

BEFORE THE BOARD OF ADJUSTMENT
CITY OF MIAMI BEACH, FLORIDA

FILE NO. ZBA22-0143

IN RE: APPEAL OF THE PLANNING
DIRECTOR'S NOVEMBER 15, 2022
ADMINISTRATIVE DETERMINATION
REGARDING 153 COLLINS AVENUE
AND 157 COLLINS AVENUE

**APPELLANT 125 COLLINS, LLC'S REPLY TO APPELLEE
CITY OF MIAMI BEACH AND 157 COLLINS AVE LLC'S RESPONSES**

The Determination violates the essential requirements of the City of Miami Beach Code ("Code")¹ and other law, is not based on competent substantial evidence, and violates due process. This is a situation where two property owners' rights have been impacted by the issuance of the Determination but the rights of only one owner – the 157 Parcel owner – were considered, while the rights of the second owner – the Strip owner – were completely disregarded and, ultimately, eviscerated.

The City has erred both in the issuance of the Determination and in its Response. It misconstrued the definition of legal building site, it ignored whether a

¹ The Code referenced throughout is that version which was in effect as of the issuance of the Determination unless otherwise noted. All capitalized terms not defined herein shall have the meaning ascribed to them in Appellant's Petition for Administrative Appeal to Board of Adjustment.

legal lot was established for said building, it overlooked the omission of the Strip from any permit documentation for the 157 Parcel - including the absence of the owner's consent, and the City disregarded relevant evidence regarding the Strip's prior approvals, its unification to other lots through board orders and covenants, and agreements between the parties. Likewise, the 157 Parcel owner's Response is misleading and chooses not to acknowledge known facts that contribute to the rights of the respective property owners and the agreements made between them.

Most importantly, the City and the 157 Parcel owner failed to acknowledge that the Strip is part of a separate platted lot under separate ownership, and authority was never granted to either the City or the 157 Parcel owner that would allow it to be considered a part of the 157 Parcel or for the City to issue the Determination. To affirm the Determination would yield a deprivation of property rights for the Strip owner and yield an absurd result that would impact all property owners within City jurisdiction.

I. In Order to Have a Building Site, There Must First Be an Underlying Legal Development Site.

A. Mere construction activity does not create a legal building site.

Respondents argue that a building site is created for zoning and land development regulatory purposes whenever mere construction activity occurs. [157 Resp. at 16-17; City Resp. 6-7]. The 157 Parcel owner even specifically states that *illegal* unpermitted construction suffices to create a legally recognized building

site. [157 Resp. at 16-17]. In support of that argument, the 157 Parcel owner provides citation to an out-of-context and irrelevant code snip from a different city in Florida. [157 Resp. at 17]. Respondents' interpretation is unsupported by a plain reading of the Code and, if implemented by the City in earnest, would yield an absurd result insofar as it would deprive property owners of their legal rights and authorize illegal encroachments such as those at issue in this case.

For example, under Respondents' rationale, a property owner could construct an unpermitted "Trojan Horse" building appendage that extends onto its neighbor's property without that neighbor's express consent and then claim the two properties have become one "building site" such that all future development at the encroached-upon property now requires the encroacher's consent (until such time that any Code Enforcement action for the illegal construction concludes, assuming the City even chooses to prosecute the illegal unpermitted construction in the first place). In other words, under the 157 Parcel owner's theory, encroachers could effectively hold their neighbors hostage by "zoning capture."

The correct interpretation of the Code is that a building site (including the legal obligations and privileges associated therewith) is created for zoning and land development regulatory purposes only when there is *legal* development as provided by valid government permitting. *See McKibben v. Mallory*, 293 So.2d 48 (Fla.1974) (Construction of a statute which would lead to an absurd result should

be avoided). *See* Section 114-4 of the Code (“No building shall be erected, converted, enlarged, reconstructed, moved or structurally altered without approval of the planning and zoning director and the building official.”).

B. Where a building site includes multiple lots, a unity of control covenant is required contemporaneous with building permitting and *before* a building site can be created.

The Code states that all applications for building permits proposing development across multiple lots “shall” be accompanied by a unity of control covenant – specifically, a “unity of title” where there is only one owner of the multiple lots, or a “covenant in lieu of unity of title” where there are multiple owners of the multiple lots. *See* Section 118-5 of the Code. Such unity of control covenants serve to document and memorialize the owner(s) intent to bind the various underlying lots together for zoning and land development purposes as part of a unified development site and, accordingly, a building site. *Id.*

The Determination and Responses focus myopically on the Code definition of “building site” and in doing so obfuscate the wider zoning regulatory framework. Specifically, where legal development occurs on a single lot, that lot is the “building site”; but where development occurs over multiple lots, the Code requires that a unified development site must first be effectuated by covenant *before* development can occur (and thus *before* the building site can be legally established). This concept is not only law, it is common sense. Without such a

framework in place, the fact pattern now playing out in the instant case would occur regularly at the complete disregard of the most basic land development and subdivision regulations.

Tellingly, in the instant case, there is no unity of control covenant binding the 157 Parcel with the Strip as a unified development site. Similarly, there is no easement and operating agreement in place between the 157 Parcel and the Strip, as would be required by a covenant in lieu of unity of title where there are multiple owners. *See* Section 118-5(2)(e) of the Code. Such an easement and operating agreement is required to address cross-access, shared roadways and ingress/egress, maintenance of common elements, and a very wide array of other similar subject matter. *Id.*

In fact, the record demonstrates that the Strip was already joined to other properties by a unity of control covenant when the encroachments were “approved” and constructed. The Strip remains subject to that unity of control covenant today and is bound to a different building site and unified development site. That unity of control covenant and other related recorded City approvals are discussed in greater detail in sections further below.

C. The Strip was not subject to the 1990’s building permits for the 157 Parcel.

Permits create significant rights and obligations that attach to property. It follows that permitting activity must be expressly authorized by the underlying

property owner(s). Permitting application materials must also precisely describe the property that is subject to the permitting.

The City's confirms in its Response that the Determination is based solely and entirely on the Planning Director's review of the following evidence:

1. 1994 Building Permit plans B9400397 entitled "Renovations for Big Pink";² and
2. 1998 Building Permit plans B9801070 entitled "Interior Renovations for Ted's Hideaway".³

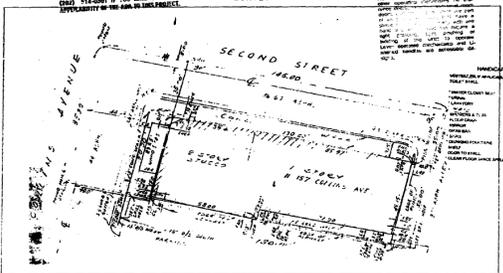
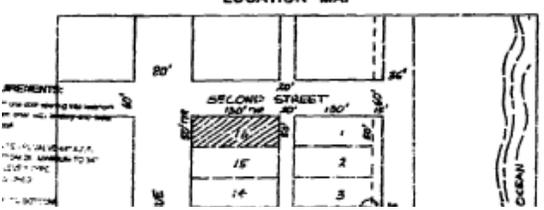
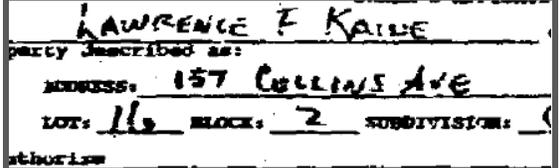
The City says that the evidence "clearly and unambiguously" identifies the 157 Parcel and Strip as the subject property of that permitting. [City Resp. at 7]. However, a close examination of the permit records necessitates the opposite conclusion. Specifically, the permit records conspicuously omit the Strip⁴ throughout, as follows:

² See Composite Exhibit "A".

³ See Composite Exhibit "B".

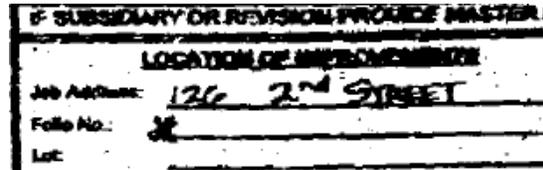
⁴ For reference, the Strip is identified by Folio no. 02-4204-003-0290, its address is 153 Collins Avenue, and its legal description is: the North ½ of Lot 15, Block 2, of "Ocean Beach, Fla.," according to the plat thereof as recorded in Plat Book 2, Page 38, of the Public Records of Miami-Dade County, Florida.

1994 Building Permit plans B9400397, entitled “Renovations for Big Pink”

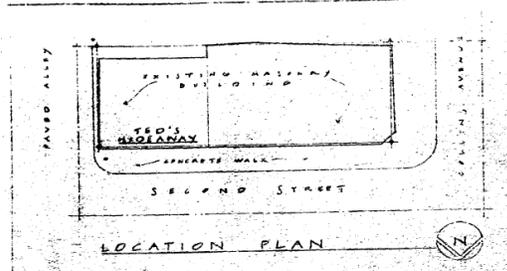
<p><u>Legal Description:</u> Included in signed/sealed Sheet A-0 Cover Sheet and stated as Lot 16, Block 2. <i>(does not include Strip).</i></p>	<p align="center">LEGAL DESCRIPTION</p> <p align="center">LOT 16, BLOCK 2, OCEAN BEACH, FLORIDA SUBDIVISION, RECORDED IN PLAT BOOK 2 AT PAGE 38 OF THE PUBLIC RECORDS OF DADE COUNTY, FLORIDA AREA OF LOT IS 6500 SQ.FT. OR 0.149 Ac. ±</p>
<p><u>Address:</u> Included in Sheet A-0 Cover Sheet and stated as 157 Collins Avenue, Miami Beach Florida. <i>(does not include Strip).</i></p>	 <p align="center">Renovations to: BIG PINK</p> <p align="center">157 Collins Avenue</p> <p align="right">LIST OF DRAWINGS</p>
<p><u>Survey:</u> Included in Sheet A-0 Cover Sheet <i>(does not include Strip).</i></p>	 <p align="center">SURVEY</p>
<p><u>Location Map:</u> Included in Sheet A-0 Cover Sheet <i>(does not include Strip).</i></p>	 <p align="center">LOCATION MAP</p>
<p><u>Owners Affidavit:</u> Submitted April 18, 1995, includes the legal description for 157 Collins - Lot 16, Block 2. <i>(does not include Strip).</i></p>	 <p align="center">LAWRENCE F KAINE</p> <p>Property described as:</p> <p>ADDRESS: 157 COLLINS AVE</p> <p>LOT: 16 BLOCK: 2 SUBDIVISION:</p> <p>Authorizes</p>
<p><u>Inspection Report:</u> Inspected August 25, 1995 - only includes 157 Collins Ave as Project location. <i>(does not include Strip).</i></p>	<p>PROJECT: 157 Collins Ave Miami Beach, FL</p>
<p><u>Notice of Commencement:</u> Description of property where improvements were being made only include legal description for the 157 Collins property - Lot 16, Block 2. <i>(does not include Strip).</i></p>	<p>Description of Property: Lot 16, Block 2, Ocean Beach, Florida, according to the Plat thereof, recorded in Plat Book 2, at Page 38 of the Public Records of Dade County, Florida also known as 157 Collins Avenue, Miami Beach, Florida 33139</p>

1998 Building Permit plans B9801070, entitled “Interior Renovations for Ted’s Hideaway”

Application:
only states the address as 126 2nd Street
(does not include Strip)



Location Plan
only includes 157 Collins and labels Ted’s Hideaway. Specifically delineates separation between 157 Collins and the Strip.
(does not include Strip)



Address:
On bottom right corner of each plan sheet states 126 2nd Street.
(does not include Strip)



Receipt for Building Work Permit only reference site address as 157 Collins Av and parcel #42030030300.
(does not include Strip).

Activity Number: B9801070
Status: CLOSED Issued By: BUILALAA
Site Address: 157 COLLINS AV MBCH
Parcel #: 42030030300 App

Notice of Commencement includes the legal description for the property address 124 2nd Street as Lot 16, Block 2. The description of improvement also only states “Interior Remodeling.”
(does not include Strip).

Legal description of property and street address: 124 2nd STREET MIA
LOT 16 BLOCK 2 OCEAN BEACH TR 2 P 38
Description of improvement: INTERIOR REMODELING

BP980583 Receipt for grease trap installation sub-permit Site Address: 157 Collins and parcel #42030030300.
(does not include Strip).

Activity Number: BP980583
IS: FINAL Issued By: BUILRODR
Site Address: 157 COLLINS AV MBCH
Parcel #: 42030030300 Appro

The City cannot point to express written authorization by the then-owner of the Strip allowing any permit work affecting the Strip (because it does not exist). Instead, the permit documents that the City says it is exclusively relying upon clearly and repeatedly demonstrate express legal owner authorization for development only at the 157 Parcel. Accordingly, the Strip cannot be part of any legal building site with the 157 Parcel.

A permit may not be issued for any building construction, erection, alteration, modification, repair, or addition unless the applicant for such permit complies with the requirements for plan review established within the Florida Building Code. *See* §553.79(8), Fla. Stat. (2023). It is unlawful for any person to construct, erect, alter, repair, secure, or demolish any building without first obtaining a permit from the appropriate board issuing authority. The issuing authority is also empowered to revoke any such permit upon a determination by the authority that the construction, erection, alteration, repair, securing, or demolition of the building for which the permit was issued is in violation of or not in conformity with the building code or the fire code. § 553.79(1), Fla. Stat. (2023).⁵

The 1990's permits are clearly defective and should be revoked by the City, at least to the extent that they affect or rely upon the Strip. *O. P. Corp. v. Lewis*,

⁵ In addition to public safety, permitting is also a means of keeping the tax assessor aware of improvements to property. When improvements are completed, the tax assessor is notified so that the real property taxes may be adjusted as appropriate.

373 So. 2d 929, 930 (Fla. 4th DCA 1979) (finding building permit revocation is warranted where there are material misrepresentations by applicant regardless of intent); *Dade County v. Gayer*, 388 So.2d 1292 (Fla. 3d DCA 1980) (a governmental entity may not be estopped from the enforcement of its ordinances by an illegally issued permit). The 157 Parcel owner did not include, nor did it have the authority to include, the Strip. Therefore, the 157 Parcel owner must relocate its grease trap and rethink its access plan. Such a result is consistent with basic principles of equity which demand that encroachments must be removed and any defects with the 157 Parcel's permitting impact only the 157 Parcel, not its neighbors.

Rather than address the problems with the 1990's building permitting head on, the City instead attempts to take cover and rely on partially illegible and otherwise dubious plans sheets with missing information, as well as its own divining of the then-owners' subjective intent, to reach the conclusion that the two properties are now a single building site. [City Resp. at 8]. Specifically, the City states that because certain plans sheets within the 1990 building permit files appear to show access to and encroachments upon the Strip, that the then-owner of the Strip intended to burden both properties as a single building site. [City Resp. at 1]. The City's desire to find justification is not based in reality. The City cannot glean any intent on behalf of the Strip owner given the complete absence of references to

the Strip's address, legal description, parcel number, or location, or any authorization by its owner in any permit application or plans submitted by the 157 Parcel owner.

Again, the plans sheets referenced by the City state on their face that they are limited to the 157 Parcel only.⁶ Those plan sheets are self-described as “renovations” and “interior remodeling” to the existing building at the 157 Parcel (not an expansion to the adjacent Strip).⁷ Moreover, the Planning Director is not authorized to infer the subjective intent of the prior owner or unilaterally reform the building permit documents to correct errors of the past when determining whether a legal building site was created. He must objectively base his findings on competent substantial evidence in the record. *First Baptist Church v. Miami-Dade Cty.*, 768 So. 2d 1114, 1116 (Fla. 3d DCA 2000) (“flawed” and “erroneous” staff recommendations are “invalid” and “d[o] not constitute competent evidence”). Such objectivity is also a hallmark of fair, impartial adjudication. *See Charlotte Cty v. IMC Phosphates Co.*, 824 So.2d 298 (Fla. 1st DCA 2002) (impartial decision-maker is basic component of minimum due process).

The City's conclusion in the Determination that the Strip became part of a building site with the 157 Parcel by virtue of the faulty 1990's permitting manifests

⁶ See Composite Exhibits “A” and “B”.

⁷ *Id.*

a convenient end for the City without Code or other legal justification and should be rejected. Government decisions must be based on law, and,

[t]he [courts] . . . will not and cannot approve a zoning regulation-or any governmental action adversely affecting the rights of others-which is based on no more than the fact that those who support it have the power to work their will.

Debes v. City of Key West, 690 So. 2d 700, 702-03 (Fla. 3d DCA 1997) (citation omitted). *See also Grabba-Leaf, LLC v. Dep't of Bus. & Prof'l Regulation*, 257 So. 3d 1205 (Fla. 1st DCA 2018) ("Agency interpretations and applications must comport with the laws they are carrying out. And if they cannot be squared with the laws, their interpretations and applications must give way.").

One alternative explanation for the City's issuance of the 1990's building permits to only the 157 Parcel, notwithstanding possible encroachments on the Strip, is that the then-City staff perceived those encroachments as mere devices that could be removed or relocated whenever necessary. However, this theory assumes that the City was aware that the encroachments were occurring notwithstanding that the permits identified only the 157 Parcel as the subject property. In any case, Appellant hereby reiterates its position from the initial Petition: limited temporary or moveable items should not, in fairness, automatically establish a new "building site." A "building site" must be based on the relevant permit history and land use board approval history for all the properties subject to the building site. It should

not be the case that one neighbor be permitted to lay regulatory claim to another's property simply by installing a grease trap or using a walkway.

II. An Action By the Planning Director Must Consider All Substantial Competent Evidence.

A. The City continues to ignore relevant evidence.

The City admits in its Response that the Determination was based solely on the two 1990's building permits and reiterates that the City refuses to consider other evidence, as follows:

The analysis in the Determination is limited to the Strip and the 157 Collins Parcel. Appellant introduces additional evidence that suggests that a larger building site may exist, composed of the 157 Collins Parcel, the Strip and the lots to the south of the Strip. This exceeds the scope of the Determination. . . ." [City Resp. at 6].

The City's refusal to meaningfully consider evidence demonstrating that the Strip is already part of a separate development and building site is not only improper from an evidentiary perspective, but is also disingenuous given that the Determination states on its face that such evidence (or presumed lack thereof) was a central rationale for the Determination, as follows:

As more specifically noted herein, it appears that the Strip is not currently part of a unified development site or single building site with properties to the south. [Determination at 1-2].

The City cannot have it both ways.

As a matter of law, the Determination must be based on a meaningful and objective review of the available competent substantial evidence. *First Baptist Church*, 768 So. 2d 1114. The City cannot ignore evidence simply because that evidence contradicts the conclusion reached in the Determination. *Id.*; *IMC Phosphates Co.*, 824 So.2d 298. The Code even specifically requires the City's Land Development Regulations to be read, where possible, in harmony with "any easements covenants, or other agreements between parties," as follows:

It is not intended by these land development regulations to interfere with or abrogate or annul any easements, covenants, or other agreements between parties, or to repeal any provisions of the City Code. Where the regulations imposed by these land development regulations are more restrictive than those imposed by any other ordinances, rules, regulations, easements, covenants or agreements, then these land development regulations shall supersede them; however, when any of the above are more restrictive than this subpart, then the more restrictive provision shall govern to the extent necessary to give effect to its provisions.

See Section 114-2(b) of the Code. By focusing myopically only on the mere existence of 1990's building permits for the 157 Parcel to the exclusion of all other available evidence, the City has disregarded the law. *Id.* The Determination must be rescinded, and the Planning Director must consider all of the relevant evidence.

B. The City must consider the zoning approval, recorded covenant, and building permit history of the Strip

As referenced above and set forth in greater detail in the Petition, the Strip is already part of another building site and development site. Specifically, the Strip is subject to a zoning covenant recorded in connection with approval of **three** Board of Adjustment (“BOA”) applications for variances to permit the development of a proposed parking facility.⁸ Those BOA orders require as a condition that the lots (which include the Strip) “shall be combined ... through a covenant running with the land.” *See e.g.*, Condition 3 of Board of Adjustment Order under File No. 2083-B recorded in Miami-Dade County public records at Book 14864, Page 720.

The recorded covenant contains that same unification language. *See* Pages 1-2 of the Declaration recorded in Miami-Dade County Public Records at Official Records Book 14864, Page 725.⁹ Indeed, the Code at the time required a unity of control covenant. *See* Section 7-3 of the City’s 1989 zoning ordinance.¹⁰ Simply put, the Strip is not just an isolated piece of property – it was part of the BOA approvals for another project and is still recognized as part of a larger building site and unified development site by virtue of a recorded covenant running with the land for zoning purposes.

⁸ *See* Composite Exhibit “C”.

⁹ *See* Exhibit “D”.

¹⁰ *See* Exhibit “E”.

Below is a summary of the key evidence in this case arranged chronologically. The City says it will ignore everything except the items in **bold**.

<u>DATE</u>	<u>DOCUMENT</u>	<u>DESCRIPTION</u>
Meeting: 11/2/1990 Signed: 1/17/1991 Recorded: 1/17/1991	File No. 2081-B recorded in Official Records Book 14864 at Page 722 of the Public Records of Miami-Dade County, Florida. <i>See</i> Exhibit "C-1".	Board of Adjustment order
Meeting: 11/2/1990 Signed: 1/17/1991 Recorded: 1/17/91	File No. 2082-B recorded in Official Records Book 14864 at Page 719 of the Public Records of Miami-Dade County, Florida. <i>See</i> Exhibit "C-2".	Board of Adjustment order
Meeting: 11/2/1990 Signed: 1/17/1991 Recorded: 1/17/1991	File No. 2083-B recorded in Official Records Book 14864 at Page 716 of the Public Records of Miami-Dade County, Florida. <i>See</i> Exhibit "C-3".	Board of Adjustment order
Signed: 12/7/1990 Recorded: 1/17/1991	Covenant Running With the Land, recorded in Official Records Book 14864 at Page 725 of the Public Records of Miami-Dade County, Florida. <i>See</i> Exhibit "D".	Parking facilities / Unity of Title
Approved: 9/6/1994	Process No.: B9400397 <i>See</i> Exhibit "A".	Renovations to Big Pink permit
Approved: 2/10/1998 Approved: 3/13/1998	Process No.: B9801070 <i>See</i> Exhibit "B". Process No.: BP98053	Interior Remodeling for Ted's Hideaway

	<i>See</i> Exhibit “B-5”.	Grease trap sub-permit
Approved 2014	Process No. B1405045 <i>See</i> Exhibit “F”.	Big Pink Building Concrete Repair *Originally Cover sheet stated “151 Collins” received 7/10/14 but was replaced with “157 Collins” received on 7/21/14; all information provided on the permit documents indicate that the “151” reference was in fact a typographical error.

There are two properties subject to the Determination – the 157 Parcel and the Strip. The City cannot consider only the 157 Parcel’s building permit and land use approval history. It must also consider the Strip’s. Substantial competent evidence is evidence that establishes “a substantial basis of fact from which the fact at issue can be reasonably inferred.” *DeGroot v. Sheffield*, 95 So. 2d 912, 916 (Fla. 1957). It is “such relevant evidence as a reasonable mind would accept as adequate to support a conclusion.” *Id.* The Planning Director’s overt unwillingness to review the Strip’s zoning history, the recorded covenant, or permitting file means that he did not form a reasonable basis of fact to support his conclusions or the Determination that rested on them. *Id.* The City refutes the “other evidence”

(which it also says it will not consider as part of the Determination) merely because that evidence undermines the Determination. Specifically, the other evidence demonstrates that the Strip is already part of another building site and unified development site.

The effect of the Covenant is that the Appellant's Property is considered part of a unified building site under single ownership. Importantly, the Covenant shall be construed as a unity of title for the parking use pursuant to Section 7-3.B of the 1989 Zoning Code.¹¹ Moreover, as explicitly stated in the Covenant, no portion of the Appellant's Property may be encumbered in any way unless the Covenant is terminated by the Appellant upon written consent from the City, which has not occurred.

C. The City must consider the private agreements between the parties.

Because the City failed to notify or otherwise solicit input from Appellant prior to issuing the Determination as discussed in the section below, the City was not aware of relevant private agreements between the parties when formulating the Determination. When Appellant alluded to such agreements in the instant Appeal, the City responded that such evidence is irrelevant. The Code specifically requires the City's Land Development Regulations to be interpreted, where possible, in harmony with "any easements, covenants, or other agreements between parties . .

¹¹ See "Exhibit E".

.” (emphasis added). Section 114-2(b) of the Code. In no uncertain terms, the Planning Director was obliged to consider additional information.

As set forth in the Petition, the 157 Parcel owner signed an agreement when it purchased the 157 Parcel expressly acknowledging that the sale of the property did not include any right, easement, or license to use the Strip. This agreement served to confirm that 157 Parcel owner, who remains the owner of the 157 Parcel, did not have a right of ingress, egress, or any other authorization to use the Strip other than through a lease of that parcel. *See* handwritten agreement in addendum to the deed recorded in Miami-Dade County Public Records at Official Records Book 26460, Page 1553.¹²

While this is a private agreement, it further evinces that the parties understood that control of the Strip is exclusively held by Appellant, and thus demonstrates that 157 Parcel owner acted in bad faith when it sought the Determination from the City. This duplicitous behavior is further supported by the 157 Parcel owner communicating in writing to the Strip owner on August 17, 2022 that the 157 Parcel owner had no need to utilize the Strip.¹³ On August 18, 2022, the representative for the Strip owner acknowledged the 157 Parcel owner's request to terminate the lease for the Strip and advised that a fence would be erected in the

¹² *See* “Exhibit “G”.

¹³ *See* “Exhibit “H”.

future.¹⁴ Then, on September 8, 2022 the 157 Parcel owner’s representatives claimed in the Determination request letter to the Planning Director that access to the Strip by the 157 Parcel owner is “necessary.” *See* Letter from Stroock & Stroock & Lavan LLP to Planning Director Dated September 8, 2022.¹⁵

This statement is not true. The 157 Parcel owner advised the Strip owner that, while the 157 Parcel owner’s lease of the Strip had “enabled my restaurant Big Pink to keep a large trash compactor/dumpster and storage facility on [the Strip] . . . [s]everal years ago, I relocated the dumpsters and storage facility onto [the 157 Parcel],” and the 157 Parcel owner further advised “I wish to terminate the lease” for the Strip. *See* Correspondence dated August 17, 2022.¹⁶ This written request of termination of the lease agreement is direct evidence to the fact that the 157 Parcel owner does not consider the Strip part of its building site.

The City ignores the additional evidence, and the 157 Parcel owner’s bad faith because, again, the evidence undermines the Determination. Specifically, the additional evidence demonstrates that the Strip (1) is already part of another building site and unified development site, and (2) is not, nor has it ever, been considered a part of the 157 Parcel building site.

III. The Determination was issued *Ultra Vires* and violates due process.

¹⁴ *See* “Exhibit ‘I’”

¹⁵ *See* “Exhibit ‘J’”.

¹⁶ *See* “Exhibit ‘H’”.

A. The Determination is not a legal enforcement action, but rather an illegal advisory opinion.

The Code does not permit the Planning Director to issue advisory opinions or unilaterally adjudicate property rights of an individual property owner, much less at the request of a third party and without notice to the subject property owner. Here, the Determination did all of those things in violation of the law and due process and should be rescinded or voided. *Corona Properties of Florida, Inc. v. Monroe Cnty.*, 485 So. 2d 1314 (Fla. 3d DCA 1986) (finding a zoning official's vested rights determination letter to be *ultra vires* and void where no express code authority was granted to zoning official to issue such letters); *See also Ammons v. Okeechobee Cnty.*, 710 So. 2d 641, 644 (Fla. 4th DCA 1998) (finding that county properly revoked unlawfully issued occupational license that was issued in reliance on a letter from zoning official that "was completely unauthorized and in violation of the legislative direction through the county's ordinances.").

The Code empowers the City's planning division (among others) to "enforce the provisions of [the City's] land development regulations" *See* Section 114-7 of the Code. Within that context, the Planning Director or his designee may refuse to approve applications for permits that would violate the land development regulations. *Id.* The Planning Director may also assist with "putting an end" to violations of the land development regulations by working with the City's Code Compliance department. *Id.* Consistent with the foregoing delegation of authority,

the Code provides specific scenarios under which the Planning Director may issue “determinations,” including for nonconforming uses, outdoor entertainment establishments, removal of parking spaces, accessory uses, supplementary yard regulations, and various other unique subject matter. *See* Sections 142-136, 118-397, 130-35, and 142-1131 of the Code.

The Code does not empower the Planning Director to issue “building site” determinations such as the one made here. Moreover, the Determination did not arise from a land development application before the City, but rather a letter from 157 Parcel’s counsel stating “[Appellant] has told [157 Parcel owner] that it believes that it has the right to erect a fence on [the Strip] immediately adjacent to [the 157 Parcel].” *See* Letter from Stroock & Stroock & Lavan LLP to Planning Director Dated September 8, 2022.¹⁷ The Planning Director does not have authority under the Code to issue determinations where there is no actual enforcement issue before him – i.e. an application, not just a rumor of one. *See* Section 114-7 of the Code. Therefore, the Determination is tantamount to an advisory opinion, which is also not permitted by the Code.

For a government to go about inventing imaginary provisions of its own Code and purporting to authorize the Planning Department and Director to re-characterize land use, without process or criteria, is the essence of arbitrary and

¹⁷ *See* “Exhibit ‘J’”.

capricious government action. That constitutes a miscarriage of justice for anyone appearing before the government. *See Alvey v. City of North Miami Beach*, 206 So. 3d at 68.

B. The Determination was improperly issued without authorization from, or proper notice to, Appellant.

Section 118-9(b)(1)(A) of the Code states that written determinations of the Planning Director may be challenged by eligible parties including but not limited to the “Original applicant/property owner.” While no additional guidance is offered in the Code, the foregoing language (including the use of a “/” between “applicant” and “owner) suggests that the Planning Director may issue determinations only to the subject property owner, or an applicant that is duly authorized by the owner in the context of an active land development application. Consistent with the foregoing Code language, the City has refused requests for determinations by non-owners in the past. For example, on May 3, 2023, the Planning Director informed another determination applicant as follows:

I have discussed your request . . . for an administrative determination regarding the property at [*address redacted*] with the City Attorney’s office; Nick Kallergis, Deputy City Attorney, is copied. Since your client does not own the parcel at [*address redacted*] I cannot provide an administrative determination for this property.

See Email dated May 3, 2023 at 6:08pm from Planning Director Thomas R. Mooney to Sanchez-Meina, Gonzalez, Queada, Lage, Gomez & Machado LLLP.¹⁸

¹⁸ *See* “Exhibit “K”.

In the present case, the Determination was issued at the sole request of the 157 Parcel owner, breaking with the City's own policy. To make matters worse, Appellant did not even learn about the Determination until after it was issued. The City also failed to provide legal notice to Appellant of the request for the Determination that would severely impact its property rights. It is unclear why the City did not involve Appellant in discussions, solicit evidence from Appellant, or otherwise formally notify Appellant of the Determination. In any case, based on the foregoing facts, the Determination was improperly issued without authorization from Appellant, and the City's failure to communicate with Appellant or provide Appellant with legal notice of the Determination is a significant due process violation. At a minimum, procedural due process requires notice that affords a property owner a meaningful opportunity to be heard on a decision affecting his or her property interest. *See Goldberg v. Kelly* 397 U.S. 254 (1970).

IV. Appellant Objects to 157 Owner's "Undisputed" Facts.

The 157 Parcel owner's response refers to several assumptions as "undisputed" facts. This is deceptive. The response conflates the issues and misrepresents the definition of a building site. The response highlights the various facilities that are accessed via the Strip in an attempt to justify its claim to the Strip. However, it is a fact that "access" is **not** included in the definition of building site. *See* 114-1 of the Code. It is also a fact that (i) door swing projections,

(ii) utility meters and electrical panels, (iii) grease traps, (iv) driveways, (iv) walkways, (v) life/safety ingress and egress, (vi) garbage dumpsters and cans, (vii) delivery areas, and (ix) storage areas are **not** included in the definition of building site. *Id.* These facilities are not structural improvements and therefore the Code does not recognize them as elements of a building site.

The response suggests that the 157 Parcel owner cannot relocate or otherwise reprogram its encroachments in the Strip. The only justification for this assertion is that the 157 Parcel owner does not want to incur unwanted expenses. Unfortunately, the encroachments were not lawfully installed and must be removed.

V. The Determination Inordinately Burdens the Strip Owner.

The Determination is also illegal because it is designed to preclude further development of the entire Property until the neighbor authorizes development. That authorization might or might not ever come, but Appellant will, according to the City, be required to maintain the Property as a paved strip until it does. According to the City, Appellant cannot even block access to its own property now unless the neighbor agrees. [City Resp. at 8]. The City has effectively transformed private property into a public alleyway, open for all to use (and to the specific benefit of the 157 Parcel owner).

To provide a benefit that "the people want," unfairly and unlawfully imposes exclusively upon Appellant a significant financial burden for a public benefit, a burden that in fairness should be borne by the public at large. *See Armstrong v. United States*, 364 US 40, 49 (1960)("The Fifth Amendment's guarantee that private property shall not be taken for a public use without just compensation was designed to bar Government from forcing some people alone to bear public burdens which, in all fairness and justice, should be borne by the public as a whole"). The Determination also effectively constitutes an illegal development exaction on prospective future development. *See Nollan v. California Coastal Commission*, 483 US. 825 (1987); *Dolan v. City of Tigard*, 512 US. 374 (1994).

Respectfully submitted,

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By: /s/ Tracy R. Slavens

Tracy R. Slavens

Fla. Bar No. 678031

Wesley J. Hevia

Fla. Bar No. 123839

CERTIFICATE OF SERVICE

I HEREBY CERTIFY that on this 11th day of September, 2023, a true and correct copy of the foregoing was served via electronic mail as follows:

<p>Jeffrey S. Bass, Esq. SHUBIN & BASS, P.A. 150 W. Flagler Street Suite 1420 Miami, Florida 33130 Phone: (305) 381-6060 Facsimile: (305) 381-9457 jbass@shubinbass.com dfalce@shubinbass.com evaughan@shubinbass.com eservice@shubinbass.com Counsel for 157 Collins Ave LLC</p>	<p>Nick Kallergis, Esq. OFFICE OF THE CITY ATTORNEY 1700 Convention Center Drive 4th Floor Miami Beach, Florida 33139 nickkallergis@miamibeachfl.gov Counsel for Appellee, City of Miami Beach</p>
<p>Paul A. Shelowitz, Esq. STROOK & STROOK & LAVAN LLP 200 South Biscayne Blvd. Suite 3100 Miami, Florida 33131 pshelowitz@stroock.com Counsel for 157 Collins Ave LLC</p>	<p>Thomas Mooney PLANNING DEPARTMENT 1700 Convention Center Drive 2nd Floor Miami Beach, Florida 33139 ThomasMooney@miamibeachfl.gov DeborahTackett@miamibeachfl.gov MichaelBelush@miamibeachfl.gov Planning Director, City of Miami Beach</p>

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Composite Exhibit A	1994 Building Permit B9400397 “Renovations for Big Pink”
Exhibit A-1	Building Plans for Permit B9400397
Exhibit A-2	April 18, 1995 Owner’s Affidavit
Exhibit A-3	August 25, 1995 Inspection Report
Exhibit A-4	July 18, 1996 Notice of Commencement
Composite Exhibit B	1998 Building Permit B9801070 “Interior Renovations for Ted’s Hideaway”
Exhibit B-1	Application for Permit B9801070
Exhibit B-2	Building Plans for Permit B9801070
Exhibit B-3	Receipt for Permit B9801070
Exhibit B-4	February 10, 1998 Notice of Commencement
Exhibit B-5	Receipt for Grease Trap Sub-permit BP980583
Composite Exhibit C	Board of Adjustment Approvals
Exhibit C-1	Recorded Board Order for File 2081-B
Exhibit C-2	Recorded Board Order for File 2082-B
Exhibit C-3	Recorded Board Order for File 2083-B
Exhibit D	Covenant Running with Land
Exhibit E	Section 7-3 from Zoning Ordinance 89-2665
Exhibit F	2014 Building Permit B1405045 Plans “Concrete Repair”
Exhibit G	Warranty Deed with Handwritten Agreement Addendum
Exhibit H	August 17, 2022 Communication from 157 Parcel Owner
Exhibit I	August 18, 2022 Communication from Strip Representative
Exhibit J	September 8, 2022 Zoning Determination Request
Exhibit K	May 3, 2023 Denial of Planning Determination from Planning Director

Exhibit A-1

PERMIT #
B 9400397

ADDRESS
157 Collins Avenue



OUTSIDE AIR RECAPITULATION

UNIT NO.	AREA SERVED	NO. PEOPLE	OUTSIDE AIR	RECAPITULATION	REMARKS
1001
1002
1003
1004
1005
1006
1007
1008
1009
1010
1011
1012
1013
1014
1015
1016
1017
1018
1019
1020

NOTES:
 1. CHECK FOR PROVISIONS FOR VENTILATION SHALL BE THE RESPONSIBILITY OF THE ARCHITECT.
 2. PROVIDE AN ACCURATE LAYOUT, GRADE, AND ELEVATION SET SHEETS AND DRAWINGS IN ALL TYPES AND PROPER INDICATIONS TO PROTECT WORK AND EQUIPMENT FROM DAMAGE.

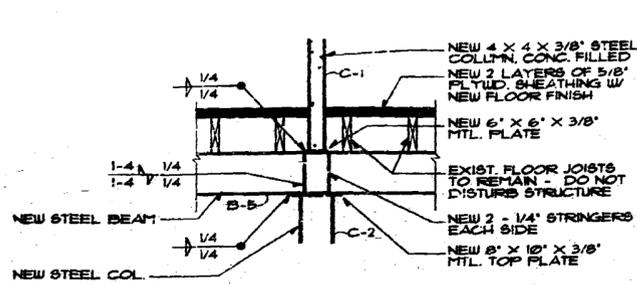
FAN SCHEDULE

UNIT NUMBER	SP-1	SP-2
AREA SERVED
LOCATION
DUTY
FAN TYPE
DRIVE
FAN SPEED
AIR QUANTITY
TOTAL STATIC PRESSURE
OPENING REQUIRED
FAN MOTOR
ELECTRICAL CHARACTER.
MANUFACTURER
MODEL NUMBER
WEIGHT
REMARKS

NOTES:
 1. SWITCH WITH LIGHTS.
 2. PROVIDE SOLID STATE SPEED CONTROLLER.

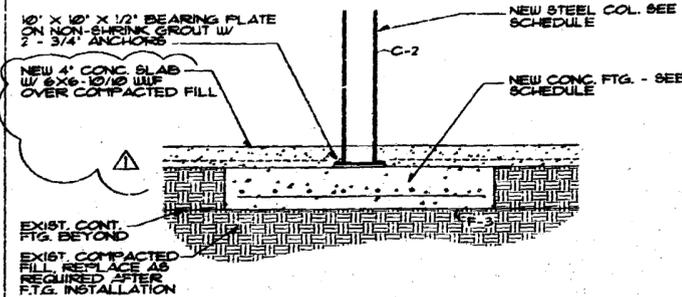
AIR DISTRIBUTION SCHEDULE

SYMBOL	SIZE	TYPE	MODEL SERIES	REMARKS
A	3600	T100	PAS-AA-CBD-01	SUPPLY
B	3600	T100	TDC-AA-CBD-01	SUPPLY
C	3600	T100	TDC-AA-CBD-01	SUPPLY
D	3600	T100	TDC-AA-CBD-01	SUPPLY
E	3600	T100	TDC-AA-CBD-01	SUPPLY
F	3600	T100	TDC-AA-CBD-01	SUPPLY
G	3600	T100	TDC-AA-CBD-01	SUPPLY
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J	3600	T100	TDC-AA-CBD-01	SUPPLY
K	3600	T100	TDC-AA-CBD-01	SUPPLY
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R	3600	T100	TDC-AA-CBD-01	SUPPLY
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V	3600	T100	TDC-AA-CBD-01	SUPPLY
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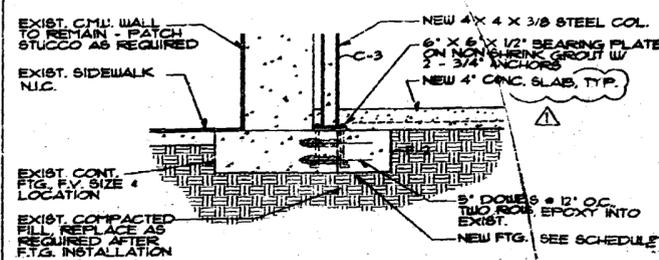
1 BEAM/COLUMN DETAIL

SCALE: 3/4" = 1'-0"



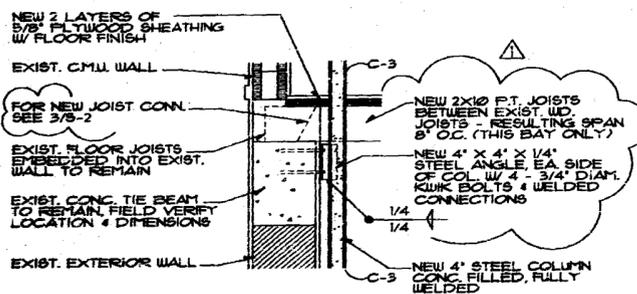
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SCALE: 3/4" = 1'-0"



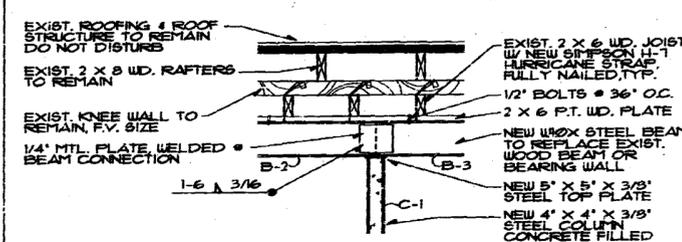
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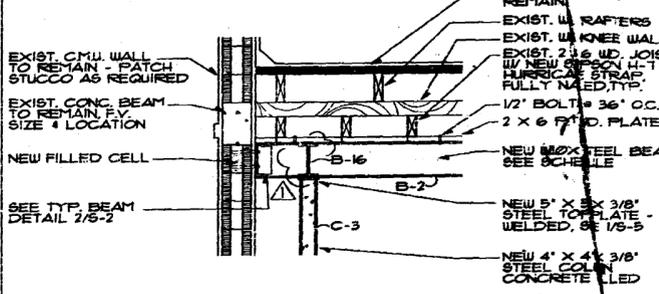
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SCALE: 3/4" = 1'-0"



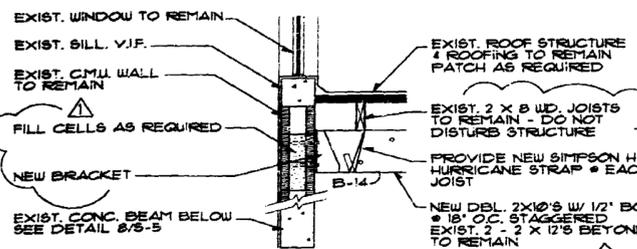
5 ROOF STRUCTURE

SCALE: 3/4" = 1'-0"



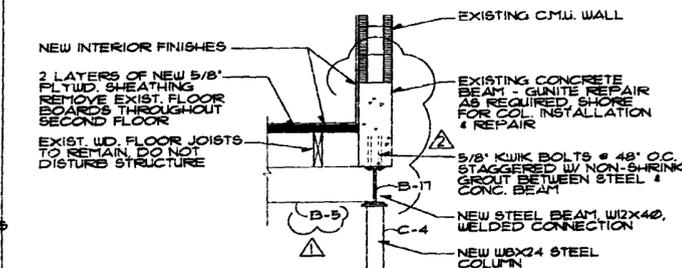
6 BEAM DETAIL

SCALE: 3/4" = 1'-0"



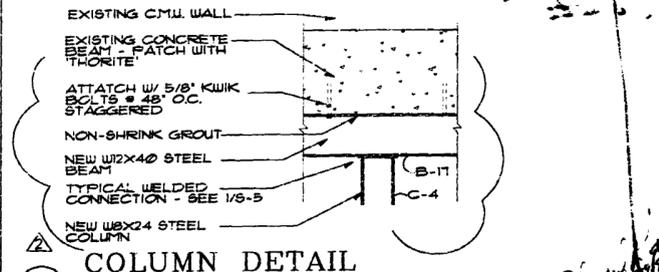
7 BEAM DETAIL

SCALE: 3/4" = 1'-0"



8 BEAM DETAIL

SCALE: 3/4" = 1'-0"



9 COLUMN DETAIL

SCALE: 3/4" = 1'-0"

NOTE: STEEL MANUFACTURERS TO SUBMIT SHOP DRAWINGS TO ARCHITECT/ENGINEER FOR APPROVAL PRIOR TO FABRICATION

RENOVATIONS TO:
BIG PINK
 187 Collins Avenue
 Miami Beach, Florida 33139

STRUCTURAL
 DETAILS

REVISIONS:
 06-19-96
 07-08-96

DATE: 05-04-96
 PROJECT: "BIG PINK" - 000
 SCALE: 3/4" = 1'-0"
 DRAWN BY: V.B.
 APPROVED:

S-5

Renovations to: BIG PINK

157 Collins Avenue

Miami Beach, Florida

LIST OF DRAWINGS

ARCHITECTURAL

- A-0 COVER SHEET
- A-1 GROUND LEVEL FLOOR PLAN
- A-2 GROUND LEVEL REFLECTED CEILING PLAN
- A-3 SECOND FLOOR PLAN
- A-4 SECOND FLOOR REFLECTED CEILING PLAN
- A-5 ROOF PLAN
- A-6 GENERAL NOTES
- A-7 INTERIOR ELEVATIONS AND DETAILS
- A-7a INTERIOR ELEVATIONS AND DETAILS
- A-8 ENLARGED PUBLIC RESTROOMS
- A-8a ENLARGED BATHROOMS
- A-9 ARCHITECTURAL DETAILS
- A-10 SCHEDULES AND SPECIFICATIONS

EQUIPMENT

- Q-1 EQUIPMENT PLAN
- Q-2 PLUMBING ROUGH-IN
- Q-3 ELECTRICAL ROUGH-IN

PLUMBING

- P-1 GROUND FLOOR PLUMBING PLAN
- P-2 SECOND FLOOR PLUMBING PLAN
- P-3 DIAGRAMS
- P-4 DIAGRAMS AND DETAILS

ELECTRICAL

- E-1 GROUND FLOOR ELECTRICAL POWER PLAN
- E-2 SECOND FLOOR ELECTRICAL POWER PLAN
- E-3 GROUND FLOOR LIGHTING PLAN
- E-4 SECOND FLOOR LIGHTING PLAN
- E-5 PANELS, RISER
- E-6 NOTES

MECHANICAL

- M-1 GROUND FLOOR HVAC PLAN
- M-2 SECOND FLOOR HVAC PLAN
- M-3 NOTES AND DETAILS

STRUCTURAL

- S-1 FOUNDATION/GROUND FLOOR FRAMING PLAN
- S-2 SECOND FLOOR AND LOW ROOF FRAMING PLAN
- S-3 ROOF FRAMING PLAN
- S-4 STRUCTURAL BUILDING SECTIONS
- S-5 STRUCTURAL DETAILS

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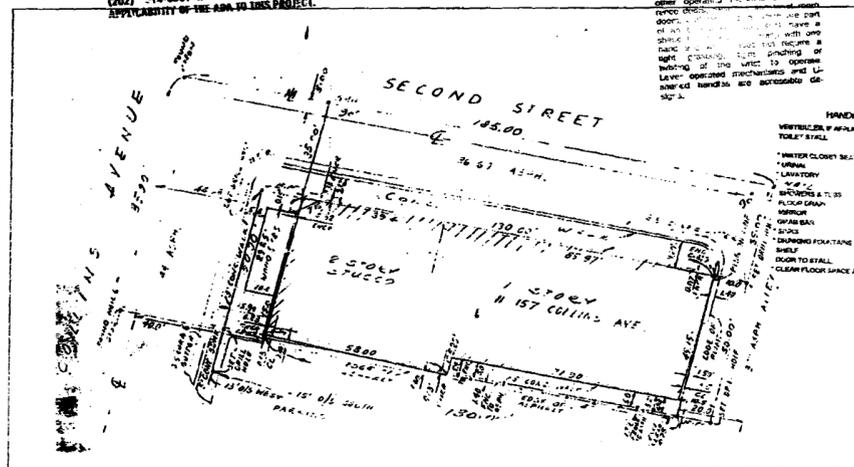
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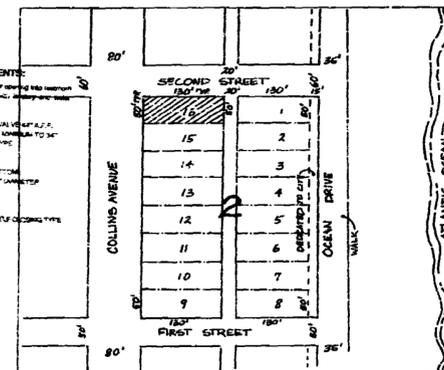
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 PLUMBING: *[Signature]*
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 MECHANICAL: *[Signature]*
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 PUBLIC WORKS: *[Signature]*
 STRUCTURAL: *[Signature]*
 ACCESSIBILITY: *[Signature]*
 ELEVATOR: *[Signature]*

NOTICE TO OWNER, DESIGNER & CONTRACTOR
 THIS PLAN HAS BEEN REVIEWED FOR COMPLIANCE WITH THE PRESENT REQUIREMENTS OF THE SOUTH FLORIDA BUILDING CODE ONLY. PLEASE CONTACT THE OFFICE ON THE AMERICANS WITH DISABILITIES ACT (ADA) AT (305) 514-0301 IF YOU HAVE CONCERNS ABOUT THE APPLICABILITY OF THE ADA TO THIS PROJECT.

