACES. THE SYSTEM SHALL BE DESIGNED TO PROVIDE FOR THE COOLING AND HEATING OF THE BUILDING SPACES.
 10. THE HVAC SYSTEM SHALL BE DESIGNED TO PROVIDE FOR THE COOLING AND HEATING OF THE BUILDING SPACES. THE SYSTEM SHALL BE DESIGNED TO PROVIDE FOR THE COOLING AND HEATING OF THE BUILDING SPACES.

OFFICE COPY

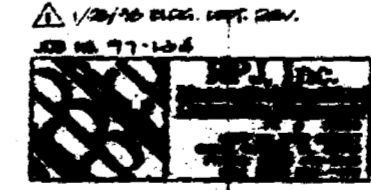
CITY OF MIAMI BEACH
APPROVED FOR PERMIT BY
THE FOLLOWING

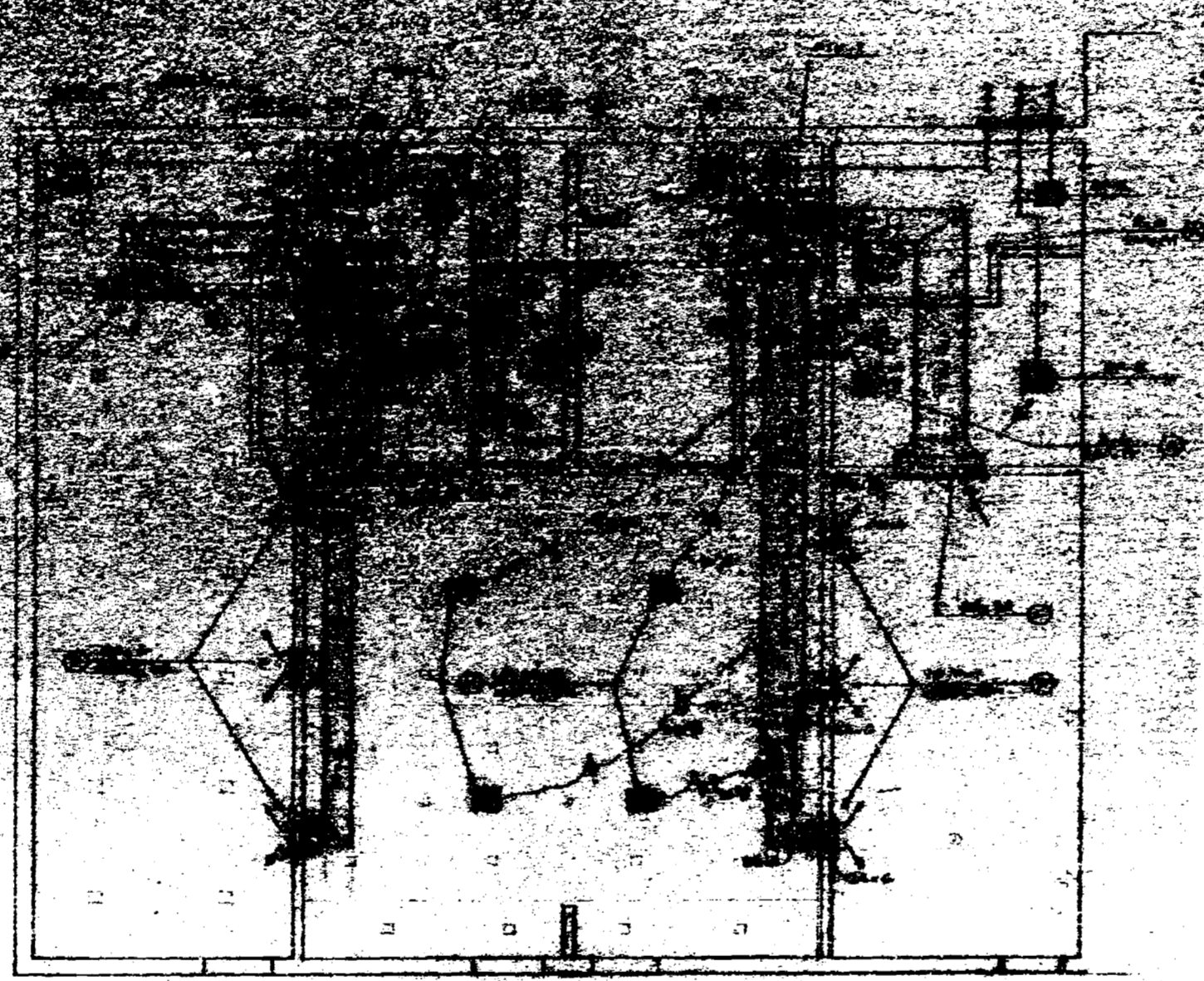
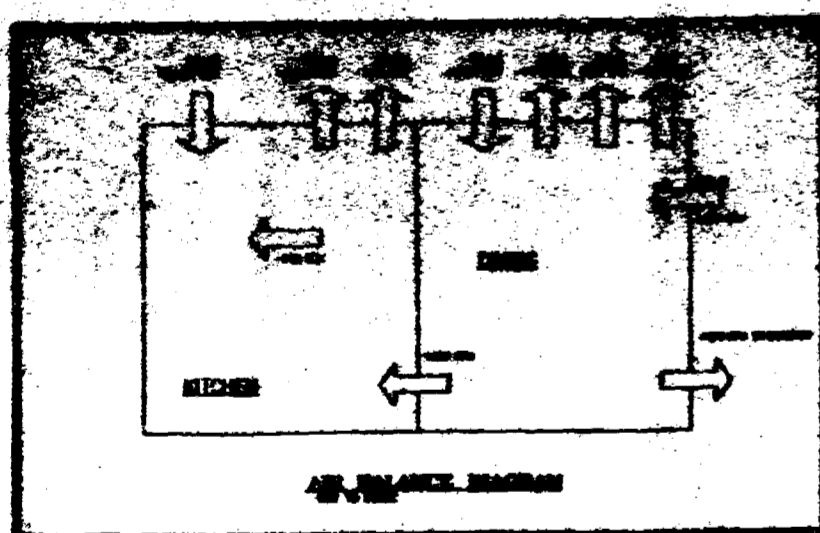
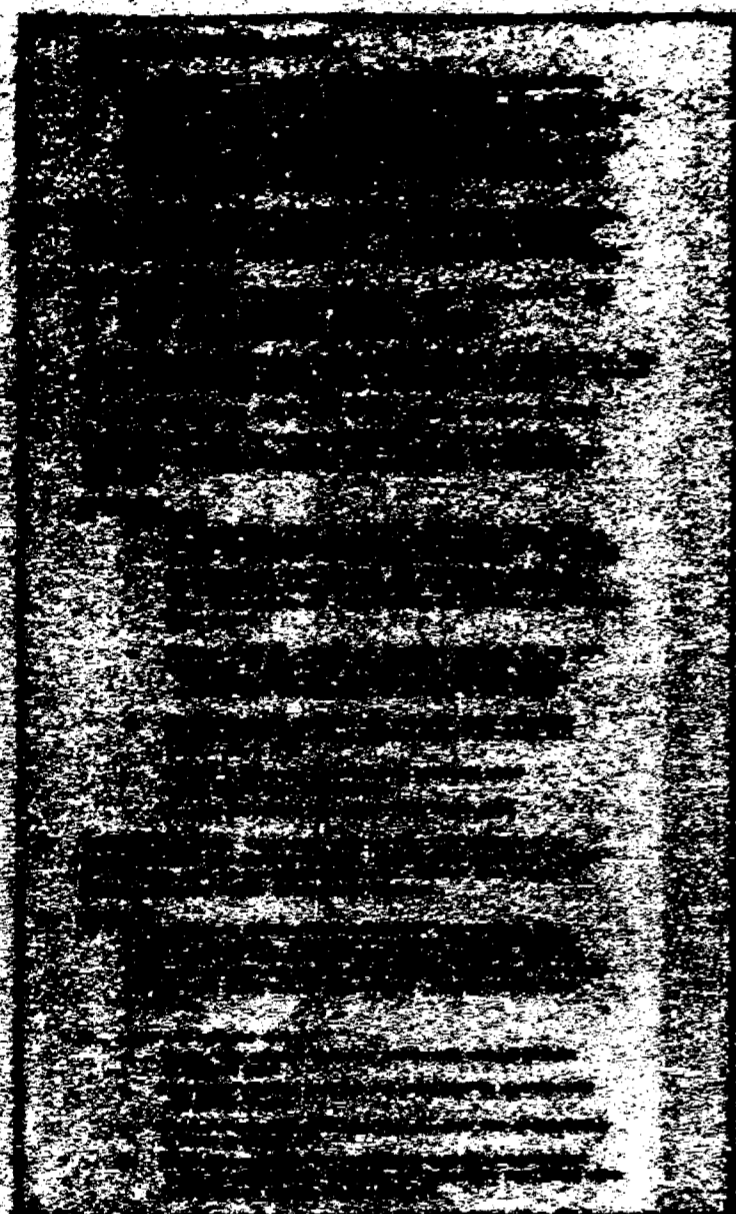
ENGINEER	
ARCHITECT	
PLUMBING	
ELECTRICAL	
MECHANICAL	
FIRE PROTECTION	
ENVIRONMENTAL	
PUBLIC WORKS	
RECREATION	
TRANSPORTATION	
UTILITY	



AIR BALANCE DIAGRAM
NOT TO SCALE

Handwritten signature
11/1/00





MECHANICAL PLAN - HVAC

- 1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY OF MIAMI BEACH DEPARTMENT OF PUBLIC WORKS SPECIFICATIONS.
- 2. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY OF MIAMI BEACH DEPARTMENT OF PUBLIC WORKS SPECIFICATIONS.
- 3. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY OF MIAMI BEACH DEPARTMENT OF PUBLIC WORKS SPECIFICATIONS.
- 4. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY OF MIAMI BEACH DEPARTMENT OF PUBLIC WORKS SPECIFICATIONS.
- 5. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY OF MIAMI BEACH DEPARTMENT OF PUBLIC WORKS SPECIFICATIONS.
- 6. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY OF MIAMI BEACH DEPARTMENT OF PUBLIC WORKS SPECIFICATIONS.
- 7. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY OF MIAMI BEACH DEPARTMENT OF PUBLIC WORKS SPECIFICATIONS.
- 8. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY OF MIAMI BEACH DEPARTMENT OF PUBLIC WORKS SPECIFICATIONS.
- 9. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY OF MIAMI BEACH DEPARTMENT OF PUBLIC WORKS SPECIFICATIONS.
- 10. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY OF MIAMI BEACH DEPARTMENT OF PUBLIC WORKS SPECIFICATIONS.

OFFICE COPY
CITY OF MIAMI BEACH
APPROVED FOR PERMIT BY
THE FOLLOWING:

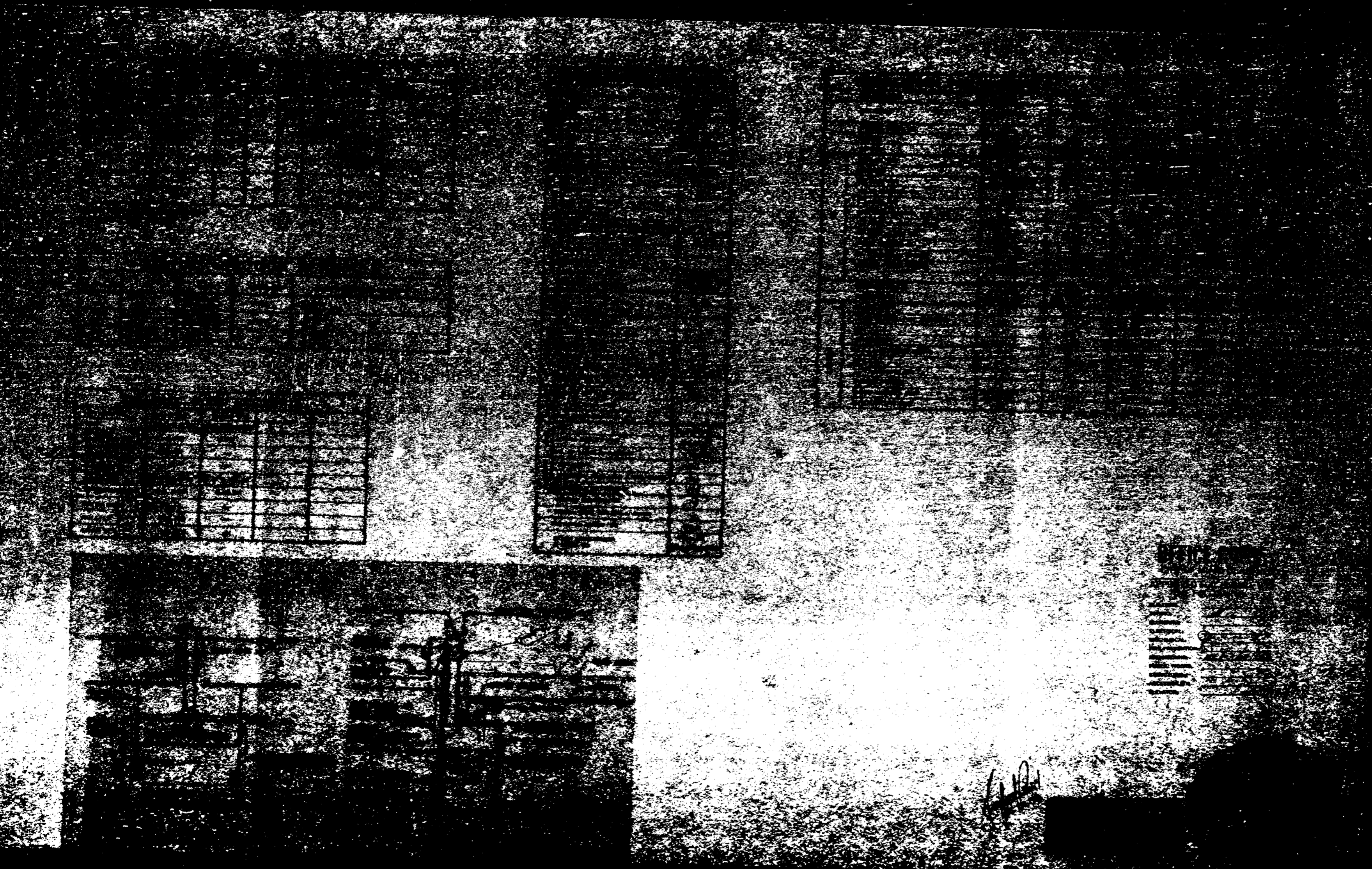
BUILDING: _____
ZONING: _____
ELECTRICAL: _____
MECHANICAL: _____
FIRE PREVENTION: _____
ENGINEERING: _____
PUBLIC WORKS: _____
STRUCTURAL: _____
ACCESSIBILITY: _____
ELEVATION: _____

CITY OF MIAMI BEACH
ENGINEERING DEPARTMENT
VOID

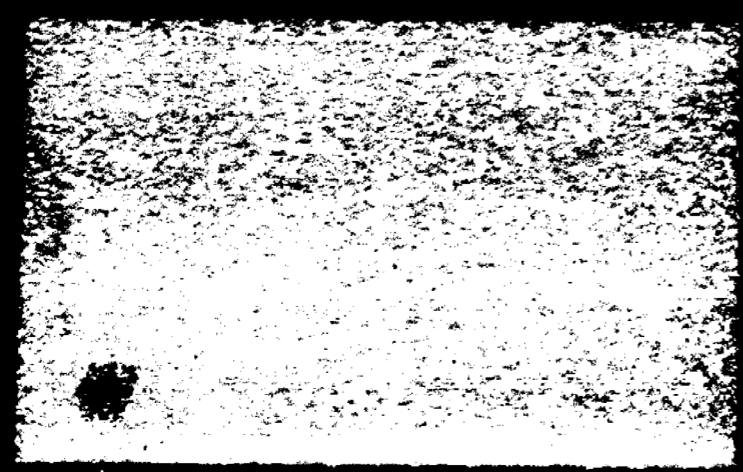
BY _____
DATE _____

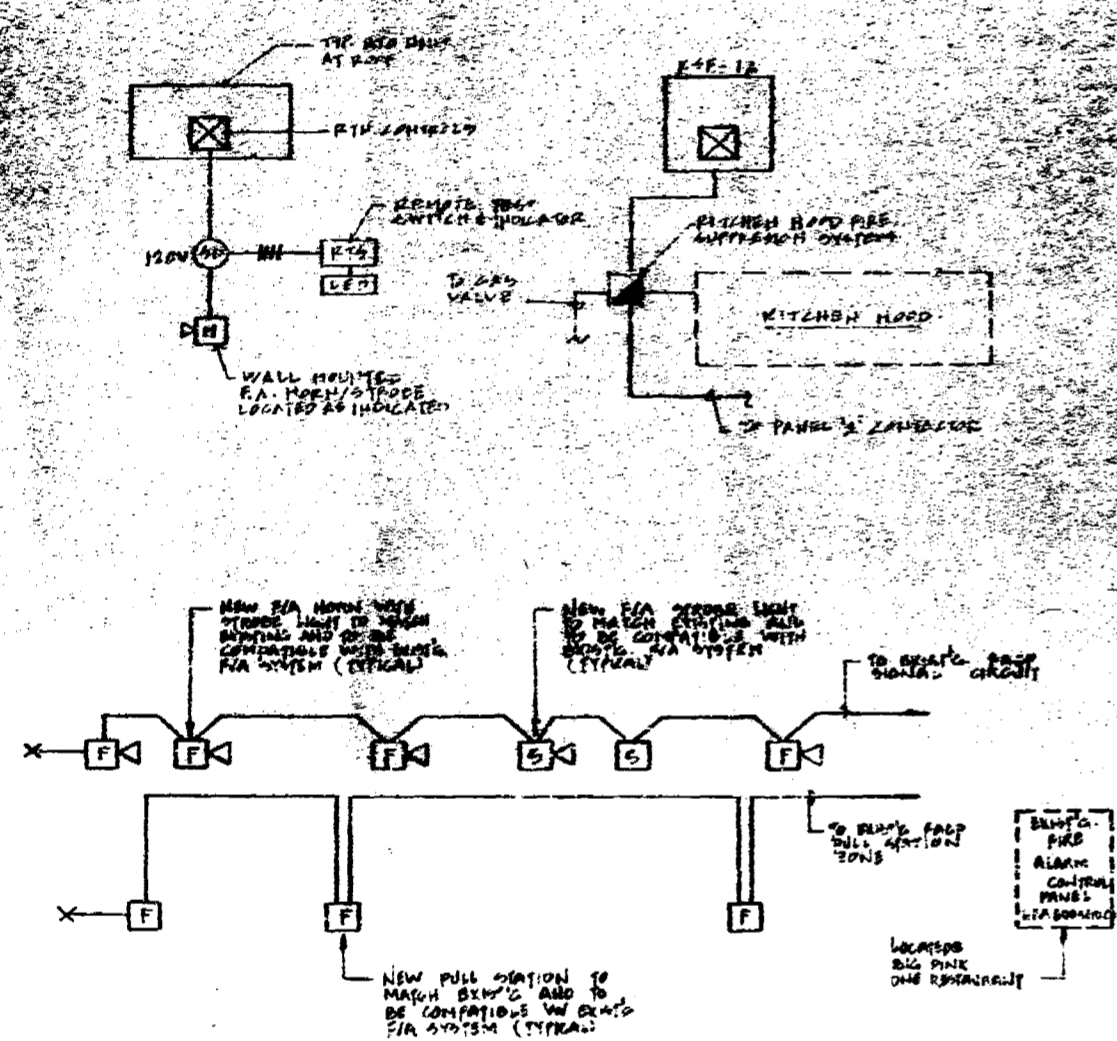


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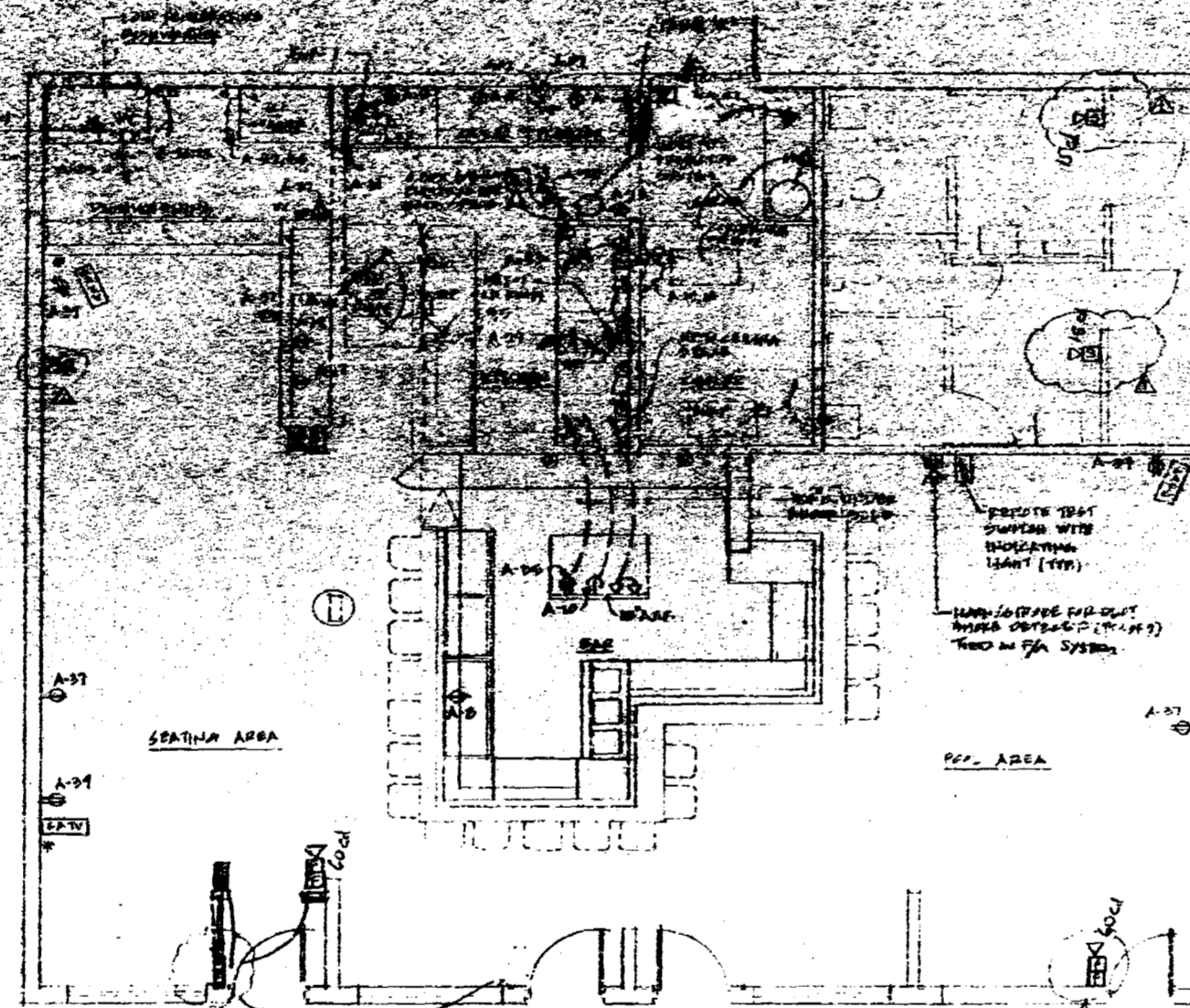


004-6





FIRE ALARM RISER DIAGRAM
N.T.S.



POWER FLOOR PLAN
1/4" = 1'-0"

GENERAL NOTES

1. ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND THE CITY OF MIAMI BEACH ELECTRICAL CODE.
2. ALL ELECTRICAL WORK SHALL BE DONE BY A LICENSED ELECTRICIAN.
3. ALL ELECTRICAL WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY OF MIAMI BEACH ELECTRICAL CODE.
4. ALL ELECTRICAL WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY OF MIAMI BEACH ELECTRICAL CODE.
5. ALL ELECTRICAL WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY OF MIAMI BEACH ELECTRICAL CODE.
6. ALL ELECTRICAL WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY OF MIAMI BEACH ELECTRICAL CODE.
7. ALL ELECTRICAL WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY OF MIAMI BEACH ELECTRICAL CODE.
8. ALL ELECTRICAL WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY OF MIAMI BEACH ELECTRICAL CODE.
9. ALL ELECTRICAL WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY OF MIAMI BEACH ELECTRICAL CODE.
10. ALL ELECTRICAL WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY OF MIAMI BEACH ELECTRICAL CODE.

CONSTRUCTION NOTES

1. ALL ELECTRICAL WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY OF MIAMI BEACH ELECTRICAL CODE.
2. ALL ELECTRICAL WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY OF MIAMI BEACH ELECTRICAL CODE.
3. ALL ELECTRICAL WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY OF MIAMI BEACH ELECTRICAL CODE.
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8. ALL ELECTRICAL WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY OF MIAMI BEACH ELECTRICAL CODE.
9. ALL ELECTRICAL WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY OF MIAMI BEACH ELECTRICAL CODE.
10. ALL ELECTRICAL WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY OF MIAMI BEACH ELECTRICAL CODE.

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CITY OF MIAMI BEACH

APPROVED FOR PERMIT BY
THE FOLLOWING:

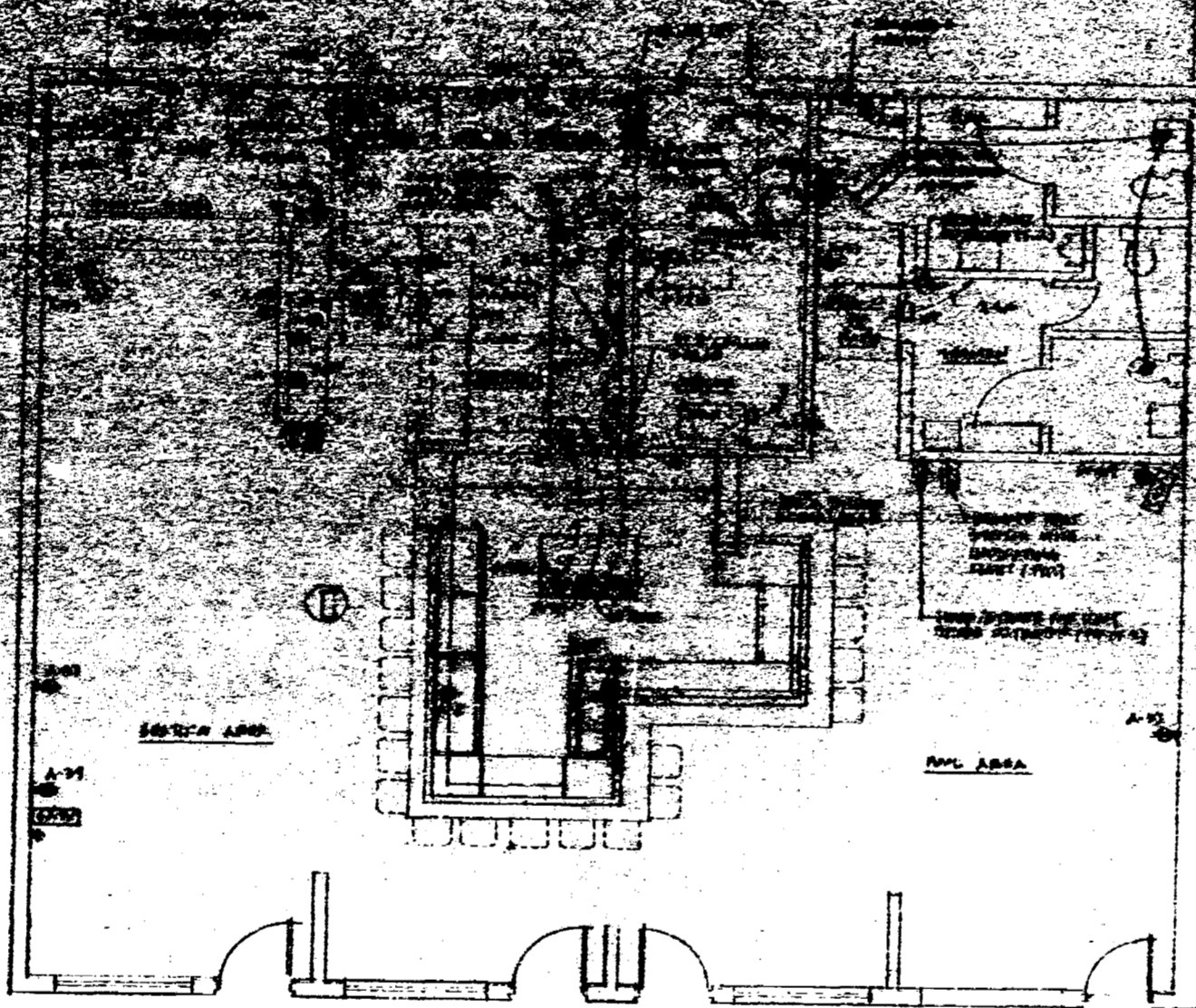
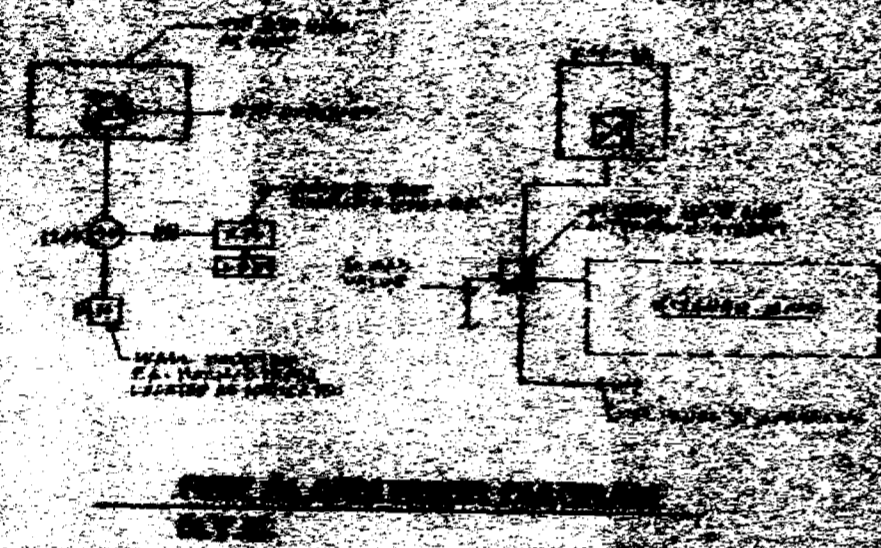
BUILDING
ELECTRICAL
MECHANICAL
FIRE PROTECTION
ENGINEERING
PUBLIC WORKS
STRUCTURE

APPROVED FOR PERMIT BY
THE FOLLOWING:

OVIDIO
OXIOS, A.I.A.
Architectural Design Services

110 West 9th Street, Miami Beach, Florida 33139
305-658-0000

Prepared by
TED'S HIDEAWAY
110 West 9th Street, Miami Beach, Florida 33139
305-658-0000



NOTES:

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF MIAMI BEACH DEPARTMENT OF PUBLIC WORKS SPECIFICATIONS.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF MIAMI BEACH.
3. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES.

NOTES:

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF MIAMI BEACH.
2. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES.

