

DENBORA BAY III

2125 Bay Dr.  
MIAMI BEACH | FL | 33141



DRB FINE NUMBER: DRB23 -0961

SCOPE OF WORK:  
MULTI - FAMILY

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PROJECT AND OWNER:  
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MIAMI BEACH | FL | 33141  
2125 BAY DR LLC  
3179 HOLYLAKE RD.  
LAKE WORTH | FL | 33467

ARCHITECT:

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DESIGNER:



1535 NORTH PARK DRIVE #102 WESTON  
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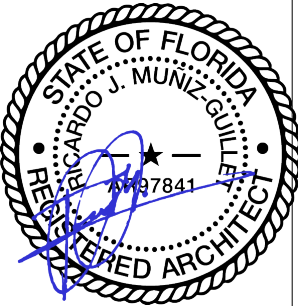
FINAL SUBMITAL

PERMIT APPLICATION DATE: 05-05-2024  
SHEET ISSUE DATE: 03-31-2023  
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DRAWN BY: BK APPROVED BY: YM


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MAY ONLY BE DUPLICATED WITH THEIR WRITTEN  
CONSENT

SEAL:

Ricardo J  
Muniz-Guillet  
2024.05.04  
19:03:14-04'00'



SIGNATURE:

RICARDO J. MUNIZ-GUILLET  
LIC# AR97841

SHEET TITLE:

COVER SHEET

SCALE:

N.T.S.

SHEET NO:

G-0

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ABBREVIATIONS									
& AND	FA FIRE ALARM	M MIRROR	SHO SHOWER						
@ AT	FAB FABRICATED	MACH MACHINE	SHT SHEET						
ANCH ANCHOR BOLT	FBO FURNISHED BY OTHERS	MB MACHINE BOLT	SIM SIMILAR						
ABV ABOVE	FC FLOOR COVERING	HAT MATERIALS	SLV SLEEVE						
A/C AIR CONDITIONING	FD FLOOR DRAIN	MAX MAXIMUM	S.M.S STRUCTURAL METAL STUD						
ACC ACCESS	FE FIRE EXTINGUISHER	M.B.H. MOP AND BROOM HOLDER	S.H. SPRINKLER HEAD						
AD AREA DRAIN	FEC FIRE EXTINGUISHER CABINET	SYM SYMMETRICAL	SPEAKER						
ADD ADDENDUM	F.E.L. FIRE EXTINGUISHER LOCKER	MECH MECHANICAL	SPR. SPRINKLER						
ACH ACCESS FLOOR	F.F. FEMALE	FEM FEMALE	STD STANDARD						
ACT ACCTUAL TILE	FFL FINISH FLOOR LINE	MFR MANUFACTURER(S)	SPE SPACE						
ADH ADHESIVE	FH FIRE HYDRANT	MFD METAL FLOOR DECKING	SND SANITARY NAPKIN DISPENSER						
ADI ADJACENT	FHC FIRE HOSE CABINET	MIN MINIMUM	SEALANT						
ADJT ADJUSTABLE	FHS FIRE HYDRANT	MISC MISCELLANEOUS	SPE SPECIFICATIONS						
AF ABOVE FINISH FLOOR	FJT FLUSH JOINT	MNB MEMBRANE	SQ SQUARE						
AGG AGGREGATE	FLAM FLAMMABLE	MO MASONRY OPENING	SSK SERVICE SINK						
ALT ALTERNATE	FLASH FLASHING	MH MANHOLE	SSK SERVICE SINK						
ALUM ALUMINUM	FLOOR FLOORING	MOD MODULAR MODULE	SSK SERVICE SINK						
ANC ANCHOR ANCHORAGE	FLX FLEXIBLE	MOV MOVABLE	STA STATION						
ANOD ANODIZED	FLCO FLOOR CLEANOUT	MRB MARBLE	STD STANDARD						
AP ACCESS PANEL	FLUR FLUORESCENT	MRO METAL ROOF DECKING	STG STORAGE, SEATING						
APPROX APPROXIMATELY	FMR FRAMED MIRROR	MTD MOUNTED	STR STRUCTURAL						
ARCH ARCHITECTURAL	FND FOUNDATION	MTHR METAL THRESHOLD	SUR SURFACE						
ASC ABOVE SUSPENDED CEILING	FOC FACE OF CONC.	MTFR METAL THRESHOLD	SUR SURFACE						
ASPH ASPHALTIC	F.O.M. FACE OF MASONRY	MTL METAL	SUSP SUSPENDED						
AUTO AUTOMATIC	F.O.S. FACE OF STUDS	MULL MULLION	SWH SWITCH ROOM						
AVG AVERAGE	FR FRAME (ING)	MW MILLWORK	SVS SYSTEM						
< ANGLE	FRA FRESH AIR	MAS MASONARY	SW SWITCH						
ACOUS. ACOUSTICAL	FRG FORGED	MIR MIRROR	S.F. SQUARE FOOT (FEET)						
B BASE	FS FULL SIZE	S.Y. SQUARE YARD							
BRG BEARING	FT FOOT, FEET								
BPL BEARING PLATE	FTG FOOTING	N NORTH	T TREAD						
BJT BED JOINT	FUR FURRED(ING)	N.A.V.D. NORTH AMERICAN VERTICAL DATUM	T.B. TOWEL BAR						
BEL BELOW	FUT FUTURE	N.G.V.D. NATIONAL GEODETIC VERTICAL DATUM	TEL TELEPHONE						
BET BETWEEN		NIC NOT IN CONTRACT	TEMP TEMPERED						
BVL BEVELED		NR NO LONGER REQUIRED	THR THRESHOLD						
BIT BITUMINOUS	GA GAGE, GAUGE	NQ# NUMBER	T.O.B. TOP OF BEAM						
BD BOARD	GALV GALVANIZED	NOM NOMINAL	T.O.F. TOP OF FOOTING						
BS BOTH SIDES	GB GYPSUM BOARD, GRAB BAR	NONETALC NONMETALLIC	T.O.P. TOP OF PARAPET						
BW BOTH WAYS	GC GENERAL CONTRACTOR	NR NOISE REDUCTION	T.O.R. TOP OF ROOF						
BLCK BLOCK	GD GRADE, GRADING	NRC NOISE REDUCTION COEFFICIENT	T.O.S. TOP OF SLAB						
BLKG BLOCKING	GEM GLAZED CONC. MASONRY UNIT	N.T.S. NOT TO SCALE	T.O.W. TOP OF WALL						
BM BEAM	GF GROUND FACE		T.O.D. T.O.P. OF DRAIN						
B.M. BENCH MARK	GI GALVANIZED IRON		T.P.D. T.O.P. OF PARTITION						
B.O.F. BOTTOM OF FOOTING	GL GLASS, GLAZING		T.T.F. T.O.P. OF TRANSFORMER VAULT, TELEVISION						
BOT BOTTOM	GLT GALVANIZED PIPE		TYP TYPICAL						
BRK BRICK	GLB GLASS BLOCK		T.O.C. TOP OF CONCRETE						
BRZ BRONZE	GLF GLASS FIBER		T.O.D. TOP OF DECK						
BLDG BUILDING	GN GENERAL NOTES		T.O.P. TOP OF PARAPET						
BUR BUILT UP ROOFING	GPL GYPSUM PLASTER		TERR TERRAZZO						
BUD BULLETIN BOARD	GRN GRANITE								
B.O. BY OTHER	GSS GALVANIZED STEEL SHEET								
BRKT BRACKET	GST GLAZED STRUCTURAL TILE								
	GTP GROUT								
CL CENTER LINE	G.W.B. GYPSUM WALL BOARD								
CAB CABINET	GP.L GALVANIZED								
CB CATCH BASIN	GRV GROUT								
CEM CEMENT	GSS GALVANIZED STEEL SHEET								
CR CERAMIC	GST GLAZED STRUCTURAL TILE								
C.F. COUNTER FLASHING	GTP GROUT								
CG CORNER GUARD	GVL GRAVEL								
CHAM CHAMFER									
CHT CEILING HEIGHT									
C.I. CAST IRON									
C.I.P. CAST-IN-PLACE CIRCUMFERENCE	HB HOSE BIBB								
CR CIRCLE	HBD HARDBOARD								
CJT CONTROL JOINT	HC HOLLOW CORE								
CK CALK OR CAULK (ING)	HCPD HARDWATERHEAD								
CLG CEILING	HDB HEADBOARD								
CLG CLOSET	HDW HARDWARE								
CLG CLEAR JANCE	HES HIGH EARLY-STRENGTH								
CLS CLOSURE	HI HANDLE								
CLS CONCRETE MASONRY UNIT	HJ HEAD JOINT								
COL COLUMN	HS HOOK (S)								
COMP COMPONENT	HM HOLLOW METAL								
CONC CONCRETE	HORIZ HORIZONTAL								
CONF CONFERENCE	H.P. HIGH POINT								
CONST CONSTRUCTION	HPS HIGH PRESSURE SODIUM								
CONT CONTINUOUS CONTINUE	HT HEIGHT								
CONTR CONTRACTOR	HTE HEATING								
CPT CARPET	HVAC HEATING/VENTILATING/								
CPT CHROMIUM (PLATED)	IC INSULATING CONC.								
CR CURTAIN ROD	INT INTERIOR								
CSMT CASEMENT	INSF INSULATING FILL								
CSMT CERAMIC TILE	INTM INTERMEDIATE								
CU.FT. CUBIC FEET (FOOT)	INV INVERT								
CU.IN. CUBIC INCH	INFO INFORMATION								
CU.YD. CUBIC YARD									
CBRD CHALKBOARD									
CONN CONNECTION									
CORR CORROSION									
CEN CENTER									
CTSK COUNTER SUNK									
D DRAIN									
DA DOUBLE ACTING									
DBL DOUBLE									
DEM DEMOLISH, DEMOLITION									
DEPT DEPARTMENT									
DTL DETAIL									
DIAG DIAGONAL									
DIA DIAMETER									
DIM DIMENSION									
DIV DIVISION									
DMT DEMOUNTABLE									
DN DOWN									
D.O. DOOR OPENING									
DRP DAMPER									
DR DOOR									
DRF DRINKING FOUNTAIN									
DIA DIAMETER DOWNSPOUT									
DWG DRAWING									
DWR DRAWER									
DISP DISPENSER									
D.S. DOWNSPOUT									
E EAST									
EA EACH									
E/A EXHAUST AIR									
E.H.D. ELECTRIC HAND DRYER									
EXP B EXPANSION BOLT									
EL ELEV									
ELEV ELEVATOR									
ELEC ELECTRICAL									
EMERG EMERGENCY									
ENCL ENCLOSURE									
EQ ELECTRICAL PANELBOARD									
EQ EQUAL									
EQUIP EQUIPMENT									
E/W EACH WAY									
EXH EXHAUST									
EXST EXISTING									
EXPD EXPOSED									
EXP JT EXPANSION JOINT									
EXT EXTERIOR									
EXTW ELECTRIC WATER COOLER									

# DOOR CRITERIA AND GENERAL NOTES

1. ALL DOORS ARE LISTED IN THE DOOR SCHEDULE

## DIMENSIONING CRITERIA

DIMENSIONS FOR LOCATING PARTITIONS AND OPENINGS ARE GENERALLY ESTABLISHED BY CRITERIA. ONLY EXCEPTIONS TO THESE CRITERIA WILL BE DIMENSIONED. TYPICAL DIMENSIONING CRITERIA ARE OUTLINED BELOW.

1. COLUMN IDENTIFICATION: DETAILS WILL GOVERN ALL DIMENSIONS AND FEW DIMENSIONS WILL BE SHOWN ON THE SMALL SCALE PLANS. COLUMN GRIDS ARE REPRESENTED THIS:

2. PARTITIONS CENTERED ON COLUMN OR GRID LINES WILL NOT BE DIMENSIONED ON THE SMALL SCALE PLANS BUT WILL BE DRAWN ACCORDINGLY:

3. PARTITIONS WITH THE FINISH FACE FLUSH WITH THE FINISH FACE OF THE COLUMN WILL NOT BE DIMENSIONED ON THE SMALL SCALE PLANS BUT WILL BE DRAWN ACCORDINGLY:

4. PARTITIONS CENTERED ON WINDOW MULLIONS WILL NOT BE DRAWN ACCORDINGLY:

5. PARTITIONS WITH FINISH FACE LYING ON THE COLUMN OR GRID LINES WILL NOT BE DIMENSIONED ON THE SMALL SCALE PLANS BUT WILL BE

**DRAWN ACCORDINGLY:**

6. FOR OPENINGS IN PARTITIONS OR WALLS:

- WHEN ONE OCCURS AT A COLUMN OF GRID LINE, NO DIMENSIONS WILL BE SHOWN ON THE SMALL SCALE PLANS. THE OPENING WIDTH WILL BE ESTABLISHED BY EITHER CRITERIA OR SCHEDULES:
- WHEN NEITHER JAMB OCCURS AT A COLUMN OR GRID LINE, ONE JAMB WILL BE LOCATED DIMENSIONALLY BY THE DETAIL:
- WHEN ONE JAMB IS LOCATED BY A PARTITION AT A RIGHT ANGLE, THE FOLLOWING DIAGRAM APPLIES:

CMU PARTITION

CMU PARTITION TO COLUMN

METAL STUD PARTITION

7. DIMENSIONS ON PLANS ARE SHOWN TO THE FACE OF MASONRY UNITS, FACE OF CONCRETE AND TO THE CENTERLINE OF METAL STUDS.

MULTIFAMILY - COMMERCIAL - ZONING DATA SHEET

ITEM #	Zoning Information				
1	Address: 2125 BAY DRIVE, MIAMI, FL 33141				
2	Board and file numbers : DRB23-0961				
3	Folio number(s): 02-3210-011-0730				
4	Year constructed: 1940	Zoning District:	RM-1-MULTIFAMILY, LOW INTENSITY		
5	Based Flood Elevation:	8.0 N.G.V.D.	Grade value in NGVD:	4.44' N.G.V.D.	
6	Adjusted grade (Flood+Grade/2):	6.22' N.G.V.D.	Lot Area:	7,789 SF	
7	Lot width:	57'-6"/53'-6"	Lot Depth:	140'	
8	Minimum Unit Size	600 SF	Average Unit Size	800.4	
9	Existing use:	SINGLE FAMILY	Proposed use:	MULTI-FAMILY	
		Maximum	Existing	Proposed	Deficiencies
10	Height	50 FT	15'-0"	41' 5"	N/A
11	Number of Stories	4	1	4	N/A
12	FAR	7,789 X 1.25 = 9736 SF	2397 SF	9,732 SF	N/A
13	Gross square footage	N/A			
14	Square Footage by use	N/A			
15	Number of units Residential	N/A			
16	Number of units Hotel	N/A			
17	Number of seats	N/A			
18	Occupancy load	N/A			
	Setbacks	Required	Existing	Proposed	Deficiencies
	Subterranean:				
19	Front Setback:	N/A			
20	Side Setback:	N/A			
21	Side Setback:	N/A			
22	Side Setback facing street:	N/A			
23	Rear Setback:	N/A			
	At Grade Parking:				
24	Front Setback:	20'-0"	26'-2"	20'-0"	
25	Side Setback:	5'-0"	5'-9"	7'-6"	
26	Side Setback:	5'-0"	9'-6"	7'-6"	
27	Side Setback facing street:	N/A			
28	Rear Setback:	10% LOT DEPTH=14'	37'-2"	14' 0"	
	Pedestal:				
29	Front Setback:	20'-0"	26'-2"	20'-0"	
30	Side Setback:	7'-5"	5'-9"	7'-6"	
31	Side Setback:	7'-5"	9'-6"	7'-6"	
32	Side Setback facing street:	N/A			
33	Rear Setback:	10% LOT DEPTH=14'	37'-2"	14' 0"	
	Tower:				
34	Front Setback:	N/A			
35	Side Setback:	N/A			
ITEM #	Setbacks	Required	Existing	Proposed	Deficiencies
36	Side Setback:	5'-0"		7'-6"	
37	Side Setback facing street:	N/A			
38	Rear Setback:	10% LOT DEPTH=14'		14' 0"	
	Front Setback:	20'-0"		20'-0"	

	Parking	Required	Existing	Proposed	Deficiencies
39	Parking district	1	1	1	
40	Total # of parking spaces	0	1	5	
41	# of parking spaces per use (Provide a separate chart for a breakdown calculation)	N/A			
42	# of parking spaces per level (Provide a separate chart for a breakdown calculation)	N/A			
43	Parking Space Dimensions	8 1/2' X 18'		8 1/2' X 18'	
44	Parking Space configuration (45o,60o,90o,Parallel)			90o	
45	ADA Spaces	N/A			
46	Tandem Spaces	N/A			
47	Drive aisle width	12'		10'	
48	Valet drop off and pick up	N/A			
49	Loading zones and Trash collection areas	N/A			
50	racks	N/A			

	Restaurants, Cafes, Bars, Lounges, Nightclubs	Required	Existing	Proposed	Deficiencies
51	Type of use	N/A			
52	Total # of seats	N/A			
53	Total # of seats per venue (Provide a separate chart for a breakdown calculation)	N/A			
54	Total occupant content	N/A			
55	Occupant content per venue (Provide a separate chart for a breakdown calculation)	N/A			

56	Is this a contributing building?	N/A
57	Located within a Local Historic District?	NO

Notes:  
If not applicable write N/A  
All other data information may be required and presented like the above format.