SURVEY

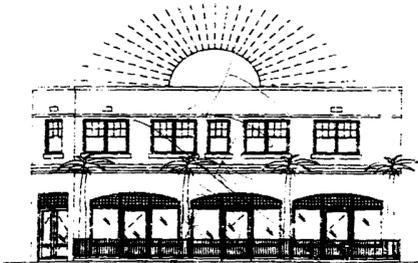


LOCATION MAP



LEGAL DESCRIPTION

LOT 16, BLOCK 2, OCEAN BEACH, FLORIDA SUBDIVISION, RECORDED IN PLAT BOOK 2 AT PAGE 38 OF THE PUBLIC RECORDS OF DADE COUNTY, FLORIDA. AREA OF LOT IS 6500 SQ.FT. OR 0.149 AC. ±



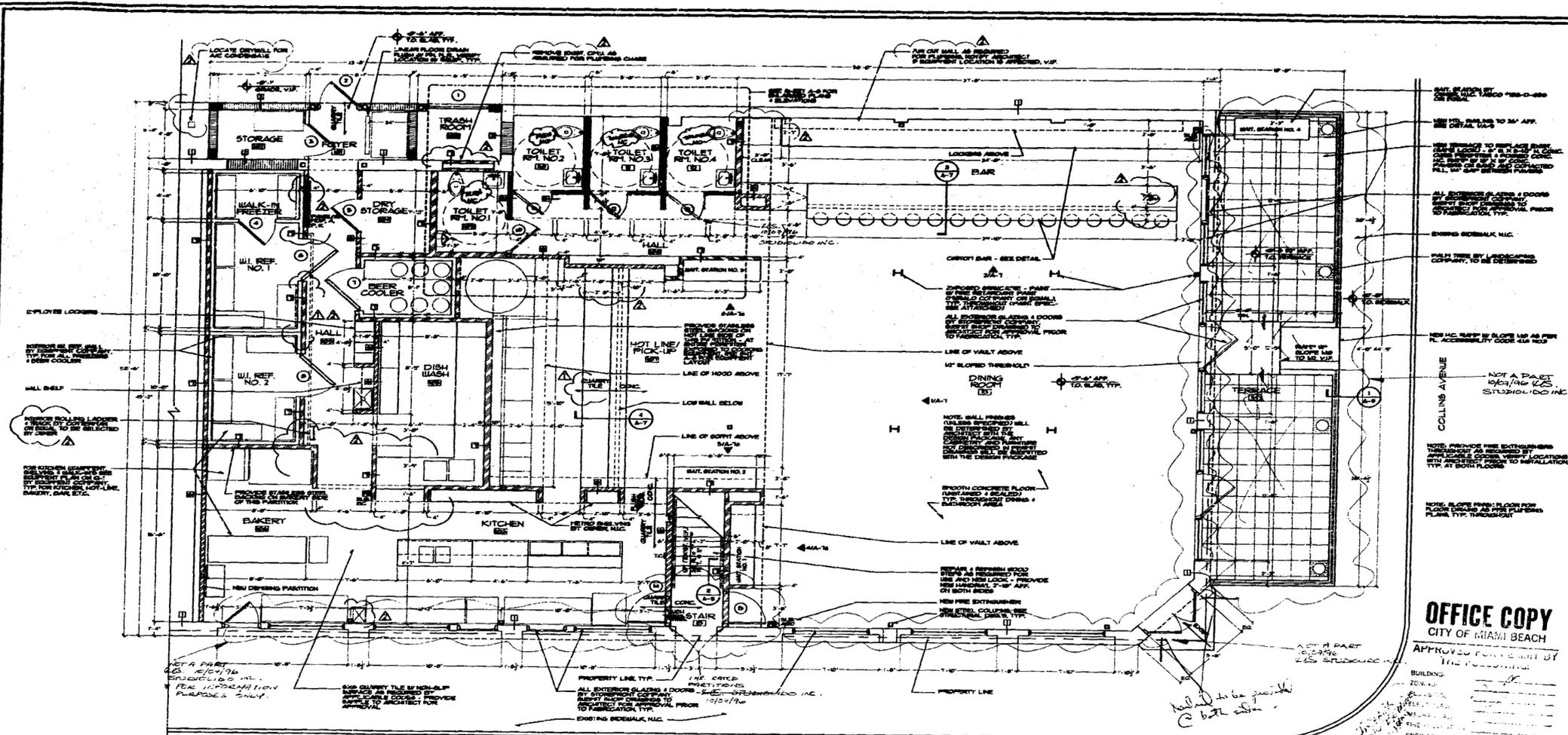
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STRUCTURAL ENGINEER
 ED LANDERS
 (305) 823-3938

M.E.P. ENGINEER
 DAVID PUGA & ASSOCIATES
 (305) 861-7700

SURVEYORS
 ZURWELLE-WHITAKER, INC.
 (305) 534-4658

EQUIPMENT BY ARROW INDUSTRIES
 RAUL PINERO
 (305) 635-6500



GROUND FLOOR PLAN
 SCALE: 1/4" = 1'-0"
 INTERIOR ELEVATIONS

PARTITION TYPES

[Symbol]	EXISTING 8" CMU WALL TO REMAIN - 1/2" SMOOTH SANDED BRUCCO FINISH ON INTERIOR OF WALLS, MATCH EXTERIOR AS REQUIRED
[Symbol]	NEW 8" CMU WALL, 1/2" SMOOTH SANDED BRUCCO FINISH ON INTERIOR
[Symbol]	NEW PARTITION - HTL. STUDS @ 24" O.C. AS PER PLAN & 5/8" OC. 1/2" GYPSUM BOARD ON BOTH SIDES
[Symbol]	NEW PARTITION - HTL. STUDS @ 24" O.C. AS PER PLAN & 5/8" OC. 1/2" GYPSUM BOARD ON BOTH SIDES
[Symbol]	NEW PARTITION - HTL. STUDS @ 24" O.C. AS PER PLAN & 5/8" OC. 1/2" GYPSUM BOARD ON BOTH SIDES
[Symbol]	NEW PARTITION - HTL. STUDS @ 24" O.C. AS PER PLAN & 5/8" OC. 1/2" GYPSUM BOARD ON BOTH SIDES
[Symbol]	NEW PARTITION - HTL. STUDS @ 24" O.C. AS PER PLAN & 5/8" OC. 1/2" GYPSUM BOARD ON BOTH SIDES
[Symbol]	NEW PARTITION - HTL. STUDS @ 24" O.C. AS PER PLAN & 5/8" OC. 1/2" GYPSUM BOARD ON BOTH SIDES

- NOTE:**
1. PROVIDE GUARDROCK WHERE REQUIRED FOR TILE INSTALLATION UNLESS OTHERWISE NOTED
 2. PROVIDE PAINT FINISH AS PER ARCHITECT'S INSTRUCTIONS
 3. DETAIL ALL JOINTS TO BE TYPED BY FABRICATOR TYPE AND CORROSION RESISTANT. DETAIL ALL CORNER WALLS AND STAIRS AS PER TRADES/PERMITS RECOMMENDATIONS. CORNER WALLS AND OTHER ACCESSORIES TO BE GALV. STEEL.
 4. USE 2" X 4" S&W HTL. STUDS FOR PARTITIONS NOTED AS 4" PER PLAN. USE OTHER SIZES AS NEEDED TO ACCOMMODATE SPECIAL CONDITIONS.
 5. PROVIDE FRAMES FROM BUCKING OTHER PARTITION CONSTRUCTION WHERE PARTITION IS NOT TO CORNER. SEE DETAIL FOR PARTITION CONSTRUCTION. SEE PARTITION & DETAIL TO CORNER. SEE DETAIL FOR PARTITION CONSTRUCTION. SEE PARTITION & DETAIL TO CORNER.

RENOVATIONS TO:
BIG PINK
 157 Collins Avenue
 Miami Beach, Florida 33139

GROUND FLOOR/SITE PLAN

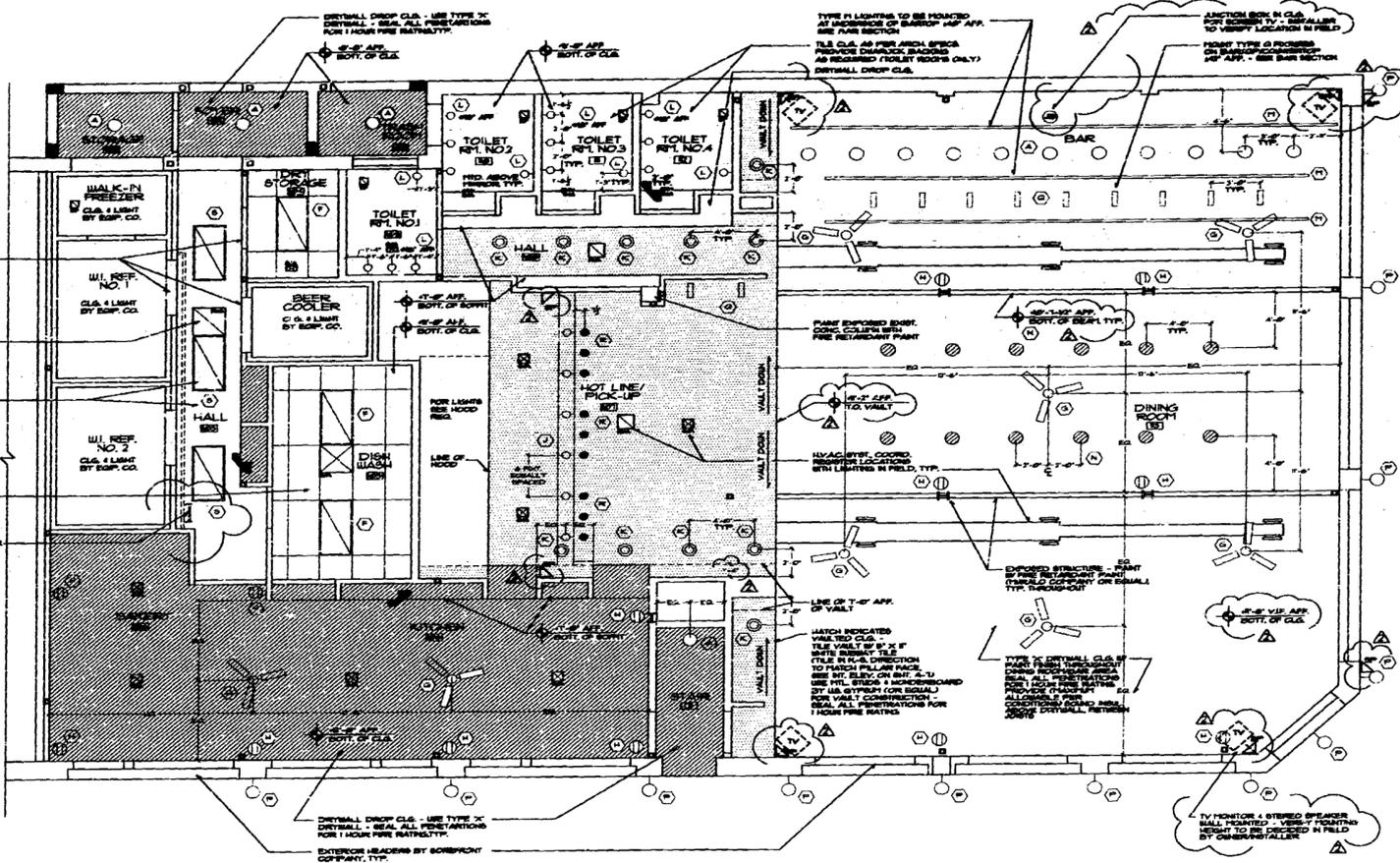
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 APPROVED FOR THE CITY BY
 THE FOLLOWING:

BUILDING:	
PLUMBING:	
ELECTRICAL:	
Mechanical:	
ENGINEERING:	
PUBLIC WORKS:	
STRUCTURAL:	
ACCESSIBILITY:	
ELEVATOR:	

DATE: 07-19-96
 08-07-96

40712-2-92

A-1



LIGHTING SYMBOLS

- ⊙ SURFACE MOUNTED UTILITY PICTURE (2'-0" DIA)
- ⊙ SURFACE MOUNTED PICTURE (2'-0" DIA)
- ⊙ TRACK LIGHTING
- ⊙ RECESSED CAN FIXTURE
- ⊙ RECESSED ALUMINUM (1/2" x 1/2" x 1/2") IN ALL SPECTRAL RANGES
- ⊙ CLG. FIX. TYPE 2 (2'-0" x 2'-0") SPEED BALL, 250W
- ⊙ CEILING MOUNTED OUTLET FOR 1/2" x 1/2" x 1/2" (1/2" x 1/2" x 1/2") LIGHT FIXTURES TO BE PLACED IN ALL SPECTRAL RANGES
- ⊙ CABLE LIGHT SYSTEM (2 VOLT)
- ⊙ RECESSED 1/2 VOLT FIXTURE UP INTERNAL TRANSFORMER
- ⊙ CHARGE FIXTURE (1/2 VOLT) IN SERVICE TRANSFORMER TO 1/2 VOLT SPECIAL RECESSED TRACKING
- ⊙ WIRE LIGHTING UNDER BARTOP
- ⊙ AID SURFACE MOUNTED FIXTURE
- ⊙ EXTERIOR BREATHERIGHT WALL SOURCE (2'-0" DIA)
- ⊙ BARTOP LIGHT FIXTURES (1/2" x 1/2" x 1/2") (1/2" x 1/2" x 1/2")
- ⊙ PENDANT MEAT LAMP (2'-0" DIA)

HVAC SYMBOLS

- ⊠ EXHAUST FAN
- ⊠ RETURN AIR REGISTER
- ⊠ SUPPLY AIR REGISTER
- ⊠ SPECIAL SUPPLY AIR REGISTER
- ⊠ EXHAUST EXHAUST (2'-0" x 2'-0")

NOTE: FOR HVAC SYSTEM RECOMMENDATIONS AND SPECIFICATIONS, SEE MECHANICAL DRAWING ELEVATOR.
 NOTE: HIGHT EXPOSED OVERHEAD AS HIGH AS POSSIBLE THROUGHOUT.
 NOTE: IN CASE OF DISCREPANCY, NOTIFY ARCHITECT PRIOR TO PROCEEDING.

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Approved for permit by:

BUILDING	_____
ZONING	_____
PLUMBING	_____
ELECTRICAL	_____
Mechanical	_____
FIRE & ALARM	_____
ENGINEERING	_____
PUBLIC WORKS	_____
STRUCTURAL	_____
ACCESSIBILITY	_____
ELEVATOR	_____

REFLECTED CEILING PLAN
 SCALE: 1/4" = 1'-0"

RENOVATIONS TO:
BIG PINK
 187 Collins Avenue
 Miami Beach, Florida 33139

GROUND FLOOR REFL. CLG. PLAN

PERMIT NO. 06-07-96

DATE: 07-08-96

PROJECT: 18707710-0000

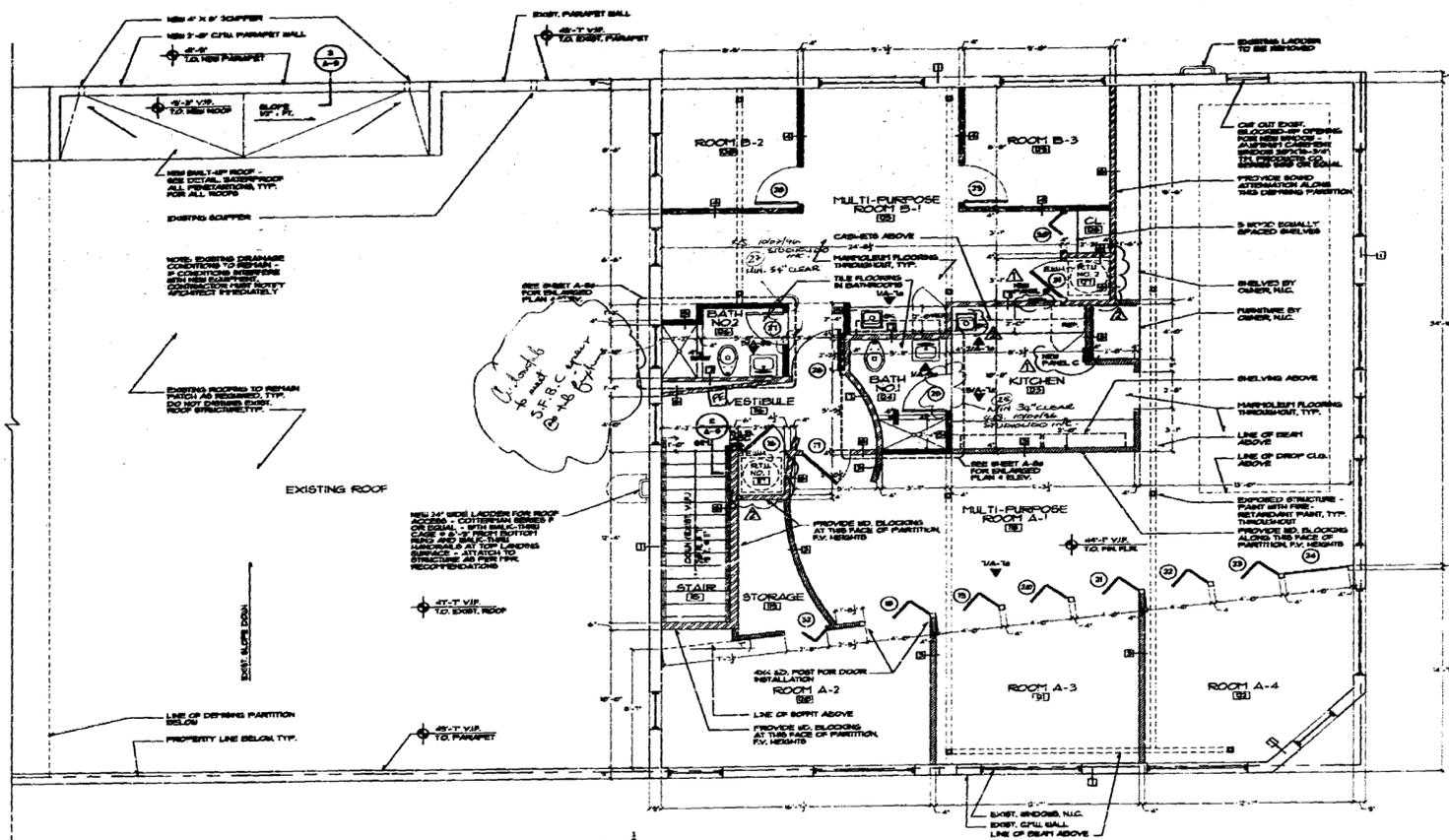
SCALE: 1/4" = 1'-0"

Drawn by: V.B.

Approved: _____

A-2

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⊕ **SECOND FLOOR PLAN**
SCALE: 1/4" = 1'-0"



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BUILDING:	
ZONING:	
PLANNING:	
ELECTRICAL:	
Mechanical:	
PLUMBING:	
ENGINEERING:	
PUBLIC WORKS:	
STRUCTURAL:	
ACCESSIBILITY:	
ELEVATOR:	

RENOVATIONS TO:
BIG PINK
157 Collins Avenue
Miami Beach, Florida 33139

SECOND FLOOR
PLAN

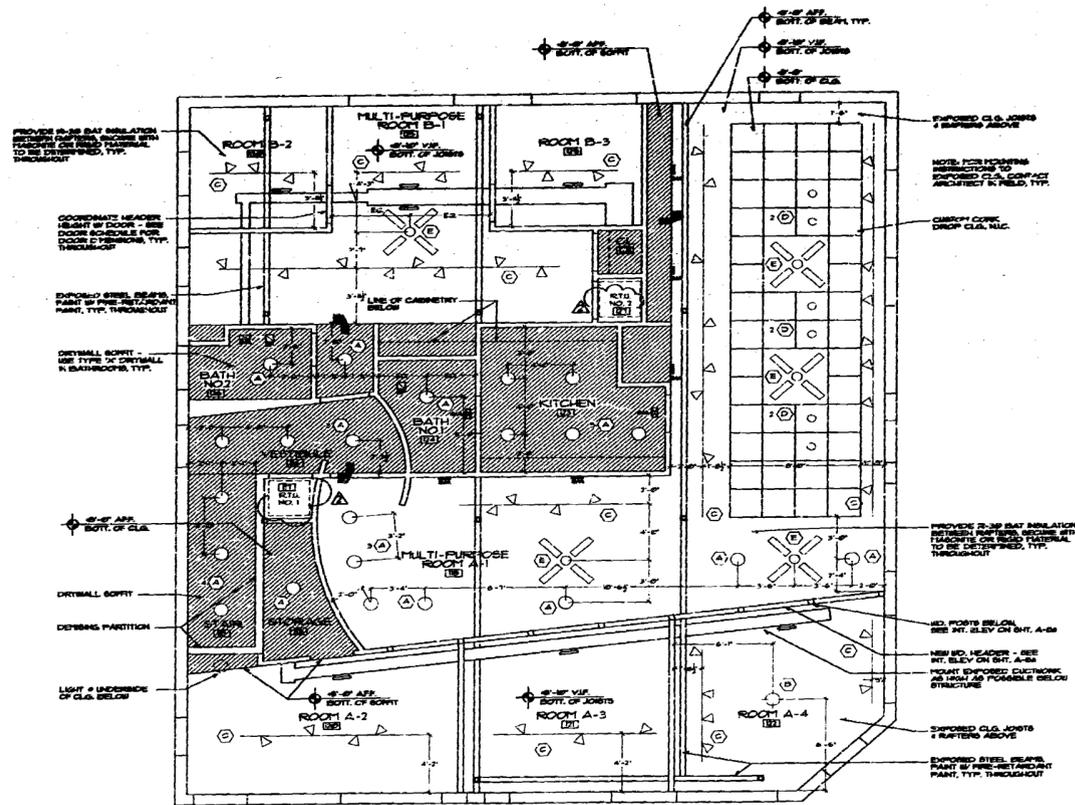
PERMIT NO. 07-19-96
08-07-96

PROJECT NO. 87-88-96
STRUCTURAL ENGINEER
SCALE: 1/4" = 1'-0"
DRAWN BY: V.B.
CHECKED BY:

[Handwritten signature]

A-3

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IS THE PROPERTY OF THE ARCHITECT
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RETRIEVAL SYSTEM, WITHOUT THE
WRITTEN PERMISSION OF THE ARCHITECT.



REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"

- LIGHTING SYMBOLS**
- (A) ○ SURFACE MOUNTED UTILITY FIXTURE (2'-0" DIA.)
 - (B) ○ SURFACE MOUNTED RECESSED FIXTURE (2'-0" DIA.)
 - (C) △ TRACK LIGHTING
 - (D) ○ 4" RECESSED CAN FIXTURE
 - (E) ✕ CLG. PANEL TYPE 1 RECESSED CAN FIXTURE

NOTE: SEE LIGHTING FIXTURE SCHEDULES ON SHEET A-10 FOR LIGHTING SPECIFICATIONS

- HVAC SYMBOLS**
- EXHAUST FAN
 - RETURN AIR REGISTER
 - SUPPLY AIR REGISTER
 - SPECIAL SUPPLY AIR REGISTER

NOTE: FOR HVAC, SEE MECHANICAL DRAWINGS AND SPECIFICATIONS, SEE MECHANICAL DRAWINGS

NOTE: FLOOR EXPONDED DUCTWORK AS HIGH AS POSSIBLE THROUGHOUT

NOTE: IN CASE OF DISCREPANCY, NOTIFY ARCHITECT PRIOR TO PROCEEDING

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ELECTRICAL	
MUNICIPAL	
FIRE PREVENTION	
ENGINEERING	
PUBLIC WORKS	
STRUCTURAL	
ACCESSIBILITY	
ELEVATOR	

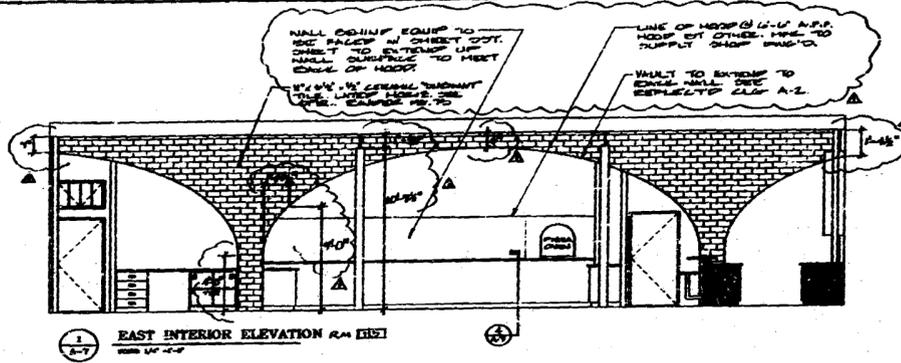
RENOVATIONS TO:
BIG PINK
157 Collins Avenue
Miami Beach, Florida 33139

SECOND FLOOR
REFL. CLG. PLAN

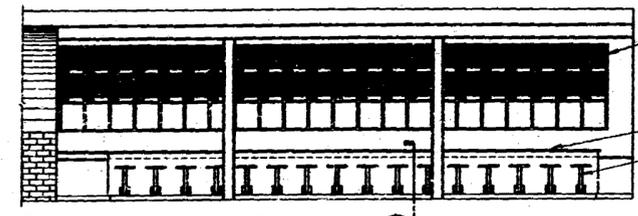
PERMIT NO. 22-07-56

DATE: 07-08-56
PROJECT: CEILING PLAN
SCALE: 1/4" = 1'-0"
DRAWN BY: V.B.
APPROVED:

A-4



1 EAST INTERIOR ELEVATION
SCALE 1/4" = 1'-0"

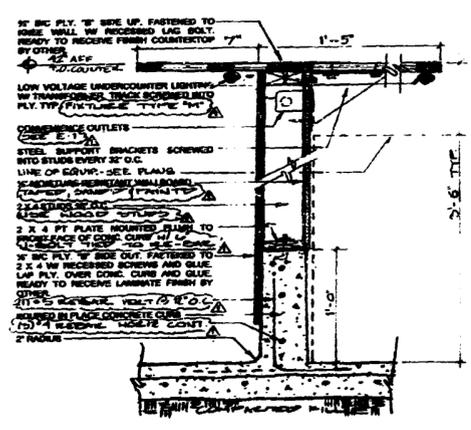


2 SOUTH INTERIOR ELEVATION
SCALE 1/4" = 1'-0"

STAIRS LOCATED BY OTHER. SEE SPECIFICATION SECTION IN SPECIFICATION BOOKS. REFERRED TO WALL @ 5'0" A.P.S.

SEE TOP SUPPLY FOR INSTALLATION.

SEE STOOD BY OTHER. REFERRED TO SUPPLY SHOP DRAWING FOR INSTALLATION.



3 BAR WALL SECTION
SCALE 1/4" = 1'-0"

1/2" B.C. PLY. 1/2" SIDE UP. FASTENED TO WOOD WALL BY NECESSARY LAG BOLT. READY TO RECEIVE FINISH COUNTERTOP BY OTHER.

LOW VOLTAGE UNDERCOUNTER LIGHTING. W/ TRANSFORMER TRUCK SCREWED INTO PLY. TOP (FIXTURE TYPE "M").

COMPENSATE OUTLETS.

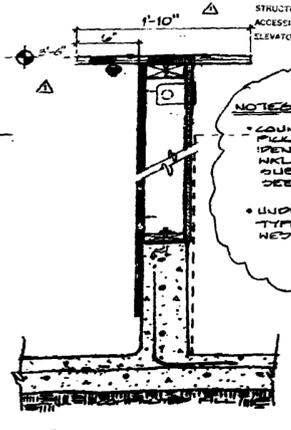
STEEL SUPPORT BRACKETS SCREWED INTO STUDS EVERY 36" O.C.

LINE OF FINISH - SEE PLAN.

2 X 4 W/ NECESSARY SCREWS AND GLUE. LAP PLY OVER CONC. CURB AND GLUE. READY TO RECEIVE LAMINATE FINISH BY OTHER.

1/2" B.C. PLY. 1/2" SIDE UP. FASTENED TO 2 X 4 W/ NECESSARY SCREWS AND GLUE. LAP PLY OVER CONC. CURB AND GLUE. READY TO RECEIVE LAMINATE FINISH BY OTHER.

1/2" B.C. PLY. 1/2" SIDE UP. FASTENED TO 2 X 4 W/ NECESSARY SCREWS AND GLUE. LAP PLY OVER CONC. CURB AND GLUE. READY TO RECEIVE LAMINATE FINISH BY OTHER.



4 PICK-UP WALL SECTION
SCALE 1/4" = 1'-0"

NOTES

COUNTER DETAIL @ PICK-UP WALL TO BE IDENTICAL TO BAR WALL EXCEPT PLY. SIDE TOP TO BE 1/2" H. SIDE.

UNDERCOUNTER LIGHTING TYPE "M" TO BE ON WEST SIDE OF WALL ONLY.

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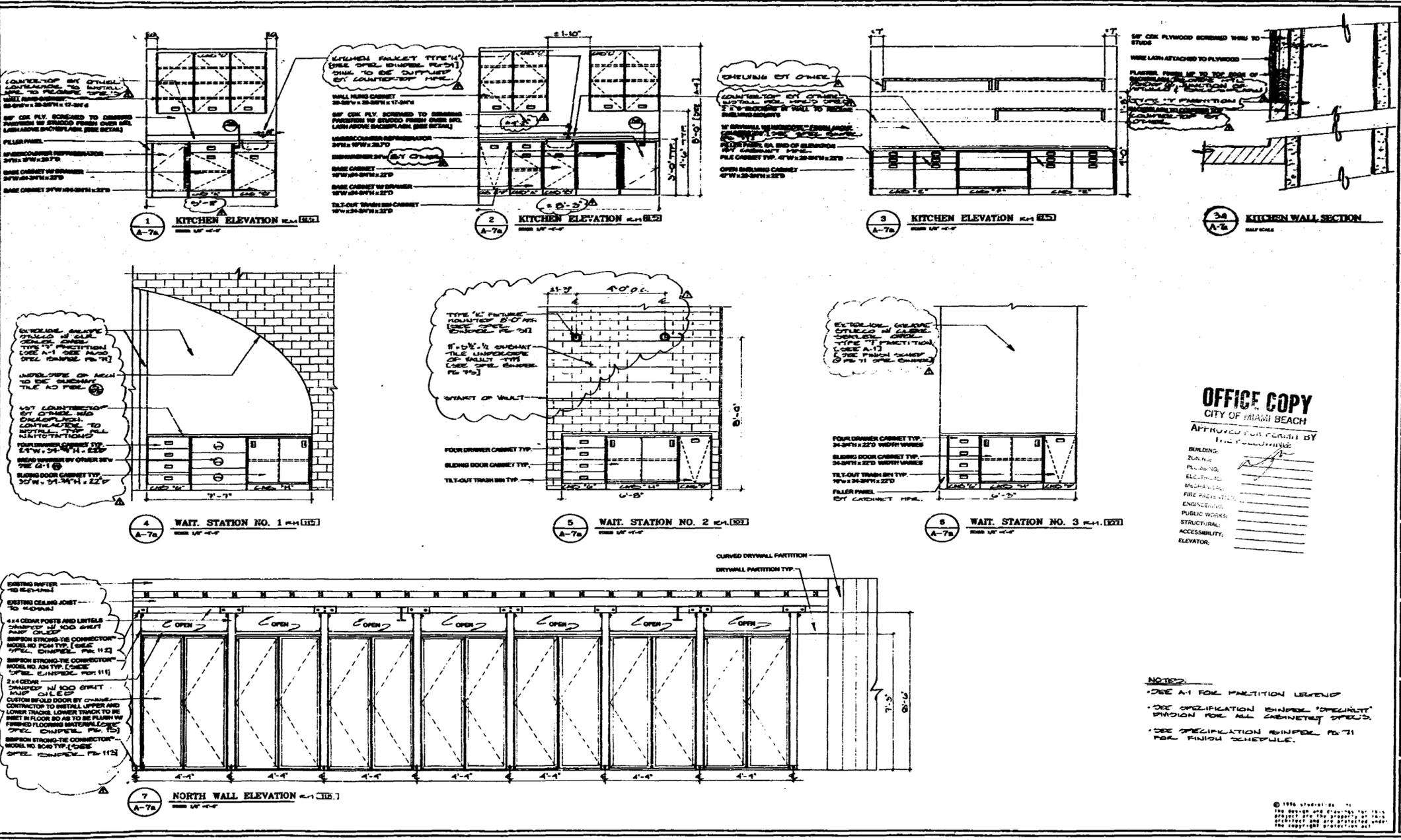
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ZONING:	
PLANNING:	
ELECTRICAL:	
Mechanical:	
FIRE & SAFETY:	
ENGINEERING:	
PUBLIC WORKS:	
STRUCTURAL:	
ACCESSIBILITY:	
ELEVATOR:	

RENOVATIONS TO:
BIG PINK
187 Collins Avenue
Miami Beach, Florida 33139

INT. ELEVATIONS AND DETAILS

DATE: 07-20-88
PROJECT: RESTORATION OF
SCALE: 1/4" = 1'-0"
DRAWN BY: V.B.
APPROVED:

A-7



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BUILDING	
ZONING	
PLANNING	
ELECTRICAL	
Mechanical	
FIRE PREVENTION	
ENGINEERING	
PUBLIC WORKS	
STRUCTURAL	
ACCESSIBILITY	
ELEVATOR	

NOTES:
 *SEE A-1 FOR FINISH SCHEDULE.
 *SEE SPECIFICATION SECTION "SPECIFIC" DIVISION FOR ALL CABINETRY DETAILS.
 *SEE SPECIFICATION SECTION "FINISHES" FOR FINISH SCHEDULE.

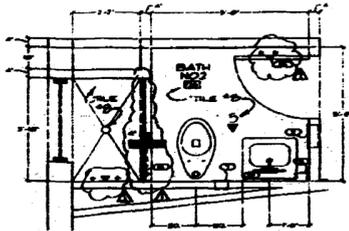
RENOVATIONS TO:
BIG PINK
 167 Collins Avenue
 Miami Beach, Florida 33139

INT. ELEVATIONS

DATE: 07-11-18
 PROJECT: 1818-18-000
 SHEET: 1/2" = 1'-0"
 DRAWN BY: V.B.
 CHECKED BY:

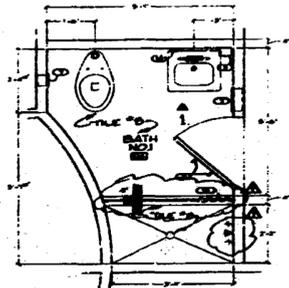
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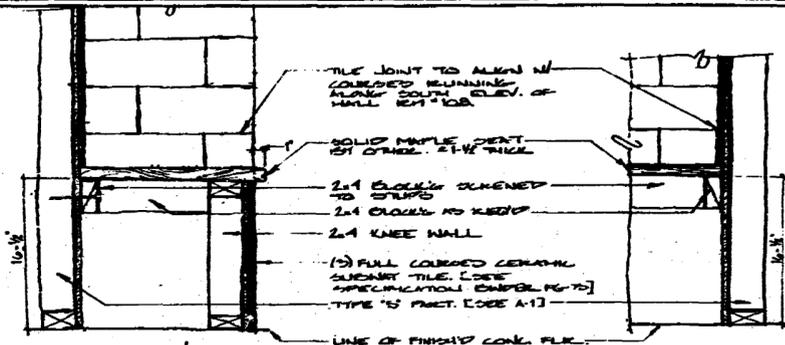
BATHROOM NO.1

SCALE: 1/2" = 1'-0"



BATHROOM NO.2

SCALE: 1/2" = 1'-0"

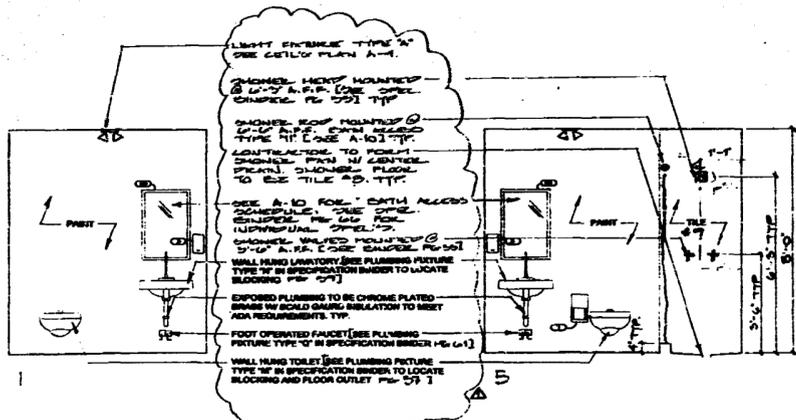


BENCH SECTION

SCALE: 2" = 1'-0"

BENCH SECTION

SCALE: 2" = 1'-0"



INTERIOR ELEVATIONS

SCALE: 1/2" = 1'-0"

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BUILDING:	
PLUMBING:	
ELECTRICAL:	
Mechanical:	
ENGINEERING:	
PUBLIC WORKS:	
STRUCTURAL:	
ACCESSIBILITY:	
ELEVATOR:	

NOTES

- SEE A-1 FOR PARTITION LEGEND
- SEE A-18 FOR PLUMBING FIXTURE SCHEDULE
- SEE A-19 FOR BATHROOM ACCESSORY SCHEDULE
- SEE SPECIFICATION BOOK FOR BLOCKING REQUIREMENTS FOR EACH ITEM
- SEE FINISH SCHEDULE FOR FINISHES, COORDINATION, FINISH AND COLOR, TYPE, ETC. (SEE SPEC. PG. 7-2)
- SEE A-2 FOR FIXTURE MOUNTING HEIGHTS

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RENOVATIONS TO
BIG PINK
157 Collins Avenue
Miami Beach, Florida 33139

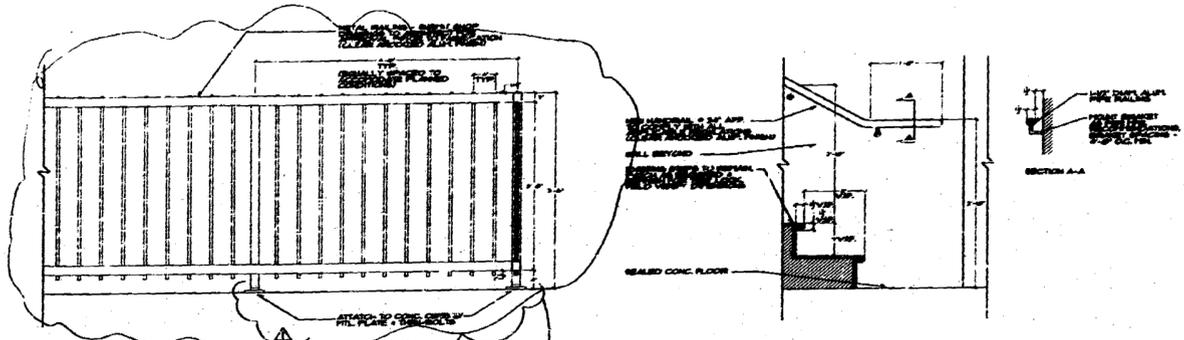
INT. ELEVATIONS
& DETAILS

Permitted
17 JULY 1996

PRINT DATE: 07-08-96
PROJECT IDENTIFIED: 8888
SHEET: 88
AS NOTED
DRAWN BY: V.B.
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12/15/96

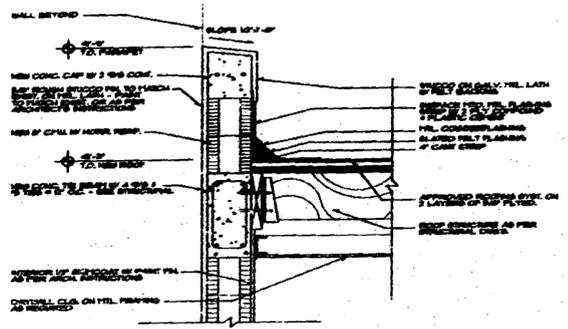
A-8a



1
A-9
RAILING DETAIL
SCALE 1" = 1'-0"

Not part of this permit

2
A-9
RISER/RAILING DETAIL
SCALE 1" = 1'-0"



3
A-9
PARAPET DETAIL
SCALE 1" = 1'-0"

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Approved for Permit by _____

DATE: _____

BUILDING	_____
ZONING	_____
PLUMBING	_____
ELECTRICAL	_____
Mechanical	_____
Fire Protection	_____
Structural	_____
Accessibility	_____
ELEVATOR	_____

RENOVATIONS TO
BIG PINK
157 Collins Avenue
Miami Beach, Florida 33139

DETAILS

Permit No. **07-19-96**

Project Code/Title Code
BP

Scale AS NOTED

Drawn by V.B.

