

DENBORA BAY III

2125 Bay Dr.
MIAMI BEACH | FL | 33141



DRB FINE NUMBER: DRB23 -0961

SCOPE OF WORK:
MULTI - FAMILY

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PROJECT AND OWNER:

DENBORA BAY III

2125 Bay Dr.
MIAMI BEACH | FL | 33141
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FINAL SUBMITAL

PERMIT APPLICATION DATE: 05-05-2024
SHEET ISSUE DATE: 03-31-2023
PROJECT NO.: 2312
DRAWN BY: BK APPROVED BY: YM

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ALL DRAWINGS AND WRITTEN MATERIALS HEREIN
CONSTITUTE ORIGINAL WORK OF THE DESIGNER AND
MAY ONLY BE DUPLICATED WITH THEIR WRITTEN
CONSENT

SEAL:

Ricardo J
Muniz-Guillet
2024.05.04
19:03:14-04'00'



SIGNATURE:

RICARDO J. MUNIZ-GUILLET
LIC# AR97841

SHEET TITLE:

COVER SHEET

SCALE:

N.T.S.

SHEET NO:

G-0

5/3/2024 12:49:14 PM

| ABBREVIATIONS | | | |
|---------------|-------------------------|----------|-----------------------------------|
| A | AND | FA | FIRE ALARM |
| @ | ANCHOR BOLT | FAB | FABRICATED |
| ABV | ABOVE | FC | FLOOR COVERING |
| ACC | AIR CONDITIONING | FD | FLOOR DRAIN |
| ACC | ACCESS | FE | FIRE EXTINGUISHER |
| AD | AREA DRAIN | FEC | FIRE EXTINGUISHER CABINET |
| ADD | ADDENDUM | FEL | FIRE EXTINGUISHER LOCKER |
| ACL | ACCESS FLOOR | FEM | FEMALE |
| ACTL | ACOUSTICAL TILE | FFL | FINISH FLOOR LINE |
| ADH | ADHESIVE | FH | FIRE HYDRANT |
| ADI | ADIACENT | FHC | FIRE HOSE CABINET |
| ADJ | ADJUSTABLE | FIN | FINISHED |
| AF | ABOVE FINISH FLOOR | FJT | FLUSH JOINT |
| AGG | AGGREGATE | FLAM | FLAMMABLE |
| ALT | ALTERNATE | FLSH | FLASHING |
| ALUM | ALUMINUM | FLR | FLOORING |
| ANC | ANCHOR ANCHORAGE | FLX | FLEXIBLE |
| ANOD | ANODIZED | FLCO | FLOOR CLEANOUT |
| AP | ACCESS PANEL | FLUR | FLOOR |
| APPROX | APPROXIMATELY | F.M. | FRAMED MIRROR |
| ARCH | ARCHITECTURAL | FND | FOUNDATION |
| ASC | ABOVE SUSPENDED CEILING | FOC | FACE OF CONC. |
| ASPH | ASPHALTIC | F.O.M. | FACE OF MASONRY |
| AUTO | AUTOMATIC | F.O.S. | FACE OF STUDS |
| AVG | AVERAGE | FR | FRAME (ING) |
| < | ANGLE | FRA | FRESH AIR |
| ACOUS. | ACOUSTICAL | FRG | FORGED |
| B | BASE | FS | FULL SIZE |
| BRG | BEARING | FT | FOOT, FEET |
| BPL | BEARING PLATE | FTG | FOOTING |
| BJT | BED JOINT | FUR | FURRED(ING) |
| BL | BELOW | FUT | FUTURE |
| BET | BETWEEN | | |
| BVL | BEVELLED | | |
| BT | BITUMINOUS | GA | GAUGE |
| BOARD | BOARD | GALV | GALVANIZED |
| BS | BOTH SIDES | GB | GYPSUM BOARD, GRAB BAR |
| BW | BOTH WAYS | GB | GRAB BAR |
| BK | BLOCK | GC | GENERAL CONTRACTOR |
| BLDG | BLOCKING | GC/MU | GLAZED CONC. MASONRY UNIT |
| BM | BEAM | GD | GRADE, GRADING |
| B.M. | BENCH MARK | GF | GROUND FACE |
| B.O.F. | BOTTOM OF FOOTING | GI | GALVANIZED IRON |
| BOT | BOTTOM | GET | GASKETER |
| BRK | BRICK | GL | GLASS, GLAZING |
| BRZ | BRONZE | GP | GALVANIZED PIPE |
| BLDG | BUILDING | GL | GRID LINE |
| BUR | BUILT UP ROOFING | GLB | GLASS BLOCK |
| B.B. | BULLETIN BOARD | GLF | GLASS FIBER |
| BDO | BY OTHER | GN | GENERAL NOTES |
| BRKT | BRACKET | GN | GYPSUM LATH |
| | | GPT | GYPSUM TILE |
| CL | CENTER LINE | G.W.B. | GYPSUM WALL BOARD |
| CAB | CABINET | GP/PL | GYPSUM PLASTER |
| CB | CATCH BASIN | GALV | GALVANIZED |
| CEM | CEMENT | GRN | GRANITE |
| CER | CERAMIC | GSS | GALVANIZED STEEL SHEET |
| C.F. | COUNTER FLASHING | GST | GLAZED STRUCTURAL TILE |
| CG | CORNER GUARD | GTV | GROUT |
| CHAM | CHAMFER | | |
| CHT | CEILING HEIGHT | PAR | PARALLEL |
| C.I. | CAST IRON | P.B. | PEGBOARD |
| C.I.P. | CAST-IN-PLACE | PB | PANIC BAR |
| CIRC | CIRCUMFERENCE | PBD | PARTICLE BOARD |
| CR | CIRCLE | PCC | PRECAST CONCRETE |
| CJT | CONTROL JOINT | PCG | POUNDS PER CUBIC FT. |
| CK | CALL OR CALLK (ING) | PERF | PERFORATE |
| CLG | CEILING | PERM | PERIMETER |
| CLD | CLOSET | PERF | PORCELAIN ENAMEL (PRE-FABRICATED) |
| CLS | CLEAR (ANCE) | PERF | PERFORATE |
| CLOS | CLOSURE | PH | HANDHOLE |
| CMU | CONCRETE MASONRY UNIT | PH | HEAD JOINT |
| COL | COLUMN | PH | HOOK (S) |
| COMP | COMPONENT | PH | PREFINISHED |
| CONC | CONCRETE | PH | HOLLOW METAL |
| CONF | CONFERENCE | PH | HORIZONTAL |
| CONST | CONSTRUCTION | PH | HIGH POINT |
| CONT | CONTINUOUS CONTINUE | HPS | HIGH PRESSURE SODIUM |
| CONTR | CONTRACTOR | HT | HEIGHT |
| CPT | CARPET | HVC | HEATING |
| CR | CHROMIUM (PLATED) | HVAC | HEATING/VENTILATING/ |
| C.R. | CURTAIN ROD | CR | AIR CONDITIONING |
| CSMT | CASEMENT | HWD | HARDWOOD |
| CT | CERAMIC TILE | HWH | HOT WATER HEATER |
| CU/FT | CUBIC FEET (FOOT) | HR | HOUR |
| CU/IN | CUBIC INCH | ID. | INSIDE DIAMETER |
| CU/VD | CUBIC YARD | IBP | IMPERVIOUS |
| CBRD | CHALKBOARD | IN | INCH |
| CONN | CONNECTION | INCL | INCLUDE (ING) (D) |
| CORR | CORROSION | INCN | INCINERATOR |
| CTR | CENTER | IK | INTERLOCK |
| CTS&L | COUNTER SUNK | IPS | IRON PIPE SIZE |
| | | INS | INSULATED(ION) |
| D | DRAIN | INS | INSULATING CONC. |
| DA | DOUBLE ACTING | INT | INTERIOR |
| DJF | DRAINING FOUNTAIN | INSF | INSULATING FILL |
| DAL | DIAMETER DOWNSPOUT | INTM | INTERMEDIATE |
| DWG | DRAWING | DEMOL | DEMOLITION |
| DWR | DRAWER | DEPT. | DEPARTMENT |
| DISP | DISPENSER | DET | DETAIL |
| D.S. | DOWNSPOUT | DIA | DIAGONAL |
| | | DM | DIAMETER |
| | | DM | DIMENSION |
| | | DN | DIVISION |
| | | DMT | DEMOUNTABLE |
| | | DN | DOWN |
| | | D.O. | DOOR OPENING |
| | | DPR | DAMPEN |
| | | DR | DOOR |
| | | D.F. | DRAINING FOUNTAIN |
| | | DAL | DIAMETER DOWNSPOUT |
| | | DWG | DRAWING |
| | | DWR | DRAWER |
| | | DISP | DISPENSER |
| | | D.S. | DOWNSPOUT |
| | | L | LENGTH |
| | | LAB | LABORATORY |
| | | LAD | LADDER |
| | | LAM | LAMINATED |
| | | LAV | LAVATORY |
| | | EA | EXHAUST AIR |
| | | E.H.D. | ELECTRIC HAND DRYER |
| | | EXP B | EXPANSION BOLT |
| | | EL | ELEVATION |
| | | ELEV | ELEVATOR |
| | | ELEC | ELECTRICAL |
| | | EMERG | EMERGENCY |
| | | ENCL | ENCLOSURE |
| | | EP | ELECTRICAL PANELBOARD |
| | | EQ | EQUAL |
| | | EQUIP | EQUIPMENT |
| | | E.W. | EACH WAY |
| | | EXH | EXHAUST |
| | | EXST. | EXISTING |
| | | EXPD | EXPOSED |
| | | EXP. JT. | EXPANSION JOINT |
| | | EXT | EXTERIOR |
| | | EW | ELECTRIC WATER COOLER |
| | | FA | FIRE ALARM |
| | | FAB | FABRICATED |
| | | FBO | FURNISHED BY OTHERS |
| | | FC | FLOOR COVERING |
| | | FD | FLOOR DRAIN |
| | | FE | FIRE EXTINGUISHER |
| | | FEC | FIRE EXTINGUISHER CABINET |
| | | FEL | FIRE EXTINGUISHER LOCKER |
| | | FEM | FEMALE |
| | | FFL | FINISH FLOOR LINE |
| | | FH | FIRE HYDRANT |
| | | FHC | FIRE HOSE CABINET |
| | | FIN | FINISHED |
| | | FJT | FLUSH JOINT |
| | | FLAM | FLAMMABLE |
| | | FLSH | FLASHING |
| | | FLR | FLOORING |
| | | FLX | FLEXIBLE |
| | | FLCO | FLOOR CLEANOUT |
| | | FLUR | FLOOR |
| | | F.M. | FRAMED MIRROR |
| | | FND | FOUNDATION |
| | | FOC | FACE OF CONC. |
| | | F.O.M. | FACE OF MASONRY |
| | | F.O.S. | FACE OF STUDS |
| | | FR | FRAME (ING) |
| | | FRA | FRESH AIR |
| | | FRG | FORGED |
| | | FS | FULL SIZE |
| | | FT | FOOT, FEET |
| | | FTG | FOOTING |
| | | FUR | FURRED(ING) |
| | | FUT | FUTURE |
| | | | |
| | | GA | GAUGE |
| | | GALV | GALVANIZED |
| | | GB | GYPSUM BOARD, GRAB BAR |
| | | GB | GRAB BAR |
| | | GC | GENERAL CONTRACTOR |
| | | GC/MU | GLAZED CONC. MASONRY UNIT |
| | | GD | GRADE, GRADING |
| | | GF | GROUND FACE |
| | | GI | GALVANIZED IRON |
| | | GET | GASKETER |
| | | GL | GLASS, GLAZING |
| | | GP | GALVANIZED PIPE |
| | | GL | GRID LINE |
| | | GLB | GLASS BLOCK |
| | | GLF | GLASS FIBER |
| | | GN | GENERAL NOTES |
| | | GN | GYPSUM LATH |
| | | GPT | GYPSUM TILE |
| | | G.W.B. | GYPSUM WALL BOARD |
| | | GP/PL | GYPSUM PLASTER |
| | | GALV | GALVANIZED |
| | | GRN | GRANITE |
| | | GSS | GALVANIZED STEEL SHEET |
| | | GST | GLAZED STRUCTURAL TILE |
| | | GTV | GROUT |
| | | | |
| | | PAR | PARALLEL |
| | | P.B. | PEGBOARD |
| | | PB | PANIC BAR |
| | | PBD | PARTICLE BOARD |
| | | PCC | PRECAST CONCRETE |
| | | PCG | POUNDS PER CUBIC FT. |
| | | PERF | PERFORATE |
| | | PERM | PERIMETER |
| | | PERF | PORCELAIN ENAMEL (PRE-FABRICATED) |
| | | PH | HANDHOLE |
| | | PH | HEAD JOINT |
| | | PH | HOOK (S) |
| | | PH | PREFINISHED |
| | | PH | HOLLOW METAL |
| | | PH | HORIZONTAL |
| | | PH | HIGH POINT |
| | | HPS | HIGH PRESSURE SODIUM |
| | | HT | HEIGHT |
| | | HVC | HEATING |
| | | HVAC | HEATING/VENTILATING/ |
| | | CR | AIR CONDITIONING |
| | | HWD | HARDWOOD |
| | | HWH | HOT WATER HEATER |
| | | HR | HOUR |
| | | ID. | INSIDE DIAMETER |
| | | IBP | IMPERVIOUS |
| | | IN | INCH |
| | | INCL | INCLUDE (ING) (D) |
| | | INCN | INCINERATOR |
| | | IK | INTERLOCK |
| | | IPS | IRON PIPE SIZE |
| | | INS | INSULATED(ION) |
| | | INS | INSULATING CONC. |
| | | INT | INTERIOR |
| | | INSF | INSULATING FILL |
| | | INTM | INTERMEDIATE |
| | | DEMOL | DEMOLITION |
| | | DEPT. | DEPARTMENT |
| | | DET | DETAIL |
| | | DIA | DIAGONAL |
| | | DM | DIAMETER |
| | | DM | DIMENSION |
| | | DN | DIVISION |
| | | DMT | DEMOUNTABLE |
| | | DN | DOWN |
| | | D.O. | DOOR OPENING |
| | | DPR | DAMPEN |
| | | DR | DOOR |
| | | D.F. | DRAINING FOUNTAIN |
| | | DAL | DIAMETER DOWNSPOUT |
| | | DWG | DRAWING |
| | | DWR | DRAWER |
| | | DISP | DISPENSER |
| | | D.S. | DOWNSPOUT |
| | | L | LENGTH |
| | | LAB | LABORATORY |
| | | LAD | LADDER |
| | | LAM | LAMINATED |
| | | LAV | LAVATORY |
| | | EA | EXHAUST AIR |
| | | E.H.D. | ELECTRIC HAND DRYER |
| | | EXP B | EXPANSION BOLT |
| | | EL | ELEVATION |
| | | ELEV | ELEVATOR |
| | | ELEC | ELECTRICAL |
| | | EMERG | EMERGENCY |
| | | ENCL | ENCLOSURE |
| | | EP | ELECTRICAL PANELBOARD |
| | | EQ | EQUAL |
| | | EQUIP | EQUIPMENT |
| | | E.W. | EACH WAY |
| | | EXH | EXHAUST |
| | | EXST. | EXISTING |
| | | EXPD | EXPOSED |
| | | EXP. JT. | EXPANSION JOINT |
| | | EXT | EXTERIOR |
| | | EW | ELECTRIC WATER COOLER |
| | | FA | FIRE ALARM |
| | | FAB | FABRICATED |
| | | FBO | FURNISHED BY OTHERS |
| | | FC | FLOOR COVERING |
| | | FD | FLOOR DRAIN |
| | | FE | FIRE EXTINGUISHER |
| | | FEC | FIRE EXTINGUISHER CABINET |
| | | FEL | FIRE EXTINGUISHER LOCKER |
| | | FEM | FEMALE |
| | | FFL | FINISH FLOOR LINE |
| | | FH | FIRE HYDRANT |
| | | FHC | FIRE HOSE CABINET |
| | | FIN | FINISHED |
| | | FJT | FLUSH JOINT |
| | | FLAM | FLAMMABLE |
| | | FLSH | FLASHING |
| | | FLR | FLOORING |
| | | FLX | FLEXIBLE |
| | | FLCO | FLOOR CLEANOUT |
| | | FLUR | FLOOR |
| | | F.M. | FRAMED MIRROR |
| | | FND | FOUNDATION |
| | | FOC | FACE OF CONC. |
| | | F.O.M. | FACE OF MASONRY |
| | | F.O.S. | FACE OF STUDS |
| | | FR | FRAME (ING) |
| | | FRA | FRESH AIR |
| | | FRG | FORGED |
| | | FS | FULL SIZE |
| | | FT | FOOT, FEET |
| | | FTG | FOOTING |
| | | FUR | FURRED(ING) |
| | | FUT | FUTURE |
| | | | |
| | | GA | GAUGE |
| | | GALV | GALVANIZED |
| | | GB | GYPSUM BOARD, GRAB BAR |
| | | GB | GRAB BAR |
| | | GC | GENERAL CONTRACTOR |
| | | GC/MU | GLAZED CONC. MASONRY UNIT |
| | | GD | GRADE, GRADING |
| | | GF | GROUND FACE |
| | | GI | GALVANIZED IRON |
| | | GET | GASKETER |
| | | GL | GLASS, GLAZING |
| | | GP | GALVANIZED PIPE |
| | | GL | GRID LINE |
| | | GLB | GLASS BLOCK |
| | | GLF | GLASS FIBER |
| | | GN | GENERAL NOTES |
| | | GN | GYPSUM LATH |
| | | GPT | GYPSUM TILE |
| | | G.W.B. | GYPSUM WALL BOARD |
| | | GP/PL | GYPSUM PLASTER |
| | | GALV | GALVANIZED |
| | | GRN | GRANITE |
| | | GSS | GALVANIZED STEEL SHEET |
| | | GST | GLAZED STRUCTURAL TILE |
| | | GTV | GROUT |
| | | | |
| | | PAR | PARALLEL |
| | | P.B. | PEGBOARD |
| | | PB | PANIC BAR |
| | | PBD | PARTICLE BOARD |
| | | PCC | PRECAST CONCRETE |
| | | PCG | POUNDS PER CUBIC FT. |
| | | PERF | PERFORATE |
| | | PERM | PERIMETER |
| | | PERF | PORCELAIN ENAMEL (PRE-FABRICATED) |
| | | PH | HANDHOLE |
| | | PH | HEAD JOINT |
| | | PH | HOOK (S) |
| | | PH | PREFINISHED |
| | | PH | HOLLOW METAL |
| | | PH | HORIZONTAL |
| | | PH | HIGH POINT |
| | | HPS | HIGH PRESSURE SODIUM |
| | | HT | HEIGHT |
| | | HVC | HEATING |
| | | HVAC | HEATING/VENTILATING/ |
| | | CR | AIR CONDITIONING |
| | | HWD | HARDWOOD |
| | | HWH | HOT WATER HEATER |
| | | HR | HOUR |
| | | ID. | INSIDE DIAMETER |
| | | IBP | IMPERVIOUS |
| | | IN | INCH |
| | | INCL | INCLUDE (ING) (D) |
| | | INCN | INCINERATOR |
| | | IK | INTERLOCK |
| | | IPS | IRON PIPE SIZE |
| | | INS | INSULATED(ION) |
| | | INS | INSULATING CONC. |
| | | INT | INTERIOR |
| | | INSF | INSULATING FILL |
| | | INTM | INTERMEDIATE |
| | | DEMOL | DEMOLITION |
| | | DEPT. | DEPARTMENT |
| | | DET | DETAIL |
| | | DIA | DIAGONAL |
| | | DM | DIAMETER |
| | | DM | DIMENSION |
| | | DN | DIVISION |
| | | DMT | DEMOUNTABLE |
| | | DN | DOWN |
| | | D.O. | DOOR OPENING |
| | | DPR | DAMPEN |
| | | DR | DOOR |
| | | D.F. | DRAINING FOUNTAIN |
| | | DAL | DIAMETER DOWNSPOUT |
| | | DWG | DRAWING |
| | | DWR | DRAWER |
| | | DISP | DISPENSER |
| | | D.S. | DOWNSPOUT |
| | | L | LENGTH |
| | | LAB | LABORATORY |
| | | LAD | LADDER |
| | | LAM | LAMINATED |
| | | LAV | LAVATORY |
| | | EA | EXHAUST AIR |
| | | E.H.D. | ELECTRIC HAND DRYER |
| | | EXP B | EXPANSION BOLT |
| | | EL | ELEVATION |
| | | ELEV | ELEVATOR |
| | | ELEC | ELECTRICAL |
| | | EMERG | EMERGENCY |
| | | ENCL | ENCLOSURE |
| | | EP | ELECTRICAL PANELBOARD |
| | | EQ | EQUAL |
| | | EQUIP | EQUIPMENT |
| | | E.W. | EACH WAY |
| | | EXH | EXHAUST |
| | | EXST. | EXISTING |
| | | EXPD | EXPOSED |
| | | EXP. JT. | EXPANSION JOINT |
| | | EXT | EXTERIOR |
| | | EW | ELECTRIC WATER COOLER |