PROJECT AND OWNER:  
DENBORA BAY III

2125 Bay Dr.  
MIAMI BEACH | FL | 33141  
2125 BAY DR LLC  
3179 HOLYLAKE RD.  
LAKE WORTH | FL | 33467

ARCHITECT:

2030 HABERSHAM TRCE | CUMMING | GA 30041  
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DESIGNER:

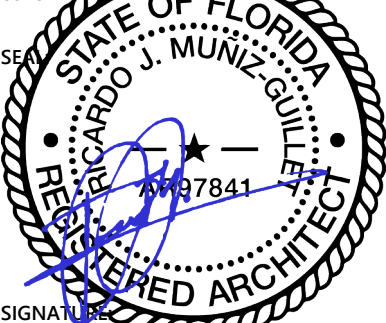


1535 NORTH PARK DRIVE #102 WESTON  
FL 33326  
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SIGNATURE  
RICARDO J. MUNIZ-GUILLET  
LIC# AR97841

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ZONING DATA SHEET


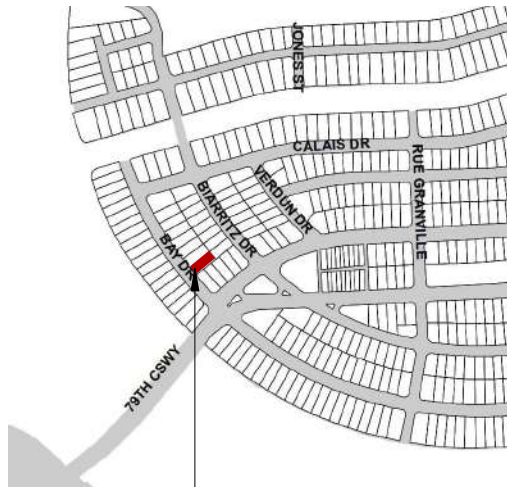


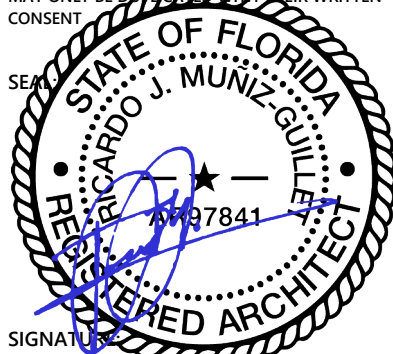


SCALE:

N.T.S.  
SHEET NO:

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 <p><b>SUBJECT LOCATION</b> 2125 BAY DR.   MIAMI BEACH   FL 33141</p>			 <p><b>SUBJECT LOCATION</b> 2125 BAY DR.   MIAMI BEACH   FL 33141</p>			 <p><b>SUBJECT LOCATION</b> 2125 BAY DR.   MIAMI BEACH   FL 33141</p>			<div>PROJECT AND OWNER: <b>DENBORA BAY III</b>  2125 Bay Dr. MIAMI BEACH   FL   33141 2125 BAY DR LLC  3179 HOLYLAKE RD. LAKE WORTH   FL   33467  ARCHITECT:  2030 HABERSHAM TRCE   CUMMING   GA 30041 954 812 6650 RICARDO@MUVEARCH.COM AA#26003161    DESIGNER:    1535 NORTH PARK DRIVE #102 WESTON FL 33326 954 850 9965 ADMIN@REDOCTOPUSLLC.COM  <b>FINAL SUBMITAL</b>  PERMIT APPLICATION DATE: 05-05-2024 SHEET ISSUE DATE: 03-31-2023  PROJECT NO.: 2312 DRAWN BY: BK      APPROVED BY: YM  <table><tr><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td></tr></table> <div>ALL DRAWINGS AND WRITTEN MATERIALS HEREIN CONSTITUTE ORIGINAL WORK OF THE DESIGNER AND MAY ONLY BE DUPLICATED WITH THEIR WRITTEN CONSENT    SIGNATURE: RICARDO J. MUNIZ-GUILLET LIC# AR97841  SHEET TITLE: <b>ZONING REQUIREMENTS &amp; LOCATION</b>  3/8" = 1'-0"  SHEET NO: <b>G-2.02</b>  5/3/2024 12:49:23 PM</div></div>									
	1	<b>ZONING MAP</b> N.T.S.		2	<b>FUTURE ZONING MAP</b> N.T.S.		3	<b>HISTORIC DISTRICT MAP</b> N.T.S.										

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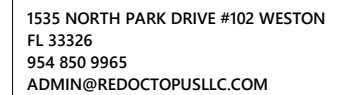
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## FINAL SUBMITAL


STATE OF FLORIDA  
RICARDO J. MUNIZ-GUILLET  
ARCHITECT

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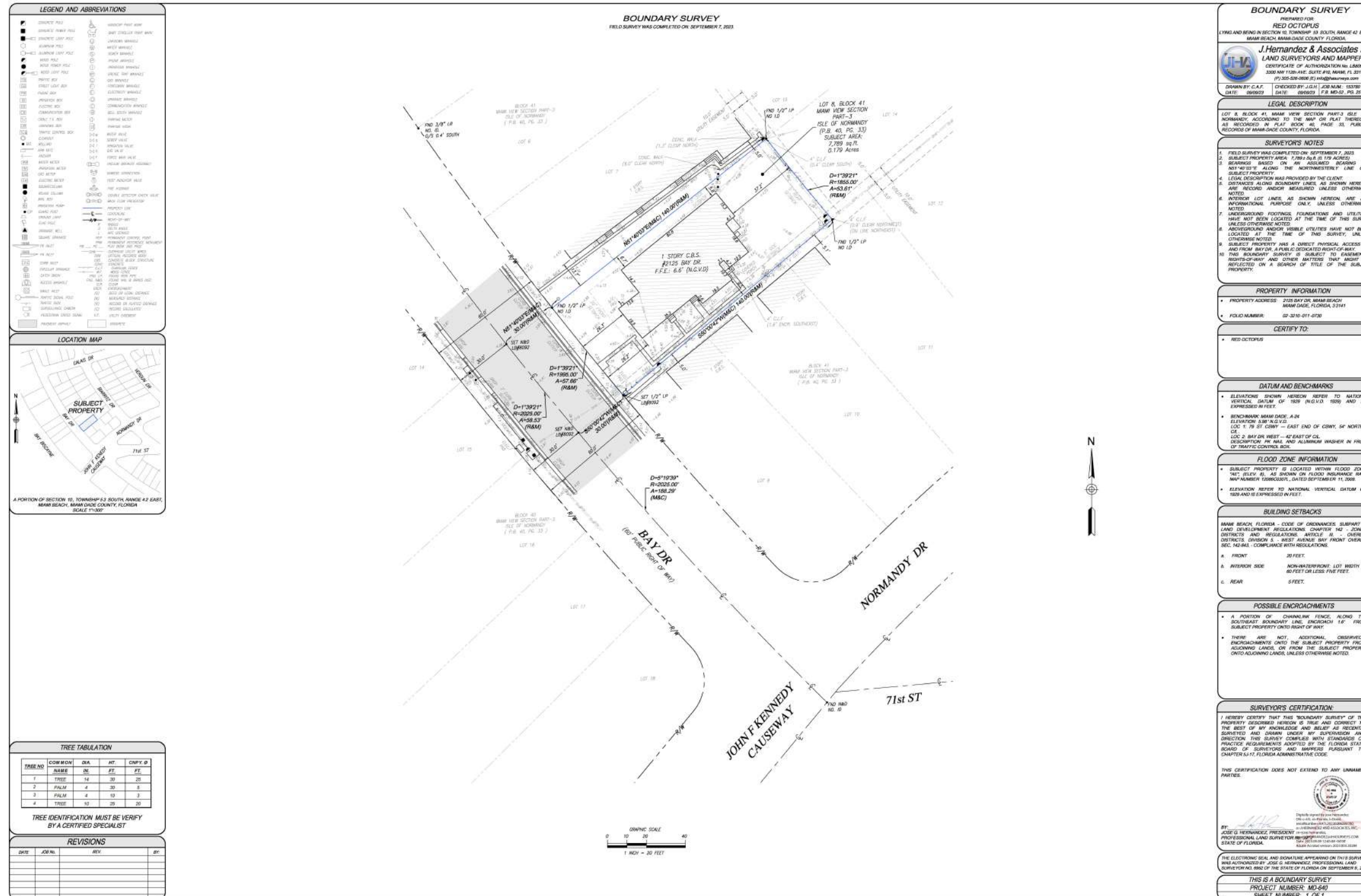
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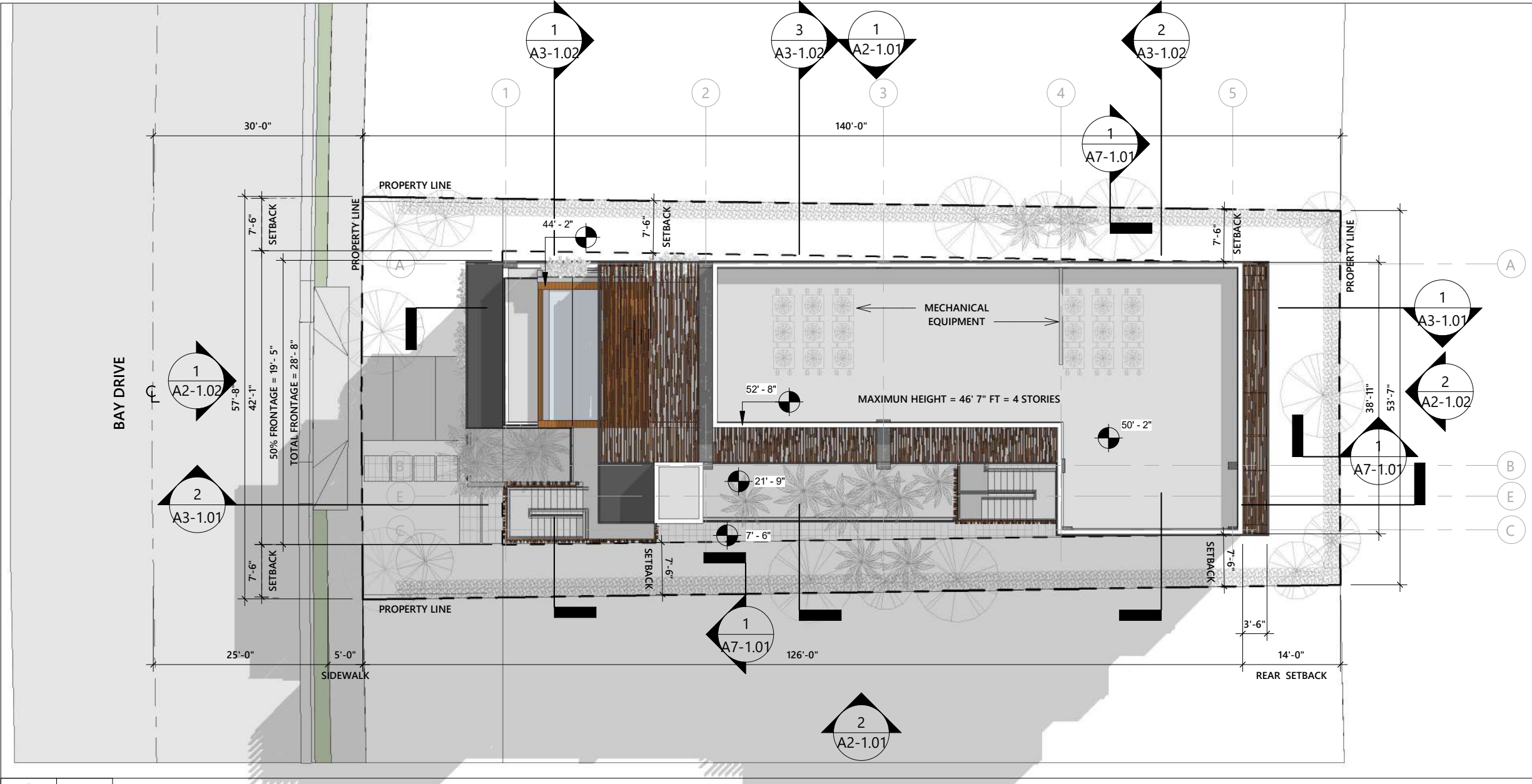
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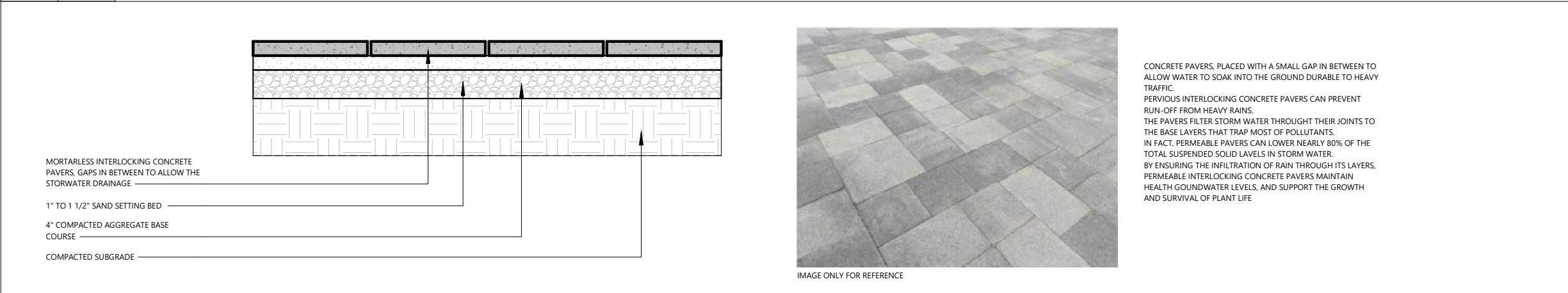


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**1 SITE PLAN**  
1/16" = 1'-0"



**2 PAVERS DETAILS**  
1/2" = 1'-0"

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INTEGRAL ARCHITECTURAL SERVICES

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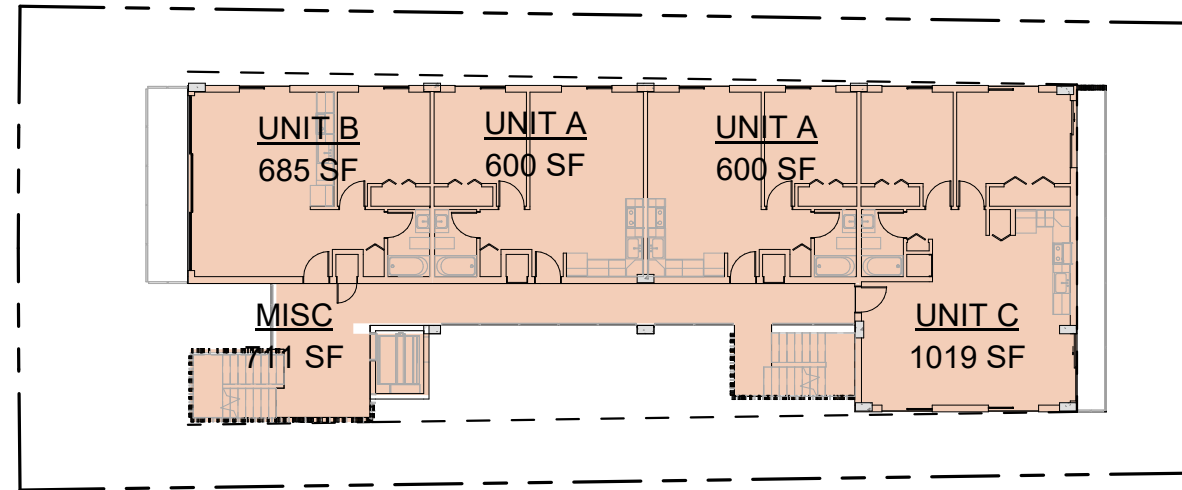
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**SITE PLAN**

SCALE:  
**As indicated**

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**G-4**

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**RED OCTOPUS.LLC**  
INTEGRAL ARCHITECTURAL SERVICES


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Floor plan of the second floor showing the following areas:

- UNIT B: 685 SF
- UNIT A: 600 SF
- UNIT A: 600 SF
- MISC: 712 SF
- UNIT C: 1019 SF

The floor plan shows two units on the second floor. Unit D, on the left, is 1176 SF and includes a kitchen, living area, and bedrooms. Unit C, on the right, is 1019 SF and includes a kitchen, living area, and bedrooms. A central hallway provides access to both units and features a staircase. The plan also shows exterior doors, windows, and a small utility area.