Checked by _____

[Signature]

A-9

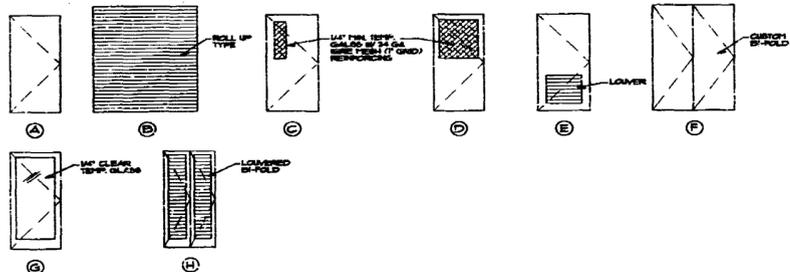
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DOOR SCHEDULE

FLOOR	NO.	TYPE	DOOR SIZE	CORE MATERIAL	FRAME MATERIAL	FRAMES	THRESHOLD	CLOSER	DOOR	REMARKS
			W x H							
GROUND FLOOR	1	B	7'-0" x 7'-0"	WOOD	METAL				BY HPL	TRASH ROOM, 1B9 - REOL. UP DOOR
	2	A	6'-0" x 7'-0"	METAL	METAL					FOYER, UP - IN PREP. HOLE 6'-0" x 7'-0"
	3	C	6'-0" x 7'-0"	METAL	METAL					STORAGE, 1P
	4									BY HPL
	5	A	6'-0" x 7'-0"	WOOD	METAL					BY HPL
	6									
	7									
	8									
	9									
	10									
SECOND FLOOR	11	A	6'-0" x 7'-0"	WOOD	METAL					TOILET ROOM NO. 1, 1B9 - SAT. LOCK BOTH SIDES
	12	A	6'-0" x 7'-0"	WOOD	METAL					TOILET ROOM NO. 2, 1B9 - SAT. LOCK BOTH SIDES
	13	A	6'-0" x 7'-0"	WOOD	METAL					TOILET ROOM NO. 3, 1B9 - SAT. LOCK BOTH SIDES
	14	A	6'-0" x 7'-0"	WOOD	METAL					TOILET ROOM NO. 4, 1B9 - SAT. LOCK BOTH SIDES
	15	D	7'-0" x 7'-0"	METAL	METAL					STAR, 1B - SHAPED FRSH
	16	D	7'-0" x 7'-0"	METAL	METAL					STAR, 1B - SHAPED FRSH
	17	E	6'-0" x 7'-0"	WOOD	METAL					A/C CLOSET, 1T
	18	A	6'-0" x 7'-0"	WOOD	METAL					VESTIBLE, 1A
	19	F	7'-0" x 4'-0"	WOOD	WOOD					ROOM A-2, 1B9 - CUSTOM, SEE SH. AT-A
	20	F	7'-0" x 4'-0"	WOOD	WOOD					ROOM A-3, 1B1 - CUSTOM, SEE SH. AT-A
	21	F	7'-0" x 4'-0"	WOOD	WOOD					ROOM A-3, 1B1 - CUSTOM, SEE SH. AT-A
	22	F	7'-0" x 4'-0"	WOOD	WOOD					ROOM A-4, 1B2 - CUSTOM, SEE SH. AT-A
	23	F	7'-0" x 4'-0"	WOOD	WOOD					ROOM A-4, 1B2 - CUSTOM, SEE SH. AT-A
	24	F	7'-0" x 4'-0"	WOOD	WOOD					ROOM A-4, 1B2 - CUSTOM, SEE SH. AT-A
	25	A	6'-0" x 7'-0"	WOOD	METAL					BATH NO. 1, 1B4
	26	A	6'-0" x 7'-0"	WOOD	METAL					VESTIBLE, 1A
	27	A	6'-0" x 7'-0"	WOOD	METAL					BATH NO. 2, 1B6
	28	B	6'-0" x 7'-0"	WOOD	WOOD					ROOM 1B-2, 1B9
	29	B	6'-0" x 7'-0"	WOOD	WOOD					ROOM 1B-3, 1B5
	30	H	6'-0" x 7'-0"	METAL	METAL					CLOSET, 1B
	31	E	6'-0" x 7'-0"	WOOD	METAL					A/C CLOSET, 1T
	32	H	6'-0" x 7'-0"	METAL	METAL					STORAGE, 1B

* HARDWARE SETS A-G, REFER TO SPECIFICATIONS FOR HARDWARE DESCRIPTIONS

DOOR TYPES



NOTE: VERIFY ALL COLORS AND PAINT FINISH WITH ARCHITECT PRIOR TO PURCHASES

BATH ACCESSORY SCHEDULE

TYPE	ROOM	DESCRIPTION	MANUFACTURER	MODEL NO.	FINISH	QUANTITY	REMARKS
1	TOILET ROOM	HOSE SPOT	CHICAGO FACET	7-20	POLISHED CHROME	4	ALSO LISTED IN PLUMBING FIXTURE SCHEDULE
2	TOILET ROOM	PAPER TOWEL DISPENSER	ROBBEROCK	8-3000	SANITARY	4	RECESSED
3	TOILET ROOM	SOAP DISPENSER	ROBBEROCK	8-300	SANITARY	4	RECESSED
4	TOILET ROOM	SLT HOOK	ROBBEROCK	8-200-1000	SANITARY	4	SURFACE MOUNTED
5	TOILET ROOM	TOILET PAPER DISPENSER	ROBBEROCK	8-300	SANITARY	4	RECESSED
6	TOILET ROOM	TOILET PAPER DISPENSER	ROBBEROCK	8-300	SANITARY	4	RECESSED
7	TOILET ROOM	TOILET PAPER DISPENSER	ROBBEROCK	8-300	SANITARY	4	RECESSED
8	TOILET ROOM	TOILET PAPER DISPENSER	ROBBEROCK	8-300	SANITARY	4	RECESSED
9	TOILET ROOM	TOILET PAPER DISPENSER	ROBBEROCK	8-300	SANITARY	4	RECESSED
10	TOILET ROOM	TOILET PAPER DISPENSER	ROBBEROCK	8-300	SANITARY	4	RECESSED
11	BATHROOM	SHOWER CABINET	ROBBEROCK	8-300	SANITARY	2	RECESSED
12	BATHROOM	SHOWER CABINET	ROBBEROCK	8-300	SANITARY	2	RECESSED
13	BATHROOM	SHOWER CABINET	ROBBEROCK	8-300	SANITARY	2	RECESSED
14	BATHROOM	SHOWER CABINET	ROBBEROCK	8-300	SANITARY	2	RECESSED
15	BATHROOM	SHOWER CABINET	ROBBEROCK	8-300	SANITARY	2	RECESSED
16	BATHROOM	SHOWER CABINET	ROBBEROCK	8-300	SANITARY	2	RECESSED
17	BATHROOM	SHOWER CABINET	ROBBEROCK	8-300	SANITARY	2	RECESSED
18	BATHROOM	SHOWER CABINET	ROBBEROCK	8-300	SANITARY	2	RECESSED
19	BATHROOM	SHOWER CABINET	ROBBEROCK	8-300	SANITARY	2	RECESSED
20	BATHROOM	SHOWER CABINET	ROBBEROCK	8-300	SANITARY	2	RECESSED
21	BATHROOM	SHOWER CABINET	ROBBEROCK	8-300	SANITARY	2	RECESSED
22	BATHROOM	SHOWER CABINET	ROBBEROCK	8-300	SANITARY	2	RECESSED
23	BATHROOM	SHOWER CABINET	ROBBEROCK	8-300	SANITARY	2	RECESSED
24	BATHROOM	SHOWER CABINET	ROBBEROCK	8-300	SANITARY	2	RECESSED
25	BATHROOM	SHOWER CABINET	ROBBEROCK	8-300	SANITARY	2	RECESSED
26	BATHROOM	SHOWER CABINET	ROBBEROCK	8-300	SANITARY	2	RECESSED
27	BATHROOM	SHOWER CABINET	ROBBEROCK	8-300	SANITARY	2	RECESSED
28	BATHROOM	SHOWER CABINET	ROBBEROCK	8-300	SANITARY	2	RECESSED
29	BATHROOM	SHOWER CABINET	ROBBEROCK	8-300	SANITARY	2	RECESSED
30	BATHROOM	SHOWER CABINET	ROBBEROCK	8-300	SANITARY	2	RECESSED
31	BATHROOM	SHOWER CABINET	ROBBEROCK	8-300	SANITARY	2	RECESSED
32	BATHROOM	SHOWER CABINET	ROBBEROCK	8-300	SANITARY	2	RECESSED

LIGHTING FIXTURE SCHEDULE

TYPE	ROOM	DESCRIPTION	MANUFACTURER	MODEL NO.	FINISH	VOLTAGE	QUANTITY	REMARKS
A	GENERAL	GENERAL LIGHTING	RED DOT	L-80	GREY ENAMEL	120V	11	SURFACE MOUNTED UTILITY LIGHT
B	ROOM A-1	RECESSED	TRAC	8000-100	TRAC	120V	1	
C	2ND FLOOR	TRACK LIGHTING	TRAC	TRAC	TRAC	120V	10	FOR LAYOUTS - SEE REFL. CLG. PLAN
D	2ND FLOOR	RECESSED CAN	TRAC	TRAC	TRAC	120V	10	
E	2ND FLOOR	RECESSED CAN	TRAC	TRAC	TRAC	120V	10	
F	2ND FLOOR	RECESSED CAN	TRAC	TRAC	TRAC	120V	10	
G	2ND FLOOR	RECESSED CAN	TRAC	TRAC	TRAC	120V	10	
H	2ND FLOOR	RECESSED CAN	TRAC	TRAC	TRAC	120V	10	
I	2ND FLOOR	RECESSED CAN	TRAC	TRAC	TRAC	120V	10	
J	2ND FLOOR	RECESSED CAN	TRAC	TRAC	TRAC	120V	10	
K	2ND FLOOR	RECESSED CAN	TRAC	TRAC	TRAC	120V	10	
L	2ND FLOOR	RECESSED CAN	TRAC	TRAC	TRAC	120V	10	
M	2ND FLOOR	RECESSED CAN	TRAC	TRAC	TRAC	120V	10	
N	2ND FLOOR	RECESSED CAN	TRAC	TRAC	TRAC	120V	10	
O	2ND FLOOR	RECESSED CAN	TRAC	TRAC	TRAC	120V	10	
P	2ND FLOOR	RECESSED CAN	TRAC	TRAC	TRAC	120V	10	
Q	2ND FLOOR	RECESSED CAN	TRAC	TRAC	TRAC	120V	10	
R	2ND FLOOR	RECESSED CAN	TRAC	TRAC	TRAC	120V	10	
S	2ND FLOOR	RECESSED CAN	TRAC	TRAC	TRAC	120V	10	
T	2ND FLOOR	RECESSED CAN	TRAC	TRAC	TRAC	120V	10	
U	2ND FLOOR	RECESSED CAN	TRAC	TRAC	TRAC	120V	10	
V	2ND FLOOR	RECESSED CAN	TRAC	TRAC	TRAC	120V	10	
W	2ND FLOOR	RECESSED CAN	TRAC	TRAC	TRAC	120V	10	
X	2ND FLOOR	RECESSED CAN	TRAC	TRAC	TRAC	120V	10	
Y	2ND FLOOR	RECESSED CAN	TRAC	TRAC	TRAC	120V	10	
Z	2ND FLOOR	RECESSED CAN	TRAC	TRAC	TRAC	120V	10	

PLUMBING FIXTURE SCHEDULE

TYPE	ROOM	DESCRIPTION	MANUFACTURER	MODEL NO.	FINISH	QUANTITY	REMARKS
A	1B9	HOSE SPOT	CHICAGO FACET	7-20	POLISHED CHROME	4	REMOVABLE HANDLE
B	1B9	STAINLESS STEEL SPN.	BRADLEY	10-100	BATH	4	1/2" FN. FAUCET, REQUIRES REAR ACCESS PANEL
C	1B9	FAUCET	BRADLEY	10-10	CHROME	4	
D	1B9	STAINLESS URINAL	BRADLEY	10-2000	BATH STAINLESS	1	REQUIRES FLUSH VALVE BOX
E	1B9	STAINLESS TOILET	BRADLEY	10-200	BATH STAINLESS	4	REQUIRES FLUSH VALVE BOX
F	1B9	FLOOR DRAIN	BRADLEY	10-100	STAINLESS STEEL	4	
G	1B9	ACCESS BOX	BRADLEY	10-100	BATH STAINLESS	4	
H	1B9	SHOWER HEAD	CHICAGO FACET	7-20	CHROME	2	WITHOUT DECK PLATE
I	1B9	SHOWER VALVE	CHICAGO FACET	7-20	CHROME	2	WITHOUT HEAD OR ARM
J	1B9	FLUSH VALVE	CHICAGO FACET	7-20	CHROME	2	
K	1B9	TOILET	AMERICAN STANDARD	283AS	WHITE	2	SMALL EL. 16
L	1B9	LAVATORY	AMERICAN STANDARD	1480-1	WHITE	2	
M	1B9	LAV. FAUCET BRUSH	CHICAGO FACET	630-1C	CHROME	2	
N	1B9	LAV. FAUCET VALVE	CHICAGO FACET	630-1C	CHROME	2	
O	1B9	LAV. FAUCET DRAIN	CHICAGO FACET	630-1C	CHROME	2	
P	1B9	SHOWER DRAIN	CHICAGO FACET	630-1C	CHROME	2	
Q	1B9	SHOWER VALVE	CHICAGO FACET	630-1C	CHROME	2	
R	1B9	FLUSH VALVE	CHICAGO FACET	630-1C	CHROME	2	
S	1B9	FLUSH VALVE	CHICAGO FACET	630-1C	CHROME	2	
T	1B9	FLUSH VALVE	CHICAGO FACET	630-1C	CHROME	2	
U	1B9	FLUSH VALVE	CHICAGO FACET	630-1C	CHROME	2	
V	1B9	FLUSH VALVE	CHICAGO FACET	630-1C	CHROME	2	
W	1B9	FLUSH VALVE	CHICAGO FACET	630-1C	CHROME	2	
X	1B9	FLUSH VALVE	CHICAGO FACET	630-1C	CHROME	2	
Y	1B9	FLUSH VALVE	CHICAGO FACET	630-1C	CHROME	2	
Z	1B9	FLUSH VALVE	CHICAGO FACET	630-1C	CHROME	2	

RENOVATIONS TO:
BIG PINK
167 Collins Avenue
Miami Beach, Florida 33139

SCHEDULES & SPECIFICATIONS

DATE: 01-15-56
REVISED: 02-07-56

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CITY OF MIAMI BEACH

APPROVED FOR CONSTRUCTION BY:
[Signature]

DATE: 07-08-56

PROJECT: 00077110-0000

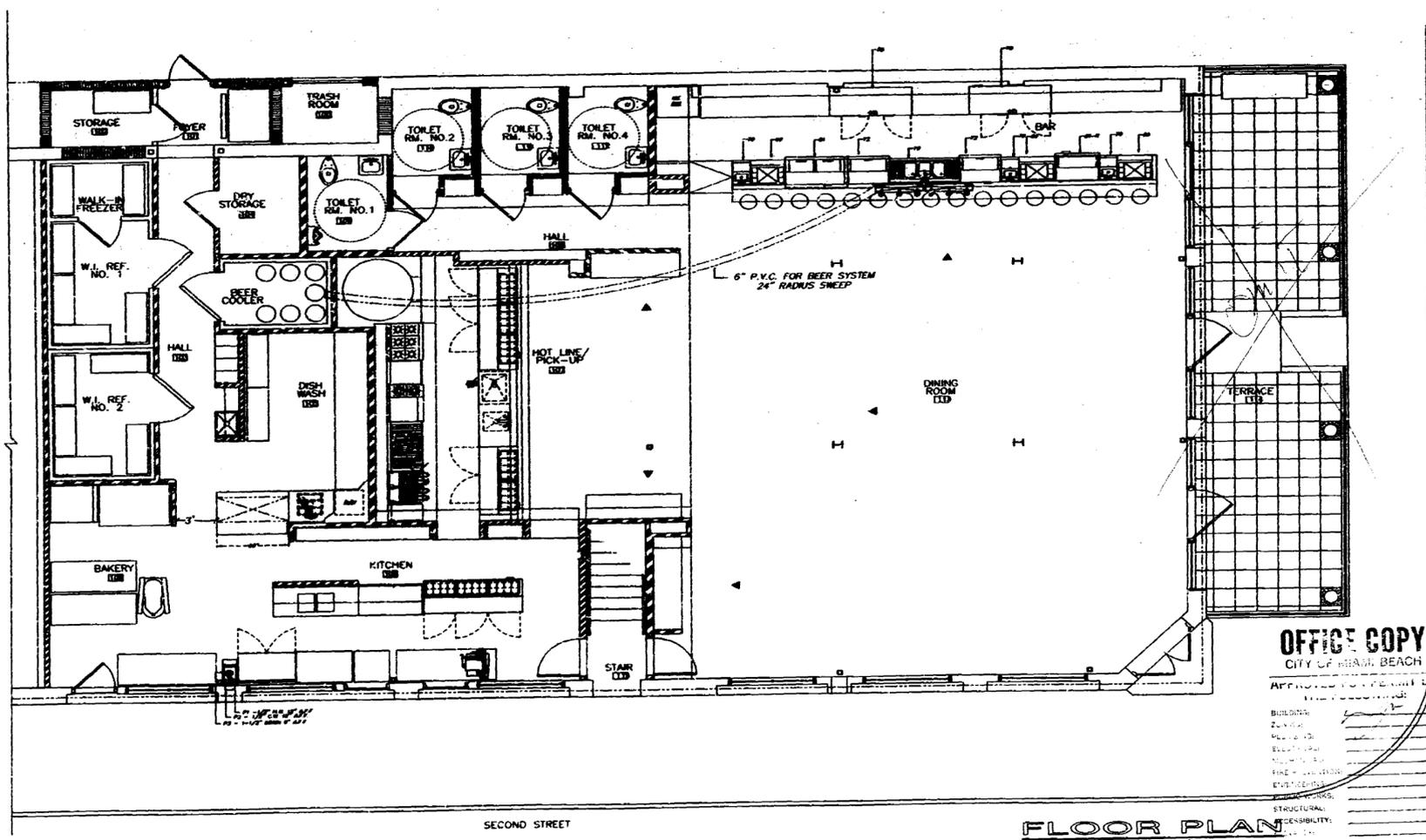
SCALE: AS SHOWN

DRAWN BY: V.B.

CHECKED BY: [Signature]

DATE: 01/17/56

ACCESSIBILITY: ELEVATOR



COLLINS AVENUE

REV.	DATE	BY

JOB NAME :
BIG PINK
 COLLINS AVE. & SECOND STREET

LEE EQUIPMENT CO.
 1000 PEMBROKE ROAD
 HALLANDALE, FLORIDA 33008 USA
 Tel #: (908) 488-7500
 Fax #: (908) 488-7888

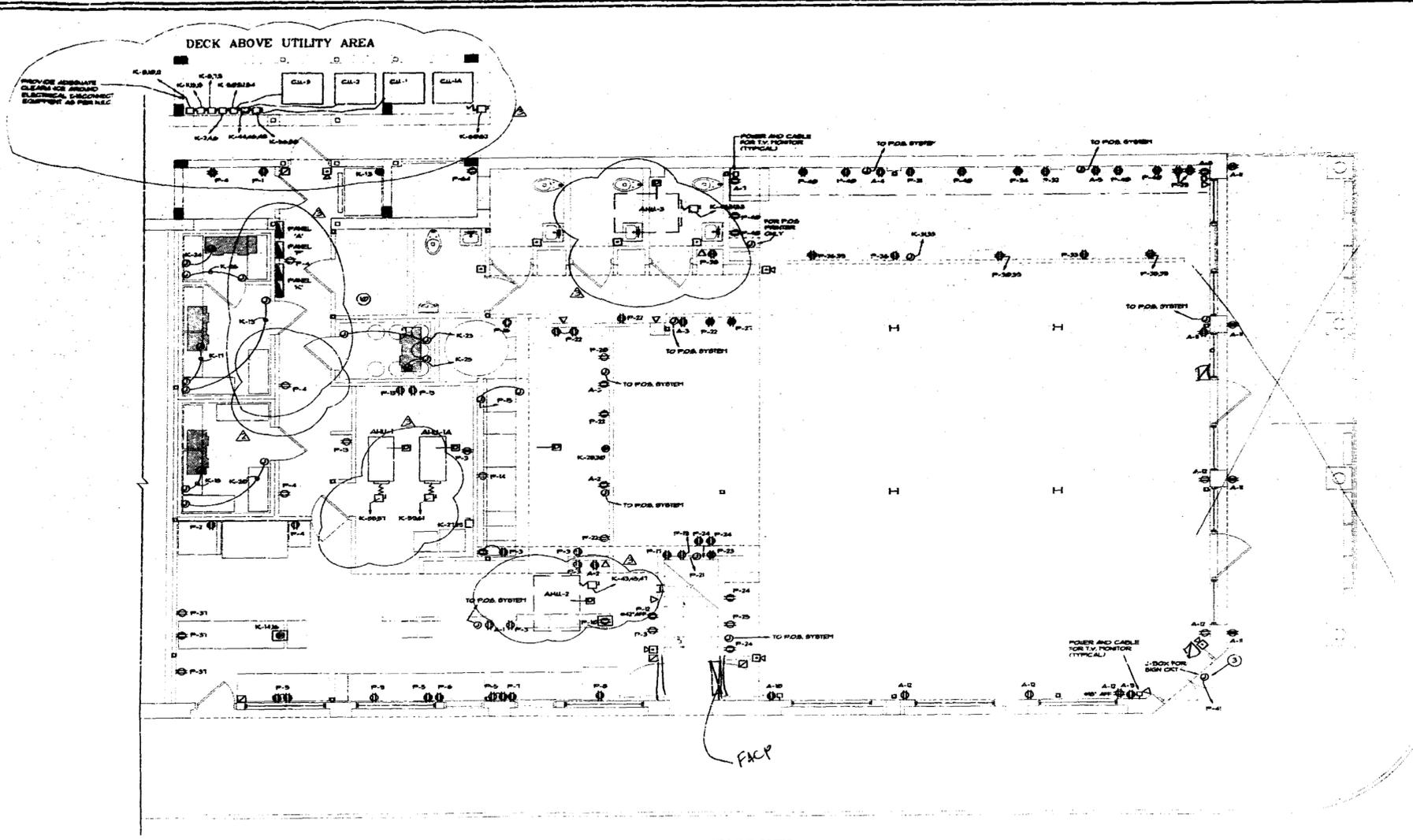
DATE :
 07/29/96
DRAWING #:
 729-96R
FOOD SERVICE DESIGNER:
 J.BRANDT
EQUIPMENT LAYOUT
K-2
 SHEET 2 OF 2

OFFICE COPY
 CITY OF BEACH BEACH
 APPROVED FOR PERMIT

BUILDING	
ZONING	
PLUMBING	
ELECTRICAL	
Mechanical	
FIRE PROTECTION	
ENVIRONMENTAL	
MECHANICAL	
STRUCTURAL	
DESIGNABILITY	

FLOOR PLAN
 SCALE: 1/4" = 1'-0"

○ CAD. BY J. RAUGH ○ LEE EQUIPMENT COMPANY ○ ○ ○




ELECTRICAL POWER PLAN
 SCALE: 1/4" = 1'-0" GROUND FLOOR

COLLINS AVENUE

SECOND STREET

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CITY OF MIAMI BEACH
APPROVED FOR THE CITY

BUILDING: _____
 ZONING: _____
 PLAN NO.: _____
 PROJECT NO.: _____
 DATE: _____
 DRAWN BY: _____
 CHECKED BY: _____
 PUBLIC WORKS: _____
 STRUCTURAL: _____
 ACCESSIBILITY: _____
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Page and Associates, Inc.
 Engineers/Consultants
 4970 S.W. 72 Avenue, #107
 Miami, Florida 33156
 (305) 561-7700

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 2. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF MIAMI BEACH ELECTRICAL DEPARTMENT'S SPECIFICATIONS AND STANDARDS.
 3. ALL WORK SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE CITY OF MIAMI BEACH ELECTRICAL DEPARTMENT.
 4. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
 5. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED BUDGET.
 6. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED QUALITY STANDARDS.
 7. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED SAFETY STANDARDS.
 8. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED ENVIRONMENTAL STANDARDS.
 9. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED ACCESSIBILITY STANDARDS.
 10. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED ELEVATOR STANDARDS.

RENOVATIONS TO:
BIG PINK
 157 Collins Avenue
 Miami Beach, Florida 33139

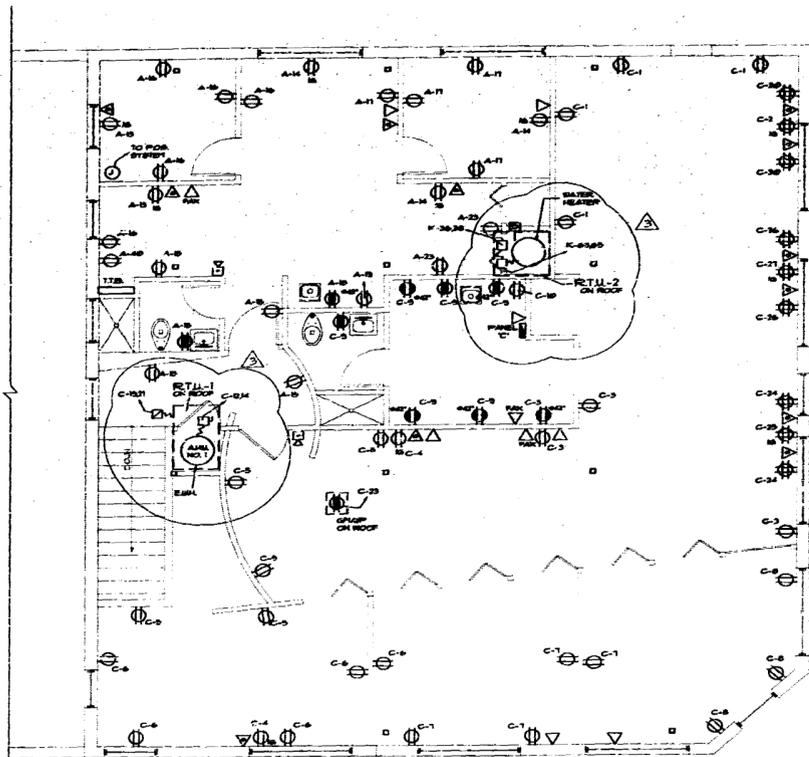
**GROUND FLOOR
 ELECTRICAL PLAN**

REVISIONS:
 1-10-96
 2-5-96
 3-16-96
 CORRAL REVISION

DATE: 07-28-95
 PROJECT CODE/FILE NAME: 33
 SCALE: 1/4"=1'-0"
 DRAWN BY: J.D.P.
 CHECKED BY:



E-1



ELECTRICAL POWER PLAN
 SCALE: 1/4" = 1'-0"
 SECOND FLOOR

- ELECTRICAL SYMBOLS**
- DUPLEX RECEPTACLE 20 AMP/90V VOLT - POINT 37" AFF. UNLESS OTHERWISE NOTED
 - ⊕ DUPLEX RECEPTACLE 20 AMP/90V VOLT - VERIFY FIXING HEIGHT
 - ⊙ GFI RECEPTACLE 20 AMP/90V VOLT - VERIFY FIXING HEIGHT
 - ⊖ DUPLEX RECEPTACLE 20 AMP/90V VOLT - ISOLATED CIRCUIT, LEADION SIGNALS, 20A TO GROUND WIRE BACK TO PANEL
 - ⊙ DUPLEX RECEPTACLE 20 AMP/90V VOLT - ISOLATED CIRCUIT, LEADION SIGNALS, 20A TO GROUND WIRE BACK TO PANEL
 - ⊙ GFI RECEPTACLE 20 AMP/90V VOLT - VERIFY FIXING HEIGHT
 - ⊙ EQUIPMENT RECEPTACLE - POINT 37" AFF. UNLESS OTHERWISE NOTED, VOLTAGE AND AFFRACY AS PER PLANS
 - ⊙ RECEPTACLE - FLOOR FINISHED
 - ⊕ SWITCH SINGLE POLE 20 AMP/90V VOLT - POINT 44" AFF. UNLESS OTHERWISE NOTED
 - ⊕ SWITCH THREE-WAY 20 AMP/90V VOLT - POINT 44" AFF. UNLESS OTHERWISE NOTED
 - ⊕ SWITCH DIMMER 20-277 VOLT - SIZE DIMMER WITH TOTAL LOAD RATING
 - ▽ TELEPHONE OUTLET - 34" BHT STUBBED ABOVE CEILING
 - ▽ DATA OUTLET + PHONE - 34" BHT STUBBED ABOVE CEILING, DOUBLE JACK
 - ⊖ DISCONNECT - AS PER PERIOD AS PER EQUIPMENT MANUFACTURER'S INSTRUCTIONS
 - ⊕ MOTOR STARTER - VERIFY HEATER STRIP SIZE WITH EQUIPMENT
 - ⊕ SMOKE DETECTOR - TO FIRE ALARM PANEL
 - ⊕ FIA HORN - TO FIRE ALARM PANEL
 - ⊕ FIA STROBE LIGHT - TO FIRE ALARM PANEL
 - ⊕ FIA HORN/STROBE - TO FIRE ALARM PANEL
 - ⊕ FIA PULL STATION - TO FIRE ALARM PANEL
 - ⊕ FIA SPEAKER - TO FIRE ALARM PANEL

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 CITY OF MIAMI BEACH
 APPROVED FOR PERMIT BY
 THE ENGINEER:

BUILDING: _____
 ZONING: _____
 PROJECT NO: _____
 DATE: _____
 SCALE: 1/4" = 1'-0"
 SHEET NO: _____
 TOTAL SHEETS: _____
 ENGINEER'S SIGNATURE: _____
 PUBLIC WORKS: _____
 STRUCT. ENG. NO.: _____
 ELEVATOR: _____

P Page and Associates, Inc.
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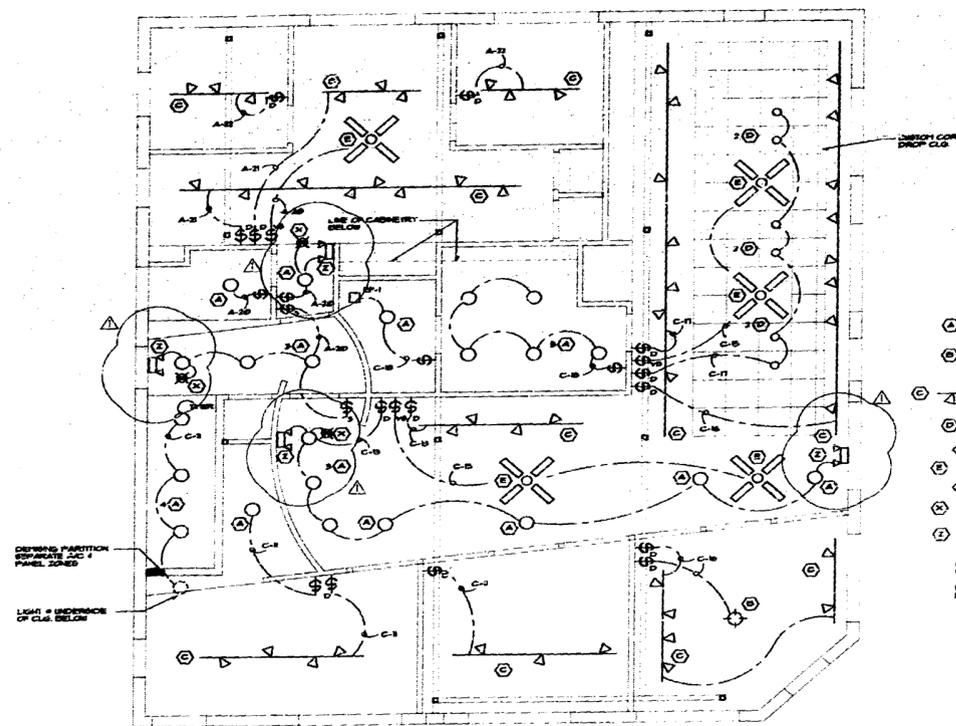
RENOVATIONS TO:
BIG PINK
 157 Collins Avenue
 Miami Beach, Florida 33139

SECOND FLOOR
 ELECTRICAL PLAN

REVISED:
 8-2-96
 8-16-96
 G.A.L. REV-01

DATE: 07-08-96
 BY: [Signature]
 SCALE: 1/4" = 1'-0"
 SHEET NO: E-2
 TOTAL SHEETS: 10

E-2



- LIGHTING SYMBOLS**
- ⊙ SURFACE MOUNTED MULTI-FIXTURE (2'-2'x2')
 - ⊕ SURFACE MOUNTED FREQUENT FIXTURE (2'-2'x2')
 - ⊖ TRACK LIGHTING
 - ⊗ RECESSED CAN FIXTURE
 - ⊗ (with cross) CEILING TYPE RECESSED VISIBLE BEZEL BALL JOINT
 - ⊗ (with X) EXIT LIGHT w/ BATTERY BACK-UP
 - ⊗ (with square) EMERGENCY LIGHT w/ BATTERY BACK-UP
- NOTE: SEE LIGHTING FIXTURE SCHEDULE FOR LIGHTING SPECIFICATIONS
REFER TO SCHEDULE AND SPECIFICATION BOOK FOR INDIVIDUAL FIXTURE REQUIREMENTS

- GENERAL LIGHTING NOTES**
- ALL FLUORESCENT FIXTURES SHALL HAVE EACH BALLAST RATED.
 - ALL FIXTURES SHALL BE PROPERLY SECURED TO CEILING GRID SYSTEM.
 - VERIFY ALL DIMENSIONS AND LOCATIONS WITH TENANT PRIOR TO INSTALLATION.
 - ALL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE AND OTHER APPLICABLE CODES AND STANDARDS.
 - THE CONTRACTOR IS RESPONSIBLE FOR EVALUATING FIELD CONDITIONS BY VISITING THE SITE PRIOR TO COMMENCEMENT OF WORK.
 - THE CONTRACTOR SHALL SATISFACTORILY REPAIR/REPLACE EQUIPMENT OR PART OF STRUCTURE DAMAGED AS A RESULT OF HIS WORK. SURFACES AND FINISHED AREAS SHALL BE RESTORED TO MATCH ADJACENT AREAS.
 - APPROVAL SHALL BE OBTAINED FROM THE ENGINEER PRIOR TO CUTTING OR DRILLING ANY STRUCTURAL SUPPORT MEMBER.
 - ALL CONNECTIONS SHALL BE COPPER.
 - ALL MATERIALS SHALL BE UL APPROVED.
 - ALL LIFELINES SHALL BE PROPERLY SUPPORTED IN ACCORDANCE WITH THE CEILING SYSTEM MANUFACTURER RECOMMENDATIONS AND LOCAL CODE REQUIREMENTS.

ELECTRICAL LIGHTING PLAN
SCALE: 1/4" = 1'-0"
SECOND FLOOR

OFFICE COPY
CITY OF MIAMI BEACH
APPROVED FOR THE CITY OF MIAMI BEACH:

BUILDING: _____
 ZONING: _____
 PLANNING: _____
 PUBLIC WORKS: _____
 ENGINEER: _____
 STRUCTURAL: _____
 ACCESSIBILITY: _____

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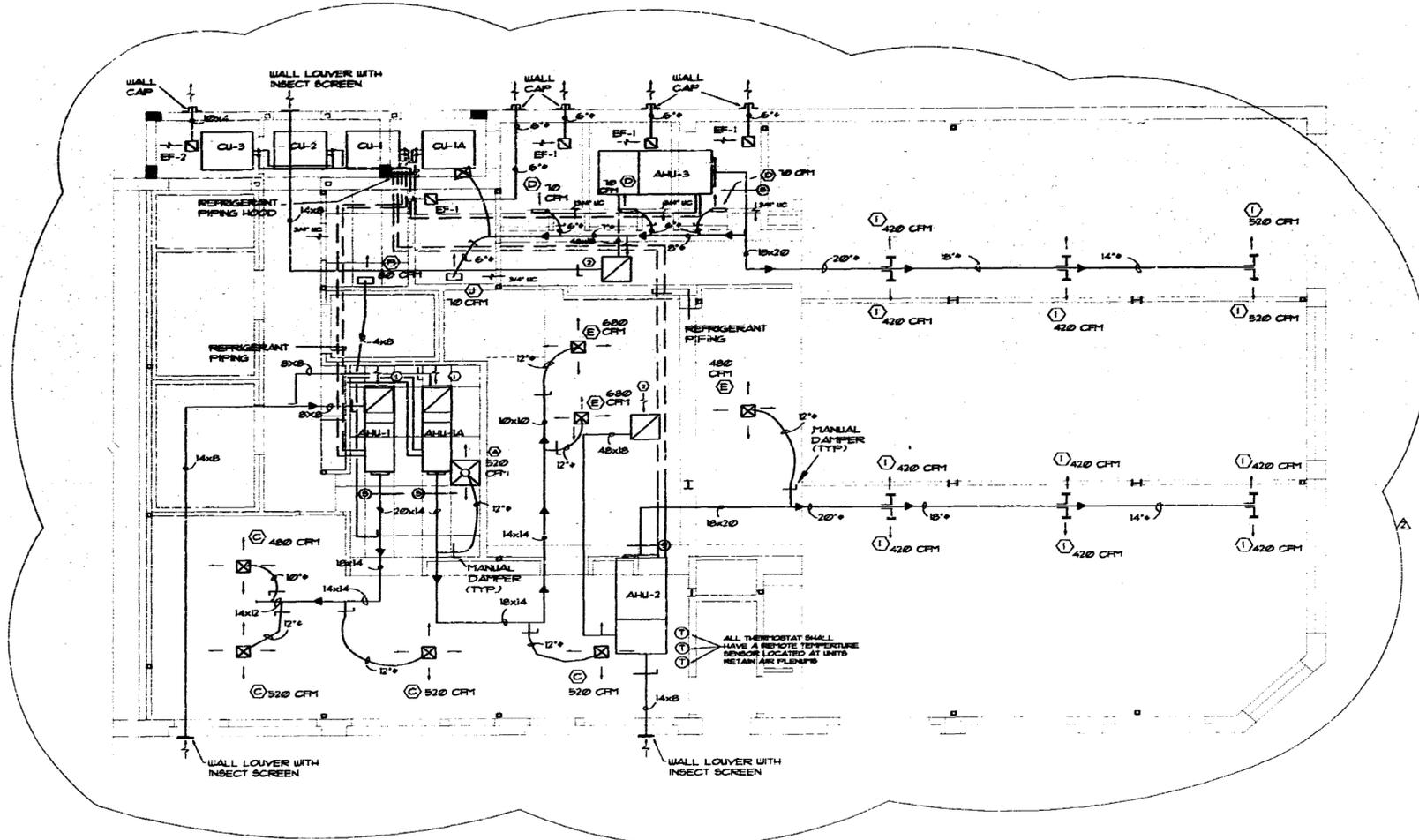
RENOVATIONS TO:
BIG PINK
157 Collins Avenue
Miami Beach, Florida 33139

SECOND FLOOR
LIGHTING PLAN

1-10-96 EMERX LIGHT
 DATE: 07-08-96
 PROJECT CODE/TITLE: Home
 SCALE: 1/4" = 1'-0"
 DRAWN BY: J.P.P.
 CHECKED BY: J.P.P.

J.P.P.

E-4




H.V.A.C. PLAN
 SCALE: 1/4" = 1'-0" GROUND FLOOR

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CITY OF MIAMI BEACH

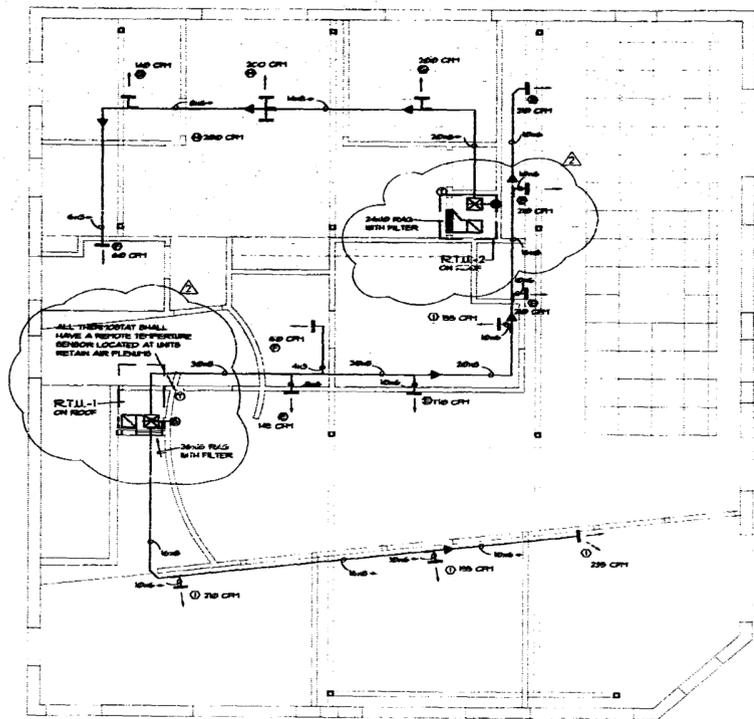
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BUILDING:	
ZONING:	
PLUMBING:	
ELECTRICAL:	
MECHANICAL:	<i>PR 9/17/96</i>
FIRE PROTECTION:	
ENGINEERING:	
PUBLIC WORKS:	
STRUCTURAL:	
ACCESSIBILITY:	
ELEVATOR:	


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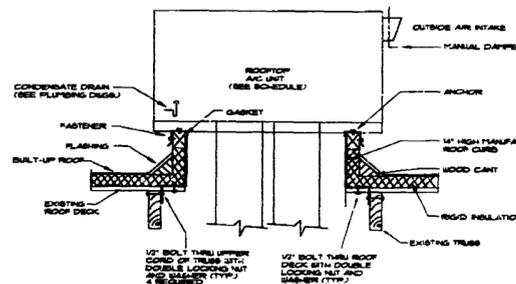
RENOVATIONS TO: BIG PINK 157 Collins Avenue Miami Beach, Florida 33139
GROUND FLOOR MECHANICAL PLAN
REVISIONS: A 8-8-96 B 8-16-96 CORAL REVISION
DATE: 07-08-96 PROJECT CODE: 74-1016 SCALE: 1/4" = 1'-0" DRAWN BY: E.B. APPROVED: <i>[Signature]</i>
M-1



H.V.A.C. PLAN
SCALE: 1/4" = 1'-0" SECOND FLOOR

PACKAGED ROOFTOP A.C. UNIT SCHEDULE		
UNIT DESIGNATION	RTU-1	RTU-2
AREA SERVED	2500	2500
OPERATING HEIGHT, ELEV. - CURB	15'-4"	15'-4"
LOCATION	ROOF	ROOF
(C) EER	10.0	10.0
NOMINAL TONS	5	5
TOTAL AIR SUPPLY	CFM	CFM
OUTSIDE AIR SUPPLY	CFM	CFM
EXT. STATIC PRESS. IN. OF H ₂ O	0.40	0.40
FAN MOTOR	HP/FLA	HP/FLA
SENSIBLE COOLING CAP. BTU/HR	42,000	42,000
TOTAL COOLING CAP. BTU/HR	46,000	46,000
ENTERING AIR TEMP. °F DB/AB	80/67	80/67
FILTER TYPE AND THICKNESS	1" THROBSTAT	1" THROBSTAT
TOTAL HEATING CAPACITY BTU/HR	26,200	26,200
TOTAL KW HEATING	1.68	1.68
NOMINAL TOTAL COPP. FLA	21.8	21.8
NOMINAL TOTAL FAN HP/FLA	1/2/35	1/2/35
AIRBENT AIR TEMP. °F DB	80	80
CONDENSING TEMP. °F MAX	95	95
DESIGN MANUFACTURER	TRANE	TRANE
MODEL NO.	TC084P60A	TC084P60A
ELECTRICAL REQUIREMENTS V/PHS	240V/60	240V/60

* PROVIDE A SMOKE DETECTOR IN THE SUPPLY DUCT INTERLOCKED WITH THE UNIT SO THAT THE UNIT WILL SHUT-DOWN UPON DETECTION.



A/C UNIT (ROOFTOP) INSTALLATION DETAIL

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CITY OF MIAMI BEACH

APPROVED FOR THE CITY OF MIAMI BEACH
DATE: 07/29/96
BY: [Signature]
BUILDING: _____
ZONING: _____
PERMITS: _____
FEE: _____
ENGINEERING: _____
PUBLIC WORKS: _____
STRUCTURAL: _____
ACCESSIBILITY: _____
ELEVATION: _____

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REVISIONS TO:
BIG PINK
157 Collins Avenue
Miami Beach, Florida 33139

SECOND FLOOR
MECHANICAL PLAN

8-8-96
8-10-96

DATE: 07-08-96
PROJECT CODE/NO. NAME: BP
SCALE: 1/4" = 1'-0"
DRAWN BY: [Signature]
CHECKED BY: [Signature]

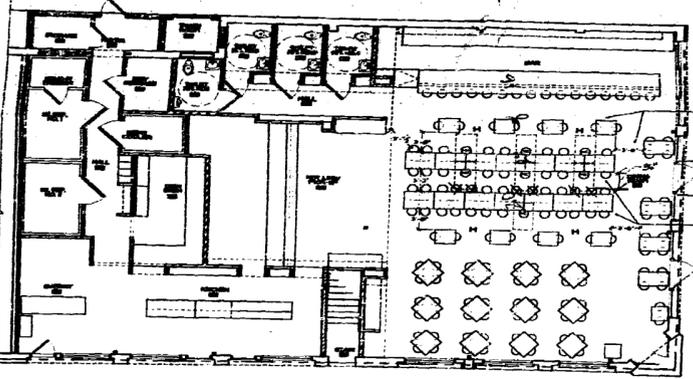
[Signature]

M-2

OFFICE COPY
CITY OF MIAMI BEACH

APPROVED PERMIT BY
THE FOLLOWING:

BUILDING	
ZONING	
PLUMBING	
ELECTRICAL	
MECHANICAL	
PAVING	
SEWER	
WATER	
STREETS	
LAND WORKS	
STRUCTURAL	
ACCESSIBILITY	



Handwritten notes and signatures:
- A large handwritten signature or initials at the bottom right of the plan.
- A smaller signature or initials at the bottom left of the plan.
- Some illegible handwritten text near the bottom center.

Exhibit A-2

Date: 07/01/94 10:30
 Division: BUILD 9401
 CITY OF MIAMI BEACH
 Building Department
 555 West Meridian Blvd. (17th St.)
 Miami Beach, Florida 33139
 (305) 673-7610 Hours of Operation 8:30 to 5:00

157 COLLINS AV
 Parcel Number: 89408397
 Project Number: A9418755

TOTAL THIS DATE	*****	168.30
*** Fees Required ***	*** Fees Collected & Credits ***	
Fees: 168.30	Total Credits: .00	
Adjustments: .00	Total Payments: 168.30	
Total Fees: 168.30	Balance Due: .00	

Distribution: 1-Building Inspection Cop (with Cashier Stamp); 2-Building Insp
 3-City Accounting Division; 4-Metro Dade Co. Tax Assessor Dept.; 5-Applicant
 (Rev: 9001, PFBLDG01.en)

CITY OF MIAMI BEACH
 Building Department
 1600 Wickham Avenue, 2nd Fl
 Miami Beach, Florida 33139

DATE: 4/18/95
 ATTENTION: BUILDING OFFICIAL

OWNER'S AFFIDAVIT
 I, LAWRENCE F. KAINE certify that I am the owner of the
 property described as:
 ADDRESS: 157 COLLINS AVE
 LOT: 11a BLOCK: 2 SUBDIVISION: OCEAN BEACH

I authorize to obtain a building permit for the following work: as by agent
WINDOWS & DOORS STRUCTURAL REPAIRS
TO BEHOLDERS RESTAURANT

Lawrence F. Kaine
 On this the 18 day of April, 1995
 before me, the undersigned Notary Public of the State of
 Florida, personally appeared:
LAWRENCE F. KAINE
 and whose name(s) is/are subscribed to the within
 instrument, and he/she/they, acknowledge that he/she/they
 executed it.
 My commission expires: 04/18/96
 NOTARY PUBLIC, STATE OF FLORIDA

(Type of Notary Public: Print or Type as Commissioner)
 Personally known to me, or
 Produced ID: _____ (Type of ID Produced)
 DID take an oath, or
 DID NOT take an oath.

NOTICE OF COMMENCEMENT MUST BE FILED IF JOB VALUATION
 EXCEEDS \$ 2,500.00 IN LABOR AND MATERIAL.
 NOTICE OF COMMENCEMENT MUST BE POSTED PRIOR TO JOB COMMENCING
 NOTICE OF COMMENCEMENT CAN BE FILED AT:
 44 WEST FLAGLER STREET, 5TH FLOOR, MIAMI, FLORIDA

SPECIAL NOTIFICATION
 BY STATE OF FLORIDA
 COMMISSIONER OF REVENUE
 COMMUNICATIONS BY 3/26/95

Exhibit A-3

S. D. I.

Architecture • Engineering • Interior • Inspections • Construction Management

STRUCTURAL DESIGN, INC.

INSPECTION REPORT

TO: City Of Miami Beach
Building Department
555 Hank Meyer Blvd.
Miami Beach, Florida 33139

PROJECT: 157 Collins Ave.
Miami Beach, Fl

CONTRACTOR: Construction International, Inc
6915 Red Road, Suite 213-c
Coral Gables, Fl 33143

PERMIT NO: B-9400397

INSPECTOR: Farrokh Rasekhi, P.E

DATE OF INSP.: Aug. 25, 1995

WEATHER: Sunny

CONSTRUCTION PHASE: Beams and columns

CONSTRUCTION AREA: Exterior walls on the South and West

WORK DESCRIPTION: Inspection of the reinforcements and terming of the proposed reinforcements in the columns on the North and West walls, including the existing beams

REMARKS: All reinforcements were inspected and instructions given on adding new bars at all areas requiring additional bars.

BY *Farrokh Rasekhi* 8/25/95
FARROKH RASEKHI, P.E
Fl. Registration #38001
Special Inspector #919

13

Exhibit A-4

Prepared By
Myles Chefetz
100 Collins Avenue
Miami Beach, Florida 33139
NOTICE OF COMMENCEMENT

OFF. REC. 17279PG3238

96R317712:1996 JUL 19 09:56

Permit Number BMS61000 Tax Folio Number
02 4203 003 0300

State of Florida
County of Dade

The undersigned hereby gives notice that improvement will be made to certain real property, and in accordance with Chapter 713, Florida Statutes, the following information is provided in this Notice of Commencement

Description of Property: Lot 16, Block 2, Ocean Beach, Florida, according to the Plat thereof, recorded in Plat Book 2, at Page 38 of the Public Records of Dade County, Florida also known as 157 Collins Avenue, Miami Beach, Florida 33139

General description of improvement: Interior and Exterior remodeling for restaurant

Owner Information: Big Pink, Inc. 100 Collins Avenue, Miami Beach, Florida 33139 Interest: Lessee

Name and Address of fee simple titleholder: Lawrence F. Kaine, 305 N. W. 12 Avenue, Miami, Florida 33128

Contractor: Dacra Construction, Inc. 230 Fifth Street, Miami Beach, Florida 33139

Surety: None

Lender: None

Persons within the State of Florida designated by Owner upon whom notices or other documents may be served as provided by section 713.13 (1) (a) 7 Florida Statutes Myles Chefetz, 100 Collins Avenue, Miami Beach, Florida 33139

In addition to himself, Owner designates Dacra Construction, Inc Attn: Cole Haynes, 230 Fifth Street, Miami Beach, Florida 33139 to receive a copy of the Lienor's notice as provided in Section 713.13 (1) (b) Florida Statutes

Expiration date is July 1, 1997.