| DOOR CRITERIA AND GENERAL NOTES | |
|--|--|
| 1. ALL DOORS ARE LISTED IN THE DOOR SCHEDULE | |
| 2. PARTITIONS CENTERED ON COLUMN OR GRID LINES WILL NOT BE DIMENSIONED ON THE SMALL SCALE PLANS BUT WILL BE DRAWN ACCORDINGLY: | |
| 3. PARTITIONS | |

MIAMI BEACH

Planning Department, 1700 Convention Center Drive
Miami Beach, Florida 33139, www.miamibeachfl.gov
305.673.7550

MULTIFAMILY - COMMERCIAL - ZONING DATA SHEET

| ITEM # | Zoning Information | | | | |
|--------------------------|---------------------------------|---------------------------------|----------------------|---------------------------------|--------------|
| 1 | Address: | 2125 BAY DRIVE, MIAMI, FL 33141 | | | |
| 2 | Board and file numbers : | DRB23-0961 | | | |
| 3 | Folio number(s): | 02-3210-011-0730 | | | |
| 4 | Year constructed: | 1940 | Zoning District: | RM-1-MULTIFAMILY, LOW INTENSITY | |
| 5 | Based Flood Elevation: | 8.0 N.G.V.D. | Grade value in NGVD: | 4.44' N.G.V.D. | |
| 6 | Adjusted grade (Flood+Grade/2): | 6.22' N.G.V.D. | Lot Area: | 7,789 SF | |
| 7 | Lot width: | 57'-6"/53'-6" | Lot Depth: | 140' | |
| 8 | Minimum Unit Size | 600 SF | Average Unit Size | 800.4 | |
| 9 | Existing use: | SINGLE FAMILY | Proposed use: | MULTI-FAMILY | |
| | | Maximum | Existing | Proposed | Deficiencies |
| 10 | Height | 50 FT | 15'-0" | 41' 5" | N/A |
| 11 | Number of Stories | 4 | 1 | 4 | N/A |
| 12 | FAR | 7,789 X 1.25 = 9736 SF | 2397 SF | 9,732 SF | N/A |
| 13 | Gross square footage | N/A | | | |
| 14 | Square Footage by use | N/A | | | |
| 15 | Number of units Residential | N/A | | | |
| 16 | Number of units Hotel | N/A | | | |
| 17 | Number of seats | N/A | | | |
| 18 | Occupancy load | N/A | | | |
| | Setbacks | Required | Existing | Proposed | Deficiencies |
| Subterranean: | | | | | |
| 19 | Front Setback: | N/A | | | |
| 20 | Side Setback: | N/A | | | |
| 21 | Side Setback: | N/A | | | |
| 22 | Side Setback facing street: | N/A | | | |
| 23 | Rear Setback: | N/A | | | |
| At Grade Parking: | | | | | |
| 24 | Front Setback: | 20'-0" | 26'-2" | 20'-0" | |
| 25 | Side Setback: | 5'-0" | 5'-9" | 7'-6" | |
| 26 | Side Setback: | 5'-0" | 9'-6" | 7'-6" | |
| 27 | Side Setback facing street: | N/A | | | |
| 28 | Rear Setback: | 10% LOT DEPTH=14' | 37'-2" | 14' 0" | |
| Pedestal: | | | | | |
| 29 | Front Setback: | 20'-0" | 26'-2" | 20'-0" | |
| 30 | Side Setback: | 7'-5" | 5'-9" | 7'-6" | |
| 31 | Side Setback: | 7'-5" | 9'-6" | 7'-6" | |
| 32 | Side Setback facing street: | N/A | | | |
| 33 | Rear Setback: | 10% LOT DEPTH=14' | 37'-2" | 14' 0" | |
| Tower: | | | | | |
| 34 | Front Setback: | N/A | | | |
| 35 | Side Setback: | N/A | | | |
| ITEM # | Setbacks | Required | Existing | Proposed | Deficiencies |
| 36 | Side Setback: | 5'-0" | | 7'-6" | |
| 37 | Side Setback facing street: | N/A | | | |
| 38 | Rear Setback: | 10% LOT DEPTH=14' | | 14' 0" | |
| | Front Setback: | 20'-0" | | 20'-0" | |

MIAMI BEACH

Planning Department, 1700 Convention Center Drive
Miami Beach, Florida 33139, www.miamibeachfl.gov
305.673.7550

| | Parking | Required | Existing | Proposed | Deficiencies |
|----|--|--------------|----------|--------------|--------------|
| 39 | Parking district | 1 | 1 | 1 | |
| 40 | Total # of parking spaces | 0 | 1 | 5 | |
| 41 | # of parking spaces per use (Provide a separate chart for a breakdown calculation) | N/A | | | |
| 42 | # of parking spaces per level (Provide a separate chart for a breakdown calculation) | N/A | | | |
| 43 | Parking Space Dimensions | 8 1/2' X 18' | | 8 1/2' X 18' | |
| 44 | Parking Space configuration (45o,60o,90o,Parallel) | | | 90o | |
| 45 | ADA Spaces | N/A | | | |
| 46 | Tandem Spaces | N/A | | | |
| 47 | Drive aisle width | 12' | | 10' | |
| 48 | Valet drop off and pick up | N/A | | | |
| 49 | Loading zones and Trash collection areas | N/A | | | |
| 50 | racks | N/A | | | |

| | Restaurants, Cafes, Bars, Lounges, Nightclubs | Required | Existing | Proposed | Deficiencies |
|----|---|----------|----------|----------|--------------|
| 51 | Type of use | N/A | | | |
| 52 | Total # of seats | N/A | | | |
| 53 | Total # of seats per venue (Provide a separate chart for a breakdown calculation) | N/A | | | |
| 54 | Total occupant content | N/A | | | |
| 55 | Occupant content per venue (Provide a separate chart for a breakdown calculation) | N/A | | | |

| | | | | | |
|----|---|--|-----|--|--|
| 56 | Is this a contributing building? | | N/A | | |
| 57 | Located within a Local Historic District? | | NO | | |

Notes:

If not applicable write N/A

All other data information may be required and presented like the above format.