4	<b>LEVEL 4</b>
	3/64" = 1'-0"

MISC

UNIT A

UNIT B

UNIT C

UNIT D

## F.A.R. CALCULATION

MISC	1728 SF	18%
UNIT A	2400 SF	25%
UNIT B	1370 SF	14%
UNIT C	3057 SF	31%
UNIT D	1176 SF	12%
<b>TOTAL SF:</b>	<b>9732 SF</b>	



CURRENT EXTERIOR PHOTOGRAPHS, DATED OCTOBER 01TH, 2023

PROJECT AND OWNER:  
**DENBORA BAY III**

2125 Bay Dr.  
MIAMI BEACH | FL | 33141  
2125 BAY DR LLC  
3179 HOLYLAKE RD.  
LAKE WORTH | FL | 33467

ARCHITECT:  
2030 HABERSHAM TRCE | CUMMING | GA 30041  
954 812 6650  
RICARDO@MUVEARCH.COM  
AA#26003161



DESIGNER:

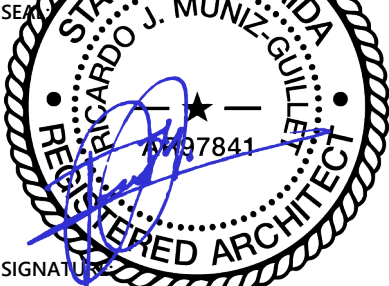


1535 NORTH PARK DRIVE #102 WESTON  
FL 33326  
954 850 9965  
ADMIN@REDOCTOPUSLLC.COM

**FINAL SUBMITAL**

PERMIT APPLICATION DATE: 05-05-2024  
SHEET ISSUE DATE: 03-31-2023  
PROJECT NO.: 2312  
DRAWN BY: BK APPROVED BY: YM


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CONSENT



SIGNATURE:  
RICARDO J. MUNIZ-GUILLET  
LIC# AR97841

SHEET TITLE:  
**EXISTING EXT. PICTURES**

SCALE:  
**N.T.S.**


SHEET NO:  
**G-6**

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CURRENT EXTERIOR PHOTOGRAPHS, DATED OCTOBER 01TH, 2023

PROJECT AND OWNER:  
**DENBORA BAY III**  
  
2125 Bay Dr.  
MIAMI BEACH | FL | 33141  
2125 BAY DR LLC  
  
3179 HOLYLAKE RD.  
LAKE WORTH | FL | 33467  
  
ARCHITECT:  
  
2030 HABERSHAM TRCE | CUMMING | GA 30041  
954 812 6650  
RICARDO@MUVEARCH.COM  
AA#26003161  

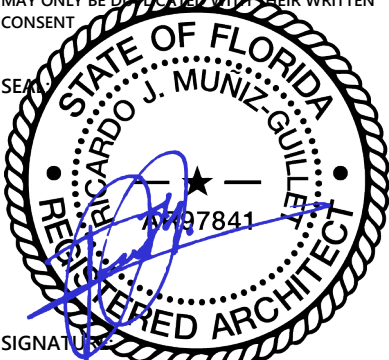


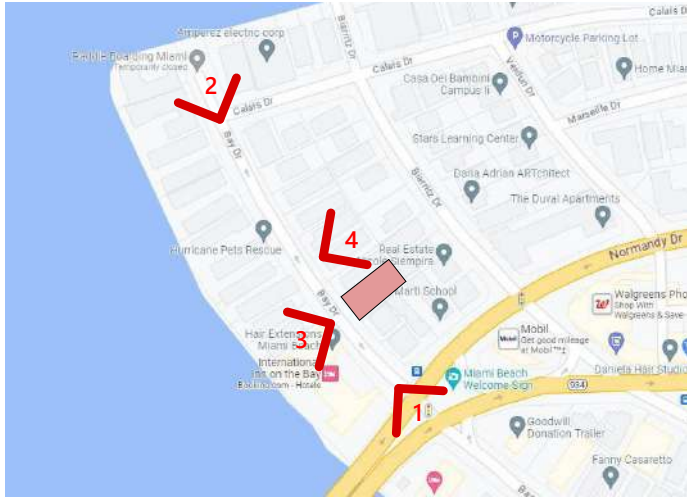
  
DESIGNER:  

  
1535 NORTH PARK DRIVE #102 WESTON  
FL 33326  
954 850 9965  
ADMIN@REDOCTOPUSLLC.COM

**FINAL SUBMITAL**  
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LIC# AR97841  
SHEET TITLE:  
**EXISTING INT. PICTURES**  
SCALE:  
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SHEET NO:  
**G-7**  
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SUBJECT LOCATION  
2125 BAY DRIVE | MIAMI BEACH | FL 33141



KEY DIRECTIONAL PLAN

N.T.S.



CORNER TO CORNER VIEW 1



CORNER TO CORNER VIEW 2

CONTEXT PHOTOGRAPHS, DATED MARCH 24TH, 2023

PROJECT AND OWNER:  
**DENBORA BAY III**

2125 Bay Dr.  
MIAMI BEACH | FL | 33141  
2125 BAY DR LLC

3179 HOLYLAKE RD.  
LAKE WORTH | FL | 33467

ARCHITECT:

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954 812 6650  
RICARDO@MUVEARCH.COM  
AA#26003161



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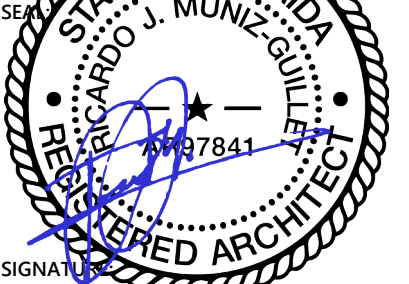


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**FINAL SUBMITAL**

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SIGNATURE:  
RICARDO J. MUNIZ-GUILLET  
LIC# AR97841

SHEET TITLE:  
**SITE & CONTEXT PICTURES**

SCALE:

**N.T.S.**

SHEET NO:

**G-8**

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CORNER TO CORNER VIEW 3



CORNER TO CORNER VIEW 4



CONTEXT PHOTOGRAPHS, DATED MARCH 24TH, 2023

PROJECT AND OWNER:  
**DENBORA BAY III**

2125 Bay Dr.  
MIAMI BEACH | FL | 33141  
2125 BAY DR LLC  
  
3179 HOLYLAKE RD.  
LAKE WORTH | FL | 33467

ARCHITECT:  
  
2030 HABERSHAM TRCE | CUMMING | GA 30041  
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AA#26003161



DESIGNER:

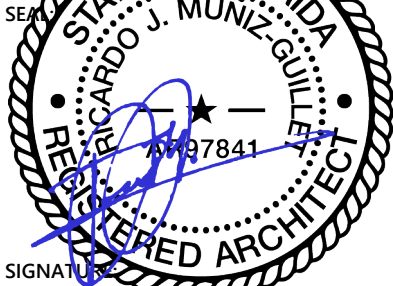


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**FINAL SUBMITAL**

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SIGNATURE:  
RICARDO J. MUNIZ-GUILLET  
LIC# AR97841

SHEET TITLE:  
**SITE & CONTEXT PICTURES**

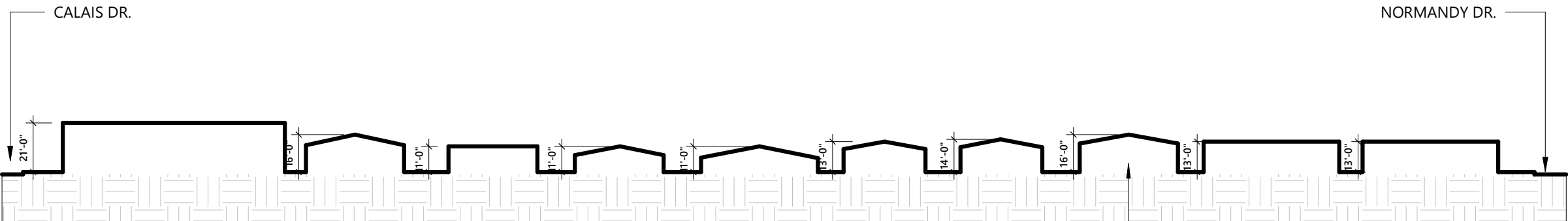
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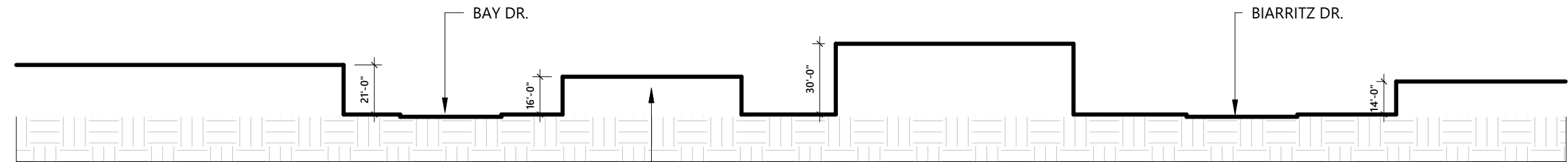
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SUBJECT LOCATION  
2125 BAY DRIVE | MIAMI BEACH | FL 33141

1 CONTEXTUAL ELEVATION - CORNER TO CORNER  
1" = 50'-0"



SUBJECT LOCATION  
2125 BAY DRIVE | MIAMI BEACH | FL 33141

2 CONTEXTUAL ELEVATION - ACROSS THE STREET AND SURROUNDING PROPERTIES  
1" = 50'-0"

PROJECT AND OWNER:  
**DENBORA BAY III**

2125 Bay Dr.  
MIAMI BEACH | FL | 33141  
2125 BAY DR LLC  
3179 HOLYLAKE RD.  
LAKE WORTH | FL | 33467

ARCHITECT:  
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AA#26003161



DESIGNER:

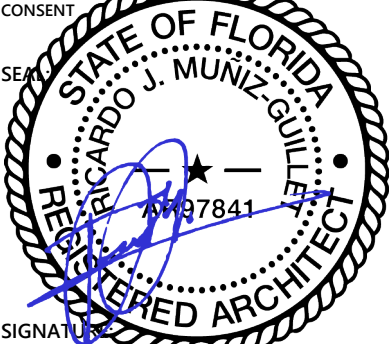


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**FINAL SUBMITAL**

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SIGNATURE:  
RICARDO J. MUNIZ-GUILLET  
LIC# AR97841

SHEET TITLE:  
**CONTEXTUAL ELEVATION**

SCALE:

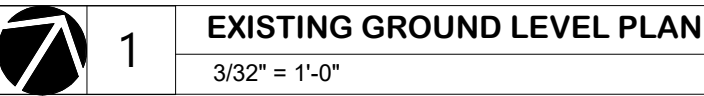
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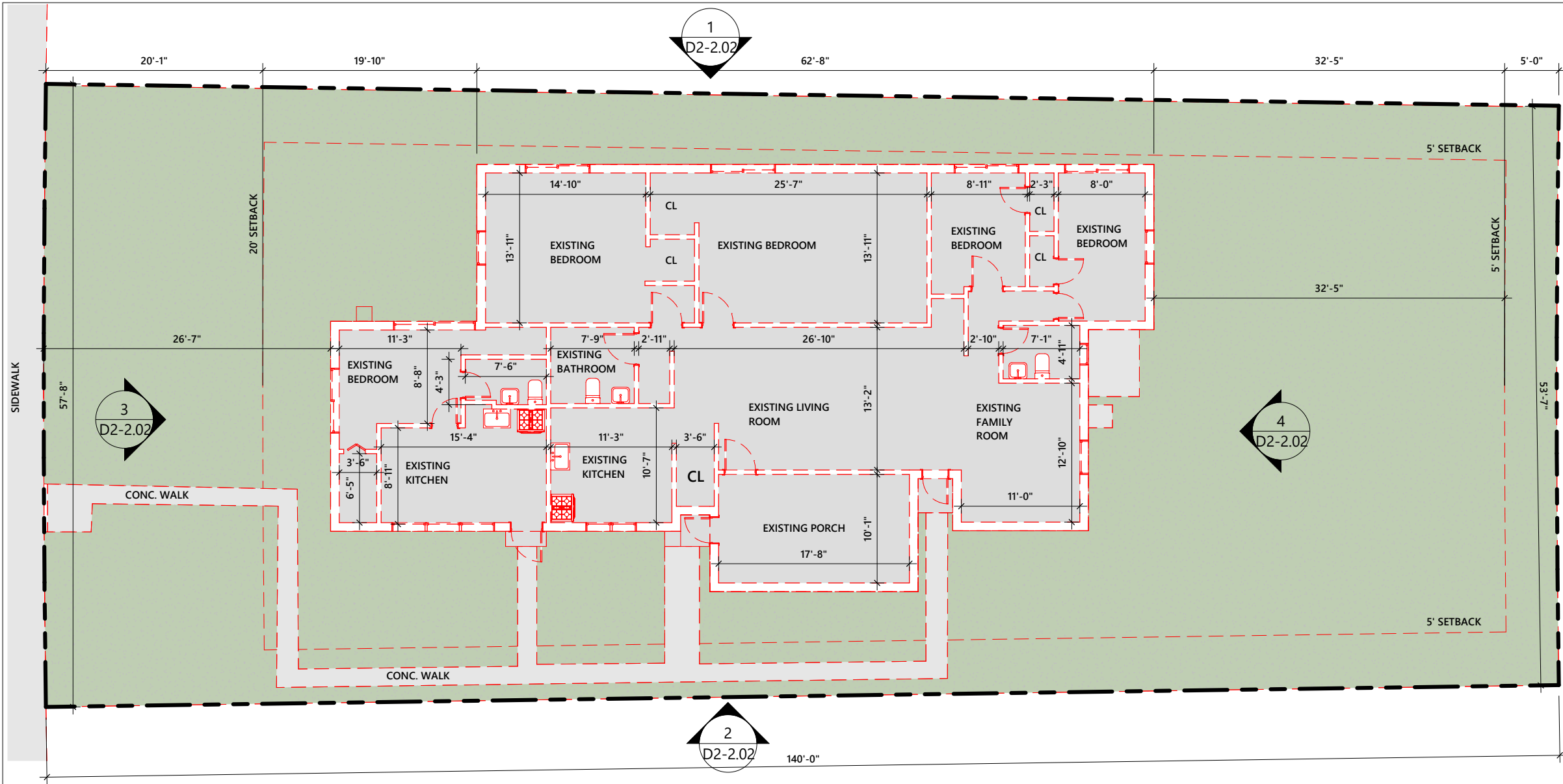
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WALL LEGEND		DEMOLITION NOTES		PROJECT AND OWNER: <b>DENBORA BAY III</b>  2125 Bay Dr. MIAMI BEACH   FL   33141 2125 BAY DR LLC  3179 HOLYLAKE RD. LAKE WORTH   FL   33467  ARCHITECT:  2030 HABERSHAM TRCE   CUMMING   GA 30041 954 812 6650 RICARDO@MUVEARCH.COM AA#26003161 <div></div> DESIGNER:										
<div><div><div>1</div><div></div><div>TYPICAL 4" INTERIOR PARTITION NON-RATED</div></div><div><div>2</div><div></div><div>EXTERIOR - EXISTING TO REMAIN</div></div><div><div>3</div><div></div><div>INTERIOR - EXISTING TO REMAIN</div></div><div><div></div><div></div><div>TO BE DEMOLISHED</div></div></div>		<p><b>02110 DEMOLITION</b></p> <p>1. PROVIDE LABOR, MATERIALS AND EQUIPMENT TO PERFORM ALL DEMOLITION AND REMOVAL WORK SHOWN, SPECIFIED OR REQUIRED TO COMPLETE THE WORK.</p> <p>"TITLE OF PROPERTY": EXCEPT AS OTHERWISE SPECIFIED, OR INDICATED, ALL SALVAGE- ABLE MATERIAL AND EQUIPMENT TO BE DISCONNECTED AND REMOVED SHALL BECOME THE PROPERTY OF THE OWNER TO BE ASSIGNED AND DISPOSED OF BY THE CONTRACTOR AT THE OWNERS DIRECTION. CONTRACTOR SHALL SUBMIT TO OWNER REFERENCES AND EXPERIENCE OF TRADES FOR REVIEW AND APPROVAL. THESE ITEMS MAY INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:</p> <p>1. EQUIPMENT, CONDUIT, LIGHT FIXTURES, TOILET FIXTURES AND FITTINGS, WINDOWS/DOORS AND MECHANICAL ITEMS. PROTECTION OF PERSONS AND PROPERTY: SHALL BE PROVIDED THROUGHOUT THE PROGRESS OF THE WORK. THE WORK SHALL PROCEED IN SUCH A MANNER AS TO MINIMIZE THE SPREAD OF DUST AND FLYING PARTICLES AND TO PROVIDE SAFE WORKING CONDITIONS FOR PERSONNEL</p> <p>2. DISCONNECTION OF SERVICES: BEFORE STARTING THE WORK, ALL AFFECTED UTILITIES SHALL BE DISCONNECTED UNLESS OTHERWISE INDICATED OR DIRECTED. ALL UTILITY MAINS SHALL BE SEALED IN AN APPROVED MANNER. IF IT BECOMES NECESSARY TO INTERRUPT THE UTILITY SERVICE TO UTILITIES NOT PART OF THIS CONTRACT, PRIOR APPROVAL SHALL BE OBTAINED IN WRITING FROM THE OWNER.</p> <p>3. CONTRACTOR SHALL INVESTIGATE THE EXISTENCE OF ASBESTOS AND NOTIFY THE OWNER BEFORE PROCEEDING WITH DEMOLITION WORK.</p> <p><b>SCOPE OF WORK</b> CONTRACTOR TO OBTAIN ALL NECESSARY BUILDING PERMITS. DEMOLITION AND REMOVAL FOR BUILDING AS INDICATED ON DRAWINGS. CONTRACTOR TO REMOVE ALL PARTITIONS, WALLS, PLUMBING AS INDICATED IN THE DRAWINGS. THE ABOVE SCOPE OF WORK IS NOT EXHAUSTIVE. REFERENCE SHOULD BE MADE TO EXISTING SITE CONDITIONS TO VERIFY EXTENT OF REMOVALS TO COMPLETE THE PROJECT. SHOULD THERE BE A QUESTION AS TO THE REMOVAL OF ANY PORTION OF THE PROJECT, THE CONTRACTOR SHOULD REQUEST CLARIFICATION FROM THE OWNER.</p> <p><b>EXECUTION</b> ALL DEMOLITION SHALL BE CARRIED OUT WITH MINIMUM DAMAGE TO ADJOINING WORK. HOLES OR OTHER DAMAGE LEFT BY THE CONTRACTOR IN EXISTING BUILDING SURFACES SHALL BE REPAIRED TO MATCH THE EXISTING ADJACENT SURFACE. ASSIGN REMOVAL AND CUTTING WORK TO TRADES EXPERIENCED IN THE PARTICULAR WORK TO AVOID UNNECESSARY DAMAGE DUE TO UNSKILLED WORKMANSHIP. REMOVE ALL DEBRIS AND MATERIAL RESULTING FROM DEMOLITION OFF THE SITE AT THE END OF EACH WORKING DAY. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PREVENT DAMAGE TO EXISTING WIRING, PIPING, TUBING AND EQUIPMENT. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ALL DAMAGE TO EXISTING STRUCTURE CAUSED BY HIS OPERATIONS. ALL DEMOLITION WORK SHALL BE UNDERTAKEN IN ACCORDANCE WITH REQUIREMENTS OF REGULATIONS OSHA AND OF LOCAL AUTHORITIES AND APPLICABLE BUILDING CODES. DEMOLITION WORK SHALL BE COORDINATED WITH BUILDING MANAGEMENT.</p>		<div><div>RED OCTOPUS.LLC</div><div>INTEGRAL ARCHITECTURAL SERVICES</div></div> 1535 NORTH PARK DRIVE #102 WESTON FL 33326 954 850 9965 ADMIN@REDOCTOPUSLLC.COM										
ALL LIFE SAFETY EQUIPMENT TO REMAIN OPERABLE DURING DEMOLITION		NOTE:		FINAL SUBMITAL										
DEMOLITION PLAN KEYNOTES		GENERAL DEMOLITION NOTES		PERMIT APPLICATION DATE: 05-05-2024 SHEET ISSUE DATE: 03-31-2023 PROJECT NO.: 2312 DRAWN BY: BK APPROVED BY: YM <table><tr><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td></tr></table> <p>ALL DRAWINGS AND WRITTEN MATERIALS HEREIN CONSTITUTE ORIGINAL WORK OF THE DESIGNER AND MAY ONLY BE DUPLICATED WITH THEIR WRITTEN CONSENT</p> <div><div>STATE OF FLORIDA</div><div>REGISTERED ARCHITECT</div><div>RICARDO J. MUNIZ-GUILLET</div><div>AR97841</div></div> <p>SIGNATURE: RICARDO J. MUNIZ-GUILLET LIC# AR97841</p> <p>SHEET TITLE: <b>DEMOLITION NOTES</b></p> <p>SCALE: <b>N.T.S.</b></p> <p>SHEET NO: <b>D1-1.00</b></p> <p>5/3/2024 12:49:49 PM</p>										
<div><div><div>1</div><div>REMOVE EXISTING INTERIOR PARTITION</div></div><div><div>2</div><div>REMOVE EXISTING DOOR</div></div><div><div>3</div><div>REMOVE PLUMBING FIXTURES, CAP EXISTING CONNECTIONS AND COVER ALL SANITARY AND DRAINAGE LINES TO PREVENT THE INTRUSION OF DEBRIS</div></div><div><div>4</div><div>REMOVE FINISH FLOOR</div></div><div><div>5</div><div>REMOVE KITCHEN APPLIANCES CABINETS AND COUNTERTOPS</div></div><div><div>6</div><div>REMOVE EXISTING CEILING</div></div></div> <p>COORDINATE SELECTIVE REMOVAL / RELOCATION OF LIGHT LIXTURES, ELECTRICAL WIRES, CONDUITS, "J" BOXES, DUCT WORK, DIFFUSERS, GRILLS.</p> <p>REMOVE ALL DUCTWORK, DIFFUSERS, GRILLS, LIGHTS, AND CLEAN THE BOTTOM OF THE SLAB FROM REMAINING DEBRIS.</p> <p>SPRINKLER LINES TO REMAIN AND BE RELOCATED PER REVISED PLAN</p>		<p>1. THE REMOVAL OF THE WALLS MUST BE PERFORMED CAREFULLY TO ENSURE EXISTING PLUMBING VENT AND SANITARY STACKS WILL NOT BE DAMAGED AND/OR MODIFIED IN ANY MANNER. IF A PLUMBING/VENT STACK IS TO BE CONCEALED WITHIN A WALL THE GENERAL CONTRACTOR NEEDS TO ASCERTAIN THAT, BEFORE THE PLUMBING STACK IS COVERED WITHIN ANY ARCHITECTURAL FINISH, COLUMN ELEMENT OR WALL SECTION, THAT THE FIRE RATED SEALANTS THAT SEPARATE THE UNITS AT THE SLABS ARE C PRESENT.</p> <p>2. THE EXISTING/REMAING SMOKE DETECTORS AS WELL AS FIRE ALARM SYSTEM SPEAKERS AND ASSOCIATED WIRING SHOULD BE PROTECTED FROM DUST, PAINT OR ANY TYPE OF DAMAGE DURING CONSTRUCTION.</p> <p>3. ANY NEW OPENINGS, PENETRATIONS, AND/OR MODIFICATIONS TO EXISTING STRUCTURAL COMPONENTS (INCLUDING AND NOT LIMITED TO WALLS, SLABS, COLUMNS, BEAMS, ETC) ARE STRICTLY NOT PERMITTED WITHOUT PRIOR APPROVAL BY THE BUILDING'S ASSOCIATION.</p> <p>4. ANY AND ALL FIRE SPRINKLER SYSTEM WORK SHOULD BE PERFORMED BY THE ASSOCIATION'S FIRE SPRINKLER CONTRACTOR THAT IS RESPONSIBLE FOR MAINTAINING AND REPAIRING THE FIRE SPRINKLER SYSTEM ON A BUILDING WIDE BASIS.</p> <p>1. BEFORE BEGINNING WORK AT THE SITE, WHERE POSSIBLE, AND THROUGH THE COURSE OF THE WORK, INSPECT AND VERIFY THE LOCATION AND CONDITION OF EVRY ITEM AFFECTED BY THE WORK UNDER THIS CONTRACT AND REPORT ANY DISCREPANCIES TO THE OWNER BEFORE DOING WORK RELATED OT THAT INSPECTION.</p> <p>2. DRAWINGS SHOW PRINCIPAL AREAS WHERE WORK MUST BE COMPLETED UNDER THIS CONTRACT, INCIDENTAL WORK MUST ALSO BE NECESSARY ON AREAS NOT SHOWN IN THE DRAWINGS DUE TO CHANGES AFFECTING EXISTING MECHANICAL, ELECTRICAL, PLUMBING OR OTHER SYSTEMS, SUCH INCIDENTAL WORK IS ALSO AS PART OF THIS CONTRACT. INSPECT THOSE AREAS, AND AS CERTAIN WORKNEEDED AND TO THAT WORK ACCORD WITH THE CONTRACT REQUIREMENTS, AT NO ADDITIONAL COST.</p> <p>3. TAKE ALL NECESSARY PRECAUTIONS TO GUARD AGAINST ANY AND ALL POSSIBLE HAZARDOUS CONDITIONS (I.E. EXPOSED "HOT" WIRING, MATERIALS PLACED IN TRAFFIC PATHS CREATING A "TRIPPING" HAZARD, ETC.) WHICH MIGHT OCCUR AS A RESULT OF DEMOLITION AND CONSTRUCTION.</p> <p>4. IF UNANTICIPATED MECHANICAL, ELECTRICAL OR STRUCTURAL ELEMENTS, WHICH CONFLICT WITH INTENDED FUNCTION OR DESIGN AR ENCOUNTERED, INVESTIGATE AND MEASURE BOTH NATURE OF EXTENT OF THE CONFLICT. SUBMIT REPORT TO OWNERS REPRESENTATIVE IN WRITTEN, ACCURATE DETAIL.</p> <p>5. IN ALL ACTIVITIES, COMPLY WITH PERTINENT REGULATIONS OF GOVERNMENTAL AGENCIES HAVING JURISDICTION.</p> <p>6. UPON COMPLETION OF DEMOLITION WORK, REMOVE DEBRIS, RUBBISH AND OTHER MATERIALS FROM BUILDING SITE. TRANSPORT AND LEGALLY DISPOSE OF MATERIALS OFF SITE. LEAVE RESULTING DEBRIS FROM INTERIOR AREAS BROOM CLEAN.</p> <p>7. USE SAW CUT TO REMOVE MASONRY WHERE REMAINING MASONRY IS TO BE EXPOSED.</p> <p>8. PROVIDE INTERIOR AND EXTERIOR SHORING, BRACING OR SUPPORT TO PREVENT MOVEMENT, SETTLEMENT OR COLLAPSE OF STRUCTURES TO BE DEMOLISHED AND ADJACENT EXISTING STRUCTURES TO REMAIN. TAKE PRECAUTIONS TO PROPERLY SUPPORT STRUCTURE. DO NOT RESUME OPERATIONS UNTIL SAFETY IS RESTORED.</p> <p>9. BEFORE ANY STRUCTURAL DEMOLITION CAN START, CONTRACTOR SHALL NOTIFY THE STRUCTURAL ENGINEER FOR AUTHORIZATION.</p> <p>10. DEMOLITION OPERATION SHALL BE EXECUTED BY ADEQUATE NUMBER OF SKILLED WORKERS EXPERIENCED IN THE NECESSARY CRAFTS. SHUT OFF, CAP AND OTHERWISE PROTECT MECHANICAL AND ELECTRICAL INSTALLATIONS, WORK IN PUBLIC UTILITY LINES SHALL BE COORDINATED WITH THE AGENCY OR UTILITY HAVING JURISDICTION AND THE CONTRACTOR SHALL PROTECT EXISTING INSTALLATIONS ACCORDING TO THEIR REQUIREMENTS.</p> <p>11. ITEMS INDICATED TO BE REMOVED BUT OF SALVABLE VALUE TO THE CONTRACTOR, AND NOT TO BE KEPT BY THE OWNER, MAY BE REMOVED FROM THE STRUCTURE AS WORK PROGRESSES. TRANSPORT SALVAGED ITEMS FROM THE SITE AS THEY ARE REMOVED. STORAGE OR SALE OF REMOVED ITEMS ON SITE WILL NOT BE PERMITTED. MATERIALS AND EQUIPMENT TO BE REUSED SHALL BE TREATED WITH CARE AND REINSTALLED AS SHOWN ON PLANS.</p> <p>12. G.C. SHALL REPAIR AT HIS OWN COST ANY DAMAGES TO THE PREMISES OR ADJACENT WORK CAUSED BY HIS OPERATION. FIRE PROTECTION WILL BE PROVIDED FROM THE OCCUPIED SIDE OF THE BUILDING TO THE DEMO SIDE.</p>												



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**1 DEMO GROUND LEVEL PLAN**  
3/32" = 1'-0"