Big Pink, Inc.

Subscribed and sworn to before me this 18th day of July, 1996. by Myles Chefetz as president of Big Pink, Inc.

Produced ID

PERSONALLY KNOWN

Notary Public



RECORDED IN OFFICIAL RECORDS BOOK
OF DADE COUNTY, FLORIDA.
RECORD VERIFIED
HARVEY RUVIN
CLERK CIRCUIT COURT

Exhibit B-1

**** CONDITIONS OF PERMIT/APPROVAL ****
 Permit No: 98801878 TYPE: REWLD
 Location: 157 COLLINS AV

ENGINEERING CRITERIA

EC01 - **REVISIONS PLANS REVIEW**
 (A) APPROVED
 () NOT APPROVED 1/5/02/02/98
 () HOLD/PENDING FIELD CHECK

NO APPROVED PLANS SEE BELOW CONDITIONS.

EC04 - **INTERIOR REMODELING FOR RESTAURANT**

EC05 - **GARAGE FACILITIES**
 To provide adequate facilities.

EC06 - **HABITAT RESTORATION**

EC07 - **To use existing facilities.**

EC08 - **Garbage disposal units not permitted.**

EC09 - **WATER**

EC10 - **To use existing facilities.**

EC11 - **F.E.M.A. BASE FLOOD ELEVATION NOT APPLICABLE BECAUSE:**

EC12 - **Remodel/addition is less than 50% of value of existing building.**

EC13 - **Certificate of completion required.**

NEED APPROVALS FROM CITY DEPT. APPROVAL

1/5/02/02/98

CITY OF MIAMI BEACH Building Department
 1700 Convention Center Drive, 2nd Floor, Miami Beach, Florida 33139
 Phone: (305) 678-7370 Office: (305) 678-7848
 Hours of Operation: 8:30 to 5:00

Project Number: 98801878
 Permitted by: [Signature]
 Inspected by: [Signature]
 Date Applied: 1/5/02
 Date Issued: 1/5/02
 Date Completed: [Blank]
 Date to Expire: [Blank]

157 COLLINS AV
 Parcel Number: 98801878
 Project Number: 98801878

Fee Description

Fee Description	Units	Fee/Unit	Ext Fee	Disc
Method Check \$			100.00	
CHRG \$26			100.00	
TOTAL CHRG			200.00	
Fees:			243.92	
Adjustments:			0.00	
Total Fees:			243.92	

Fee Collected & Credits

Method Check \$	Receipt No.	Date	Payment
CHRG \$26		01/15/02	100.00
TOTAL CHRG			100.00
Fees:			243.92
Adjustments:			0.00
Total Credits:			100.00
Balance Due:			143.92

IS NO OR TAXPAYER IS NO BENEFIT DISTRICT NO. 8

9804. PFL0001.1k

CITY OF MIAMI BEACH Building Department
 1700 Convention Center Drive, 2nd Floor, Miami Beach, Florida 33139
 Phone: (305) 678-7370 Office: (305) 678-7848
 Hours of Operation: 8:30 to 5:00

Project Number: 98801878
 Permitted by: [Signature]
 Inspected by: [Signature]
 Date Applied: 1/15/98
 Date Issued: 1/15/98
 Date Completed: [Blank]
 Date to Expire: [Blank]

157 COLLINS AV
 Parcel Number: 98801878
 Project Number: 98801878

Fee Description

Fee Description	Units	Fee/Unit	Ext Fee	Disc
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CHRG \$26		01/15/98	100.00
TOTAL CHRG			100.00
Fees:			243.92
Adjustments:			0.00
Total Credits:			100.00
Balance Due:			143.92

IS NO OR TAXPAYER IS NO BENEFIT DISTRICT NO. 8

9804. PFL0001.1k

CITY OF MIAMI BEACH - BUILDING DEPARTMENT - APPENDIX 2
 1700 Convention Center Drive, 2nd Floor, Miami Beach, Florida 33139
PERMIT APPLICATION

LOCATION OF IMPROVEMENTS

Address: 157 COLLINS AV
 Parcel No: 98801878
 Lot: [Blank]
 Block: [Blank]
 Sublot: [Blank]
 P. & P. [Blank]

CONTRACTOR INFORMATION

Contractor Name: [Blank]
 License No.: [Blank]
 Address: [Blank]
 City/State: [Blank]
 Phone: [Blank]

TYPE OF IMPROVEMENT

Description of Work: INTERIOR REMODELING
 Current Property Use: RESTAURANT
 Value of Work: \$40,000
 Sq. Ft. [Blank]

PERMIT TYPE

New Construction
 Alteration
 Addition
 Change of Use
 Other

CHANGE TO EXISTING

Change Contractor
 System
 Upgrade
 Equipment
 Relocation

OWNER INFORMATION

Name: [Blank]
 Address: 3207 COLLINS AVE
 City/State: MIAMI BEACH, FL 33140
 Home Phone: [Blank]
 Work Phone: 678-4472
 Cell No.: [Blank]

AGENCY INFORMATION

Name: [Blank]
 Address: [Blank]
 City/State: [Blank]
 Phone: [Blank]

FEES

Permit Fee: [Blank]
 Inspection Fee: [Blank]
 Other Fees: [Blank]

PEV 107 Page 1 of 12

00421

Exhibit B-2

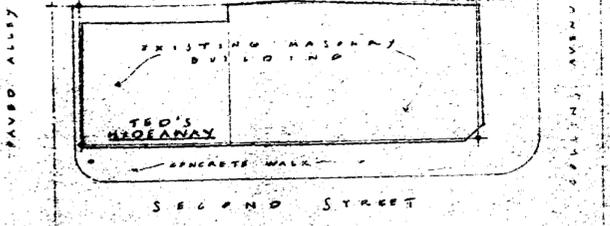
PERMIT #

B9801070

ADDRESS

126 2nd street

1504005

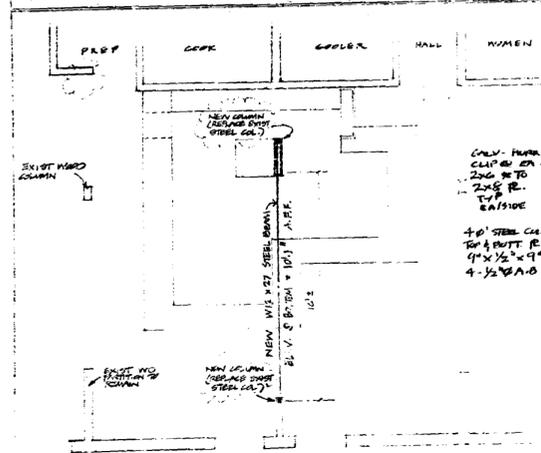


LOCATION PLAN

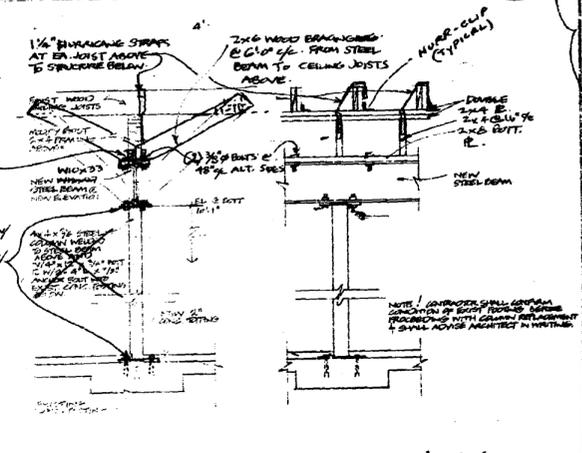
DOOR SCHEDULE

NO.	WIDTH	HEIGHT	THICK	FRAME	MAT'L	TYPE	REMARKS
1	2'-0"	6'-8"	1 3/4"	WOOD	WOOD	FLUSH	REPLACE EXIST. DOOR & FRAME 1/2" BR. DOOR
2	2'-0"	6'-8"	1 3/4"	WOOD	WOOD	FLUSH	DUAL ACTION HINGE/FLUSH DOOR PLAYS TO SIDE
3	2'-0"	6'-8"	1 3/4"	WOOD	WOOD	PANEL	SPY-GUARD HINGE/LEVER HANDLE
4	2'-0"	6'-8"	1 3/4"	WOOD	WOOD	PANEL	SELF-CLOSING HINGE/LEVER HANDLE
5	2'-0"	6'-8"	1 3/4"	WOOD	WOOD	PANEL	SELF-CLOSING HINGE/LEVER HANDLE
6	2'-0"	6'-8"	1 3/4"	WOOD	WOOD	PANEL	SELF-CLOSING HINGE/LEVER HANDLE
7	2'-0"	6'-8"	1 3/4"	WOOD	WOOD	PANEL	SPY-GUARD HINGE/LEVER HANDLE
8	2'-0"	6'-8"	1 3/4"	WOOD	WOOD	PANEL	SPY-GUARD HINGE/LEVER HANDLE

NOTES:
 1. HINGERS SHALL HAVE BRUSHED BRASS FINISH (NUMBER - PART SPEC)
 2. METALL LEVER LOCK HANDLES & LOCK CLOSING IS FRONT ENTRY DOOR.
 3. HINGERS AT COURT DOORWAYS SHALL BE 1 3/4" x 5" x 7 1/2" W/ TAPERED WINGS



PARTIAL PLAN 1/4" = 1'-0"



SECTION DETAILS 1/4" = 1'-0"

WOOD HEADER MODIFICATION DETAILS

DRAINED PLANS ARE REQUIRED FOR FIRE ALARMS AND LIFE SAFETY SYSTEMS. DRAINED AND SIGNED BY A STATE OF FLORIDA P.E.

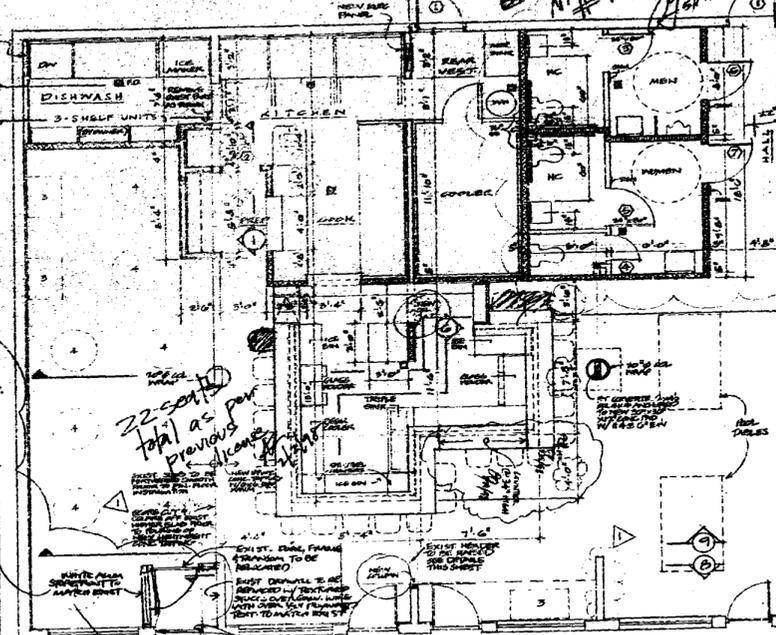
MAINTAIN EFFECTIVENESS OF FIRE SUPPRESSION / LIFE SAFETY SYSTEMS IN ACCORDANCE WITH SFBC CHAPTER 38.

APPROVAL IS CONTINGENT ON PERFORMANCE OF FIRE SUPPRESSION LIFE SAFETY SYSTEMS IN ACCORDANCE WITH SFBC CHAPTER 38.

FIRE STOPPING REQUIREMENT
 Penetrations thru walls and floors shall be sealed with a material capable of withstanding the requirements of the Test Standard specified for Fire Stops ASTM E-81.

"SHOP DRAWINGS ARE REQUIRED FOR FIRE ALARMS, FIRE SPRINKLERS, AND LIFE SAFETY SYSTEMS. SEALED AND SIGNED BY A STATE OF FLORIDA P.E."

CONTRACTOR OR APPROVED OCCUPANT TO BE RESPONSIBLE FOR THE PROTECTION OF EXISTING UTILITIES. ALL UTILITIES SHALL BE PROTECTED AND NOT TO BE DAMAGED BY THE WORK.



FLOOR PLAN 1/4" = 1'-0"

GENERAL NOTES

- ALL WORK SHALL COMPLY WITH ALL APPLICABLE LOCAL & NATIONAL GOVERNING AGENCIES AND ORDINANCES INCLUDING BUT NOT LIMITED TO THE CONSTRUCTION BUILDING CODE, FPMR, EDITION 1994, N.E.C., N.F.P.A., CITY OF MIAMI BEACH, AND MIAMI-DADE COUNTY.
- ALL CONTRACTORS & THEIR SUBCONTRACTORS SHALL BE FULLY LICENSED & QUALIFIED TO WORK IN THE CITY OF MIAMI BEACH AND SHALL OBTAIN NECESSARY PERMITS & LIABILITY INSURANCE AS REQUIRED BY CITY.
- REVISION 22
- NEW FINISHES AT EXISTING PARTITIONS SHALL RECEIVE MIN. CLASS 2ND FINISH.
- ALL EXISTING FINISHED PARTITIONS SHALL BE PROTECTED WITH 1/2" BR. SHEET PLY OR EQUIVALENT BY THE CONTRACTOR.
- NEW PARTITIONS SHALL BE 2 1/2" OR 3" MIN. THICKNESS OF 1/2" BR. SHEET PLY OR EQUIVALENT. EXISTING PARTITIONS SHALL BE 1/2" BR. SHEET PLY OR EQUIVALENT.
- EXISTING & NEW PARTITIONS SHALL BE PROTECTED BY FINISH AND PROTECTED BY APPROVED SPARS FORM.
- LIGHT FIXTURES SHALL BE SUPPLIED BY THE OWNER & INSTALLED BY CONTRACTOR.
- NEW 2" LIGHTING GROUPE PLATE SHALL BE FINISH WITH COUPLER AT NEW BRON PLATE FINISH/RECORDING ROOM IN HALL. ALL EXISTING PARTITIONS SHALL RECEIVE 1/2" BR. SHEET PLY OR EQUIVALENT.
- EXTERIOR WALLS SHALL RECEIVE 1/2" DRYWALL OVER FINISHES.
- REMOVE NEW FITS IN ALL NEW FIRE PENETRATIONS. FINISH & PROTECT EXISTING PARTITIONS WITH 1/2" BR. SHEET PLY OR EQUIVALENT.
- EXTERIOR WALLS SHALL BE FINISHED & PROTECTED BY 5/8" BR. SHEET PLY OR EQUIVALENT. EXISTING PARTITIONS SHALL RECEIVE 1/2" BR. SHEET PLY OR EQUIVALENT.
- CONTRACTOR SHALL PROVIDE TEMPORARY PROTECTION FOR EXISTING PARTITIONS & PARTITIONS THROUGHOUT THE CONSTRUCTION PERIOD.
- FINISH PARTITIONS SHALL BE OFFERED THE SAME AS THE EXISTING PARTITIONS & INSTALLED BY CONTRACTOR.
- REMOVE EXISTING PARTITION AT 12' LAUNDRY CLOSET FINISH.

EXTERIOR DOORS UNDER SEPARATE PERMIT

OFFICE COPY
 CITY OF MIAMI BEACH
 APPROVED FOR PERMIT BY THE FOLLOWING:

BUILDING	1/21/00
PLANNING	1/21/00
ELECTRICAL	1/21/00
MECHANICAL	1/21/00
FIRE PREVENTION	1/21/00
PUBLIC WORKS	1/21/00
STRUCTURAL	1/21/00
ACCESSIBILITY	1/21/00
ELEVATOR	1/21/00

REVISIONS
 JANUARY 22, 1998

OVIDIO OXIOS, A.I.A.
 Architecture Design Services
 118 West 3rd Street - Miami Beach, Florida 33139
 Phone: 305.352.0030
 Date: December 28, 1997
 Sheet A-1

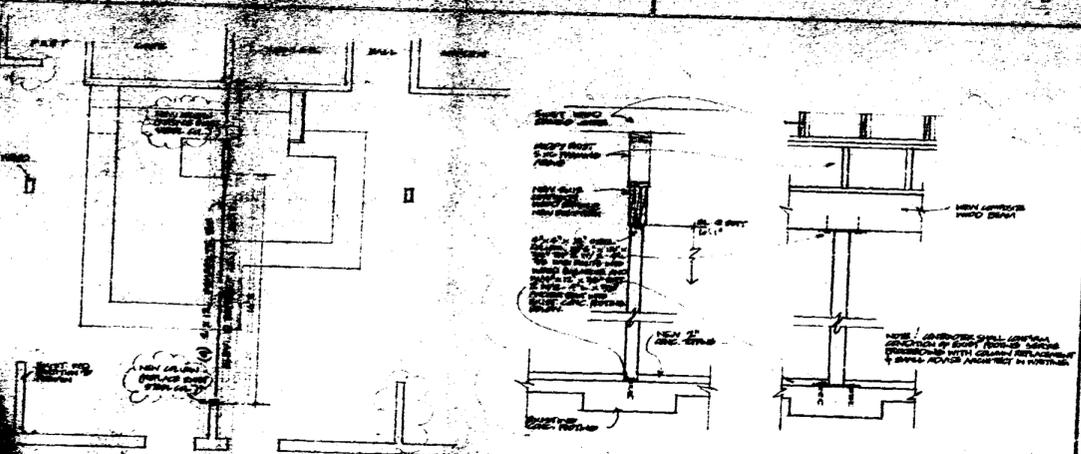
00405

PROJECT: [Illegible]
 DATE: [Illegible]

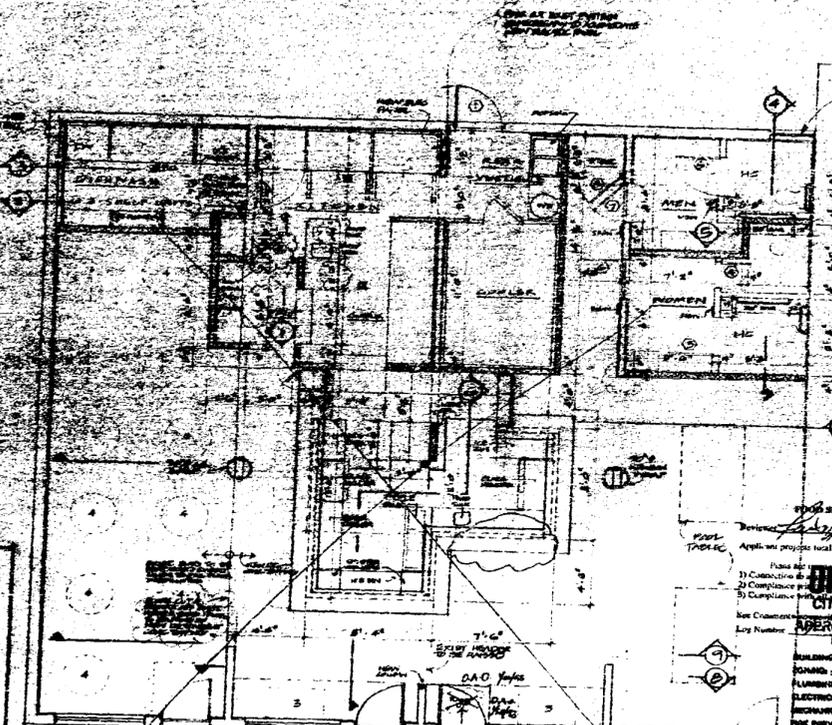
WALKER PLAN

MECHANICAL SCHEDULE

NO.	DESCRIPTION	QUANTITY	UNIT	PRICE	TOTAL
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WORD LEADER MODIFICATION DETAILS



FLOOR PLAN

GENERAL NOTES

1. ALL WORK SHALL COMPLY WITH ALL APPLICABLE LOCAL & NATIONAL BUILDING, MECHANICAL AND ELECTRICAL CODES AND SHALL BE APPROVED BY THE CITY OF MIAMI BEACH, FLORIDA.
2. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY OF MIAMI BEACH, FLORIDA, DEPARTMENT OF PUBLIC WORKS, DIVISION OF MECHANICAL AND ELECTRICAL PERMITS.
3. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY OF MIAMI BEACH, FLORIDA, DEPARTMENT OF PUBLIC WORKS, DIVISION OF MECHANICAL AND ELECTRICAL PERMITS.
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12. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY OF MIAMI BEACH, FLORIDA, DEPARTMENT OF PUBLIC WORKS, DIVISION OF MECHANICAL AND ELECTRICAL PERMITS.
13. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY OF MIAMI BEACH, FLORIDA, DEPARTMENT OF PUBLIC WORKS, DIVISION OF MECHANICAL AND ELECTRICAL PERMITS.
14. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY OF MIAMI BEACH, FLORIDA, DEPARTMENT OF PUBLIC WORKS, DIVISION OF MECHANICAL AND ELECTRICAL PERMITS.
15. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY OF MIAMI BEACH, FLORIDA, DEPARTMENT OF PUBLIC WORKS, DIVISION OF MECHANICAL AND ELECTRICAL PERMITS.
16. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY OF MIAMI BEACH, FLORIDA, DEPARTMENT OF PUBLIC WORKS, DIVISION OF MECHANICAL AND ELECTRICAL PERMITS.
17. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY OF MIAMI BEACH, FLORIDA, DEPARTMENT OF PUBLIC WORKS, DIVISION OF MECHANICAL AND ELECTRICAL PERMITS.
18. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY OF MIAMI BEACH, FLORIDA, DEPARTMENT OF PUBLIC WORKS, DIVISION OF MECHANICAL AND ELECTRICAL PERMITS.
19. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY OF MIAMI BEACH, FLORIDA, DEPARTMENT OF PUBLIC WORKS, DIVISION OF MECHANICAL AND ELECTRICAL PERMITS.
20. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY OF MIAMI BEACH, FLORIDA, DEPARTMENT OF PUBLIC WORKS, DIVISION OF MECHANICAL AND ELECTRICAL PERMITS.

APPROVED FOR PERMIT BY THE FOLLOWING:

MECHANICAL: [Signature]

ELECTRICAL: [Signature]

PLUMBING: [Signature]

STRUCTURAL: [Signature]

PUBLIC WORKS: [Signature]

ENGINEERING: [Signature]

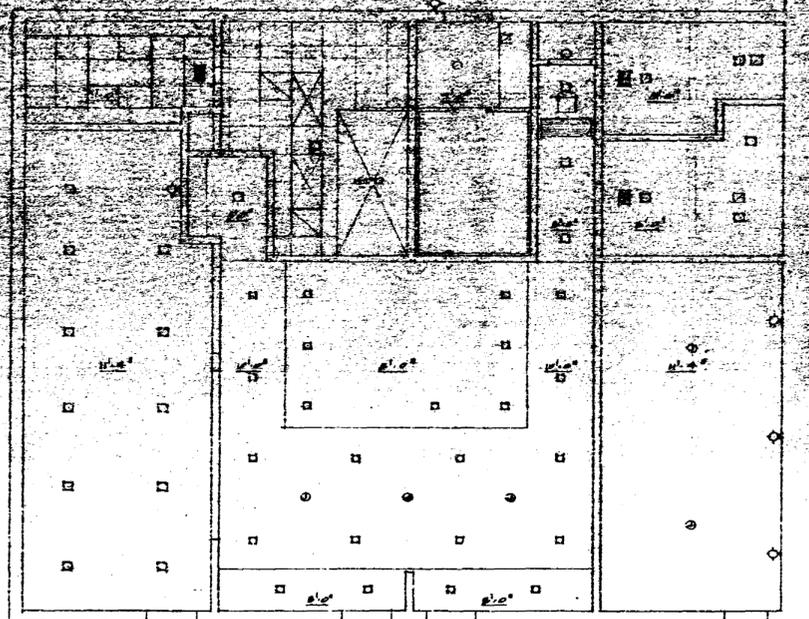
ARCHITECTURE: [Signature]

VOID

OXIDIO OXIOS, AIA
 Architecture Design Services
 118 West 5th Court - Miami Beach, FL 33139
 Phone: 305.531.0000
 Fax: 305.531.0000

Seal of the City of Miami Beach, Florida
 Mayor: [Name]
 City Engineer: [Name]

000406



REFLECTED CEILING PLAN

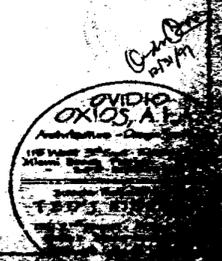
OFFICE COPY

CITY OF MIAMI BEACH

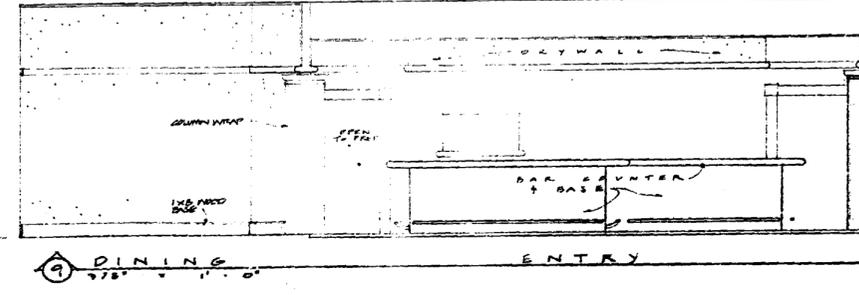
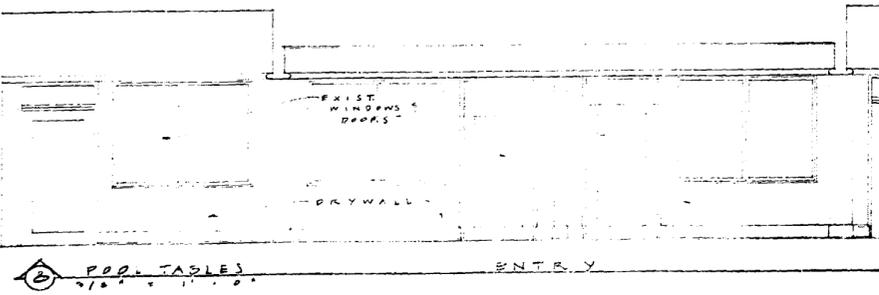
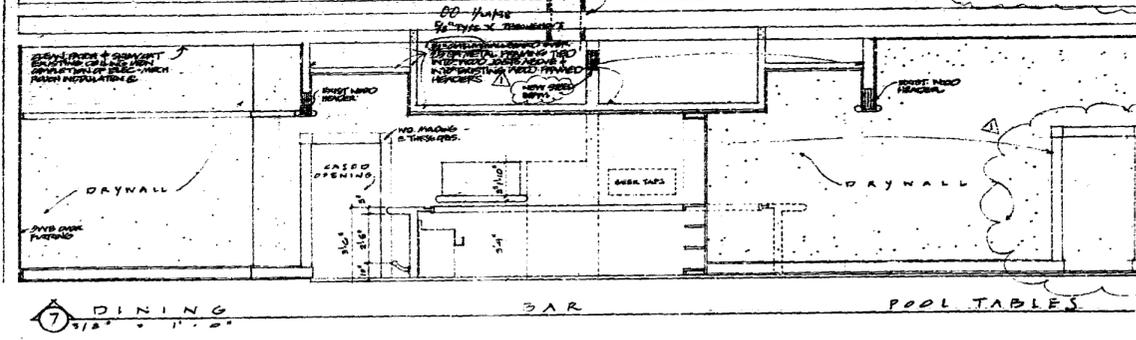
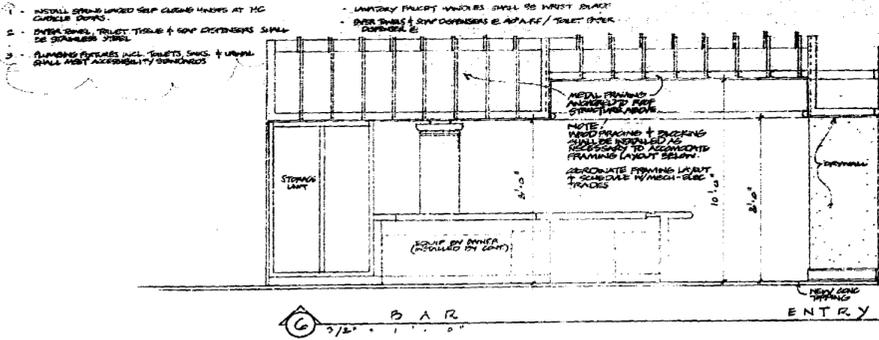
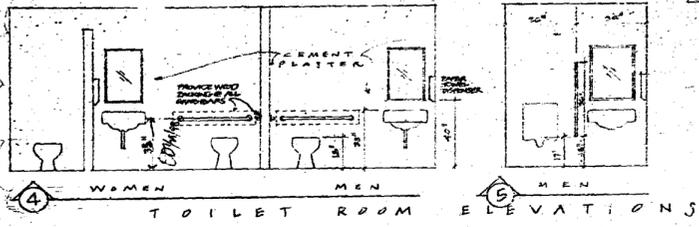
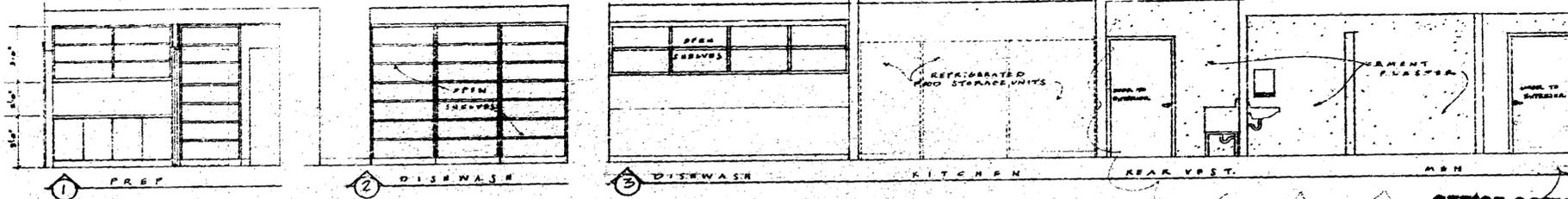
APPROVED FOR PERMIT BY

THE FOLLOWING:

- BUILDING *[Signature]*
- ZONING *[Signature]*
- ELECTRICAL *[Signature]*
- MECHANICAL *[Signature]*
- FIRE PREVENTION *[Signature]*
- ENGINEERING *[Signature]*
- PUBLIC WORKS *[Signature]*
- STREETS *[Signature]*
- SEWERAGE *[Signature]*
- WATER *[Signature]*



000407



OFFICE COPY
 CITY OF MIAMI BEACH
 APPROVED FOR PERMIT BY
 THE FOLLOWING:

DRAWING	2/1/80
DESIGN	2/1/80
PLANNING	2/1/80
ELECTRICAL	2/1/80
Mechanical	2/1/80
PLUMBING	2/1/80
Structural	2/1/80
Fire Protection	2/1/80
Sanitary	2/1/80
Other	2/1/80

NOTE: ACCESSIBLE SECTION SEE DRAWING 3-341-A

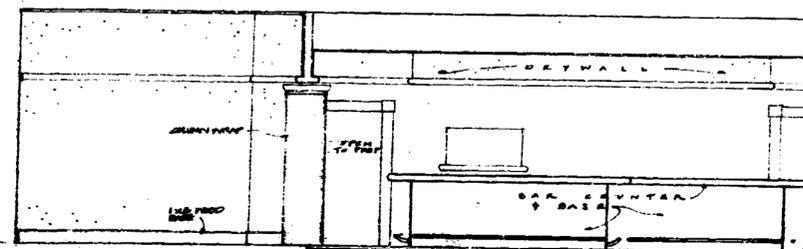
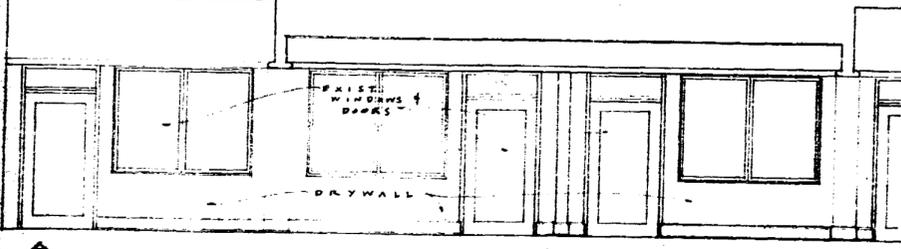
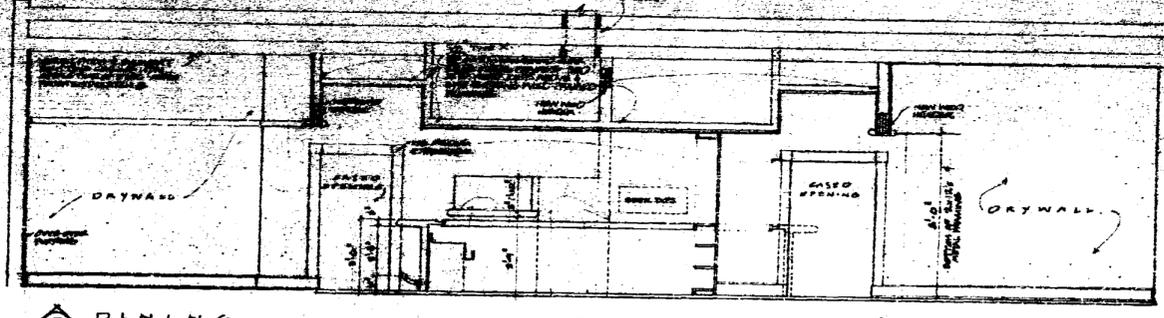
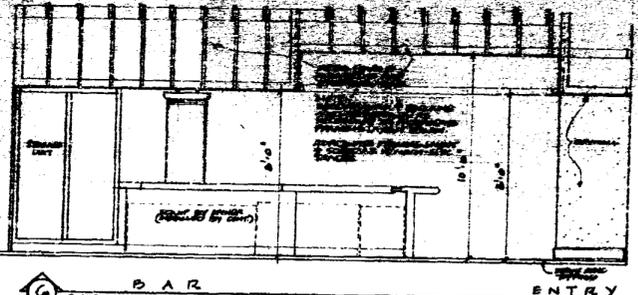
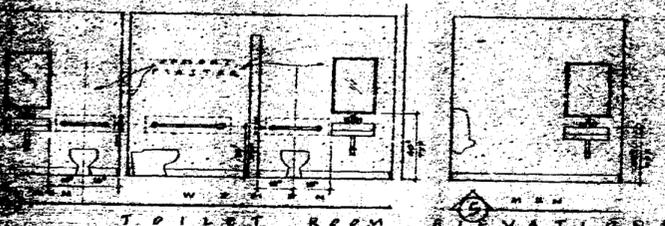
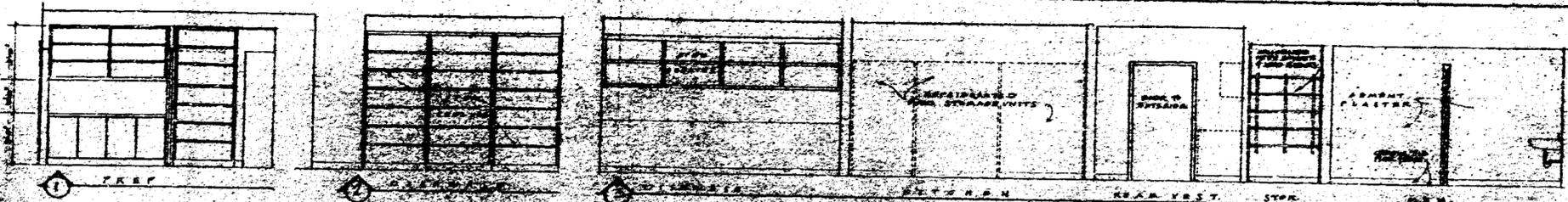
REVISIONS
 January 26, 1980

VOID

OVIDIO OXIOS, AIA.
 Architecture - Design Services
 110 West 24th Street, Suite 100
 Miami Beach, Florida 33139
 Phone: 305-358-0000

Interior Remodeling for
TED'S HIDEAWAY
 120 24th Street - Miami Beach
 Date: December 20, 1977
 Sheet A-3 of 3

00408



OFFICE COPY

CITY OF MIAMI BEACH

APPROVED FOR PERMIT BY THE FOLLOWING:

PLUMBING	
ELECTRICAL	
Mechanical	
Structural	
Fire	
Public Works	
Sanitation	
Health	
Police	
Fire Department	
Public Works	
Sanitation	
Health	
Police	

VOID

OIDIO OKIOS, AIA
 Architect - Design
 2275 Collins Ave., Suite 200
 Miami Beach, FL 33139
 Phone: 305-531-1111
 Interior Architect
TED'S RIDGE
 11111 SW 11th St.
 Miami, FL 33156
 Phone: 305-555-1111

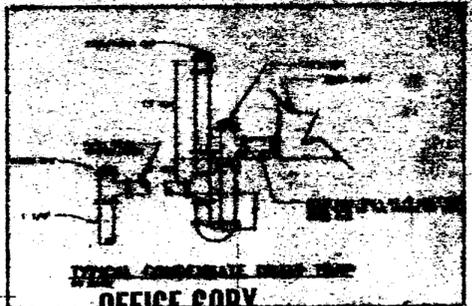
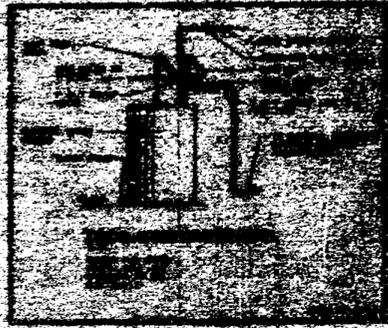
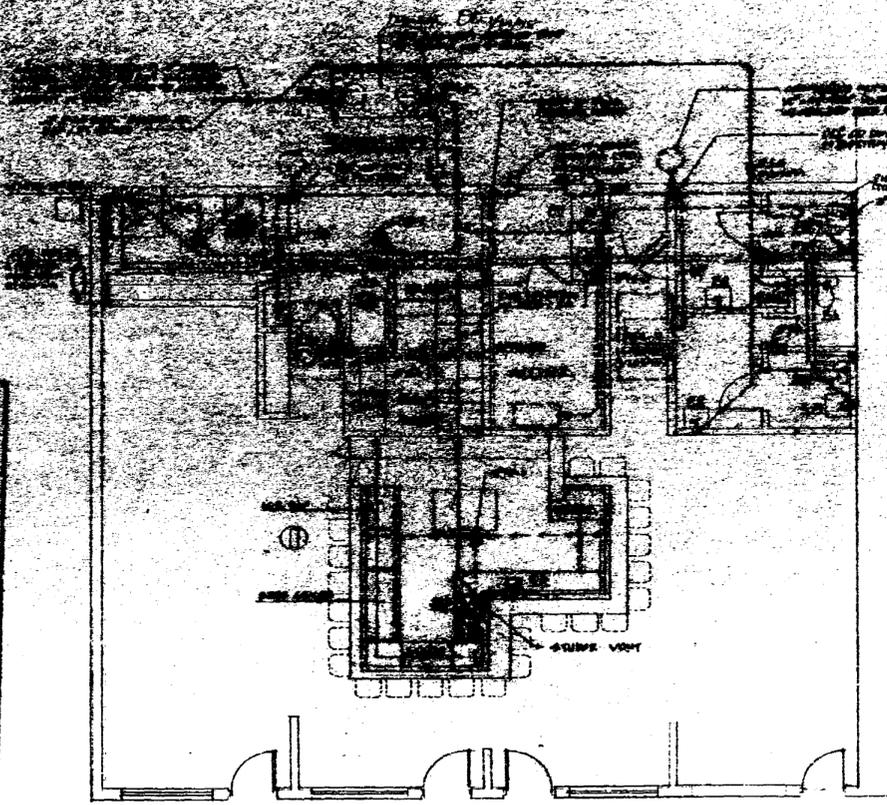
000409

NOTES:

1. All plumbing fixtures shall be installed in accordance with the Miami Building Code, Chapter 25, and the Miami Plumbing Code, Chapter 26.
2. All plumbing fixtures shall be installed in accordance with the Miami Building Code, Chapter 25, and the Miami Plumbing Code, Chapter 26.
3. All plumbing fixtures shall be installed in accordance with the Miami Building Code, Chapter 25, and the Miami Plumbing Code, Chapter 26.
4. All plumbing fixtures shall be installed in accordance with the Miami Building Code, Chapter 25, and the Miami Plumbing Code, Chapter 26.
5. All plumbing fixtures shall be installed in accordance with the Miami Building Code, Chapter 25, and the Miami Plumbing Code, Chapter 26.
6. All plumbing fixtures shall be installed in accordance with the Miami Building Code, Chapter 25, and the Miami Plumbing Code, Chapter 26.
7. All plumbing fixtures shall be installed in accordance with the Miami Building Code, Chapter 25, and the Miami Plumbing Code, Chapter 26.
8. All plumbing fixtures shall be installed in accordance with the Miami Building Code, Chapter 25, and the Miami Plumbing Code, Chapter 26.
9. All plumbing fixtures shall be installed in accordance with the Miami Building Code, Chapter 25, and the Miami Plumbing Code, Chapter 26.
10. All plumbing fixtures shall be installed in accordance with the Miami Building Code, Chapter 25, and the Miami Plumbing Code, Chapter 26.