PROJECT AND OWNER:

DENBORA BAY III

2125 Bay Dr.
MIAMI BEACH | FL | 33141
2125 BAY DR LLC
3179 HOLYLAKE RD.
LAKE WORTH | FL | 33467

ARCHITECT:

2030 HABERSHAM TRCE | CUMMING | GA 30041
954 812 6650
RICARDO@MUVEARCH.COM
AA#26003161



DESIGNER:



1535 NORTH PARK DRIVE #102 WESTON
FL 33326
954 850 9965
ADMIN@REDOCTOPUSLLC.COM

FINAL SUBMITAL

PERMIT APPLICATION DATE: 05-05-2024
SHEET ISSUE DATE: 03-31-2023

PROJECT NO.: 2312
DRAWN BY: BK APPROVED BY: YM

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SIGNATURE:
RICARDO J. MUNIZ-GUILLET
LIC# AR97841

SHEET TITLE:
ZONING DATA SHEET

SCALE:

N.T.S.

SHEET NO:

G-2

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GENERAL SITE INFORMATION:

PROPERTY ADDRESS 2125 BAY DR. | MIAMI BEACH | FL 33141
 FOLIO # 02-3210-011-0730
 LEGAL DESCRIPTION MIAMI VIEW SEC-ISLE OF NORMANDY PART 3 PB 40-33 LOT 8 BLK 41 LOT SIZE 55.640 X 140 OR 18522-2792 03 1999 1 COC 26277-2048 02 2008 5

LOT NET AREA: +/- 7,789 SF.
 YEAR BUILT: 1940

SCOPE OF WORK
 NEW CONSTRUCTION OF A MULTIFAMILY RESIDENTIAL BUILDING WITH 10 DWELING UNITS

GOVERNING CODES
 FLORIDA FIRE PREVENTION CODE 2020
 FLORIDA BUILDING CODE 2020
 2020 NATIONAL ELECTRIC CODE
 2020 FBC MECHANICAL
 2020 FBC PLUMBING
 2020 FBC ACCESSIBILITY

ZONING GUIDELINES:

ZONING: RM-1 - MULTIFAMILY, LOW INTENSITY
 FLOOD ZONE: AE ELEVATION: 8'

UNIT BREAKDOWN

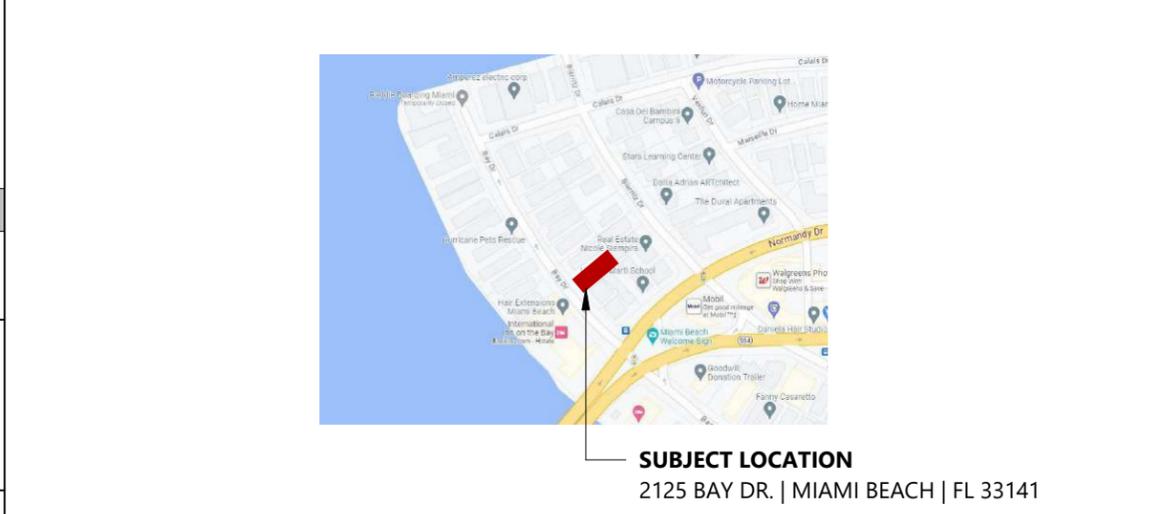
| | UNIT # | UNITS | UNIT AREA | TOTAL UNITS | MIN UNIT SIZE | AVERAGE UNIT SIZE |
|--------------|-----------------|--------|-----------|-----------------|---------------|-------------------|
| | 4 | UNIT A | 600 SF | 2,400 SF | | |
| | 2 | UNIT B | 685 SF | 1,370 SF | | |
| | 3 | UNIT C | 1,019 SF | 3,057 SF | | |
| | 1 | UNIT D | 1,176 SF | 1,176 SF | | |
| TOTAL | 10 UNITS | | | 8,004 SF | 600 SF | 800.4 SF |

PARKING NOTES:
 (a) PARKING SHALL BE AT GROUND LEVEL ONLY, MECHANICAL LIFTS ARE PERMITTED FULLY SCREENED FROM ADJACENT PROPERTIES AND R.O.W.
 (b) EXT PARKING AND DRIVEWAY SHALL BE OF SEMI-PERVIOUS OR PERVIOUS MATERIALS
 (c) WHEEL STOPS SHALL BE LOW PROFILE AND 5 FT MAX.
 (d) ALL PARKING AREAS SHALL MEET THE MINIMUM FRONT AND REAR YARD SETBACK REQUIREMENTS FOR BUILDINGS
 (e) ONE-WAY DRIVEWAY CURB CUT, 10 FT MAX WIDTH / IF APPROVED BY DRB TWO SEPARATE ONE-WAY CURB CUTS MAY BE PERMITTED.
 (f) N/A

DESIGN AND RESILIENCY STANDARDS

(a) N/A
 (b) N/A
 (c) DWELLING UNITS TO INCORPORATE NATURAL LIGHT FROM AT LEAST TWO ELEVATIONS FROM THE BUILDING VOLUME
 (d) INCORPORATE NATURALLY LANDSCAPE AREAS AT GROUND LEVEL, IN ADDITION TO THE MINIMUM SETBACK, 5% OF LOT AREA
 (e) A NON-EMERGENCY STAIR FROM LOBBY OR EXTERIOR AND ACCESSING THE 1ST THREE RESIDENTIAL FLOORS, DESIGN OPENED IS REQUIRED
 (f) RETAINING WALLS WITH HIGH QUALITY APPEARANCE
 (g) LANDSCAPING WITHIN VIEW CORRIDORS SHALL BE MAINTAINED AT 3 FT MAX FROM SIDEWALK ELEVATION
 (h) IF EXISTING ELEVATION IS MODIFIED, RETAIN ALL STORMWATER ON SITE

NOTE:
 NEW CONSTRUCTION HERE WILL REQUIRE REVIEW AND APPROVAL OF THE DESIGN REVIEW BOARD. ONCE A DESIGN SET OF DRAWINGS IS READY TO SUBMIT AS PER A CHECK LIST TO BE PROVIDED AND AN APPLICATION IS COMPLETED ONLINE, THE PROCESS TAKES 3-4 MONTHS. IT MAY ALSO REQUIRE SOME LEVEL OF TRAFFIC STUDY.
 THE FIRST STEP IN THE PROCESS IS TO FILE THE APPLICATION ONLINE ONCE THERE IS SOME DRAWINGS TO REVIEW. AFTER THIS THE AHJ WILL SCHEDULE A PRE-APPLICATION MEETING TO REVIEW THE PROJECT AND PROVIDE COMMENTS BEFORE A FORMAL SUBMITTAL.



1 LOCATION MAP
 1/2" = 1'-0"



2 AREAL VIEW
 1/2" = 1'-0"

PROJECT AND OWNER:
DENBORA BAY III

2125 Bay Dr.
 MIAMI BEACH | FL | 33141
 2125 BAY DR LLC
 3179 HOLYLAKE RD.
 LAKE WORTH | FL | 33467

ARCHITECT:
 2030 HABERSHAM TRCE | CUMMING | GA 30041
 954 812 6650
 RICARDO@MUVEARCH.COM
 AA#26003161



DESIGNER:



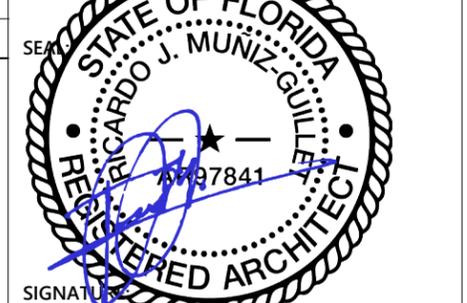
1535 NORTH PARK DRIVE #102 WESTON
 FL 33326
 954 850 9965
 ADMIN@REDOCTOPUSLLC.COM

FINAL SUBMITAL

PERMIT APPLICATION DATE: 05-05-2024
 SHEET ISSUE DATE: 03-31-2023
 PROJECT NO.: 2312
 DRAWN BY: BK APPROVED BY: YM

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SHEET TITLE:
ZONING REQUIREMENTS & LOCATION

N.T.S.
SHEET NO:

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PROJECT AND OWNER:
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2125 Bay Dr.
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 2125 BAY DR LLC
 3179 HOLYLAKE RD.
 LAKE WORTH | FL | 33467

ARCHITECT:
 2030 HABERSHAM TRCE | CUMMING | GA 30041
 954 812 6650
 RICARDO@MUVEARCH.COM
 AA#26003161



DESIGNER:



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SHEET TITLE:
**ZONING REQUIREMENTS &
 LOCATION**

3/8" = 1'-0"

SHEET NO:

G-2.02

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SUBJECT LOCATION
 2125 BAY DR. | MIAMI BEACH | FL 33141



SUBJECT LOCATION
 2125 BAY DR. | MIAMI BEACH | FL 33141



SUBJECT LOCATION
 2125 BAY DR. | MIAMI BEACH | FL 33141



1

ZONING MAP
 N.T.S.



2

FUTURE ZONING MAP
 N.T.S.



3

HISTORIC DISTRICT MAP
 N.T.S.