**PROJECT AND OWNER:**  
**DENBORA BAY III**

2125 Bay Dr.  
MIAMI BEACH | FL | 33141  
2125 BAY DR LLC  
3179 HOLYLAKE RD.  
LAKE WORTH | FL | 33467

**ARCHITECT:**

2030 HABERSHAM TRCE | CUMMING | GA 30041  
954 812 6650  
RICARDO@MUVEARCH.COM  
AA#26003161



**DESIGNER:**

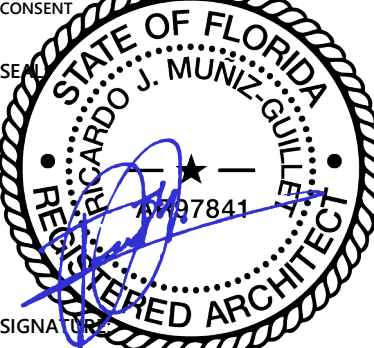


1535 NORTH PARK DRIVE #102 WESTON  
FL 33326  
954 850 9965  
ADMIN@REDOCTOPUSLLC.COM

**FINAL SUBMITAL**

PERMIT APPLICATION DATE: 05-05-2024  
SHEET ISSUE DATE: 03-31-2023  
PROJECT NO.: 2312  
DRAWN BY: BK APPROVED BY: YM


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CONSENT



SIGNATURE  
RICARDO J. MUNIZ-GUILLET  
LIC# AR97841

**SHEET TITLE:**

**DEMO GROUND LEVEL PLAN**

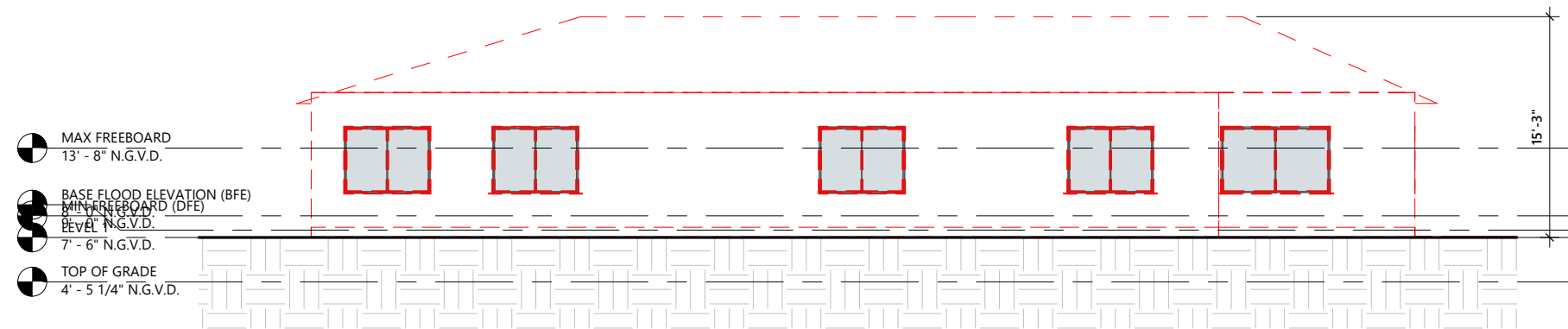
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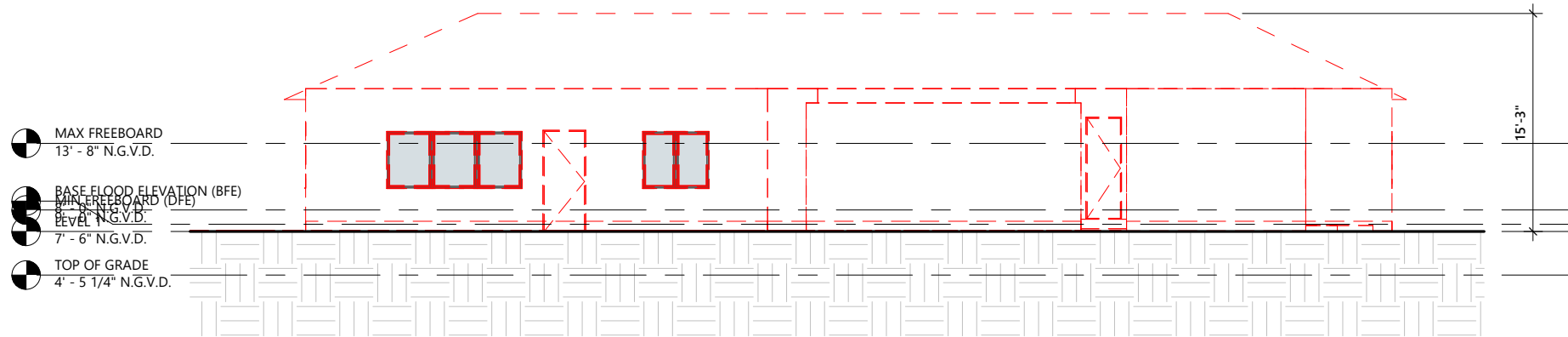
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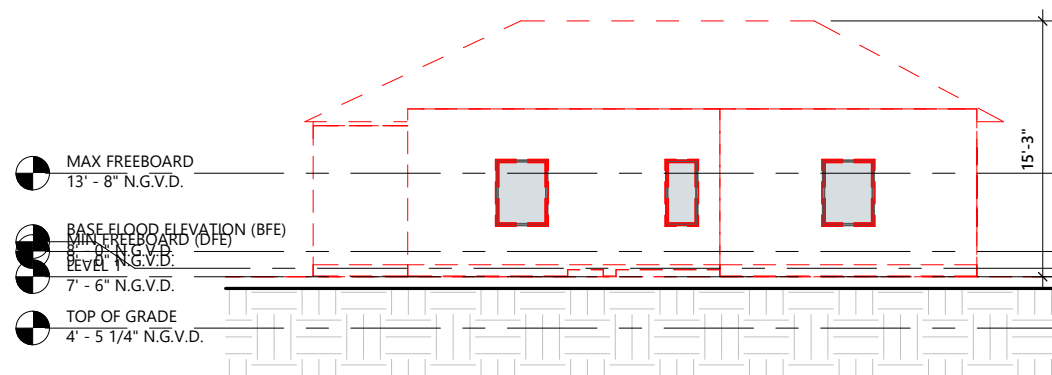
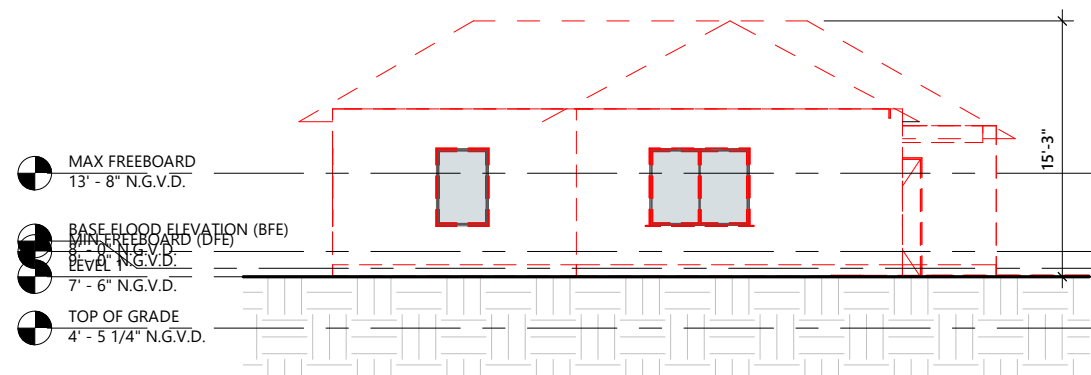
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**1 DEMOLITION NORTH ELEVATION**



**DEMOLITION SOUTH ELEVATION**



**DEMOLITION WEST ELEVATION**

## DEMOLITION EAST ELEVATION

PROJECT AND OWNER:  
**DENBORA BAY III**


ARCHITECT:



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APPROVED BY:	YM

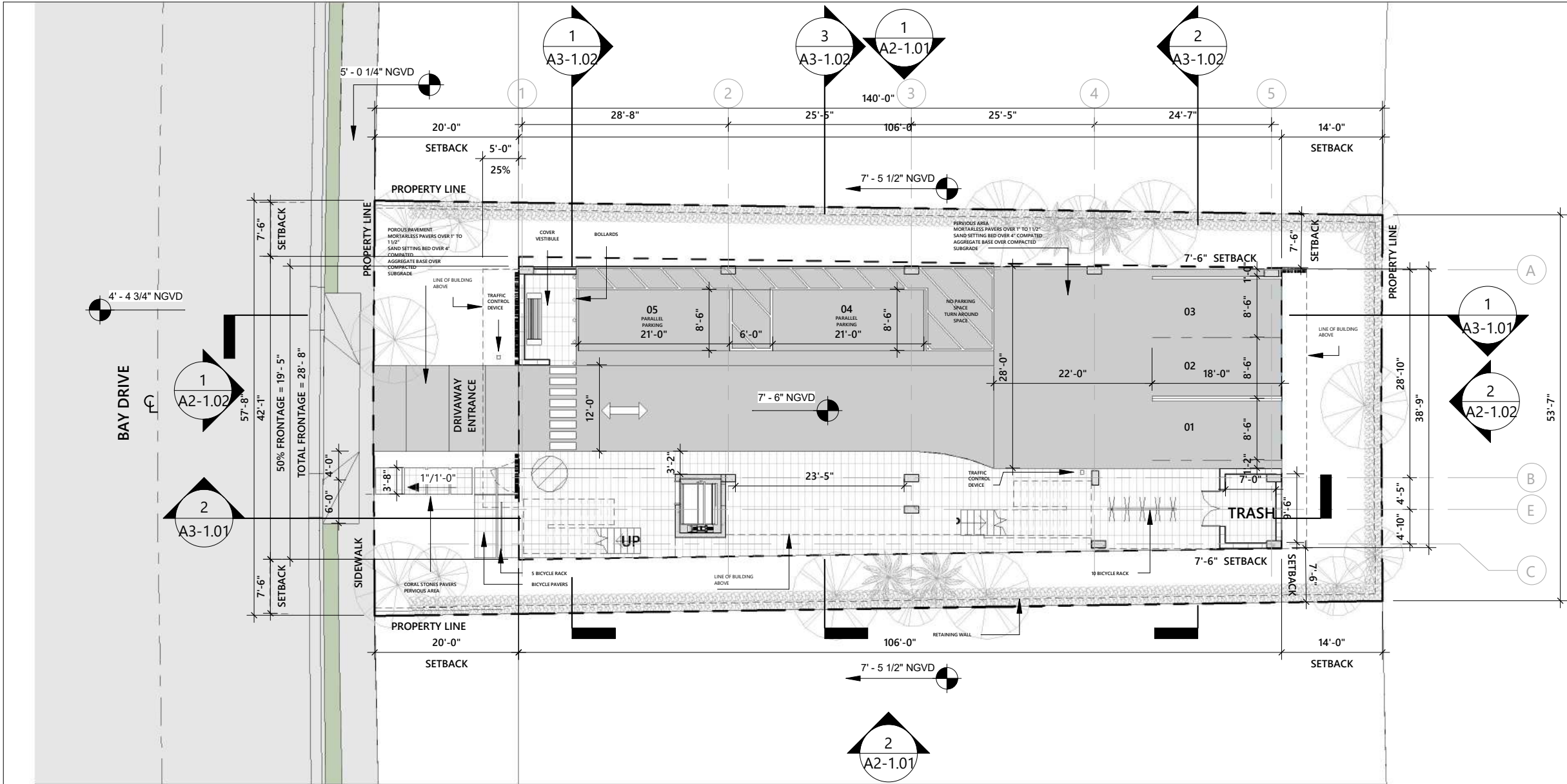
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SIGNATURE:   
RICARDO J. MUNIZ-GUILLET  
LIC# AR97841

SCALE:

SHEET NO:

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**1 GROUND LEVEL PLAN**  
1/16" = 1'-0"

WALL LEGEND		PLAN NOTES
1		<p>1. BUILDING IS FULLY SPRINKLERED.</p> <p>2. SEE ELECTRICAL DRAWINGS FOR LIFE SAFETY/ EGRESS LIGHTS.</p> <p>3. ALL INTERIOR PARTITION ARE TO BE WALL TYPE 4, UNLESS OTHERWISE NOTED.</p> <p>4. ALL BATHROOMS TO RECEIVE WATER RESISTANT GYP. BOARD IN NON WET AREAS.</p> <p>5. FRAMING CONTRACTOR TO VERIFY FLOOR FINISH WITH OWNER PRIOR TO INSTALLATIONS OF DOOR FRAME.</p> <p>6. SEE MECHANICAL DRAWINGS FOR ADDITIONAL INFORMATION.</p> <p>7. VERIFY LAYOUT OF ALL FIXTURES LOCATED IN CONCRETE SLAB WITH ARCHITECT PRIOR TO POUR.</p> <p>8. FINAL SELECTION, LOCATION, AND DESIGN OF FINISHES, FIXTURES, AND EQUIPMENT WILL BE PROVIDED BY OWNER.</p> <p>9. REFER TO SHEET A5-1.01 FOR ENLARGED KITCHEN PLANS AND ELEVATIONS.</p> <p>10. REFER TO SHEET A5-2.01 FOR ENLARGED BATHROOM PLANS AND ELEVATIONS.</p> <p>11. REFER TO SHEET A7-1.04 FOR WALL TYPE DETAILS.</p> <p>12. REFER TO SHEET A7-1.02 FOR DOOR SCHEDULE</p>
2		
3		
4		
5		
SEE TYPICAL WALL TYPES SHEET A7-1.01 FOR DETAILS		

PROJECT AND OWNER:

**DENBORA BAY III**

2125 Bay Dr.  
MIAMI BEACH | FL | 33141  
2125 BAY DR LLC

3179 HOLYLAKE RD.  
LAKE WORTH | FL | 33467

ARCHITECT:

2030 HABERSHAM TRCE | CUMMING | GA 30041  
954 812 6650  
RICARDO@MUVEARCH.COM  
AA#26003161

DESIGNER:

**RED OCTOPUS LLC**  
INTEGRAL ARCHITECTURAL SERVICES

1535 NORTH PARK DRIVE #102 WESTON  
FL 33326  
954 850 9965  
ADMIN@REDOCTOPUSLLC.COM

**FINAL SUBMITAL**

PERMIT APPLICATION DATE: 05-05-2024  
SHEET ISSUE DATE: 03-31-2023  
PROJECT NO.: 2312  
DRAWN BY: BK APPROVED BY: YM


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STATE OF FLORIDA  
RICARDO J. MUNIZ-GUILLET  
REGISTERED ARCHITECT  
LIC# AR97841

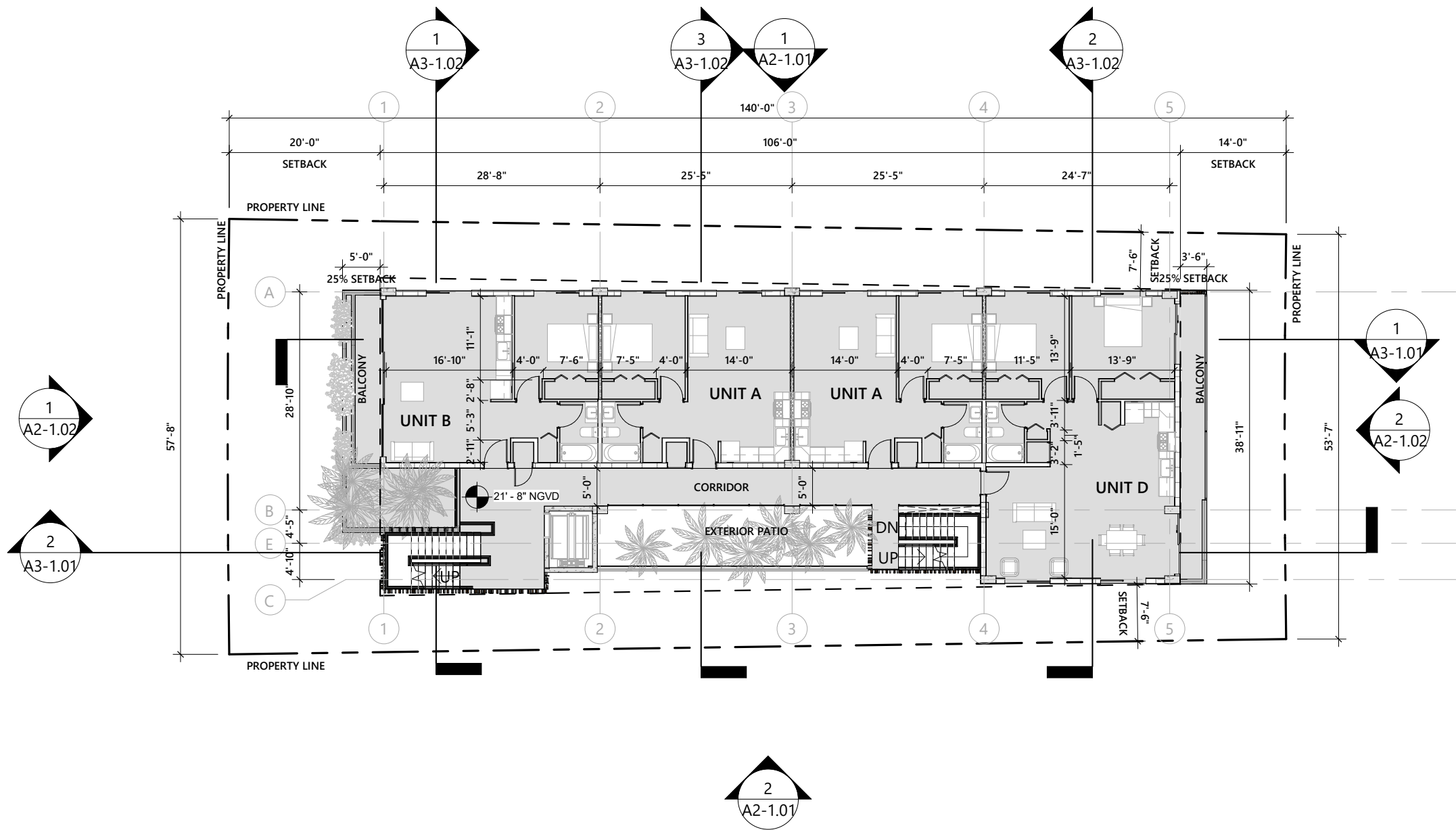
SIGNATURE: RICARDO J. MUNIZ-GUILLET  
LIC# AR97841

SHEET TITLE:  
**GROUND LEVEL FLOOR PLAN**

SCALE:  
**As indicated**

SHEET NO:  
**A1-1.01**

5/3/2024 12:50:02 PM








1

FLOOR PLAN LEVEL 02

1/16" = 1'-0"

GROUND LEVEL AREA: 3,986 S.F.