FLOOR PLAN
1/4" = 1'-0"

OFFICE COPY
CITY OF MIAMI BEACH

APPROVED FOR PERMIT BY
THE FOLLOWING:

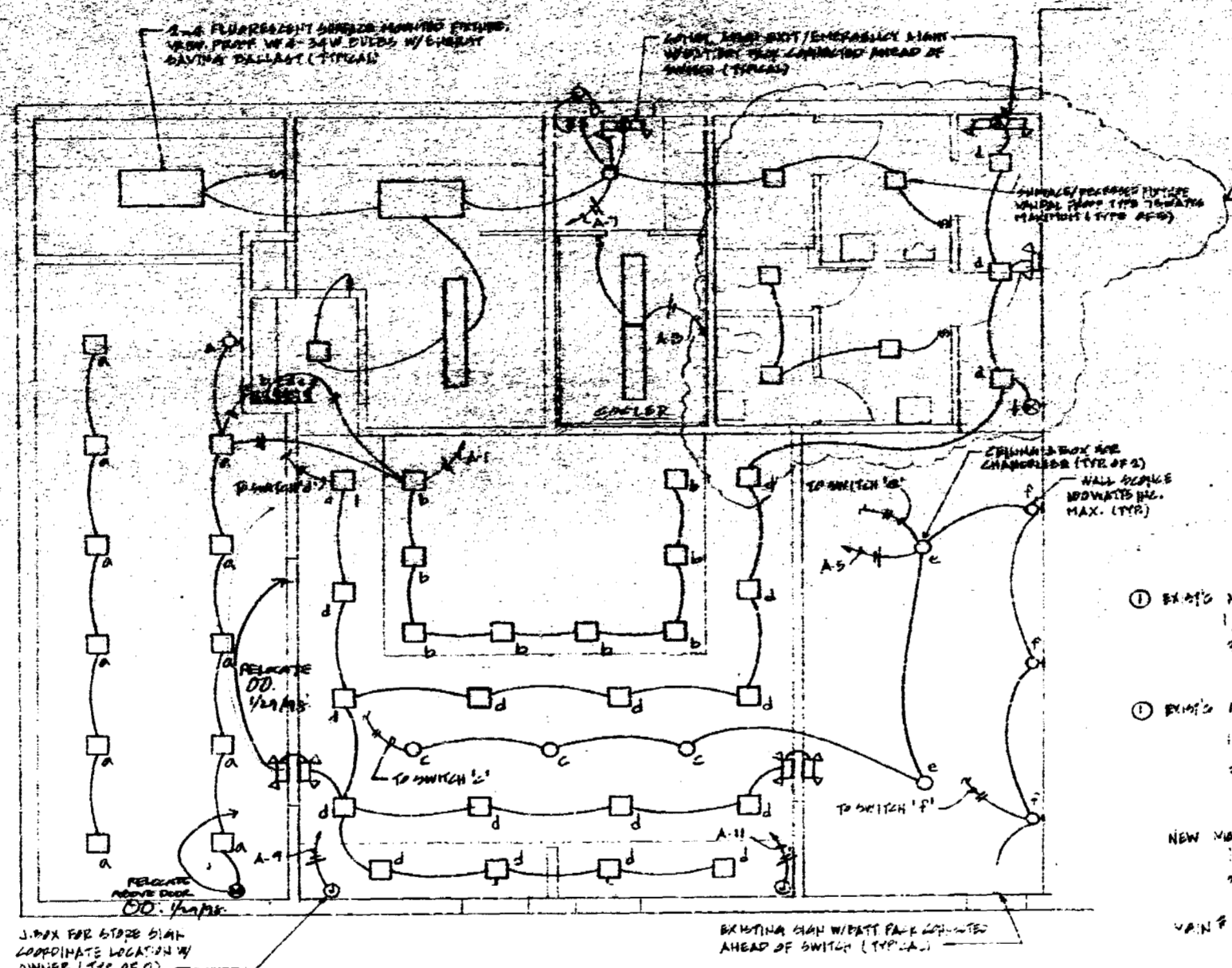
- BUILDING
- ZONING
- PLANNING
- ELECTRICAL
- MECHANICAL
- FIRE PREVENTION
- ENGINEERING
- PUBLIC WORKS
- STRUCTURAL
- ACCESSIBILITY
- ELEVATOR

VOID

BY _____
DATE _____

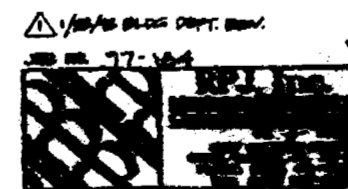


00518

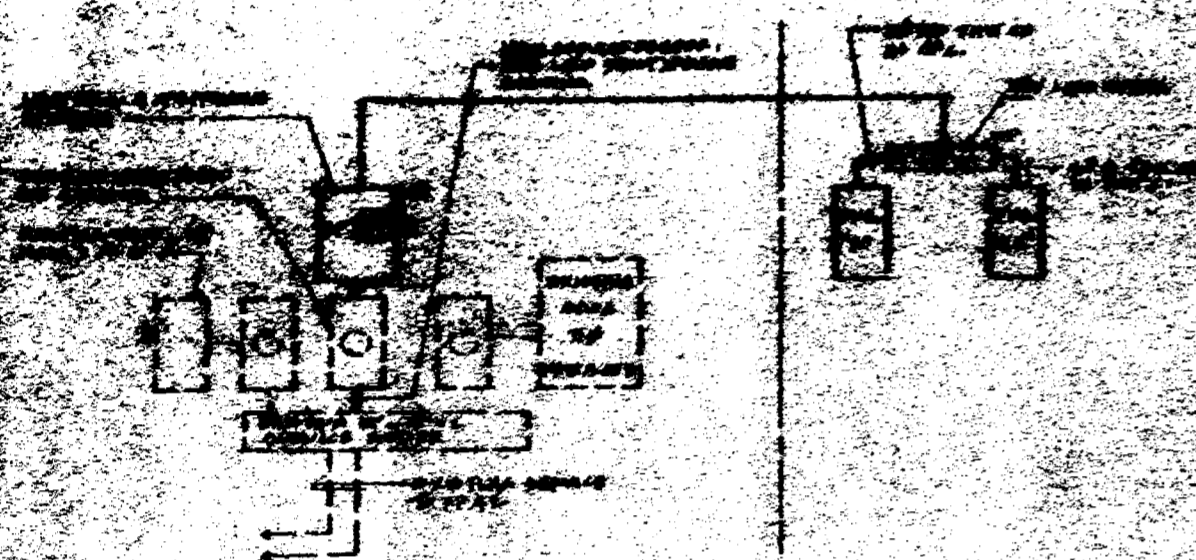
[illegible][illegible]

LIGHTING FLOOR PLAN
1/4" = 1'-0"

OFFICE COPY
CITY OF MIAMI BEACH
APPROVED FOR PERMIT BY
THE FOLLOWING:

[illegible]

000419



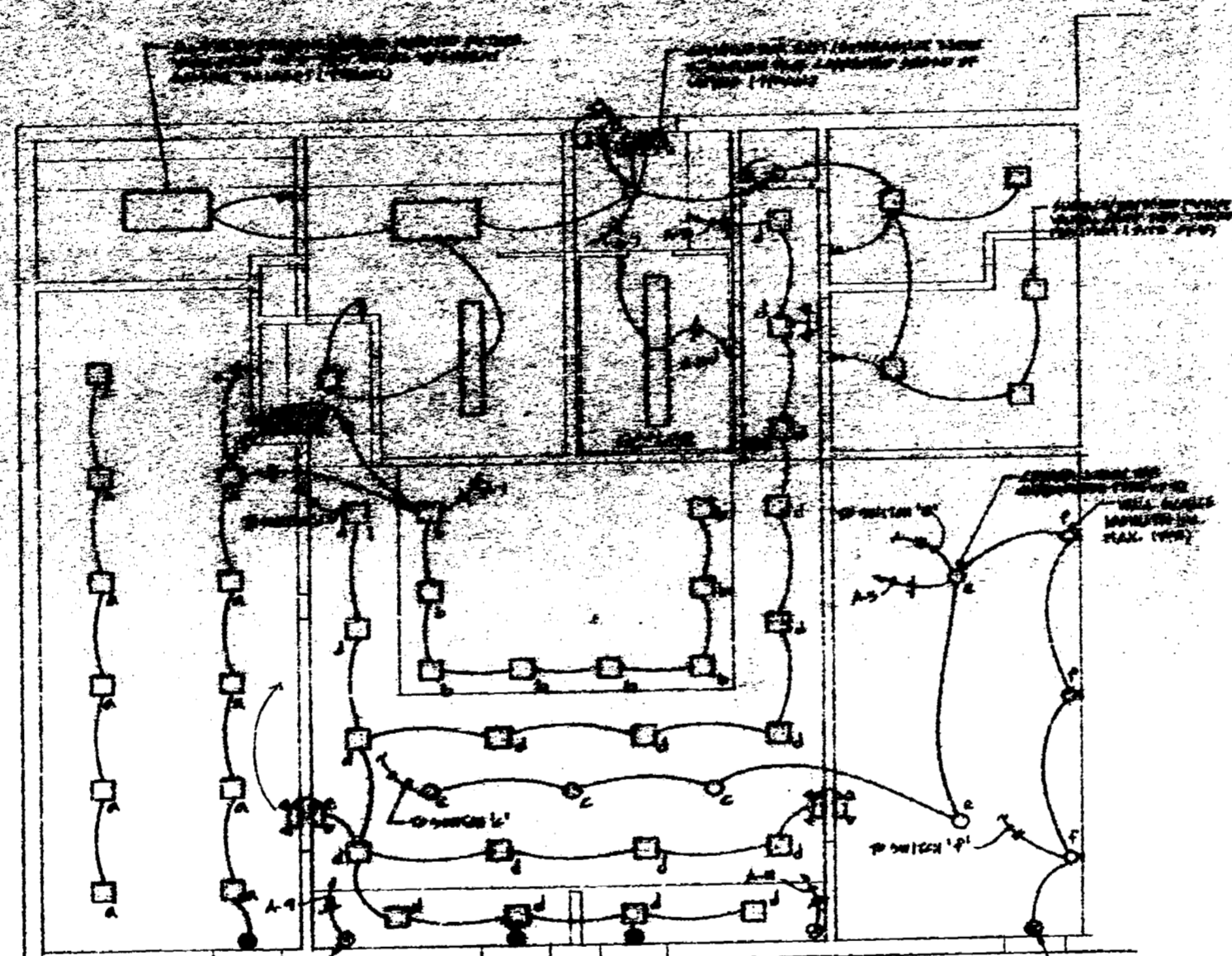
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100' 0.000 10'	012	012	012	—
TOTAL = 250 A 250 A 250 A 250 A				
100' 0.000 10'	101 A	101 A	101 A	101 A
100' 0.000 10'	101 A	101 A	101 A	101 A
100' 0.000 10'	101 A	101 A	101 A	101 A



1. TURN THE CLAMP
VOLUME OF THE PLATE PRIOR TO
INSTALLATION & INSTALLATION

WIRE SIZE	PA	SB	PC (B)	W
100' 0.000 10'	101 A	101 A	—	101 B
100' 0.000 10'	012	012	012	—
TOTAL = 250 A 250 A 250 A 250 A				
100' 0.000 10'	101 A	101 A	101 A	101 A
100' 0.000 10'	101 A	101 A	101 A	101 A
100' 0.000 10'	101 A	101 A	101 A	101 A

2. TURN THE CLAMP
VOLUME OF THE PLATE PRIOR TO
INSTALLATION & INSTALLATION



1. TURN THE CLAMP
VOLUME OF THE PLATE PRIOR TO
INSTALLATION & INSTALLATION

LIGHTING FLOOR PLAN

1/4" = 1'-0"



OFFICE COPY
CITY OF MIAMI BEACH
APPROVED FOR PERMIT BY
THE FOLLOWING:

- BUILDING
- ZONING
- PLUMBING
- ELECTRICAL
- FIRE PREVENTION
- ENGINEERING
- PUBLIC WORKS
- STRUCTURAL
- ACCESSIBILITY

VOID

BY
DATE



000420

54801080

PERMIT APPLICATION FORM

1. PROJECT INFORMATION

2. PERMIT INFORMATION

3. FEE INFORMATION

4. SIGNATURES

5. NOTES

PERMIT APPLICATION FORM

1. PROJECT INFORMATION

2. PERMIT INFORMATION

3. FEE INFORMATION

4. SIGNATURES

5. NOTES

PERMIT APPLICATION FORM

1. PROJECT INFORMATION

2. PERMIT INFORMATION

3. FEE INFORMATION

4. SIGNATURES

5. NOTES

PERMIT APPLICATION FORM

1. PROJECT INFORMATION

2. PERMIT INFORMATION

3. FEE INFORMATION

4. SIGNATURES

5. NOTES

00421

CITY OF MIAMI BEACH - BUILDING DEPARTMENT - APPENDIX 2

Application is hereby made to obtain a permit to do work and installation as indicated. I certify that all work will be performed to meet the standards of all laws regulating construction in this jurisdiction. I understand that separate permits are required for Electrical, Mechanical, Plumbing, Sign, Refrigerating, Pools, Windows/Gliding Doors and Roofing and there may be additional permits required from other governmental agencies.

Signature of Owner: _____

STATE OF FLORIDA **COUNTY OF DADE**

Swore to said substance before me this _____ day of _____

T E S T E

☐ Personally known to me: ☐ as Photocopy Identification

Type of Identification: _____

☐ DID TAKE OATH ☐ DID NOT TAKE OATH

Signature of Notary Public

PERMIT #
9801070

ADDRESS
124 2nd St
Miami Beach

00419

NOTICE OF ACCEPTANCE - STANDARD CONDITIONS FOR GLAZED PRODUCTS

The manufacturer warrants, approved standard drawings and calculations shall be used with Product Code.

The Applicant will supply quality work of the same design and as the same nature.

All work must be installed within the manufacturer's name, Date, County, Product Code, Approval Number, and date of completion.

Extension of Acceptance may be considered after a new application has been filed and the applicant data, for test reports less than four (4) years old, has been re-evaluated.

Any repairs or changes in material, use or manufacture of the product shall not be made without the approval of the Building Code Compliance Department.

Any unsatisfactory performance of this product or a change in Code provisions shall be reported to the Building Code Compliance Department.

This Acceptance shall not be used as an endorsement of any product or service.

Aluminum windows and sliding doors have been tested in accordance with ANSIA AAMA 101-11 or 101-12 window unit by ANSINWDA I.S. 2-17 and sliding door ANSINWDA I.S. 2-18 and swing doors ANSINWDA I.S. 2-19.

Swinging doors shall be tested for positive and negative wind pressure as per Chapter 16 of the South Florida Building Code.

Hardware for all windows and doors shall conform to Security and Forces Entry Protection, Chapter 16 of the South Florida Building Code.

The spacing of fasteners shall be as tested or 24" whichever is less.

The fast fastener shall be located a maximum of 6" from each corner and middle or side. Minimum penetration of fastener shall be as tested or 3/4" whichever is greater. No wood or plastic shall be used.

Under pressure tested in the test report, minimum size of screws shall be No. 8 for first and second floor installations and No. 10 for all other floors above the first and second floors.

RECEIVED 1-10-92

DATE: 01-10-92

FILE: 01-10-92

NOTICE OF ACCEPTANCE - STANDARD CONDITIONS

ACCEPTANCE No. 54-0928-03

APPROVED: 01-10-1994

EXPIRES: 01-10-1998

NOTICE OF ACCEPTANCE - STANDARD CONDITIONS

DESCRIPTION OF UNIT: Assigned Acceptance Markings

MODEL DESIGNATION: Cyclic Wind Pressure Test PA 22-94

Overall Size: 27 3/4" wide by 61 1/2" high

Configuration: N

No. & Size of Panels: One 15 3/4" wide by 70" high 1 1/16" thick

Weatherstripping: Vinyl composite weatherstrip on each jamb head. An applied dual vinyl composite weatherstrip adapter under bottom of door panel consisting of a rigid base with three flexible flaps: one 2 1/4" long, one 0 1/4" long and one 0 1/4" long. One end of the base is attached to the jamb head and the other end is attached to the door panel. The base is attached to the jamb head and the other end is attached to the door panel. The base is attached to the jamb head and the other end is attached to the door panel.

OPERATION & LOCATION: One double door, both lock at panel lock stile, 40 1/4" from bottom, key operated on the exterior and turn knob at panel lock stile, 34 3/4" from bottom. One double door, both lock at panel lock stile, 40 1/4" from bottom, key operated on the exterior and turn knob at panel lock stile, 34 3/4" from bottom. One double door, both lock at panel lock stile, 40 1/4" from bottom, key operated on the exterior and turn knob at panel lock stile, 34 3/4" from bottom.

RECEIVED 01-10-92

DATE: 01-10-92

FILE: 01-10-92

NOTICE OF ACCEPTANCE - STANDARD CONDITIONS

ACCEPTANCE No. 54-0928-03

APPROVED: 01-10-1994

EXPIRES: 01-10-1998

NOTICE OF ACCEPTANCE - STANDARD CONDITIONS

DESCRIPTION OF UNIT: Assigned Acceptance Markings

MODEL DESIGNATION: Cyclic Wind Pressure Test PA 22-94

Overall Size: 27 3/4" wide by 61 1/2" high

Configuration: N

No. & Size of Panels: One 15 3/4" wide by 70" high 1 1/16" thick

Weatherstripping: Vinyl composite weatherstrip on each jamb head. An applied dual vinyl composite weatherstrip adapter under bottom of door panel consisting of a rigid base with three flexible flaps: one 2 1/4" long, one 0 1/4" long and one 0 1/4" long. One end of the base is attached to the jamb head and the other end is attached to the door panel. The base is attached to the jamb head and the other end is attached to the door panel. The base is attached to the jamb head and the other end is attached to the door panel.

OPERATION & LOCATION: One double door, both lock at panel lock stile, 40 1/4" from bottom, key operated on the exterior and turn knob at panel lock stile, 34 3/4" from bottom. One double door, both lock at panel lock stile, 40 1/4" from bottom, key operated on the exterior and turn knob at panel lock stile, 34 3/4" from bottom. One double door, both lock at panel lock stile, 40 1/4" from bottom, key operated on the exterior and turn knob at panel lock stile, 34 3/4" from bottom.

RECEIVED 01-10-92

DATE: 01-10-92

FILE: 01-10-92

NOTICE OF ACCEPTANCE - STANDARD CONDITIONS

ACCEPTANCE No. 54-0928-03

APPROVED: 01-10-1994

EXPIRES: 01-10-1998

NOTICE OF ACCEPTANCE - STANDARD CONDITIONS

DESCRIPTION OF UNIT: Assigned Acceptance Markings

MODEL DESIGNATION: Cyclic Wind Pressure Test PA 22-94

Overall Size: 27 3/4" wide by 61 1/2" high

Configuration: N

No. & Size of Panels: One 15 3/4" wide by 70" high 1 1/16" thick

Weatherstripping: Vinyl composite weatherstrip on each jamb head. An applied dual vinyl composite weatherstrip adapter under bottom of door panel consisting of a rigid base with three flexible flaps: one 2 1/4" long, one 0 1/4" long and one 0 1/4" long. One end of the base is attached to the jamb head and the other end is attached to the door panel. The base is attached to the jamb head and the other end is attached to the door panel. The base is attached to the jamb head and the other end is attached to the door panel.

OPERATION & LOCATION: One double door, both lock at panel lock stile, 40 1/4" from bottom, key operated on the exterior and turn knob at panel lock stile, 34 3/4" from bottom. One double door, both lock at panel lock stile, 40 1/4" from bottom, key operated on the exterior and turn knob at panel lock stile, 34 3/4" from bottom. One double door, both lock at panel lock stile, 40 1/4" from bottom, key operated on the exterior and turn knob at panel lock stile, 34 3/4" from bottom.

RECEIVED 01-10-92

DATE: 01-10-92

FILE: 01-10-92

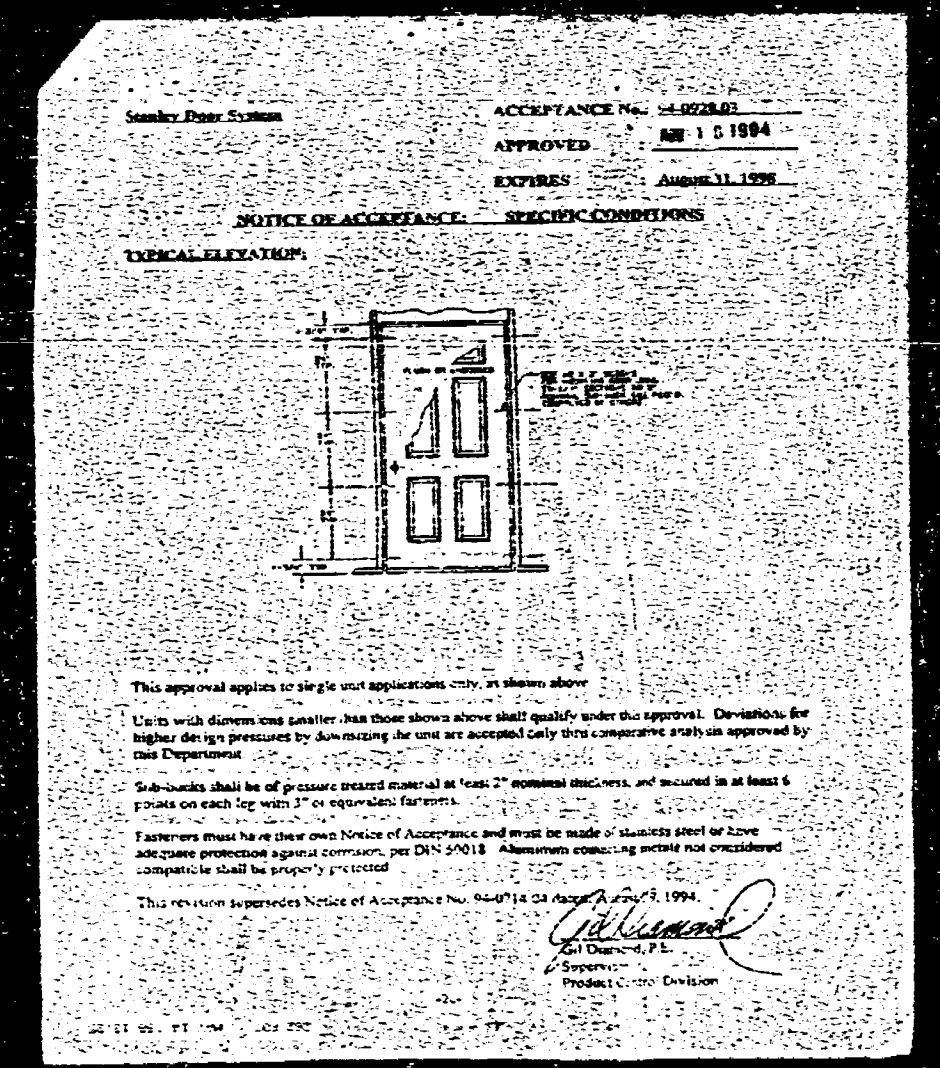
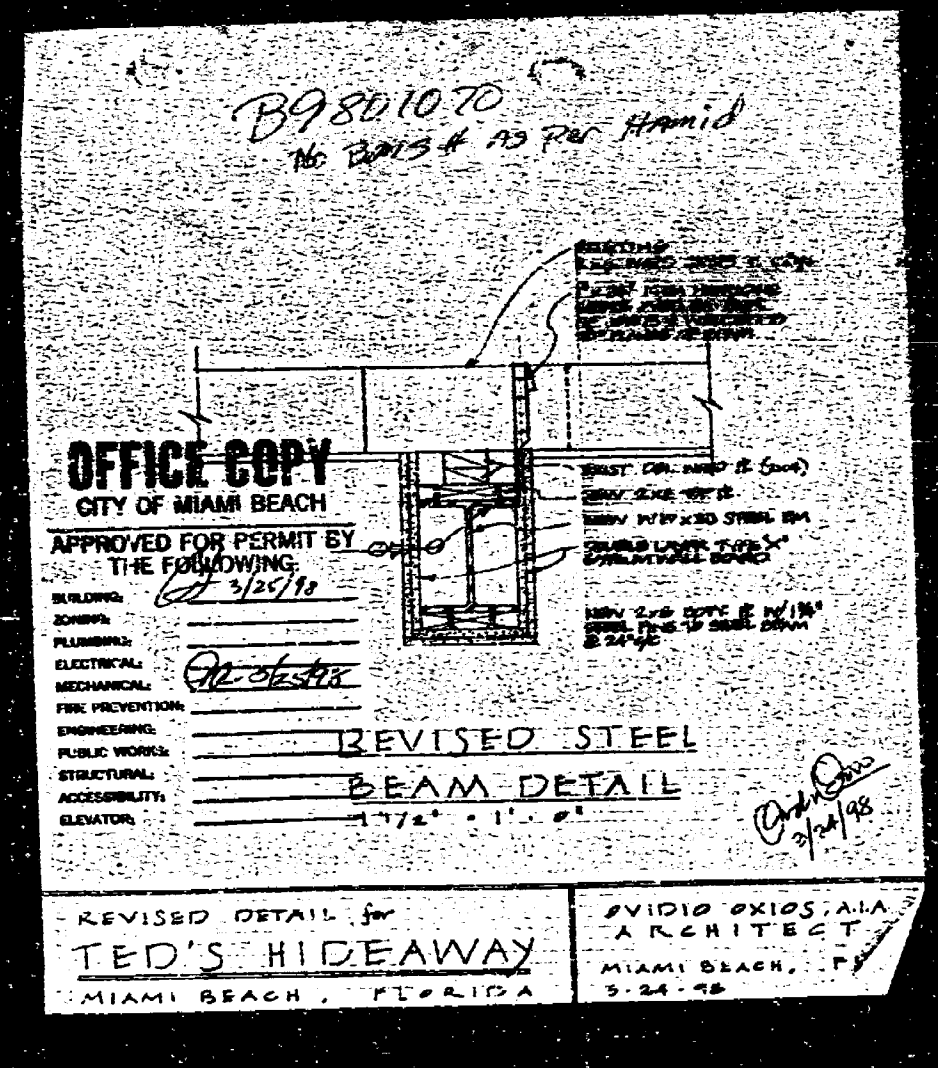
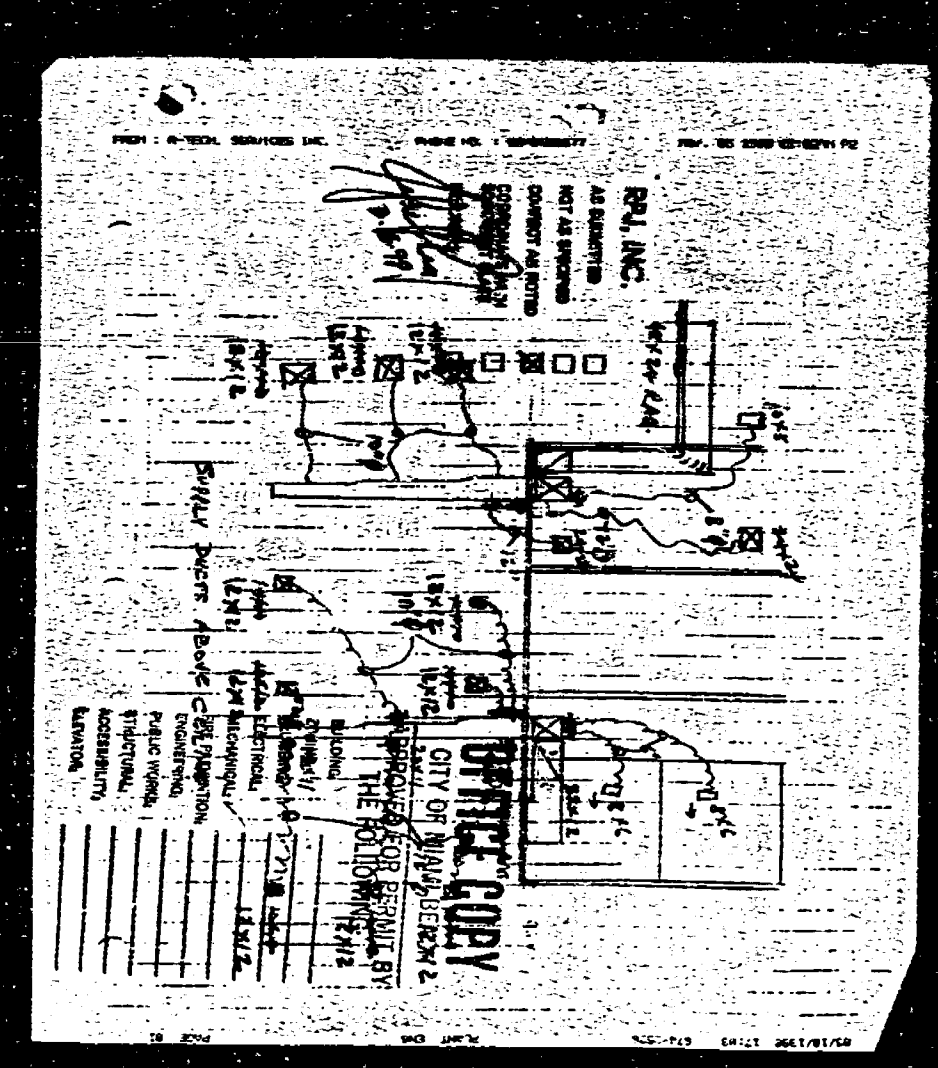


Exhibit B-3

CITY OF MIAMI BEACH
Building Department
1700 Convention Ctr Drive, 2nd Floor
Miami Beach, Florida 33139
Inspections: (305) 673-7370 Office: (305) 673-7610

BUILDING WORK PERMIT
08-23-2023

Activity Number: B9801070

Status: CLOSED Issued By: BUILALAA

Site Address: 157 COLLINS AV MBCH Applied: 01/15/1998
Parcel #: 42030030300 Approved: 02/10/1998
Completed:
To Expire: 08/16/1999
Valuation: \$40,000.00

Applicant: AMEBA ENG. & CONSTRUCTION Property Owner: LAWRENCE F KAIN
21SE 10 STREET
DEERFIELD BEACH, FL 33441 33441
954/571-8451

Description: INTERIOR REMODELING-TEDS HIDEAWY REST
Inspector Area: S

=====

Total of All Fees: \$943.92
Total of Payments: \$943.92
Balance Due: \$0.00

=====

Exhibit B-4

NOTICE OF COMMENCEMENT

OFF. REC. 1797403713

98R061299 1998 FEB 10 12:59

PERMIT NUMBER: XB9801070TAX FOLIO NUMBER: 4203-003-0300

STATE OF FLORIDA

COUNTY OF DADE

THE UNDERSIGNED hereby gives notice that improvements will be made to certain real property, and in accordance with Chapter 713, Florida Statutes, the following information is provided in this Notice of Commencement.