SUBJECT LOCATION
 2125 BAY DR. | MIAMI
 BEACH | FL 33141



PROJECT AND OWNER:
DENBORA BAY III

2125 Bay Dr.
 MIAMI BEACH | FL | 33141
 2125 BAY DR LLC
 3179 HOLYLAKE RD.
 LAKE WORTH | FL | 33467

ARCHITECT:
 2030 HABERSHAM TRCE | CUMMING | GA 30041
 954 812 6650
 RICARDO@MUVEARCH.COM
 AA#26003161



DESIGNER:



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**ZONING REQUIREMENTS &
 LOCATION**

1/2" = 1'-0"

SHEET NO:

G-2.03

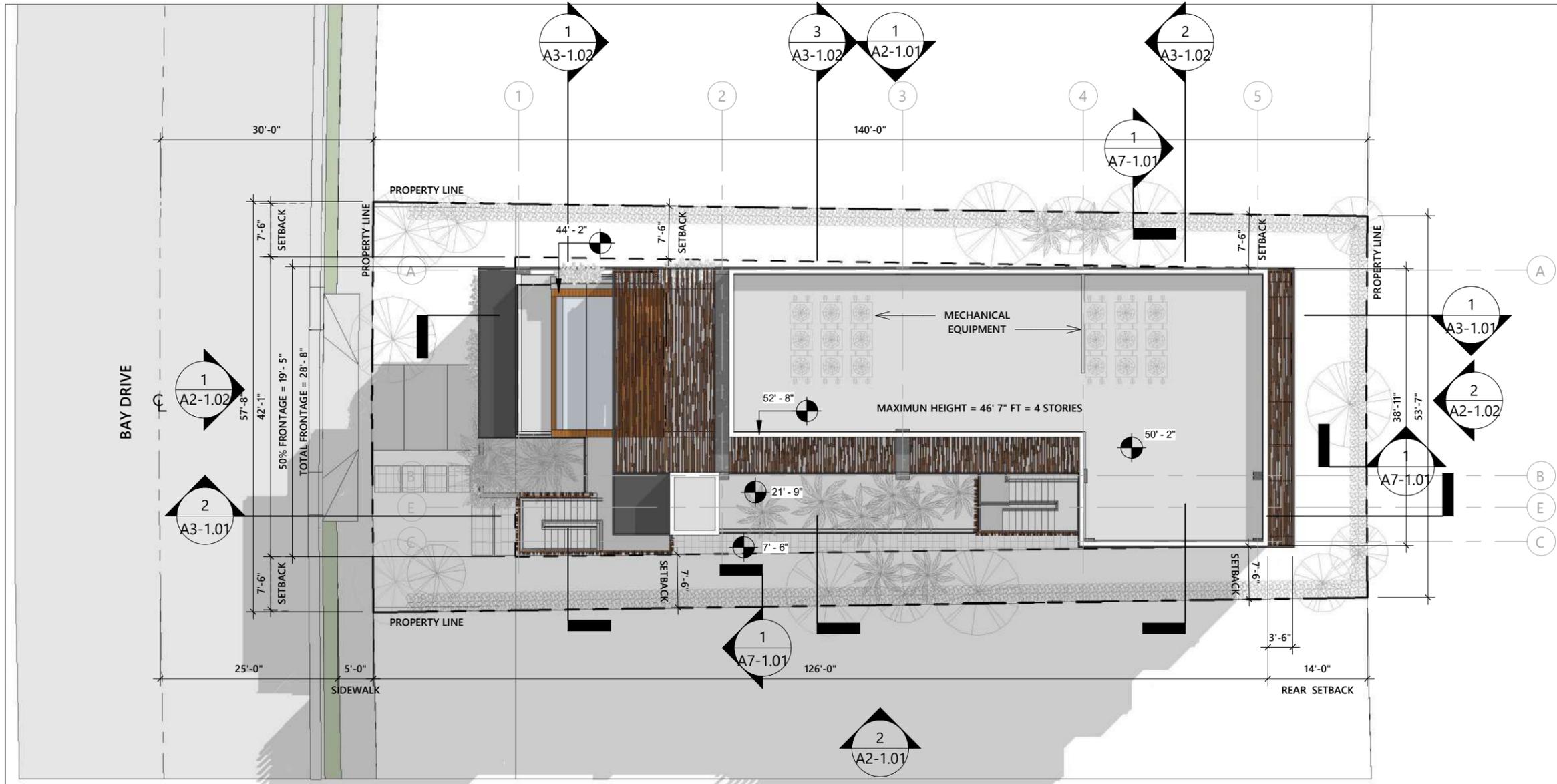
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1

AERIAL VIEW - 1/2 MILE RADIUS.

N.T.S.



PROJECT AND OWNER:
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 2125 Bay Dr.
 MIAMI BEACH | FL | 33141
 2125 BAY DR LLC
 3179 HOLYLAKE RD.
 LAKE WORTH | FL | 33467

ARCHITECT:
 2030 HABERSHAM TRCE | CUMMING | GA 30041
 954 812 6650
 RICARDO@MUVEARCH.COM
 AA#26003161



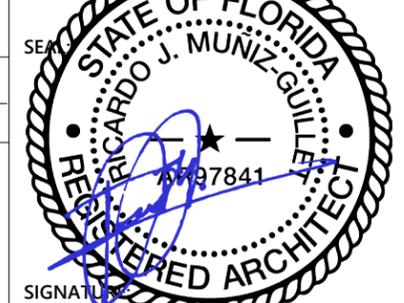
DESIGNER:
RED OCTOPUS LLC
 INTEGRAL ARCHITECTURAL SERVICES
 1535 NORTH PARK DRIVE #102 WESTON
 FL 33326
 954 850 9965
 ADMIN@REDOCTOPUSLLC.COM

FINAL SUBMITAL

PERMIT APPLICATION DATE: 05-05-2024
 SHEET ISSUE DATE: 03-31-2023
 PROJECT NO.: 2312
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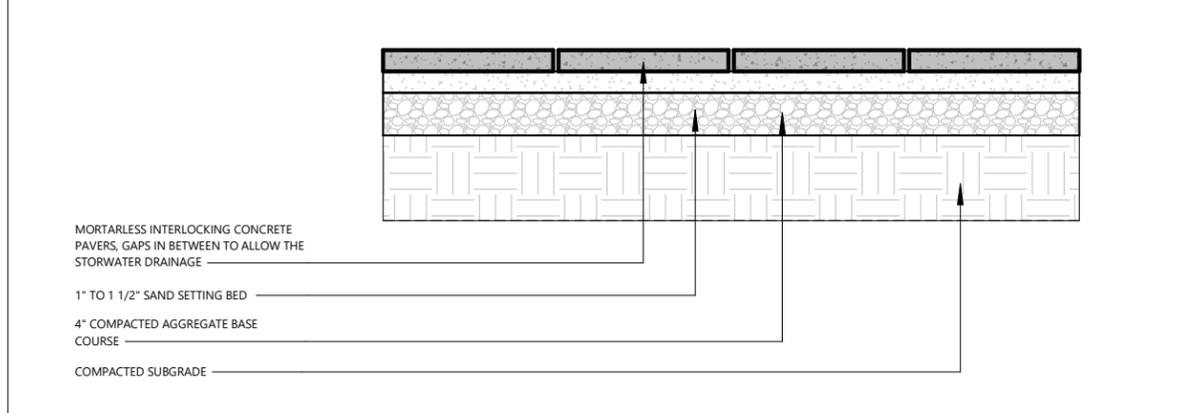
SIGNATURE:
 RICARDO J. MUNIZ-GUILLET
 LIC# AR97841

SHEET TITLE:
SITE PLAN

SCALE:
As indicated

SHEET NO:
G-4

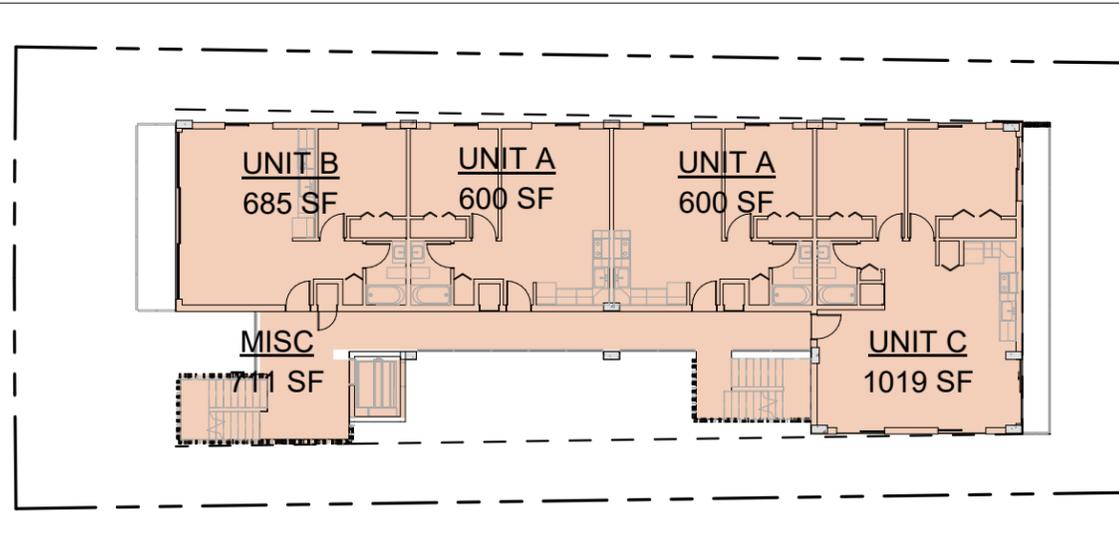
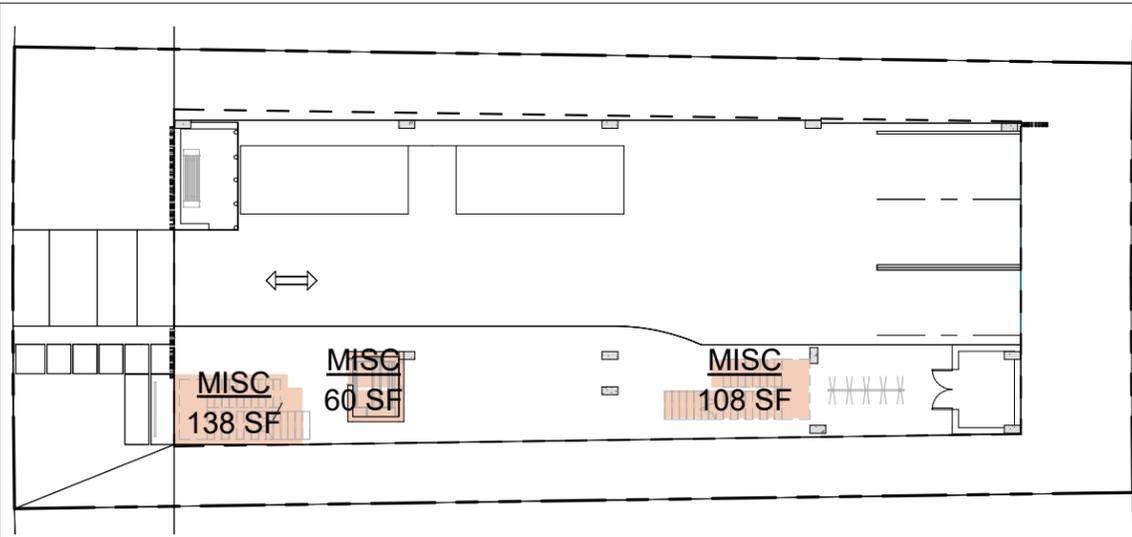
1 SITE PLAN
 1/16" = 1'-0"



CONCRETE PAVERS, PLACED WITH A SMALL GAP IN BETWEEN TO ALLOW WATER TO SOAK INTO THE GROUND DURABLE TO HEAVY TRAFFIC.
 PERVIOUS INTERLOCKING CONCRETE PAVERS CAN PREVENT RUN-OFF FROM HEAVY RAINS.
 THE PAVERS FILTER STORM WATER THROUGHOUT THEIR JOINTS TO THE BASE LAYERS THAT TRAP MOST OF POLLUTANTS.
 IN FACT, PERMEABLE PAVERS CAN LOWER NEARLY 80% OF THE TOTAL SUSPENDED SOLID LEVELS IN STORM WATER.
 BY ENSURING THE INFILTRATION OF RAIN THROUGH ITS LAYERS, PERMEABLE INTERLOCKING CONCRETE PAVERS MAINTAIN HEALTH GOUNDWATER LEVELS, AND SUPPORT THE GROWTH AND SURVIVAL OF PLANT LIFE