WALL LEGEND			PLAN NOTES	
<div>1</div>		WALL TYPE 1 TYPICAL NON LOAD BEARING 8" CMU WALL W/ VERTICAL REINFORCING. SEE STRUCTURE FOR DETAILS.	<div>1. BUILDING IS FULLY SPRINKLERED.</div> <div>2. SEE ELECTRICAL DRAWINGS FOR LIFE SAFETY/ EGRESS LIGHTS.</div> <div>3. ALL INTERIOR PARTITION ARE TO BE WALL TYPE 4, UNLESS OTHERWISE NOTED.</div> <div>4. ALL BATHROOMS TO RECEIVE WATER RESISTANT GYP. BOARD IN NON WET AREAS.</div> <div>5. FRAMING CONTRACTOR TO VERIFY FLOOR FINISH WITH OWNER PRIOR TO INSTALLATIONS OF DOOR FRAME.</div> <div>6. SEE MECHANICAL DRAWINGS FOR ADDITIONAL INFORMATION.</div> <div>7. VERIFY LAYOUT OF ALL FIXTURES LOCATED IN CONCRETE SLAB WITH ARCHITECT PRIOR TO POUR.</div> <div>8. FINAL SELECTION, LOCATION, AND DESIGN OF FINISHES, FIXTURES, AND EQUIPMENT WILL BE PROVIDED BY OWNER.</div> <div>9. REFER TO SHEET A5-1.01 FOR ENLARGED KITCHEN PLANS AND ELEVATIONS.</div> <div>10. REFER TO SHEET A5-2.01 FOR ENLARGED BATHROOM PLANS AND ELEVATIONS.</div> <div>11. REFER TO SHEET A7-1.04 FOR WALL TYPE DETAILS.</div> <div>12. REFER TO SHEET A7-1.02 FOR DOOR SCHEDULE</div>	
<div>2</div>		WALL TYPE 2 EXTERIOR NON LOAD BEARING 8" CMU WALL W/ VERTICAL REINFORCING. SEE STRUCTURE FOR DETAILS.		
<div>3</div>		WALL TYPE 3 TYPICAL 4" INTERIOR PARTITION NON-RATED.		
<div>4</div>		WALL TYPE 4 REINFORCED CONCRETE WALL. SEE STRUCTURE FOR DETAILS.		
<div>5</div>		WALL TYPE 5 UNIT DEMISING PARTITION 1 HR FIRE RATED.		
SEE TYPICAL WALL TYPES SHEET A7-1.01 FOR DETAILS				

PROJECT AND OWNER:  
**DENBORA BAY III**

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MIAMI BEACH | FL | 33141  
2125 BAY DR LLC  
3179 HOLYLAKE RD.  
LAKE WORTH | FL | 33467

ARCHITECT:

2030 HABERSHAM TRCE | CUMMING | GA 30041  
954 812 6650  
RICARDO@MUVEARCH.COM  
AA#26003161



DESIGNER:

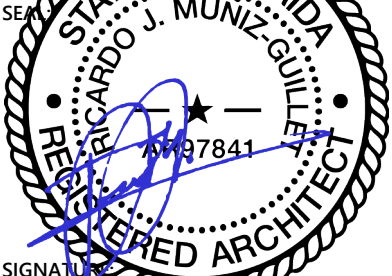


1535 NORTH PARK DRIVE #102 WESTON  
FL 33326  
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FINAL SUBMITAL

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DRAWN BY: BK APPROVED BY: YM


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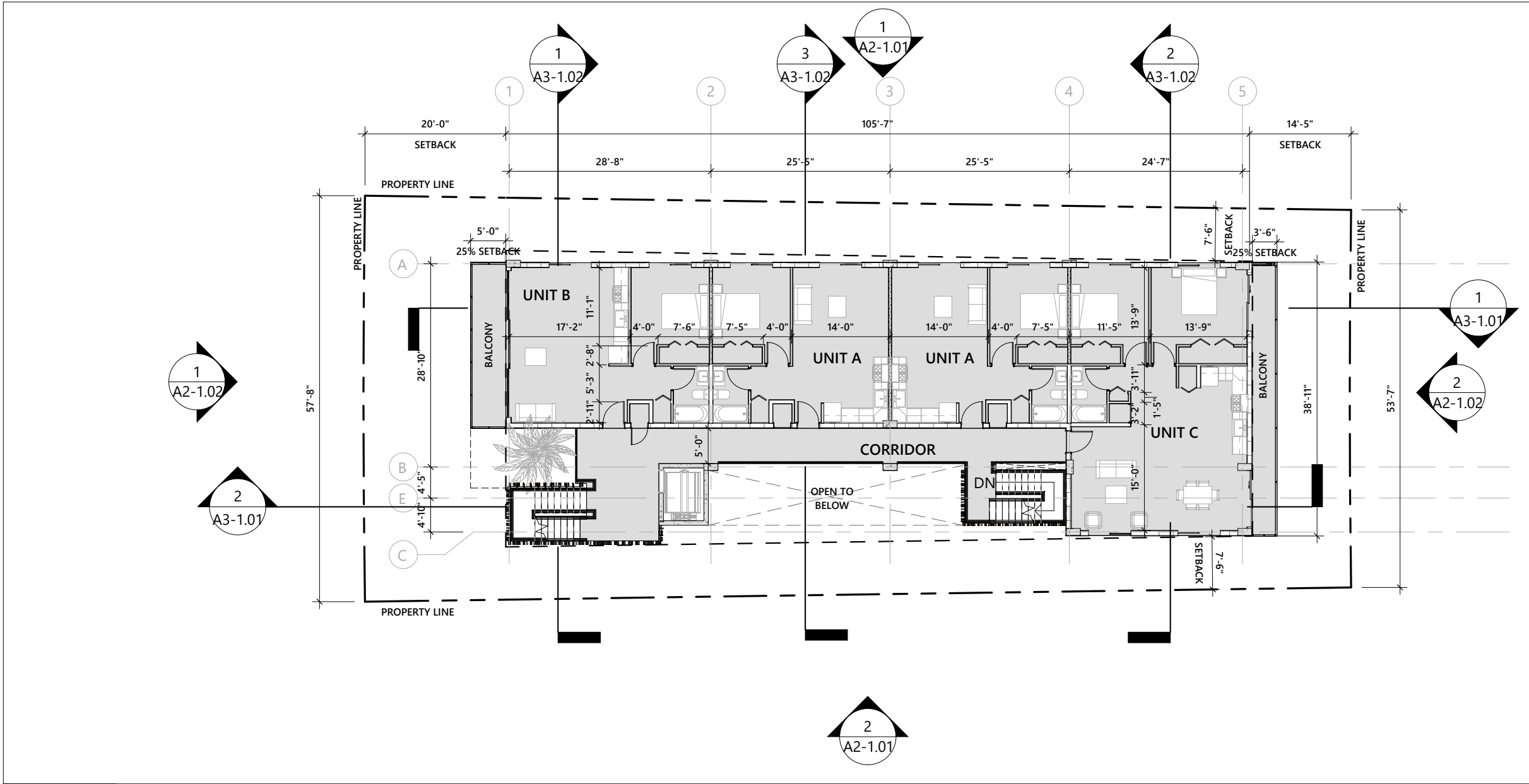
SIGNATURE:  
RICARDO J. MUNIZ-GUILLET  
LIC# AR97841

SHEET TITLE:  
**FLOOR PLAN 2ND LEVEL**

SCALE:  
**As indicated**

SHEET NO:  
**A1-1.02**

5/3/2024 12:50:07 PM



1

FLOOR PLAN LEVEL 03

1/16" = 1'-0"

WALL LEGEND		PLAN NOTES
<div>1</div>	<div></div> <div>WALL TYPE 1 TYPICAL NON LOAD BEARING 8" CMU WALL W/ VERTICAL REINFORCING. SEE STRUCTURE FOR DETAILS.</div>	<div>1. BUILDING IS FULLY SPRINKLERED.</div> <div>2. SEE ELECTRICAL DRAWINGS FOR LIFE SAFETY/ EGRESS LIGHTS.</div> <div>3. ALL INTERIOR PARTITION ARE TO BE WALL TYPE 4, UNLESS OTHERWISE NOTED.</div> <div>4. ALL BATHROOMS TO RECEIVE WATER RESISTANT GYP. BOARD IN NON WET AREAS.</div> <div>5. FRAMING CONTRACTOR TO VERIFY FLOOR FINISH WITH OWNER PRIOR TO INSTALLATIONS OF DOOR FRAME.</div> <div>6. SEE MECHANICAL DRAWINGS FOR ADDITIONAL INFORMATION.</div> <div>7. VERIFY LAYOUT OF ALL FIXTURES LOCATED IN CONCRETE SLAB WITH ARCHITECT PRIOR TO POUR.</div> <div>8. FINAL SELECTION, LOCATION, AND DESIGN OF FINISHES, FIXTURES, AND EQUIPMENT WILL BE PROVIDED BY OWNER.</div> <div>9. REFER TO SHEET A5-1.01 FOR ENLARGED KITCHEN PLANS AND ELEVATIONS.</div> <div>10. REFER TO SHEET A5-2.01 FOR ENLARGED BATHROOM PLANS AND ELEVATIONS.</div> <div>11. REFER TO SHEET A7-1.04 FOR WALL TYPE DETAILS.</div> <div>12. REFER TO SHEET A7-1.02 FOR DOOR SCHEDULE</div>
<div>2</div>	<div></div> <div>WALL TYPE 2 EXTERIOR NON LOAD BEARING 8" CMU WALL W/ VERTICAL REINFORCING. SEE STRUCTURE FOR DETAILS.</div>	
<div>3</div>	<div></div> <div>WALL TYPE 3 TYPICAL 4" INTERIOR PARTITION NON-RATED.</div>	
<div>4</div>	<div></div> <div>WALL TYPE 4 REINFORCED CONCRETE WALL. SEE STRUCTURE FOR DETAILS.</div>	
<div>5</div>	<div></div> <div>WALL TYPE 5 UNIT DEMISING PARTITION 1 HR FIRE RATED.</div>	
SEE TYPICAL WALL TYPES SHEET A7-1.01 FOR DETAILS		

PROJECT AND OWNER:  
**DENBORA BAY III**  
  
2125 Bay Dr.  
MIAMI BEACH | FL | 33141  
2125 BAY DR LLC  
  
3179 HOLYLAKE RD.  
LAKE WORTH | FL | 33467  
  
ARCHITECT:  
  
2030 HABERSHAM TRCE | CUMMING | GA 30041  
954 812 6650  
RICARDO@MUVEARCH.COM  
AA#26003161

DESIGNER:  
  
  
  
1535 NORTH PARK DRIVE #102 WESTON  
FL 33326  
954 850 9965  
ADMIN@REDOCTOPUSLLC.COM

**FINAL SUBMITAL**  
  
PERMIT APPLICATION DATE: 05-05-2024  
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PROJECT NO.: 2312  
DRAWN BY: BK  
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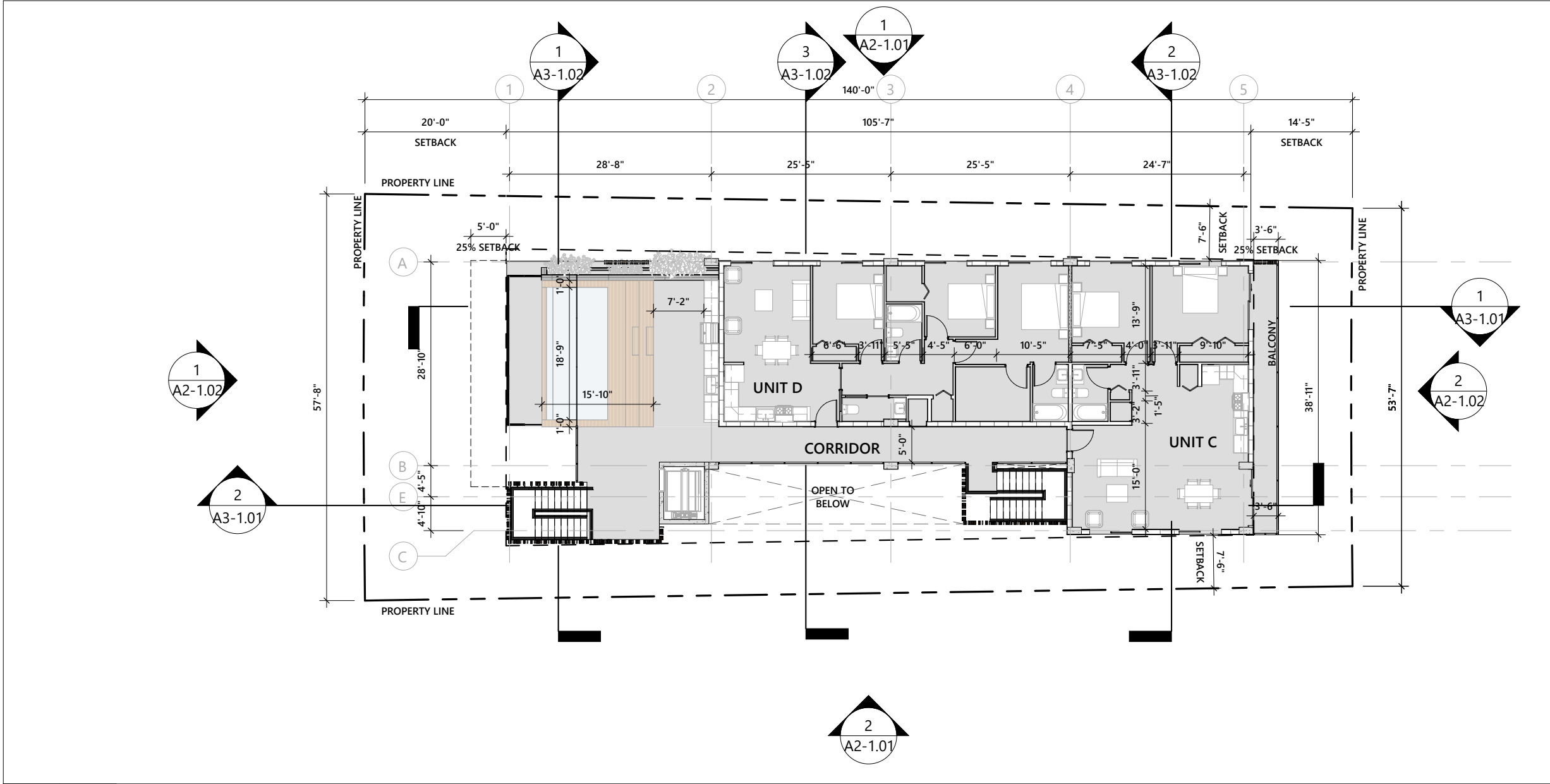

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SIGNATURE:  
RICARDO J. MUNIZ-GUILLET  
LIC# AR97841

SHEET TITLE:  
**FLOOR PLAN 3TH LEVEL**

SCALE:  
  
**As indicated**

SHEET NO:  
  
**A1-1.03**  
  
5/3/2024 12:50:10 PM



1

FLOOR PLAN LEVEL 04

1/16" = 1'-0"