Legal description of property and street address: 124 2nd STREET MIAMI BEACH FL.LOT 16 BLOCK 2 OCEAN BEACH T.B. 2. P 38Description of improvement: INTERIOR REMODELINGOwner(s) name and address: LAWRENCE F. KAINEInterest in property: 305 N.W. 12TH AVE MIAMI, FL. 33128Name and address of fee simple titleholder: SAME AS ABOVEContractor's name and address: ALPHA ENTERPRISES & CONSTRUCTION2155 10TH STREET DICKINSON BEACH, FL. 33441

Surety: (Payment bond required by owner from contractor, if any)

Name and address: NO

RECORDED IN OFFICIAL RECORDS BOOK

OF DADE COUNTY, FLORIDA

RECORD V. 1797

HARVEY RUBIN

CLERK DISTRICT COURT

Amount of bond: \$ NONE

Lender's name and address:

Persons within the state of Florida designed by Owner upon whom notices or other documents may be served as provided by Section 713.13(1)(a)7., Florida Statutes,

Name and address: LAWRENCE F. KAINE 305 N.W. 12TH AVE
MIAMI, FL. 33128

In addition to himself, Owner designates the following person(s) to receive a copy of a Lienor's Notice as provided in Section 713.13(1)(b), Florida Statutes,

Name and address: TIMOTHY WILCOX 4299 COLLINS AVE
MIAMI BEACH, FL. 33140

Expiration date of this Notice of Commencement: (the expiration date is one (1) year from the date of recording unless a different date is specified)

Lawrence F. Kaine
 SIGNATURE OF OWNER

Print Owner's Name: LAWRENCE F. KAINE

Sworn to and subscribed before me on this 10
 day of FEB 1998

☒ Personally Known, or☐ Produced ID☐ Oath taken, ☐ Oath not taken

Prepared by:

Address:

Notary Public: Theah SpertonPrint Notary's Name: Theah SpertonCommission Expiration 6/23 2000

Exhibit B-5

CITY OF MIAMI BEACH
Building Department
1700 Convention Ctr Drive, 2nd Floor
Miami Beach, Florida 33139
Inspections: (305) 673-7370 Office: (305) 673-7610

BUILDING-PLUMBING WORK P
08-23-2023

Activity Number: BP980583

Status: FINAL Issued By: BUILRODR

Site Address: 157 COLLINS AV MBCH Applied: 03/12/1998
Parcel #: 42030030300 Approved: 03/13/1998
Completed:
To Expire: 08/16/1999
Valuation: \$2,000.00

Applicant: UNLIMITED SEPTIC TANS,INC. Property Owner: LAWRENCE F Kaine
9957 NW 25 TERRACE
MIAMI FLORIDA 33172 33172
305-447-8110

Description: INSTALL GREASE TRAP 4"
Inspector Area: S

=====

Total of All Fees: \$55.01
Total of Payments: \$55.01
Balance Due: \$0.00

=====

Exhibit C-1

1991 JAN 17 PM 4:14

91R018863

OFF. REC. 1486470 722

BEFORE THE BOARD OF ADJUSTMENT
OF THE CITY OF MIAMI BEACH, FLORIDA

IN RE: The application of
LAWRENCE F. Kaine
125 COLLINS AVENUE
LOTS 12 and SOUTH 1/2 OF LOT 13;
BLOCK 2; OCEAN BEACH SUBDIVISION; PB 2/38

MEETING DATE: NOVEMBER 2, 1990
FILE NO. 2081-B

A M E N D E D O R D E R

The applicant, Lawrence F. Kaine, filed an application with the Director of the Planning and Zoning Department requesting the modification of conditions listed in the previous Final Order associated with the following variances considered by the Board on April 6, 1990:

1. Applicant wishes to waive 247 sq. ft. of the required minimum lot area of 10,000 sq. ft. in order to reconstruct and operate a parking lot as an accessory use to a restaurant which is located at 136 Collins Avenue.
2. Applicant wishes to waive 25 ft. of the minimum required lot width of 100 ft. in order to operate a parking lot as an accessory use to a restaurant at 136 Collins Avenue.
3. Applicant wishes to waive 15 ft. of the minimum required 20 ft. front yard setback in order to restore the parking lot providing a front yard setback of 5 ft.
4. Applicant wishes to waive 6 ft. of the minimum required 7'-6" north and south side yard setbacks in order to locate three (3) lightpoles 1'-6" from the north and south side property lines.

Notice of the request for variance was given as required by law and mailed to owners of property within a distance of 375 feet of the exterior limits of the property on which application was made. The Board finds that the property in question is located in the CPS-1 Zoning District. The Board further finds:

That special conditions and circumstances exist which are peculiar to the land, structure, or building involved and which are not applicable to other lands, structures, or buildings in the same zoning district, to wit:

That the special conditions and circumstances do not result from the action of the applicant;

continued . . .

File No. 2081-B amended (continued)
Lawrence F. Kaine
125 Collins Avenue

That granting the variance requested will not confer on the applicant any special privilege that is denied by this Ordinance to other lands, buildings, or structures in the same zoning district;

That literal interpretation of the provisions of this Ordinance would deprive the applicant of rights commonly enjoyed by other properties in the same zoning district under the terms of this Ordinance and would work unnecessary and undue hardship on the applicant;

That the variance granted is the minimum variance that will make possible the reasonable use of the land, building or structure;

That the granting of the variance will be in harmony with the general intent and purpose of this Ordinance and that such variance will not be injurious to the area involved or otherwise detrimental to the public welfare.

IT IS THEREFORE ORDERED, by the Board, that a variance as requested and set forth above be APPROVED with the following conditions to which the applicant has agreed:

1. Variance requests numbers 1, 2 and 4 as stated above were approved; variance request number 3 was withdrawn.
2. The applicant shall construct a new sidewalk with brick pavers, landscaping, tree grates, irrigation, curb and gutter prior to the issuance of an Occupational License for the parking lots. The plans for these improvements shall be approved by the Planning and Zoning Department and the Public Works Department prior to the issuance of a building permit.
3. The lots associated with File Nos. 2081, 2082 and 2083 shall be combined with the restaurant property located at 136 Collins Avenue through a covenant running with the land to insure that parking is provided for the commercial use of that property. All terms and conditions of this Agreement shall be approved by the City.
4. Construction shall be completed within seven (7) months of the date construction began.
5. If the City or the Redevelopment Agency purchases the parking lots, then the owner of property at 136 Collins Avenue shall reappear before the Board of Adjustment for purposes of mitigating the impact of allowing the operation of a restaurant without adequate parking facilities.

continued . . .

File No. 2081-B amended (continued)
Lawrence F. Kaine
125 Collins Avenue

6. The Board shall retain jurisdiction of this file.
7. If the City or the Redevelopment Agency purchases the restaurant building at 136 Collins Avenue, then the parking lots shall not be used on a commercial basis and may only be used in accordance with the City's Zoning Ordinance.

PROVIDED, the applicant shall take all necessary steps to have a permit issued by the Building Department within a period of six (6) months from the date of the hearing (November 2, 1990), otherwise this Order shall become null and void, unless the issuance of such permit is stayed by an appeal to the appropriate court. This Order does not constitute a permit, but upon presentation of this Order to the Planning and Zoning Department, a permit shall be approved and processed in accordance and pursuant to the ordinances of the City of Miami Beach.

Dated this 17th day of January, 1990.

RECORDED IN OFFICIAL RECORDS BOOK
OF DADE COUNTY, FLORIDA
RECORD VERIFIED
Clerk of Circuit & County
Courts

BOARD OF ADJUSTMENT OF
THE CITY OF MIAMI BEACH,
FLORIDA

BY: Russell Galbut

RUSSELL GALBUT
CHAIRMAN

STATE OF FLORIDA)
) SS
COUNTY OF DADE)

BEFORE ME personally appeared RUSSELL GALBUT to me well known and known to me to be the person described in and who executed the foregoing instrument, and acknowledged to and before me that he executed said instrument for the purpose therein expressed.

WITNESS my hand and official seal, this 17th day of

January A.D. 1990.

Jane L. Melnick
NOTARY PUBLIC
STATE OF FLORIDA

My commission expires NOTARY PUBLIC STATE OF FLORIDA
MY COMMISSION EXP. MAR. 6, 1993
BONDED IN MY GENERAL TRS. UND.

Richard A. Gatti, Public Works Directors
Dean Grandin, Jr., Planning & Zoning Director
Approved As To Form, Legal Department

a:\2081Bamd.ord

Exhibit C-2

1991 JAN 17 PM 4:14

91R018862

OFF.
REC. 1486470 719

1486470 719
JAN 17 1991
MAY 17 1991

**BEFORE THE BOARD OF ADJUSTMENT
OF THE CITY OF MIAMI BEACH, FLORIDA**

IN RE: The application of

FILE NO. 2082-B

MEETING DATE: NOVEMBER 2, 1990

LAWRENCE F. KAINÉ
141 COLLINS AVENUE
LOTS 14; BLOCK 2;
OCEAN BEACH SUBDIVISION; PB 2/38

A M E N D E D O R D E R

The applicant, Lawrence F. Kaine, filed an application with the Director of the Planning and Zoning Department requesting the modification of conditions listed in the previous Final Order associated with the following variances considered by the Board on April 6, 1990:

1. Applicant wishes to waive 3,498 sq. ft. of the required minimum lot area of 10,000 sq. ft. in order to reconstruct and operate a parking lot as an accessory use to a restaurant which is located at 136 Collins Avenue.
2. Applicant wishes to waive 50 ft. of the minimum required lot width of 100 ft. in order to operate a parking lot as an accessory use to a restaurant at 136 Collins Avenue.
3. Applicant wishes to waive 15 ft. of the minimum required 20 ft. front yard setback in order to restore the parking lot providing a front yard setback of 5 ft.
4. Applicant wishes to waive 6 ft. of the minimum required 7'-6" north and south side yard setbacks in order to locate three (3) lightpoles 1'-6" from the north and south side property lines.

Notice of the request for variance was given as required by law and mailed to owners of property within a distance of 375 feet of the exterior limits of the property on which application was made. The Board finds that the property in question is located in the CPS-1 Zoning District. The Board further finds:

That special conditions and circumstances exist which are peculiar to the land, structure, or building involved and which are not applicable to other lands, structures, or buildings in the same zoning district, to wit:

That the special conditions and circumstances do not result from the action of the applicant;

continued . . .

File No. 2082-B amended (continued)
Lawrence F. Kaine
141 Collins Avenue

That granting the variance requested will not confer on the applicant any special privilege that is denied by this Ordinance to other lands, buildings, or structures in the same zoning district;

That literal interpretation of the provisions of this Ordinance would deprive the applicant of rights commonly enjoyed by other properties in the same zoning district under the terms of this Ordinance and would work unnecessary and undue hardship on the applicant;

That the variance granted is the minimum variance that will make possible the reasonable use of the land, building or structure;

That the granting of the variance will be in harmony with the general intent and purpose of this Ordinance and that such variance will not be injurious to the area involved or otherwise detrimental to the public welfare.

IT IS THEREFORE ORDERED, by the Board, that a variance as requested and set forth above be APPROVED with the following conditions to which the applicant has agreed:

1. Variance requests numbers 1, 2 and 4 as stated above were approved; variance request number 3 was withdrawn.
2. The applicant shall construct a new sidewalk with brick pavers, landscaping, tree grates, irrigation, curb and gutter prior to the issuance of an Occupational License for the parking lots. The plans for these improvements shall be approved by the Planning and Zoning Department and the Public Works Department prior to the issuance of a building permit.
3. The lots associated with File Nos. 2081, 2082 and 2083 shall be combined with the restaurant property located at 136 Collins Avenue through a covenant running with the land to insure that parking is provided for the commercial use of that property. All terms and conditions of this Agreement shall be approved by the City.
4. Construction shall be completed within seven (7) months of the date construction began.
5. If the City or the Redevelopment Agency purchases the parking lots, then the owner of property at 136 Collins Avenue shall reappear before the Board of Adjustment for purposes of mitigating the impact of allowing the operation of a restaurant without adequate parking facilities.

continued . . .

OFF: 1486470 721
REC:

File No. 2082-B amended (continued)
Lawrence F. Kaine
141 Collins Avenue

6. The Board shall retain jurisdiction of this file.
7. If the City or the Redevelopment Agency purchases the restaurant building at 136 Collins Avenue, then the parking lots shall not be used on a commercial basis and may only be used in accordance with the City's Zoning Ordinance.

PROVIDED, the applicant shall take all necessary steps to have a permit issued by the Building Department within a period of six (6) months from the date of the hearing (November 2, 1990), otherwise this Order shall become null and void, unless the issuance of such permit is stayed by an appeal to the appropriate court. This Order does not constitute a permit, but upon presentation of this Order to the Planning and Zoning Department, a permit shall be approved and processed in accordance and pursuant to the ordinances of the City of Miami Beach.

Dated this 17th day of January, 1990.

RECORDED IN OFFICIAL RECORDS BOOK
OF DADE COUNTY, FLORIDA.
RECORD VERIFIED
Clerk of Circuit & County
Courts

BOARD OF ADJUSTMENT OF
THE CITY OF MIAMI BEACH,
FLORIDA

BY: 

RUSSELL GALBUT
CHAIRMAN

STATE OF FLORIDA)
) SS
COUNTY OF DADE)

BEFORE ME personally appeared RUSSELL GALBUT to me well known and known to me to be the person described in and who executed the foregoing instrument, and acknowledged to and before me that he executed said instrument for the purpose therein expressed.

WITNESS my hand and official seal, this 17th day of

January

A.D. 1990.


NOTARY PUBLIC

STATE OF FLORIDA

My commission expires NOTARY PUBLIC STATE OF FLORIDA
MY COMMISSION EXP. MAR. 6, 1993
BONDED THRU GENERAL INS. UND.

Richard A. Gatti, Public Works Directors
Dean Grandin, Jr., Planning & Zoning Director
Approved As To Form, Legal Department

a:\2082Bamd.ord

(14)
(15)
(16)

Exhibit C-3

1991 JAN 17 PM 4:14

91R018861

1. LAMAR, J. C. KANE
2. J. C. KANE
3. J. C. KANE
4. J. C. KANE

OFF. REC. 1486470 716

**BEFORE THE BOARD OF ADJUSTMENT
OF THE CITY OF MIAMI BEACH, FLORIDA**

IN RE: The application of **FILE NO. 2083-B**
LAWRENCE F. KANE **MEETING DATE: NOVEMBER 2, 1990**
153 COLLINS AVENUE
NORTH 1/2 OF LOT 15; BLOCK 2;
OCEAN BEACH SUBDIVISION; PB 2/38

A M E N D E D O R D E R

The applicant, Lawrence F. Kaine, filed an application with the Director of the Planning and Zoning Department requesting the modification of conditions listed in the previous Final Order associated with the following variances considered by the Board on April 6, 1990:

1. Applicant wishes to waive 6,749 sq. ft. of the required minimum lot area of 10,000 sq. ft. in order to reconstruct and operate a parking lot as an accessory use to a restaurant which is located at 136 Collins Avenue.
2. Applicant wishes to waive 75 ft. of the minimum required lot width of 100 ft. in order to operate a parking lot as an accessory use to a restaurant at 136 Collins Avenue.
3. Applicant wishes to waive 15 ft. of the minimum required 20 ft. front yard setback in order to restore the parking lot providing a front yard setback of 5 ft.
4. Applicant wishes to waive 6 ft. of the minimum required 7'-6" north and south side yard setbacks in order to locate three (3) lightpoles 1'-6" from the north and south side property lines.

Notice of the request for variance was given as required by law and mailed to owners of property within a distance of 375 feet of the exterior limits of the property on which application was made. The Board finds that the property in question is located in the CPS-1 Zoning District. The Board further finds:

That special conditions and circumstances exist which are peculiar to the land, structure, or building involved and which are not applicable to other lands, structures, or buildings in the same zoning district, to wit:

That the special conditions and circumstances do not result from the action of the applicant;

continued . . .

150

File No. 2083-B amended (continued)
Lawrence F. Kaine
153 Collins Avenue

That granting the variance requested will not confer on the applicant any special privilege that is denied by this Ordinance to other lands, buildings, or structures in the same zoning district;

That literal interpretation of the provisions of this Ordinance would deprive the applicant of rights commonly enjoyed by other properties in the same zoning district under the terms of this Ordinance and would work unnecessary and undue hardship on the applicant;

That the variance granted is the minimum variance that will make possible the reasonable use of the land, building or structure;

That the granting of the variance will be in harmony with the general intent and purpose of this Ordinance and that such variance will not be injurious to the area involved or otherwise detrimental to the public welfare.

IT IS THEREFORE ORDERED, by the Board, that a variance as requested and set forth above be APPROVED with the following conditions to which the applicant has agreed:

1. Variance requests numbers 1, 2 and 4 as stated above were approved; variance request number 3 was withdrawn.
2. The applicant shall construct a new sidewalk with brick pavers, landscaping, tree grates, irrigation, curb and gutter prior to the issuance of an Occupational License for the parking lots. The plans for these improvements shall be approved by the Planning and Zoning Department and the Public Works Department prior to the issuance of a building permit.
3. The lots associated with File Nos. 2081, 2082 and 2083 shall be combined with the restaurant property located at 136 Collins Avenue through a covenant running with the land to insure that parking is provided for the commercial use of that property. All terms and conditions of this Agreement shall be approved by the City.
4. Construction shall be completed within seven (7) months of the date construction began.
5. If the City or the Redevelopment Agency purchases the parking lots, then the owner of property at 136 Collins Avenue shall reappear before the Board of Adjustment for purposes of mitigating the impact of allowing the operation of a restaurant without adequate parking facilities.

continued . . .

OFF. REC. 1486470 718

File No. 2083-B amended (continued)
Lawrence F. Kaine
153 Collins Avenue

6. The Board shall retain jurisdiction of this file.
7. If the City or the Redevelopment Agency purchases the restaurant building at 136 Collins Avenue, then the parking lots shall not be used on a commercial basis and may only be used in accordance with the City's Zoning Ordinance.

PROVIDED, the applicant shall take all necessary steps to have a permit issued by the Building Department within a period of six (6) months from the date of the hearing (November 2, 1990), otherwise this Order shall become null and void, unless the issuance of such permit is stayed by an appeal to the appropriate court. This Order does not constitute a permit, but upon presentation of this Order to the Planning and Zoning Department, a permit shall be approved and processed in accordance and pursuant to the ordinances of the City of Miami Beach.

Dated this 17th day of January, 1990.

RECORDED IN OFFICIAL RECORDS BOOK
OF DADE COUNTY, FLORIDA
RECORD VERIFIED
Clerk of Circuit & County
Courts

BOARD OF ADJUSTMENT OF
THE CITY OF MIAMI BEACH,
FLORIDA

BY: 

RUSSELL GALBUT
CHAIRMAN

STATE OF FLORIDA)
)SS
COUNTY OF DADE)

BEFORE ME personally appeared RUSSELL GALBUT to me well known and known to me to be the person described in and who executed the foregoing instrument, and acknowledged to and before me that he executed said instrument for the purpose therein expressed.

WITNESS my hand and official seal, this 17th day of

January A.D. 1990.


NOTARY PUBLIC
STATE OF FLORIDA

My commission expires NOTARY PUBLIC STATE OF FLORIDA
MY COMMISSION EXP. MAR. 6, 1993
BONDED INTO GENERAL FNS. UND.

Richard A. Gatti, Public Works Directors
Dean Grandin, Jr., Planning & Zoning Director
Approved As To Form, Legal Department

a:\2083Bamd.ord

(14)
(15)
(16)

Exhibit D

1991 JAN 17 PM 4:14

91R018864

OFF.
REC.

1486470 725

LAWRENCE F. KAINE
ATTORNEY AT LAW
305 E. 15th Ave.
MIAMI, FLORIDA 33132

COVENANT RUNNING WITH LAND

WHEREAS, the undersigned is the owner ("Owner") of the following property located in Miami Beach, Dade County, Florida described as follows:

North 1/2 of Lot 15, Block 2, OCEAN BEACH SUBDIVISION, as recorded in Plat Book 2, at Page 38, of the Public Records of Dade County, Florida (the "Property"), and

Lots 12 and South 1/2 of Lot 13, Block 2, OCEAN BEACH SUBDIVISION, as recorded in Plat Book 2, at Page 38, of the Public Records of Dade County, Florida (the "Property"), and

Lot 14, Block 2, OCEAN BEACH SUBDIVISION, as recorded in Plat Book 2, at Page 38, of the Public Records of Dade County, Florida (the "Property"); and

WHEREAS, at the request of the Owner, the City of Miami Beach has, through, its properly constituted Zoning Board of Adjustment, granted unto the Owner certain variances from the City of Miami Beach Zoning Ordinance (the "Variances") to permit the Owner to rehabilitate the Property and construct parking facilities on the Property; and

WHEREAS, the City of Miami Beach has requested and the Owner has agreed to execute and record in the public records of Dade County, Florida, this Covenant Running with the Land as to the Property; and

WHEREAS, the undersigned recognizes and acknowledges that for the public health, welfare, and safety, the Property should not be used by separate owners for non-parking purposes until such time as provided herein.

NOW, THEREFORE, in consideration of the issuance of the Variances and for other good valuable considerations, the undersigned hereby agrees to restrict the use of the Property in the following manner:

1. That the Property shall be considered as one plot and parcel of land and that no portion of said plot and parcel of land shall be sold, transferred, conveyed, devised, assigned or encumbered by mortgage or otherwise, separately, (except in its entirety as one plot or parcel of land) (except for use as parking for a restaurant use at 136 Collins Avenue (the "Restaurant")).

107

2. The undersigned further agrees that this condition, restriction and limitation shall be deemed a covenant running with the land and shall remain in full force and effect and be binding upon the undersigned, its successors and assigns and may only be terminated and canceled by the Owner, its successors or assigns upon (i) the written consent of the City Manager of the City of Miami Beach, and the approval and consent by appropriate action of the City of Miami Beach Board of Adjustment or (ii) all improvements at 136 Collins Avenue (the "Restaurant") being removed or demolished.

The undersigned does hereby fully warrant that it has good title to the Property and that it has full power and authority to execute this Covenant.

IN WITNESS WHEREOF, LAWRENCE F. KAINE, has caused these presence to be executed and signed on this 1 day of DECEMBER, 1990, in Miami Beach, Dade County, Florida.

By: Lawrence F. Kaine
Lawrence F. Kaine

STATE OF FLORIDA:
: SS.
COUNTY OF DADE :

BEFORE ME, the undersigned authority, duly authorized to administer oaths and take acknowledgments, personally appeared, Lawrence F. Kaine, and acknowledged the foregoing in his capacity as same for the purposes herein described on behalf of the corporation, this 1st day of December, 1990.

Notary Public
NOTARY PUBLIC, State of
Florida

My COMMISSION EXPIRES STATE OF FLORIDA
BY COMMISSIONER OF AND IN THE
BONDED WITH GENERAL REG. NO.

a:\kainecon.mis

RECORDED IN OFFICIAL RECORDS BOOK
OF DADE COUNTY, FLORIDA.
RECORD VERIFIED
Clerk of Circuit & County
Court

Exhibit E

B. Parking District No. 2

There shall be no Off-Street Parking requirement for Uses in this Parking District except for those listed below:

1. Apartment Building and Apartment-Hotel - 1½ spaces for each unit regardless of size or number of bedrooms.

The parking requirement may be satisfied by entering into a Development Agreement with the City to provide for said parking through the construction of facilities over City owned properties (air rights) or by providing for Off-Site Parking facilities in accordance with Section 7-3 of this Ordinance.

2. Adult Congregate Living Facility - 1 space for every 2 beds.
3. Offices - 1 space per 400 square feet of Floor Area.
4. Theatres - 1 space per 4 seats.

- C. Zoning Districts exempted from Providing Parking - There shall be no required parking for any Use located in the Dune Overlay District or Waterway Districts 1 & 2.

7-3 OFF-SITE FACILITIES.

- A. All parking spaces required herein shall be located on the same Lot with the Building or Use served, or within a distance not to exceed 1200 feet from such Lot. The distance separation shall be measured by following a straight line from the Lot on which the main permitted Use is located to the Lot where the Parking Lot or garage is located.
- B. Where the required parking spaces are not located on the same Lot with the Building or Use served and used as allowed in paragraph 7-3,A above, a Unity of Title shall be prepared for the purpose of insuring that the required parking is provided. Said Unity of Title shall be executed by owners of the properties concerned, approved as to form by the City Attorney, recorded in the public records of Dade County as a covenant running with the land and shall be filed with the application for a Building Permit.
- C. Temporary Parking Lot facilities shall be pursuant to Section 7-6,H of this Ordinance.

Exhibit F



MIAMI BEACH

Building Department
1700 Convention Center Drive, 2nd Flr
Miami Beach, FL 33139

**NOTICE TO THE CITY OF MIAMI BEACH BUILDING
DEPARTMENT OF EMPLOYMENT AS SPECIAL INSPECTOR
UNDER THE FLORIDA BUILDING CODE**

I have been retained by: OWNERS to perform special inspector services under the Florida Building Code at the 157 COLLINS AVE project on the below listed structures as of 6-2-14 (date). I am a professional engineer licensed in the State of Florida.

Process Number: B1405045 Master Permit (IF APPLICABLE): _____

- ☐ Special Inspector for Pilings, FBC 1822.1.20
- ☐ Special Inspector for Lightweight Insulating Concrete, FBC 1917.2
- ☐ Special Inspector for Soil Compaction, FBC 1820.3.1
- ☐ Special Inspector for Precast Units and Attachments, FBC 1927.12.2 (By P.E. or R.A..)
- ☐ Special Inspector for Reinforced Masonry, FBC 2122.4 (By P.E. or R.A.)
- ☐ Special inspection for Steel Bolted & Welded Connections, FBC 2218.2 (By P.E. or R.A..)
- ☐ Special Inspector for Trusses over 35 feet long or 6 feet high, FBC 2319.17.2.4.2 (By P.E. or R. A..)
- ☒ Special Inspector for Concrete Repair

NOTE: Only the marked boxes apply.

The following individual's employed by this firm or me are authorized representatives to perform inspections

- | | |
|---------------------------|----------|
| 1. <u>DANIEL GONZALEZ</u> | 2. _____ |
| 3. <u>LUIS MONTERO</u> | 4. _____ |

* Special inspectors utilizing authorized representatives shall insure the authorized representative is qualified by education or licensure to perform the duties assigned by the Special Inspector. The qualifications shall include: licensure as a professional engineer or architect; graduation from an engineering education program in civil or structural engineering; graduation from an architectural education program; successful completion of the NCEES Fundamentals Examination; or registration as a building inspector or general contractor.

I will notify the City of Miami Beach Building Department of any changes regarding authorized personnel performing inspection services.

I, understand that all mandatory inspections, as required by the Florida Building Code, shall be requested by the permit holder and approved by the Building Department Inspectors. Inspections performed by the Special Inspector hired by the Owner are in addition to the mandatory inspections performed by the Building Department. A Special Inspection Log for each building must be displayed in a convenient location on the site for inspection by the Building Department Inspectors. Further, upon completion of the work under each building permit, I will submit to the Building Department at the time of final inspection the completed Inspection Log form and sealed statement that, to the best of my knowledge, belief and professional judgment those portions outlined above meet the intent of the Florida Building Code and are in subsequent accordance with the approved plans.

Signed and Sealed
038398
License Number

Architect/Engineer Signature:
Architect/Engineer
Name Printed:

Address:

Phone Number:

Owner/Agent Signature: ☒

Owner/Agent Name Printed: ☒

Building Department

Accepted By:

EDWARD A. LAWLOR, P.E.

7850 NW 146th St. #509, Miami Lakes, FL 33016

305-823-3838

Anthony Ortiz

AV 7/10/14

Date: 6-2-14



MIAMI BEACH

Building Department
1700 Convention Center Drive, 2nd Flr
Miami Beach, Fl 33139

**NOTICE TO THE CITY OF MIAMI BEACH BUILDING
DEPARTMENT OF EMPLOYMENT AS SPECIAL INSPECTOR
UNDER THE FLORIDA BUILDING CODE**

I have been retained by: OWNER to perform special inspector services under the Florida Building Code at the 157 COLLINS AVE project on the below listed structures as of 7-18-14 (date). I am a professional engineer licensed in the State of Florida.

Process Number: B140 5045 Master Permit (IF APPLICABLE): _____

- ☐ Special Inspector for Pilings, FBC 1822.1.20
- ☐ Special Inspector for Lightweight Insulating Concrete, FBC 1917.2
- ☐ Special Inspector for Soil Compaction, FBC 1820.3.1
- ☐ Special Inspector for Precast Units and Attachments, FBC 1927.12.2 (By P.E. or R.A..)
- ☐ Special Inspector for Reinforced Masonry, FBC 2122.4 (By P.E. or R.A.)
- ☐ Special inspection for Steel Bolted & Welded Connections, FBC 2218.2 (By P.E. or R.A..)
- ☐ Special Inspector for Trusses over 35 feet long or 6 feet high, FBC 2319.17.2.4.2 (By P.E. or R. A..)
- ☒ Special Inspector for SCAFFOLDING FOR WALK PLATFORM

NOTE: Only the marked boxes apply.

The following individual's employed by this firm or me are authorized representatives to perform inspections

- | | |
|---------------------------|----------|
| 1. <u>LUIS MONTE</u> | 2. _____ |
| 3. <u>DANIEL GONZALEZ</u> | 4. _____ |

* Special inspectors utilizing authorized representatives shall insure the authorized representative is qualified by education or licensure to perform the duties assigned by the Special Inspector. The qualifications shall include: licensure as a professional engineer or architect; graduation from an engineering education program in civil or structural engineering; graduation from an architectural education program; successful completion of the NCEES Fundamentals Examination; or registration as a building inspector or general contractor.

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Signed and Sealed
038398
License Number

Architect/Engineer Signature:

Architect/Engineer

Name Printed:

Address:

Phone Number:

Owner/Agent Signature:

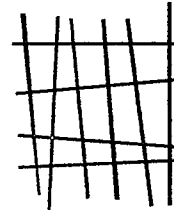
Owner/Agent Name Printed:

Building Department

Accepted By:

EDWARD A. LAWLESS P.E.
7850 NW 146th ST, #509, MIAMI GARDENS, FL 33016
305-823-3938

Date: 7-18-14



**Edward A.
LANDERS, P.E.**
CONSULTING ENGINEERS

June 2, 2014

City of Miami Beach
Building and Zoning Department
1700 Convention Center Drive
Miami Beach, Florida

Attn: Building Official

Re: Structural Report on Concrete Repairs

Project: Big Pink Building
157 Collins Avenue
Miami Beach, Florida

Dear Sir;

We inspected the current condition of the existing second floor exterior walls to include, columns, tie beams and lintels at the above referenced project. The investigation of repairs was limited to the exterior elements of the building structure at this time. The existing concrete structural elements exhibit spalled and deteriorated concrete at window lintels, jambs and sills, as well as tie beams and tie columns of the building. The concrete surfaces require removal of all spalled and deteriorated concrete, the cleaning and coating of rebar, crack repair and the application of hand applied repair materials.

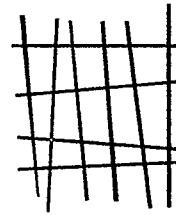
We recommend, therefore, that the following repair procedure be implemented to repair the existing second floor concrete walls and cracks on all designated surfaces, to prevent further deterioration. All repairs shall be made in accordance with approved methods and procedures and per the manufacturers' material recommendations

Work under this permit application will not reduce the structural strength of the building or any member thereof.

The Structure has less than Substantial Structural Damage.