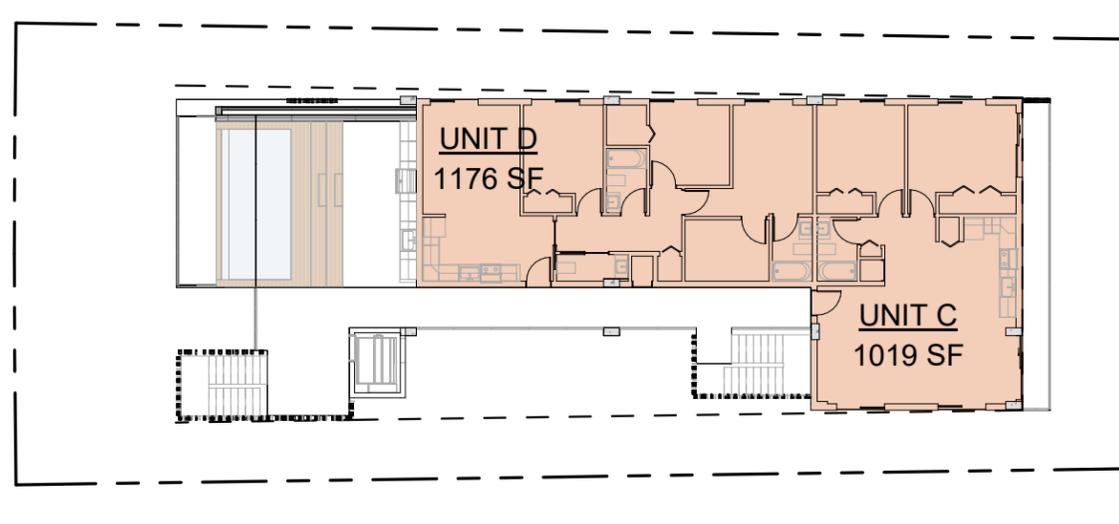
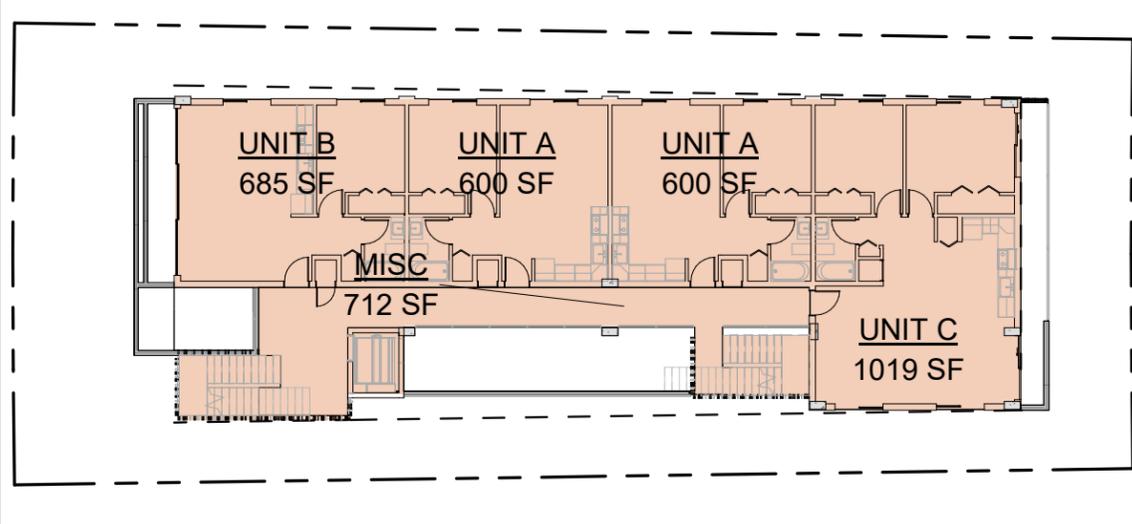
IMAGE ONLY FOR REFERENCE

2 PAVERS DETAILS
 1/2" = 1'-0"



1 **LEVEL 1 0'-0"**
3/64" = 1'-0"

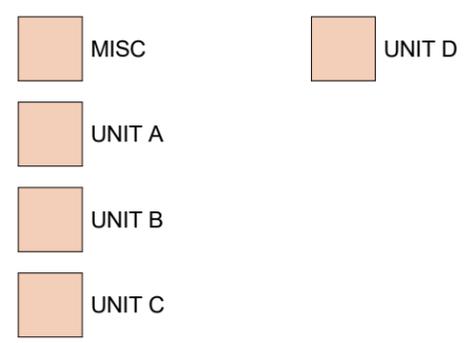
3 **LEVEL 3**
3/64" = 1'-0"



2 **LEVEL 2**
3/64" = 1'-0"

4 **LEVEL 4**
3/64" = 1'-0"

AREA LEGEND



F.A.R. CALCULATION

| | | |
|------------------|----------------|-----|
| MISC | 1728 SF | 18% |
| UNIT A | 2400 SF | 25% |
| UNIT B | 1370 SF | 14% |
| UNIT C | 3057 SF | 31% |
| UNIT D | 1176 SF | 12% |
| TOTAL SF: | 9732 SF | |

PROJECT AND OWNER:
DENBORA BAY III
 2125 Bay Dr.
 MIAMI BEACH | FL | 33141
 2125 BAY DR LLC
 3179 HOLYLAKE RD.
 LAKE WORTH | FL | 33467

ARCHITECT:
 2030 HABERSHAM TRCE | CUMMING | GA 30041
 954 812 6650
 RICARDO@MUVEARCH.COM
 AA#26003161



DESIGNER:

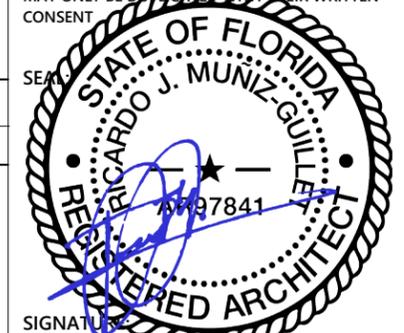
1535 NORTH PARK DRIVE #102 WESTON
 FL 33326
 954 850 9965
 ADMIN@REDOCTOPUSLLC.COM

FINAL SUBMITAL

PERMIT APPLICATION DATE: 05-05-2024
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 LIC# AR97841

SHEET TITLE:
AREA DIAGRAMS

SCALE:
 N.T.S.
 SHEET NO:

G-5

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CURRENT EXTERIOR PHOTOGRAPHS, DATED OCTOBER 01TH, 2023

PROJECT AND OWNER:
DENBORA BAY III

2125 Bay Dr.
 MIAMI BEACH | FL | 33141
 2125 BAY DR LLC
 3179 HOLYLAKE RD.
 LAKE WORTH | FL | 33467

ARCHITECT:
 2030 HABERSHAM TRCE | CUMMING | GA 30041
 954 812 6650
 RICARDO@MUVEARCH.COM
 AA#26003161



DESIGNER:

 INTEGRAL ARCHITECTURAL SERVICES

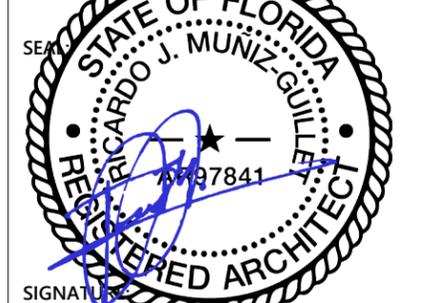
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EXISTING EXT. PICTURES

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SHEET NO:
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CURRENT EXTERIOR PHOTOGRAPHS, DATED OCTOBER 01TH, 2023

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 2125 Bay Dr.
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 2125 BAY DR LLC
 3179 HOLYLAKE RD.
 LAKE WORTH | FL | 33467

ARCHITECT:
 2030 HABERSHAM TRCE | CUMMING | GA 30041
 954 812 6650
 RICARDO@MUVEARCH.COM
 AA#26003161



DESIGNER:

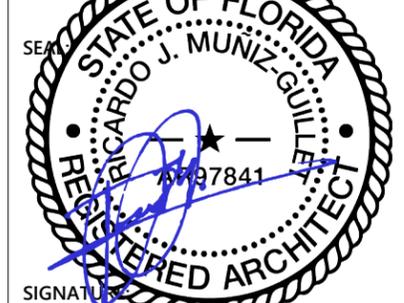
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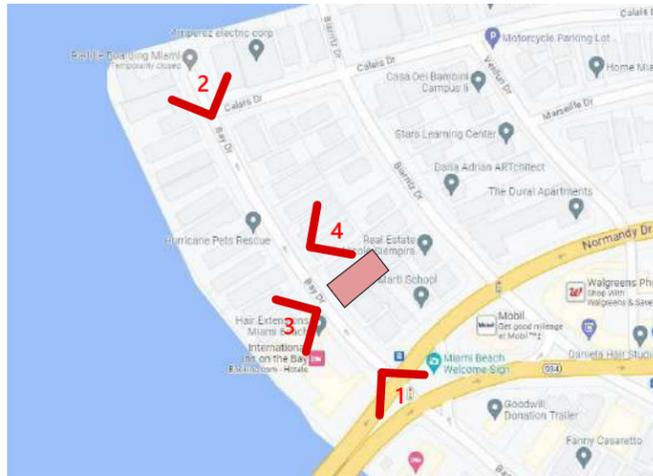


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 LIC# AR97841

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EXISTING INT. PICTURES

SCALE:
N.T.S.

SHEET NO:
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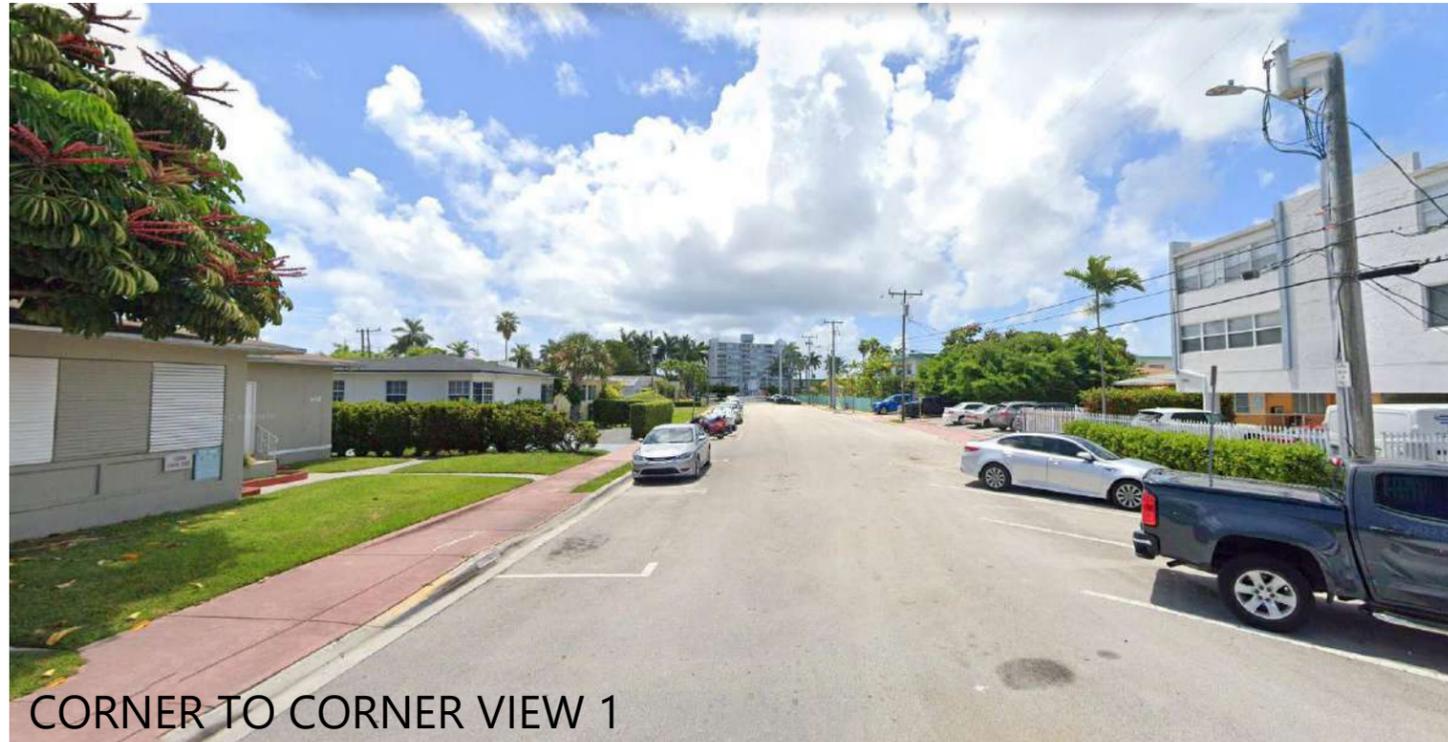
SUBJECT LOCATION
2125 BAY DRIVE | MIAMI BEACH | FL 33141



1

KEY DIRECTIONAL PLAN

N.T.S.



CORNER TO CORNER VIEW 1



CORNER TO CORNER VIEW 2

CONTEXT PHOTOGRAPHS, DATED MARCH 24TH, 2023

PROJECT AND OWNER:

DENBORA BAY III

2125 Bay Dr.
MIAMI BEACH | FL | 33141
2125 BAY DR LLC

3179 HOLYLAKE RD.
LAKE WORTH | FL | 33467

ARCHITECT:

2030 HABERSHAM TRCE | CUMMING | GA 30041
954 812 6650
RICARDO@MUVEARCH.COM
AA#26003161



DESIGNER:



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FL 33326
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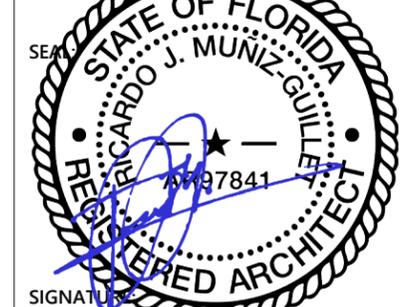
FINAL SUBMITAL

PERMIT APPLICATION DATE: 05-05-2024
SHEET ISSUE DATE: 03-31-2023

PROJECT NO.: 2312
DRAWN BY: BK APPROVED BY: YM

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LIC# AR97841

SHEET TITLE:
SITE & CONTEXT PICTURES

SCALE:
N.T.S.