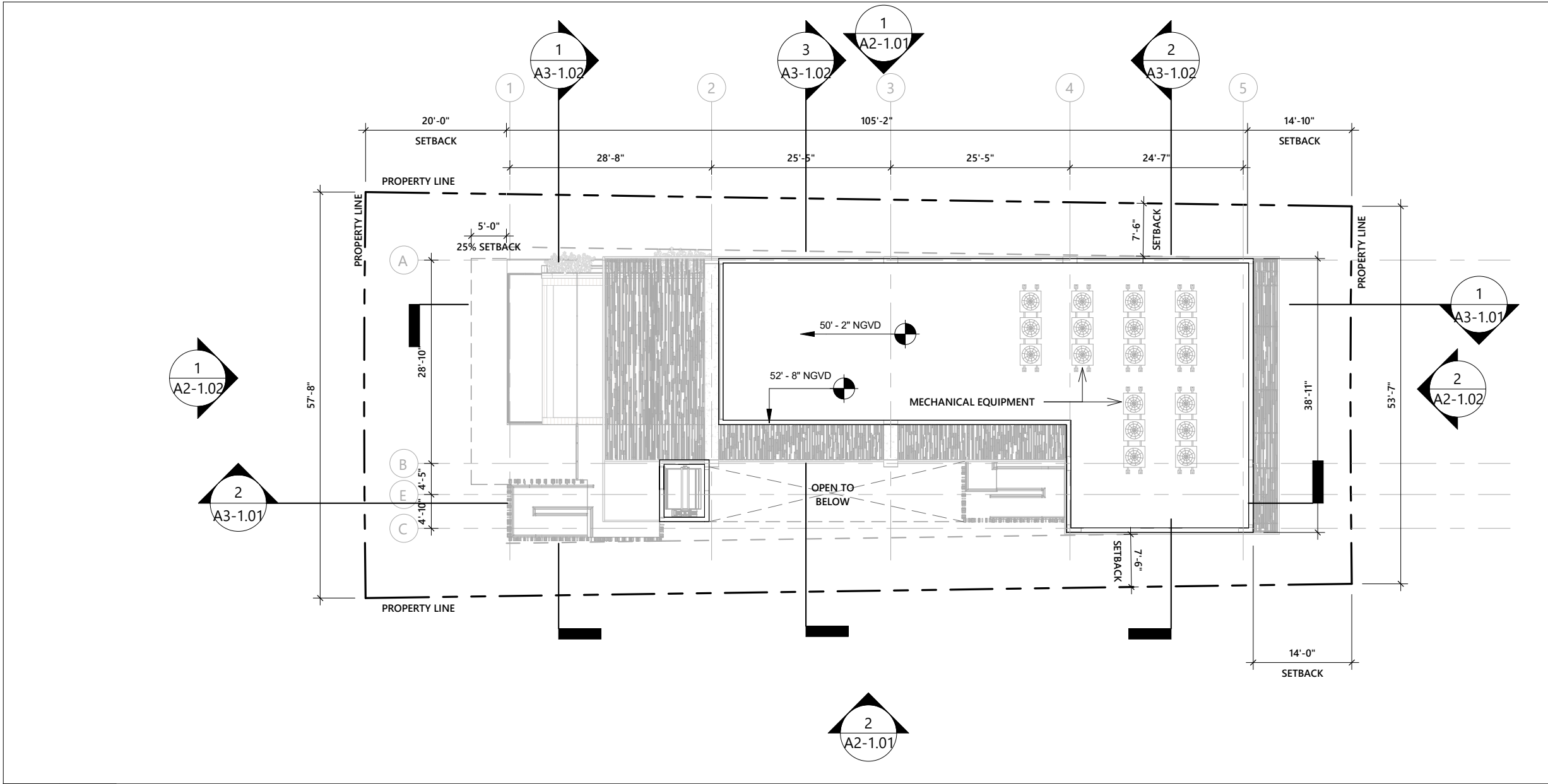
WALL LEGEND		PLAN NOTES
<div>1</div>	<div></div> <div>WALL TYPE 1 TYPICAL NON LOAD BEARING 8" CMU WALL W/ VERTICAL REINFORCING. SEE STRUCTURE FOR DETAILS.</div>	<div>1. BUILDING IS FULLY SPRINKLERED.</div> <div>2. SEE ELECTRICAL DRAWINGS FOR LIFE SAFETY/ EGRESS LIGHTS.</div> <div>3. ALL INTERIOR PARTITION ARE TO BE WALL TYPE 4, UNLESS OTHERWISE NOTED.</div> <div>4. ALL BATHROOMS TO RECEIVE WATER RESISTANT GYP. BOARD IN NON WET AREAS.</div> <div>5. FRAMING CONTRACTOR TO VERIFY FLOOR FINISH WITH OWNER PRIOR TO INSTALLATIONS OF DOOR FRAME.</div> <div>6. SEE MECHANICAL DRAWINGS FOR ADDITIONAL INFORMATION.</div> <div>7. VERIFY LAYOUT OF ALL FIXTURES LOCATED IN CONCRETE SLAB WITH ARCHITECT PRIOR TO POUR.</div> <div>8. FINAL SELECTION, LOCATION, AND DESIGN OF FINISHES, FIXTURES, AND EQUIPMENT WILL BE PROVIDED BY OWNER.</div> <div>9. REFER TO SHEET A5-1.01 FOR ENLARGED KITCHEN PLANS AND ELEVATIONS.</div> <div>10. REFER TO SHEET A5-2.01 FOR ENLARGED BATHROOM PLANS AND ELEVATIONS.</div> <div>11. REFER TO SHEET A7-1.04 FOR WALL TYPE DETAILS.</div> <div>12. REFER TO SHEET A7-1.02 FOR DOOR SCHEDULE</div>
<div>2</div>	<div></div> <div>WALL TYPE 2 EXTERIOR NON LOAD BEARING 8" CMU WALL W/ VERTICAL REINFORCING. SEE STRUCTURE FOR DETAILS.</div>	
<div>3</div>	<div></div> <div>WALL TYPE 3 TYPICAL 4" INTERIOR PARTITION NON-RATED.</div>	
<div>4</div>	<div></div> <div>WALL TYPE 4 REINFORCED CONCRETE WALL. SEE STRUCTURE FOR DETAILS.</div>	
<div>5</div>	<div></div> <div>WALL TYPE 5 UNIT DEMISING PARTITION 1 HR FIRE RATED.</div>	
SEE TYPICAL WALL TYPES SHEET A7-1.01 FOR DETAILS		

PROJECT AND OWNER:  
**DENBORA BAY III**  
  
2125 Bay Dr.  
MIAMI BEACH | FL | 33141  
2125 BAY DR LLC  
  
3179 HOLYLAKE RD.  
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ARCHITECT:  
  
2030 HABERSHAM TRCE | CUMMING | GA 30041  
954 812 6650  
RICARDO@MUVEARCH.COM  
AA#26003161


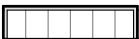








DESIGNER:  
  
  
  
1535 NORTH PARK DRIVE #102 WESTON  
FL 33326  
954 850 9965  
ADMIN@REDOCTOPUSLLC.COM

**FINAL SUBMITAL**  
  
PERMIT APPLICATION DATE: 05-05-2024  
SHEET ISSUE DATE: 03-31-2023  
  
PROJECT NO.: 2312  
DRAWN BY: BK  
APPROVED BY: YM  


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SEAL:   
  
SIGNATURE:   
RICARDO J. MUNIZ-GUILLET  
LIC# AR97841  
  
SHEET TITLE:  
**FLOOR PLAN 4TH LEVEL**  
  
SCALE:  
**As indicated**  
  
SHEET NO:  
**A1-1.04**  
  
5/3/2024 12:50:13 PM



	1	<b>TOP OF ROOF</b> 1/16" = 1'-0"
--	---	-------------------------------------

GROUND LEVEL AREA: 3,986 S.F.	WALL LEGEND		PLAN NOTES
		 <div>WALL TYPE 1 TYPICAL NON LOAD BEARING 8" CMU WALL W/ VERTICAL REINFORCING. SEE STRUCTURE FOR DETAILS.</div>	<div>1. BUILDING IS FULLY SPRINKLERED.</div> <div>2. SEE ELECTRICAL DRAWINGS FOR LIFE SAFETY/ EGRESS LIGHTS.</div> <div>3. ALL INTERIOR PARTITION ARE TO BE WALL TYPE 4, UNLESS OTHERWISE NOTED.</div> <div>4. ALL BATHROOMS TO RECEIVE WATER RESISTANT GYP. BOARD IN NON WET AREAS.</div> <div>5. FRAMING CONTRACTOR TO VERIFY FLOOR FINISH WITH OWNER PRIOR TO INSTALLATIONS OF DOOR FRAME.</div> <div>6. SEE MECHANICAL DRAWINGS FOR ADDITIONAL INFORMATION.</div> <div>7. VERIFY LAYOUT OF ALL FIXTURES LOCATED IN CONCRETE SLAB WITH ARCHITECT PRIOR TO POUR.</div> <div>8. FINAL SELECTION, LOCATION, AND DESIGN OF FINISHES, FIXTURES, AND EQUIPMENT WILL BE PROVIDED BY OWNER.</div> <div>9. REFER TO SHEET A5-1.01 FOR ENLARGED KITCHEN PLANS AND ELEVATIONS.</div> <div>10. REFER TO SHEET A5-2.01 FOR ENLARGED BATHROOM PLANS AND ELEVATIONS.</div> <div>11. REFER TO SHEET A7-1.04 FOR WALL TYPE DETAILS.</div> <div>12. REFER TO SHEET A7-1.02 FOR DOOR SCHEDULE</div>
		 <div>WALL TYPE 2 EXTERIOR NON LOAD BEARING 8" CMU WALL W/ VERTICAL REINFORCING. SEE STRUCTURE FOR DETAILS.</div>	
		 <div>WALL TYPE 3 TYPICAL 4" INTERIOR PARTITION NON-RATED.</div>	
		 <div>WALL TYPE 4 REINFORCED CONCRETE WALL. SEE STRUCTURE FOR DETAILS.</div>	
		 <div>WALL TYPE 5 UNIT DEMISING PARTITION 1 HR FIRE RATED.</div>	
SEE TYPICAL WALL TYPES SHEET A7-1.01 FOR DETAILS			

PROJECT AND OWNER:

## DENBORA BAY III

2125 Bay Dr.  
MIAMI BEACH | FL | 33141  
2125 BAY DR LLC  
3179 HOLYLAKE RD.  
LAKE WORTH | FL | 33467

ARCHITECT:

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RICARDO@MUVEARCH.COM  
AA#26003161

DESIGNER:

1535 NORTH PARK DRIVE #102 WESTON  
FL 33326  
954 850 9965  
ADMIN@REDOCTOPUSLLC.COM

## FINAL SUBMITAL

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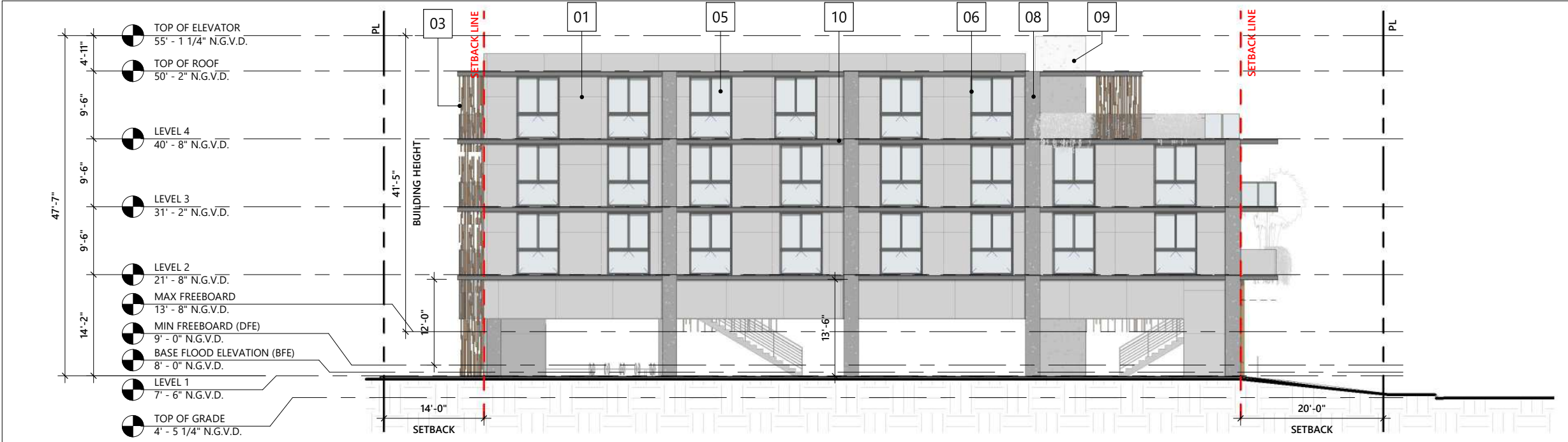
SIGNATURE:  
RICARDO J. MUNIZ-GUILLET  
LIC# AR97841

SHEET TITLE:  
**TOP OF ROOF**

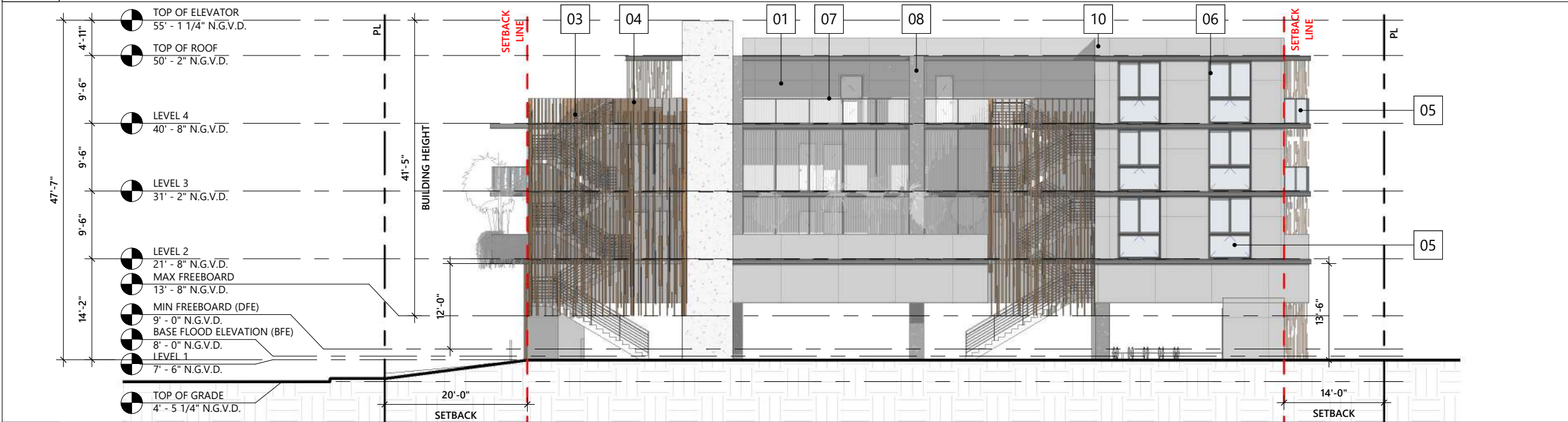
SCALE:  
**As indicated**

SHEET NO:  
**A1-1.05**

5/3/2024 12:50:16 PM



**1 NORTH ELEVATION**  
1/16" = 1'-0"



**2 SOUTH ELEVATION**  
1/16" = 1'-0"

MATERIAL LEGEND									
	1 EXPOSED CONCRETE		3 WOOD SIDING		5 LAMINATED GLASS		7 VERTICAL ALUMINUM BALUSTERS		9 CAST IN PLACE CONCRETE LIGHT
	2 GRAY PAVERS		4 WOOD TEAK		6 ALUMINUM FRAMING		8 CAST IN PLACE CONCRETE		10 GRAY STEEL FRAMING C CHANNEL

PROJECT AND OWNER:  
**DENBORA BAY III**

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LAKE WORTH | FL | 33467

ARCHITECT:  
  
2030 HABERSHAM TRCE | CUMMING | GA 30041  
954 812 6650  
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AA#26003161



DESIGNER:

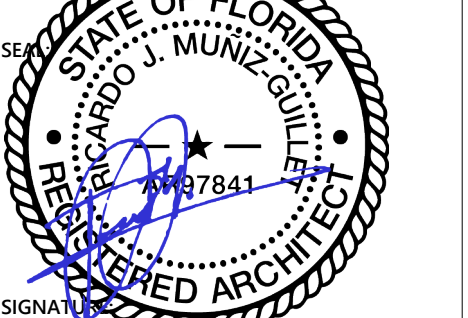


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CONSENT



SIGNATURE:  
RICARDO J. MUNIZ-GUILLET  
LIC# AR97841

SHEET TITLE:  
**NORTH & SOUTH ELEVATION**

SCALE:  
**As indicated**

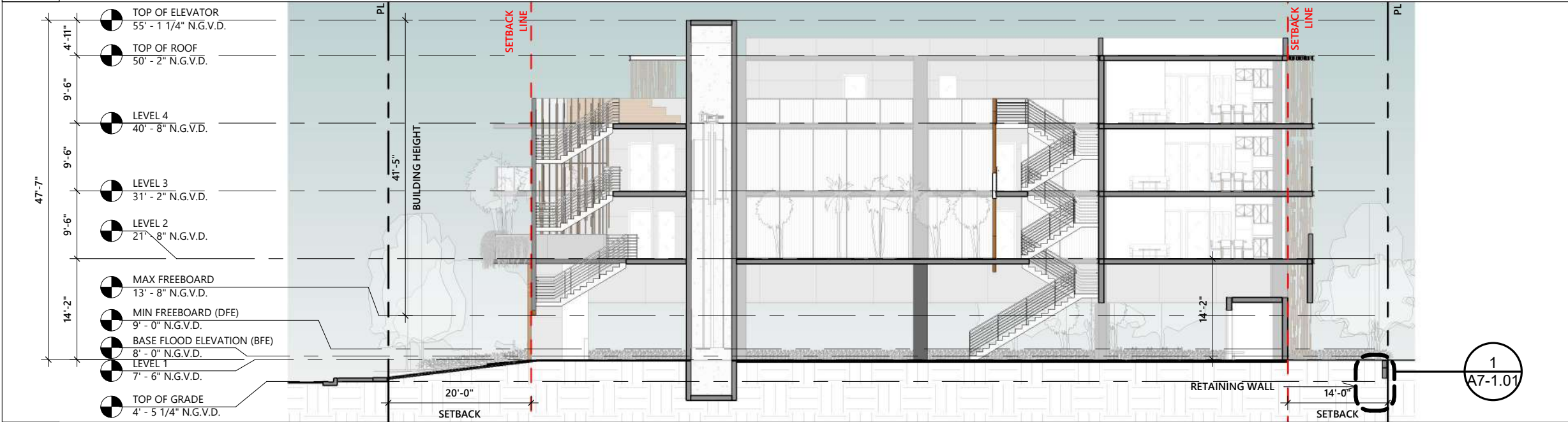
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**A2-1.01**