1/2" = 1'-0"	1/4" = 1'-0"	3/8" = 1'-0"	1/2" = 1'-0"
3/4" = 1'-0"	1" = 1'-0"	1 1/4" = 1'-0"	1 1/2" = 1'-0"
1 3/4" = 1'-0"	2" = 1'-0"	2 1/4" = 1'-0"	2 1/2" = 1'-0"
2 3/4" = 1'-0"	3" = 1'-0"	3 1/4" = 1'-0"	3 1/2" = 1'-0"
3 3/4" = 1'-0"	4" = 1'-0"	4 1/4" = 1'-0"	4 1/2" = 1'-0"
4 3/4" = 1'-0"	5" = 1'-0"	5 1/4" = 1'-0"	5 1/2" = 1'-0"
5 3/4" = 1'-0"	6" = 1'-0"	6 1/4" = 1'-0"	6 1/2" = 1'-0"
6 3/4" = 1'-0"	7" = 1'-0"	7 1/4" = 1'-0"	7 1/2" = 1'-0"
7 3/4" = 1'-0"	8" = 1'-0"	8 1/4" = 1'-0"	8 1/2" = 1'-0"
8 3/4" = 1'-0"	9" = 1'-0"	9 1/4" = 1'-0"	9 1/2" = 1'-0"
9 3/4" = 1'-0"	10" = 1'-0"	10 1/4" = 1'-0"	10 1/2" = 1'-0"

1/2" = 1'-0"	1/4" = 1'-0"	3/8" = 1'-0"	1/2" = 1'-0"
3/4" = 1'-0"	1" = 1'-0"	1 1/4" = 1'-0"	1 1/2" = 1'-0"
1 3/4" = 1'-0"	2" = 1'-0"	2 1/4" = 1'-0"	2 1/2" = 1'-0"
2 3/4" = 1'-0"	3" = 1'-0"	3 1/4" = 1'-0"	3 1/2" = 1'-0"
3 3/4" = 1'-0"	4" = 1'-0"	4 1/4" = 1'-0"	4 1/2" = 1'-0"
4 3/4" = 1'-0"	5" = 1'-0"	5 1/4" = 1'-0"	5 1/2" = 1'-0"
5 3/4" = 1'-0"	6" = 1'-0"	6 1/4" = 1'-0"	6 1/2" = 1'-0"
6 3/4" = 1'-0"	7" = 1'-0"	7 1/4" = 1'-0"	7 1/2" = 1'-0"
7 3/4" = 1'-0"	8" = 1'-0"	8 1/4" = 1'-0"	8 1/2" = 1'-0"
8 3/4" = 1'-0"	9" = 1'-0"	9 1/4" = 1'-0"	9 1/2" = 1'-0"
9 3/4" = 1'-0"	10" = 1'-0"	10 1/4" = 1'-0"	10 1/2" = 1'-0"



PLUMBING FLOOR PLAN
SCALE: 1/4" = 1'-0"

OFFICE COPY
CITY OF MIAMI BEACH

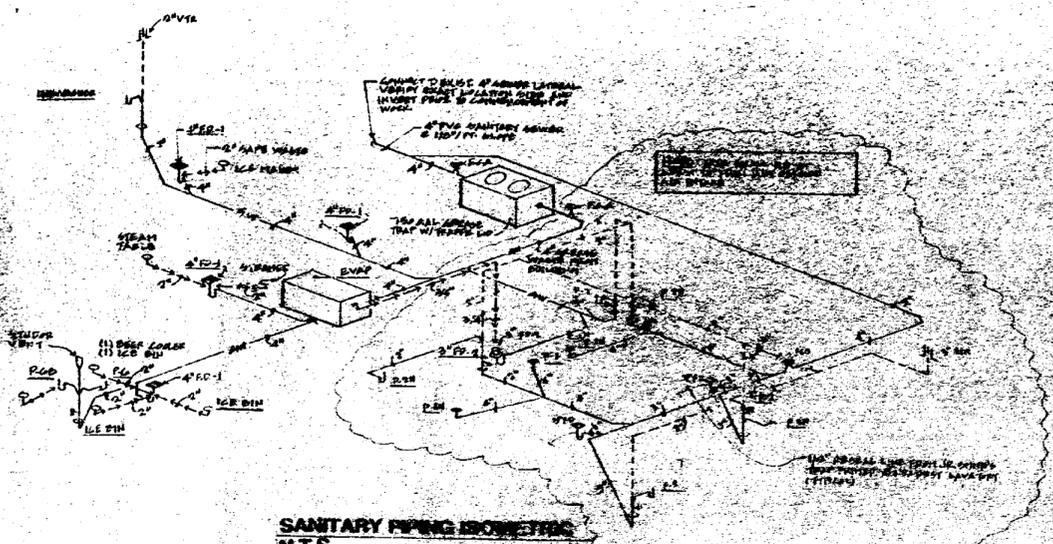
APPROVED FOR PERMIT BY THE FOLLOWING:

BUILDING _____
 ZONING _____
 PLUMBING **ALBERT**
 ELECTRICAL _____
 MECHANICAL _____
 FIRE PREVENTION _____
 ENGINEERING _____
 PUBLIC WORKS _____
 STRUCTURAL _____
 ACCESSIBILITY _____
 TELEVISION _____

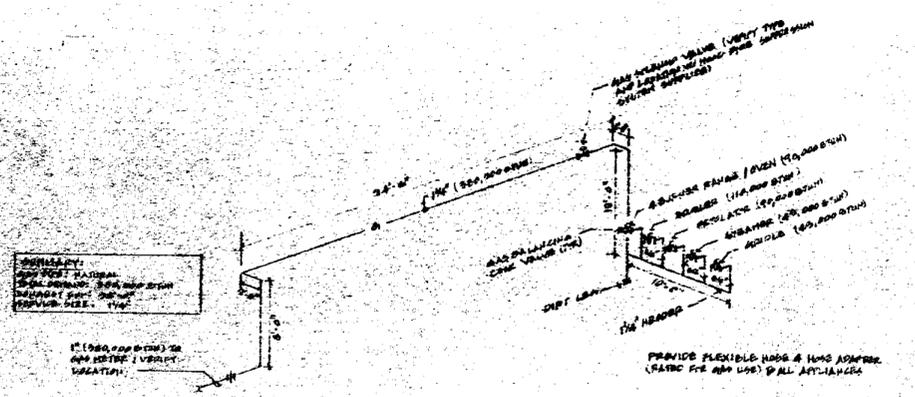
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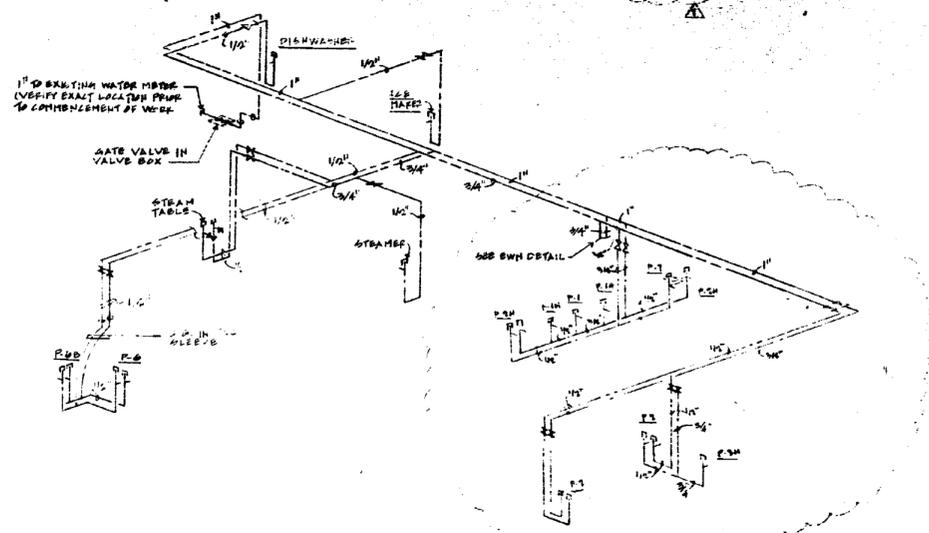
004



**SANITARY PIPING ISOMETRIC
N.T.S.**



**GAS PIPING ISOMETRIC
N.T.S.**



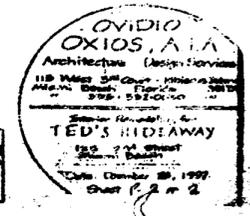
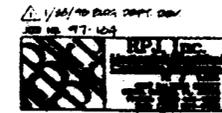
**WATER PIPING ISOMETRIC
N.T.S.**

000412

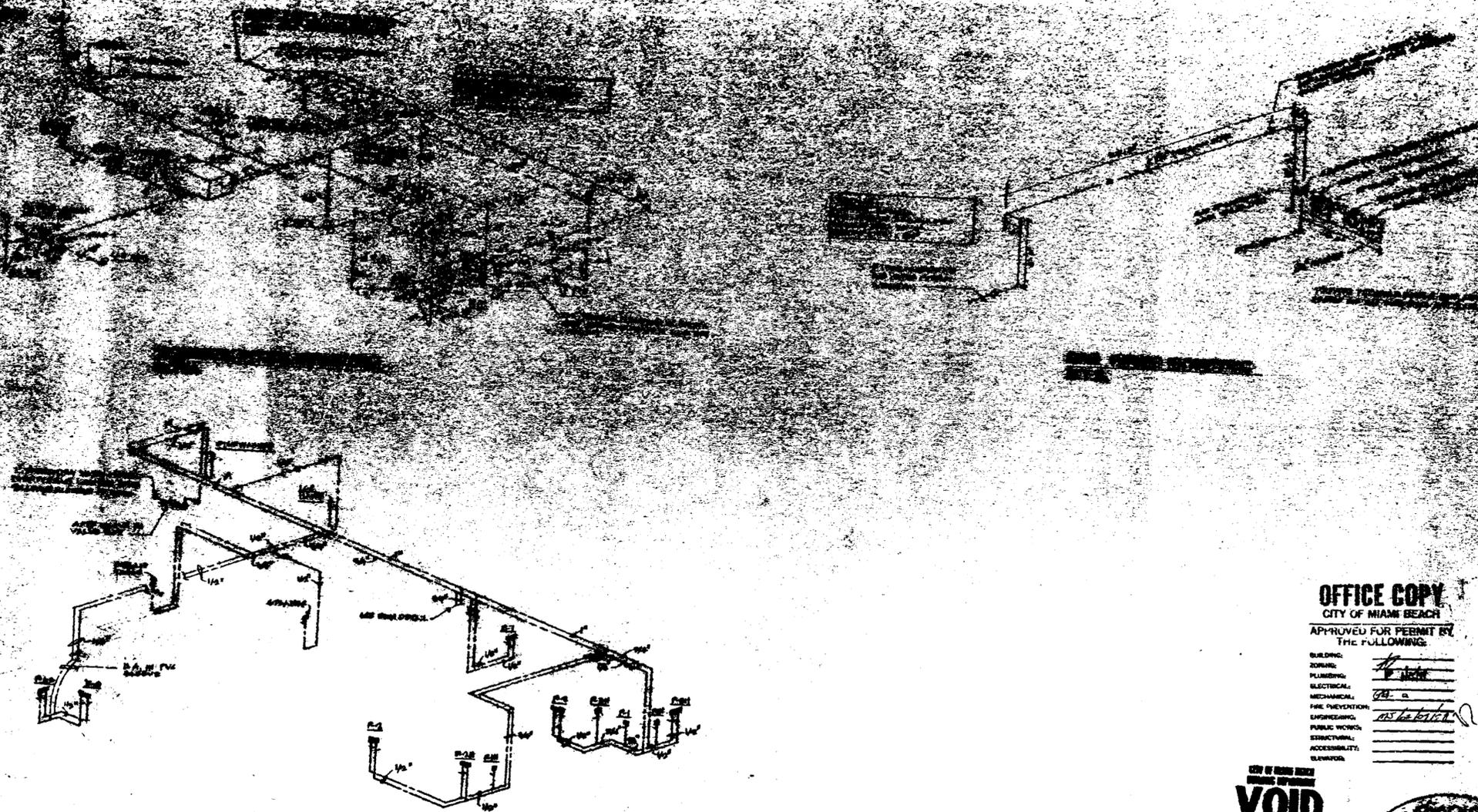
OFFICE COPY
CITY OF MIAMI BEACH
APPROVED FOR PERMIT BY:
THE FOLLOWING:

ENGINEER	_____
PLUMBER	_____
ELECTRICIAN	_____
Mechanical	_____
Fire Protection	_____
Structural	_____
Accessibility	_____
Electrician	_____

Handwritten signature



4004-3



OFFICE COPY
 CITY OF MIAMI BEACH
 APPROVED FOR PERMIT BY
 THE FOLLOWING:

BUILDING: _____
 ZONING: _____
 PLUMBING: _____
 ELECTRICAL: _____
 MECHANICAL: _____
 FIRE PREVENTION: _____
 ENGINEERING: _____
 PUBLIC WORKS: _____
 STRUCTURAL: _____
 ACCESSIBILITY: _____
 ELEVATION: _____

VOID

BY _____
 DATE _____

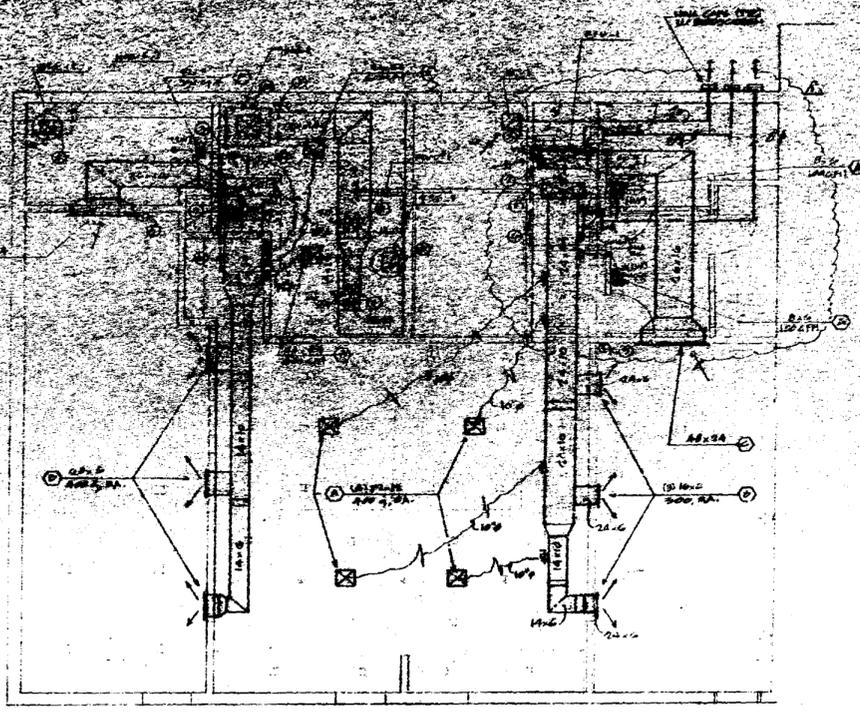
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4-507-1

GENERAL NOTES-HVAC

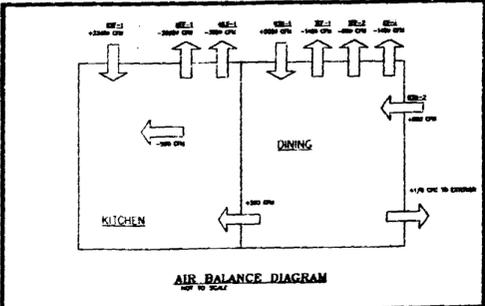
1. All work shall be done in accordance with the South Florida Building Code, Chapter 10, and the applicable provisions of the HVAC Code.
2. The contractor shall be responsible for the design of the HVAC system and for obtaining all necessary permits and approvals.
3. The contractor shall be responsible for the design of the ductwork and for obtaining all necessary permits and approvals.
4. The contractor shall be responsible for the design of the controls and for obtaining all necessary permits and approvals.
5. The contractor shall be responsible for the design of the exhaust system and for obtaining all necessary permits and approvals.
6. The contractor shall be responsible for the design of the fire protection system and for obtaining all necessary permits and approvals.
7. The contractor shall be responsible for the design of the energy conservation system and for obtaining all necessary permits and approvals.
8. The contractor shall be responsible for the design of the noise abatement system and for obtaining all necessary permits and approvals.
9. The contractor shall be responsible for the design of the indoor air quality system and for obtaining all necessary permits and approvals.
10. The contractor shall be responsible for the design of the ventilation system and for obtaining all necessary permits and approvals.
11. The contractor shall be responsible for the design of the humidification system and for obtaining all necessary permits and approvals.
12. The contractor shall be responsible for the design of the dehumidification system and for obtaining all necessary permits and approvals.
13. The contractor shall be responsible for the design of the air filtration system and for obtaining all necessary permits and approvals.
14. The contractor shall be responsible for the design of the air cleaning system and for obtaining all necessary permits and approvals.
15. The contractor shall be responsible for the design of the air sterilization system and for obtaining all necessary permits and approvals.
16. The contractor shall be responsible for the design of the air ionization system and for obtaining all necessary permits and approvals.
17. The contractor shall be responsible for the design of the air disinfection system and for obtaining all necessary permits and approvals.
18. The contractor shall be responsible for the design of the air decontamination system and for obtaining all necessary permits and approvals.
19. The contractor shall be responsible for the design of the air treatment system and for obtaining all necessary permits and approvals.
20. The contractor shall be responsible for the design of the air conditioning system and for obtaining all necessary permits and approvals.



CEILING PLAN - HVAC
SCALE: 1/4" = 1'-0"

HVAC KEY NOTES:

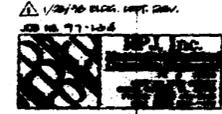
1. SUPPLY DIFFUSERS SHALL BE A 600MM PANEL AT DIFF WALL CEILING.
2. THE 100% SUPPLY AIR RETURN SHALL BE TO UNIT BLANK W/ FINE MESH AT THE EXISTING EXHAUST PENETRATION.
3. 60A-DIFFUSER BLANK.
4. 100% AIR RETURN UNIT.
5. THERMOSTAT.
6. 100% SUPPLY AIR UNIT AND FINE MESH WITH 100% AIR RETURN.

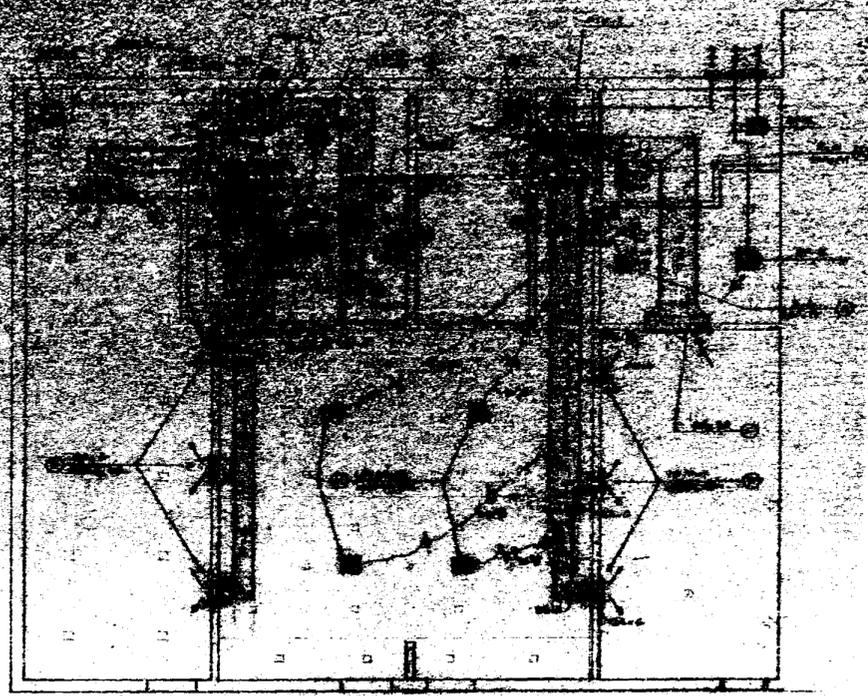
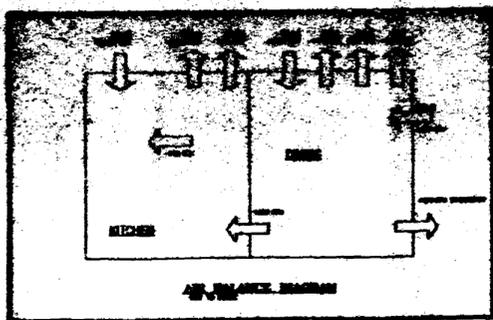
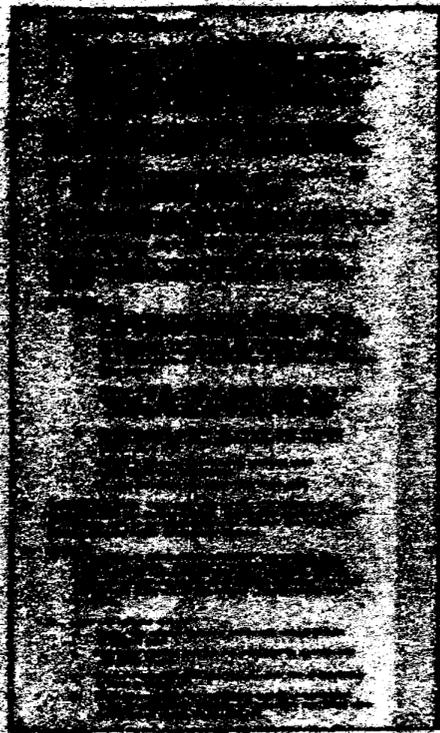


OFFICE COPY
CITY OF MIAMI BEACH
APPROVED FOR PERMIT BY
THE FOLLOWING:

ENGINEER	_____
ARCHITECT	_____
ELECTRICAL	_____
MECHANICAL	_____
FIRE PROTECTION	_____
ENVIRONMENTAL	_____
PUBLIC WORKS	_____
INSPECTION	_____
PLUMBING	_____

Handwritten signature





MECHANICAL PLAN - HVAC

- 1. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF MIAMI BEACH DEPARTMENT OF PUBLIC WORKS PERMITS AND REGULATIONS.
- 2. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF MIAMI BEACH DEPARTMENT OF PUBLIC WORKS PERMITS AND REGULATIONS.
- 3. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF MIAMI BEACH DEPARTMENT OF PUBLIC WORKS PERMITS AND REGULATIONS.
- 4. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF MIAMI BEACH DEPARTMENT OF PUBLIC WORKS PERMITS AND REGULATIONS.
- 5. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF MIAMI BEACH DEPARTMENT OF PUBLIC WORKS PERMITS AND REGULATIONS.
- 6. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF MIAMI BEACH DEPARTMENT OF PUBLIC WORKS PERMITS AND REGULATIONS.

OFFICE COPY
CITY OF MIAMI BEACH

APPROVED FOR PERMIT BY
THE FOLLOWING:

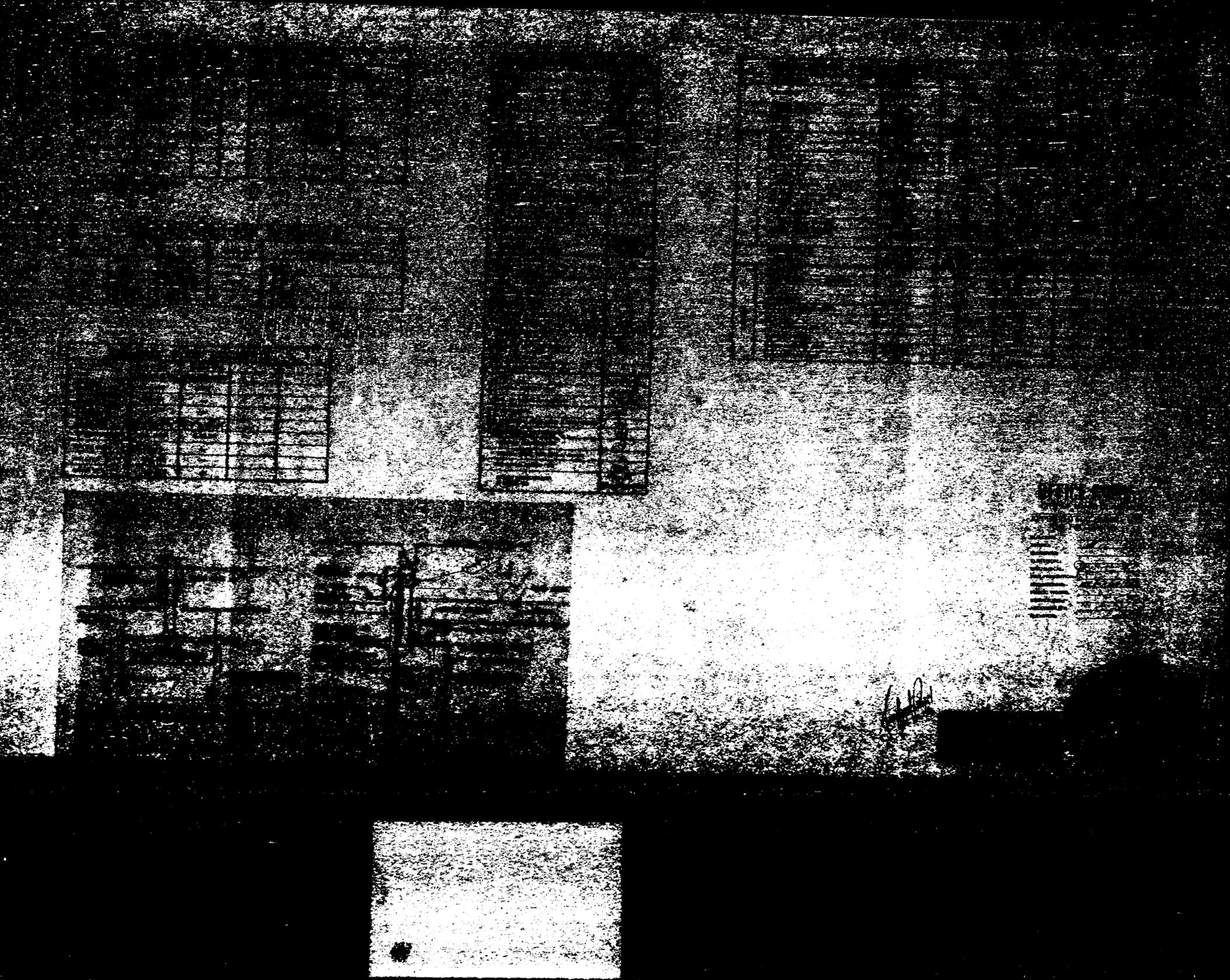
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- ZONING: _____
- PLUMBING: _____
- ELECTRICAL: _____
- Mechanical: 1-10-20
- FIRE PREVENTION: _____
- ENGINEERING: 1-10-20
- PUBLIC WORKS: _____
- STRUCTURAL: _____
- ACCESSIBILITY: _____
- ELEVATION: _____

CITY OF MIAMI BEACH
ENGINEERING DEPARTMENT
VOID

BY _____
DATE _____

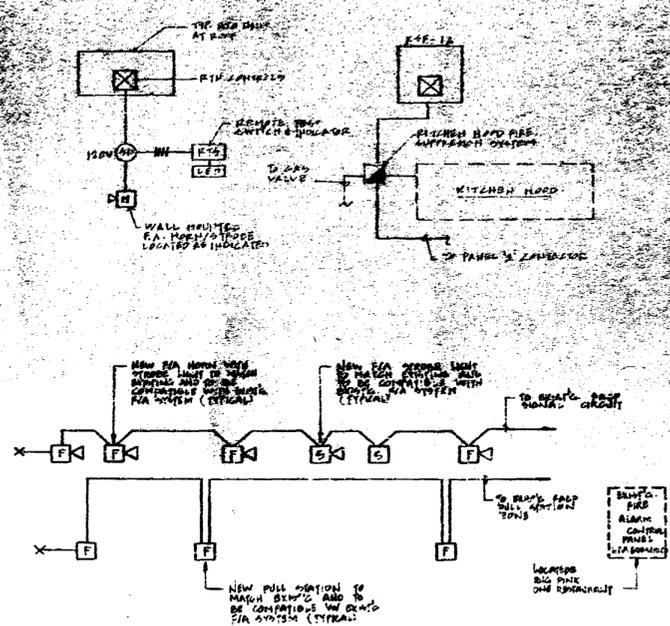


5-1-20

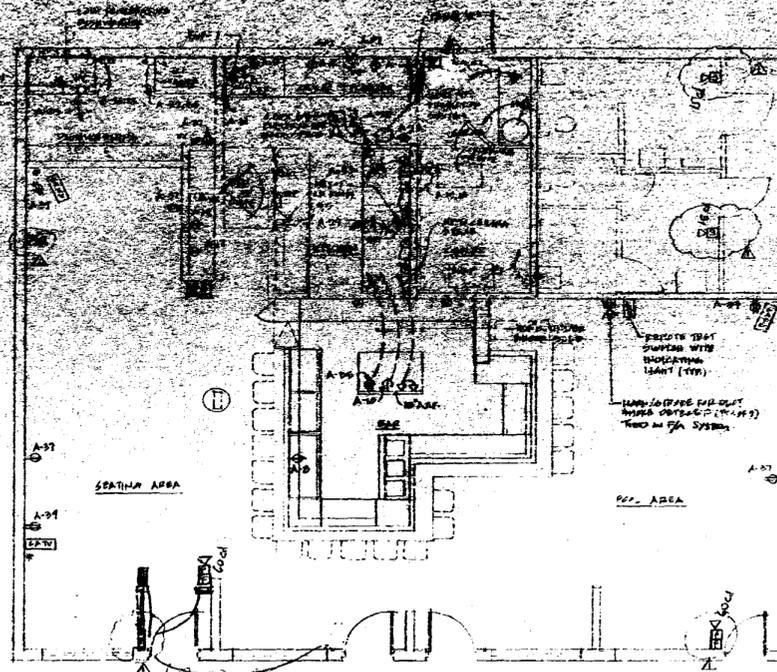


004-1-6

0044117



FIRE ALARM RISER DIAGRAM
N.T.S.



POWER FLOOR PLAN
1/4" = 1'-0"

GENERAL NOTES

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF MIAMI BEACH CODES AND ORDINANCES.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF MIAMI BEACH.
3. ALL MATERIALS AND EQUIPMENT SHALL BE APPROVED BY THE CITY OF MIAMI BEACH.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES.
5. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF MIAMI BEACH.
7. ALL MATERIALS AND EQUIPMENT SHALL BE APPROVED BY THE CITY OF MIAMI BEACH.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES.
9. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF MIAMI BEACH.

CONSTRUCTION NOTES

1. ALL ALTERATIONS TO EXISTING WORK SHALL BE OF SUCH NATURE THAT ALL PARTS OF THE WORK ARE SUBSTITUTED TO DETAIL AND SPECIFY. IT IS THEREFORE THE RESPONSIBILITY OF THE CONTRACTOR TO CAREFULLY EXAMINE THE BUILDING AND THE CONDITIONS AND FAMILIARIZE HIMSELF WITH THE CONDITIONS AND RELATE THESE CONDITIONS TO THE SCOPE OF THE PROPOSED WORK PRIOR TO BIDDING.
2. ANY EXISTING INSTALLATION VIOLATIONS OR EXISTING CODE VIOLATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT/ENGINEER PRIOR TO BIDDING.
3. ANY ELECTRICAL WORK WHICH WILL INTERFERE WITH THE BUILDING RESIDENTS NORMAL OPERATION SHALL BE NOTIFIED IN ADVANCE TO THE BUILDING OWNER OR MANAGER AND SHALL BE DONE AFTER BUILDING NORMAL OPERATION HOURS OR ON WEEKENDS.
4. ALL DEVICES, EQUIPMENT, ETC. WHETHER SHOWN OR NOT, TO BE PROPERLY CONNECTED ELECTRICALLY, UNLESS SPECIFICALLY NOTED TO BE REMOVED.

OFFICE COPY

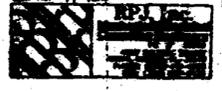
CITY OF MIAMI BEACH
APPROVED FOR PERMIT BY
THE FOLLOWING:

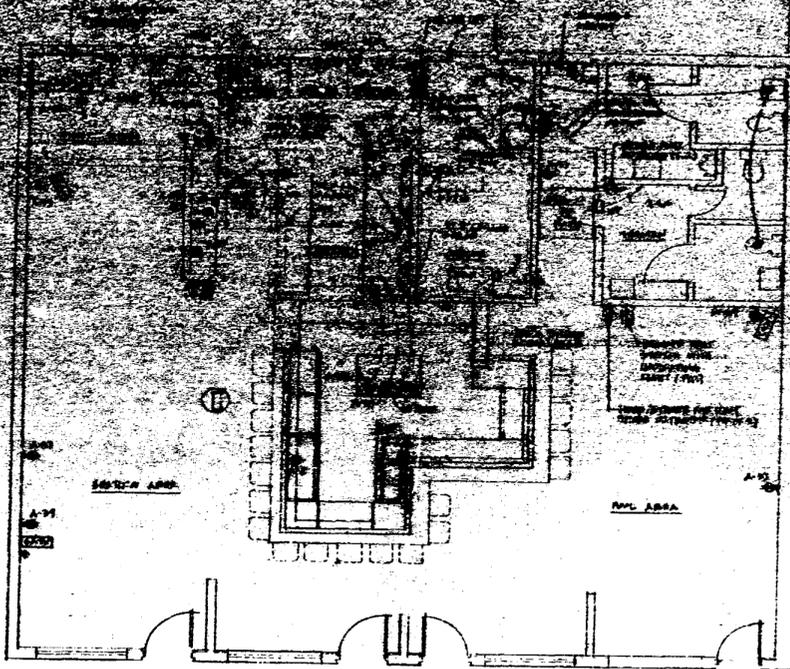
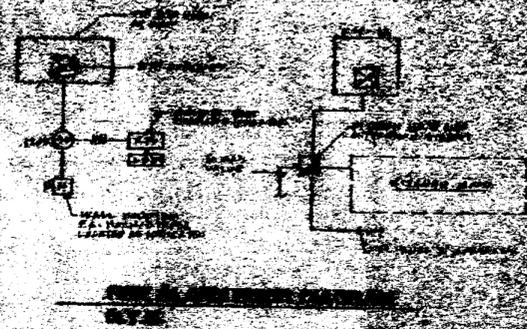
BUILDING	
ENGINEERING	
PLUMBING	
ELECTRICAL	
Mechanical	
FIRE PREVENTION	
ENVIRONMENTAL	
PUBLIC WORKS	
STRUCTURAL	

OVIDIO OXIOS, A.I.A.
Architectural Design Services
110 West 2nd Street - Miami Beach, Florida 33139
305-531-0200

Engine Representing for
TED'S HIDEAWAY
110 West 2nd Street
Miami Beach, Florida
33139
305-531-0200

Handwritten signature





NOTICE TO THE CONTRACTOR

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF MIAMI BEACH.

2. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.

3. THE CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES AND STRUCTURES.

4. THE CONTRACTOR SHALL MAINTAIN ADEQUATE SAFETY AND SECURITY ON THE SITE.

5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INSURANCE COVERAGE.

NOTICE TO THE CONTRACTOR

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF MIAMI BEACH.

2. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.

3. THE CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES AND STRUCTURES.

4. THE CONTRACTOR SHALL MAINTAIN ADEQUATE SAFETY AND SECURITY ON THE SITE.

5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INSURANCE COVERAGE.

ROOF FLOOR PLAN
1/4" = 1'-0"

OFFICE COPY
CITY OF MIAMI BEACH

APPROVED FOR PERMIT BY
THE FOLLOWING:

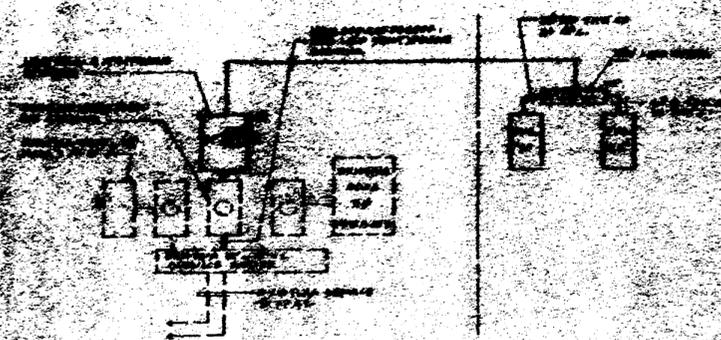
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- ZONING: _____
- PLUMBING: _____
- ELECTRICAL: _____
- MECHANICAL: _____
- FIRE PREVENTION: _____
- ENGINEERING: _____
- PUBLIC WORKS: _____
- STRUCTURAL: _____
- ACCESSIBILITY: _____
- ELEVATOR: _____

CITY OF MIAMI BEACH
ENGINEERING DEPARTMENT
VOID

BY _____
DATE _____



2005-18



TYPE	PA	SB	AC (100)	W
100A	101A	101A		101B
102A	102A	102A	102A	
TOTAL = 250A 250A 25A 100A				
100A	101A	102A	103A	104A
105A	106A	107A	108A	109A
110A	111A	112A	113A	114A
115A	116A	117A	118A	119A
120A	121A	122A	123A	124A
125A	126A	127A	128A	129A
130A	131A	132A	133A	134A
135A	136A	137A	138A	139A
140A	141A	142A	143A	144A
145A	146A	147A	148A	149A
150A	151A	152A	153A	154A
155A	156A	157A	158A	159A
160A	161A	162A	163A	164A
165A	166A	167A	168A	169A
170A	171A	172A	173A	174A
175A	176A	177A	178A	179A
180A	181A	182A	183A	184A
185A	186A	187A	188A	189A
190A	191A	192A	193A	194A
195A	196A	197A	198A	199A
200A	201A	202A	203A	204A
205A	206A	207A	208A	209A
210A	211A	212A	213A	214A
215A	216A	217A	218A	219A
220A	221A	222A	223A	224A
225A	226A	227A	228A	229A
230A	231A	232A	233A	234A
235A	236A	237A	238A	239A
240A	241A	242A	243A	244A
245A	246A	247A	248A	249A
250A	251A	252A	253A	254A
255A	256A	257A	258A	259A
260A	261A	262A	263A	264A
265A	266A	267A	268A	269A
270A	271A	272A	273A	274A
275A	276A	277A	278A	279A
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290A	291A	292A	293A	294A
295A	296A	297A	298A	299A
300A	301A	302A	303A	304A
305A	306A	307A	308A	309A
310A	311A	312A	313A	314A
315A	316A	317A	318A	319A
320A	321A	322A	323A	324A
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330A	331A	332A	333A	334A
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365A	366A	367A	368A	369A
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385A	386A	387A	388A	389A
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410A	411A	412A	413A	414A
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430A	431A	432A	433A	434A
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465A	466A	467A	468A	469A
470A	471A	472A	473A	474A
475A	476A	477A	478A	479A
480A	481A	482A	483A	484A
485A	486A	487A	488A	489A
490A	491A	492A	493A	494A
495A	496A	497A	498A	499A
500A	501A	502A	503A	504A
505A	506A	507A	508A	509A
510A	511A	512A	513A	514A
515A	516A	517A	518A	519A
520A	521A	522A	523A	524A
525A	526A	527A	528A	529A
530A	531A	532A	533A	534A
535A	536A	537A	538A	539A
540A	541A	542A	543A	544A
545A	546A	547A	548A	549A
550A	551A	552A	553A	554A
555A	556A	557A	558A	559A
560A	561A	562A	563A	564A
565A	566A	567A	568A	569A
570A	571A	572A	573A	574A
575A	576A	577A	578A	579A
580A	581A	582A	583A	584A
585A	586A	587A	588A	589A
590A	591A	592A	593A	594A
595A	596A	597A	598A	599A
600A	601A	602A	603A	604A
605A	606A	607A	608A	609A
610A	611A	612A	613A	614A
615A	616A	617A	618A	619A
620A	621A	622A	623A	624A
625A	626A	627A	628A	629A
630A	631A	632A	633A	634A
635A	636A	637A	638A	639A
640A	641A	642A	643A	644A
645A	646A	647A	648A	649A
650A	651A	652A	653A	654A
655A	656A	657A	658A	659A
660A	661A	662A	663A	664A
665A	666A	667A	668A	669A
670A	671A	672A	673A	674A
675A	676A	677A	678A	679A
680A	681A	682A	683A	684A
685A	686A	687A	688A	689A
690A	691A	692A	693A	694A
695A	696A	697A	698A	699A
700A	701A	702A	703A	704A
705A	706A	707A	708A	709A
710A	711A	712A	713A	714A
715A	716A	717A	718A	719A
720A	721A	722A	723A	724A
725A	726A	727A	728A	729A
730A	731A	732A	733A	734A
735A	736A	737A	738A	739A
740A	741A	742A	743A	744A
745A	746A	747A	748A	749A
750A	751A	752A	753A	754A
755A	756A	757A	758A	759A
760A	761A	762A	763A	764A
765A	766A	767A	768A	769A
770A	771A	772A	773A	774A
775A	776A	777A	778A	779A
780A	781A	782A	783A	784A
785A	786A	787A	788A	789A
790A	791A	792A	793A	794A
795A	796A	797A	798A	799A
800A	801A	802A	803A	804A
805A	806A	807A	808A	809A
810A	811A	812A	813A	814A
815A	816A	817A	818A	819A
820A	821A	822A	823A	824A
825A	826A	827A	828A	829A
830A	831A	832A	833A	834A
835A	836A	837A	838A	839A
840A	841A	842A	843A	844A
845A	846A	847A	848A	849A
850A	851A	852A	853A	854A
855A	856A	857A	858A	859A
860A	861A	862A	863A	864A
865A	866A	867A	868A	869A
870A	871A	872A	873A	874A
875A	876A	877A	878A	879A
880A	881A	882A	883A	884A
885A	886A	887A	888A	889A
890A	891A	892A	893A	894A
895A	896A	897A	898A	899A
900A	901A	902A	903A	904A
905A	906A	907A	908A	909A
910A	911A	912A	913A	914A
915A	916A	917A	918A	919A
920A	921A	922A	923A	924A
925A	926A	927A	928A	929A
930A	931A	932A	933A	934A
935A	936A	937A	938A	939A
940A	941A	942A	943A	944A
945A	946A	947A	948A	949A
950A	951A	952A	953A	954A
955A	956A	957A	958A	959A
960A	961A	962A	963A	964A
965A	966A	967A	968A	969A
970A	971A	972A	973A	974A
975A	976A	977A	978A	979A
980A	981A	982A	983A	984A
985A	986A	987A	988A	989A
990A	991A	992A	993A	994A
995A	996A	997A	998A	999A
1000A	1001A	1002A	1003A	1004A



① THIS PLAN SHOWS THE LOCATION OF ALL ELECTRICAL PANELS AND EQUIPMENT TO BE INSTALLED IN THIS BUILDING. THE LOCATION OF ALL ELECTRICAL PANELS AND EQUIPMENT TO BE INSTALLED IN THIS BUILDING. THE LOCATION OF ALL ELECTRICAL PANELS AND EQUIPMENT TO BE INSTALLED IN THIS BUILDING.

PANEL	TYPE	LOAD	LOCATION
1	100A	100A	100A
2	101A	101A	101A
3	102A	102A	102A
4	103A	103A	103A
5	104A	104A	104A
6	105A	105A	105A
7	106A	106A	106A
8	107A	107A	107A
9	108A	108A	108A
10	109A	109A	109A
11	110A	110A	110A
12	111A	111A	111A
13	112A	112A	112A
14	113A	113A	113A
15	114A	114A	114A
16	115A	115A	115A
17	116A	116A	116A
18	117A	117A	117A
19	118A	118A	118A
20	119A	119A	119A
21	120A	120A	120A
22	121A	121A	121A
23	122A	122A	122A
24	123A	123A	123A
25	124A	124A	124A
26	125A	125A	125A
27	126A	126A	126A
28	127A	127A	127A
29	128A	128A	128A
30	129A	129A	129A
31	130A	130A	130A
32	131A	131A	131A
33	132A	132A	132A
34	133A	133A	133A
35	134A	134	

**** CONDITIONS OF PERMIT/APPROVAL ****
 Permit No: 98801878 TYPE: REWLD
 Location: 157 COLLINS AV
 ENGINEERING CRITERIA

ENGINEERING CRITERIA

NO APPROVED
 PLEASE SEE BELOW CONDITIONS.
 (A) APPROVED
 (B) NOT APPROVED 1/5/02/02/98
 (C) HOLD/PENDING FIELD CHECK

EC01 - REVISIONS PLANS REVIEW

EC04 - PLAN DESCRIPTION:
 INTERIOR REMODELING FOR RESTAURANT

EC05 - GARAGE FACILITIES

EC06 - To provide adequate facilities.

EC07 - EMERGENCY EGRESS

EC08 - To use existing facilities.

EC09 - Garbage disposal units not permitted.

EC10 - WATER

EC11 - To use existing facilities.

EC12 - F.E.M.A. BASE FLOOD ELEVATION NOT APPLICABLE BECAUSE:

EC13 - New/Additional is less than 50% of value of existing building.

EC14 - Certificate of completion required.

NEED APPROVED PERMIT WITH D.E.M. APPROVAL

1/5/02/02/98

CITY OF MIAMI BEACH Building Department
 1700 Convention Center Drive, 2nd Floor, Miami Beach, Florida 33139
 Phone: (305) 678-7370 Office: (305) 678-7848
 Hours of Operation: 8:30 to 5:00

Project Number: 98801878
 Permitted by: [Signature]
 Inspected by: [Signature]
 Date Applied: 1/5/02
 Date Issued: 1/5/02
 Date Completed: [Blank]
 Date to Expire: [Blank]

157 COLLINS AV
 Parcel Number: 98801878
 Project Number: 98801878
 This type: APPLICATION BUILD
 (This is NOT a PERMIT)
 Parcel number: 4361-903-0308
 Group-Occupancy: COMM

Owner: LAWRENCE F KANE
 Applicant: TO BE ASSIGNED
 Applicant Address: [Blank]

Phone number: 9800
 Class code: 40,000
 Valuation: [Blank]
 Constituted: ALL
 Parcel to do: IMPROVEMENTS/REMODELING
 No Address: 157 COLLINS AV

IS NO OR TAXPAYER IS NO
 BENEFIT DISTRICT NO. 8

Activity Fees

Fee Description	Units	Fee/Unit	Ext Fee	Desc
BLDG UP-FRONT PROCESSING FEE: IN Y- ENTER UNIT ALTERNATION BLDG/STRUCT >	40000.00	.01	740.00	
SEE 50 FT AREA UNDER BLDG(DRAW)	2112		21.12	
IF HALF-TONN ENTER VALUAY (ROWING) >	40000		28.00	
SUBMIT BLDG PERMIT FEE + FORMALITY			787.00	
INSPECTOR BLDG FUND SUBSIDIZED			21.12	
TOTAL BLDG PERMIT FEE + FORMALITY			988.12	
INSPECTOR BLDG FUND SUBSIDIZED	40000.00		21.00	
SUBMIT VISE SAFETY PROCESS FEE			948.92	
TOTAL BLDG FEE + BLDG + FEE FEE			28.00	
IN CASE FOR OTHER COSTS SURCHARGE	40000.00		19.00	
RESIDENTIAL BLDG COMPLIANCE SURCHARGE >	40000		19.00	
IN VALUATION OF PERMIT FOR WAIVING >	11		19.00	
SUBMITTER TRAINING FEE			66.00	
NET VALUATION FOR SANITATION FEE >	40000		948.92	
TOTAL BLDG PERMIT FEE + SURCHARGES			948.92	

9804. PFL0001.1k

CITY OF MIAMI BEACH Building Department
 1700 Convention Center Drive, 2nd Floor, Miami Beach, Florida 33139
 Phone: (305) 678-7370 Office: (305) 678-7848
 Hours of Operation: 8:30 to 5:00

Project Number: 98801878
 Permitted by: [Signature]
 Inspected by: [Signature]
 Date Applied: 1/5/02
 Date Issued: 1/5/02
 Date Completed: [Blank]
 Date to Expire: [Blank]

157 COLLINS AV
 Parcel Number: 98801878
 Project Number: 98801878

Fee Description	Units	Fee/Unit	Ext Fee	Desc
Method Check \$			100.00	
CHRG \$26			100.00	
TOTAL CHRG CHRG			200.00	
Fees:			92.92	
Adjustments:			.00	
Total Fees:			92.92	
Total Credits:			.00	
Total Payments:			100.00	
Balance Due:			700.92	

9804. PFL0001.1k

CITY OF MIAMI BEACH - BUILDING DEPARTMENT - APPENDIX 2
 1700 Convention Center Drive, 2nd Floor, Miami Beach, Florida 33139
 PERMIT APPLICATION

PERMIT NUMBER: 98801878

LOCATION OF IMPROVEMENTS: 157 COLLINS AV

CONTRACTOR INFORMATION: [Blank]

TYPE OF IMPROVEMENT: INTERIOR REMODELING

DESCRIPTION OF WORK: BLDG & GRILL

Value of Work: \$40,000

Area of Work: 400

PERMIT FEE: 948.92

CHARGE TO EXISTING: [Blank]

OWNER INFORMATION: [Blank]

CONTRACTOR INFORMATION: [Blank]

1/5/02/02/98

00421

CITY OF MIAMI BEACH - BUILDING DEPARTMENT - APPENDIX 2

Application is hereby made to obtain a permit to do work and installation as indicated. I certify that all work will be performed to meet the standards of all laws regulating construction in this jurisdiction. I understand that separate permits are required for Electrical, Mechanical, Plumbing, Sign, Refueling Tanks, Windborn/Sailing Towers and Hoisting and there may be additional permits required from other governmental agencies.

Signature of Applicant

STATE OF FLORIDA _____ COUNTY OF DADE _____
City of _____

I am, by _____
 Personally Present to me or Present by _____
Type of Application:
 DID TAKE OATH DID NOT TAKE OATH

Signature of Public Official

224336



PERMIT #
29801070

ADDRESS
124 2nd St
Miami Beach

29801070

Exhibit B-3

CITY OF MIAMI BEACH
Building Department
1700 Convention Ctr Drive, 2nd Floor
Miami Beach, Florida 33139
Inspections: (305) 673-7370 Office: (305) 673-7610

BUILDING WORK PERMIT
08-23-2023

Activity Number: B9801070

Status: CLOSED Issued By: BUILALAA

Site Address: 157 COLLINS AV MBCH Applied: 01/15/1998
Parcel #: 42030030300 Approved: 02/10/1998
Completed:
To Expire: 08/16/1999
Valuation: \$40,000.00

Applicant: AMEBA ENG. & CONSTRUCTION Property Owner: LAWRENCE F KAINÉ
 21SE 10 STREET
 DEERFIELD BEACH, FL 33441 33441
 954/571-8451

Description: INTERIOR REMODELING-TEDS HIDEAWY REST
Inspector Area: S

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=====

Total of All Fees: \$943.92
Total of Payments: \$943.92
Balance Due: \$0.00

=====
=====

Exhibit B-4

NOTICE OF COMMENCEMENT

OFF. REC. 17974PC3713

98R061299 1998 FEB 10 12:59

PERMIT NUMBER: XB9801070

TAX FOLIO NUMBER: 4203-003-0300

STATE OF FLORIDA

COUNTY OF DADE

THE UNDERSIGNED hereby gives notice that improvements will be made to certain real property, and in accordance with Chapter 713, Florida Statutes, the following information is provided in this Notice of Commencement.

Legal description of property and street address: 124 2nd STREET MIAMI BEACH FL.