SHEET NO:

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CORNER TO CORNER VIEW 3



CORNER TO CORNER VIEW 4



CONTEXT PHOTOGRAPHS, DATED MARCH 24TH, 2023

PROJECT AND OWNER:
DENBORA BAY III

2125 Bay Dr.
MIAMI BEACH | FL | 33141
2125 BAY DR LLC
3179 HOLYLAKE RD.
LAKE WORTH | FL | 33467

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954 812 6650
RICARDO@MUVEARCH.COM
AA#26003161



DESIGNER:



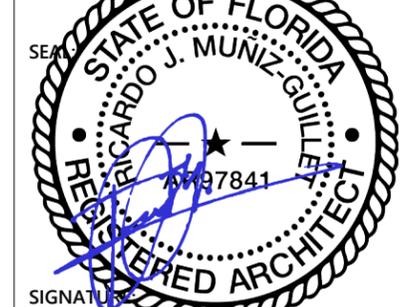
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PERMIT APPLICATION DATE: 05-05-2024
SHEET ISSUE DATE: 03-31-2023
PROJECT NO.: 2312
DRAWN BY: BK APPROVED BY: YM

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SIGNATURE:
RICARDO J. MUNIZ-GUILLET
LIC# AR97841

SHEET TITLE:
SITE & CONTEXT PICTURES

SCALE:
N.T.S.

SHEET NO:
G-8.1

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PROJECT AND OWNER:

DENBORA BAY III

2125 Bay Dr.
MIAMI BEACH | FL | 33141
2125 BAY DR LLC
3179 HOLYLAKE RD.
LAKE WORTH | FL | 33467

ARCHITECT:

2030 HABERSHAM TRCE | CUMMING | GA 30041
954 812 6650
RICARDO@MUVEARCH.COM
AA#26003161



DESIGNER:



1535 NORTH PARK DRIVE #102 WESTON
FL 33326
954 850 9965
ADMIN@REDOCTOPUSLLC.COM

FINAL SUBMITAL

PERMIT APPLICATION DATE: 05-05-2024

SHEET ISSUE DATE: 03-31-2023

PROJECT NO.: 2312

DRAWN BY: BK APPROVED BY: YM

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SIGNATURE:
RICARDO J. MUNIZ-GUILLET
LIC# AR97841

SHEET TITLE:
CONTEXTUAL ELEVATION

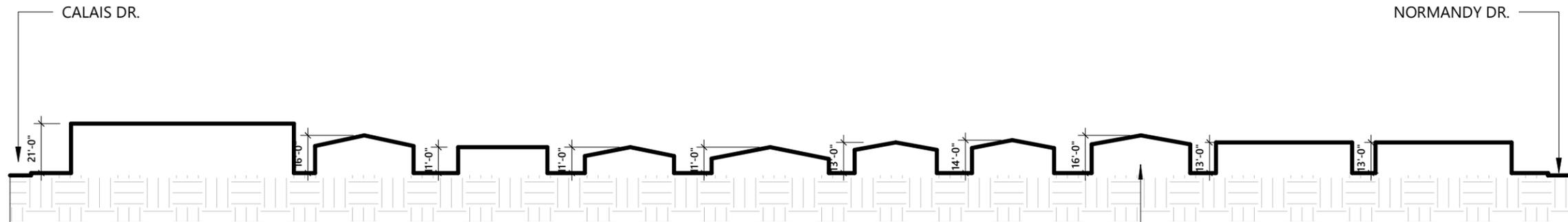
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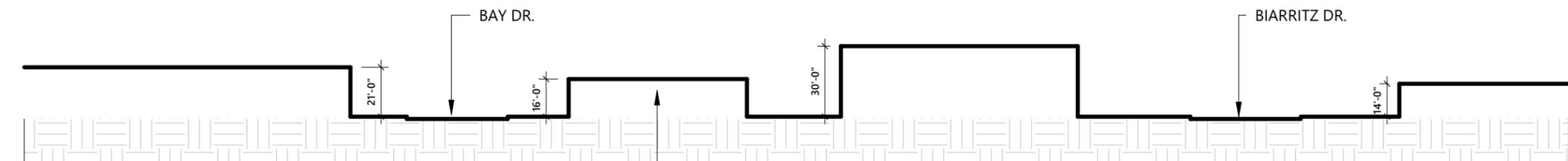
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SUBJECT LOCATION
2125 BAY DRIVE | MIAMI BEACH | FL 33141

1 CONTEXTUAL ELEVATION - CORNER TO CORNER
1" = 50'-0"



SUBJECT LOCATION
2125 BAY DRIVE | MIAMI BEACH | FL 33141

2 CONTEXTUAL ELEVATION - ACROSS THE STREET AND SURROUNDING PROPERTIES
1" = 50'-0"

| WALL LEGEND | |
|---|---|
|  |  TYPICAL 4" INTERIOR PARTITION NON-RATED |
|  |  EXTERIOR - EXISTING TO REMAIN |
|  |  INTERIOR - EXISTING TO REMAIN |
| |  TO BE DEMOLISHED |

**ALL LIFE SAFETY EQUIPMENT TO REMAIN
OPERABLE DURING DEMOLITION**

DEMOLITION PLAN KEYNOTES

-  REMOVE EXISTING INTERIOR PARTITION
 -  REMOVE EXISTING DOOR
 -  REMOVE PLUMBING FIXTURES, CAP EXISTING CONNECTIONS AND COVER ALL SANITARY AND DRAINAGE LINES TO PREVENT THE INTRUSION OF DEBRIS
 -  REMOVE FINISH FLOOR
 -  REMOVE KITCHEN APPLIANCES CABINETS AND COUNTERTOPS
 -  REMOVE EXISTING CEILING
- COORDINATE SELECTIVE REMOVAL / RELOCATION OF LIGHT LIXTURES, ELECTRICAL WIRES, CONDUITS, "J" BOXES, DUCT WORK, DIFFUSERS, GRILLS.
- REMOVE ALL DUCTWORK, DIFFUSERS, GRILLS, LIGHTS, AND CLEAN THE BOTTOM OF THE SLAB FROM REMAINING DEBRIS.
- SPRINKLER LINES TO REMAIN AND BE RELOCATED PER REVISED PLAN

DEMOLITION NOTES

02110 DEMOLITION

1. PROVIDE LABOR, MATERIALS AND EQUIPMENT TO PERFORM ALL DEMOLITION AND REMOVAL WORK SHOWN, SPECIFIED OR REQUIRED TO COMPLETE THE WORK.

"TITLE OF PROPERTY": EXCEPT AS OTHERWISE SPECIFIED, OR INDICATED, ALL SALVAGE- ABLE MATERIAL AND EQUIPMENT TO BE DISCONNECTED AND REMOVED SHALL BECOME THE PROPERTY OF THE OWNER TO BE ASSIGNED AND DISPOSED OF BY THE CONTRACTOR AT THE OWNERS DIRECTION. CONTRACTOR SHALL SUBMIT TO OWNER REFERENCES AND EXPERIENCE OF TRADES FOR REVIEW AND APPROVAL. THESE ITEMS MAY INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:

- EQUIPMENT, CONDUIT, LIGHT FIXTURES, TOILET FIXTURES AND FITTINGS, WINDOWS/DOORS AND MECHANICAL ITEMS. PROTECTION OF PERSONS AND PROPERTY: SHALL BE PROVIDED THROUGHOUT THE PROGRESS OF THE WORK. THE WORK SHALL PROCEED IN SUCH A MANNER AS TO MINIMIZE THE SPREAD OF DUST AND FLYING PARTICLES AND TO PROVIDE SAFE WORKING CONDITIONS FOR PERSONNEL
- DISCONNECTION OF SERVICES: BEFORE STARTING THE WORK, ALL AFFECTED UTILITIES SHALL BE DISCONNECTED UNLESS OTHERWISE INDICATED OR DIRECTED. ALL UTILITY MAINS SHALL BE SEALED IN AN APPROVED MANNER. IF IT BECOMES NECESSARY TO INTERRUPT THE UTILITY SERVICE TO UTILITIES NOT PART OF THIS CONTRACT, PRIOR APPROVAL SHALL BE OBTAINED IN WRITING FROM THE OWNER.
- CONTRACTOR SHALL INVESTIGATE THE EXISTENCE OF ASBESTOS AND NOTIFY THE OWNER BEFORE PROCEEDING WITH DEMOLITION WORK.

SCOPE OF WORK
CONTRACTOR TO OBTAIN ALL NECESSARY BUILDING PERMITS.
DEMOLITION AND REMOVAL FOR BUILDING AS INDICATED ON DRAWINGS.
CONTRACTOR TO REMOVE ALL PARTITIONS, WALLS, PLUMBING AS INDICATED IN THE DRAWINGS.
THE ABOVE SCOPE OF WORK IS NOT EXHAUSTIVE. REFERENCE SHOULD BE MADE TO EXISTING SITE CONDITIONS TO VERIFY EXTENT OF REMOVALS TO COMPLETE THE PROJECT. SHOULD THERE BE A QUESTION AS TO THE REMOVAL OF ANY PORTION OF THE PROJECT, THE CONTRACTOR SHOULD REQUEST CLARIFICATION FROM THE OWNER.

EXECUTION
ALL DEMOLITION SHALL BE CARRIED OUT WITH MINIMUM DAMAGE TO ADJOINING WORK. HOLES OR OTHER DAMAGE LEFT BY THE CONTRACTOR IN EXISTING BUILDING SURFACES SHALL BE REPAIRED TO MATCH THE EXISTING ADJACENT SURFACE. ASSIGN REMOVAL AND CUTTING WORK TO TRADES EXPERIENCED IN THE PARTICULAR WORK TO AVOID UNNECESSARY DAMAGE DUE TO UNSKILLED WORKMANSHIP.
REMOVE ALL DEBRIS AND MATERIAL RESULTING FROM DEMOLITION OFF THE SITE AT THE END OF EACH WORKING DAY.
THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PREVENT DAMAGE TO EXISTING WIRING, PIPING, TUBING AND EQUIPMENT. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ALL DAMAGE TO EXISTING STRUCTURE CAUSED BY HIS OPERATIONS. ALL DEMOLITION WORK SHALL BE UNDERTAKEN IN ACCORDANCE WITH REQUIREMENTS OF REGULATIONS OSHA AND OF LOCAL AUTHORITIES AND APPLICABLE BUILDING CODES. DEMOLITION WORK SHALL BE COORDINATED WITH BUILDING MANAGEMENT.

NOTE:

- THE REMOVAL OF THE WALLS MUST BE PERFORMED CAREFULLY TO ENSURE EXISTING PLUMBING VENT AND SANITARY STACKS WILL NOT BE DAMAGED AND/OR MODIFIED IN ANY MANNER. IF A PLUMBING/VENT STACK IS TO BE CONCEALED WITHIN A WALL THE GENERAL CONTRACTOR NEEDS TO ASCERTAIN THAT, BEFORE THE PLUMBING STACK IS COVERED WITHIN ANY ARCHITECTURAL FINISH, COLUMN ELEMENT OR WALL SECTION, THAT THE FIRE RATED SEALANTS THAT SEPARATE THE UNITS AT THE SLABS ARE C PRESENT.
- THE EXISTING/REMAING SMOKE DETECTORS AS WELL AS FIRE ALARM SYSTEM SPEAKERS AND ASSOCIATED WIRING SHOULD BE PROTECTED FROM DUST, PAINT OR ANY TYPE OF DAMAGE DURING CONSTRUCTION.
- ANY NEW OPENINGS, PENETRATIONS, AND/OR MODIFICATIONS TO EXISTING STRUCTURAL COMPONENTS (INCLUDING AND NOT LIMITED TO WALLS, SLABS, COLUMNS, BEAMS, ETC) ARE STRICTLY NOT PERMITTED WITHOUT PRIOR APPROVAL BY THE BUILDING'S ASSOCIATION.
- ANY AND ALL FIRE SPRINKLER SYSTEM WORK SHOULD BE PERFORMED BY THE ASSOCIATION'S FIRE SPRINKLER CONTRACTOR THAT IS RESPONSIBLE FOR MAINTAINING AND REPAIRING THE FIRE SPRINKLER SYSTEM ON A BUILDING WIDE BASIS.