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**1 LONGITUDINAL SECTION 01**  
1/16" = 1'-0"



**2 LONGITUDINAL SECTION 02**  
1/16" = 1'-0"

**PROJECT AND OWNER:**  
**DENBORA BAY III**  
2125 Bay Dr.  
MIAMI BEACH | FL | 33141  
2125 BAY DR LLC  
3179 HOLYLAKE RD.  
LAKE WORTH | FL | 33467

**ARCHITECT:**  
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954 812 6650  
RICARDO@MUVEARCH.COM  
AA#26003161

**DESIGNER:**

**RED OCTOPUS.LLC**  
INTEGRAL ARCHITECTURAL SERVICES

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STATE OF FLORIDA  
RICARDO J. MUNIZ-GUILLET  
REGISTERED ARCHITECT  
AR97841

SIGNATURE:  
RICARDO J. MUNIZ-GUILLET  
LIC# AR97841

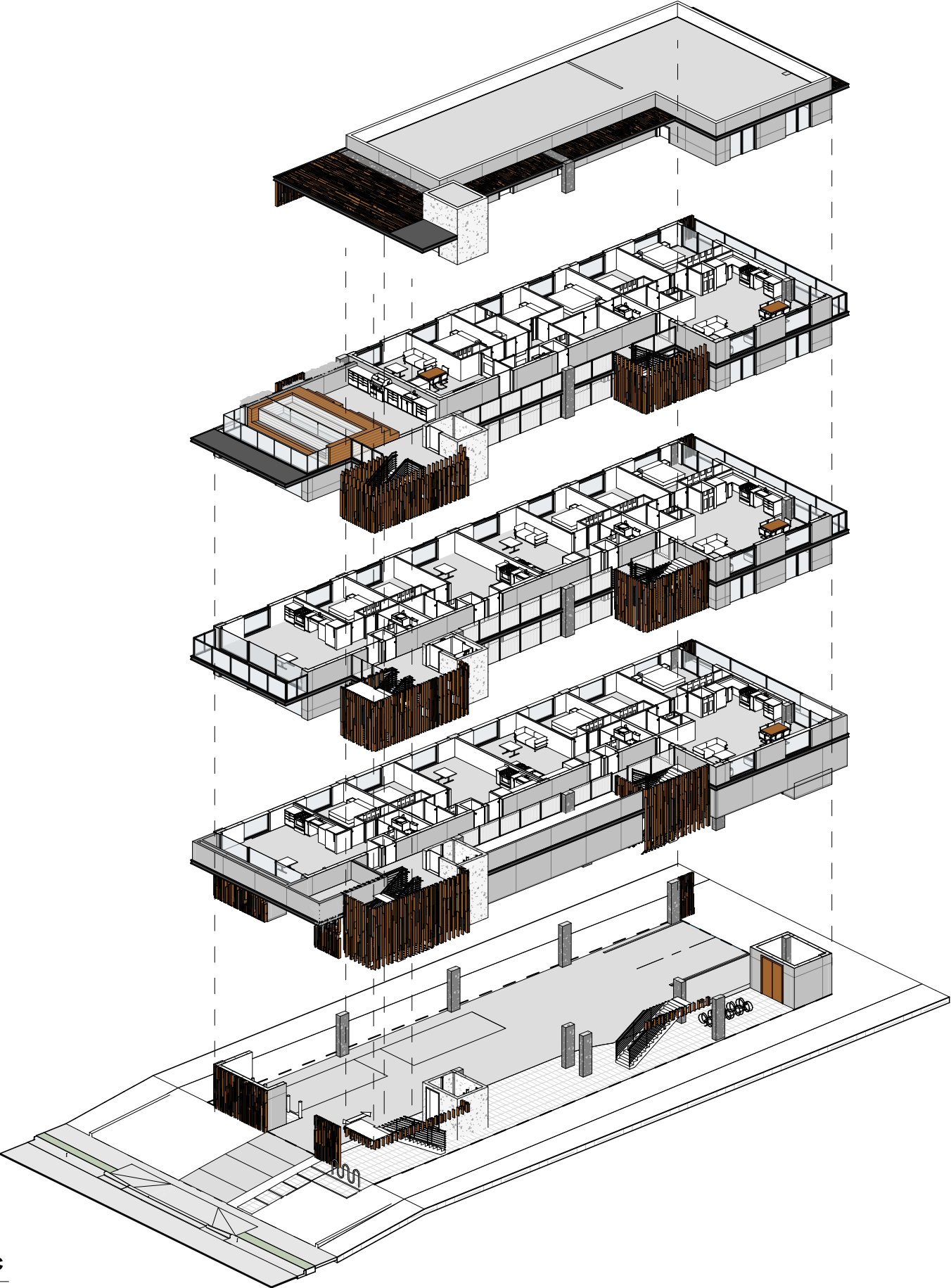
SHEET TITLE:  
**LONGITUDINAL SECTION**

SCALE:  
**1/16" = 1'-0"**

SHEET NO:  
**A3-1.01**

5/3/2024 12:50:36 PM





← TOP OF ROOF

← FLOOR PLAN 4TH LEVEL

← FLOOR PLAN 3RD LEVEL

← FLOOR PLAN 2ND LEVEL

← GROUND LEVEL PLAN

PROJECT AND OWNER:  
**DENBORA BAY III**

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MIAMI BEACH | FL | 33141  
2125 BAY DR LLC  
  
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ARCHITECT:

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954 812 6650  
RICARDO@MUVEARCH.COM  
AA#26003161



DESIGNER:



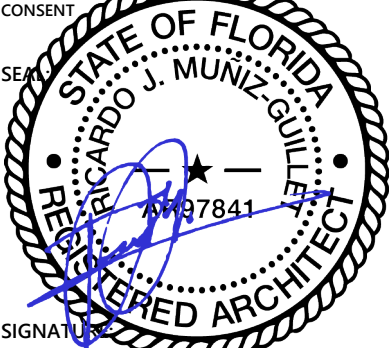
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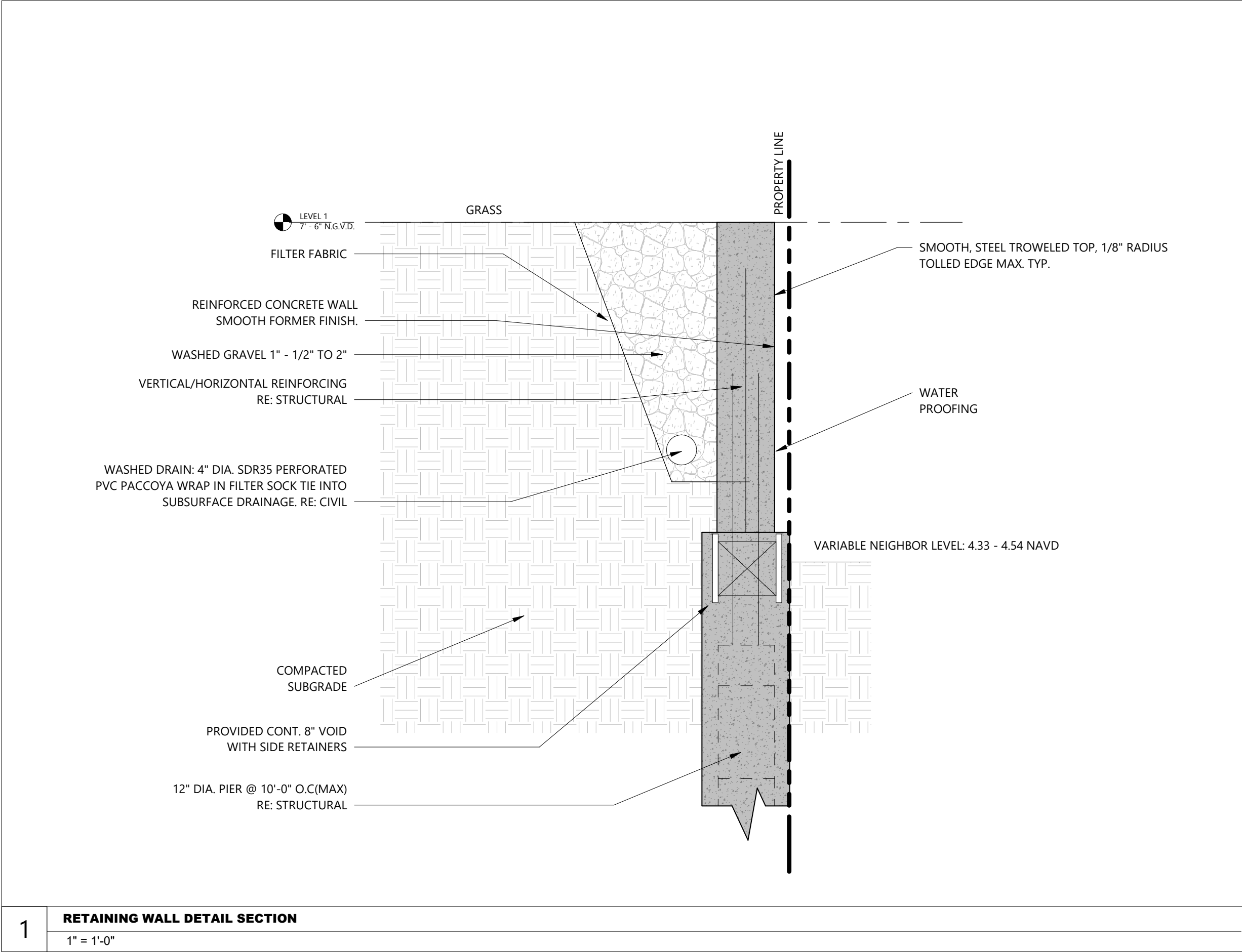
SIGNATURE:  
RICARDO J. MUNIZ-GUILLET  
LIC# AR97841

SHEET TITLE:  
**EXPLOTED AXONOMETRIC**

SCALE:  
**N.T.S.**

SHEET NO:  
**A3-1.03**

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PROJECT AND OWNER:  
**DENBORA BAY III**  
  
2125 Bay Dr.  
MIAMI BEACH | FL | 33141  
2125 BAY DR LLC  
  
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CONSENT  

SIGNATURE:  
RICARDO J. MUNIZ-GUILLET  
LIC# AR97841

  
SHEET TITLE:  
**WALL DETAIL**  
  
SCALE:  
  
1" = 1'-0"  
  
SHEET NO:  
  
**A7-1.01**  
  
5/3/2024 12:51:28 PM



PROJECT AND OWNER:  
**DENBORA BAY III**

2125 Bay Dr.  
MIAMI BEACH | FL | 33141  
2125 BAY DR LLC  
  
3179 HOLYLAKE RD.  
LAKE WORTH | FL | 33467

ARCHITECT:  
  
2030 HABERSHAM TRCE | CUMMING | GA 30041  
954 812 6650  
RICARDO@MUVEARCH.COM  
AA#26003161



DESIGNER:

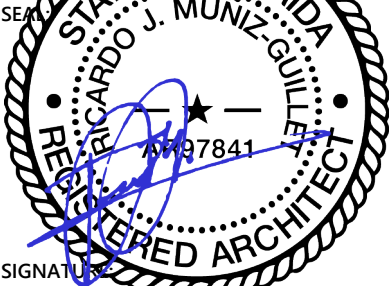


1535 NORTH PARK DRIVE #102 WESTON  
FL 33326  
954 850 9965  
ADMIN@REDOCTOPUSLLC.COM

**FINAL SUBMITAL**

PERMIT APPLICATION DATE: 05-05-2024  
SHEET ISSUE DATE: 03-31-2023  
PROJECT NO.: 2312  
DRAWN BY: BK APPROVED BY: YM


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LIC# AR97841

SHEET TITLE:  
**STREET VIEW**

SCALE:

**N.T.S.**

SHEET NO:

**A4-1.01**

5/3/2024 12:51:30 PM




PROJECT AND OWNER:

DENBORA BAY III


2125 Bay Dr.  
MIAMI BEACH | FL | 33141  
2125 BAY DR LLC  
  
3179 HOLYLAKE RD.  
LAKE WORTH | FL | 33467

ARCHITECT:

2030 HABERSHAM TRCE | CUMMING | GA 30041  
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DESIGNER:



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FL 33326  
954 850 9965  
ADMIN@REDOCTOPUSLLC.COM

FINAL SUBMITAL

PERMIT APPLICATION DATE:05-05-2024

SHEET ISSUE DATE:03-31-2023

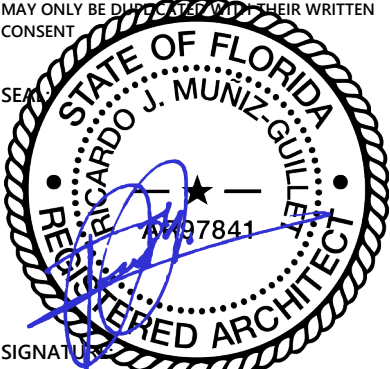
PROJECT NO.:2312

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LIC# AR97841

SHEET TITLE:

REAR VIEW

SCALE:

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SHEET NO:

A4-1.02

5/3/2024 12:51:32 PM




PROJECT AND OWNER:

DENBORA BAY III

2125 Bay Dr.  
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3179 HOLYLAKE RD.  
LAKE WORTH | FL | 33467

ARCHITECT:

2030 HABERSHAM TRCE | CUMMING | GA 30041  
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DESIGNER:



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FL 33326  
954 850 9965  
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FINAL SUBMITAL

PERMIT APPLICATION DATE:05-05-2024

SHEET ISSUE DATE:03-31-2023

PROJECT NO.:2312

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LIC# AR97841

SHEET TITLE:

EXTERIOR PATIO VIEW

SCALE:

N.T.S.

SHEET NO:

A4-1.03

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PROJECT AND OWNER:  
**DENBORA BAY III**

2125 Bay Dr.  
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LAKE WORTH | FL | 33467

ARCHITECT:

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AA#26003161



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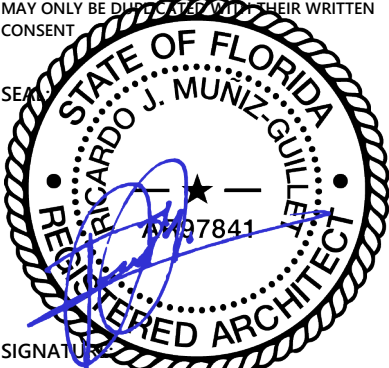
1535 NORTH PARK DRIVE #102 WESTON  
FL 33326  
954 850 9965  
ADMIN@REDOCTOPUSLLC.COM

**FINAL SUBMITAL**

PERMIT APPLICATION DATE: 05-05-2024  
SHEET ISSUE DATE: 03-31-2023  
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LIC# AR97841

SHEET TITLE:  
**ROOFTOP VIEW**

SCALE:  
**N.T.S.**

SHEET NO:  
**A4-1.04**

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PROJECT AND OWNER:

# DENBORA BAY III

2125 Bay Dr.  
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LAKE WORTH | FL | 33467

ARCHITECT:

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AA#26003161



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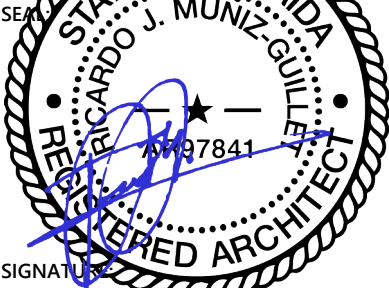


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ADMIN@REDOCTOPUSLLC.COM

## FINAL SUBMITAL

PERMIT APPLICATION DATE: 05-05-2024  
SHEET ISSUE DATE: 03-31-2023  
PROJECT NO.: 2312  
DRAWN BY: BK APPROVED BY: YM


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LIC# AR97841

SHEET TITLE:  
**AXONOMETRIC VIEW**

SCALE:

SHEET NO:  
**A4-1.05**

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