CONCRETE REPAIR RECOMMENDATIONS

The following is our recommended repair procedure for all spalled concrete areas as well as cracks in concrete surfaces. The specific areas include the concrete spalling at second floor window openings, to include lintels, jambs, sills, tie beams and tie columns, or any additional observed conditions. We recommend concrete repair for the structural elements and submit the following procedure described as follows:



**Edward A.
LANDERS, P.E.**
CONSULTING ENGINEERS

1. Remove all loose and deteriorated concrete with a light-chipping hammer in all areas that exhibit concrete cracks and spalling.
2. Randomly test areas with a hammer to determine any additional areas for removal. Do not remove any sound concrete from around rebar.
3. Tie-up and secure any sagging re-bar and support as required. Do not remove any existing re-bar without prior authorization.
4. Replace deteriorated re-bar only as required by the Engineer.
5. Wire brush all exposed re-bar to remove all loose scale, concrete and rust.
6. All cleaned re-bar should be coated with a rust inhibitor as soon as possible after cleaning. The following are acceptable coatings:
 - a. Sika Armatek 110 EpoCem, by Sika Chemical Co.
 - b. Zinc Rich Epoxy Primer, B-6270, by Delta Labs
 - c. Corr-bond Euclid Chemical Co.
 - d. Sonnoborn "Sonoprep"
 - e. Approved Equals.
7. The patching material should be a cement-based product designed specifically as a patching material. The following are recommended products that must be mixed, applied, etc., in accordance with the manufacturer's recommendations;
(Coastal Construction Products, 305-757-2121)
 - a. Thorite, by Thoro Products,
 - b. Euco Verticoat, by Euclid Chemical,
 - c. Sonnoborn "Gelpatch"
 - d. Sikacrete 211, by Sika Chemical.
 - e. Sika Top 122 Plus, by Sika Chemical.
8. Apply patching to all prepared surfaces either by hand or sprayed finished sufficiently to match the adjacent concrete surfaces. Concrete may be used to repair the undersides of the main beams. All work to be performed by a qualified application contractor in accordance with approved procedures and recommendations.
9. All cracks should be "V'd" out to sound and secure material. The crack must be filled with a Sonneborn NP1 primer and polysulfide sealant per the Manufacturers recommendations. The wall surface may then be applied with stucco and painted.

Please call if we can provide any additional information or assistance.

Very truly yours,


Edward A. Landers, P.E.

Design Elements of Pedestrian Scaffold

① Design Loading.

Design Loads:

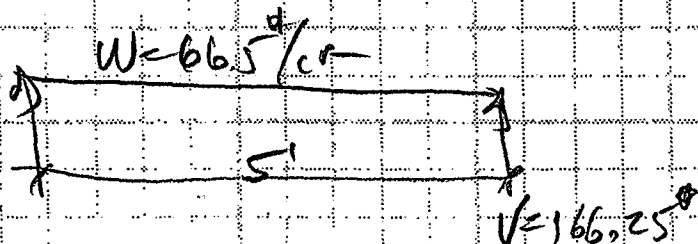
LL = 40 PSF

DL = 10 PSF

TOTAL = 50 PSF

Trab = 1.33 SF/CR

W = 50 x 1.33 = 66.5 pcf



$$M = \frac{66.5(5)^2}{8} = 2493.7 \text{ ft-lb}$$

$$S_{reqd} = \frac{2493.7}{12000} = 2.07 \text{ in}^3$$

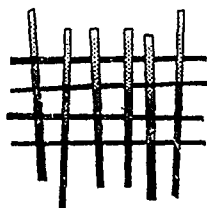
$$S_{2x4} = \frac{1.5(3.5)^2}{6} = 3.06 \text{ in}^3 > 2.07 \text{ in}^3$$

(OK)

Check Deflection: $\Delta_{max} = \frac{1}{180} = \frac{5(12)}{180} = 0.33$

$$\Delta_{actual} = \frac{5(66.5)(5)^4}{384(1.6 \times 10^6)(5.96)} = 0.11 \text{ in} < 0.33 \text{ in}$$

(OK)



Edward A.
LANDERS, P.E.
CONSULTING ENGINEERS

P.E. #038398

7-18-14
(305)823-3938

BIG PINK BLDG
157 COUNTRY AVE

Area

7-17-14

1

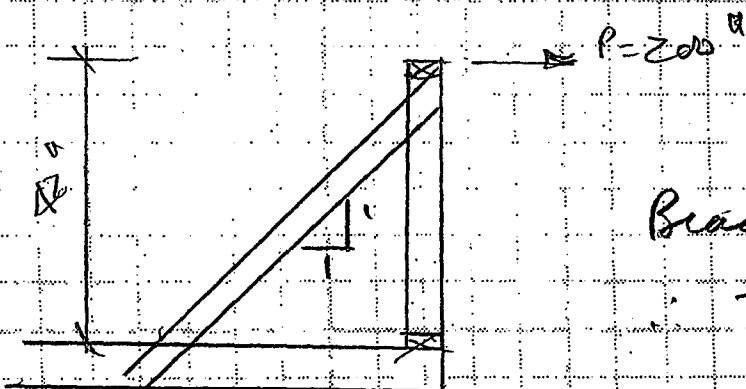
Check Shear: $V = 166.25^{\#}$

$$f_v = \frac{3}{2} \frac{(166.25)}{1.5(3.5)} = 47.5 \text{ psi} < 90 \text{ psi} \text{ (OK)}$$

Deck
Joists

USE: 2x4's @ 16" OC
w/ 3/4" Ply wood

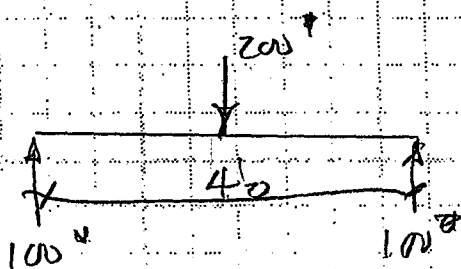
(2) check Temporary Wall @ perimeter



Reaction force = 200# @ top

Brace @ 4'0" OC

200



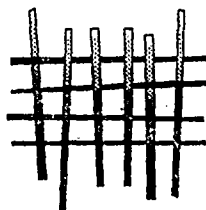
Max Moment in top Rail

$$= 100(2.0)(12) = 2400^{\#}$$

$$S_{req'd} = \frac{2400}{1200} = 2.0 \text{ in}^3$$

$$S_{2x4} = \frac{1.5(3.5)^2}{6} = 3.06 \text{ in}^3 > 2.0 \text{ in}^3 \text{ OK}$$

USE: 2x4 For Top Rail



Edward A.
LANDERS, P.E.
CONSULTING ENGINEERS

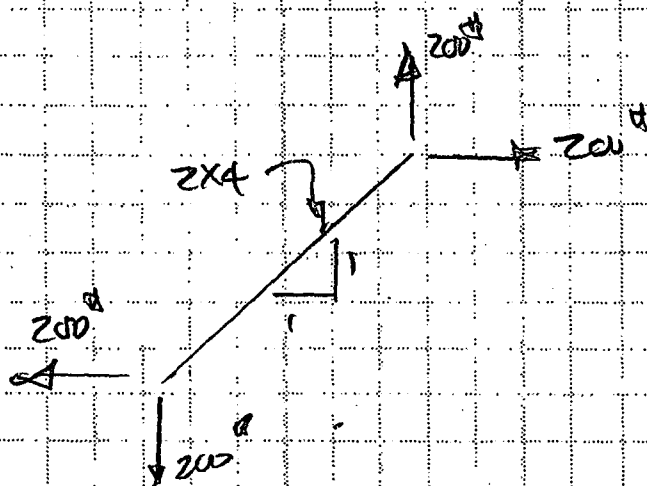
P.E. #038398

(305)823-3938

CALCF

7-17-14

2



$$\text{LOAD ON } 2 \times 4 = \\ (200^2 + 200^2)^{1/2} = 282.8^{\#}$$

connectors for 4-10d nails
capacity shear = 75[#]/NAIL

$$\therefore \text{TRY } 4-10d \text{ NAILS} \\ = 4 \times 75 = 300^{\#} > 282.8^{\#} \text{ (OK)}$$

BRACE USE: 4-10d NAILS
2x4 @ 48" OC

(3) Check Beam OF SCAFFOLD POST.

$$\text{TRIB AREA} = 7.0 \times 5 = 35 \text{ SF.}$$

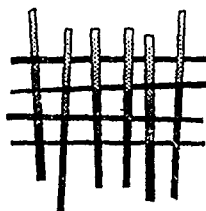
$$\text{DESIGN LOAD} = 50 \text{ PSF}$$

$$\text{TOTAL LOAD} = 50 \times 35 = 1750^{\#} / \text{POST}$$

$$\text{Beam Capacity} = 2000 \text{ PSF.} > 1750^{\#} / \text{POST (OK)}$$

LEG
SUPPORT
PAD.

USE: 2" x 12" x 12" WOOD BEG PAD
UNDER EACH LEG



Edward A.
LANDERS, P.E.
CONSULTING ENGINEERS

P.E. #038398

(305)823-3938

CALC.

7-17-04

3

B1405045



NOTICE: In addition to the requirement of this permit there may be additional restrictions applicable to this property that may be found in the Public Records of this County and there may be additional permits required from other government entities such as water management districts, state agencies, or federal agencies. The City of Miami Beach assumes no responsibility to compliance with results from these plans, which are approved subject to compliance with all Federal, State and Local Laws, Rules, and Regulations.

FRONT

BUILDING: _____
ZONING: S-711/14
PLUMBING: _____
MECHANICAL: _____
FIRE PREVENTION: _____
FLOOD: 7/21/14
PUBLIC WORKS: 7/21/14
STRUCTURAL: 7/21/14
ELEVATOR: _____

C-1

SHEET NUMBER

BIG PINK BUILDING
157 COLLINS AVE
MIAMI BEACH, FLORIDA



AREA OF WORK



LOCATION PLAN
N.T.S.

INDEX

COVER SHEET

C-1 LOCATION PLAN

ARCHITECTURAL

A-1 GROUND FLOOR PLAN

SECOND FLOOR PLAN

SK-1 SCAFFOLD FIRST FLOOR

EGRESS PLAN.

SK-2 SCAFFOLD FRAMING PLAN

STRUCTURAL

S-0 NOTES

S-1 ELEVATIONS

S-2 DETAILS

S-3 DETAILS NOTES

SCOPE OF WORK

ALTERATION LEVEL II

1. CONCRETE REPAIR, CRACKS, AND CONCRETE SPALLING
2. NO ELECTRICAL
3. NO MECHANICAL
4. NO PLUMBING

City of Miami Beach
Fire Prevention Division
PLANS APPROVED



Edward A.
LANDERS, P.E.
CONSULTING ENGINEERS
7550 NW 146TH STREET, SUITE 509 MIAMI LAKES FL 33016
Tel. (305) 823-3938
Fax (305) 823-9355

CONCRETE REPAIR

PERMIT
SET

DWG INFO:

1413474

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WRITTEN CONSENT. CONTRACTORS SHALL
VERIFY ALL DIMENSIONS AND SHALL NOT
RELY ON SCALED DIMENSIONS. NOTIFY THE
ENGINEER OF ANY DISCREPANCIES PRIOR TO
COMMENCING WORK.

APPROVED BY

DATE

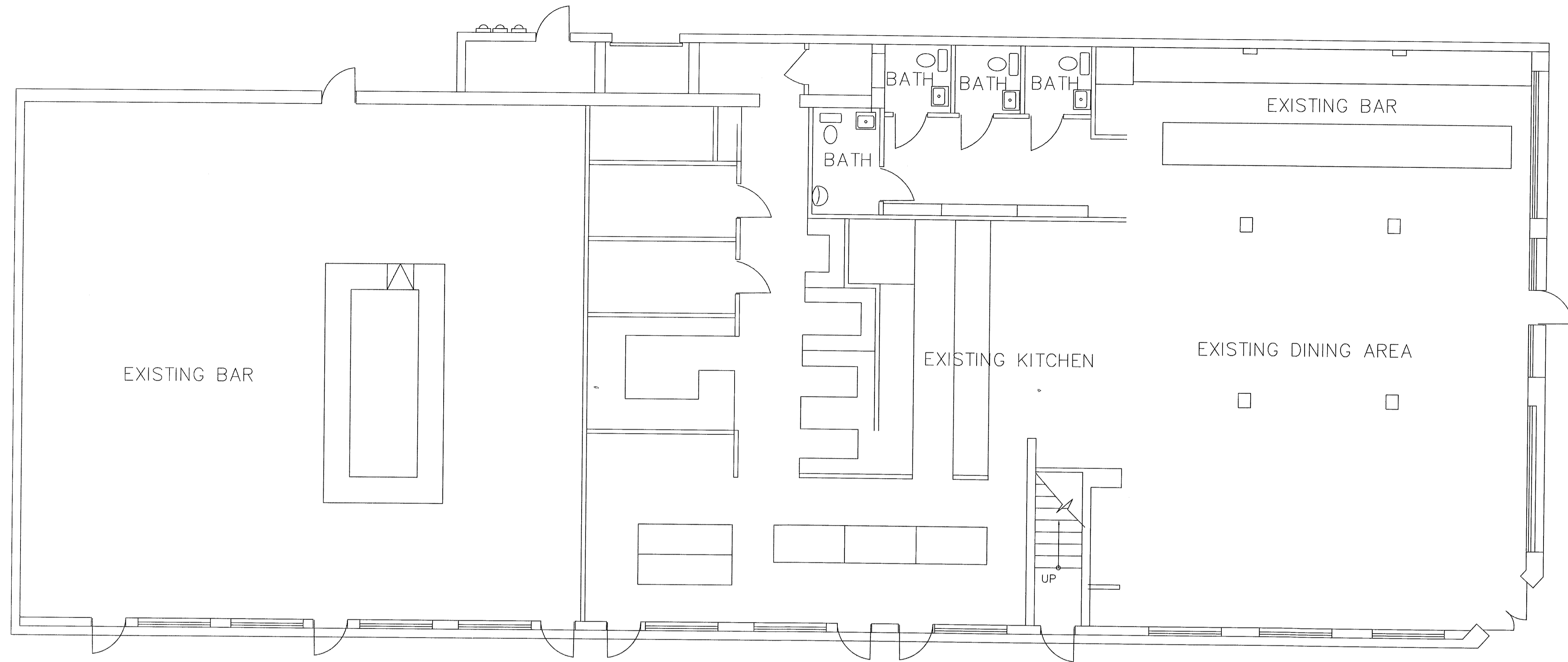
BIG PINK BUILDING

157 COLLINS AVE
MIAMI BEACH, FLORIDA 33139

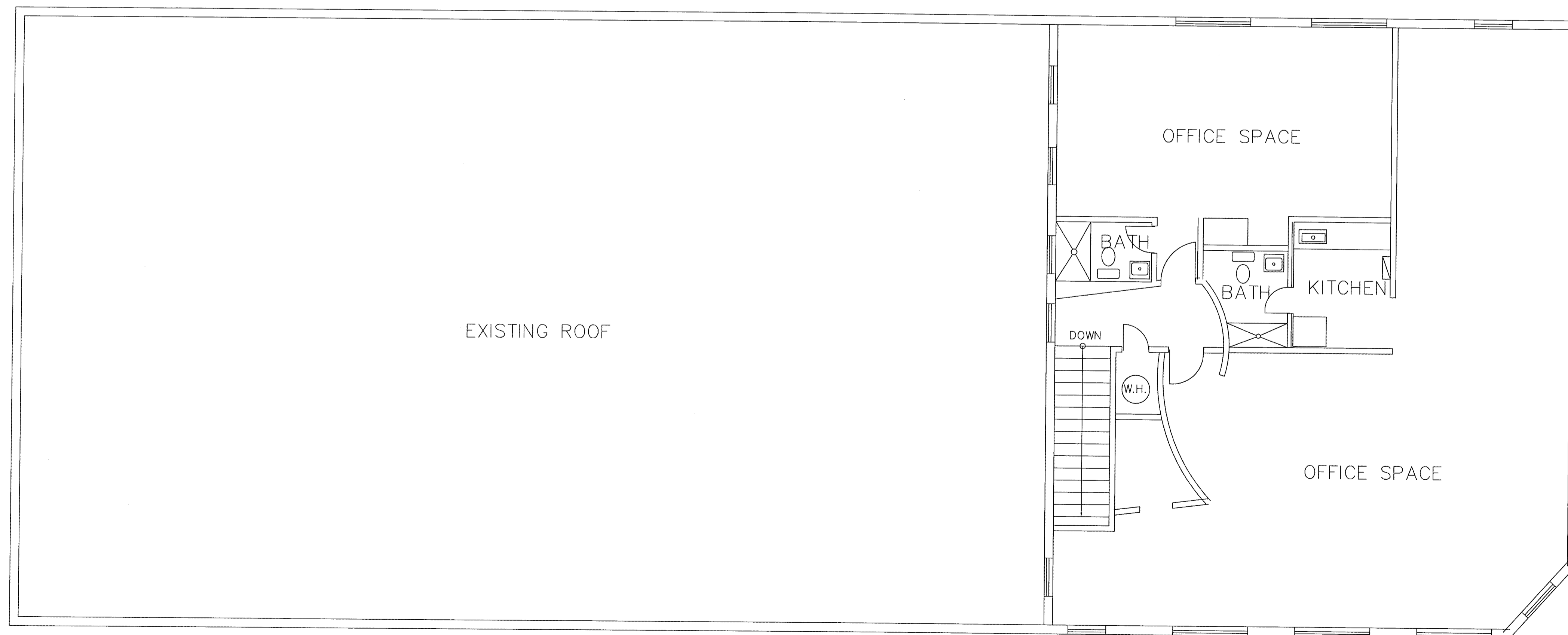
TO:

C-1

SHEET NUMBER



FIRST FLOOR PLAN (FOR REFERENCE ONLY)
 SCALE: 3/4" = 1' - 0"



SECOND FLOOR PLAN (FOR REFERENCE ONLY)
 SCALE: 3/16" = 1' - 0"

City of Miami Beach
 Fire Prevention Division
 PLANS APPROVED



Ed Landers
 7/18/17

Edward A. LANDERS, P.E.
 CONSULTING ENGINEERS
 7800 NW 140TH STREET, SUITE 509 MIAMI LAKES, FL 33016
 Tel: (305) 823-3938
 Fax: (305) 823-9355

CONCRETE REPAIR

PERMIT SET

DWG INFO:
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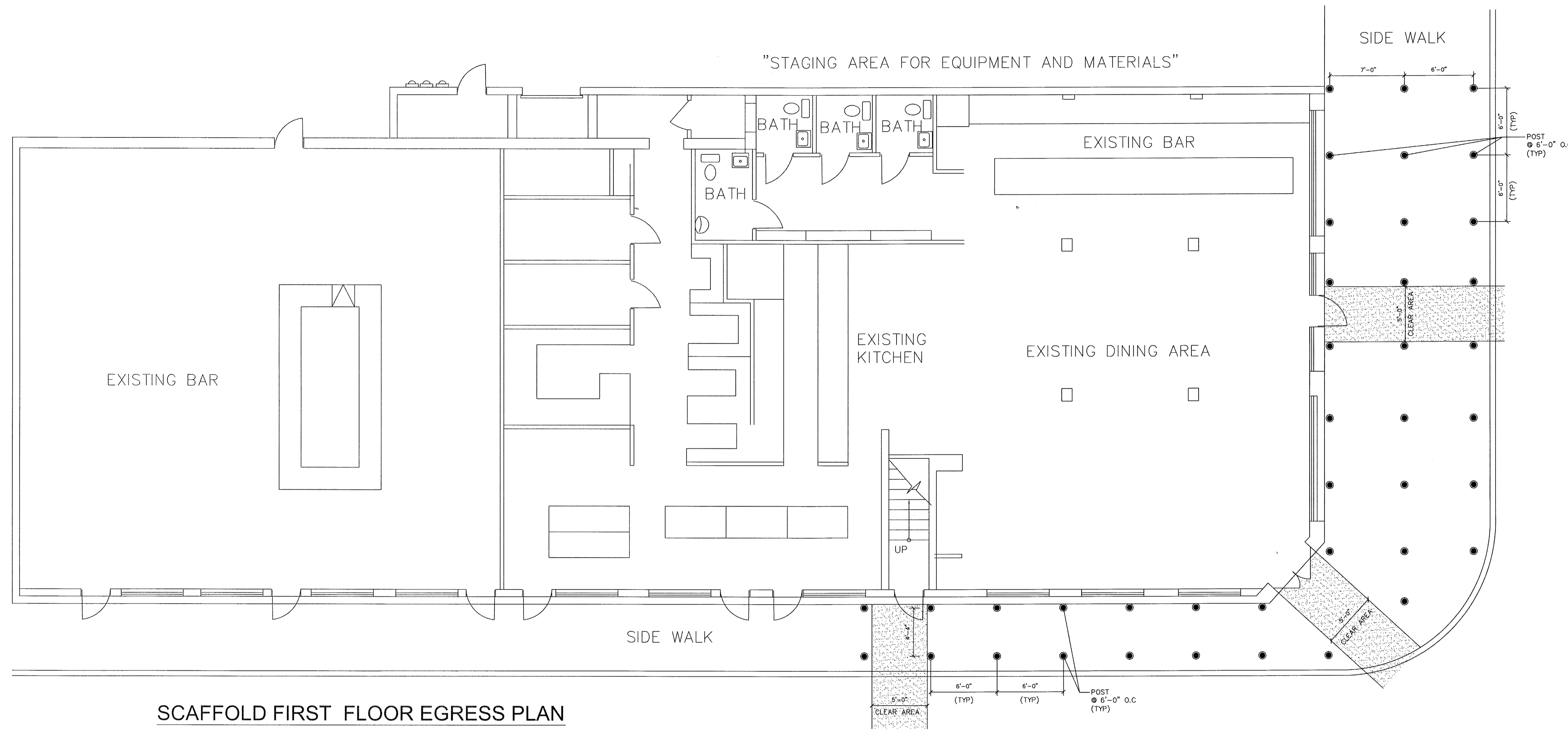
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APPROVED BY	DATE

BIG PINK BUILDING

157 COLLINS AVE
 MIAMI BEACH, FLORIDA 33139

A-1
 SHEET NUMBER



SCAFFOLD FIRST FLOOR EGRESS PLAN
SCALE: 3/4" = 1' - 0"

City of Miami Beach
Fire Prevention Division
PLANS APPROVED



Ed Paul
7-18-19

WORK SCAFFOLD PLAN
FOR PEDESTRIANS PROTECTION

PERMIT
SET

DWG INFO:
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ENGINEER OF ANY DISCREPANCIES PRIOR TO
COMMENCING WORK.