LOT 16 BLOCK 2 OCEAN BEACH T.R. 2, P 38

Description of improvement: INTERIOR REMODELING

Owner(s) name and address: LAWRENCE F. KAINE

Interest in property: 305 N.W. 12th AVE MIAMI, FL. 33128

Name and address of fee simple titleholder: SAME AS ABOVE

Contractor's name and address: ALEXBA LEASING & CONSTRUCTION

2155 10th STREET DUCK CREEK BEACH, FL. 33441

Surety: (Payment bond required by owner from contractor, if any)

Name and address: NO

RECORDED IN OFFICIAL RECORDS BOOK OF DADE COUNTY, FLORIDA RECORD V. 11770 HARVEY RUBIN CLERK DISTRICT COURT

Amount of bond: \$ NONE

Lender's name and address:

Persons within the state of Florida designed by Owner upon whom notices or other documents may be served as provided by Section 713.13(1)(a)7., Florida Statutes,

Name and address: LAWRENCE F. KAINE 305 N.W. 12th AVE MIAMI FL. 33128

In addition to himself, Owner designates the following person(s) to receive a copy of a Lienor's Notice as provided in Section 713.13(1)(b), Florida Statutes,

Name and address: TIMOTHY WILCOX 4299 COLLINS AVE MIAMI BEACH FL. 33140

Expiration date of this Notice of Commencement: (the expiration date is one (1) year from the date of recording unless a different date is specified)

Signature of Lawrence F. Kaine

SIGNATURE OF OWNER

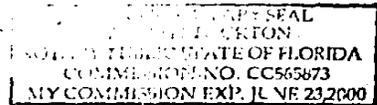
Print Owner's Name: LAWRENCE F. KAINE

Sworn to and subscribed before me on this 10 day of Feb 1998

- Personally Known, or Produced ID Oath taken, Oath not taken

Prepared by: Address:

Notary Public: Theah Spolton Print Notary's Name: Theah Spolton Commission Expiration 6/23 2000



6/2/00

Exhibit B-5

CITY OF MIAMI BEACH
Building Department
1700 Convention Ctr Drive, 2nd Floor
Miami Beach, Florida 33139
Inspections: (305) 673-7370 Office: (305) 673-7610

BUILDING-PLUMBING WORK P
08-23-2023

Activity Number: BP980583

Status: FINAL Issued By: BUILRODR

Site Address: 157 COLLINS AV MBCH Applied: 03/12/1998
Parcel #: 42030030300 Approved: 03/13/1998
Completed:
To Expire: 08/16/1999
Valuation: \$2,000.00

Applicant: UNLIMITED SEPTIC TANS, INC. Property Owner: LAWRENCE F KAINÉ
9957 NW 25 TERRACE
MIAMI FLORIDA 33172 33172
305-447-8110

Description: INSTALL GREASE TRAP 4"
Inspector Area: S

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=====

Total of All Fees: \$55.01
Total of Payments: \$55.01
Balance Due: \$0.00

=====
=====

Exhibit C-1

1991 JAN 17 PM 4: 14

91R018863

OFF. REC. 1486470 722

**BEFORE THE BOARD OF ADJUSTMENT
OF THE CITY OF MIAMI BEACH, FLORIDA**

**IN RE: The application of
LAWRENCE F. KAINÉ
125 COLLINS AVENUE
LOTS 12 and SOUTH 1/2 OF LOT 13;
BLOCK 2; OCEAN BEACH SUBDIVISION; PB 2/38**

**MEETING DATE: NOVEMBER 2, 1990
FILE NO. 2081-B**

A M E N D E D O R D E R

The applicant, Lawrence F. Kaine, filed an application with the Director of the Planning and Zoning Department requesting the modification of conditions listed in the previous Final Order associated with the following variances considered by the Board on April 6, 1990:

1. Applicant wishes to waive 247 sq. ft. of the required minimum lot area of 10,000 sq. ft. in order to reconstruct and operate a parking lot as an accessory use to a restaurant which is located at 136 Collins Avenue.
2. Applicant wishes to waive 25 ft. of the minimum required lot width of 100 ft. in order to operate a parking lot as an accessory use to a restaurant at 136 Collins Avenue.
3. Applicant wishes to waive 15 ft. of the minimum required 20 ft. front yard setback in order to restore the parking lot providing a front yard setback of 5 ft.
4. Applicant wishes to waive 6 ft. of the minimum required 7'-6" north and south side yard setbacks in order to locate three (3) lightpoles 1'-6" from the north and south side property lines.

Notice of the request for variance was given as required by law and mailed to owners of property within a distance of 375 feet of the exterior limits of the property on which application was made. The Board finds that the property in question is located in the CPS-1 Zoning District. The Board further finds:

That special conditions and circumstances exist which are peculiar to the land, structure, or building involved and which are not applicable to other lands, structures, or buildings in the same zoning district, to wit:

That the special conditions and circumstances do not result from the action of the applicant;

continued . . .

1522

File No. 2081-B amended (continued)
Lawrence F. Kaine
125 Collins Avenue

That granting the variance requested will not confer on the applicant any special privilege that is denied by this Ordinance to other lands, buildings, or structures in the same zoning district;

That literal interpretation of the provisions of this Ordinance would deprive the applicant of rights commonly enjoyed by other properties in the same zoning district under the terms of this Ordinance and would work unnecessary and undue hardship on the applicant;

That the variance granted is the minimum variance that will make possible the reasonable use of the land, building or structure;

That the granting of the variance will be in harmony with the general intent and purpose of this Ordinance and that such variance will not be injurious to the area involved or otherwise detrimental to the public welfare.

IT IS THEREFORE ORDERED, by the Board, that a variance as requested and set forth above be APPROVED with the following conditions to which the applicant has agreed:

1. Variance requests numbers 1, 2 and 4 as stated above were approved; variance request number 3 was withdrawn.
2. The applicant shall construct a new sidewalk with brick pavers, landscaping, tree grates, irrigation, curb and gutter prior to the issuance of an Occupational License for the parking lots. The plans for these improvements shall be approved by the Planning and Zoning Department and the Public Works Department prior to the issuance of a building permit.
3. The lots associated with File Nos. 2081, 2082 and 2083 shall be combined with the restaurant property located at 136 Collins Avenue through a covenant running with the land to insure that parking is provided for the commercial use of that property. All terms and conditions of this Agreement shall be approved by the City.
4. Construction shall be completed within seven (7) months of the date construction began.
5. If the City or the Redevelopment Agency purchases the parking lots, then the owner of property at 136 Collins Avenue shall reappear before the Board of Adjustment for purposes of mitigating the impact of allowing the operation of a restaurant without adequate parking facilities.

continued

File No. 2081-B amended (continued)
Lawrence F. Kaine
125 Collins Avenue

- 6. The Board shall retain jurisdiction of this file.
- 7. If the City or the Redevelopment Agency purchases the restaurant building at 136 Collins Avenue, then the parking lots shall not be used on a commercial basis and may only be used in accordance with the City's Zoning Ordinance.

PROVIDED, the applicant shall take all necessary steps to have a permit issued by the Building Department within a period of six (6) months from the date of the hearing (November 2, 1990), otherwise this Order shall become null and void, unless the issuance of such permit is stayed by an appeal to the appropriate court. This Order does not constitute a permit, but upon presentation of this Order to the Planning and Zoning Department, a permit shall be approved and processed in accordance and pursuant to the ordinances of the City of Miami Beach.

Dated this 17th day of January, 1990.

RECORDED IN OFFICIAL RECORDS BOOK
OF DADE COUNTY, FLORIDA
RECORD VERIFIED
Clerk of Circuit & County
Courts

BOARD OF ADJUSTMENT OF
THE CITY OF MIAMI BEACH,
FLORIDA

BY: Russell Galbut
RUSSELL GALBUT
CHAIRMAN

STATE OF FLORIDA)
)SS
COUNTY OF DADE)

BEFORE ME personally appeared RUSSELL GALBUT to me well known and known to me to be the person described in and who executed the foregoing instrument, and acknowledged to and before me that he executed said instrument for the purpose therein expressed.

WITNESS my hand and official seal, this 17th day of January A.D. 1990.

Jane L. Melendez
NOTARY PUBLIC
STATE OF FLORIDA



NOTARY PUBLIC STATE OF FLORIDA
MY COMMISSION EXP. MAR. 6, 1993
BONDED THRU GENERAL TRS. UND.

Richard A. Gatti, Public Works Directors
Dean Grandin, Jr., Planning & Zoning Director
Approved As To Form, Legal Department

(19)
(15)
(10)

a:\2081Bamd.ord

Exhibit C-2

1991 JAN 17 PH 4: 14

91R018862

OFF. REC. 1486470 719

PLANNING DEPARTMENT
CITY OF MIAMI BEACH
1300 COLLINS AVENUE
MIAMI BEACH, FL 33132

**BEFORE THE BOARD OF ADJUSTMENT
OF THE CITY OF MIAMI BEACH, FLORIDA**

IN RE: The application of

FILE NO. 2082-B

MEETING DATE: NOVEMBER 2, 1990

**LAWRENCE F. KAINÉ
141 COLLINS AVENUE
LOTS 14; BLOCK 2;
OCEAN BEACH SUBDIVISION; PB 2/38**

A M E N D E D O R D E R

The applicant, Lawrence F. Kaine, filed an application with the Director of the Planning and Zoning Department requesting the modification of conditions listed in the previous Final Order associated with the following variances considered by the Board on April 6, 1990:

1. Applicant wishes to waive 3,498 sq. ft. of the required minimum lot area of 10,000 sq. ft. in order to reconstruct and operate a parking lot as an accessory use to a restaurant which is located at 136 Collins Avenue.
2. Applicant wishes to waive 50 ft. of the minimum required lot width of 100 ft. in order to operate a parking lot as an accessory use to a restaurant at 136 Collins Avenue.
3. Applicant wishes to waive 15 ft. of the minimum required 20 ft. front yard setback in order to restore the parking lot providing a front yard setback of 5 ft.
4. Applicant wishes to waive 6 ft. of the minimum required 7'-6" north and south side yard setbacks in order to locate three (3) lightpoles 1'-6" from the north and south side property lines.

Notice of the request for variance was given as required by law and mailed to owners of property within a distance of 375 feet of the exterior limits of the property on which application was made. The Board finds that the property in question is located in the CPS-1 Zoning District. The Board further finds:

That special conditions and circumstances exist which are peculiar to the land, structure, or building involved and which are not applicable to other lands, structures, or buildings in the same zoning district, to wit:

That the special conditions and circumstances do not result from the action of the applicant;

continued . . .

1502

File No. 2082-B amended (continued)
Lawrence F. Kaine
141 Collins Avenue

That granting the variance requested will not confer on the applicant any special privilege that is denied by this Ordinance to other lands, buildings, or structures in the same zoning district;

That literal interpretation of the provisions of this Ordinance would deprive the applicant of rights commonly enjoyed by other properties in the same zoning district under the terms of this Ordinance and would work unnecessary and undue hardship on the applicant;

That the variance granted is the minimum variance that will make possible the reasonable use of the land, building or structure;

That the granting of the variance will be in harmony with the general intent and purpose of this Ordinance and that such variance will not be injurious to the area involved or otherwise detrimental to the public welfare.

IT IS THEREFORE ORDERED, by the Board, that a variance as requested and set forth above be APPROVED with the following conditions to which the applicant has agreed:

1. Variance requests numbers 1, 2 and 4 as stated above were approved; variance request number 3 was withdrawn.
2. The applicant shall construct a new sidewalk with brick pavers, landscaping, tree grates, irrigation, curb and gutter prior to the issuance of an Occupational License for the parking lots. The plans for these improvements shall be approved by the Planning and Zoning Department and the Public Works Department prior to the issuance of a building permit.
3. The lots associated with File Nos. 2081, 2082 and 2083 shall be combined with the restaurant property located at 136 Collins Avenue through a covenant running with the land to insure that parking is provided for the commercial use of that property. All terms and conditions of this Agreement shall be approved by the City.
4. Construction shall be completed within seven (7) months of the date construction began.
5. If the City or the Redevelopment Agency purchases the parking lots, then the owner of property at 136 Collins Avenue shall reappear before the Board of Adjustment for purposes of mitigating the impact of allowing the operation of a restaurant without adequate parking facilities.

continued . . .

File No. 2082-B amended (continued)
Lawrence F. Kaine
141 Collins Avenue

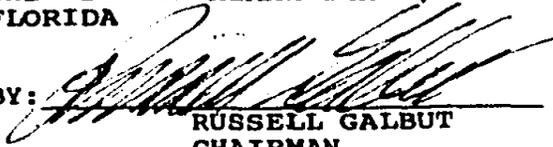
- 6. The Board shall retain jurisdiction of this file.
- 7. If the City or the Redevelopment Agency purchases the restaurant building at 136 Collins Avenue, then the parking lots shall not be used on a commercial basis and may only be used in accordance with the City's Zoning Ordinance.

PROVIDED, the applicant shall take all necessary steps to have a permit issued by the Building Department within a period of six (6) months from the date of the hearing (November 2, 1990), otherwise this Order shall become null and void, unless the issuance of such permit is stayed by an appeal to the appropriate court. This Order does not constitute a permit, but upon presentation of this Order to the Planning and Zoning Department, a permit shall be approved and processed in accordance and pursuant to the ordinances of the City of Miami Beach.

Dated this 17th day of January, 1990.

RECORDED IN OFFICIAL RECORDS BOOK
OF DADE COUNTY, FLORIDA.
RECORD VERIFIED
Clerk of Circuit & County
Courts

BOARD OF ADJUSTMENT OF
THE CITY OF MIAMI BEACH,
FLORIDA

BY: 
RUSSELL GALBUT
CHAIRMAN

STATE OF FLORIDA)
) SS
COUNTY OF DADE)

BEFORE ME personally appeared RUSSELL GALBUT to me well known and known to me to be the person described in and who executed the foregoing instrument, and acknowledged to and before me that he executed said instrument for the purpose therein expressed.

WITNESS my hand and official seal, this 17th day of

January A.D. 1990.


NOTARY PUBLIC



My commission expires NOTARY PUBLIC STATE OF FLORIDA
MY COMMISSION EXP. MAR. 6, 1993
BONDED THRU GENERAL INS. UND.

STATE OF FLORIDA

Richard A. Gatti, Public Works Directors
Dean Grandin, Jr., Planning & Zoning Director
Approved As To Form, Legal Department

(R)
(D)
(JCD)

a:\2082Bamd.ord

Exhibit C-3

1991 JAN 17 PM 4:14

91R018861

PLANNING AND ZONING DEPARTMENT
CITY OF MIAMI BEACH
1300 COLLINS AVENUE
MIAMI BEACH, FLORIDA 33139

OFF. REC. 1486476 716

BEFORE THE BOARD OF ADJUSTMENT
OF THE CITY OF MIAMI BEACH, FLORIDA

IN RE: The application of **LAWRENCE F. KAINÉ** **FILE NO. 2083-B**
153 COLLINS AVENUE **MEETING DATE: NOVEMBER 2, 1990**
NORTH 1/2 OF LOT 15; BLOCK 2;
OCEAN BEACH SUBDIVISION; PB 2/38

A M E N D E D O R D E R

The applicant, Lawrence F. Kaine, filed an application with the Director of the Planning and Zoning Department requesting the modification of conditions listed in the previous Final Order associated with the following variances considered by the Board on April 6, 1990:

1. Applicant wishes to waive 6,749 sq. ft. of the required minimum lot area of 10,000 sq. ft. in order to reconstruct and operate a parking lot as an accessory use to a restaurant which is located at 136 Collins Avenue.
2. Applicant wishes to waive 75 ft. of the minimum required lot width of 100 ft. in order to operate a parking lot as an accessory use to a restaurant at 136 Collins Avenue.
3. Applicant wishes to waive 15 ft. of the minimum required 20 ft. front yard setback in order to restore the parking lot providing a front yard setback of 5 ft.
4. Applicant wishes to waive 6 ft. of the minimum required 7'-6" north and south side yard setbacks in order to locate three (3) lightpoles 1'-6" from the north and south side property lines.

Notice of the request for variance was given as required by law and mailed to owners of property within a distance of 375 feet of the exterior limits of the property on which application was made. The Board finds that the property in question is located in the CPS-1 Zoning District. The Board further finds:

That special conditions and circumstances exist which are peculiar to the land, structure, or building involved and which are not applicable to other lands, structures, or buildings in the same zoning district, to wit:

That the special conditions and circumstances do not result from the action of the applicant;

continued . . .

1502

File No. 2083-B amended (continued)
LAWRENCE F. KAINE
153 COLLINS AVENUE

That granting the variance requested will not confer on the applicant any special privilege that is denied by this Ordinance to other lands, buildings, or structures in the same zoning district;

That literal interpretation of the provisions of this Ordinance would deprive the applicant of rights commonly enjoyed by other properties in the same zoning district under the terms of this Ordinance and would work unnecessary and undue hardship on the applicant;

That the variance granted is the minimum variance that will make possible the reasonable use of the land, building or structure;

That the granting of the variance will be in harmony with the general intent and purpose of this Ordinance and that such variance will not be injurious to the area involved or otherwise detrimental to the public welfare.

IT IS THEREFORE ORDERED, by the Board, that a variance as requested and set forth above be APPROVED with the following conditions to which the applicant has agreed:

1. Variance requests numbers 1, 2 and 4 as stated above were approved; variance request number 3 was withdrawn.
2. The applicant shall construct a new sidewalk with brick pavers, landscaping, tree grates, irrigation, curb and gutter prior to the issuance of an Occupational License for the parking lots. The plans for these improvements shall be approved by the Planning and Zoning Department and the Public Works Department prior to the issuance of a building permit.
3. The lots associated with File Nos. 2081, 2082 and 2083 shall be combined with the restaurant property located at 136 Collins Avenue through a covenant running with the land to insure that parking is provided for the commercial use of that property. All terms and conditions of this Agreement shall be approved by the City.
4. Construction shall be completed within seven (7) months of the date construction began.
5. If the City or the Redevelopment Agency purchases the parking lots, then the owner of property at 136 Collins Avenue shall reappear before the Board of Adjustment for purposes of mitigating the impact of allowing the operation of a restaurant without adequate parking facilities.

continued . . .

File No. 2083-B amended (continued)
Lawrence F. Kaine
153 Collins Avenue

- 6. The Board shall retain jurisdiction of this file.
- 7. If the City or the Redevelopment Agency purchases the restaurant building at 136 Collins Avenue, then the parking lots shall not be used on a commercial basis and may only be used in accordance with the City's Zoning Ordinance.

PROVIDED, the applicant shall take all necessary steps to have a permit issued by the Building Department within a period of six (6) months from the date of the hearing (November 2, 1990), otherwise this Order shall become null and void, unless the issuance of such permit is stayed by an appeal to the appropriate court. This Order does not constitute a permit, but upon presentation of this Order to the Planning and Zoning Department, a permit shall be approved and processed in accordance and pursuant to the ordinances of the City of Miami Beach.

Dated this 17th day of January, 1990.

RECORDED IN OFFICIAL RECORDS BOOK
OF DADE COUNTY, FLORIDA.
RECORD VERIFIED
Clerk of Circuit & County
Courts

BOARD OF ADJUSTMENT OF
THE CITY OF MIAMI BEACH,
FLORIDA

BY: [Signature]
RUSSELL GALBUT
CHAIRMAN

STATE OF FLORIDA)
)SS
COUNTY OF DADE)

BEFORE ME personally appeared RUSSELL GALBUT to me well known and known to me to be the person described in and who executed the foregoing instrument, and acknowledged to and before me that he executed said instrument for the purpose therein expressed.

WITNESS my hand and official seal, this 17th day of January A.D. 1990.

[Signature]
NOTARY PUBLIC
STATE OF FLORIDA



My commission expires [blank] NOTARY PUBLIC STATE OF FLORIDA
MY COMMISSION EXP. MAR. 6, 1993
BONDED IN FD GENERAL - 155,000. UND.

Richard A. Gatti, Public Works Directors
Dean Grandin, Jr., Planning & Zoning Director
Approved As To Form, Legal Department

(14)
(15)
(16)

a:\2083Bamd.ord

Exhibit D

1991 JAN 17 PM 4:14

91R018864

OFF.
REC.

1486470 725

LAWRENCE F. KAINE
ATTORNEY AT LAW
305 E. W. 15th Ave
MIAMI, FLORIDA 33132

COVENANT RUNNING WITH LAND

WHEREAS, the undersigned is the owner ("Owner") of the following property located in Miami Beach, Dade County, Florida described as follows:

North 1/2 of Lot 15, Block 2, OCEAN BEACH SUBDIVISION, as recorded in Plat Book 2, at Page 38, of the Public Records of Dade County, Florida (the "Property"), and

Lots 12 and South 1/2 of Lot 13, Block 2, OCEAN BEACH SUBDIVISION, as recorded in Plat Book 2, at Page 38, of the Public Records of Dade County, Florida (the "Property"), and

Lot 14, Block 2, OCEAN BEACH SUBDIVISION, as recorded in Plat Book 2, at Page 38, of the Public Records of Dade County, Florida (the "Property"); and

WHEREAS, at the request of the Owner, the City of Miami Beach has, through, its properly constituted Zoning Board of Adjustment, granted unto the Owner certain variances from the City of Miami Beach Zoning Ordinance (the "Variances") to permit the Owner to rehabilitate the Property and construct parking facilities on the Property; and

WHEREAS, the City of Miami Beach has requested and the Owner has agreed to execute and record in the public records of Dade County, Florida, this Covenant Running with the Land as to the Property; and

WHEREAS, the undersigned recognizes and acknowledges that for the public health, welfare, and safety, the Property should not be used by separate owners for non-parking purposes until such time as provided herein.

NOW, THEREFORE, in consideration of the issuance of the Variances and for other good valuable considerations, the undersigned hereby agrees to restrict the use of the Property in the following manner:

1. That the Property shall be considered as one plot and parcel of land and that no portion of said plot and parcel of land shall be sold, transferred, conveyed, devised, assigned or encumbered by mortgage or otherwise, separately, (except in its entirety as one plot or parcel of land) (except for use as parking for a restaurant use at 136 Collins Avenue (the "Restaurant")).

108

2. The undersigned further agrees that this condition, restriction and limitation shall be deemed a covenant running with the land and shall remain in full force and effect and be binding upon the undersigned, its successors and assigns and may only be terminated and canceled by the Owner, its successors or assigns upon (i) the written consent of the City Manager of the City of Miami Beach, and the approval and consent by appropriate action of the City of Miami Beach Board of Adjustment or (ii) all improvements at 136 Collins Avenue (the "Restaurant") being removed or demolished.

The undersigned does hereby fully warrant that it has good title to the Property and that it has full power and authority to execute this Covenant.

IN WITNESS WHEREOF, LAWRENCE F. KAINB, has caused these presence to be executed and signed on this 1 day of DECEMBER, 1990, in Miami Beach, Dade County, Florida.

By: Lawrence F. Kaine
Lawrence F. Kaine

STATE OF FLORIDA:
: SS.
COUNTY OF DADE :

BEFORE ME, the undersigned authority, duly authorized to administer oaths and take acknowledgments, personally appeared, Lawrence F. Kaine, and acknowledged the foregoing in his capacity as same for the purposes herein described on behalf of the corporation, this 1st day of December, 1990.

Joseph A. [Signature]
NOTARY PUBLIC, State of
Florida



My COMMISSION EXPIRES STATE OF FLORIDA
BY COMMISSION EXPIRES DATE 12/31/91
BONDED WITH GENERAL INS. UND.

a:\kainecon.mis

RECORDED IN OFFICIAL RECORDS BOOK
OF DADE COUNTY, FLORIDA.
BOOK 1486470
Clerk of Circuit & County
Court

Exhibit E

B. Parking District No. 2

There shall be no Off-Street Parking requirement for Uses in this Parking District except for those listed below:

1. Apartment Building and Apartment-Hotel - 1½ spaces for each unit regardless of size or number of bedrooms.

The parking requirement may be satisfied by entering into a Development Agreement with the City to provide for said parking through the construction of facilities over City owned properties (air rights) or by providing for Off-Site Parking facilities in accordance with Section 7-3 of this Ordinance.

2. Adult Congregate Living Facility - 1 space for every 2 beds.
3. Offices - 1 space per 400 square feet of Floor Area.
4. Theatres - 1 space per 4 seats.

- C. Zoning Districts exempted from Providing Parking - There shall be no required parking for any Use located in the Dune Overlay District or Waterway Districts 1 & 2.

7-3 OFF-SITE FACILITIES.

- A. All parking spaces required herein shall be located on the same Lot with the Building or Use served, or within a distance not to exceed 1200 feet from such Lot. The distance separation shall be measured by following a straight line from the Lot on which the main permitted Use is located to the Lot where the Parking Lot or garage is located.
- B. Where the required parking spaces are not located on the same Lot with the Building or Use served and used as allowed in paragraph 7-3,A above, a Unity of Title shall be prepared for the purpose of insuring that the required parking is provided. Said Unity of Title shall be executed by owners of the properties concerned, approved as to form by the City Attorney, recorded in the public records of Dade County as a covenant running with the land and shall be filed with the application for a Building Permit.
- C. Temporary Parking Lot facilities shall be pursuant to Section 7-6,H of this Ordinance.

Exhibit F



MIAMI BEACH

Building Department
1700 Convention Center Drive, 2nd Flr
Miami Beach, Fl 33139

**NOTICE TO THE CITY OF MIAMI BEACH BUILDING
DEPARTMENT OF EMPLOYMENT AS SPECIAL INSPECTOR
UNDER THE FLORIDA BUILDING CODE**

I have been retained by: OWNERS to perform special inspector services under the Florida Building Code at the 157 COLLINS AVE project on the below listed structures as of 6-2-14 (date). I am a professional engineer licensed in the State of Florida.

Process Number: B1405045 Master Permit (IF APPLICABLE): _____

- Special Inspector for Pilings, FBC 1822.1.20
- Special Inspector for Lightweight Insulating Concrete, FBC 1917.2
- Special Inspector for Soil Compaction, FBC 1820.3.1
- Special Inspector for Precast Units and Attachments, FBC 1927.12.2 (By P.E. or R.A..)
- Special Inspector for Reinforced Masonry, FBC 2122.4 (By P.E. or R.A)
- Special inspection for Steel Bolted & Welded Connections, FBC 2218.2 (By P.E. or R.A..)
- Special Inspector for Trusses over 35 feet long or 6 feet high, FBC 2319.17.2.4.2 (By P.E. or R. A..)
- Special Inspector for Concrete Repair

NOTE: Only the marked boxes apply.

The following individual's employed by this firm or me are authorized representatives to perform inspections

- | | |
|---------------------------|----------|
| 1. <u>DANIEL GONZALEZ</u> | 2. _____ |
| 3. <u>LUIS MONTERO</u> | 4. _____ |

* Special inspectors utilizing authorized representatives shall insure the authorized representative is qualified by education or licensure to perform the duties assigned by the Special Inspector. The qualifications shall include: licensure as a professional engineer or architect; graduation from an engineering education program in civil or structural engineering; graduation from an architectural education program; successful completion of the NCEES Fundamentals Examination; or registration as a building inspector or general contractor.

I will notify the City of Miami Beach Building Department of any changes regarding authorized personnel performing inspection services.

I, understand that all mandatory inspections, as required by the Florida Building Code, shall be requested by the permit holder and approved by the Building Department inspectors. Inspections performed by the Special Inspector hired by the Owner are in addition to the mandatory inspections performed by the Building Department. A Special Inspection Log for each building must be displayed in a convenient location on the site for inspection by the Building Department Inspectors. Further, upon completion of the work under each building permit, I will submit to the Building Department at the time of final inspection the completed Inspection Log form and sealed statement that, to the best of my knowledge, belief and professional judgment those portions outlined above meet the intent of the Florida Building Code and are in subsequent accordance with the approved plans.

Signed and Sealed
038398
License Number

Architect/Engineer Signature:
Architect/Engineer
Name Printed:

EDWARD A. LAWLERS, P.E.
Address: 7850 NW 146th St. #509, Miami Lakes, FL 33016
Phone Number: 305-823-3838

Date: 6-2-14

Owner/Agent Signature:
Owner/Agent Name Printed:
Building Department
Accepted By:

Anthony Ortiz
AV 7/10/14



MIAMI BEACH

Building Department
1700 Convention Center Drive, 2nd Flr
Miami Beach, Fl 33139

NOTICE TO THE CITY OF MIAMI BEACH BUILDING DEPARTMENT OF EMPLOYMENT AS SPECIAL INSPECTOR UNDER THE FLORIDA BUILDING CODE

I have been retained by: OWNER to perform special inspector services under the Florida Building Code at the 157 COLLINS AVE project on the below listed structures as of 7-18-14 (date). I am a professional engineer licensed in the State of Florida.

Process Number: B140 5045 Master Permit (IF APPLICABLE): _____

- Special Inspector for Pilings, FBC 1822.1.20
- Special Inspector for Lightweight Insulating Concrete, FBC 1917.2
- Special Inspector for Soil Compaction, FBC 1820.3.1
- Special Inspector for Precast Units and Attachments, FBC 1927.12.2 (By P.E. or R.A..)
- Special Inspector for Reinforced Masonry, FBC 2122.4 (By P.E or R.A)
- Special inspection for Steel Bolted & Welded Connections, FBC 2218.2 (By P.E. or R.A..)
- Special Inspector for Trusses over 35 feet long or 6 feet high, FBC 2319.17.2.4.2 (By P.E. or R. A..)
- Special Inspector for SCAFFOLDING FOR WORK PLATFORM

NOTE: Only the marked boxes apply.

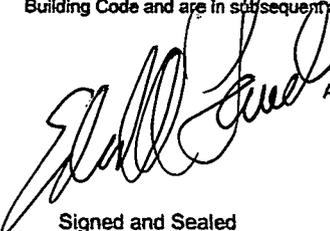
The following individual's employed by this firm or me are authorized representatives to perform inspections

- | | |
|---------------------------|----------|
| 1. <u>LUIS MONTE</u> | 2. _____ |
| 3. <u>DANIEL GONZALEZ</u> | 4. _____ |

* Special inspectors utilizing authorized representatives shall insure the authorized representative is qualified by education or licensure to perform the duties assigned by the Special Inspector. The qualifications shall include: licensure as a professional engineer or architect; graduation from an engineering education program in civil or structural engineering; graduation from an architectural education program; successful completion of the NCEES Fundamentals Examination; or registration as a building inspector or general contractor.

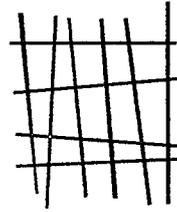
I will notify the City of Miami Beach Building Department of any changes regarding authorized personnel performing inspection services.

I, understand that all mandatory inspections, as required by the Florida Building Code, shall be requested by the permit holder and approved by the Building Department Inspectors. Inspections performed by the Special Inspector hired by the Owner are in addition to the mandatory inspections performed by the Building Department. A Special Inspection Log for each building must be displayed in a convenient location on the site for inspection by the Building Department Inspectors. Further, upon completion of the work under each building permit, I will submit to the Building Department at the time of final inspection the completed Inspection Log form and sealed statement that, to the best of my knowledge, belief and professional judgment those portions outlined above meet the intent of the Florida Building Code and are in subsequent accordance with the approved plans.


 Signed and Sealed
038398
 License Number

Architect/Engineer Signature: _____
 Architect/Engineer Name Printed: EDWARD A. LANDERS P.E.
 Address: 7850 NW 146th ST, #509, MIAMI GARDENS, FL 33016
 Phone Number: 305-823-3938
 Owner/Agent Signature: _____
 Owner/Agent Name Printed: _____
 Building Department Accepted By: _____

Date: 7-18-14



**Edward A.
LANDERS, P.E.**
CONSULTING ENGINEERS

June 2, 2014

City of Miami Beach
Building and Zoning Department
1700 Convention Center Drive
Miami Beach, Florida

Attn: Building Official

Re: Structural Report on Concrete Repairs

Project: Big Pink Building
157 Collins Avenue
Miami Beach, Florida

Dear Sir;

We inspected the current condition of the existing second floor exterior walls to include, columns, tie beams and lintels at the above referenced project. The investigation of repairs was limited to the exterior elements of the building structure at this time. The existing concrete structural elements exhibit spalled and deteriorated concrete at window lintels, jambs and sills, as well as tie beams and tie columns of the building. The concrete surfaces require removal of all spalled and deteriorated concrete, the cleaning and coating of rebar, crack repair and the application of hand applied repair materials.

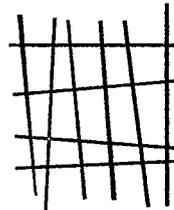
We recommend, therefore, that the following repair procedure be implemented to repair the existing second floor concrete walls and cracks on all designated surfaces, to prevent further deterioration. All repairs shall be made in accordance with approved methods and procedures and per the manufacturers' material recommendations

Work under this permit application will not reduce the structural strength of the building or any member thereof.

The Structure has less than Substantial Structural Damage.

CONCRETE REPAIR RECOMMENDATIONS

The following is our recommended repair procedure for all spalled concrete areas as well as cracks in concrete surfaces. The specific areas include the concrete spalling at second floor window openings, to include lintels, jambs, sills, tie beams and tie columns, or any additional observed conditions. We recommend concrete repair for the structural elements and submit the following procedure described as follows:

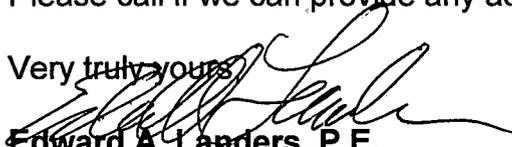


**Edward A.
LANDERS, P.E.**
CONSULTING ENGINEERS

1. Remove all loose and deteriorated concrete with a light-chipping hammer in all areas that exhibit concrete cracks and spalling.
2. Randomly test areas with a hammer to determine any additional areas for removal. Do not remove any sound concrete from around rebar.
3. Tie-up and secure any sagging re-bar and support as required. Do not remove any existing re-bar without prior authorization.
4. Replace deteriorated re-bar only as required by the Engineer.
5. Wire brush all exposed re-bar to remove all loose scale, concrete and rust.
6. All cleaned re-bar should be coated with a rust inhibitor as soon as possible after cleaning. The following are acceptable coatings:
 - a. Sika Armatek 110 EpoCem, by Sika Chemical Co.
 - b. Zinc Rich Epoxy Primer, B-6270, by Delta Labs
 - c. Corr-bond Euclid Chemical Co.
 - d. Sonnoborn "Sonoprep"
 - e. Approved Equals.
7. The patching material should be a cement-based product designed specifically as a patching material. The following are recommended products that must be mixed, applied, etc., in accordance with the manufacturer's recommendations; (Coastal Construction Products, 305-757-2121)
 - a. Thorite, by Thoro Products,
 - b. Euco Verticoat, by Euclid Chemical,
 - c. Sonnoborn "Gelpatch"
 - d. Sikacrete 211, by Sika Chemical.
 - e. Sika Top 122 Plus, by Sika Chemical.
8. Apply patching to all prepared surfaces either by hand or sprayed finished sufficiently to match the adjacent concrete surfaces. Concrete may be used to repair the undersides of the main beams. All work to be performed by a qualified application contractor in accordance with approved procedures and recommendations.
9. All cracks should be "V'd" out to sound and secure material. The crack must be filled with a Sonneborn NP1 primer and polysulfide sealant per the Manufacturers recommendations. The wall surface may then be applied with stucco and painted.

Please call if we can provide any additional information or assistance.

Very truly yours,


Edward A. Landers, P.E.

DESIGN ELEMENTS OF Pedestrian SCAFFOLD

(1) Design Loading.

DESIGN LOADS:

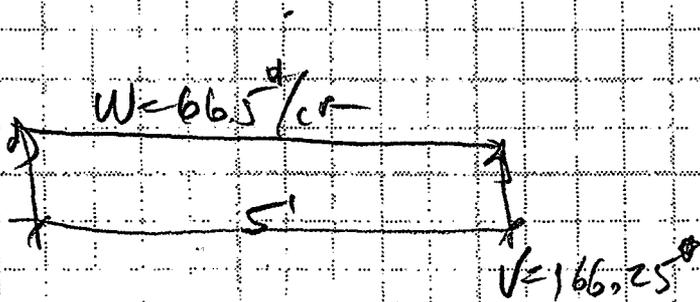
LL = 40 PSF

DL = 10 PSF

TOTAL = 50 PSF

Trab = 1.33 SF/CF

W = 50 x 1.33 = 66.5 pcf



$$M = \frac{66.5(5)^2}{8} (12) = 2493.7 \text{ in}^3$$

$$S_{reqd} = \frac{2493.7}{1200} = 2.07 \text{ in}^3$$

$$S_{x4} = \frac{1.5(3.5)^2}{6} = 3.06 \text{ in}^3 > 2.07 \text{ in}^3$$

(OK)

Check Deflection: $\Delta_{allow} = \frac{l}{180} = \frac{5(12)}{180} = 0.33$

$$\Delta_{actual} = \frac{5(66.5)(5)^4 (1728)}{384(1.6 \times 10^6)(5.96)} = 0.11 \text{ in} < 0.33 \text{ in}$$

(OK)



Edward A.
LANDERS, P.E.
CONSULTING ENGINEERS

P.E. #038398

7-18-14
(305)823-3938

BIG PINK BLDG
157 COUNTY AVE

Area

7-17-14

1

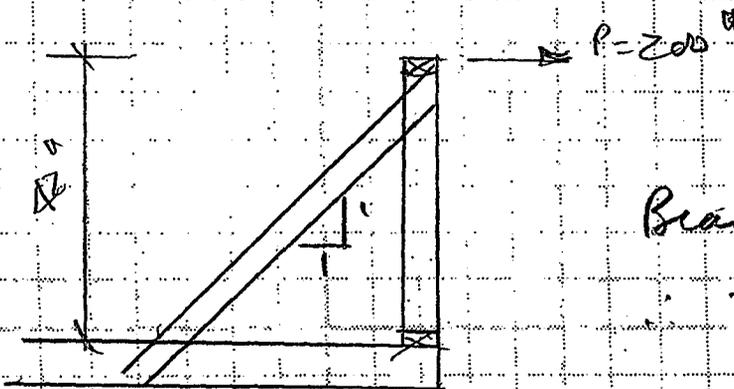
check shear: $V = 166.25^{\#}$

$$f_v = \frac{3}{2} \frac{(166.25)}{10.5(3.5)} = 47.5 \text{ psi} < 90 \text{ psi} \text{ (OK)}$$

Deck
Joists

USE: 2x4's @ 16" oc
w/ 3/4" Plywood

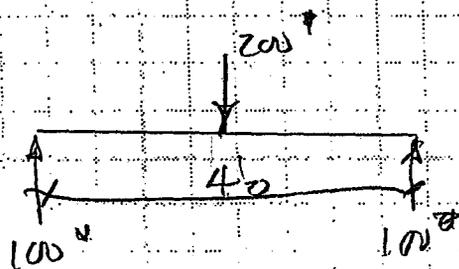
(2) check Temporary Wall @ perimeter



Reaction Load = 200# @ top

Brace @ 4'0" oc

200

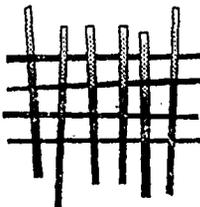


Max Moment in top Rail
 $= 100(2.0)(12) = 2400 \text{ in}^{\#}$

$$S_{req'd} = \frac{2400}{1200} = 2.0 \text{ in}^3$$

$$S_{2x4} = \frac{10.5(3.5)^2}{6} = 3.06 \text{ in}^3 > 2.0 \text{ in}^3 \text{ OK}$$

USE: 2x4 FOR TOP RAIL



Edward A.
LANDERS, P.E.
 CONSULTING ENGINEERS

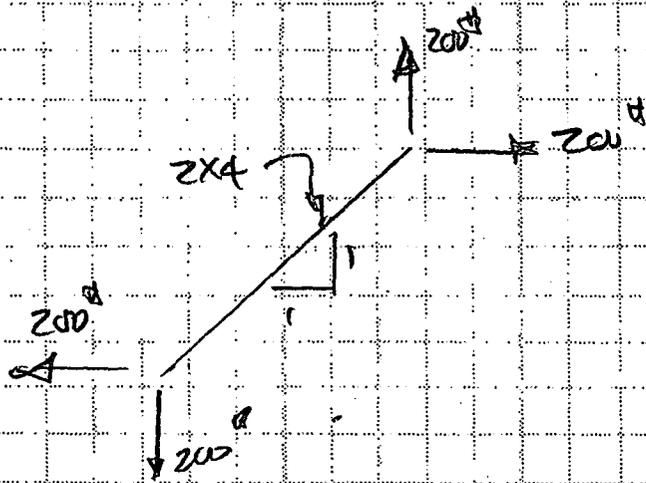
P.E. #038398

(305)823-3938

CALCF

7-17-14

2



LOAD ON 2x4 =
 $(200^2 + 200^2)^{1/2} = 282.8 \text{ lb}$

Connectors for 4-10d nails
 Capacity shear = 75 lb/nail

∴ TRY 4-10d nails
 $= 4 \times 75 = 300 \text{ lb} > 282.8 \text{ lb (OK)}$

BRACE USE: 4-10d Nails
2x4 @ 40°/2

(3) Check Beam OF SCAFFOLD POST.

Trib Area = $7.0 \times 5 = 35 \text{ SF}$

Design Load = 50 psf

TOTAL Load = $50 \times 35 = 1750 \text{ lb/POST}$

Beam Capacity = 2000 psf. $> 1750 \text{ lb/leg (OK)}$

LEG
SUPPORT
PAD.

USE: 2" x 12" x 12" wood Bsq PAD
UNDER EACH LEG



Edward A.
LANDERS, P.E.
 CONSULTING ENGINEERS

P.E. #038398

(305)823-3938

CALC

7-17-04

3

B1405045

Edward A. LANDERS, P.E.
CONSULTING ENGINEERS
7650 NW 145TH STREET, SUITE 209 MIAMI LAKES FL 33016
Tel. (305) 823-3938
Fax (305) 823-9355

BIG PINK BUILDING
151 COLLINS AVE
MIAMI BEACH, FLORIDA



AREA OF WORK

LOCATION PLAN
N.T.S.

INDEX

COVER SHEET
C-1 LOCATION PLAN

ARCHITECTURAL
A-1 GROUND FLOOR PLAN
SECOND FLOOR PLAN

STRUCTURAL
S-0 NOTES
S-1 ELEVATIONS
S-2 DETAILS
S-3 DETAILS NOTES

PUBLIC WORKS
PLAN REVIEW NOTICE
Phone 305-673-7080 Fax 305-673-7028

THIS PLAN REVIEW CONSTITUTES APPROVAL FOR OBTAINING BUILDING PERMITS ONLY.

All construction and/or use of equipment in the right-of-way and/or easements, requires a separate Public Works Department permit prior to start of construction.

Permit Requirements: Proof of existing sidewalk/swale-area conditions (pictures) and/or posting of sidewalk/roadway bonds (Public Works Inspection of the right-of-way will be required prior to final sign-off on the C.C. / C.O., or the release of bonds.)

Approved/Reviewed By: *[Signature]* Date: 7/10/14

OFFICE COPY
CITY OF MIAMI BEACH
APPROVED FOR PERMIT BY
THE FOLLOWING:

BUILDING: *[Signature]*
ZONING: *[Signature]*
PLUMBING: *[Signature]*
ELECTRICAL: *[Signature]*
MECHANICAL: *[Signature]*
FIRE PREVENTION: *[Signature]*
FLOOD: *[Signature]*
PUBLIC WORKS: *[Signature]*
STRUCTURAL: *[Signature]*
ELEVATOR: *[Signature]*

CONCRETE REPAIR

PERMIT SET
DWG INFO:
1413474

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APPROVED BY	DATE

SCOPE OF WORK
ALTERATION LEVEL II

1. CONCRETE REPAIR, CRACKS, AND CONCRETE SPA
2. NO ELECTRICAL
3. NO MECHANICAL
4. NO PLUMBING

NOTICE: In addition to the requirement of this permit, there may be additional restrictions applicable to this property that may be found in the Public Records of the County and there may be other requirements required from other government entities and agencies. The City of Miami Beach assumes no responsibility for accuracy of or liability for these items which are approved subject to compliance with all Federal, State, and Local Laws, Rules, and Regulations.

THIS SHEET HAS BEEN
REVISED/REPLACED
ORIGINAL SIGNATURE STAMP
REMAINS VALID



FRONT

[Signature]
6-6-14

BING PINK BUILDING
TO:
151 COLLINS AVE
MIAMI BEACH, FLORIDA 33139

C-1
SHEET NUMBER

BIG PINK BUILDING

157 COLLINS AVE

MIAMI BEACH, FLORIDA



AREA OF WORK



LOCATION PLAN

N.T.S.

Edward A. LANDERS, P.E.
 CONSULTING ENGINEERS
 7500 NW 146TH STREET, SUITE 509 MIAMI LAKES FL 33016
 Tel. (305) 823-3938
 Fax (305) 823-9355

CONCRETE REPAIR

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 COMMENCING WORK.