GENERAL DEMOLITION NOTES

- BEFORE BEGINNING WORK AT THE SITE, WHERE POSSIBLE, AND THROUGH THE COURSE OF THE WORK, INSPECT AND VERIFY THE LOCATION AND CONDITION OF EVRY ITEM AFFECTED BY THE WORK UNDER THIS CONTRACT AND REPORT ANY DISCREPANCIES TO THE OWNER BEFORE DOING WORK RELATED OT THAT INSPECTION.
- DRAWINGS SHOW PRINCIPAL AREAS WHERE WORK MUST BE COMPLETED UNDER THIS CONTRACT, INCIDENTAL WORK MUST ALSO BE NECESSARY ON AREAS NOT SHOWN IN THE DRAWINGS DUE TO CHANGES AFFECTING EXISTING MECHANICAL, ELECTRICAL, PLUMBING OR OTHER SYSTEMS, SUCH INCIDENTAL WORK IS ALSO AS PART OF THIS CONTRACT. INSPECT THOSE AREAS, AND AS CERTAIN WORKNEEDED AND TO THAT WORK ACCORD WITH THE CONTRACT REQUIREMENTS, AT NO ADDITIONAL COST.
- TAKE ALL NECESSARY PRECAUTIONS TO GUARD AGAINST ANY AND ALL POSSIBLE HAZARDOUS CONDITIONS (I.E. EXPOSED "HOT" WIRING, MATERIALS PLACED IN TRAFFIC PATHS CREATING A "TRIPPING" HAZARD, ETC.) WHICH MIGHT OCCUR AS A RESULT OF DEMOLITION AND CONSTRUCTION.
- IF UNANTICIPATED MECHANICAL, ELECTRICAL OR STRUCTURAL ELEMENTS, WHICH CONFLICT WITH INTENDED FUNCTION OR DESIGN AR ENCOUNTERED, INVESTIGATE AND MEASURE BOTH NATURE OF EXTENT OF THE CONFLICT. SUBMIT REPORT TO OWNERS REPRESENTATIVE IN WRITTEN, ACCURATE DETAIL.
- IN ALL ACTIVITIES, COMPLY WITH PERTINENT REGULATIONS OF GOVERNMENTAL AGENCIES HAVING JURISDICTION.
- UPON COMPLETION OF DEMOLITION WORK, REMOVE DEBRIS, RUBBISH AND OTHER MATERIALS FROM BUILDING SITE. TRANSPORT AND LEGALLY DISPOSE OF MATERIALS OFF SITE. LEAVE RESULTING DEBRIS FROM INTERIOR AREAS BROOM CLEAN.
- USE SAW CUT TO REMOVE MASONRY WHERE REMAINING MASONRY IS TO BE EXPOSED.
- PROVIDE INTERIOR AND EXTERIOR SHORING, BRACING OR SUPPORT TO PREVENT MOVEMENT, SETTLEMENT OR COLLAPSE OF STRUCTURES TO BE DEMOLISHED AND ADJACENT EXISTING STRUCTURES TO REMAIN. TAKE PRECAUTIONS TO PROPERLY SUPPORT STRUCTURE. DO NOT RESUME OPERATIONS UNTIL SAFETY IS RESTORED.
- BEFORE ANY STRUCTURAL DEMOLITION CAN START, CONTRACTOR SHALL NOTIFY THE STRUCTURAL ENGINEER FOR AUTHORIZATION.
- DEMOLITION OPERATION SHALL BE EXECUTED BY ADEQUATE NUMBER OF SKILLED WORKERS EXPERIENCED IN THE NECESSARY CRAFTS. SHUT OFF, CAP AND OTHERWISE PROTECT MECHANICAL AND ELECTRICAL INSTALLATIONS, WORK IN PUBLIC UTILITY LINES SHALL BE COORDINATED WITH THE AGENCY OR UTILITY HAVING JURISDICTION AND THE CONTRACTOR SHALL PROTECT EXISTING INSTALLATIONS ACCORDING TO THEIR REQUIREMENTS.
- ITEMS INDICATED TO BE REMOVED BUT OF SALVABLE VALUE TO THE CONTRACTOR, AND NOT TO BE KEPT BY THE OWNER, MAY BE REMOVED FROM THE STRUCTURE AS WORK PROGRESSES. TRANSPORT SALVAGED ITEMS FROM THE SITE AS THEY ARE REMOVED. STORAGE OR SALE OF REMOVED ITEMS ON SITE WILL NOT BE PERMITTED. MATERIALS AND EQUIPMENT TO BE REUSED SHALL BE TREATED WITH CARE AND REINSTALLED AS SHOWN ON PLANS.
- G.C. SHALL REPAIR AT HIS OWN COST ANY DAMAGES TO THE PREMISES OR ADJACENT WORK CAUSED BY HIS OPERATION. FIRE PROTECTION WILL BE PROVIDED FROM THE OCCUPIED SIDE OF THE BUILDING TO THE DEMO SIDE.

**PROJECT AND OWNER:
DENBORA BAY III**

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RICARDO@MUVEARCH.COM
AA#26003161



DESIGNER:



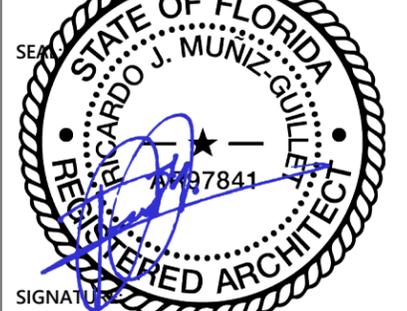
1535 NORTH PARK DRIVE #102 WESTON
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FINAL SUBMITAL

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LIC# AR97841

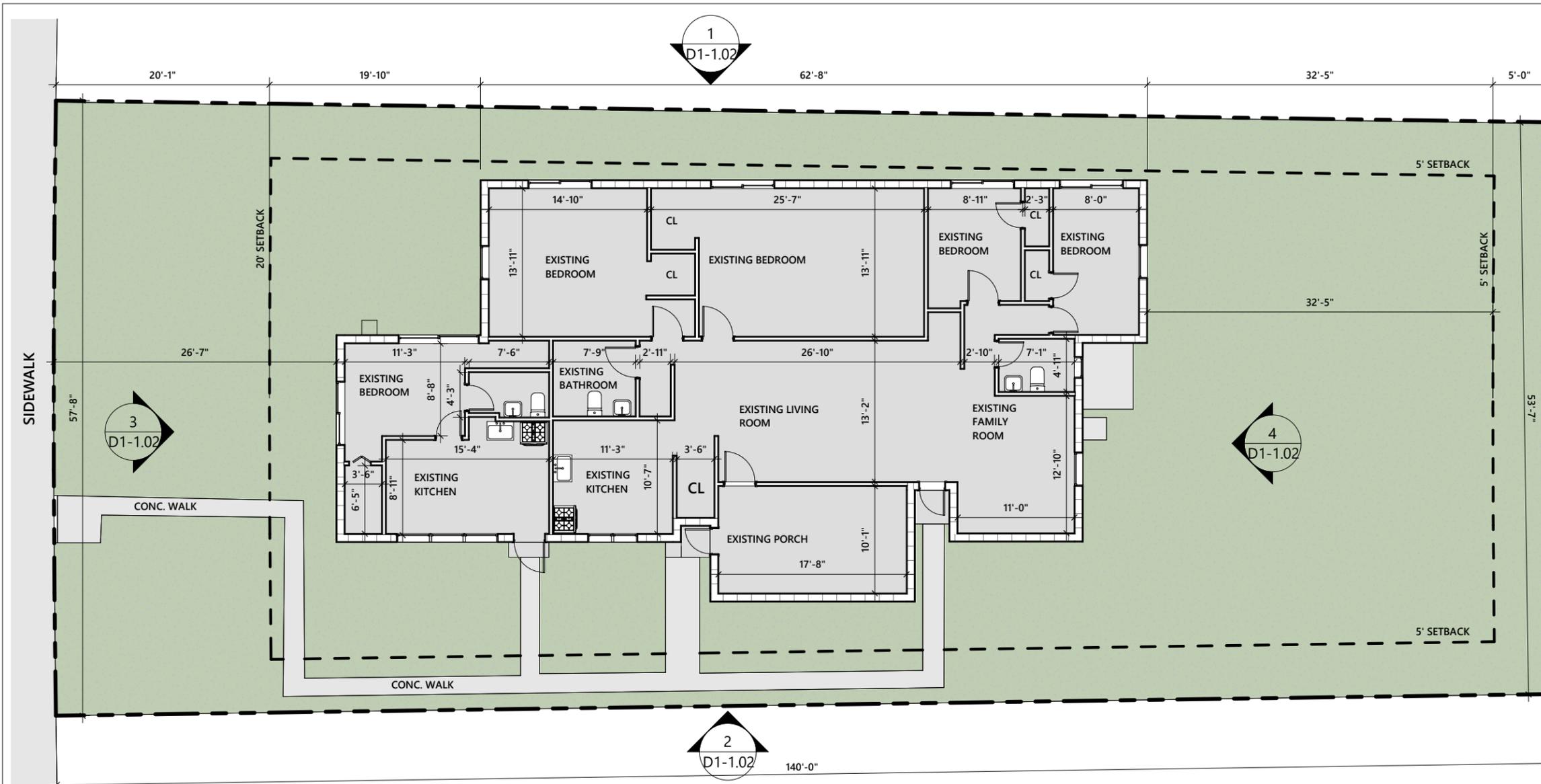
SHEET TITLE:
DEMOLITION NOTES

SCALE:
N.T.S.

SHEET NO:

D1-1.00

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PROJECT AND OWNER:
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 LIC# AR97841

SHEET TITLE:
EXISTING GROUND LEVEL
 SCPLAN

N.T.S.
 SHEET NO:
D1-1.01

5/3/2024 12:49:51 PM

1 **EXISTING GROUND LEVEL PLAN**
 3/32" = 1'-0"

PROJECT AND OWNER:
DENBORA BAY III

2125 Bay Dr.
 MIAMI BEACH | FL | 33141
 2125 BAY DR LLC
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ARCHITECT:
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DESIGNER:



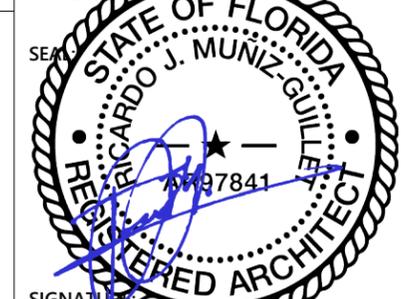
1535 NORTH PARK DRIVE #102 WESTON
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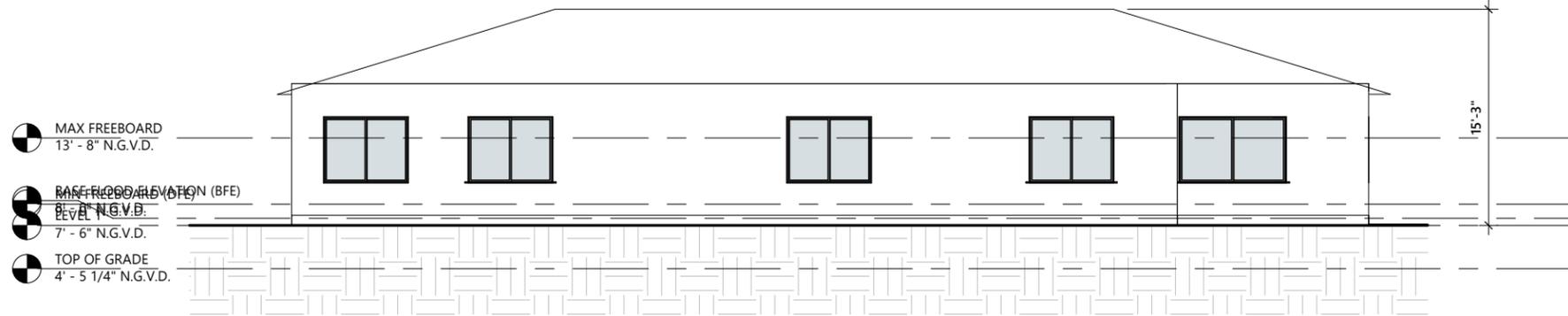
SIGNATURE:
 RICARDO J. MUNIZ-GUILLET
 LIC# AR97841

SHEET TITLE:
EXISTING ELEVATION

SCALE:
3/32" = 1'-0"

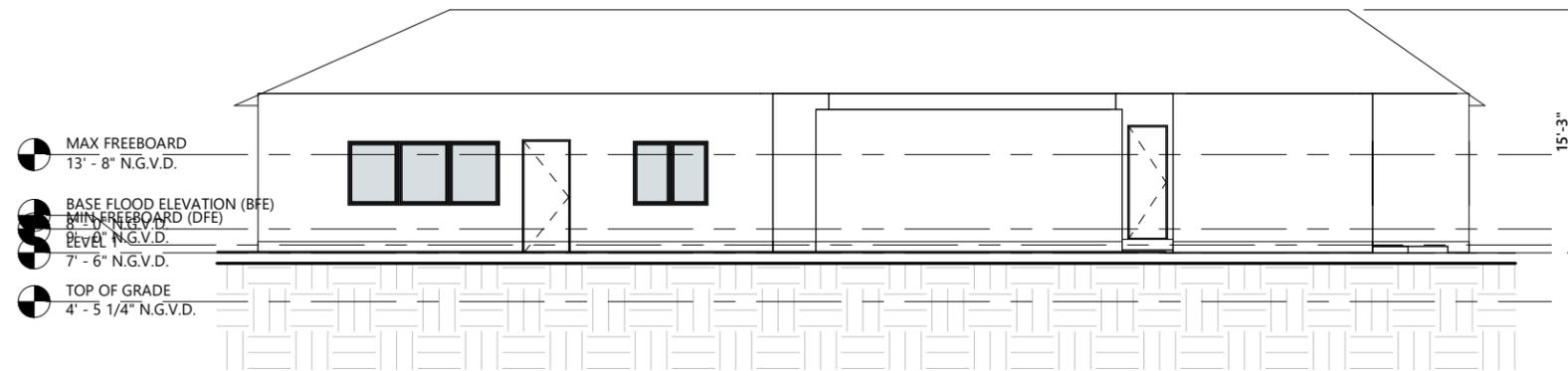
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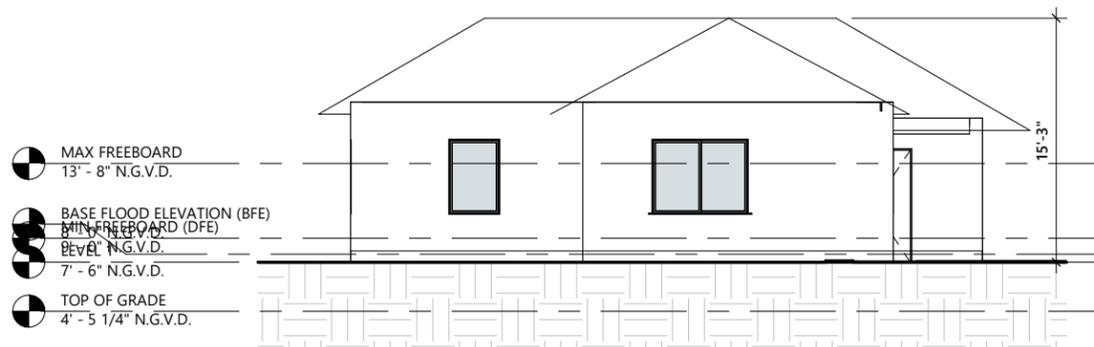
1 EXISTING NORTH ELEVATION