APPROVED BY	DATE

TO:
BIG PINK BUILDING
157 COLLINS AVE
MIAMI BEACH, FLORIDA 33139

SK-1
SHEET NUMBER

WORK SCAFFOLD PLAN
FOR PEDESTRIANS PROTECTION

PERMIT
SET

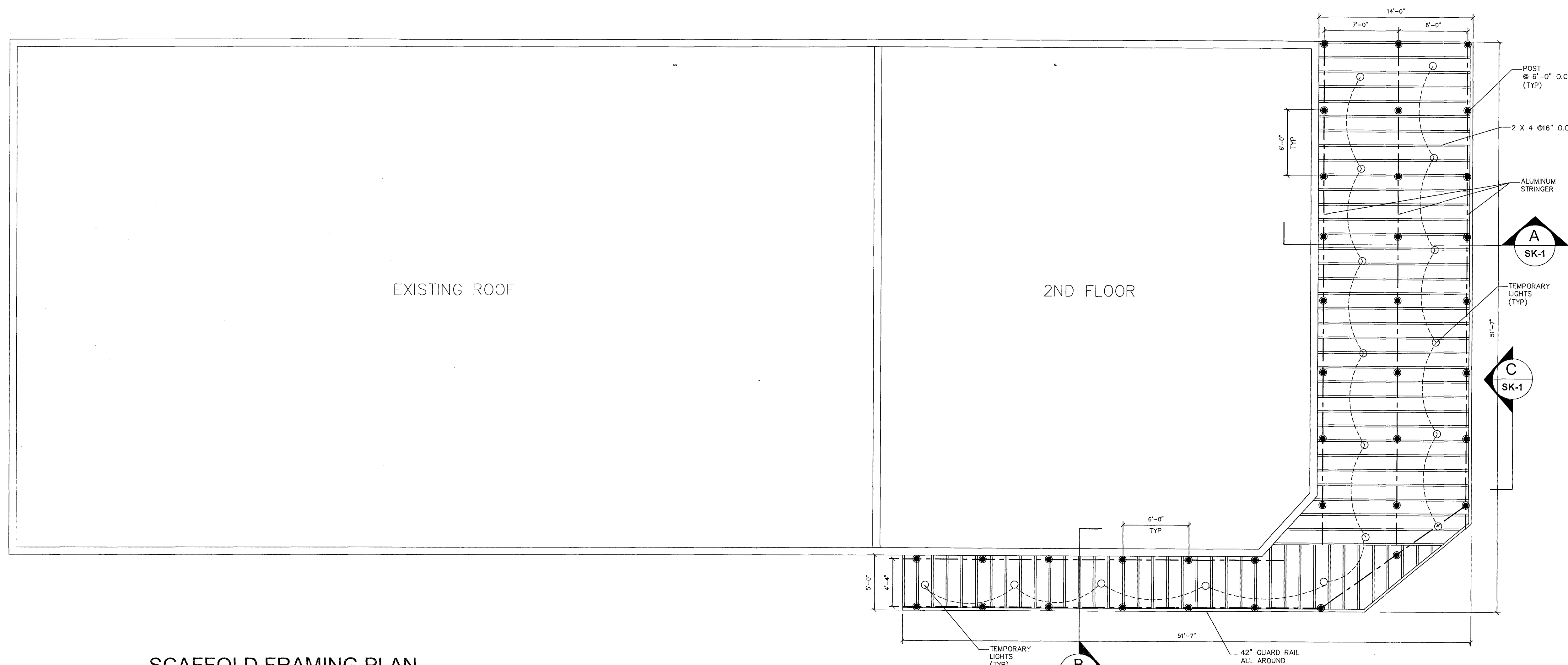
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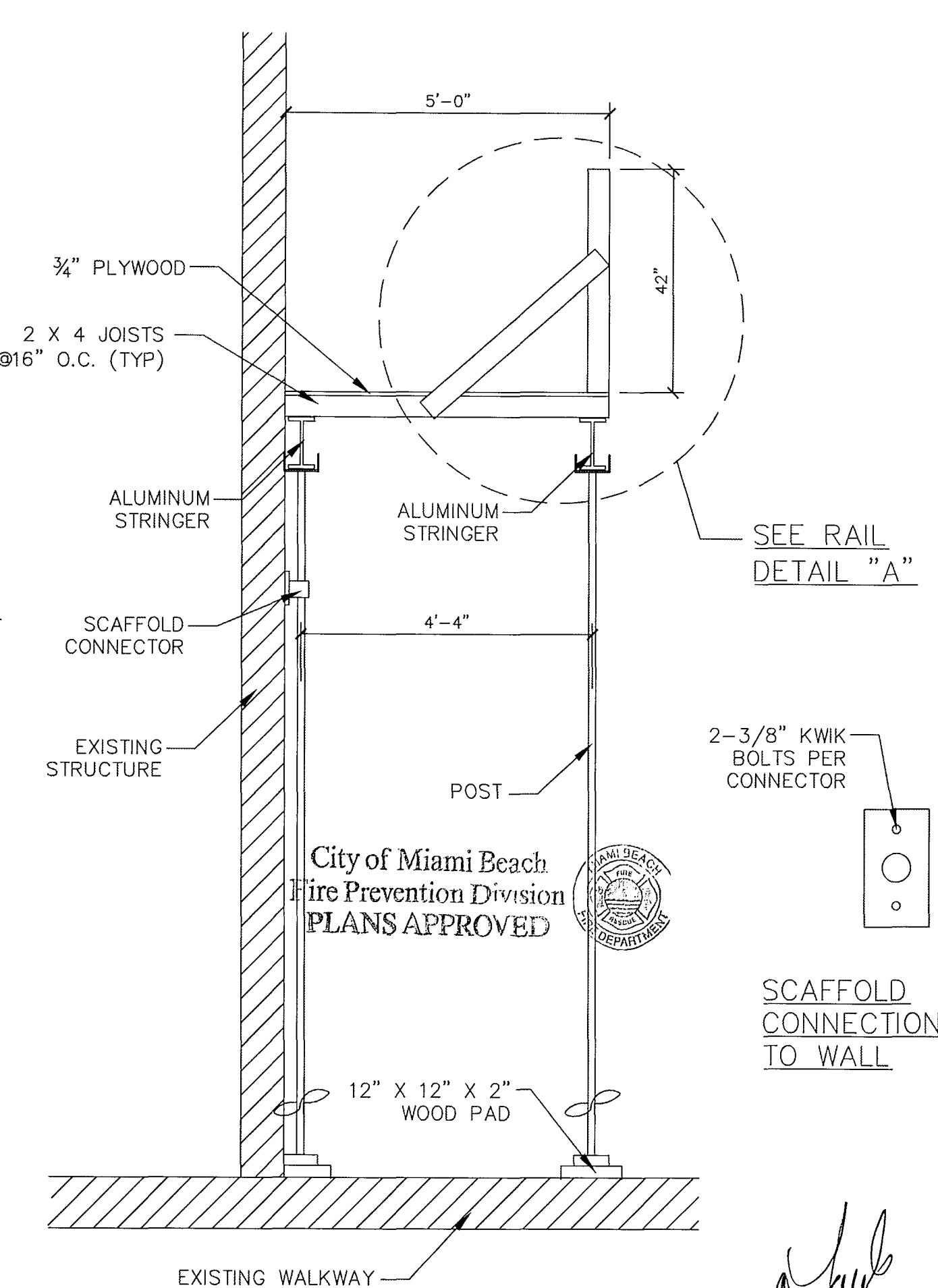
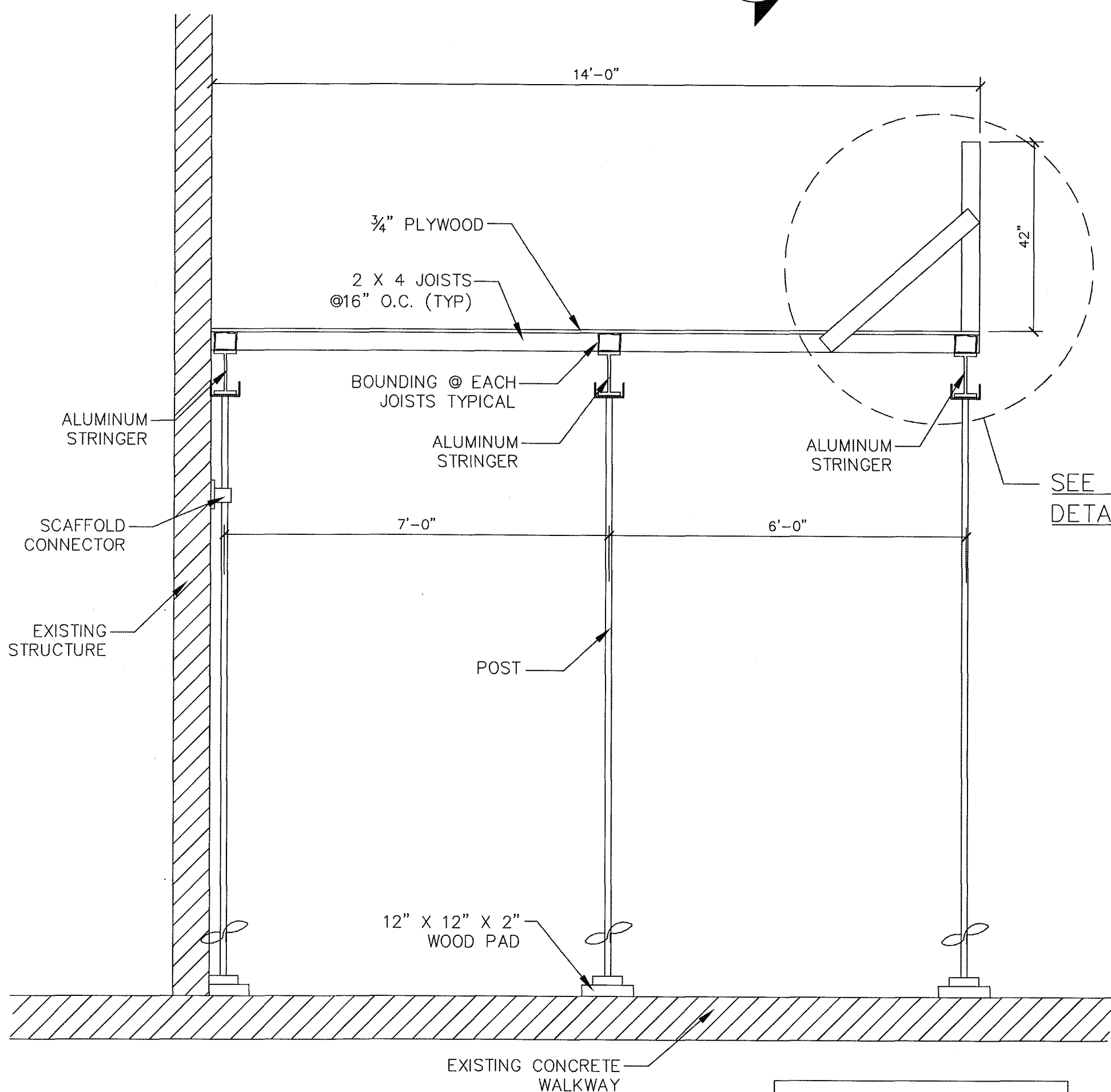
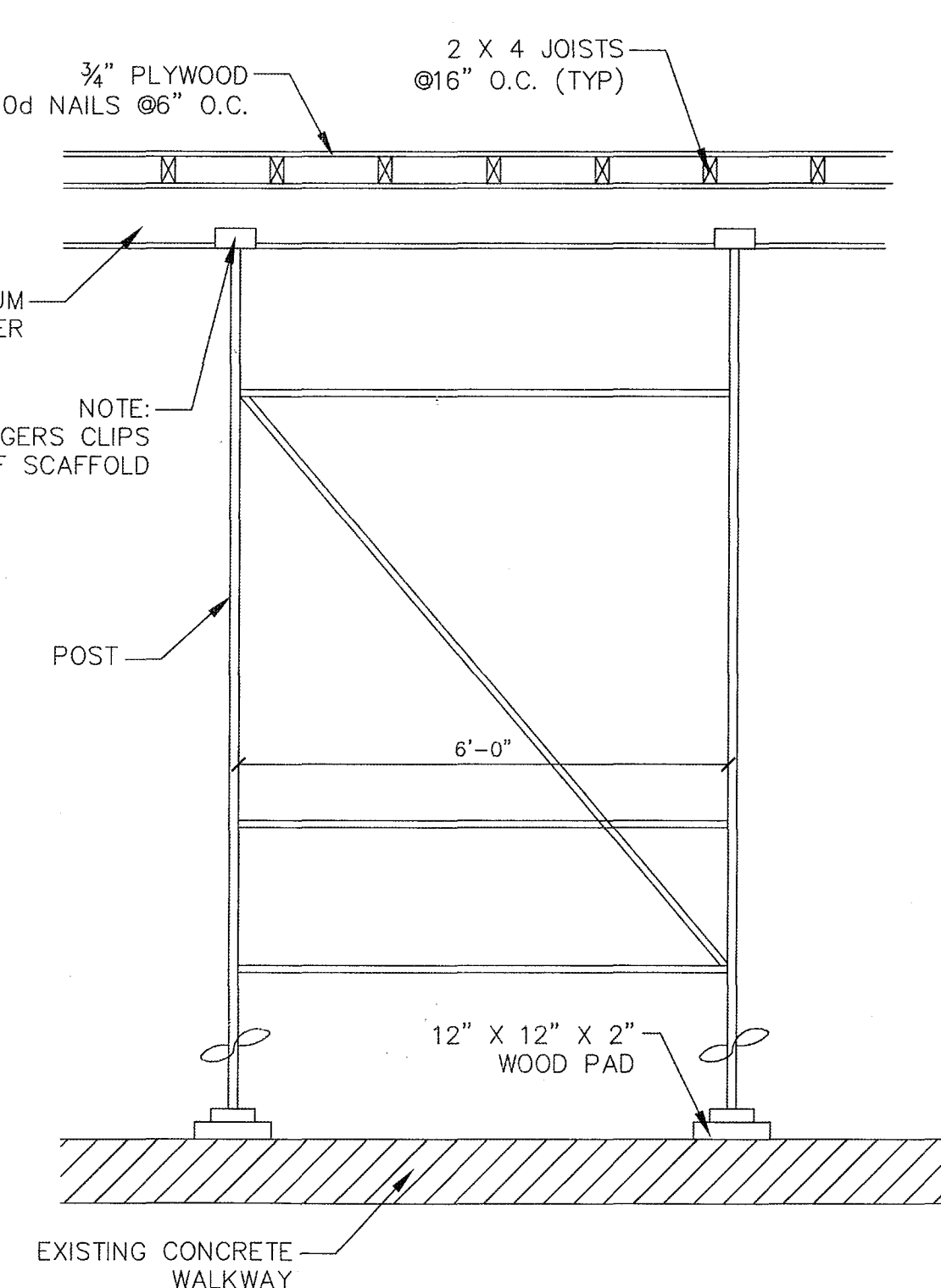
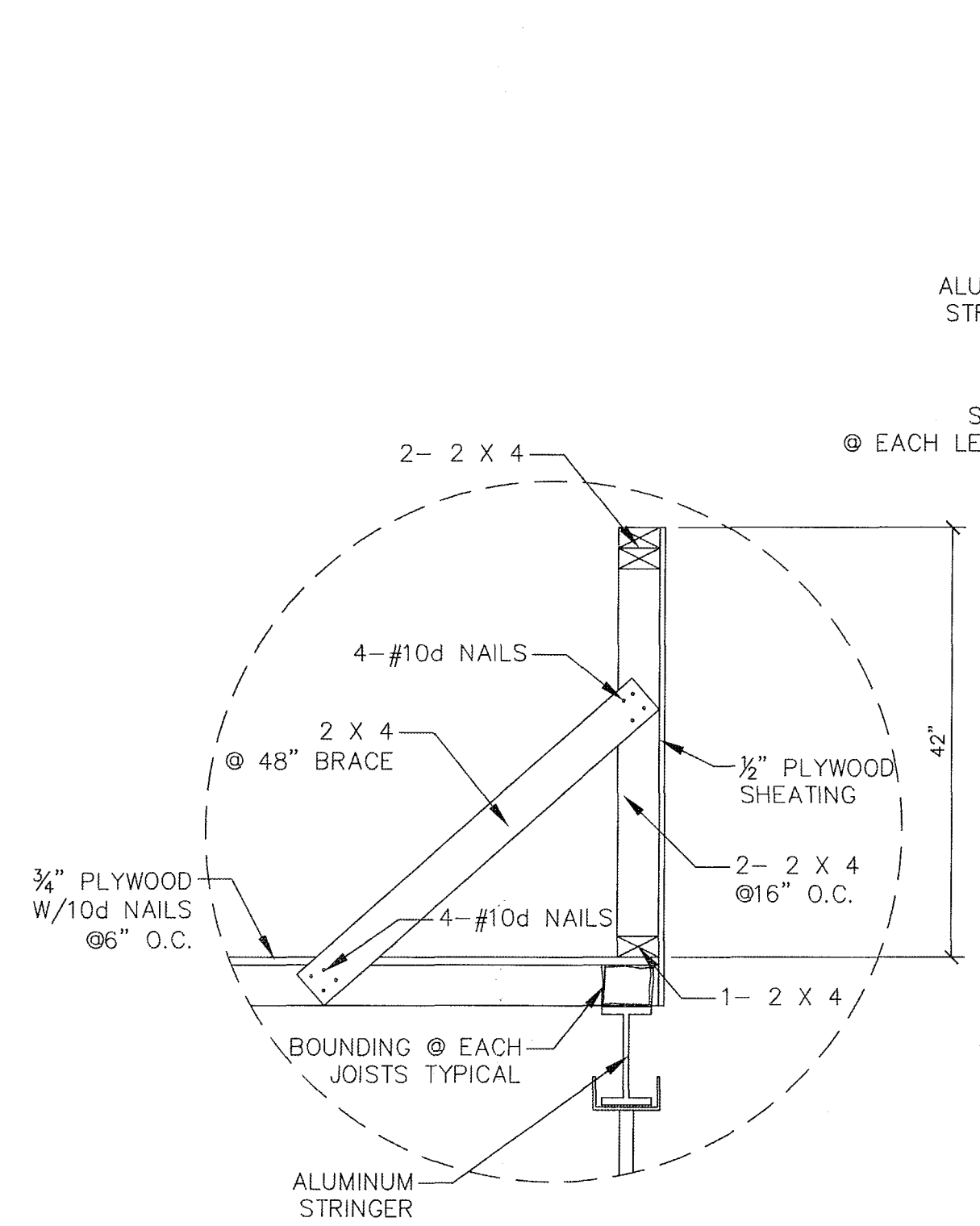
APPROVED BY	DATE

TO:
BIG PINK BUILDING
157 COLLINS AVE
MIAMI BEACH, FLORIDA 33139

SK-2
SHEET NUMBER



SCAFFOLD FRAMING PLAN
SCALE: 3/16" = 1' - 0"



NOTE:
SCAFFOLD MGF
BY SAFEWAY OR EQUAL

City of Miami Beach
Fire Prevention Division
PLANS APPROVED

SCAFFOLD
CONNECTION
TO WALL

GENERAL:

1. THE DRAWINGS ARE INTENDED TO SHOW THE GENERAL ARRANGEMENT, DESIGN AND EXTENT OF THE WORK AND ARE PARTIALLY DIAGRAMMATIC. THEY ARE NOT INTENDED TO BE SCALED FOR ROUGH-IN MEASUREMENTS, OR TO SERVE AS SHOP DRAWINGS OR PORTIONS THEREOF.
2. ALL DETAILS AND SECTIONS SHOWN ON THE DRAWINGS ARE INTENDED TO BE TYPICAL AND SHALL BE CONSTRUED TO APPLY TO ANY SIMILAR SITUATION ELSEWHERE ON THE PROJECT, EXCEPT WHERE A DIFFERENT DETAIL OR SECTION IS SHOWN.
3. PRIOR TO START OF CONSTRUCTION, THE CONTRACTOR AND ALL THE SUBCONTRACTORS SHALL VERIFY ALL GRADES, LINES, LEVELS, DIMENSIONS AND COORDINATE EXISTING CONDITIONS AT THE JOB SITE WITH THE PLANS AND SPECIFICATIONS. THEY SHALL REPORT ANY INCONSISTENCIES OR ERRORS IN THE ABOVE TO THE ARCHITECT/ENGINEER BEFORE COMMENCING WORK. THE CONTRACTOR AND HIS SUBCONTRACTORS SHALL LAY OUT THEIR WORK FROM ESTABLISHED REFERENCE POINTS AND BE RESPONSIBLE FOR ALL LINES, ELEVATIONS AND MEASUREMENTS IN CONNECTION WITH THEIR WORK.
4. IF ANY ERRORS OR OMISSIONS APPEAR IN THE DRAWINGS, GENERAL NOTES OR OTHER DOCUMENTS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING OF SUCH OMISSION OR ERROR PRIOR TO PROCEEDING WITH ANY WORK WHICH APPEARS IN QUESTION. IN THE EVENT OF THE CONTRACTOR'S FAILING TO GIVE SUCH AN ADVANCED NOTICE, HE SHALL BE HELD RESPONSIBLE FOR THE RESULTS OF ANY SUCH ERRORS OR OMISSIONS AND THE COST OF RECTIFYING THE SAME.
5. THE CONTRACTOR SHALL USE THE STRUCTURAL DRAWINGS AND SPECIFICATIONS TOGETHER WITH THE ARCHITECTURAL, MECHANICAL, ELECTRICAL AND OTHER TRADE DRAWINGS AND SHOP DRAWINGS, TO LOCATE DEPRESSED SLABS, SLOPES, DRAINS, OUTLETS, RECESSES, OPENINGS, BOLT SETTING, SLEEVES, DIMENSIONS, ETC. NOTIFY ARCHITECT/ENGINEER, IN WRITING, OF ANY POTENTIAL CONFLICTS BEFORE PROCEEDING WITH THE WORK.

SHOP DRAWINGS & DELEGATED ENING:

1. ALL SHOP DRAWINGS SHALL BE SUBMITTED FOR ENGINEER'S REVIEW ONLY AFTER THEY HAVE BEEN THOROUGHLY REVIEWED BY THE CONTRACTOR FOR CONSTRUCTION METHODS, DIMENSIONS AND OTHER TRADE REQUIREMENTS, AND STAMPED WITH THE CONTRACTOR'S APPROVAL STAMP. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR DIMENSIONS, QUANTITIES, ENGINEERING DESIGN BY DELEGATED ENGINEERS, ERRORS OR OMISSIONS AS A RESULT OF REVIEWING ANY SHOP DRAWINGS. ANY ERRORS OR OMISSIONS MUST BE MADE GOOD BY THE CONTRACTOR, IRRESPECTIVE OF RECEIPT, CHECKING OR REVIEW OF DRAWINGS BY THE ENGINEER AND EVEN THOUGH WORK IS DONE IN ACCORDANCE WITH SUCH DRAWINGS.
2. BEFORE STRUCTURAL INSPECTIONS CAN BE MADE ON A PORTION OF THE STRUCTURE, ALL RELATED SHOP DRAWINGS, DELEGATED ENGINEERING, PRODUCT APPROVAL, MANUFACTURER'S DATA AND OTHER RELATED INFORMATION, MUST BE REVIEWED AND ACCEPTED BY THE ENGINEER-OF-RECORD AND APPROVED BY THE BUILDING DEPARTMENT.
3. ALL SHOP DRAWINGS SHALL CONTAIN THE MINIMUM INFORMATION, OUTLINED IN THE FLORIDA BUILDING CODE
4. ALL DELEGATED ENGINEER'S SHOP DRAWINGS SHALL COMPLY WITH ALL THE REQUIREMENTS OF THE FLORIDA BUILDING CODE
SHOP DRAWINGS SHALL CONTAIN ALL INFORMATION SHOWN ON THE STRUCTURAL PLANS (RELATED TO THE DELEGATED DESIGN) INCLUDING ALL DESIGN LOADS, IN ADDITION TO THE INFORMATION REQUIRED BY THE DELEGATED ENGINEER'S DESIGN.
5. THE ENGINEER OF RECORD SHALL REVIEW ALL SHOP DRAWINGS, PREPARED AND SIGNED AND SEALED BY THE CONTRACTOR'S DELEGATED ENGINEER, ONLY FOR GENERAL COMPLIANCE WITH THE DESIGN INTENT, REQUIRED LOADING AND COORDINATION WITH THE STRUCTURE DESIGNED BY THE ENGINEER OF RECORD.
6. CONTRACTOR SHALL SUBMIT TO THE ENGINEER OF RECORD, ONLY ONE SET OF SEPIA AND ONE SET OF BLUE PRINTS OF THE STRUCTURAL SHOP DRAWINGS FOR ENGINEER'S REVIEW, BEFORE STARTING FABRICATION. THE ENGINEER WILL RETURN THE MARKED-UP AND STAMPED SEPIA TO THE ARCHITECT. THESE SEPIA COPIES SHALL BE USED TO MAKE PRINTS AS REQUIRED FOR HE SHOP DRAWING DISTRIBUTION. SETS OF BLUE PRINTS (WITHOUT SEPIA) WILL NOT BE ACCEPTED.

CONSTRUCTION MEANS AND METHODS:

1. THE CONTRACTOR IS RESPONSIBLE AND SHALL COMPLY WITH THE SAFETY REQUIREMENTS OF THE FLORIDA BUILDING CODE AND ALL LOCAL, STATE AND FEDERAL LAWS.
2. PROVIDE ALL SHORING, BRACING AND SHEETING AS REQUIRED FOR SAFETY, STRUCTURAL STABILITY AND FOR THE PROPER EXECUTION OF THE WORK. REMOVE WHEN WORK IS COMPLETED.
3. PROVIDE AND MAINTAIN GUARD LIGHTS AT ALL BARRICADES, RAILINGS, OBSTRUCTIONS IN THE STREETS, ROADS OR SIDEWALKS AND ALL TRENCHES OR PITS ADJACENT TO PUBLIC WALKS OR ROADS.
4. AT ALL TIMES, PROVIDE PROTECTION AGAINST WEATHER (RAIN, WIND, STORMS OR THE SUN), SO AS TO MAINTAIN ALL WORK, MATERIALS, APPARATUS AND FIXTURES FREE FROM INJURY OR DAMAGE.
5. AT THE END OF THE DAYS WORK, COVER ALL WORK LIKELY TO BE DAMAGED. ANY WORK DAMAGED BY FAILURE TO PROVIDE PROTECTION SHALL BE REMOVED AND REPLACED WITH NEW WORK AT THE CONTRACTOR'S EXPENSE.
6. THE CONTRACTOR SHALL PAY FOR ALL DAMAGES TO ADJACENT PROPERTY

GENERAL STRUCTURAL NOTES

(Florida Building Code 2010 Edition)

STRUCTURAL OBSERVATIONS:

1. THE ENGINEER-OF-RECORD SUBMIT A STATEMENT, AT THE COMPLETION OF THE CONSTRUCTION WORK, REGARDING THE COMPLIANCE OF THE WORK WITH THE APPROVED PERMIT PLANS (F.B.C.
2. IN THE EVENT THAT THE ENGINEER OF RECORD WERE NOT RETAINED TO PERFORM STRUCTURAL OBSERVATIONS, THE OWNER AND THE CONTRACTOR MUST NOTIFY THE BUILDING DEPARTMENT AND OBTAIN AN APPROVAL OF THE ENGINEER ENGAGED TO PERFORM THE INSPECTIONS, BEFORE START OF ANY STRUCTURAL WORK.
3. IT IS UNDERSTOOD THAT THE ENGINEER WILL NOT BE HELD RESPONSIBLE AND LIABLE FOR ANY OF THE CONTRACTOR'S WORK WHICH WAS NOT PROPERLY OBSERVED BY THE ENGINEER-OF-RECORD (OR HIS REPRESENTATIVE) OR FOR ANY WORK, APPROVED BY THE INSPECTING ENGINEER (OTHER THAN THE ENGINEER-OF-RECORD) WHICH MODIFIES OR CHANGES THE STRUCTURAL PERMIT RECORD DOCUMENTS.

STRUCTURAL DESIGN CRITERIA:

1. THE DESIGN COMPLIES WITH THE REQUIREMENTS OF THE FLORIDA BUILDING CODE - (2010 EDITION) AND OTHER REFERENCED CODES AND SPECIFICATIONS. ALL CODES AND SPECIFICATIONS SHALL BE LATEST EDITION AT TIME OF PERMIT.

2. WIND LOAD CRITERIA: GCPI = ±0.18

BASED ON ANSI/ASCE 7-10 BASIC WIND VELOCITY 175 MPH, OCCUPANCY CATEGORY II (AT HURRICANE OCEANLINE), EXPOSURE "D".

3. ROOF DESIGN LOADS: (SUPERIMPOSED)
DEAD LOADS: 25 PSF
LIVE LOADS: 30 PSF
4. FLOOR DESIGN LOADS: (SUPERIMPOSED)
DEAD LOADS: 25 PSF
LIVE LOADS: 40 PSF

CONCRETE AND REINFORCING:

1. CONCRETE DESIGN AND REINFORCEMENT IN ACCORDANCE WITH "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE" AND WITH "DETAILS AND DETAILING OF CONCRETE REINFORCEMENT"
2. ALL CONCRETE WORK IN ACCORDANCE WITH "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDING" PRODUCTION OF CONCRETE, DELIVERY, PLACING AND CURING TO BE IN ACCORDANCE WITH "HOT WEATHER CONCRETING"
3. ALL CONCRETE TO BE REGULAR WEIGHT WITH A DESIGN STRENGTH OF 5,000 P.S.I. AT 28 DAYS. MAXIMUM SLUMP 4".
4. ALL REINFORCING TO BE NEW BILLET STEEL CONFORMING TO THE LATEST A.S.T.M. A-615 GRADE 60, FABRICATED IN ACCORDANCE WITH C.R.S.I. MANUAL OF STANDARD PRACTICE AND PLACED IN ACCORDANCE WITH LAP SPLICE PER A.C.I. 318-02 SEC. 12.2.3,30.5" MIN
5. CONCRETE COVER UNLESS OTHERWISE DETAILED ON DRAWINGS:
GRADE BEAMS: (BOTTOM) 3"
(TOP & SIDES) 2"
EXTERIOR SLABS ON GRADE: (BOTTOM) 2"
(TOP) 1-1/2"
COLUMNS AND BEAMS: (TO THE TIES) 1-1/2"
6. COLUMN REINFORCEMENT: DOWELS TO BE SAME SIZE AND NUMBER AS VERTICAL REBARS ABOVE.
PROVIDE RIGID TEMPLATES FOR DOWEL LOCATION. PROVIDE STANDARD HOOKS AT TOP OF ALL VERTICAL REINFORCEMENT AT NONCONTINUOUS COLUMNS (U.O.N.). SEE ATTACHED TABLE FOR SPLICE LENGTH
LAP SPLICES FOR BEAMS AND COLUMNS PER ACI 318-08 CHAPTER #12
7. ALL DOWELS FOR COLUMNS SHALL BE SECURED IN POSITION PRIOR TO CONCRETING. PUSHING THE DOWELS INTO POSITION IN WET CONCRETE IS NOT PERMITTED.
8. BEAM REINFORCEMENT: (SEE BEAM DIAGRAM ON PLAN). BOTTOM BARS SPLICED ONLY AT SUPPORTS, TOP BARS SPLICED ONLY AT MID-SPAN. ALL TOP BARS HOOKED AT NONCONTINUOUS EDGES (U.O.N.). ALL HOOKS TO BE STANDARD 90 DEGREE HOOKS AS REQUIRED (U.O.N.). SEE ATTACHED TABLE FOR SPLICE LENGTH
9. ADDED REINFORCEMENT: PROVIDE ADDITIONAL CORNER BARS BENT 36 INCHES MINIMUM EACH WAY AT "L" AND "T" CORNERS IN OUTER FACES OF ALL BEAMS TO MATCH ALL HORIZONTAL BAR (TOP, BOTTOM AND INTERMEDIATE REBARS).
10. SEE PLAN FOR MINIMUM SIZE CONCRETE TIE BEAM REQUIREMENTS.
11. TIE BEAM & GRADE BEAM SHALL HAVE CORNER BARS W/30"BENDS

SOIL STATEMENT

THE NATURE AND CHARACTER OF THE SOIL CONDITION BENEATH THE STRUCTURAL FOOTING HAS BEEN OBSERVED TO HAVE UNDISTURBED SAND AND ROCK PRESUMED TO HAVE AN ALLOWABLE BEARING CAPACITY OF 2,000 PSF AT THE TIME OF CONSTRUCTION, A FLORIDA REGISTERED ENGINEER SHALL PROVIDE A SIGN AND SEALED WRITTEN REPORT VERIFYING ACTUAL SOIL BEARING VALUES. STATING THAT THE SOIL BEARING ARE AS ASSUMED.

TERMITE PROTECTION COMPLIANCE

GENERAL CONTRACTOR TO PROVIDE A CERTIFICATE OF COMPLIANCE BY LICENSED PEST CONTROL COMPANY THAT CONTAINS THE FOLLOWING STATEMENT AS PER FBC 2010 SECTION 1816.1.7

"THE BUILDING HAS RECEIVED A COMPLETE TREATMENT FOR THE PREVENTION OF SUBTERRANEAN TERMITE TREATMENT IS IN ACCORDANCE WITH RULES AND LAWS ESTABLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES"

City of Miami Beach
Fire Prevention Division
PLANS APPROVED



Edward A. Landers
10/24/14

Edward A.
LANDERS, P.E.
CONSULTING ENGINEERS
7000 NW 140TH STREET, SUITE 200 MIAMI LAKES, FL 33016
Tel. (305) 823-3938
Fax (305) 823-9355

CONCRETE REPAIR

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SET

DWG INFO:

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APPROVED BY	DATE

BIG PINK BUILDING

157 COLLINS AVE
MIAMI BEACH, FLORIDA 33139

S-0

SHEET NUMBER

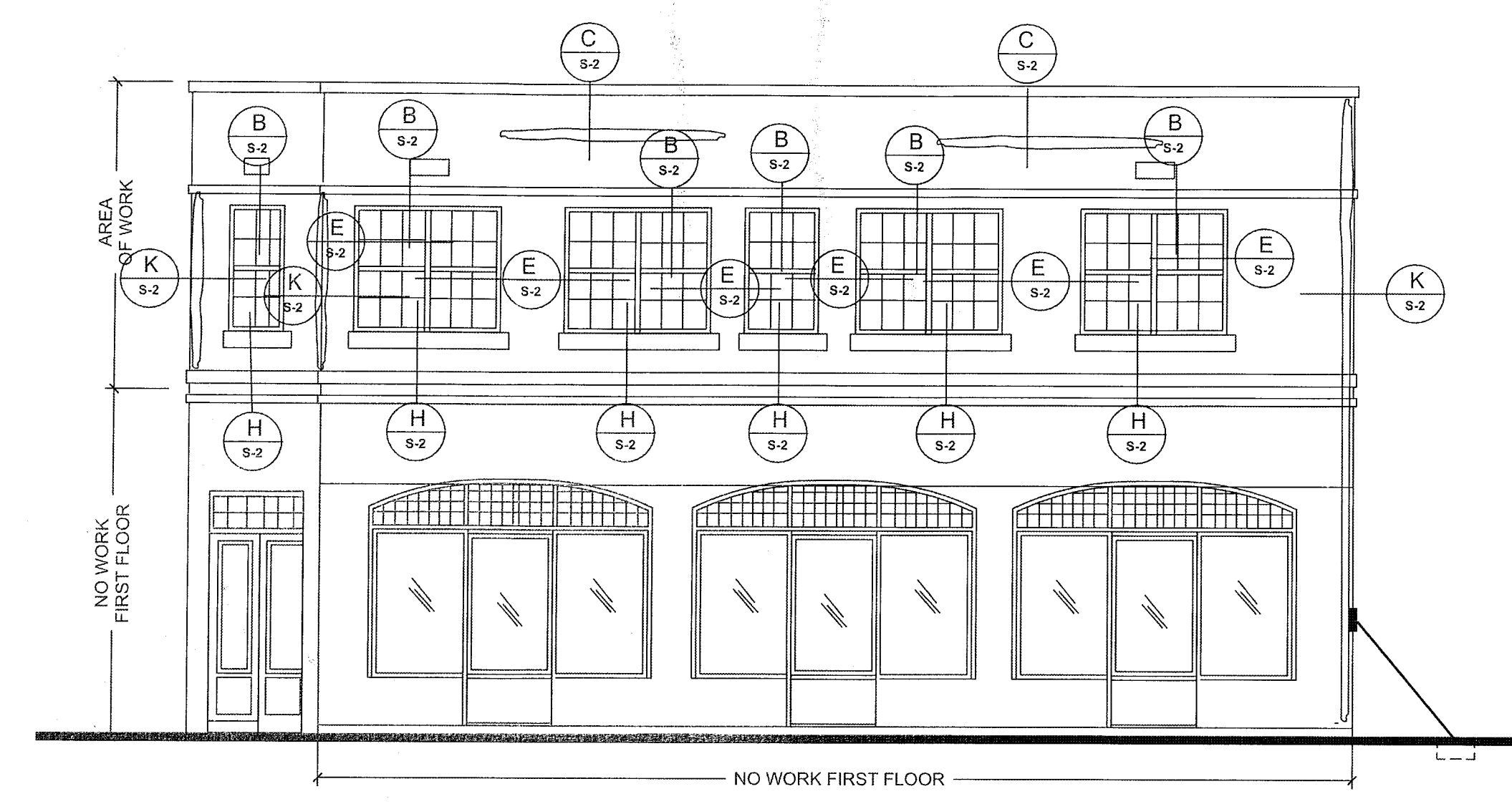
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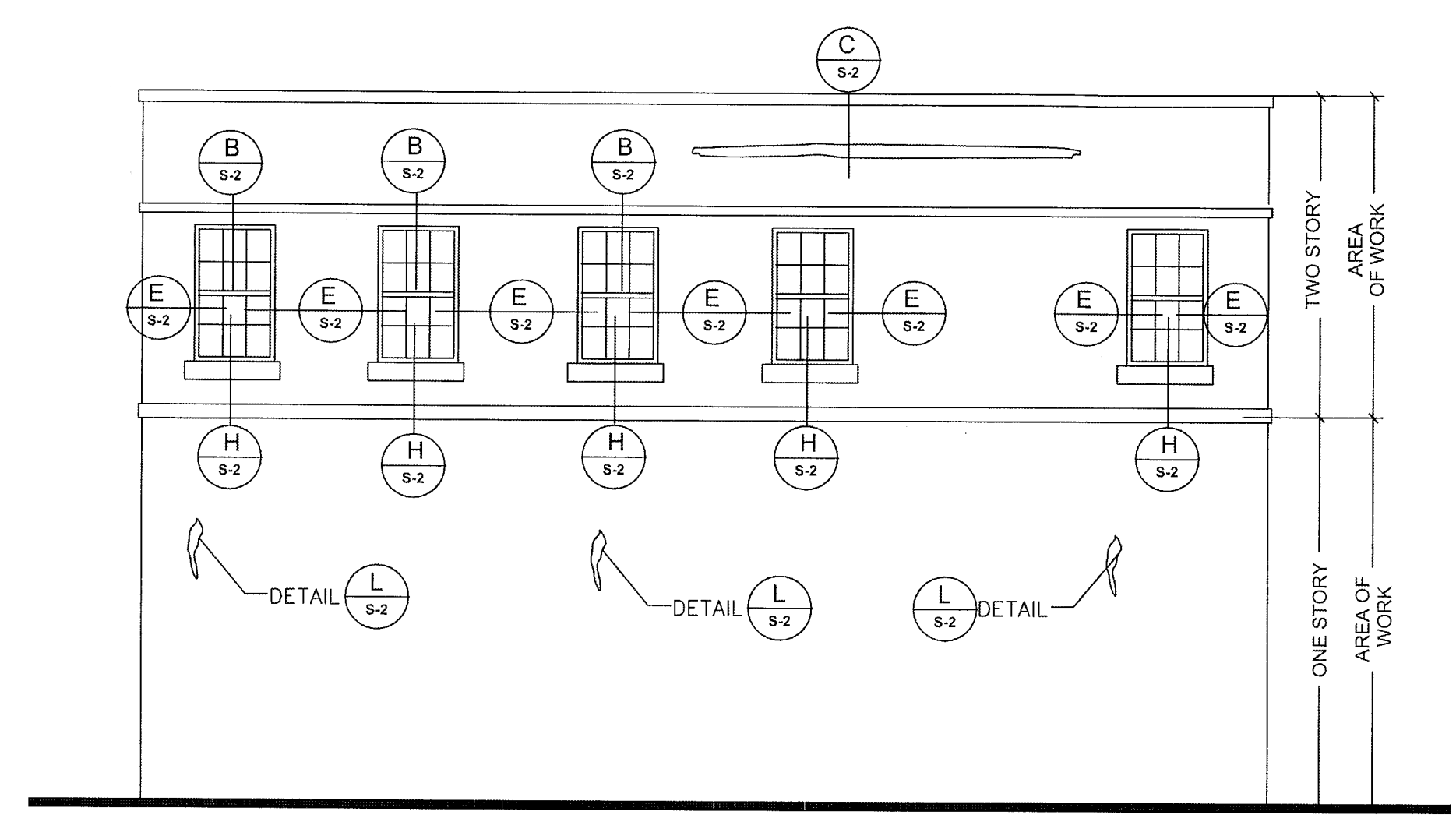
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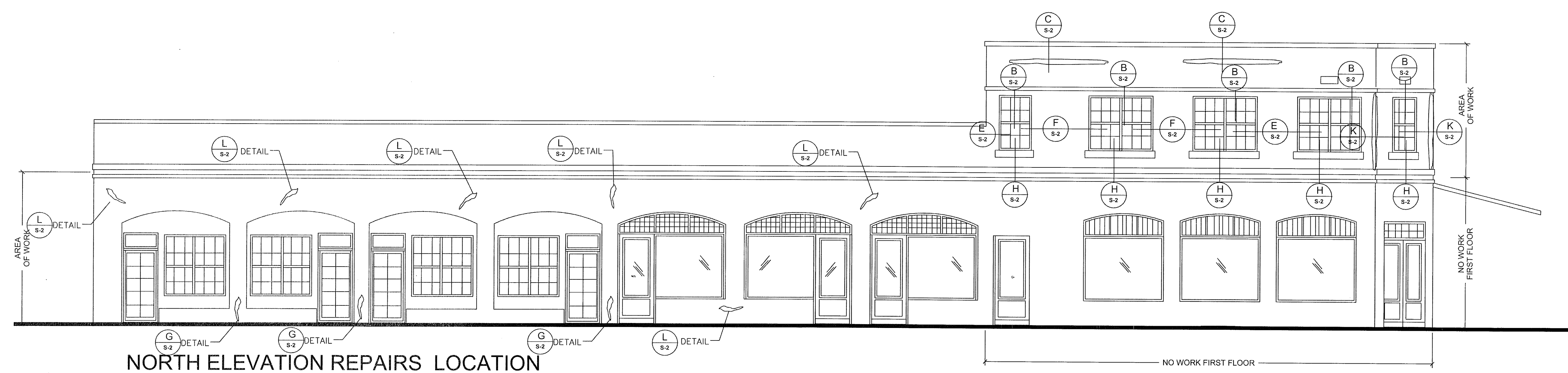
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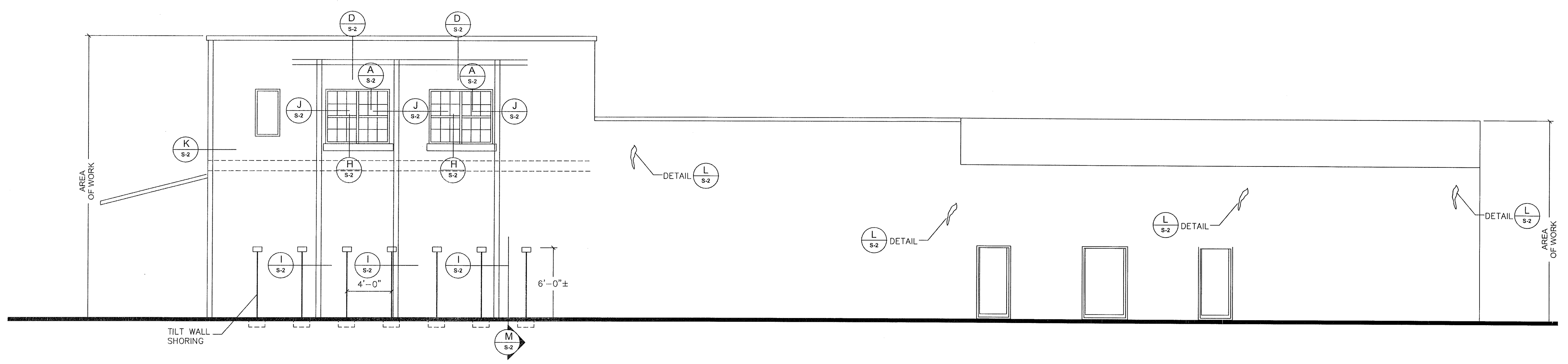
WEST ELEVATION REPAIRS LOCATION
SCALE: 3/16" = 1' - 0"