APPROVED BY	DATE

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- SK-1 SCAFFOLD FIRST FLOOR
- EGRESS PLAN.
- SK-2 SCAFFOLD FRAMING PLAN

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- S-2 DETAILS
- S-3 DETAILS NOTES

SCOPE OF WORK

ALTERATION LEVEL II

1. CONCRETE REPAIR, CRACKS, AND CONCRETE SPALLING
2. NO ELECTRICAL
3. NO MECHANICAL
4. NO PLUMBING

City of Miami Beach
 Fire Prevention Division
 PLANS APPROVED



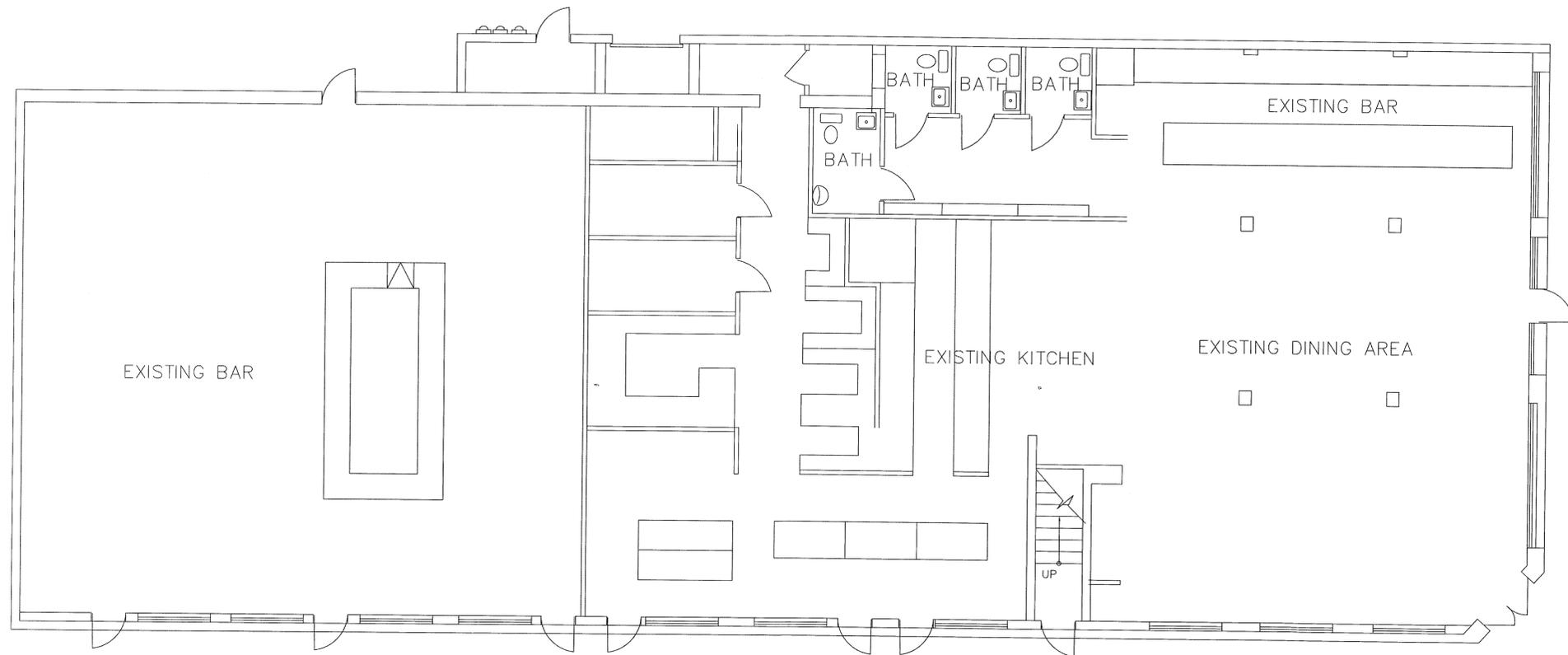
BIG PINK BUILDING

157 COLLINS AVE
 MIAMI BEACH, FLORIDA 33139

Edward A. Landers
 7/28/14

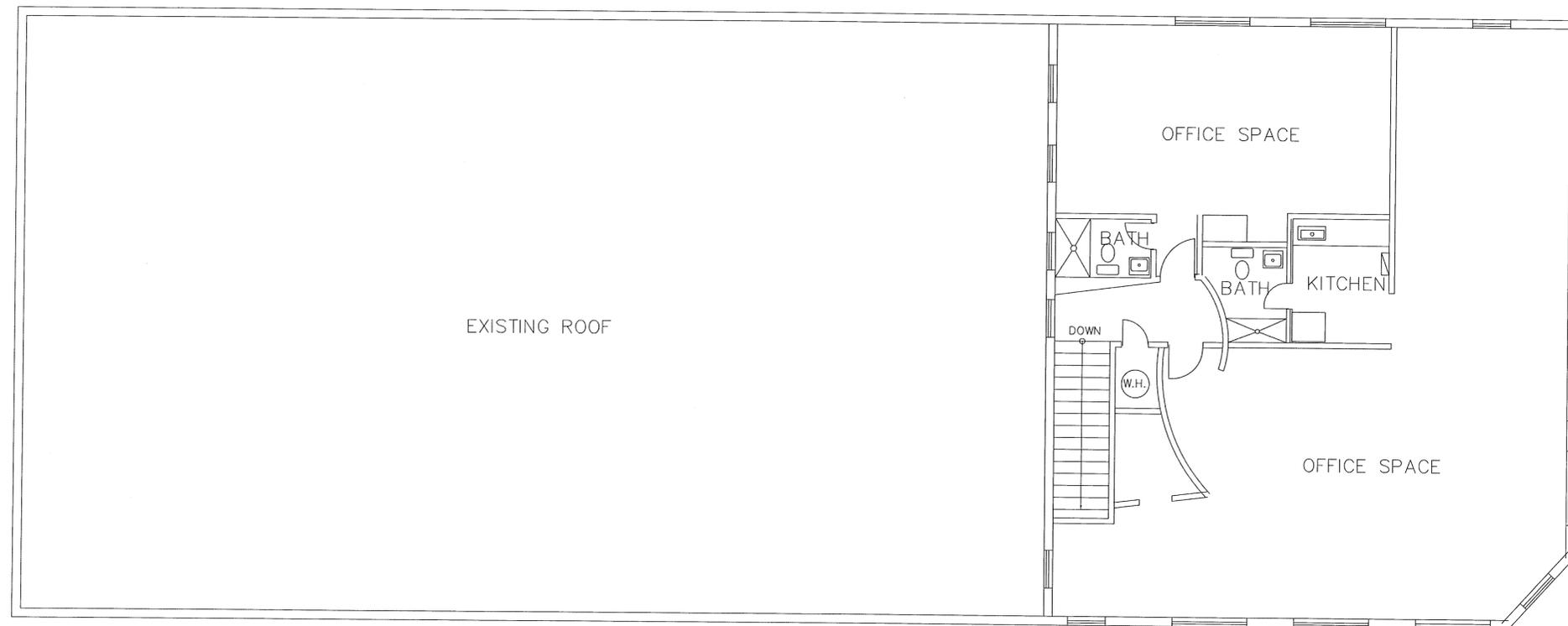
C-1

SHEET NUMBER



FIRST FLOOR PLAN (FOR REFERENCE ONLY)

SCALE: 3/4" = 1' - 0"



SECOND FLOOR PLAN (FOR REFERENCE ONLY)

SCALE: 3/16" = 1' - 0"

Edward A. LANDERS, P.E.
CONSULTING ENGINEERS
7850 NW 145TH STREET, SUITE 509 WOOD LAKE FL 33016
Tel. (305) 823-3938
Fax (305) 823-9355

CONCRETE REPAIR

PERMIT SET

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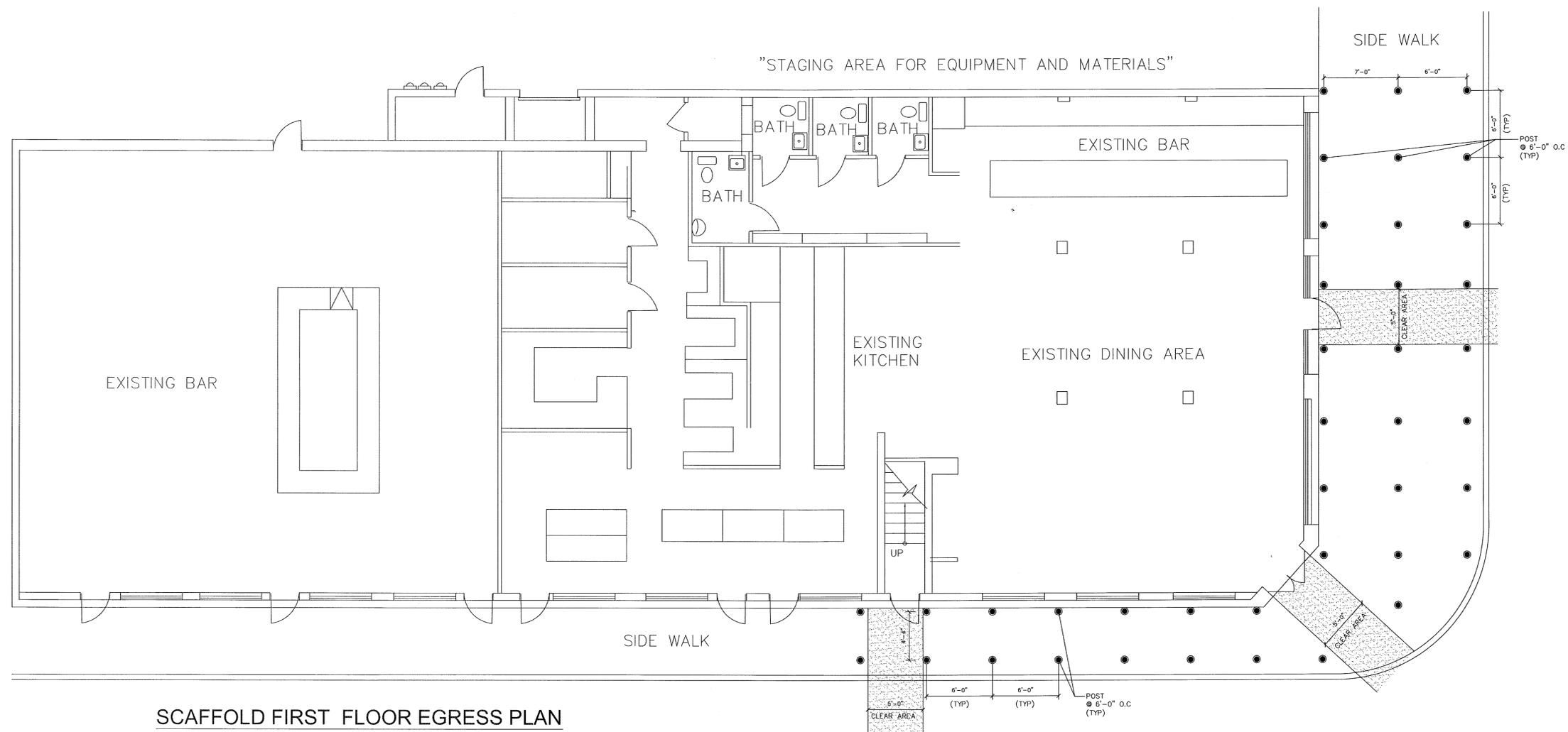
City of Miami Beach
Fire Prevention Division
PLANS APPROVED



TO:
BIG PINK BUILDING
157 COLLINS AVE
MIAMI BEACH, FLORIDA 33139

Handwritten signature and date: 7/18/17

A-1
SHEET NUMBER



SCAFFOLD FIRST FLOOR EGRESS PLAN

SCALE: 3/4" = 1' - 0"

City of Miami Beach
Fire Prevention Division
PLANS APPROVED



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ENGINEER OF ANY DISCREPANCIES PRIOR TO
COMMENCING WORK.

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BIG PINK BUILDING

157 COLLINS AVE
MIAMI BEACH, FLORIDA 33139

TO:

Edward A. Landers
7-18-14

SK-1
SHEET NUMBER



SCAFFOLD FRAMING PLAN

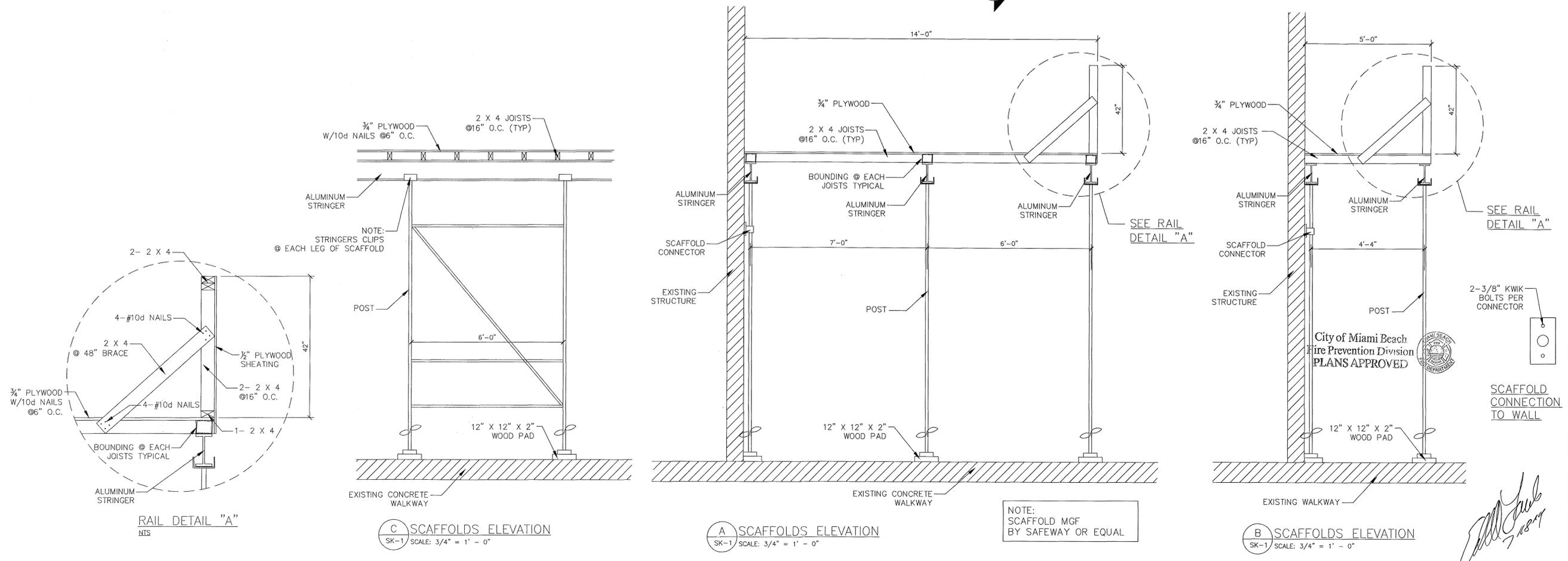
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APPROVED BY	DATE



BIG PINK BUILDING

157 COLLINS AVE
 MIAMI BEACH, FLORIDA 33139

TO:
 SK-2
 SHEET NUMBER

Handwritten signature and date: 7/18/11

GENERAL:

1. THE DRAWINGS ARE INTENDED TO SHOW THE GENERAL ARRANGEMENT, DESIGN AND EXTENT OF THE WORK AND ARE PARTIALLY DIAGRAMMATIC. THEY ARE NOT INTENDED TO BE SCALED FOR ROUGH-IN MEASUREMENTS, OR TO SERVE AS SHOP DRAWINGS OR PORTIONS THEREOF.
2. ALL DETAILS AND SECTIONS SHOWN ON THE DRAWINGS ARE INTENDED TO BE TYPICAL AND SHALL BE CONSTRUED TO APPLY TO ANY SIMILAR SITUATION ELSEWHERE ON THE PROJECT, EXCEPT WHERE A DIFFERENT DETAIL OR SECTION IS SHOWN.
3. PRIOR TO START OF CONSTRUCTION, THE CONTRACTOR AND ALL THE SUBCONTRACTORS SHALL VERIFY ALL GRADES, LINES, LEVELS, DIMENSIONS AND COORDINATE EXISTING CONDITIONS AT THE JOB SITE WITH THE PLANS AND SPECIFICATIONS. THEY SHALL REPORT ANY INCONSISTENCIES OR ERRORS IN THE ABOVE TO THE ARCHITECT/ENGINEER BEFORE COMMENCING WORK. THE CONTRACTOR AND HIS SUBCONTRACTORS SHALL LAY OUT THEIR WORK FROM ESTABLISHED REFERENCE POINTS AND BE RESPONSIBLE FOR ALL LINES, ELEVATIONS AND MEASUREMENTS IN CONNECTION WITH THEIR WORK.
4. IF ANY ERRORS OR OMISSIONS APPEAR IN THE DRAWINGS, GENERAL NOTES OR OTHER DOCUMENTS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING OF SUCH OMISSION OR ERROR PRIOR TO PROCEEDING WITH ANY WORK WHICH APPEARS IN QUESTION. IN THE EVENT OF THE CONTRACTOR'S FAILING TO GIVE SUCH AN ADVANCED NOTICE, HE SHALL BE HELD RESPONSIBLE FOR THE RESULTS OF ANY SUCH ERRORS OR OMISSIONS AND THE COST OF RECTIFYING THE SAME.
5. THE CONTRACTOR SHALL USE THE STRUCTURAL DRAWINGS AND SPECIFICATIONS TOGETHER WITH THE ARCHITECTURAL, MECHANICAL, ELECTRICAL AND OTHER TRADE DRAWINGS AND SHOP DRAWINGS, TO LOCATE DEPRESSED SLABS, SLOPES, DRAINS, OUTLETS, RECESSES, OPENINGS, BOLT SETTING, SLEEVES, DIMENSIONS, ETC. NOTIFY ARCHITECT/ENGINEER, IN WRITING, OF ANY POTENTIAL CONFLICTS BEFORE PROCEEDING WITH THE WORK.

SHOP DRAWINGS & DELEGATED ENGING:

1. ALL SHOP DRAWINGS SHALL BE SUBMITTED FOR ENGINEER'S REVIEW ONLY AFTER THEY HAVE BEEN THOROUGHLY REVIEWED BY THE CONTRACTOR FOR CONSTRUCTION METHODS, DIMENSIONS AND OTHER TRADE REQUIREMENTS, AND STAMPED WITH THE CONTRACTOR'S APPROVAL STAMP. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR DIMENSIONS, QUANTITIES, ENGINEERING DESIGN BY DELEGATED ENGINEERS, ERRORS OR OMISSIONS AS A RESULT OF REVIEWING ANY SHOP DRAWINGS. ANY ERRORS OR OMISSIONS MUST BE MADE GOOD BY THE CONTRACTOR, IRRESPECTIVE OF RECEIPT, CHECKING OR REVIEW OF DRAWINGS BY THE ENGINEER AND EVEN THOUGH WORK IS DONE IN ACCORDANCE WITH SUCH DRAWINGS.
2. BEFORE STRUCTURAL INSPECTIONS CAN BE MADE ON A PORTION OF THE STRUCTURE, ALL RELATED SHOP DRAWINGS, DELEGATED ENGINEERING, PRODUCT APPROVAL, MANUFACTURER'S DATA AND OTHER RELATED INFORMATION, MUST BE REVIEWED AND ACCEPTED BY THE ENGINEER-OF-RECORD AND APPROVED BY THE BUILDING DEPARTMENT.
3. ALL SHOP DRAWINGS SHALL CONTAIN THE MINIMUM INFORMATION, OUTLINED IN THE FLORIDA BUILDING CODE.
4. ALL DELEGATED ENGINEER'S SHOP DRAWINGS SHALL COMPLY WITH ALL THE REQUIREMENTS OF THE FLORIDA BUILDING CODE. SHOP DRAWINGS SHALL CONTAIN ALL INFORMATION SHOWN ON THE STRUCTURAL PLANS (RELATED TO THE DELEGATED DESIGN) INCLUDING ALL DESIGN LOADS, IN ADDITION TO THE INFORMATION REQUIRED BY THE DELEGATED ENGINEER'S DESIGN.
5. THE ENGINEER OF RECORD SHALL REVIEW ALL SHOP DRAWINGS, PREPARED AND SIGNED AND SEALED BY THE CONTRACTOR'S DELEGATED ENGINEER, ONLY FOR GENERAL COMPLIANCE WITH THE DESIGN INTENT, REQUIRED LOADING AND COORDINATION WITH THE STRUCTURE DESIGNED BY THE ENGINEER OF RECORD.
6. CONTRACTOR SHALL SUBMIT TO THE ENGINEER OF RECORD, ONLY ONE SET OF SEPIA AND ONE SET OF BLUE PRINTS OF THE STRUCTURAL SHOP DRAWINGS FOR ENGINEER'S REVIEW, BEFORE STARTING FABRICATION. THE ENGINEER WILL RETURN THE MARKED-UP AND STAMPED SEPIA TO THE ARCHITECT. THESE SEPIA COPIES SHALL BE USED TO MAKE PRINTS AS REQUIRED FOR THE SHOP DRAWING DISTRIBUTION. SETS OF BLUE PRINTS (WITHOUT SEPIA) WILL NOT BE ACCEPTED.

CONSTRUCTION MEANS AND METHODS:

1. THE CONTRACTOR IS RESPONSIBLE AND SHALL COMPLY WITH THE SAFETY REQUIREMENTS OF THE FLORIDA BUILDING CODE AND ALL LOCAL, STATE AND FEDERAL LAWS.
2. PROVIDE ALL SHORING, BRACING AND SHEETING AS REQUIRED FOR SAFETY, STRUCTURAL STABILITY AND FOR THE PROPER EXECUTION OF THE WORK. REMOVE WHEN WORK IS COMPLETED.
3. PROVIDE AND MAINTAIN GUARD LIGHTS AT ALL BARRICADES, RAILINGS, OBSTRUCTIONS IN THE STREETS, ROADS OR SIDEWALKS AND ALL TRENCHES OR PITS ADJACENT TO PUBLIC WALKS OR ROADS.
4. AT ALL TIMES, PROVIDE PROTECTION AGAINST WEATHER (RAIN, WIND, STORMS OR THE SUN), SO AS TO MAINTAIN ALL WORK, MATERIALS, APPARATUS AND FIXTURES FREE FROM INJURY OR DAMAGE.
5. AT THE END OF THE DAYS WORK, COVER ALL WORK LIKELY TO BE DAMAGED. ANY WORK DAMAGED BY FAILURE TO PROVIDE PROTECTION SHALL BE REMOVED AND REPLACED WITH NEW WORK AT THE CONTRACTOR'S EXPENSE.
6. THE CONTRACTOR SHALL PAY FOR ALL DAMAGES TO ADJACENT PROPERTY

GENERAL STRUCTURAL NOTES

(Florida Building Code 2010 Edition)

STRUCTURAL OBSERVATIONS:

1. THE ENGINEER-OF-RECORD SUBMIT A STATEMENT, AT THE COMPLETION OF THE CONSTRUCTION WORK, REGARDING THE COMPLIANCE OF THE WORK WITH THE APPROVED PERMIT PLANS (F.B.C.
2. IN THE EVENT THAT THE ENGINEER OF RECORD WERE NOT RETAINED TO PERFORM STRUCTURAL OBSERVATIONS, THE OWNER AND THE CONTRACTOR MUST NOTIFY THE BUILDING DEPARTMENT AND OBTAIN AN APPROVAL OF THE ENGINEER ENGAGED TO PERFORM THE INSPECTIONS, BEFORE START OF ANY STRUCTURAL WORK.
3. IT IS UNDERSTOOD THAT THE ENGINEER WILL NOT BE HELD RESPONSIBLE AND LIABLE FOR ANY OF THE CONTRACTOR'S WORK WHICH WAS NOT PROPERLY OBSERVED BY THE ENGINEER-OF-RECORD (OR HIS REPRESENTATIVE) OR FOR ANY WORK, APPROVED BY THE INSPECTING ENGINEER (OTHER THAN THE ENGINEER-OF-RECORD) WHICH MODIFIES OR CHANGES THE STRUCTURAL PERMIT RECORD DOCUMENTS.

STRUCTURAL DESIGN CRITERIA:

1. THE DESIGN COMPLIES WITH THE REQUIREMENTS OF THE FLORIDA BUILDING CODE - (2010 EDITION) AND OTHER REFERENCED CODES AND SPECIFICATIONS. ALL CODES AND SPECIFICATIONS SHALL BE LATEST EDITION AT TIME OF PERMIT.
2. WIND LOAD CRITERIA: GCPI = ±0.18
 BASED ON ANSI/ASCE 7-10 BASIC WIND VELOCITY 175 MPH, OCCUPANCY CATEGORY II (AT HURRICANE OCEANLINE), EXPOSURE "D".
3. ROOF DESIGN LOADS: (SUPERIMPOSED)
 DEAD LOADS: 25 PSF
 LIVE LOADS: 30 PSF
4. FLOOR DESIGN LOADS: (SUPERIMPOSED)
 DEAD LOADS: 25 PSF
 LIVE LOADS: 40 PSF

CONCRETE AND REINFORCING:

1. CONCRETE DESIGN AND REINFORCEMENT IN ACCORDANCE WITH "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE" AND WITH "DETAILS AND DETAILING OF CONCRETE REINFORCEMENT"
2. ALL CONCRETE WORK IN ACCORDANCE WITH "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDING" PRODUCTION OF CONCRETE, DELIVERY, PLACING AND CURING TO BE IN ACCORDANCE WITH "HOT WEATHER CONCRETING"
3. ALL CONCRETE TO BE REGULAR WEIGHT WITH A DESIGN STRENGTH OF 5,000 P.S.I. AT 28 DAYS. MAXIMUM SLUMP 4".
4. ALL REINFORCING TO BE NEW BILLET STEEL CONFORMING TO THE LATEST A.S.T.M. A-615 GRADE 60, FABRICATED IN ACCORDANCE WITH C.R.S.I. MANUAL OF STANDARD PRACTICE AND PLACED IN ACCORDANCE WITH LAP SPLICE PER A.C.I. 318-02 SEC. 12.2.3,30.5" MIN
5. CONCRETE COVER UNLESS OTHERWISE DETAILED ON DRAWINGS:
 GRADE BEAMS: (BOTTOM) 3"
 (TOP & SIDES) 2"
 EXTERIOR SLABS ON GRADE: (BOTTOM) 2"
 (TOP) 1-1/2"
 COLUMNS AND BEAMS: (TO THE TIES) 1-1/2"
6. COLUMN REINFORCEMENT: DOWELS TO BE SAME SIZE AND NUMBER AS VERTICAL REBARS ABOVE.
 PROVIDE RIGID TEMPLATES FOR DOWEL LOCATION. PROVIDE STANDARD HOOKS AT TOP OF ALL VERTICAL REINFORCEMENT AT NONCONTINUOUS COLUMNS (U.O.N.). SEE ATTACHED TABLE FOR SPLICE LENGTH
 LAP SPLICES FOR BEAMS AND COLUMNS PER ACI 318-08 CHAPTER #12
7. ALL DOWELS FOR COLUMNS SHALL BE SECURED IN POSITION PRIOR TO CONCRETING. PUSHING THE DOWELS INTO POSITION IN WET CONCRETE IS NOT PERMITTED.
8. BEAM REINFORCEMENT: (SEE BEAM DIAGRAM ON PLAN). BOTTOM BARS SPLICED ONLY AT SUPPORTS, TOP BARS SPLICED ONLY AT MID-SPAN. ALL TOP BARS HOOKED AT NONCONTINUOUS EDGES (U.O.N.). ALL HOOKS TO BE STANDARD 90 DEGREE HOOKS AS REQUIRED (U.O.N.). SEE ATTACHED TABLE FOR SPLICE LENGTH
9. ADDED REINFORCEMENT: PROVIDE ADDITIONAL CORNER BARS BENT 36 INCHES MINIMUM EACH WAY AT "L" AND "T" CORNERS IN OUTER FACES OF ALL BEAMS TO MATCH ALL HORIZONTAL BAR (TOP, BOTTOM AND INTERMEDIATE REBARS).
10. SEE PLAN FOR MINIMUM SIZE CONCRETE TIE BEAM REQUIREMENTS.
11. TIE BEAM & GRADE BEAM SHALL HAVE CORNER BARS W/30"BEAMS

SOIL STATEMENT

THE NATURE AND CHARACTER OF THE SOIL CONDITION BENEATH THE STRUCTURAL FOOTING HAS BEEN OBSERVED TO HAVE UNDISTURBED SAND AND ROCK PRESUMED TO HAVE AN ALLOWABLE BEARING CAPACITY OF 2,000 PSF AT THE TIME OF CONSTRUCTION, A FLORIDA REGISTERED ENGINEER SHALL PROVIDE A SIGN AND SEALED WRITTEN REPORT VERIFYING ACTUAL SOIL BEARING VALUES. STATING THAT THE SOIL BEARING ARE AS ASSUMED.

TERMITE PROTECTION COMPLIANCE

GENERAL CONTRACTOR TO PROVIDE A CERTIFICATE OF COMPLIANCE BY LICENSED PEST CONTROL COMPANY THAT CONTAINS THE FOLLOWING STATEMENT AS PER FBC 2010 SECTION 1816.1.7

"THE BUILDING HAS RECEIVED A COMPLETE TREATMENT FOR THE PREVENTION OF SUBTERRANEAN TERMITE TREATMENT IS IN ACCORDANCE WITH RULES AND LAWS ESTABLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES"

City of Miami Beach
 Fire Prevention Division
 PLANS APPROVED



Edward A. Landers, P.E.
 CONSULTING ENGINEERS
 7002 NW 140TH STREET, SUITE 100 MIAMI LAKES, FL 33016
 Tel. (305) 823-3938
 Fax (305) 823-9355

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APPROVED BY	DATE

BIG PINK BUILDING

157 COLLINS AVE
 MIAMI BEACH, FLORIDA 33139

TO:

Edward A. Landers
 7/18/14

S-0

SHEET NUMBER

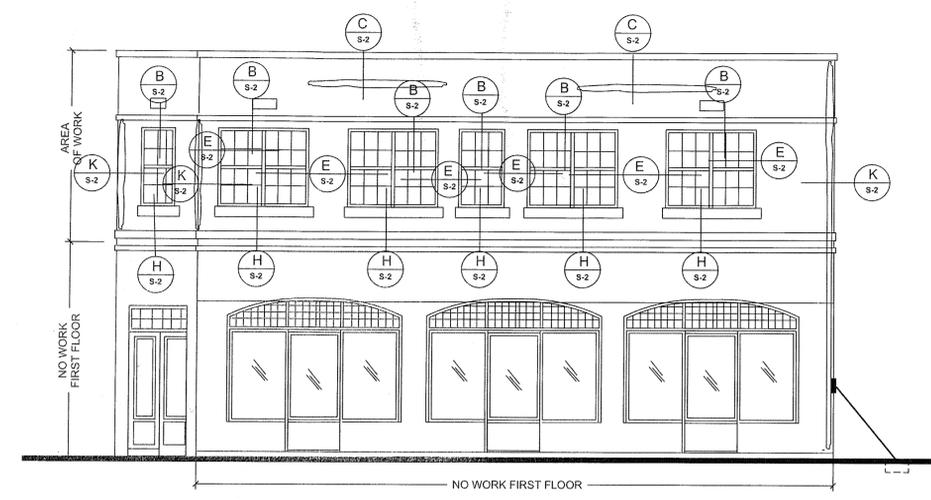
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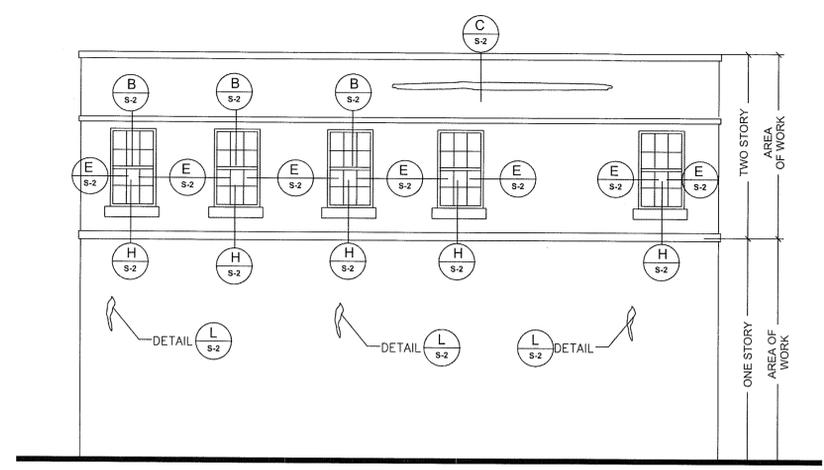
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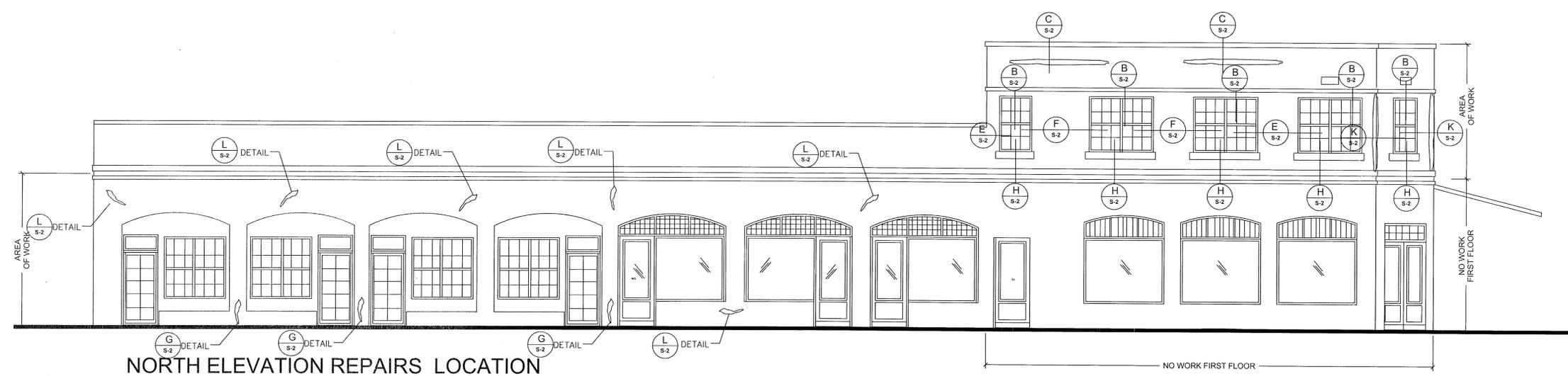
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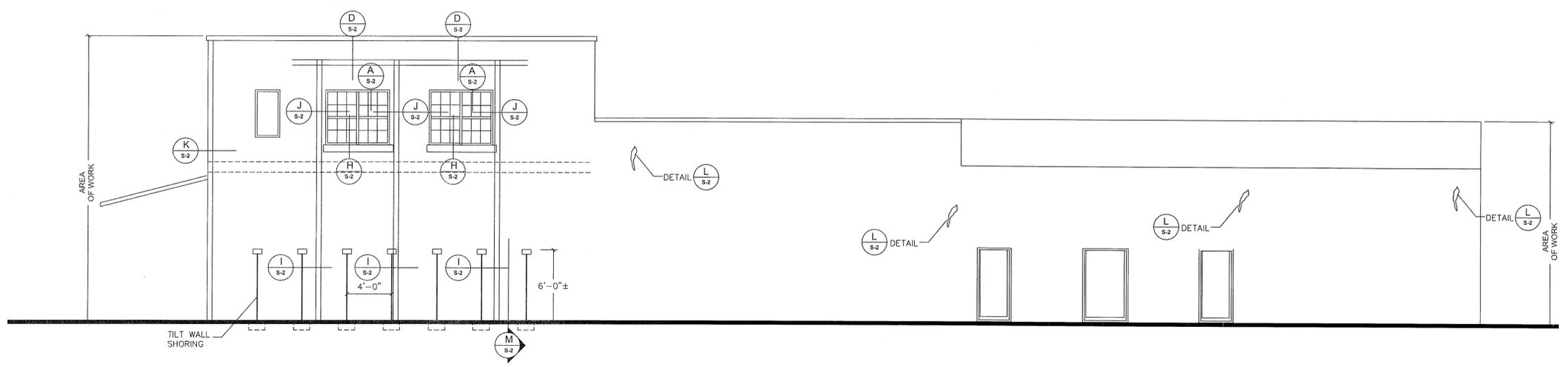
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EAST ELEVATION REPAIRS LOCATION
 SCALE: 3/16" = 1' - 0"



NORTH ELEVATION REPAIRS LOCATION
 SCALE: 3/16" = 1' - 0"



SOUTH ELEVATION REPAIRS LOCATION
 SCALE: 3/16" = 1' - 0"

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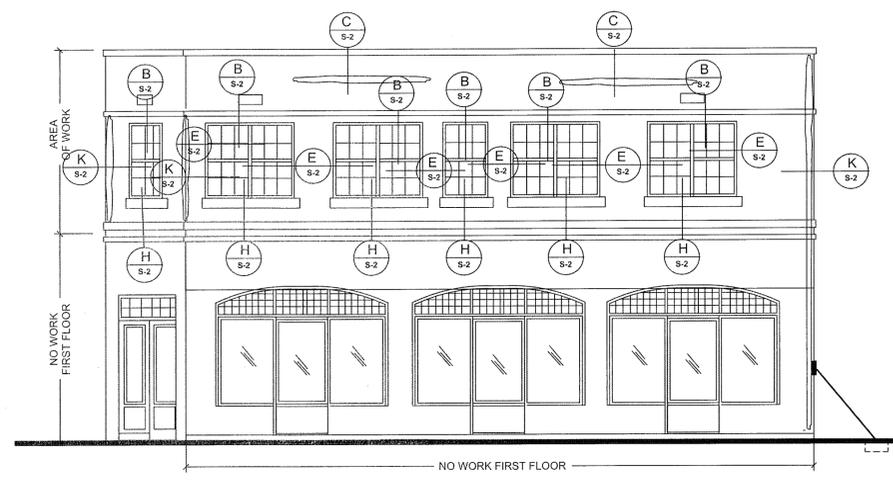
157 COLLINS AVE
 MIAMI BEACH, FLORIDA 33139

City of Miami Beach
 Fire Prevention Division
 PLUMBING APPROVAL

Handwritten signature and date: 7/18/14

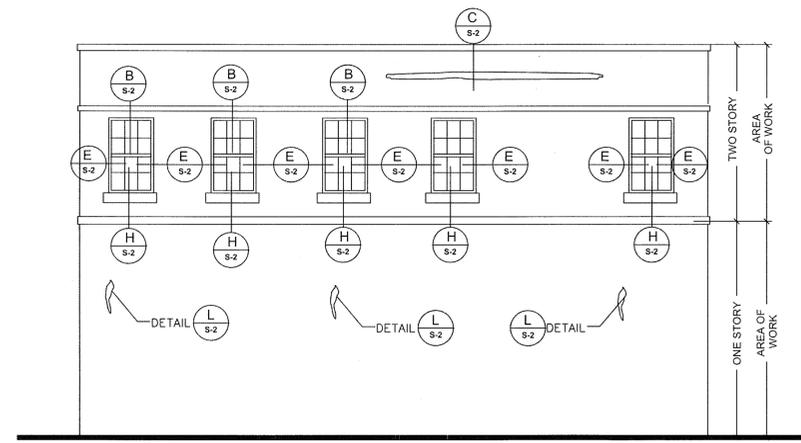
TO:

S-1
 SHEET NUMBER



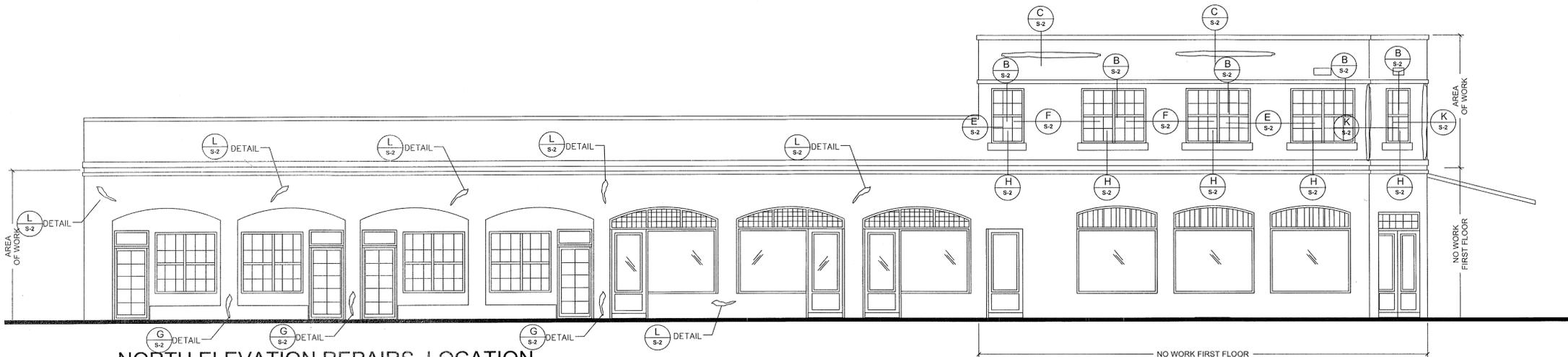
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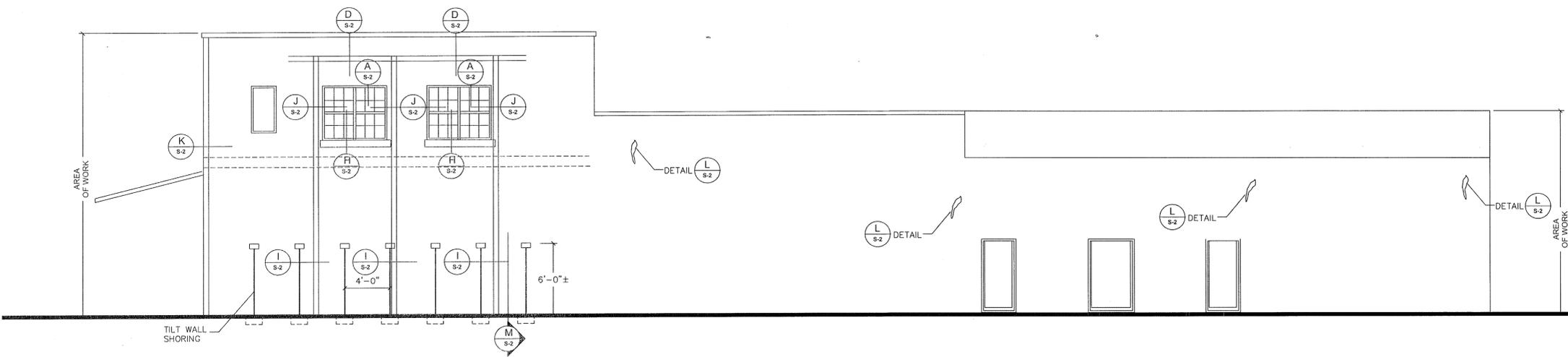
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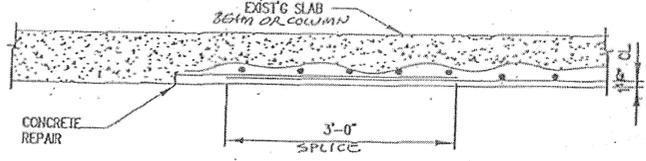
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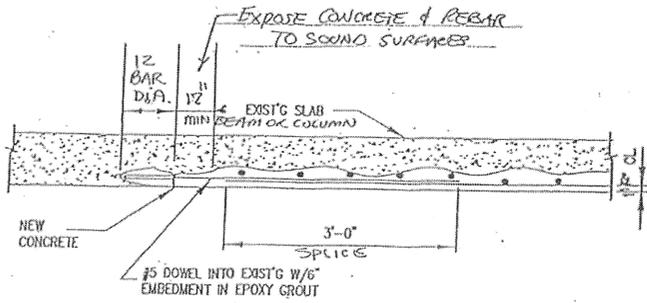
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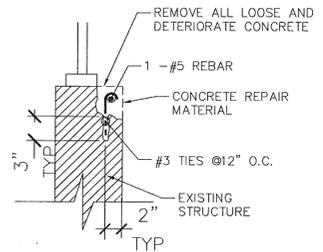


TYPICAL REBAR SPLICE DETAIL

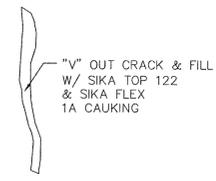


REBAR SPLICE & DOWEL DETAILS

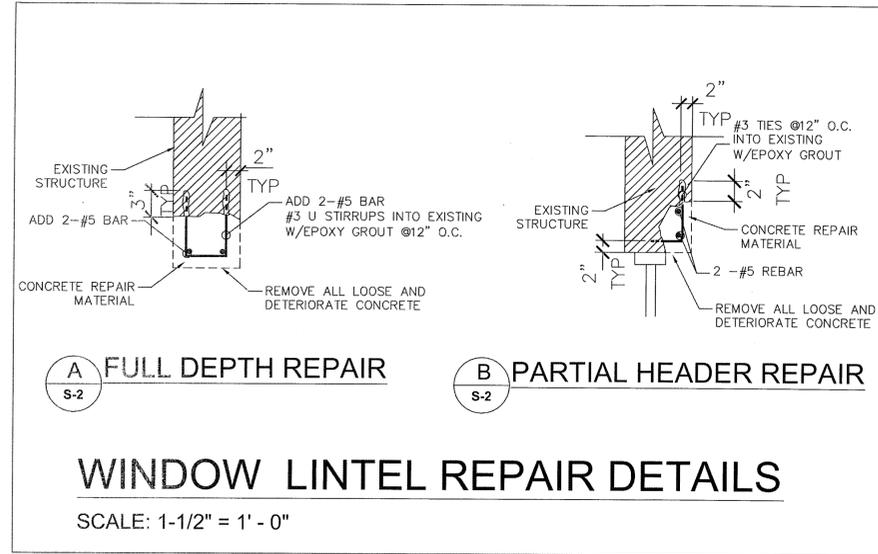
STANDARD SPLICE & LAP DETAILS
SCALE: NTS



H TYP SILL REPAIR DETAIL
S-2



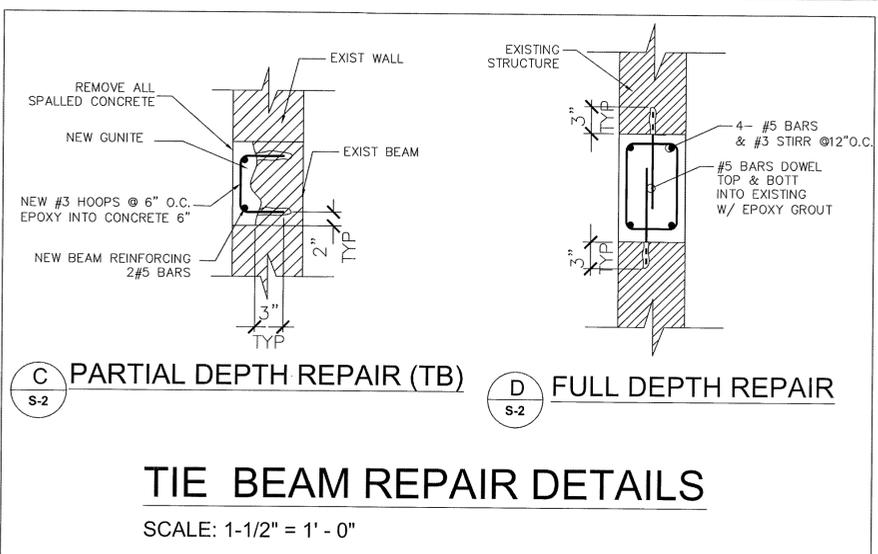
L CRACK REPAIR
S-2 SCALE: 1-1/2" = 1' - 0"



A FULL DEPTH REPAIR S-2 B PARTIAL HEADER REPAIR S-2

WINDOW LINTEL REPAIR DETAILS

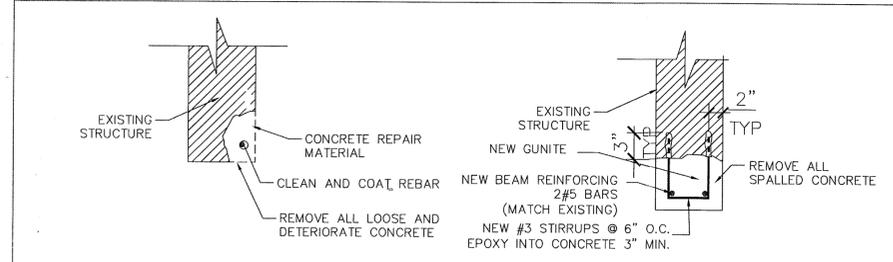
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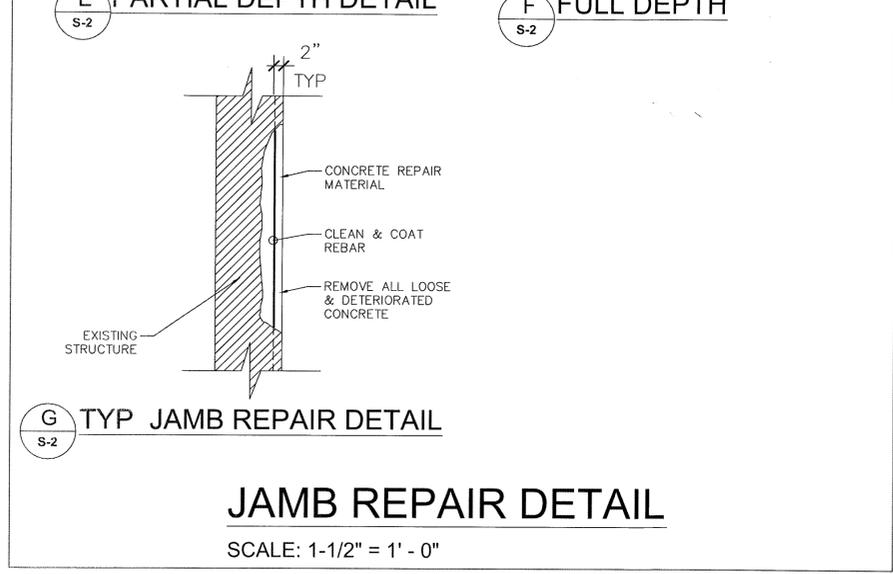
C PARTIAL DEPTH REPAIR (TB) S-2 D FULL DEPTH REPAIR S-2

TIE BEAM REPAIR DETAILS

SCALE: 1-1/2" = 1' - 0"



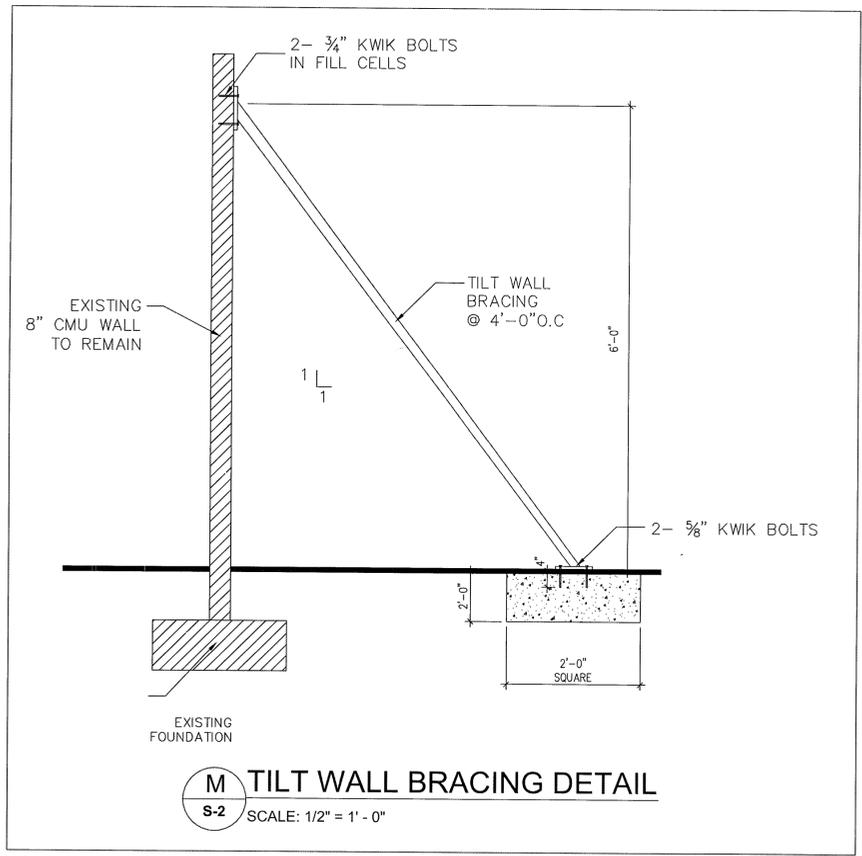
E PARTIAL DEPTH DETAIL S-2 F FULL DEPTH S-2



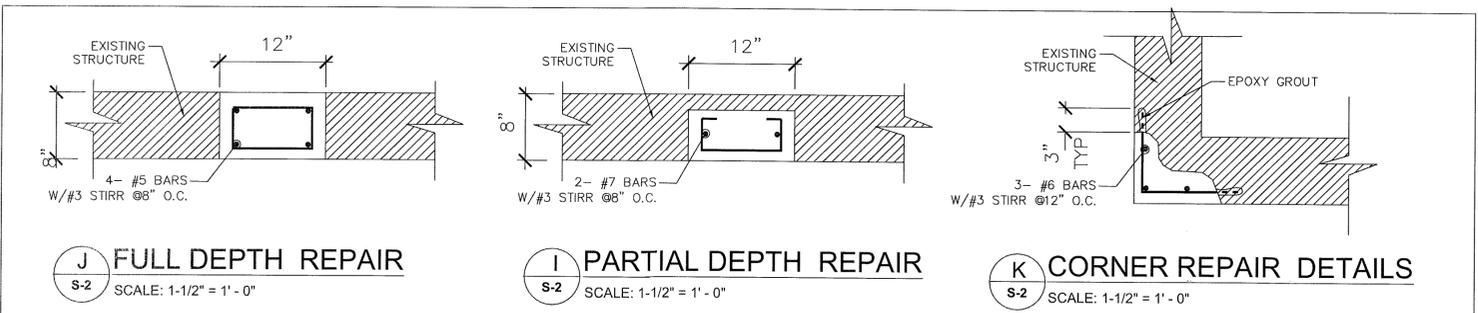
G TYP JAMB REPAIR DETAIL
S-2

JAMB REPAIR DETAIL

SCALE: 1-1/2" = 1' - 0"



M TILT WALL BRACING DETAIL
S-2 SCALE: 1/2" = 1' - 0"



J FULL DEPTH REPAIR S-2 I PARTIAL DEPTH REPAIR S-2 K CORNER REPAIR DETAILS S-2

TIE COLUMN REPAIR DETAILS

SCALE: 1-1/2" = 1' - 0"

City of Miami Beach
Fire Prevention Division
PLANS APPROVED

CONCRETE REPAIR NOTES

1. Gunite (ALUMINATE).....5000psi
2. Prepackaged Concrete Repair.....3000psi
3. Rebar.....Grade 60
4. Do not remove any re-bar with less than 10% Corrosion, sandblast and coat per attached Specifications.
5. Make all cuts square.
6. Trowel finish all repaired surfaces.
7. Add epoxy bonding agent to surfaces prior to concrete application.

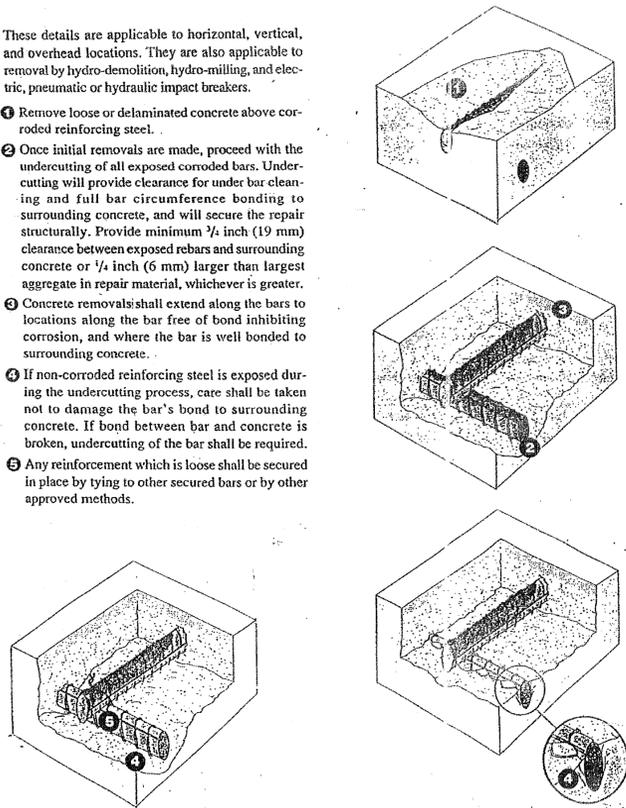
[Signature]
7-18-08

TO:

Exposing and Undercutting of Reinforcing Steel

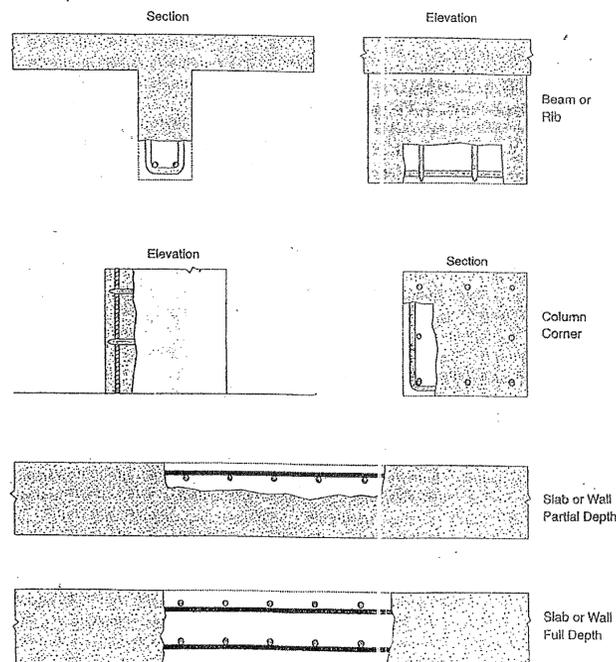
These details are applicable to horizontal, vertical, and overhead locations. They are also applicable to removal by hydro-demolition, hydro-milling, and electric, pneumatic or hydraulic impact breakers.

- 1 Remove loose or delaminated concrete above corroded reinforcing steel.
- 2 Once initial removals are made, proceed with the undercutting of all exposed corroded bars. Undercutting will provide clearance for under bar cleaning and full bar circumference bonding to surrounding concrete, and will secure the repair structurally. Provide minimum 1/2 inch (19 mm) clearance between exposed rebar and surrounding concrete or 1/4 inch (6 mm) larger than largest aggregate in repair material, whichever is greater.
- 3 Concrete removals shall extend along the bars to locations along the bar free of bond inhibiting corrosion, and where the bar is well bonded to surrounding concrete.
- 4 If non-corroded reinforcing steel is exposed during the undercutting process, care shall be taken not to damage the bar's bond to surrounding concrete. If bond between bar and concrete is broken, undercutting of the bar shall be required.
- 5 Any reinforcement which is loose shall be secured in place by tying to other secured bars or by other approved methods.



Removal Geometry

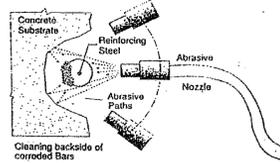
Caution! Before starting removals, review effect of removals on structural integrity. Provide shoring of members if necessary. Particular care shall be exercised at slab-to-rib connections to columns.



Cleaning and Repair of Reinforcing Steel

Cleaning of Reinforcing Steel

- 1 All heavy corrosion and scale should be removed from the bar as necessary to promote maximum bond of replacement material. Oil free abrasive blast is the preferred method. A tightly bonded light rust build-up on the surface is usually not detrimental to bond, unless a protective coating is being applied to the bar surface, in which case the coating manufacturer's recommendations for surface preparation should be followed.

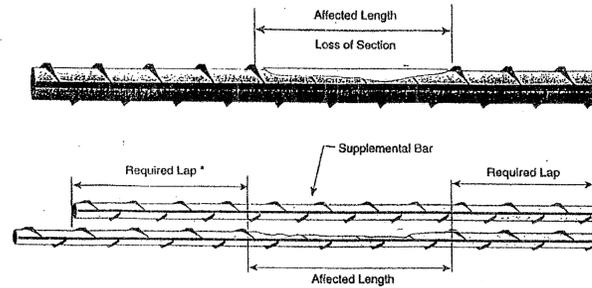


Repair of Reinforcing Steel Due to Loss of Section

If reinforcing steel has lost significant cross section, a structural engineer should be consulted. If repairs are required to the reinforcing steel, one of the following repair methods should be used:

- Complete bar replacement, or
- Addition of supplemental bar over affected section.

New bars may be mechanically spliced to old bars or placed parallel to and approximately 1/4 in. (19 mm) from existing bars. Lap lengths shall be determined in accordance with ACI 318; also refer to CRSI and AASHTO manual.



ACI CODE REQUIREMENTS

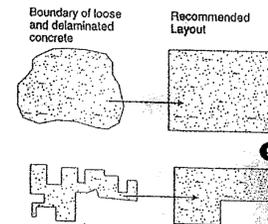
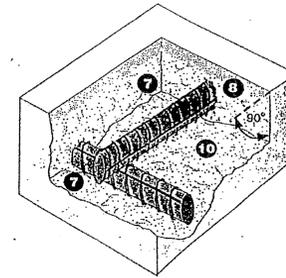
ACI 315 and ACI Manual of Standard Practice
 ACI 318 Building Code Requirements for Reinforced Concrete
 ACI 506 Edge Preparation Guidelines
 ACI 506.2 Specification for Materials, Proportioning, and Application of Shotcrete
 ACI 506.4R-94 Guide for the Evaluation of Shotcrete
 ACI 546R-96 Concrete Repair Guide
 ACI 224.1-93 (98) Causes, Evaluation & Repair of Cracks in Concrete Structures
 ACI 228.1R In-Place Methods for Determining of Concrete Strength

Edge and Surface Conditioning of Concrete

These details are applicable to horizontal, vertical, and overhead locations. They are also applicable to removal by hydro-demolition, hydromilling, and electric, pneumatic or hydraulic impact breakers.

Do not use these details for shotcrete applications— for shotcrete repairs refer to ACI 506 Edge Preparation Guidelines.

- 1 Remove delaminated concrete, undercut reinforcing steel (refer to "Exposing and Undercutting of Reinforcing Steel" on page 3), remove additional concrete as required to provide minimum required thickness of repair material.
- 2 At edge locations, provide right angle cuts to the concrete surface with either of the following methods:
 - Sawcut 1/2" (13 mm) or less as required to avoid cutting reinforcing steel.
 - Use power equipment such as hydrodemolition or impact breakers. Avoid feather edges.
- 3 Repair configurations should be kept as simple as possible, preferably with squared corners.
- 4 After removals and edge conditioning are complete, remove bond inhibiting materials (dirt, concrete slurry, loosely bonded aggregates) by abrasive blasting or high pressure waterblasting with or without abrasive. Check the concrete surfaces after cleaning to insure that surface is free from additional loose aggregate, or that additional delaminations are not present.
- 5 If hydrodemolition is used, cement and particulate slurry must be removed from the prepared surfaces before slurry hardens.



Concrete Repair Recommendations

The following is our recommended repair procedure for all spalled concrete areas. The specific areas include concrete slabs, concrete columns, beams or any additional observed conditions. We recommend concrete repair for the structural elements and submit the following procedure described as follows:

1. Remove all loose and deteriorated concrete with a light-chipping hammer in all areas that exhibit concrete cracks and areas that are spalled.
2. Randomly test areas with a hammer to determine any additional areas for removal. Do not remove any sound concrete from around rebar.
3. Tie-up and secure any sagging re-bar and support as required. Do not remove any existing re-bar without prior authorization.
4. Replace deteriorated re-bar only as required by the Engineer.
5. Wire brush all exposed re-bar to remove all loose scale, concrete and rust.
6. All cleaned re-bar should be coated with a rust inhibitor as soon as possible after cleaning. The following are acceptable coatings:
 - a. Sika Top 110 Armatex, by Sika Chemical Co.
 - b. Zinc Rich Epoxy Primer, B-6270, by delta Labs
 - c. Corr-bond Euclid Chemical Co.
 - d. Sonoborn "Sonoprep"
 - e. Approved Equals.
7. The patching material should be a cement-based product designed specifically as a patching material. The following are recommended products that must be mixed, applied, etc., in accordance with the manufacturer's recommendations:
 - a. Thorite, by Thoro Products,
 - b. Euco Verticoat, by Euclid Chemical,
 - c. Sonoborn "Gelpatch"
 - d. Sikacrete 211, by Sika Chemical.
 - e. sika top 122 plus, by Sika chemical.
8. Apply patching to all prepared surfaces either by hand or sprayed finished sufficiently to match the adjacent concrete surfaces. concrete may be used to repair the undersides of the main beams. All work to be performed by a qualified application contractor in accordance with approved procedures and recommendations.

City of Miami Beach
 Fire Prevention Division
 PLANS APPROVED



Ed Landers
 7/20/14

Edward A. LANDERS, P.E.
 CONSULTING ENGINEERS
 7500 NW 146TH STREET, SUITE 200, MIAMI LAKES FL 33016
 Tel: (305) 823-3938
 Fax: (305) 823-9353

CONCRETE REPAIR

PERMIT SET

DWG INFO:
 1413474

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 EDWARD A. LANDERS, P.E., HEREBY RESERVE THEIR COPYRIGHTS TO THE IDEAS AND DRAWINGS SHOWN. THESE DRAWINGS ARE TO BE USED FOR THE PROJECT STATED ONLY AND SHALL NOT BE USED OR REPRODUCED FOR ANY OTHER PURPOSE WITHOUT THE EXPRESSED WRITTEN CONSENT. CONTRACTORS SHALL VERIFY ALL DIMENSIONS AND SHALL NOT RELY ON SCALED DIMENSIONS. NOTIFY THE ENGINEER OF ANY DISCREPANCIES PRIOR TO COMMENCING WORK.

APPROVED BY	DATE

BIG PINK BUILDING

157 COLLINS AVE
 MIAMI BEACH, FLORIDA 33139

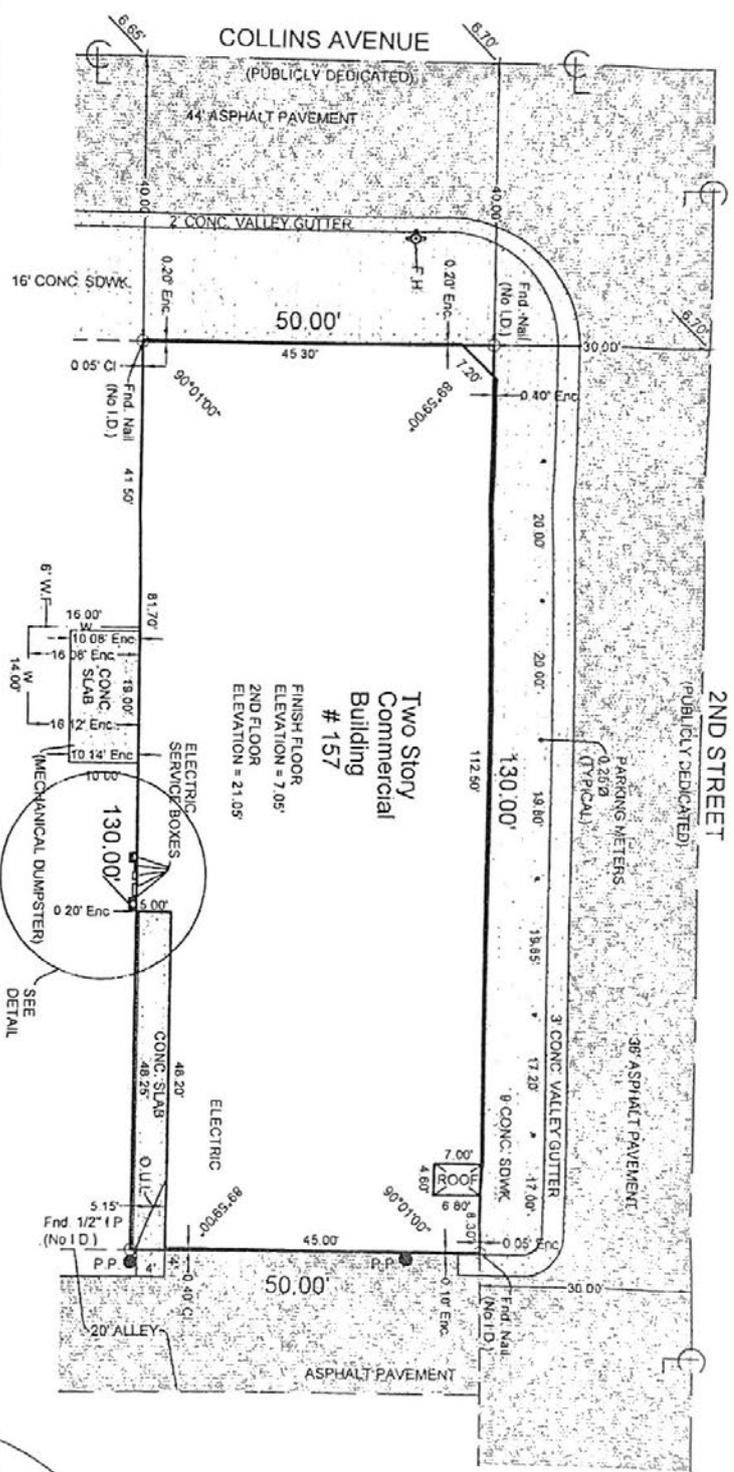
3-3
 SHEET NUMBER

B1405045

157 Collins

ALL

Exhibit G



LEGAL DESCRIPTION:
 Lot 16, Block 2, OCEAN BEACH FLORIDA, according to the Plat thereof, as recorded in Plat Book 2, Page 38, of the Public Records of MIAMI-DADE COUNTY, Florida.

CERTIFIED TO: 157 Collins Avenue, LLC; Beloff & Schwartz; Chicago Title Insurance Company; Wachovia Bank, N.A., its successors and/or assigns.

PREPARED FOR: 157 Collins Avenue, LLC, 157 Collins Avenue, Miami Beach, FL 33139

LEGAL DESCRIPTION:
 Lot 16, Block 2, OCEAN BEACH FLORIDA, according to the Plat thereof, as recorded in Plat Book 2, Page 38, of the Public Records of MIAMI-DADE COUNTY, Florida.

CERTIFIED TO: 157 Collins Avenue, LLC; Beloff & Schwartz; Chicago Title Insurance Company; Wachovia Bank, N.A., its successors and/or assigns.

PREPARED FOR: 157 Collins Avenue, LLC, 157 Collins Avenue, Miami Beach, FL 33139

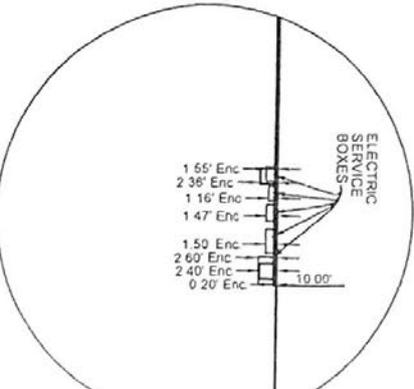
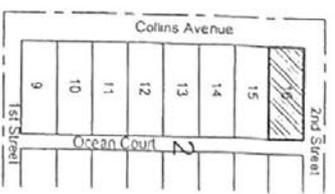
ENCROACHMENTS:
 1. Overhead utility lines.
 2. Portion of the building is encroaching over the North boundary line.
 3. Portion of the building is encroaching over the West boundary line.
 4. Portion of the building is encroaching over the East boundary line.
 5. Portion of the building, a 6 foot high wood fence, the concrete slab for a compactor / dumpster, and the electric service boxes are encroaching over the South boundary line.

All clearances and/or encroachments shown hereon are of apparent nature. Fence ownership by visual means. Legal ownership of fences not determined.

ENCROACHMENTS NOTED: 5

Underground structures, if any, not located.
 Bearings, if shown, are based on assumed meridian or Plat of Record.
 Lands shown hereon were not abstracted for easements and/or rights-of-ways of record.
 Legal description provided by client.

This certification is only for land as described. It is not a certification of title, zoning, easements, or freedom from encumbrances. **ABSTRACT NOT REVIEWED.**
 There may be additional restrictions not shown on this survey that may be found in the public records of this county. **ABSTRACT NOT REVIEWED.**
 This BOUNDARY SURVEY has been prepared for the exclusive use of the parties named hereon. The Certificate does not extend to any unnamed party.
 This survey was based on the monuments found on the field. No construction in any manner should be made without the prior written consent of the Surveyor.



DETAIL
 NTS

SURVEYOR'S SEAL

Unless it bears the signature and the original raised seal of a Florida licensed surveyor and mapper, this map/report is for informational purposes only and is not valid.

REVISED.

BOUNDARY SURVEY

I HEREBY CERTIFY that the attached survey was made under my responsible charge and accordingly meet the minimum technical standards as set forth by the FLORIDA BOARD OF LAND SURVEYORS in Chapter 61G17-6, Florida Statutes and the Code of Regulations in Section 61G17-6.01, Florida Statutes appearing on the plat or website referenced herein. Other than as shown hereon.



Nelson M. Jarema
NELSON M. JAREMA
 Registered Surveyor & Mapper No. 5504
 State of Florida

FLOOD ZON
DATE
 05-05-08

(A)

E.) Seller agrees to waive and not accept rent for the months of May and June, 2008, if Buyer will replace the roof and pay for said repairs.

F.) The parties acknowledge and agree that the seller may effectuate a 1031 like kind exchange with respect to this transaction. The parties agree to cooperate with each other in effectuating any such exchange.

Louise & Kevin
Lenny
by: [Signature]
157 Collins Ave, LLC
515 [Signature]

This sale does not include the N 1/2 of Lot 15 nor does it include a right, easement, or license to use the N 1/2 of Lot 15 for any purpose without the seller's written permission.

[Signature]
Cheryl Barr WITNESS
Elisa Gibbs WITNESS

STATE OF FLORIDA
COUNTY OF MIAMI DADE
SUBSCRIBED AND SWORN TO BEFORE ME THIS 21ST DAY
OF APRIL, 2008

[Signature]
DHAUVNIA EUSTIAQUINO
NOTARY PUBLIC - STATE OF FLORIDA
COMMISSION # DD369350
NOTARIAL EXPIRES 11/4/2008
BONDED THRU 1-888-NOTARY1

13



CFN 20080544293
OR Bk 26460 Pgs 1553 - 1554 (2pgs)
RECORDED 07/02/2008 09:40:07
DEED DDC TAX 42,000.00
SURTAX 31,500.00
HARVEY RUVIN, CLERK OF COURT
MIAMI-DADE COUNTY, FLORIDA

Prepared by and return to:
Carla C. Jackson
Legal Assistant
Blass & Frankel, P.A.
One S.E. Third Avenue Suite 2130
Miami, FL 33131

File Number: KAINE-PINK
Will Call No.:

Parcel Identification No. 02-4203-003-0300

[Space Above This Line For Recording Data]

Warranty Deed

(STATUTORY FORM - SECTION 689.02, F.S.)

This Indenture made this 30th day of June, 2008 between LAWRENCE F. KAINE, a married man whose post office address is 170 N.E. 29th Street, Miami, FL 33137 of the County of Miami-Dade, State of Florida, grantor*, and 157 COLLINS AVE., LLC, a Florida limited liability company whose post office address is 157 Collins Avenue, 2nd Floor, Miami, FL 33139 of the County of Miami-Dade, State of Florida, grantee*,

Witnesseth that said grantor, for and in consideration of the sum of TEN AND NO/100 DOLLARS (\$10.00) and other good and valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, has granted, bargained, and sold to the said grantee, and grantee's heirs and assigns forever, the following described land, situate, lying and being in Miami-Dade County, Florida, to-wit:

Lot 16, Block 2, OCEAN BEACH, according to the Plat thereof, as recorded in Plat Book 2 at Page 38, of the Public Records of Miami-Dade County, Florida.

Subject to real estate taxes and all assessments for the year 2008 and subsequent years, which are not yet due and payable.

Subject to zoning ordinances and other municipal, state or Federal laws as may be applicable, covenants, conditions, restrictions, limitations, reservations and easements of record, if any, none of which shall be deemed reimposed hereby.

Grantor warrants that at the time of this conveyance, the subject property is not the Grantor's homestead within the meaning set forth in the constitution of the state of Florida, nor is it contiguous to or a part of homestead property.

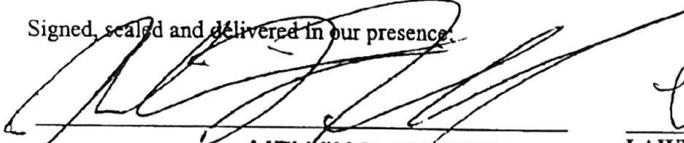
and said grantor does hereby fully warrant the title to said land, and will defend the same against lawful claims of all persons whomsoever.

* "Grantor" and "Grantee" are used for singular or plural, as context requires.

DoubleTimes

In Witness Whereof, grantor has hereunto set grantor's hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:



Witness Name: MELVIN F. FRANKEL

 (Seal)

LAWRENCE F. KAINE, a married man



Witness Name: CARLA C. JACKSON

State of Florida

County of Miami-Dade

The foregoing instrument was acknowledged before me this 22nd day of May, 2008 by LAWRENCE F. KAINE, a married man, who is personally known or has produced a driver's license as identification.

[Notary Seal]





Notary Public

Printed Name: CARLA C. JACKSON

My Commission Expires: 9/27/2009
DD-470808

Exhibit H

From: Myles Chefetz <myles@mylesrestaurantgroup.com>
Sent: Wednesday, August 17, 2022 3:15 PM
To: Brenden D. Soucy
Cc: mylesalan@aol.com; Stuart Grossman
Subject: Re: Assignment of 153 Collins Ave Lease
Attachments: image001.gif; image001.gif; Notice of Lease Assignment - 157 Collins Ave LLC.pdf

Brenden

Thanks for your email. I should have the new certificate naming 125 Collins, llc as additional insured by tomorrow. Stuart thank you for your August 12, 2022 letter.

The recent property acquisition by your client 125 Collins, LLC brought the 2016 lease with Larry Kaine to my attention. The lease enabled my restaurant Big Pink to keep a large trash compactor/dumpster and storage facility on Larry's property. Several years ago, I relocated the dumpsters and storage facility onto Big Pinks property. However, the lease was effectively on "auto-pay" and dozens of monthly payments continued to be paid nonetheless.

For these reasons, I wish to terminate the lease. I understand there's a 60 day notice period so of course I will continue to make payments per your letter for September 2022 and October 2022. Additionally, there is a security deposit in the sum of \$5250 paid in connection with the lease. I will just set that off against October rent to keep things simple.

As an aside, I am very excited to hear of your client's development plans. Perhaps you could put me in contact with the principals of the company. I am not only a neighboring property owner, but also am a significant stakeholder in the south of fifth neighborhood. I believe that with my contacts at the City of Miami Beach and beyond, I can help them very much by advocating support for their plans.

I can be reached at 3052192909. I look forward to hearing from them.

Sincerely
Myles Chefetz
157 Collins Ave, LLC

Sent from my iPhone

On Aug 17, 2022, at 2:38 PM, Brenden D. Soucy <bds@lklsg.com> wrote:

Myles,
Please confirm receipt of the attached, and provide the updated Certificate of Insurance by Friday so that 125 Collins, LLC may update its policies accordingly.

Thanks,
Brenden

Brenden D. Soucy
Partner

LEVINE KELLOGG LEHMAN SCHNEIDER + GROSSMAN LLP
Miami Tower
100 SE 2nd Street, 36th Floor
Miami, FL 33131
305.722.8903 (direct)

305.403.8788 (main)

305.403.8789 (fax)

[vCard](#) | [Bio](#) | [Website](#)

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From: Stuart Grossman <sig@lklsg.com>

Sent: Friday, August 12, 2022 4:44 PM

To: mylesalan@aol.com

Cc: Brenden D. Soucy <bds@lklsg.com>

Subject: Please see the attached correspondence.

Stuart I Grossman

Sent from my iPhone

Exhibit I

From: Brenden D. Soucy <bds@lklsq.com>
Sent: Thursday, August 18, 2022 3:50 PM
To: Myles Chefetz
Cc: mylesalan@aol.com; Stuart Grossman
Subject: RE: Assignment of 153 Collins Ave Lease

Myles,

Thanks for your response. No issues on our end in terms of termination in October. Did you want to set the termination date as 10-31-22 to keep it simple?

Please note that rent will need to be paid through the date of termination, and the security deposit will be addressed after the termination and possession of the site being turned over (with picnic table and other personal property removed).

We'll be putting up a fence along the property line upon termination; to the extent access is needed related to same in advance of termination we'll give you a heads up on that.

Thanks,

Brenden

Brenden D. Soucy
Partner



LEVINE KELLOGG LEHMAN SCHNEIDER + GROSSMAN LLP
Miami Tower
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Myles Chefetz
157 Collins Ave, LLC

Sent from my iPhone

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Brenden

Brenden D. Soucy
Partner

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Subject: Please see the attached correspondence.

Stuart I Grossman

Sent from my iPhone

Exhibit J

VIA EMAIL

September 8, 2022

Paul A. Shelowitz
Direct: 305-789-9394
Email: pshelowitz@stroock.com

Mr. Thomas Mooney
City of Miami Beach
Planning Department
1700 Convention Center Drive
2nd Floor
Miami Beach, FL 33139

Dear Mr. Mooney:

We represent 157 Collins Avenue, LLC, owner of the real property on which Big Pink Restaurant and Ted's Hideaway (Collins Avenue and 2nd Street, Miami Beach) are located.

As you will recall, a "one building site" issue came up with respect to our client's property in early 2016. The then-owner of the adjacent property, Lawrence Kaine, attempted to erect a fence along the driveway next to Big Pink Restaurant. Our client's counsel, Graham Penn, Esq., sent you a letter supporting a determination of a "one building site" (see attached). Based on the facts and circumstances set forth therein (partially restated herein), the City of Miami Beach issued a stop work order. When Mr. Kaine obeyed that order, the issue, at least at that time, appeared to be resolved.

Recently, 125 Collins LLC acquired Mr. Kaine's property. Its north property line is immediately adjacent to our client's property—where Big Pink Restaurant and Ted's Hideaway have operated for more than 25 years. While 125 Collins LLC's precise development plans are unclear, 125 Collins LLC has told our client that it believes it has the right to erect a fence on its property immediately adjacent to our client's property. As you will recall, the close proximity of the two properties is such that: (1) the fire exit emergency doors for both Big Pink Restaurant and Ted's Hideaway exit immediately onto 125 Collins LLC's property; (2) access to 125 Collins LLC's property is necessary for life safety/fire egress from both Big Pink Restaurant and Ted's Hideaway; and (3) access to 125 Collins LLC's property is necessary for Big Pink Restaurant and Ted's Hideaway deliveries and garbage removal. In addition, the grease trap which serves Ted's Hideaway is located on (and under) 125 Collins LLC's property.

DETAILED FACTS: Our client's property is identified by Miami-Dade County Tax Folio No. 02-4203-003-0300 and is legally described as Lot 16 of Block 2 in Ocean Beach Subdivision. It is improved with a 2-story building that was constructed in 1925 and fronts on Collins Avenue. Built by J.G. Leinecker, the Commercial Property is individually listed in the City of Miami Beach ("City") Historic Properties Database as a

contributing building in the Ocean Beach Local Historic District. The site has been in continuous use for commercial purposes since the time of the building's construction and now serves as the home of the "Big Pink" restaurant and "Ted's Hideaway" lounge.

The uses on the site have long been served by a 25' wide strip of land which abuts our client's property and serves as an accessory alleyway behind the restaurant (hereinafter referred to as the "Strip"). Identified by Miami-Dade County Tax Folio No. 02-4203-003-0290 and legally described as the North 1/2 of Lot 15 of Block 2 in Ocean Beach Subdivision, the Strip has been used for literally decades to service "back of house" facilities for Big Pink Restaurant and Ted's Hideaway. Previously, the Strip, along with the south half of Lot 15, had been developed with a 2,500 square foot building that was demolished and replaced with a paved lot in 1971.

The ownership of both sites over the last several decades reflects their joint use. The previous owner of the Strip, Mr. Kaine, purchased what is now our client's property in 1983. He purchased the Strip in 1986. During Mr. Kaine's ownership of the combined parcels, significant utilities and services for what is now our client's property were installed and maintained on the Strip. For example, electrical utilities were allowed to encroach into the Strip and grease traps were installed.

Since 1996, our client has operated Big Pink Restaurant. Initially, our client leased the Big Pink Restaurant property from Mr. Kaine. Our client acquired fee title to the Big Pink Restaurant property in 2008.

Mr. Kaine never assembled the Strip with any other land i.e., Mr. Kaine owned the adjacent properties, Lots 12, 13, 14, and the south 1/2 of Lot 15, since 1986 and never sought to join them with the Strip. To the contrary, Mr. Kaine sought and obtained Conditional Use Approval to allow the operation of a parking lot on those neighboring lots and that site is currently an approved lot (the "Parking Lot"). Pursuant to the conditions of the recorded order for Planning Board File No. 1495, dense landscape screening and a fence has been installed along the perimeter boundary of the Parking Lot, including the property line between the Strip and the Parking Lot.

The Strip serves as a means of ingress and egress, and contains several encroaching utility, mechanical, and electrical improvements that serve and support Big Pink Restaurant and Ted's Hideaway's operations. Accordingly, when viewed together, our client's property and the Strip satisfy the Code's definition for "one building site," which is defined in Section 114-1 as:

"any improved lot, plot, or parcel of land where there may exist a main permitted structure and any accessory/auxiliary building or structure including, but not limited to, swimming pools, tennis courts, walls, fences,

Mr. Thomas Mooney
City of Miami Beach
Planning Department
September 8, 2022
Page 3

or any other improvement which was heretofore constructed on property containing one or more platted lots or portions thereof shall constitute one building site.”

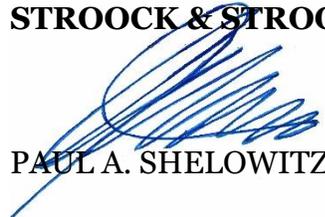
REQUEST FOR FORMAL INTERPRETATION: Based on the above, our client seeks a formal interpretation by the City of Miami Beach that our client’s property and the Strip constitute “one building site” pursuant to Section 118-564 of the Miami Beach Code of Ordinances. We further seek a formal interpretation that, as “one building site,” in order to develop the Strip (including erecting a fence), 125 Collins LLC would be required to process a “lot split” with the City of Miami Beach which would require our client’s written consent.

Should you require any further information, please let us know.

Thank you for your attention to this matter.

Sincerely,

STROOCK & STROOCK & LAVAN LLP



PAUL A. SHELOWITZ

Encl.



DIRECT LINE: (305) 377-6229
E-Mail: GPenn@BRZoningLaw.com

VIA HAND DELIVERY

April 22, 2016

Thomas Mooney, Planning Director
Planning Department
City of Miami Beach
1700 Convention Center Drive, 2nd Floor
Miami Beach, Florida 33139

Re: Letter in Support of an Appeal of an Administrative Decision on behalf of
157 Collins Avenue, LLC (Building Permit 1602250)

Dear Tom:

As you are aware, this firm represents 157 Collins Avenue (the "Appellant"), the owner of the property approximately located at 157 Collins Avenue (the "Commercial Property"). This correspondence shall serve as the Appellant's letter requesting appeal to the Historic Preservation Board (HPB) of an administrative decision regarding property subject to the Certificate of Appropriateness procedure.

Commercial Property. The Commercial Property is identified by Miami-Dade County Tax Folio No. 02-4203-003-0300 and is legally described as Lot 16 of Block 2 in Ocean Beach Subdivision. The Commercial Property is improved with a 2-story building that was constructed in 1925 and fronts on Collins Avenue. Built by J.G. Leinecker, the Commercial Property is individually listed in the City of Miami Beach ("City") Historic Properties Database as a contributing building in the Ocean Beach Local Historic District. The site has been in continuous use for commercial purposes since the time of the building's construction and now serves as the home of the "Big Pink" restaurant and "Ted's Hideaway" lounge.

The uses on the site have long been served by a '25' wide strip of land which abuts the Commercial Property and serves as an accessory alleyway behind the

Thomas Mooney, Planning Director
April 22, 2016

restaurant (hereinafter referred to as the "Strip"). Identified by Miami-Dade County Tax Folio No. 02-4203-003-0290 and legally described as the North ½ of Lot 15 of Block 2 in Ocean Beach Subdivision, the Strip has been developed for decades with "back of house" facilities for the Commercial Property. Prior to that point, the Strip, along with the south half of Lot 15, had been developed with a 2,500 square foot building that was demolished and replaced with a paved lot in 1971.

Ownership of Sites. The ownership of both sites over the last several decades reflects their joint use. The current owner of the Strip, Lawrence Kaine, purchased the Commercial Property in 1983. He then purchased the Strip in 1986. During Mr. Kaine's ownership of the combined parcels, significant utilities and services for the Commercial Property were installed and maintained on the Strip. For example, electrical utilities on the Commercial Property were allowed to encroach into the Strip and grease traps were installed.

Since 1996, the Applicant has operated a restaurant on the Commercial Property. Initially, the Appellant leased the Commercial Property from Mr. Kaine. The Appellant purchased title to the Commercial Property in 2008 and had a lease with Mr. Kaine for the Strip since that point.

Exclusion of Strip from Other Development. It has been clear for quite some time that Mr. Kaine has had no intention to assemble the Strip with any other land. Mr. Kaine has owned the adjacent properties, Lots 12, 13, 14, and the south ½ of Lot 15, since 1986 and never sought to join them with the Strip. To the contrary, Mr. Kaine sought and obtained Conditional Use Approval to allow the operation of a parking lot on those neighboring lots and that site is now developed with the approved lot (the "Parking Lot"). Pursuant to the conditions of the recorded order for Planning Board File No. 1495, dense landscape screening and a fence has been installed along the perimeter boundary of the Parking Lot, including the property line between the Strip and the Parking Lot.

Unified Building Site. The Strip serves as a means of ingress and egress, and contains several encroaching utility, mechanical, and electrical improvements that serve and support the restaurant and lounge operations. Accordingly, when viewed together, the Commercial Property and the Strip satisfy the Code's definition for a "building site," which is defined in Section 114-1 as:

"any improved lot, plot, or parcel of land where there may exist a main permitted structure and any accessory/auxiliary building or structure including, but not limited to, swimming pools, tennis courts, walls, fences, or any other improvement which was heretofore constructed on

Thomas Mooney, Planning Director
April 22, 2016

property containing one or more platted lots or portions thereof shall constitute one building site.”

In March 2016, the City administratively approved Building Permit No. B1602250, thereby permitting the Mr. Kaine to enclose the Collins Avenue and Ocean Court frontages of the Strip with an aluminum fence measuring 5’ high and 50’ long. Mr. Kaine’s enclosure of the Strip with a fence will have the resulting effect of eliminating the Appellant’s access from the street to the accessory utility improvements and rear building entrances which have served the restaurant and lounge for decades. Of course, removing this access has several significant implications, including removing a fire accessway.

Certificate of Appropriateness Procedure. Pursuant to Sections 118-102 and 118-103 of the Code, as a contributing site within a local historic district, any development or alteration on the Commercial Property falls within the purview of the HPB. Thus, the Certificate of Appropriateness review process applies to any alteration or modification of the Commercial Property. These two terms are explicitly defined in Section 118-503(a) as “any change affecting the external appearance of...a structure or other features of the site including but not limited to landscaping and relationship to other structures...” It is necessary to evaluate the proposed fence under the criteria because it is an architectural element on the exterior of the historic building that will serve as both a screening device and physical barrier limiting access to an integral portion of the building site. This important area provides open space, serves as a walkway and means of ingress and egress into the restaurant, and contains essential drainage facilities, utility services, and mechanical devices that are indispensable to the operation of the business.

As such, the proposed fence’s enclosure of an important service area on the Commercial Property is not consistent with several of the Certificate of Appropriateness criteria as listed in Section 118-564(3). These include: designing access on the site with little interference to pedestrian movement and permitting pedestrians a safe ingress and egress to the site; designing and locating additions to the site in a manner which is sensitive to and compatible with the existing improvements; ensuring landscape and paving materials maintain an adequate relation with and enhancement of the overall site plan design; and incorporating sufficient transparency at the ground level portions of the site that front a street or sidewalk in order to achieve pedestrian compatibility.

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Illegal Division of Land. Not only does the proposed fence's visibility from the public right-of-way adversely affect historic preservation standards, but its erection along the property line appears to sever the Strip from the Commercial Property and creates an entirely separate building site.

Standing alone, the Strip has a lot width of only 25'-0" and a length of 130'-0". Within the R-PS3 Zoning District, the minimum lot width permitted is 50 feet and the minimum lot size is 5,750 square feet. By creating a standalone lot that serves neither the Commercial Property nor the Parking Lot, Mr. Kaine has developed a site that fails to conform to Code requirements. Thus, the fence enclosure around the Strip amounts to a division of land in contravention of Section 118-321 of the Code.¹

The Code's lot split regulations, Chapter 118, Article VII, have the specific purpose of maintaining open space and neighborhood character. Mr. Kaine's fence project fails a majority of the regulations' criteria that are used to evaluate the appropriateness of a proposed division of land. These standards include: whether the lot created would be divided in such a manner that it complies with the LDR regulations; whether the building site created would be equal to or larger than the majority of the existing building sites, or the most common existing lot size, and of the same character as the surrounding area; whether the scale of any proposed new construction is compatible with the as-built character of the surrounding area, or creates adverse impacts on the surrounding area; whether the building site created would be free of encroachments from abutting buildable sites; and whether the proposed lot split adversely affects architecturally significant or historic properties.

The erection of a fence around the Strip effectively creates a small island inconsistent with the size of all other lots on the same block. It will also, for the first time ever, entirely prevent the Appellant from accessing the rear elevation of the

¹ Sec. 118-321. - Purpose, standards and procedure.

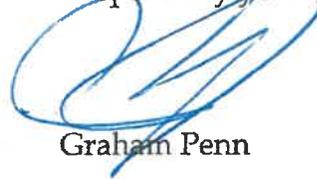
In order to maintain open space and neighborhood character, wherever there may exist a main permitted structure and any accessory/auxiliary building or structure including, but not limited to, swimming pools, tennis courts, walls, fences, or any other improvement that was heretofore constructed on property containing one or more platted lots or portions thereof, such lots shall thereafter constitute only one building site and no permit shall be issued for the construction of more than one main permitted structure on the site unless the site is approved for the division or lot split by the planning board.

Thomas Mooney, Planning Director
April 22, 2016

Commercial Property, including buildings, doorways and the physical improvements that service the historic building. Irrespective of the infringement upon the Appellant's property rights, erection of a fence is not compatible with the prevailing character of the block and adds visual clutter to the Collins Avenue frontage.

The Code holds that no building permit shall be issued for any construction, alteration, or use that is not in conformity with the provisions of the LDRs. In light of the foregoing, the Appellant respectfully requests that the HPB reverse the administrative decision to grant approval of Building Permit No. B1602250. Mr. Kaine will need to legally subdivide the Commercial Property and the Strip before commencing to perform any development that is inconsistent with the use of the unified development site.

Respectfully yours,



Graham Penn

cc: Debbie Tackett
Myles Chefetz
Michael Larkin, Esq.

Exhibit K



Tracy Slavens <tslavens@lsnlaw.com>

FW: Request for Planning Determination - [REDACTED] Holdings LLC

Mooney, Thomas <ThomasMooney@miamibeachfl.gov>
To: "Tracy R. Slavens Esq. (tslavens@lsnlaw.com)" <tslavens@lsnlaw.com>
Cc: "Kallergis, Nick" <NickKallergis@miamibeachfl.gov>

Wed, Aug 16, 2023 at 4:22 PM

Hi Tracy

See below / attached.

Tom

From: Mooney, Thomas
Sent: Wednesday, May 3, 2023 18:08
To: acimo@smgqlaw.com
Cc: jfernandez@mgqlaw.com; Belu h, Michael MichaelBelu_h@miamibeachfl.gov; Madan, Rogelio <RogelioMadan@miamibeachfl.gov>; Kallergis, Nick <NickKallergis@miamibeachfl.gov>
Subject: RE: Request for Planning Determination - [REDACTED] Holdings LLC
Importance: High

Good Afternoon Alexandra

I have discussed your request (attached) for an administrative determination regarding the property at [REDACTED] [REDACTED] with the City Attorney's office; Nick Kallergis, Deputy City Attorney, is copied. Since your client does not own the parcel at [REDACTED] I cannot provide an administrative determination for this property.

Notwithstanding, as noted in the attached May 3, 2023 correspondence, we have advised the property owner at [REDACTED] [REDACTED] that the existing tennis court is non-conforming and cannot, under the current regulations of the City Code, be used. We have also advised Code Compliance.

Please let me know if you have any additional questions.

Thank you, Tom

Thomas R Mooney AICP
Planning Director
Planning Department
1700 Convention Center Drive – 2nd Floor, Miami Beach, FL 33139
Tel: 305-673-7000 x6191 / tmoooney@miamibeachfl.gov
www.miamibeachfl.gov

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