EAST ELEVATION REPAIRS LOCATION
SCALE: 3/16" = 1' - 0"



NORTH ELEVATION REPAIRS LOCATION
SCALE: 3/16" = 1' - 0"



SOUTH ELEVATION REPAIRS LOCATION
SCALE: 3/16" = 1' - 0"

V100

CONCRETE REPAIR

PERMIT SET

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1413474

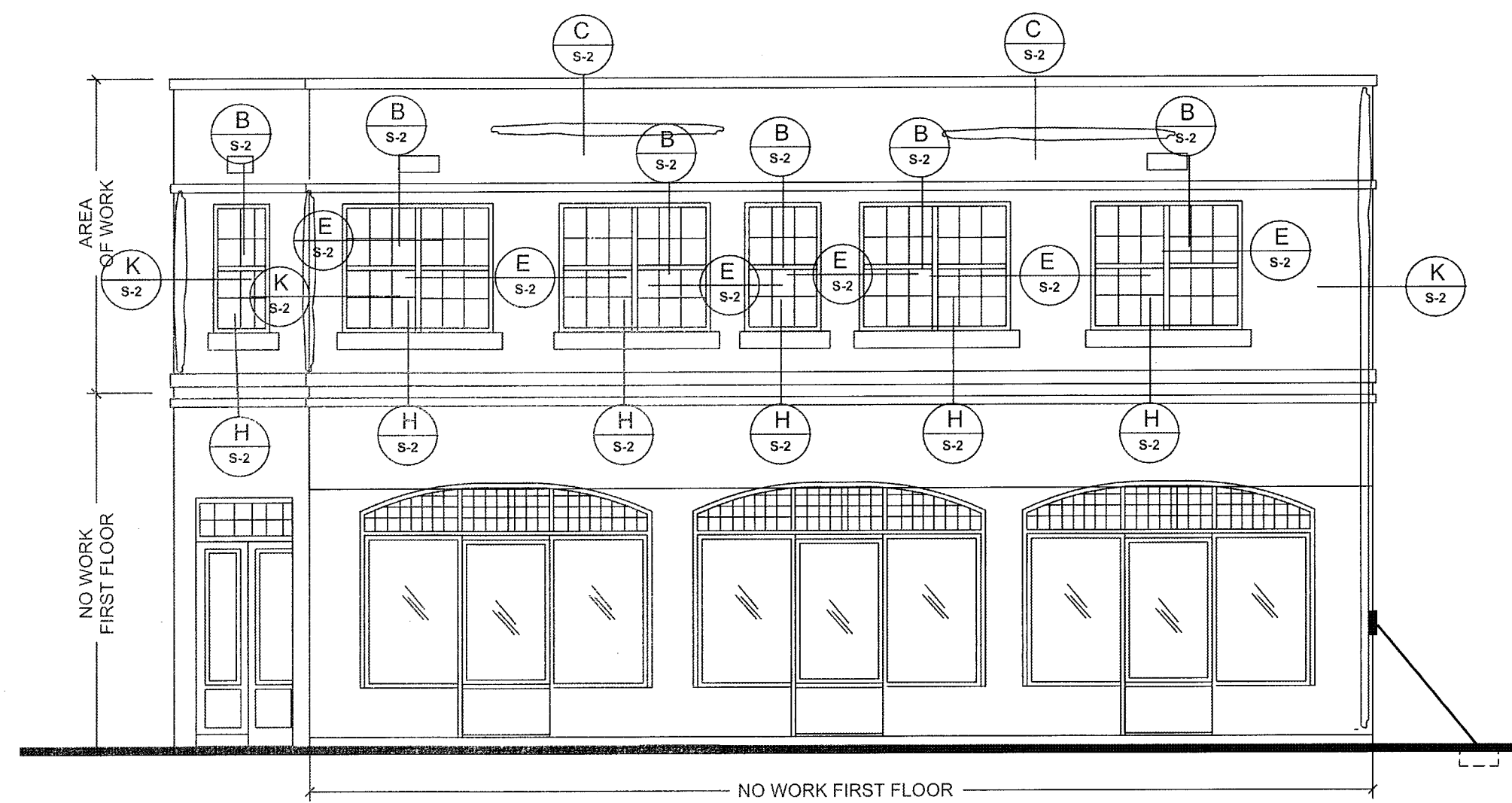
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WITHOUT THE WRITTEN CONSENT OF THE
ENGINEER. CONTRACTORS SHALL
VERIFY ALL DIMENSIONS AND SHALL NOT
RELY ON SCALED DIMENSIONS. NOTIFY THE
ENGINEER OF ANY DISCREPANCIES PRIOR TO
COMMENCING WORK.

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BIG PINK BUILDING

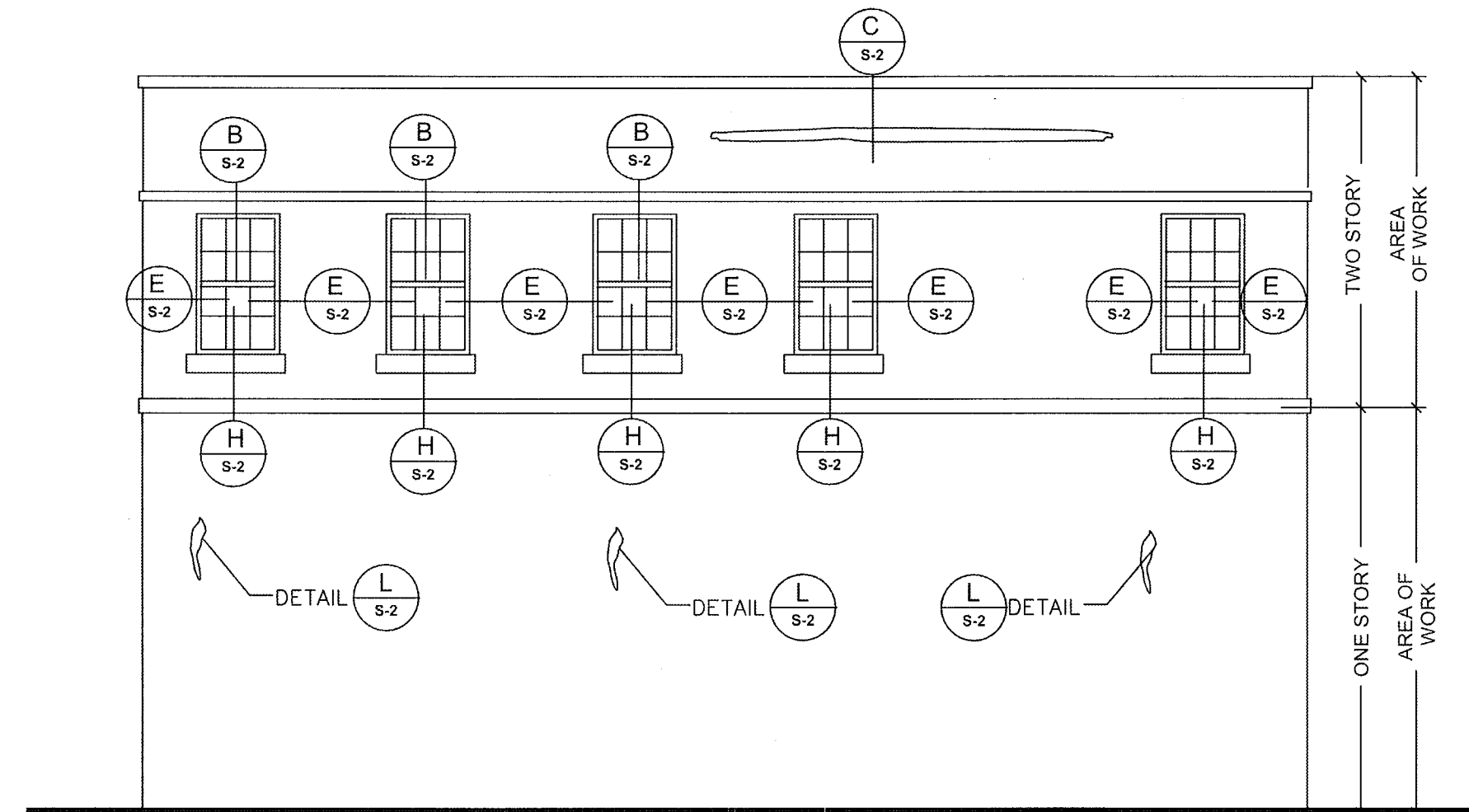
157 COLLINS AVE
MIAMI BEACH, FLORIDA 33139

S-1
SHEET NUMBER



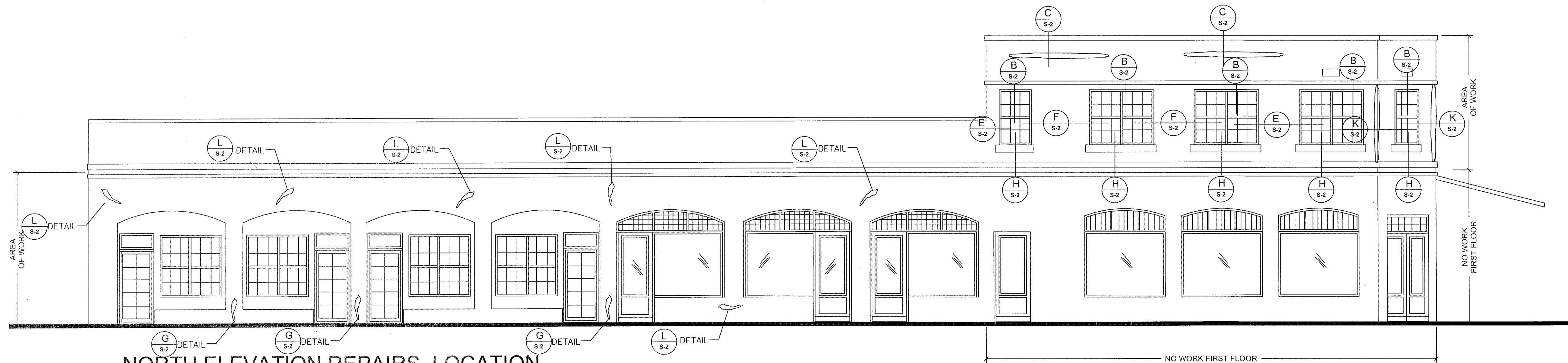
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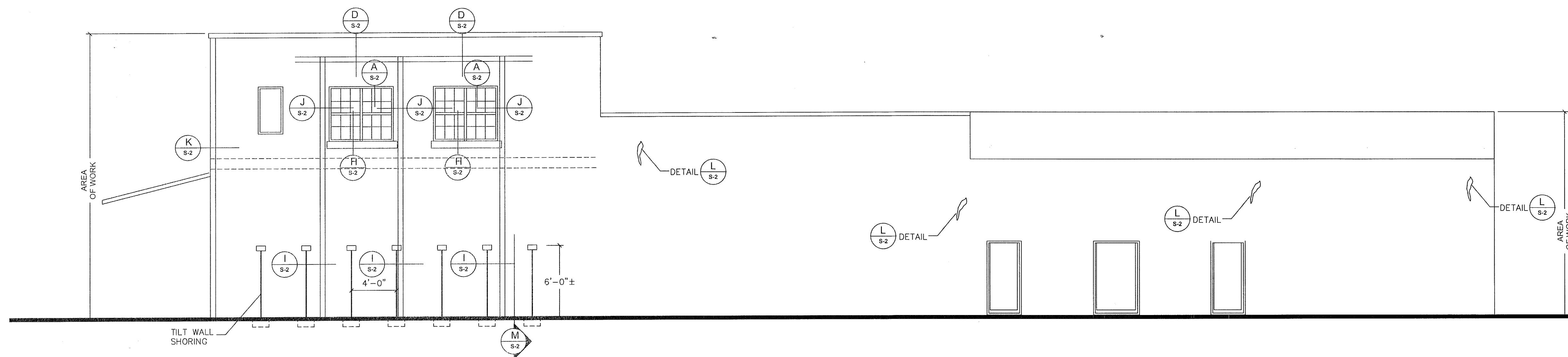
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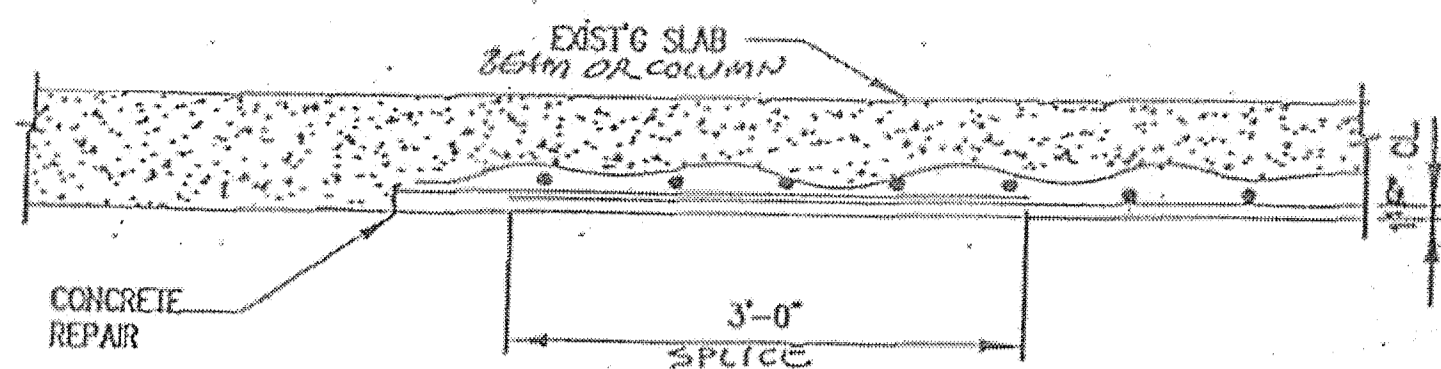
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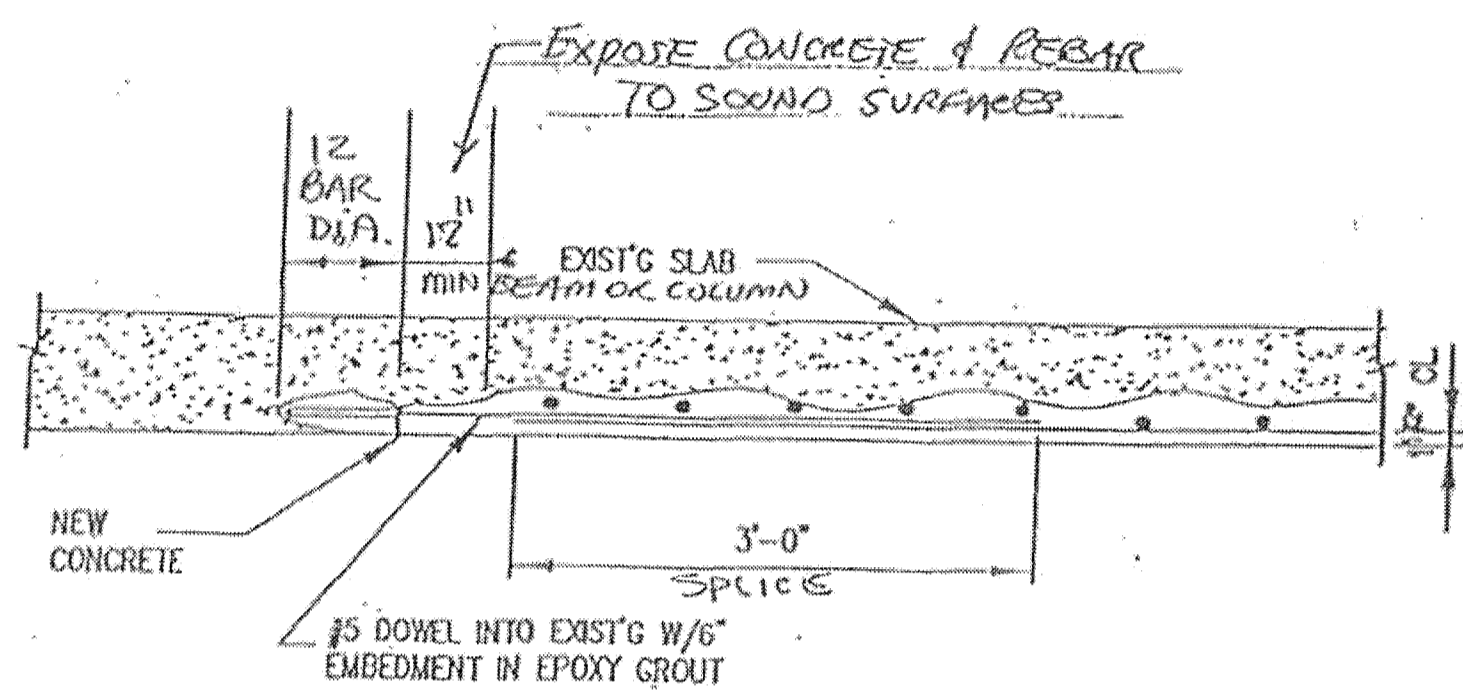
City of Miami Beach
Fire Prevention Division
PLANNING APPROVAL



Handwritten signature and date: 7/18/14



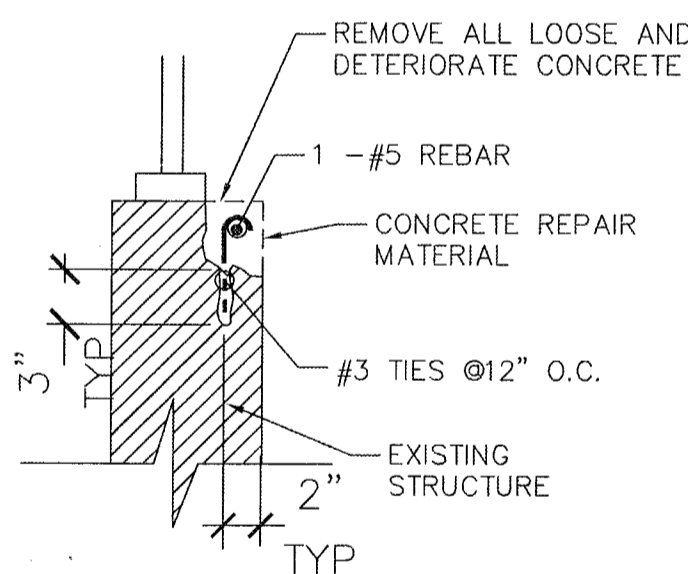
TYPICAL REBAR SPLICE DETAIL



REBAR SPLICE & DOWEL DETAILS

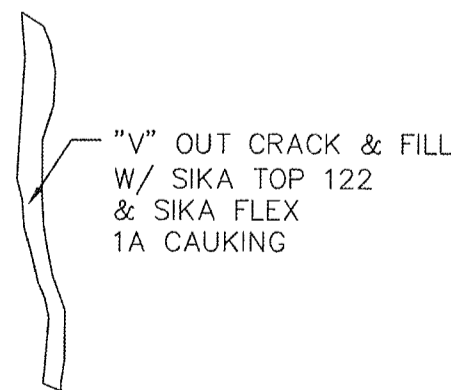
STANDARD SPLICE & LAP DETAILS

SCALE: NTS



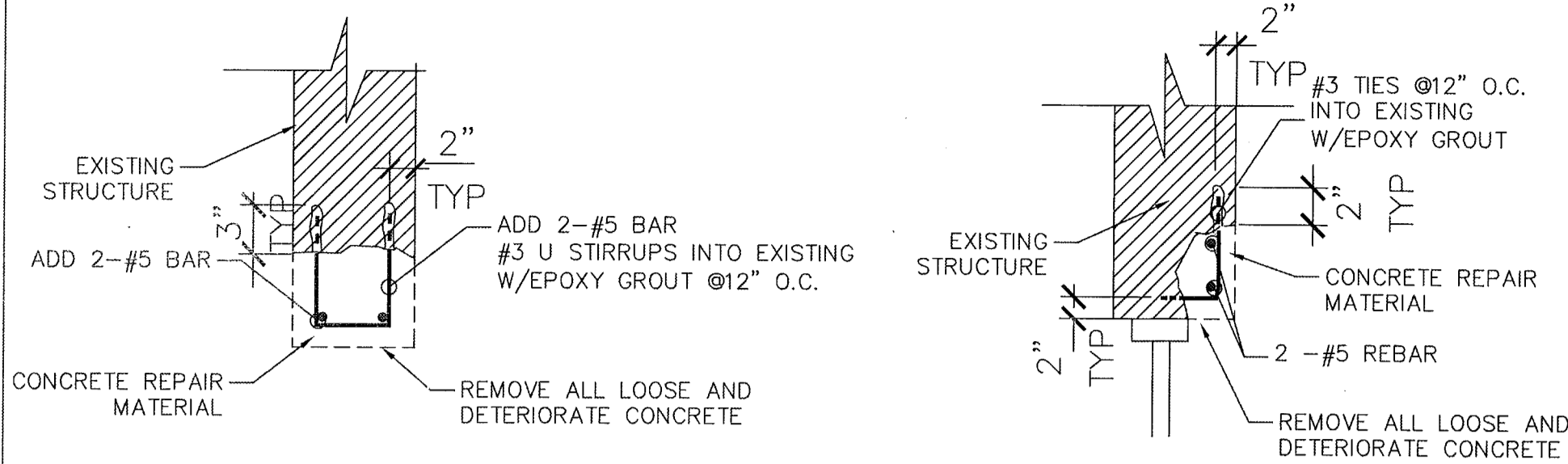
H TYP SILL REPAIR DETAIL

S-2



L CRACK REPAIR

SCALE: 1-1/2" = 1' - 0"



A FULL DEPTH REPAIR

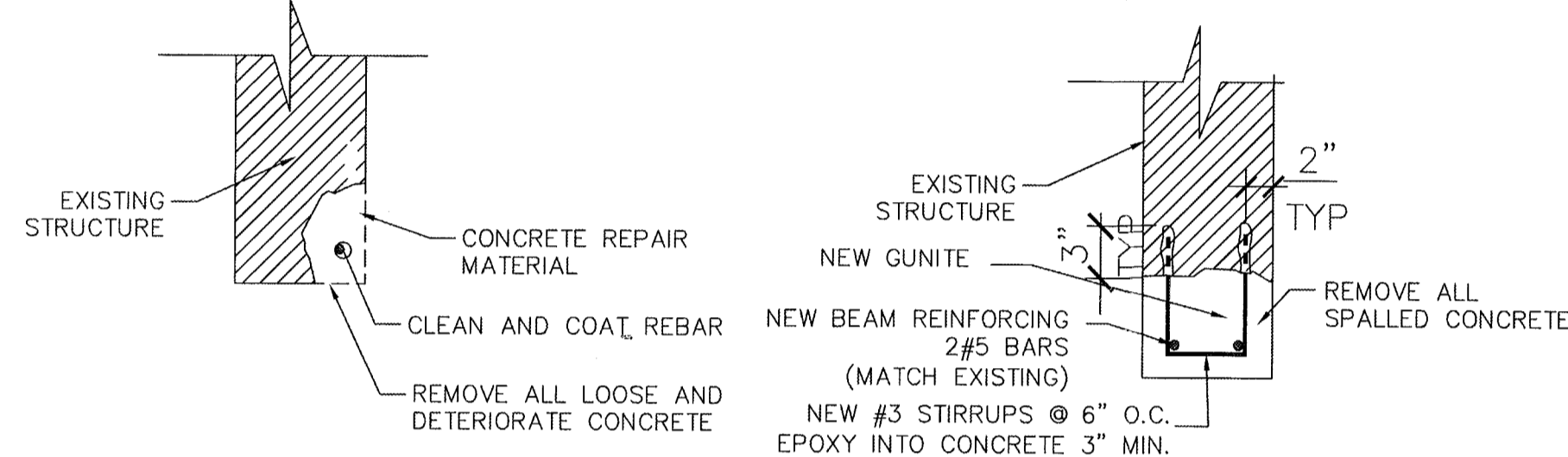
S-2

B PARTIAL HEADER REPAIR

S-2

WINDOW LINTEL REPAIR DETAILS

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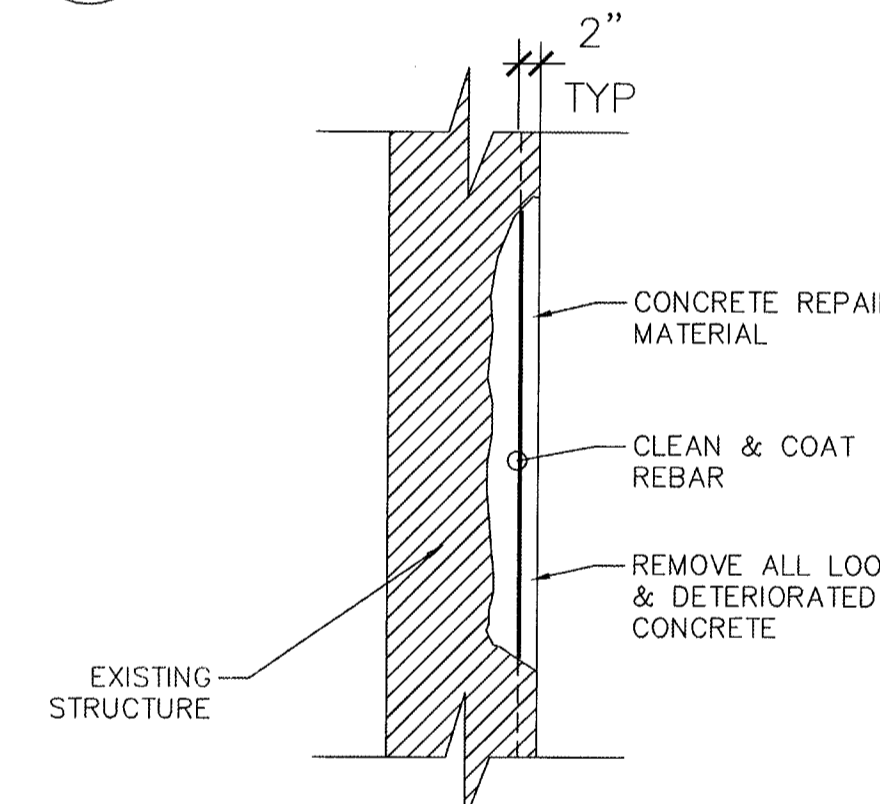


E PARTIAL DEPTH DETAIL

S-2

F FULL DEPTH

S-2

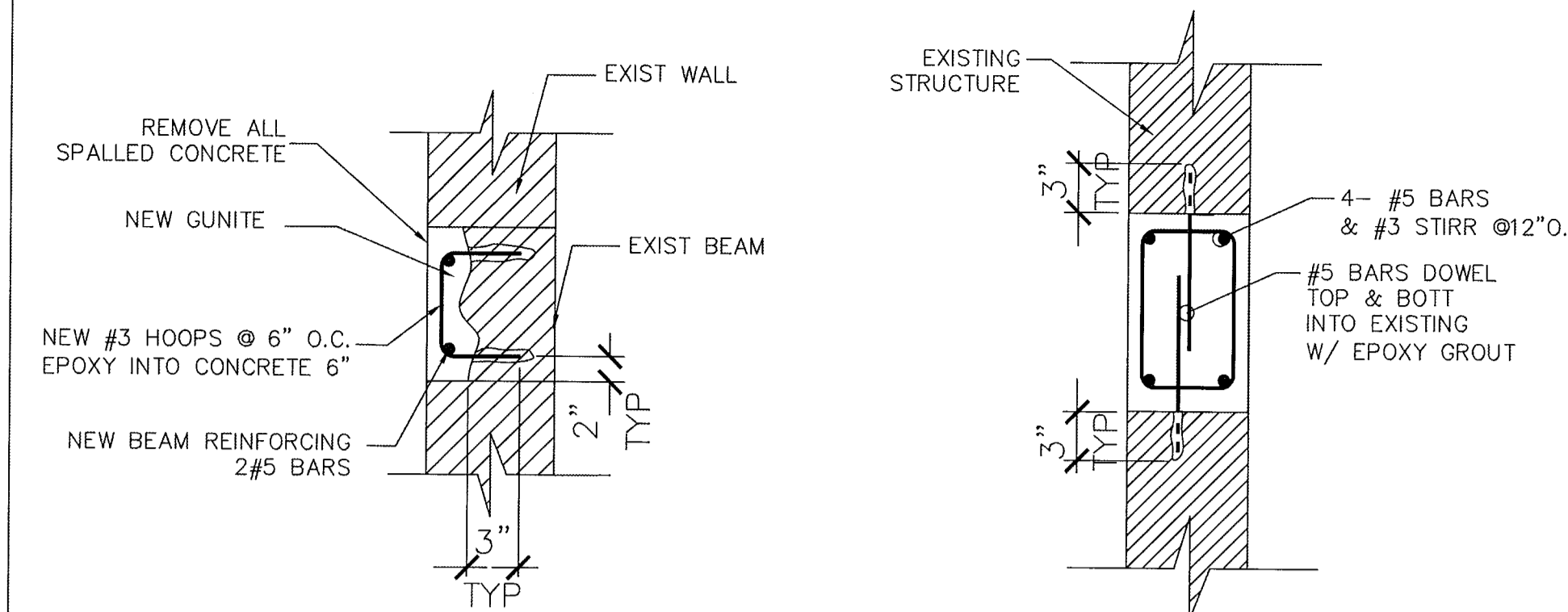


G TYP JAMB REPAIR DETAIL

S-2

JAMB REPAIR DETAIL

SCALE: 1-1/2" = 1' - 0"



C PARTIAL DEPTH REPAIR (TB)

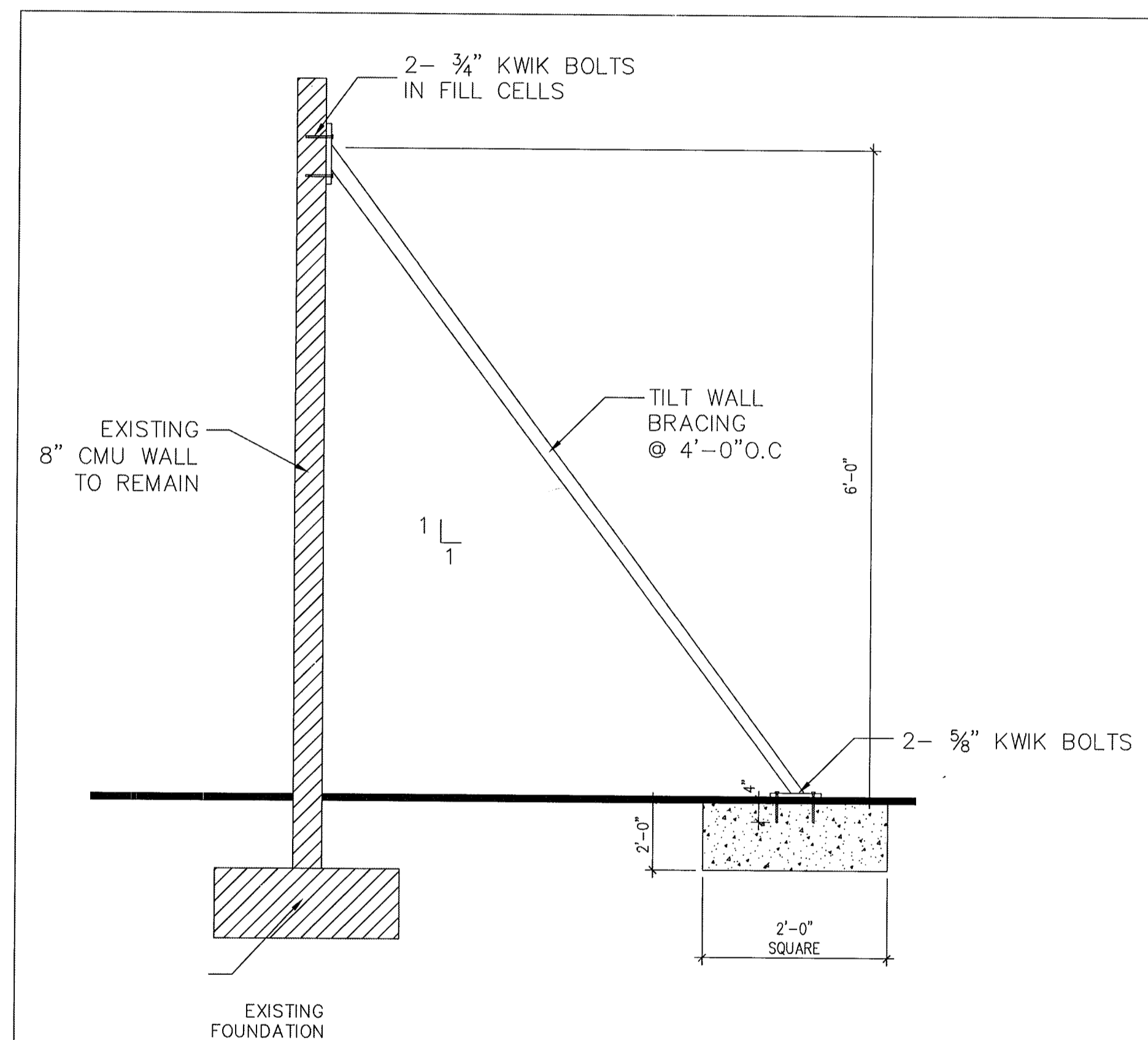
S-2

D FULL DEPTH REPAIR

S-2

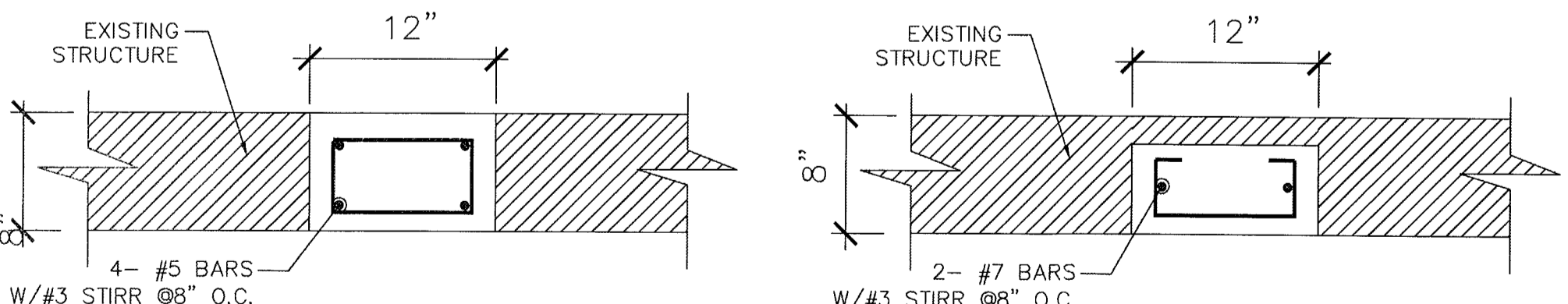
TIE BEAM REPAIR DETAILS

SCALE: 1-1/2" = 1' - 0"



M TILT WALL BRACING DETAIL

SCALE: 1/2" = 1' - 0"

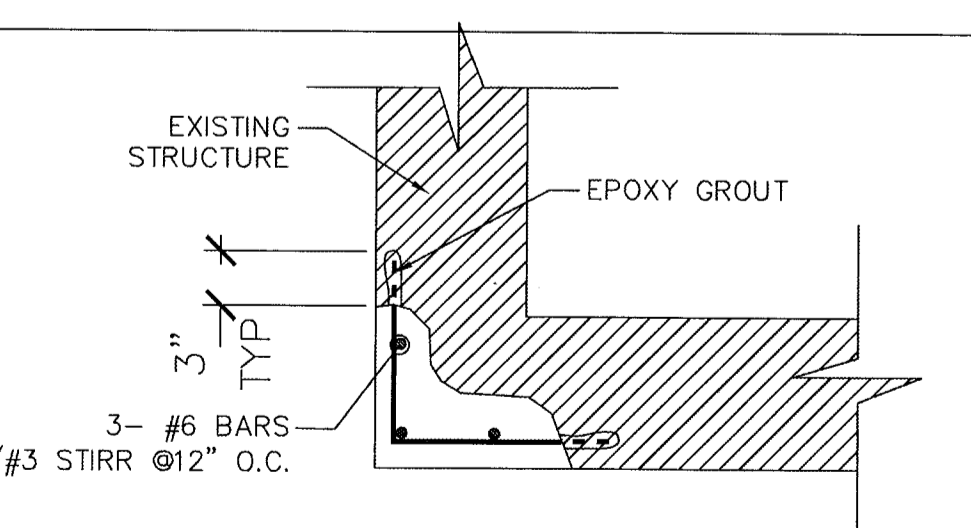


J FULL DEPTH REPAIR

SCALE: 1-1/2" = 1' - 0"

I PARTIAL DEPTH REPAIR

SCALE: 1-1/2" = 1' - 0"



K CORNER REPAIR DETAILS

SCALE: 1-1/2" = 1' - 0"

TIE COLUMN REPAIR DETAILS

SCALE: 1-1/2" = 1' - 0"

CONCRETE REPAIR NOTES

1. Gunite (All repairs).....5000psi
2. Prepackaged Concrete Repair.....3000psi
3. Rebar.....Grade 60
4. Do not remove any re-bar with less than 10% Corrosion, sandblast and coat per attached Specifications.
5. Make all cuts square.
6. Trowel finish all repaired surfaces.
7. Add epoxy bonding agent to surfaces prior to concrete application.

TO: *[Signature]*

CONCRETE REPAIR

PERMIT SET

DWG INFO:
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APPROVED BY	DATE

BIG PINK BUILDING

157 COLLINS AVE
MIAMI BEACH, FLORIDA 33139

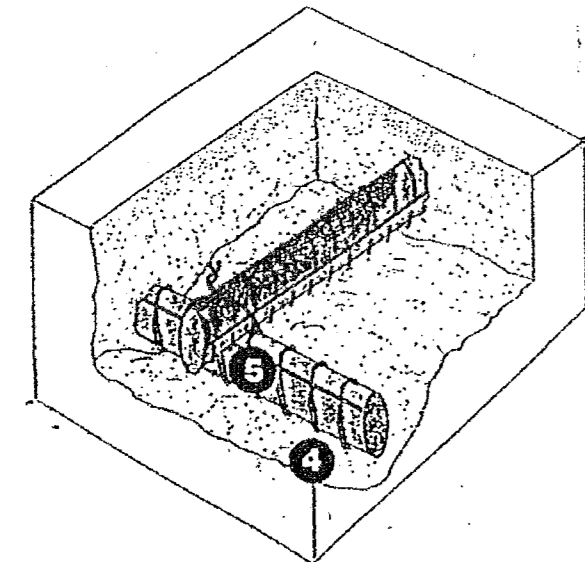
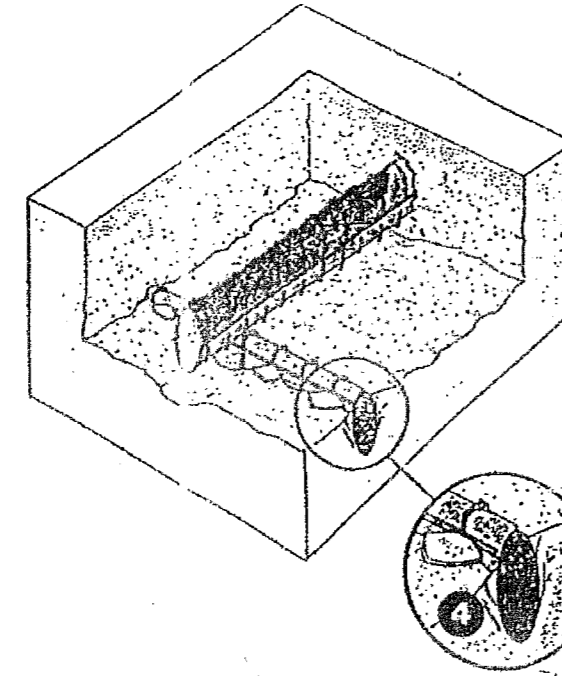
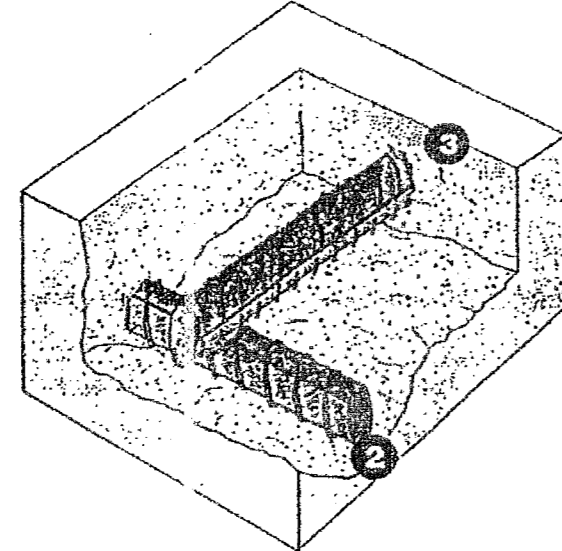
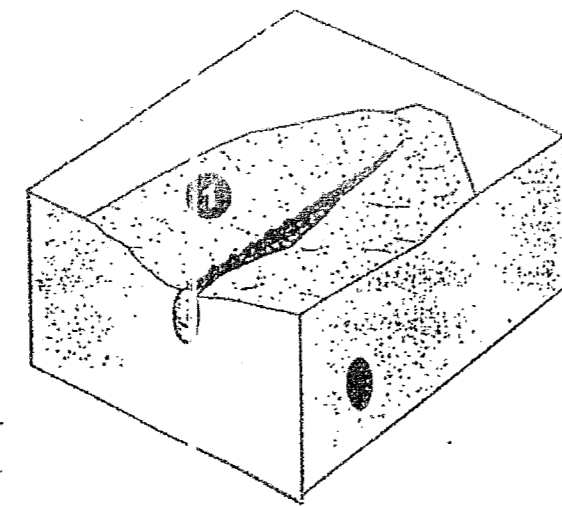
S-2

SHEET NUMBER

Exposing and Undercutting of Reinforcing Steel

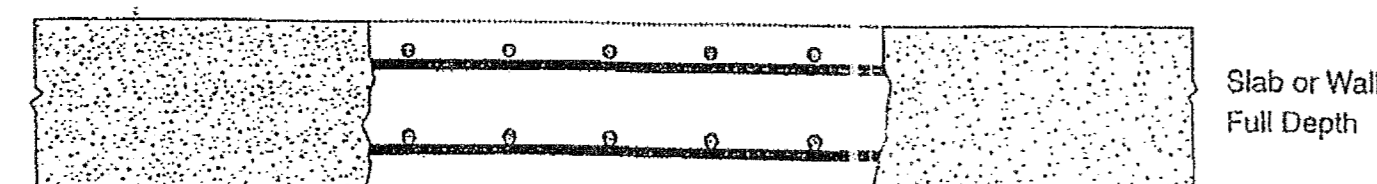
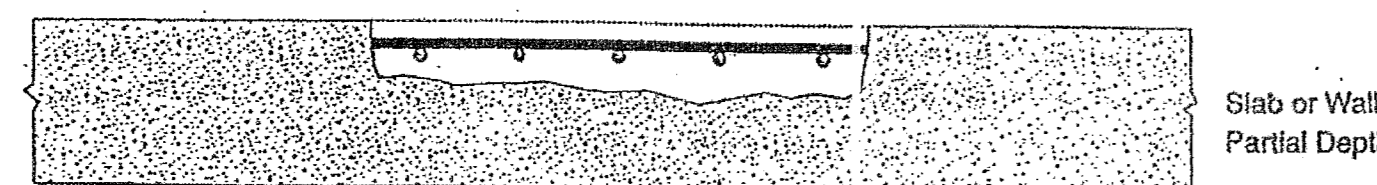
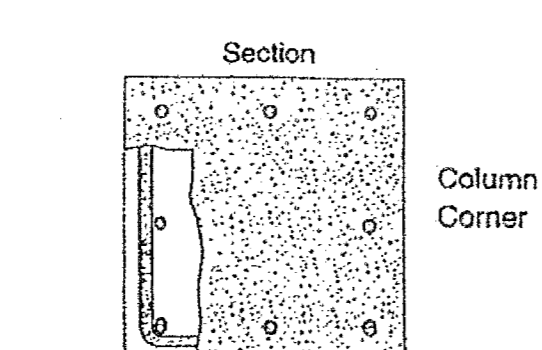
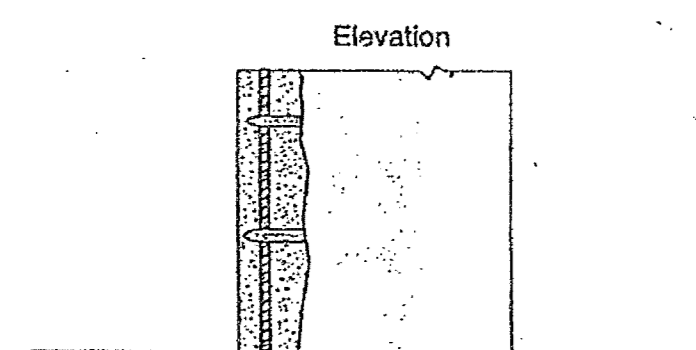
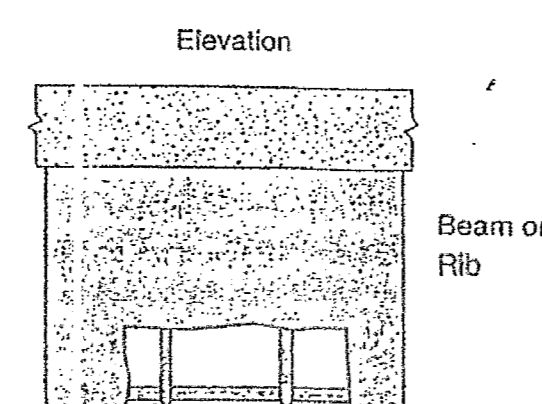
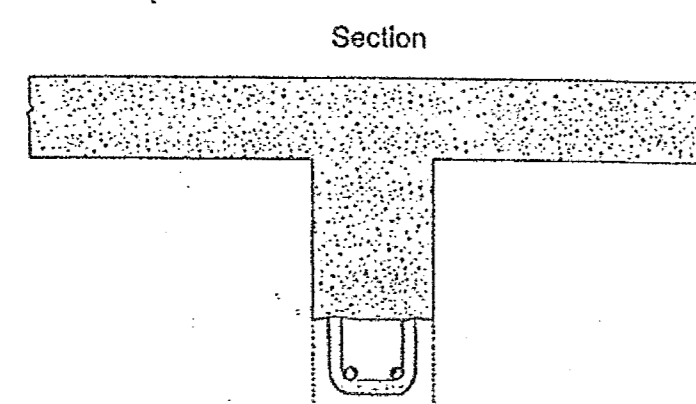
These details are applicable to horizontal, vertical, and overhead locations. They are also applicable to removal by hydro-demolition, hydro-milling, and electric, pneumatic or hydraulic impact breakers.

- 1 Remove loose or delaminated concrete above corroded reinforcing steel.
- 2 Once initial removals are made, proceed with the undercutting of all exposed corroded bars. Undercutting will provide clearance for under bar cleaning and full bar circumference bonding to surrounding concrete, and will secure the repair structurally. Provide minimum 1/4 inch (19 mm) clearance between exposed rebar and surrounding concrete or 1/4 inch (6 mm) larger than largest aggregate in repair material, whichever is greater.
- 3 Concrete removals shall extend along the bars to locations along the bar free of bond inhibiting corrosion, and where the bar is well bonded to surrounding concrete.
- 4 If non-corroded reinforcing steel is exposed during the undercutting process, care shall be taken not to damage the bar's bond to surrounding concrete. If bond between bar and concrete is broken, undercutting of the bar shall be required.
- 5 Any reinforcement which is loose shall be secured in place by tying to other secured bars or by other approved methods.



Removal Geometry

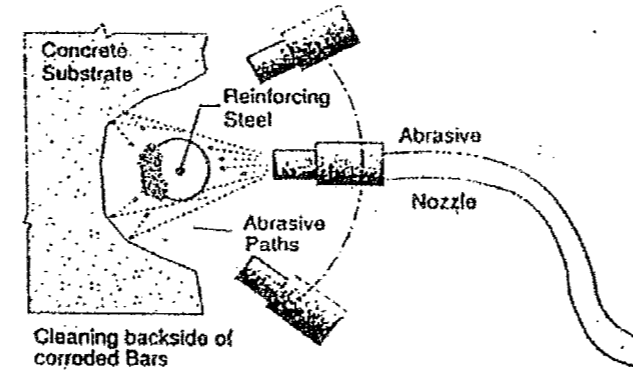
Caution! Before starting removals, review effect of removals on structural integrity. Provide shoring of members if necessary. Particular care shall be exercised at slab-beam connections to columns.



Cleaning and Repair of Reinforcing Steel

Cleaning of Reinforcing Steel

- 1 All heavy corrosion and scale should be removed from the bar as necessary to promote maximum bond of replacement material. Oil free abrasive blast is the preferred method. A tightly bonded light rust build-up on the surface is usually not detrimental to bond, unless a protective coating is being applied to the bar surface, in which case the coating manufacturer's recommendations for surface preparation should be followed.

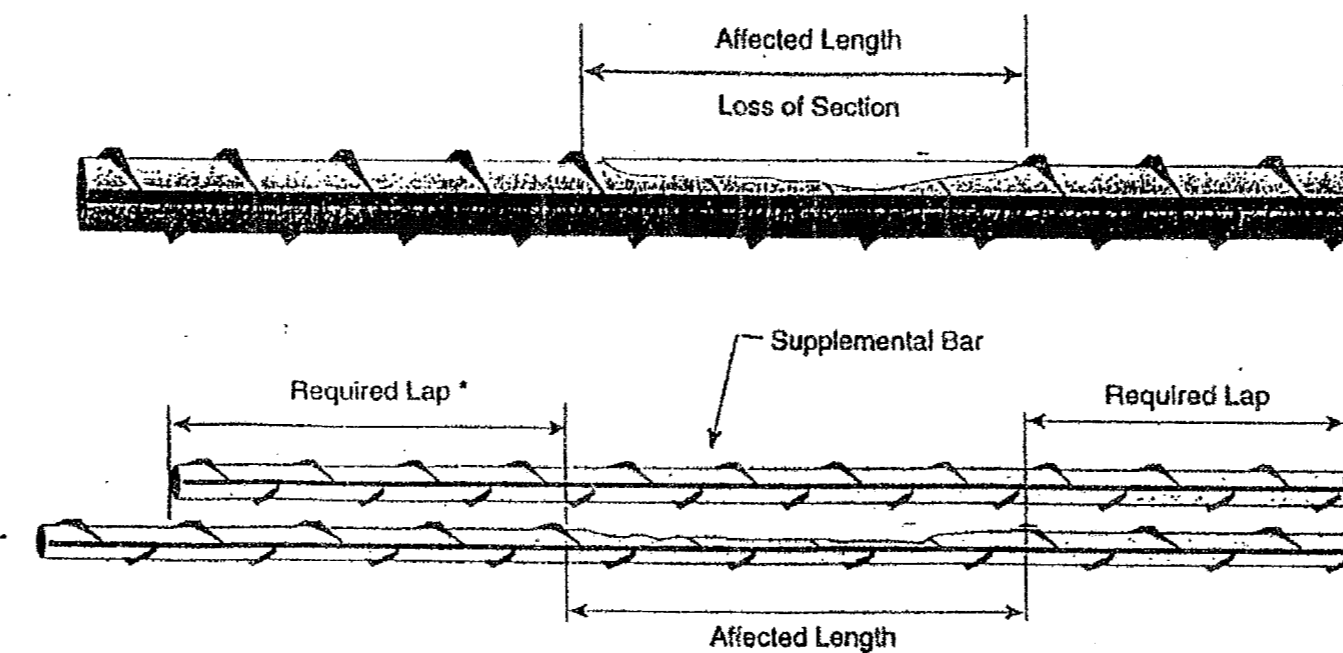


Repair of Reinforcing Steel Due to Loss of Section

If reinforcing steel has lost significant cross section, a structural engineer should be consulted. If repairs are required to the reinforcing steel, one of the following repair methods should be used:

- Complete bar replacement, or
- Addition of supplemental bar over affected section.

New bars may be mechanically spliced to old bars or placed parallel to and approximately 1/4 in. (19 mm) from existing bars. Lap lengths shall be determined in accordance with ACI 318; also refer to CRSI and AASHTO manual.



ACI CODE REQUIREMENTS

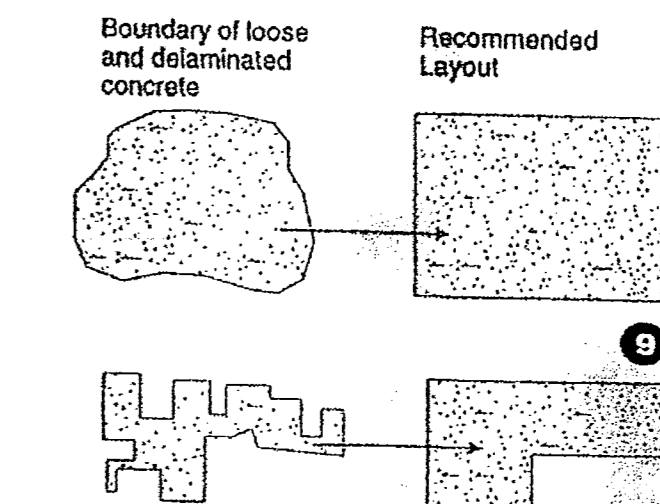
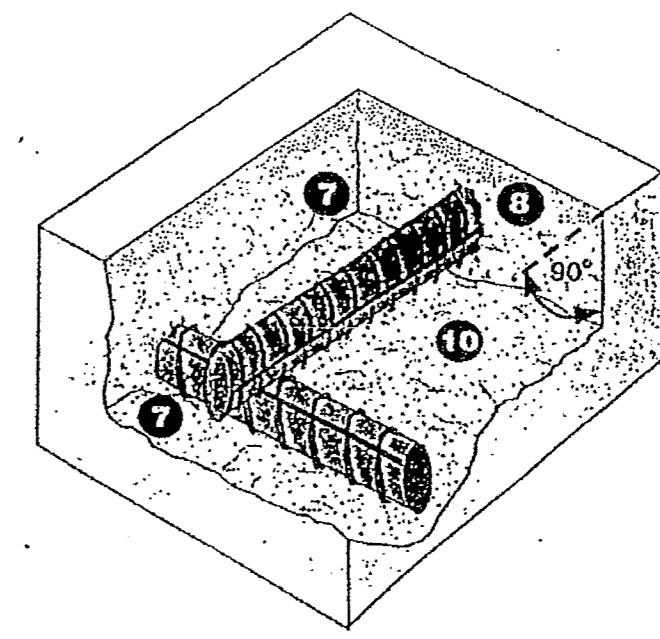
ACI 315 and ACI Manual of Standard Practice
ACI 318 Building Code Requirements for Reinforced Concrete
ACI 506 Edge Preparation Guidelines
ACI 506.2 Specification for Materials, Proportioning, and Application of Shotcrete
ACI 506.4R-94 Guide for the Evaluation Of Shotcrete
ACI 546R-96 Concrete Repair Guide
ACI 224.1-93 (98) Causes, Evaluation & Repair of Cracks in Concrete Structures
ACI 228.1R In-Place Methods for Determining of Concrete Strength

Edge and Surface Conditioning of Concrete

These details are applicable to horizontal, vertical, and overhead locations. They are also applicable to removal by hydro-demolition, hydromilling, and electric, pneumatic or hydraulic impact breakers.

Do not use these details for shotcrete applications for shotcrete repairs refer to ACI 506 Edge Preparation Guidelines.

- 1 Remove delaminated concrete, undercut reinforcing steel (refer to "Exposing and Undercutting of Reinforcing Steel" on page 3), remove additional concrete as required to provide minimum required thickness of repair material.
- 2 At edge locations, provide right angle cuts to the concrete surface with either of the following methods:
 - Sawcut 1/2" (13 mm) or less as required to avoid cutting reinforcing steel.
 - Use power equipment such as hydrodemolition or impact breakers. Avoid feather edges.
- 3 Repair configurations should be kept as simple as possible, preferably with squared corners.
- 4 After removals and edge conditioning are complete, remove bond inhibiting materials (dirt, concrete slurry, loosely bonded aggregates) by abrasive blasting or high pressure waterblasting with or without abrasive. Check the concrete surfaces after cleaning to insure that surface is free from additional loose aggregate, or that additional delaminations are not present.
- 5 If hydrodemolition is used, cement and particulate slurry must be removed from the prepared surfaces before slurry hardens.



Concrete Repair Recommendations

The following is our recommended repair procedure for all spalled concrete areas. The specific areas include concrete slabs, concrete columns, beams or any additional observed conditions. We recommend concrete repair for the structural elements and submit the following procedure described as follows:

1. Remove all loose and deteriorated concrete with a light-chipping hammer in all areas that exhibit concrete cracks and areas that are spalled.
2. Randomly test areas with a hammer to determine any additional areas for removal. Do not remove any sound concrete from around rebar.
3. Tie-up and secure any sagging re-bar and support as required. Do not remove any existing re-bar without prior authorization.
4. Replace deteriorated re-bar only as required by the Engineer.
5. Wire brush all exposed re-bar to remove all loose scale, concrete and rust.
6. All cleaned re-bar should be coated with a rust inhibitor as soon as possible after cleaning. The following are acceptable coatings:
 - a. Sika Top 110 Armatek, by Sika Chemical Co.
 - b. Zinc Rich Epoxy Primer, B-6270, by delta Labs
 - c. Corr-bond Euclid Chemical Co.
 - d. Sonnoborn "Sonoprep"
 - e. Approved Equals.
7. The patching material should be a cement-based product designed specifically as a patching material. The following are recommended products that must be mixed, applied, etc., in accordance with the manufacturer's recommendations:
 - a. Thorite, by Thoro Products,
 - b. Eucco Verticoat, by Euclid Chemical,
 - c. Sonnoborn "Gelpatch"
 - d. Sikacrete 211, by Sika Chemical.
 - e. sika top 122 plus, by Sika chemical.
8. Apply patching to all prepared surfaces either by hand or sprayed finished sufficiently to match the adjacent concrete surfaces. concrete may be used to repair the undersides of the main beams. All work to be performed by a qualified application contractor in accordance with approved procedures and recommendations.

City of Miami Beach
Fire Prevention Division
PLANS APPROVED



Handwritten signature and date 7/24/14

Edward A. LANDERS, P.E.
CONSULTING ENGINEERS
7550 NW 145TH STREET, SUITE 208, MIAMI LAKES, FL 33181
Tel: (305) 823-3938
Fax: (305) 823-9355

CONCRETE REPAIR

PERMIT SET

DWG INFO:
1413474

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EDWARD A. LANDERS, P.E., INC. HEREBY RESERVE THEIR COPYRIGHTS TO THE IDEAS AND DRAWINGS SHOWN. THESE DRAWINGS ARE TO BE USED FOR THE PROJECT STATED ONLY AND SHALL NOT BE USED OR REPRODUCED FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN CONSENT. CONTRACTORS SHALL VERIFY ALL DIMENSIONS AND SHALL NOT RELY ON SCALED DIMENSIONS. NOTIFY THE ENGINEER OF ANY DISCREPANCIES PRIOR TO COMMENCING WORK.

APPROVED BY	DATE

BIG PINK BUILDING

157 COLLINS AVE
MIAMI BEACH, FLORIDA 33139

S-3

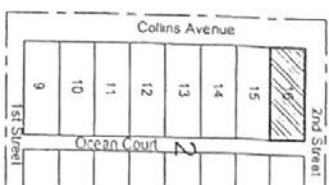
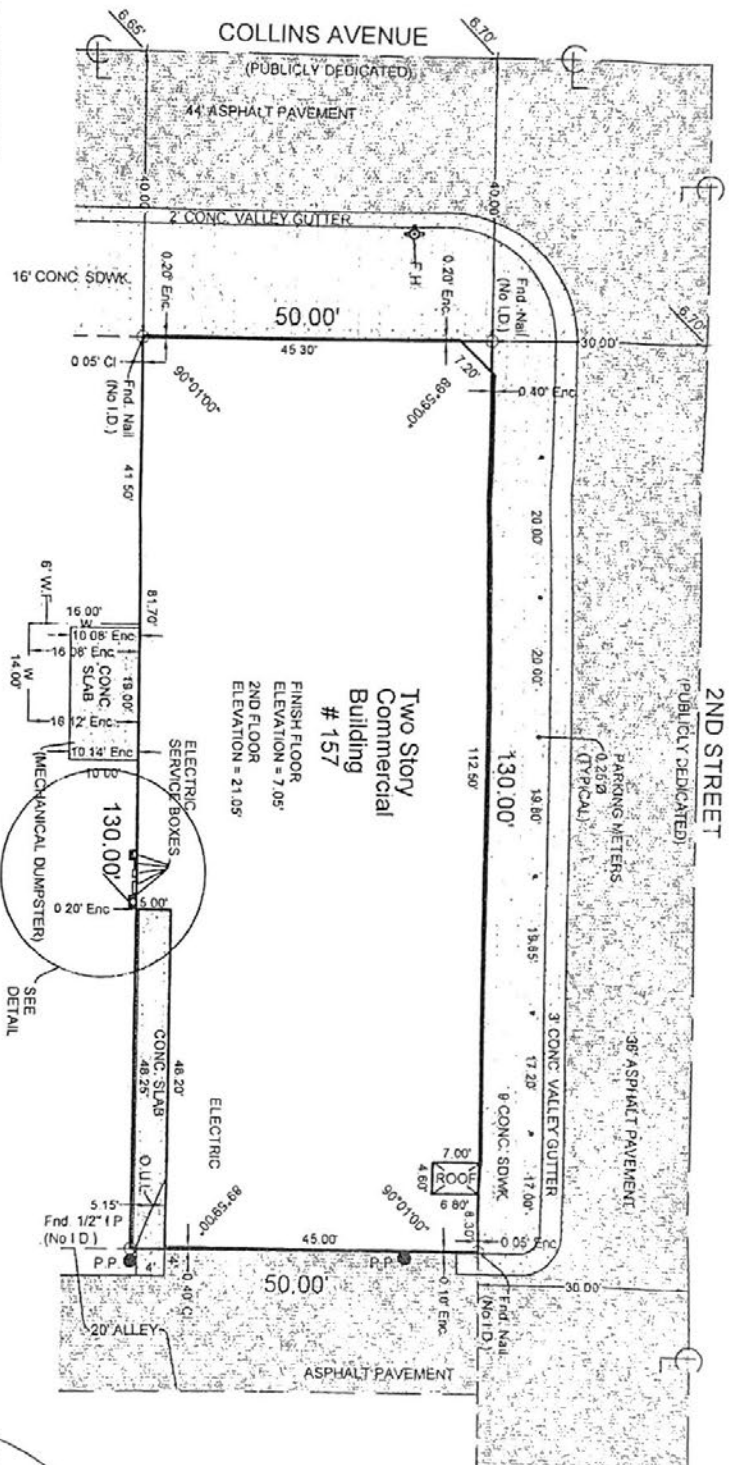
SHEET NUMBER

B1405045

157 Collins

ALL

Exhibit G



Location Sketch
NTS



DETAIL
NTS

LEGAL DESCRIPTION:
Lot 16, Block 2, OCEAN BEACH FLORIDA, according to the Plat thereof, as recorded in Plat Book 2, Page 38, of the Public Records of MIAMI-DADE County, Florida.

CERTIFIED TO: 157 Collins Avenue, LLC, Beloff & Schwartz, Chicago Title Insurance Company, Wachovia Bank, N.A., its successors and/or assigns.

PREPARED FOR: 157 Collins Avenue, LLC, 157 Collins Avenue, Miami Beach, FL 33139

Encroachments:

1. Overhead utility lines.
2. Portion of the building is encroaching over the North boundary line.
3. Portion of the building is encroaching over the West boundary line.
4. Portion of the building is encroaching over the East boundary line.
5. Portion of the building, a 6 foot high wood fence, the concrete slab for a compactor / dumpster, and the electric service boxes are encroaching over the South boundary line.

- All clearances and/or encroachments shown hereon are of apparent nature. Fence ownership by visual means. Legal ownership of fences not determined.
- Encroachments Noted: 5
- Underground structures, if any, not located.
- Bearings, if shown, are based on assumed meridian or Plat of Record.
- Lands shown hereon were not abstracted for easements and/or right-of-ways of record.
- Legal description provided by client.
- This certification is only for land as described. It is not a certification of title, zoning, easements, or freedom from encumbrances. ABSTRACT NOT REVIEWED.
- There may be additional restrictions not shown on this survey that may be found in the public records of this county. ABSTRACT NOT REVIEWED.
- This BOUNDARY SURVEY has been prepared for the exclusive use of the parties named hereon. The Certificate does not extend to any unnamed party.
- This survey was based on the monuments found on the field. No construction in any manner should be made without the prior written consent of the Surveyor.

SURVEYOR'S SEAL

Unless it bears the signature and the original raised seal of a Florida licensed surveyor and mapper, this map/report is for informational purposes only and is not valid.

REVISED.

BOUNDARY SURVEY

I HEREBY CERTIFY that the attached survey was made under my responsible charge and substantially meets the minimum technical standards as set forth by the FLORIDA BOARD OF LAND SURVEYORS in Chapter 472.02, Florida Statutes and Code pursuant to Section 472.027, Florida Statutes appearing on the plat or visible statements of the survey as shown hereon.



Nelson Mojarena
NELSON MOJARENA
Registered Surveyor & Mapper No. 5504
State of Florida

DATE

FLOOD ZON

05-05-08

(A)

E.) Seller agrees to waive and not accept rent for the months of May and June, 2008, if Buyer will replace the roof and pay for said repairs.

F.) The parties acknowledge and agree that the seller may effectuate a 1031 like kind exchange with respect to this transaction. The parties agree to cooperate with each other in effectuating any such exchange.

Louise & Kenia

Levy

157 Collins Ave, LLC

by: [Signature]
for

This side does not include the N 1/2 of Lot 15 nor does it include a right, easement, or license to use the N 1/2 of Lot 15 for any purpose without the seller's written permission.

[Signature]

Cheryl Barr witness

STATE OF FLORIDA

COUNTY OF MIAMI DADE

SUBSCRIBED AND SWORN TO BEFORE ME THIS 21ST DAY OF APRIL, 2008

[Signature]
ELISA GARCIA witness

[Signature]
UHAVYNIA EUSTIAQUINO
NOTARY PUBLIC - STATE OF FLORIDA
COMMISSION # BD369350
EXPIRES 11/4/2008
BONDED THRU 1-888-NOTARY1



Prepared by and return to:

Carla C. Jackson
Legal Assistant
Blass & Frankel, P.A.
One S.E. Third Avenue Suite 2130
Miami, FL 33131

CFN 20080544293
DR Bk 26460 Pgs 1553 - 1554 (2pgs)
RECORDED 07/02/2008 09:40:07
DEED DDC TAX 42,000.00
SURTAX 31,500.00
HARVEY RUVIN, CLERK OF COURT
MIAMI-DADE COUNTY, FLORIDA

File Number: **KAINE-PINK**
Will Call No.:

Parcel Identification No. **02-4203-003-0300**

[Space Above This Line For Recording Data]

Warranty Deed

(STATUTORY FORM - SECTION 689.02, F.S.)

This Indenture made this 30th day of June, 2008 between LAWRENCE F. KAINE, a married man whose post office address is 170 N.E. 29th Street, Miami, FL 33137 of the County of Miami-Dade, State of Florida, grantor*, and 157 COLLINS AVE., LLC, a Florida limited liability company whose post office address is 157 Collins Avenue, 2nd Floor, Miami, FL 33139 of the County of Miami-Dade, State of Florida, grantee*,

Witnesseth that said grantor, for and in consideration of the sum of TEN AND NO/100 DOLLARS (\$10.00) and other good and valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, has granted, bargained, and sold to the said grantee, and grantee's heirs and assigns forever, the following described land, situate, lying and being in **Miami-Dade County, Florida**, to-wit:

Lot 16, Block 2, OCEAN BEACH, according to the Plat thereof, as recorded in Plat Book 2 at Page 38, of the Public Records of Miami-Dade County, Florida.

Subject to real estate taxes and all assessments for the year 2008 and subsequent years, which are not yet due and payable.

Subject to zoning ordinances and other municipal, state or Federal laws as may be applicable, covenants, conditions, restrictions, limitations, reservations and easements of record, if any, none of which shall be deemed reimposed hereby.

Grantor warrants that at the time of this conveyance, the subject property is not the Grantor's homestead within the meaning set forth in the constitution of the state of Florida, nor is it contiguous to or a part of homestead property.

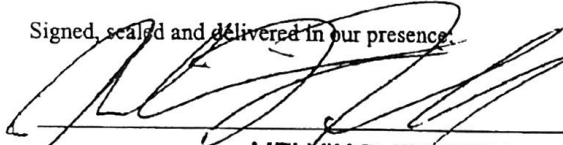
and said grantor does hereby fully warrant the title to said land, and will defend the same against lawful claims of all persons whomsoever.

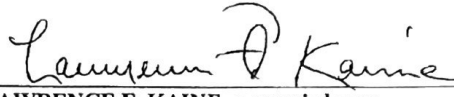
* "Grantor" and "Grantee" are used for singular or plural, as context requires.

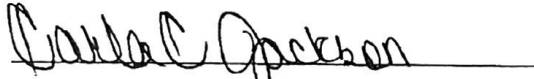
DoubleTime®

In Witness Whereof, grantor has hereunto set grantor's hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:


Witness Name: MELVIN F. FRANKEL

 (Seal)
LAWRENCE F. KAINE, a married man


Witness Name: CARLA C. JACKSON

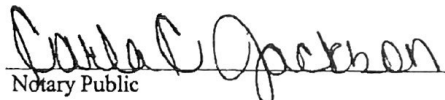
State of Florida

County of Miami-Dade

The foregoing instrument was acknowledged before me this 22nd day of May, 2008 by LAWRENCE F. KAINE, a married man, who ☐ is personally known or ☒ has produced a driver's license as identification.

[Notary Seal]




Notary Public

Printed Name: CARLA C. JACKSON

My Commission Expires: 9/27/2009
DD-470808

Exhibit H

From: Myles Chefetz <myles@mylesrestaurantgroup.com>
Sent: Wednesday, August 17, 2022 3:15 PM
To: Brenden D. Soucy
Cc: mylesalan@aol.com; Stuart Grossman
Subject: Re: Assignment of 153 Collins Ave Lease
Attachments: image001.gif; image001.gif; Notice of Lease Assignment - 157 Collins Ave LLC.pdf

Brenden

Thanks for your email. I should have the new certificate naming 125 Collins, llc as additional insured by tomorrow. Stuart thank you for your August 12, 2022 letter.

The recent property acquisition by your client 125 Collins, LLC brought the 2016 lease with Larry Kaine to my attention. The lease enabled my restaurant Big Pink to keep a large trash compactor/dumpster and storage facility on Larry's property. Several years ago, I relocated the dumpsters and storage facility onto Big Pinks property. However, the lease was effectively on "auto-pay" and dozens of monthly payments continued to be paid nonetheless.

For these reasons, I wish to terminate the lease. I understand there's a 60 day notice period so of course I will continue to make payments per your letter for September 2022 and October 2022. Additionally, there is a security deposit in the sum of \$5250 paid in connection with the lease. I will just set that off against October rent to keep things simple.

As an aside, I am very excited to hear of your client's development plans. Perhaps you could put me in contact with the principals of the company. I am not only a neighboring property owner, but also am a significant stakeholder in the south of fifth neighborhood. I believe that with my contacts at the City of Miami Beach and beyond, I can help them very much by advocating support for their plans.

I can be reached at 3052192909. I look forward to hearing from them.

Sincerely
Myles Chefetz
157 Collins Ave, LLC

Sent from my iPhone

On Aug 17, 2022, at 2:38 PM, Brenden D. Soucy <bds@lklsg.com> wrote:

Myles,
Please confirm receipt of the attached, and provide the updated Certificate of Insurance by Friday so that 125 Collins, LLC may update its policies accordingly.

Thanks,
Brenden

Brenden D. Soucy
Partner

LEVINE KELLOGG LEHMAN SCHNEIDER + GROSSMAN LLP
Miami Tower
100 SE 2nd Street, 36th Floor
Miami, FL 33131
305.722.8903 (direct)

305.403.8788 (main)

305.403.8789 (fax)

[vCard](#) | [Bio](#) | [Website](#)

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From: Stuart Grossman <sig@lklsg.com>

Sent: Friday, August 12, 2022 4:44 PM

To: mylesalan@aol.com

Cc: Brenden D. Soucy <bds@lklsg.com>

Subject: Please see the attached correspondence.

Stuart I Grossman

Sent from my iPhone

Exhibit I

From: Brenden D. Soucy <bds@lklsg.com>
Sent: Thursday, August 18, 2022 3:50 PM
To: Myles Chefetz
Cc: mylesalan@aol.com; Stuart Grossman
Subject: RE: Assignment of 153 Collins Ave Lease

Myles,

Thanks for your response. No issues on our end in terms of termination in October. Did you want to set the termination date as 10-31-22 to keep it simple?

Please note that rent will need to be paid through the date of termination, and the security deposit will be addressed after the termination and possession of the site being turned over (with picnic table and other personal property removed).

We'll be putting up a fence along the property line upon termination; to the extent access is needed related to same in advance of termination we'll give you a heads up on that.

Thanks,

Brenden

Brenden D. Soucy
Partner



LEVINE KELLOGG LEHMAN SCHNEIDER + GROSSMAN LLP
Miami Tower
100 SE 2nd Street, 36th Floor
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I can be reached at 3052192909. I look forward to hearing from them.

Sincerely
Myles Chefetz
157 Collins Ave, LLC

Sent from my iPhone

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Brenden D. Soucy
Partner

LEVINE KELLOGG LEHMAN SCHNEIDER + GROSSMAN LLP
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To: mylesalan@aol.com
Cc: Brenden D. Soucy <bds@lklsg.com>
Subject: Please see the attached correspondence.

Stuart I Grossman

Sent from my iPhone

Exhibit J

VIA EMAIL

September 8, 2022

Paul A. Shelowitz
Direct: 305-789-9394
Email: pshelowitz@stroock.com

Mr. Thomas Mooney
City of Miami Beach
Planning Department
1700 Convention Center Drive
2nd Floor
Miami Beach, FL 33139

Dear Mr. Mooney:

We represent 157 Collins Avenue, LLC, owner of the real property on which Big Pink Restaurant and Ted's Hideaway (Collins Avenue and 2nd Street, Miami Beach) are located.

As you will recall, a "one building site" issue came up with respect to our client's property in early 2016. The then-owner of the adjacent property, Lawrence Kaine, attempted to erect a fence along the driveway next to Big Pink Restaurant. Our client's counsel, Graham Penn, Esq., sent you a letter supporting a determination of a "one building site" (see attached). Based on the facts and circumstances set forth therein (partially restated herein), the City of Miami Beach issued a stop work order. When Mr. Kaine obeyed that order, the issue, at least at that time, appeared to be resolved.

Recently, 125 Collins LLC acquired Mr. Kaine's property. Its north property line is immediately adjacent to our client's property—where Big Pink Restaurant and Ted's Hideaway have operated for more than 25 years. While 125 Collins LLC's precise development plans are unclear, 125 Collins LLC has told our client that it believes it has the right to erect a fence on its property immediately adjacent to our client's property. As you will recall, the close proximity of the two properties is such that: (1) the fire exit emergency doors for both Big Pink Restaurant and Ted's Hideaway exit immediately onto 125 Collins LLC's property; (2) access to 125 Collins LLC's property is necessary for life safety/fire egress from both Big Pink Restaurant and Ted's Hideaway; and (3) access to 125 Collins LLC's property is necessary for Big Pink Restaurant and Ted's Hideaway deliveries and garbage removal. In addition, the grease trap which serves Ted's Hideaway is located on (and under) 125 Collins LLC's property.

DETAILED FACTS: Our client's property is identified by Miami-Dade County Tax Folio No. 02-4203-003-0300 and is legally described as Lot 16 of Block 2 in Ocean Beach Subdivision. It is improved with a 2-story building that was constructed in 1925 and fronts on Collins Avenue. Built by J.G. Leinecker, the Commercial Property is individually listed in the City of Miami Beach ("City") Historic Properties Database as a

contributing building in the Ocean Beach Local Historic District. The site has been in continuous use for commercial purposes since the time of the building's construction and now serves as the home of the "Big Pink" restaurant and "Ted's Hideaway" lounge.

The uses on the site have long been served by a 25' wide strip of land which abuts our client's property and serves as an accessory alleyway behind the restaurant (hereinafter referred to as the "Strip"). Identified by Miami-Dade County Tax Folio No. 02-4203-003-0290 and legally described as the North ½ of Lot 15 of Block 2 in Ocean Beach Subdivision, the Strip has been used for literally decades to service "back of house" facilities for Big Pink Restaurant and Ted's Hideaway. Previously, the Strip, along with the south half of Lot 15, had been developed with a 2,500 square foot building that was demolished and replaced with a paved lot in 1971.

The ownership of both sites over the last several decades reflects their joint use. The previous owner of the Strip, Mr. Kaine, purchased what is now our client's property in 1983. He purchased the Strip in 1986. During Mr. Kaine's ownership of the combined parcels, significant utilities and services for what is now our client's property were installed and maintained on the Strip. For example, electrical utilities were allowed to encroach into the Strip and grease traps were installed.

Since 1996, our client has operated Big Pink Restaurant. Initially, our client leased the Big Pink Restaurant property from Mr. Kaine. Our client acquired fee title to the Big Pink Restaurant property in 2008.

Mr. Kaine never assembled the Strip with any other land i.e., Mr. Kaine owned the adjacent properties, Lots 12, 13, 14, and the south ½ of Lot 15, since 1986 and never sought to join them with the Strip. To the contrary, Mr. Kaine sought and obtained Conditional Use Approval to allow the operation of a parking lot on those neighboring lots and that site is currently an approved lot (the "Parking Lot"). Pursuant to the conditions of the recorded order for Planning Board File No. 1495, dense landscape screening and a fence has been installed along the perimeter boundary of the Parking Lot, including the property line between the Strip and the Parking Lot.

The Strip serves as a means of ingress and egress, and contains several encroaching utility, mechanical, and electrical improvements that serve and support Big Pink Restaurant and Ted's Hideaway's operations. Accordingly, when viewed together, our client's property and the Strip satisfy the Code's definition for "one building site," which is defined in Section 114-1 as:

"any improved lot, plot, or parcel of land where there may exist a main permitted structure and any accessory/auxiliary building or structure including, but not limited to, swimming pools, tennis courts, walls, fences,

Mr. Thomas Mooney
City of Miami Beach
Planning Department
September 8, 2022
Page 3

or any other improvement which was heretofore constructed on property containing one or more platted lots or portions thereof shall constitute one building site.”

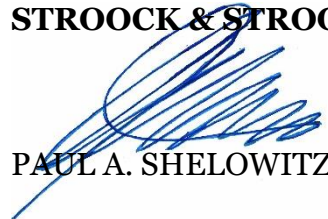
REQUEST FOR FORMAL INTERPRETATION: Based on the above, our client seeks a formal interpretation by the City of Miami Beach that our client’s property and the Strip constitute “one building site” pursuant to Section 118-564 of the Miami Beach Code of Ordinances. We further seek a formal interpretation that, as “one building site,” in order to develop the Strip (including erecting a fence), 125 Collins LLC would be required to process a “lot split” with the City of Miami Beach which would require our client’s written consent.

Should you require any further information, please let us know.

Thank you for your attention to this matter.

Sincerely,

STROOCK & STROOCK & LAVAN LLP



PAUL A. SHELOWITZ

Encl.



DIRECT LINE: (305) 377-6229
E-Mail: GPenn@BRZoningLaw.com

VIA HAND DELIVERY

April 22, 2016

Thomas Mooney, Planning Director
Planning Department
City of Miami Beach
1700 Convention Center Drive, 2nd Floor
Miami Beach, Florida 33139

Re: Letter in Support of an Appeal of an Administrative Decision on behalf of
157 Collins Avenue, LLC (Building Permit 1602250)

Dear Tom:

As you are aware, this firm represents 157 Collins Avenue (the "Appellant"), the owner of the property approximately located at 157 Collins Avenue (the "Commercial Property"). This correspondence shall serve as the Appellant's letter requesting appeal to the Historic Preservation Board (HPB) of an administrative decision regarding property subject to the Certificate of Appropriateness procedure.

Commercial Property. The Commercial Property is identified by Miami-Dade County Tax Folio No. 02-4203-003-0300 and is legally described as Lot 16 of Block 2 in Ocean Beach Subdivision. The Commercial Property is improved with a 2-story building that was constructed in 1925 and fronts on Collins Avenue. Built by J.G. Leinecker, the Commercial Property is individually listed in the City of Miami Beach ("City") Historic Properties Database as a contributing building in the Ocean Beach Local Historic District. The site has been in continuous use for commercial purposes since the time of the building's construction and now serves as the home of the "Big Pink" restaurant and "Ted's Hideaway" lounge.

The uses on the site have long been served by a '25' wide strip of land which abuts the Commercial Property and serves as an accessory alleyway behind the

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restaurant (hereinafter referred to as the "Strip"). Identified by Miami-Dade County Tax Folio No. 02-4203-003-0290 and legally described as the North ½ of Lot 15 of Block 2 in Ocean Beach Subdivision, the Strip has been developed for decades with "back of house" facilities for the Commercial Property. Prior to that point, the Strip, along with the south half of Lot 15, had been developed with a 2,500 square foot building that was demolished and replaced with a paved lot in 1971.

Ownership of Sites. The ownership of both sites over the last several decades reflects their joint use. The current owner of the Strip, Lawrence Kaine, purchased the Commercial Property in 1983. He then purchased the Strip in 1986. During Mr. Kaine's ownership of the combined parcels, significant utilities and services for the Commercial Property were installed and maintained on the Strip. For example, electrical utilities on the Commercial Property were allowed to encroach into the Strip and grease traps were installed.

Since 1996, the Applicant has operated a restaurant on the Commercial Property. Initially, the Appellant leased the Commercial Property from Mr. Kaine. The Appellant purchased title to the Commercial Property in 2008 and had a lease with Mr. Kaine for the Strip since that point.

Exclusion of Strip from Other Development. It has been clear for quite some time that Mr. Kaine has had no intention to assemble the Strip with any other land. Mr. Kaine has owned the adjacent properties, Lots 12, 13, 14, and the south ½ of Lot 15, since 1986 and never sought to join them with the Strip. To the contrary, Mr. Kaine sought and obtained Conditional Use Approval to allow the operation of a parking lot on those neighboring lots and that site is now developed with the approved lot (the "Parking Lot"). Pursuant to the conditions of the recorded order for Planning Board File No. 1495, dense landscape screening and a fence has been installed along the perimeter boundary of the Parking Lot, including the property line between the Strip and the Parking Lot.

Unified Building Site. The Strip serves as a means of ingress and egress, and contains several encroaching utility, mechanical, and electrical improvements that serve and support the restaurant and lounge operations. Accordingly, when viewed together, the Commercial Property and the Strip satisfy the Code's definition for a "building site," which is defined in Section 114-1 as:

"any improved lot, plot, or parcel of land where there may exist a main permitted structure and any accessory/auxiliary building or structure including, but not limited to, swimming pools, tennis courts, walls, fences, or any other improvement which was heretofore constructed on

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property containing one or more platted lots or portions thereof shall constitute one building site."

In March 2016, the City administratively approved Building Permit No. B1602250, thereby permitting the Mr. Kaine to enclose the Collins Avenue and Ocean Court frontages of the Strip with an aluminum fence measuring 5' high and 50' long. Mr. Kaine's enclosure of the Strip with a fence will have the resulting effect of eliminating the Appellant's access from the street to the accessory utility improvements and rear building entrances which have served the restaurant and lounge for decades. Of course, removing this access has several significant implications, including removing a fire accessway.

Certificate of Appropriateness Procedure. Pursuant to Sections 118-102 and 118-103 of the Code, as a contributing site within a local historic district, any development or alteration on the Commercial Property falls within the purview of the HPB. Thus, the Certificate of Appropriateness review process applies to any alteration or modification of the Commercial Property. These two terms are explicitly defined in Section 118-503(a) as "any change affecting the external appearance of...a structure or other features of the site including but not limited to landscaping and relationship to other structures..." It is necessary to evaluate the proposed fence under the criteria because it is an architectural element on the exterior of the historic building that will serve as both a screening device and physical barrier limiting access to an integral portion of the building site. This important area provides open space, serves as a walkway and means of ingress and egress into the restaurant, and contains essential drainage facilities, utility services, and mechanical devices that are indispensable to the operation of the business.

As such, the proposed fence's enclosure of an important service area on the Commercial Property is not consistent with several of the Certificate of Appropriateness criteria as listed in Section 118-564(3). These include: designing access on the site with little interference to pedestrian movement and permitting pedestrians a safe ingress and egress to the site; designing and locating additions to the site in a manner which is sensitive to and compatible with the existing improvements; ensuring landscape and paving materials maintain an adequate relation with and enhancement of the overall site plan design; and incorporating sufficient transparency at the ground level portions of the site that front a street or sidewalk in order to achieve pedestrian compatibility.

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Illegal Division of Land. Not only does the proposed fence's visibility from the public right-of-way adversely affect historic preservation standards, but its erection along the property line appears to sever the Strip from the Commercial Property and creates an entirely separate building site.

Standing alone, the Strip has a lot width of only 25'-0" and a length of 130'-0". Within the R-PS3 Zoning District, the minimum lot width permitted is 50 feet and the minimum lot size is 5,750 square feet. By creating a standalone lot that serves neither the Commercial Property nor the Parking Lot, Mr. Kaine has developed a site that fails to conform to Code requirements. Thus, the fence enclosure around the Strip amounts to a division of land in contravention of Section 118-321 of the Code.¹

The Code's lot split regulations, Chapter 118, Article VII, have the specific purpose of maintaining open space and neighborhood character. Mr. Kaine's fence project fails a majority of the regulations' criteria that are used to evaluate the appropriateness of a proposed division of land. These standards include: whether the lot created would be divided in such a manner that it complies with the LDR regulations; whether the building site created would be equal to or larger than the majority of the existing building sites, or the most common existing lot size, and of the same character as the surrounding area; whether the scale of any proposed new construction is compatible with the as-built character of the surrounding area, or creates adverse impacts on the surrounding area; whether the building site created would be free of encroachments from abutting buildable sites; and whether the proposed lot split adversely affects architecturally significant or historic properties.

The erection of a fence around the Strip effectively creates a small island inconsistent with the size of all other lots on the same block. It will also, for the first time ever, entirely prevent the Appellant from accessing the rear elevation of the

¹ Sec. 118-321. - Purpose, standards and procedure.

In order to maintain open space and neighborhood character, wherever there may exist a main permitted structure and any accessory/auxiliary building or structure including, but not limited to, swimming pools, tennis courts, walls, fences, or any other improvement that was heretofore constructed on property containing one or more platted lots or portions thereof, such lots shall thereafter constitute only one building site and no permit shall be issued for the construction of more than one main permitted structure on the site unless the site is approved for the division or lot split by the planning board.

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Commercial Property, including buildings, doorways and the physical improvements that service the historic building. Irrespective of the infringement upon the Appellant's property rights, erection of a fence is not compatible with the prevailing character of the block and adds visual clutter to the Collins Avenue frontage.

The Code holds that no building permit shall be issued for any construction, alteration, or use that is not in conformity with the provisions of the LDRs. In light of the foregoing, the Appellant respectfully requests that the HPB reverse the administrative decision to grant approval of Building Permit No. B1602250. Mr. Kaine will need to legally subdivide the Commercial Property and the Strip before commencing to perform any development that is inconsistent with the use of the unified development site.

Respectfully yours,



Graham Penn

cc: Debbie Tackett
Myles Chefetz
Michael Larkin, Esq.

Exhibit K



Tracy Slavens <tslavens@lsnlaw.com>

FW: Request for Planning Determination - [REDACTED] Holdings LLC

Mooney, Thomas <ThomasMooney@miamibeachfl.gov>
To: "Tracy R. Slavens Esq. (tslavens@lsnlaw.com)" <tslavens@lsnlaw.com>
Cc: "Kallergis, Nick" <NickKallergis@miamibeachfl.gov>

Wed, Aug 16, 2023 at 4:22 PM

Hi Tracy

See below / attached.

Tom

From: Mooney, Thomas
Sent: Wednesday, May 3, 2023 18:08
To: acimo@smgqlaw.com
Cc: jfernandez@mgqlaw.com; Belu h, Michael MichaelBelu_h@miamibeachfl.gov; Madan, Rogelio <RogelioMadan@miamibeachfl.gov>; Kallergis, Nick <NickKallergis@miamibeachfl.gov>
Subject: RE: Request for Planning Determination - [REDACTED] Holdings LLC
Importance: High

Good Afternoon Alexandra

I have discussed your request (attached) for an administrative determination regarding the property at [REDACTED] with the City Attorney's office; Nick Kallergis, Deputy City Attorney, is copied. Since your client does not own the parcel at [REDACTED] I cannot provide an administrative determination for this property.

Notwithstanding, as noted in the attached May 3, 2023 correspondence, we have advised the property owner at [REDACTED] that the existing tennis court is non-conforming and cannot, under the current regulations of the City Code, be used. We have also advised Code Compliance.

Please let me know if you have any additional questions.

Thank you, Tom

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