3/32" = 1'-0"



2 EXISTING SOUTH ELEVATION

3/32" = 1'-0"



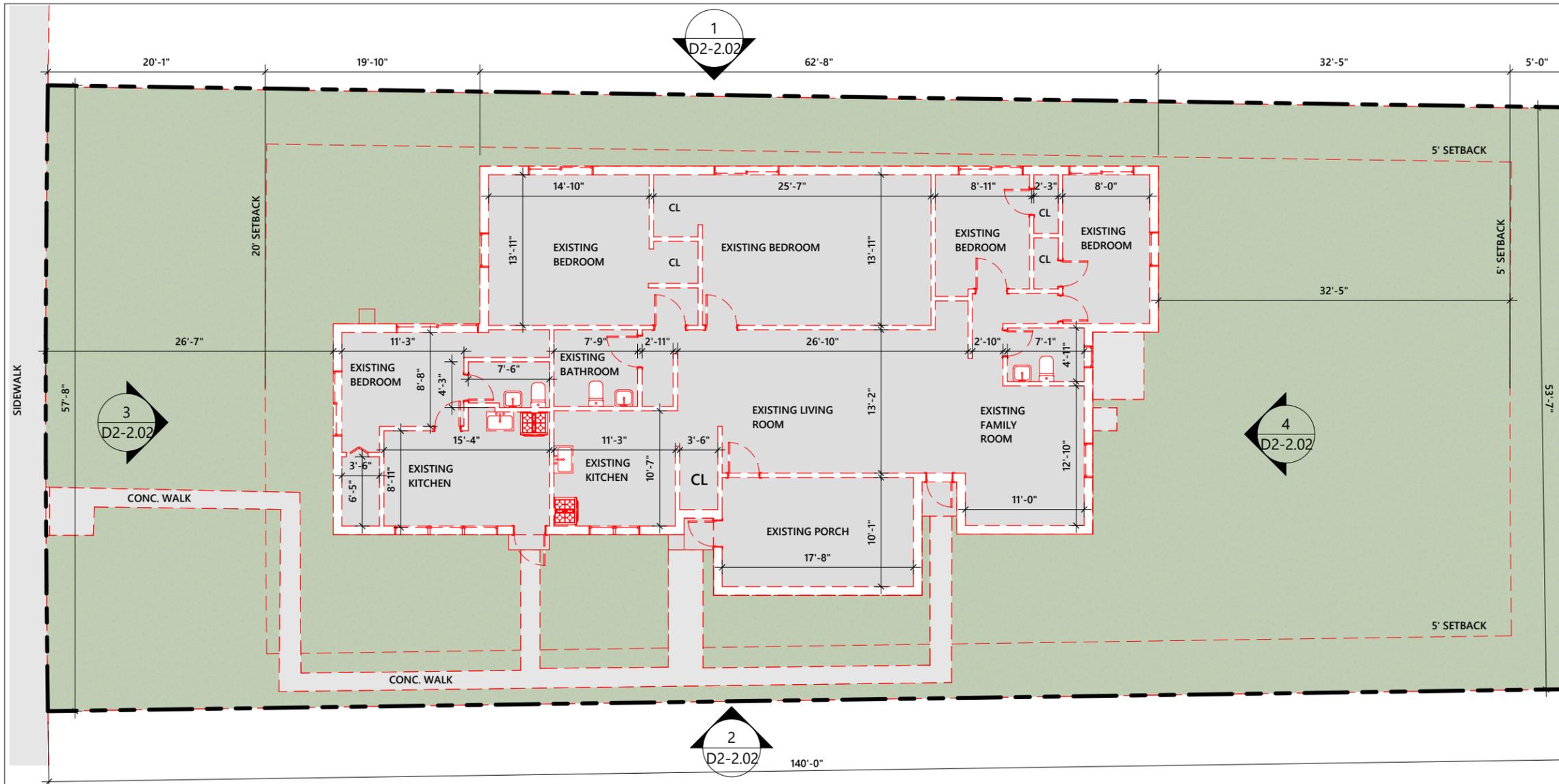
3 EXISTING WEST ELEVATION

3/32" = 1'-0"



4 EXISTING EAST ELEVATION

3/32" = 1'-0"



PROJECT AND OWNER:
DENBORA BAY III

2125 Bay Dr.
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SIGNATURE:
 RICARDO J. MUNIZ-GUILLET
 LIC# AR97841

SHEET TITLE:
DEMO GROUND LEVEL PLAN

SCALE:
 N.T.S.

SHEET NO:
D1-2.01

5/3/2024 12:49:56 PM

1 DEMO GROUND LEVEL PLAN
 3/32" = 1'-0"

PROJECT AND OWNER:
DENBORA BAY III

2125 Bay Dr.
 MIAMI BEACH | FL | 33141
 2125 BAY DR LLC
 3179 HOLYLAKE RD.
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ARCHITECT:
 2030 HABERSHAM TRCE | CUMMING | GA 30041
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DESIGNER:



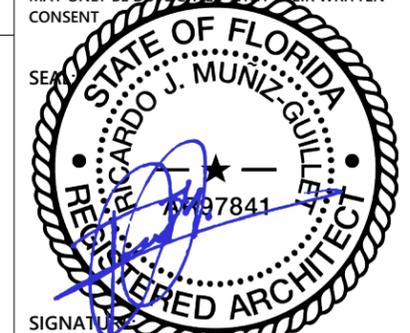
1535 NORTH PARK DRIVE #102 WESTON
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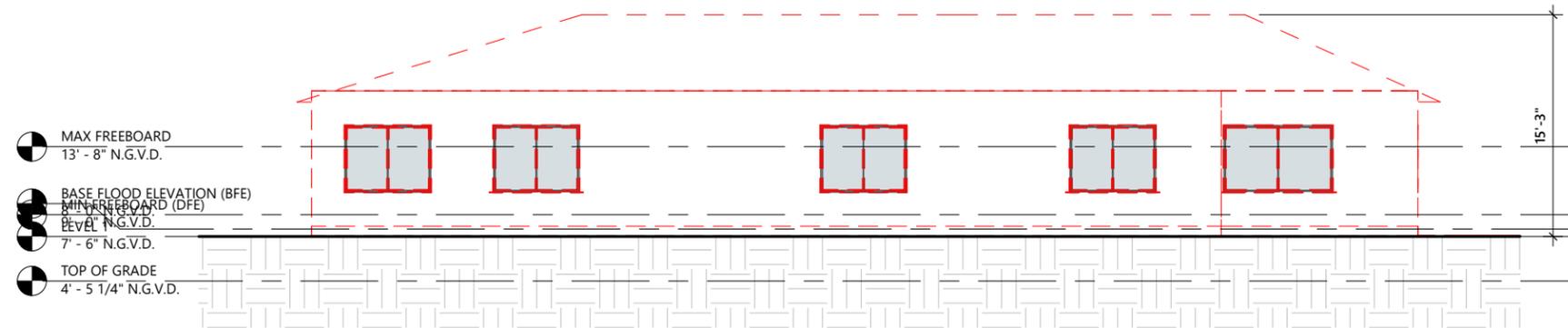
SHEET TITLE:
DEMOLITION ELEVATION

SCALE:
 3/32" = 1'-0"

SHEET NO:

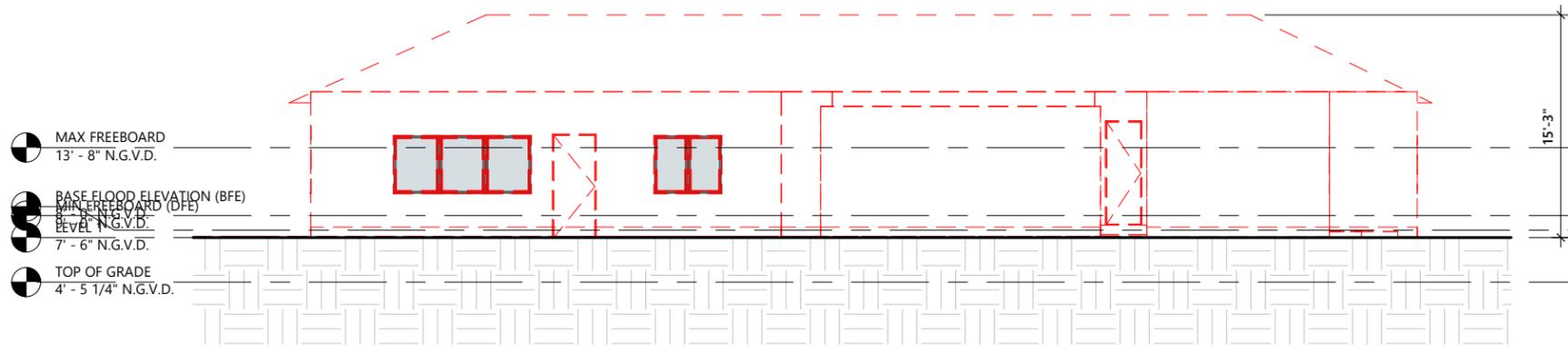
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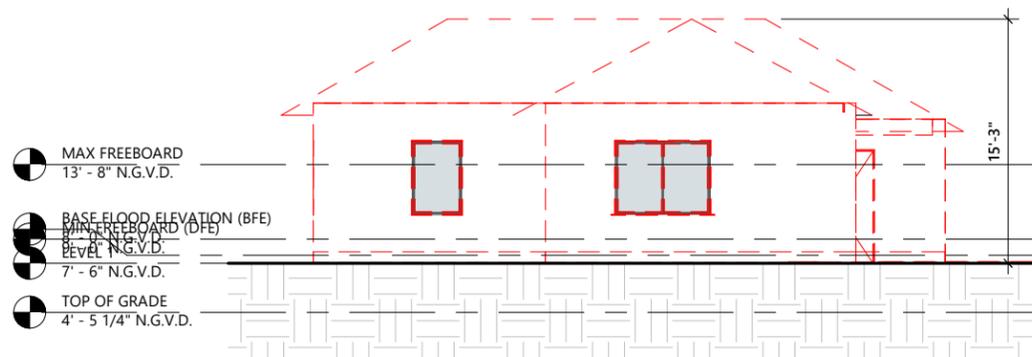
1 DEMOLITION NORTH ELEVATION

3/32" = 1'-0"



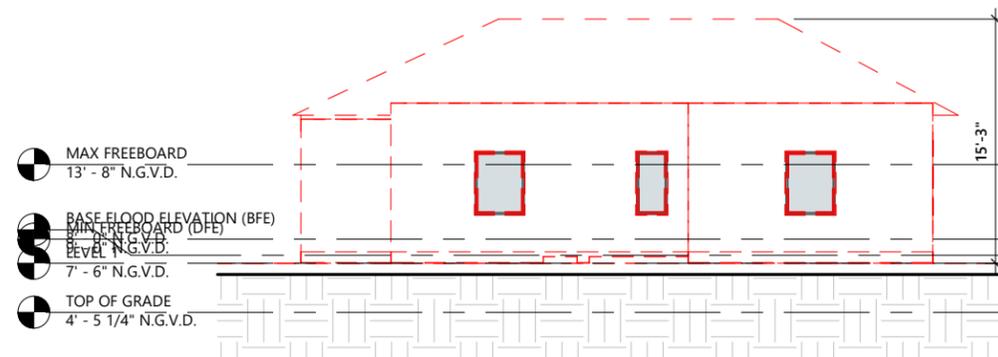
2 DEMOLITION SOUTH ELEVATION

3/32" = 1'-0"



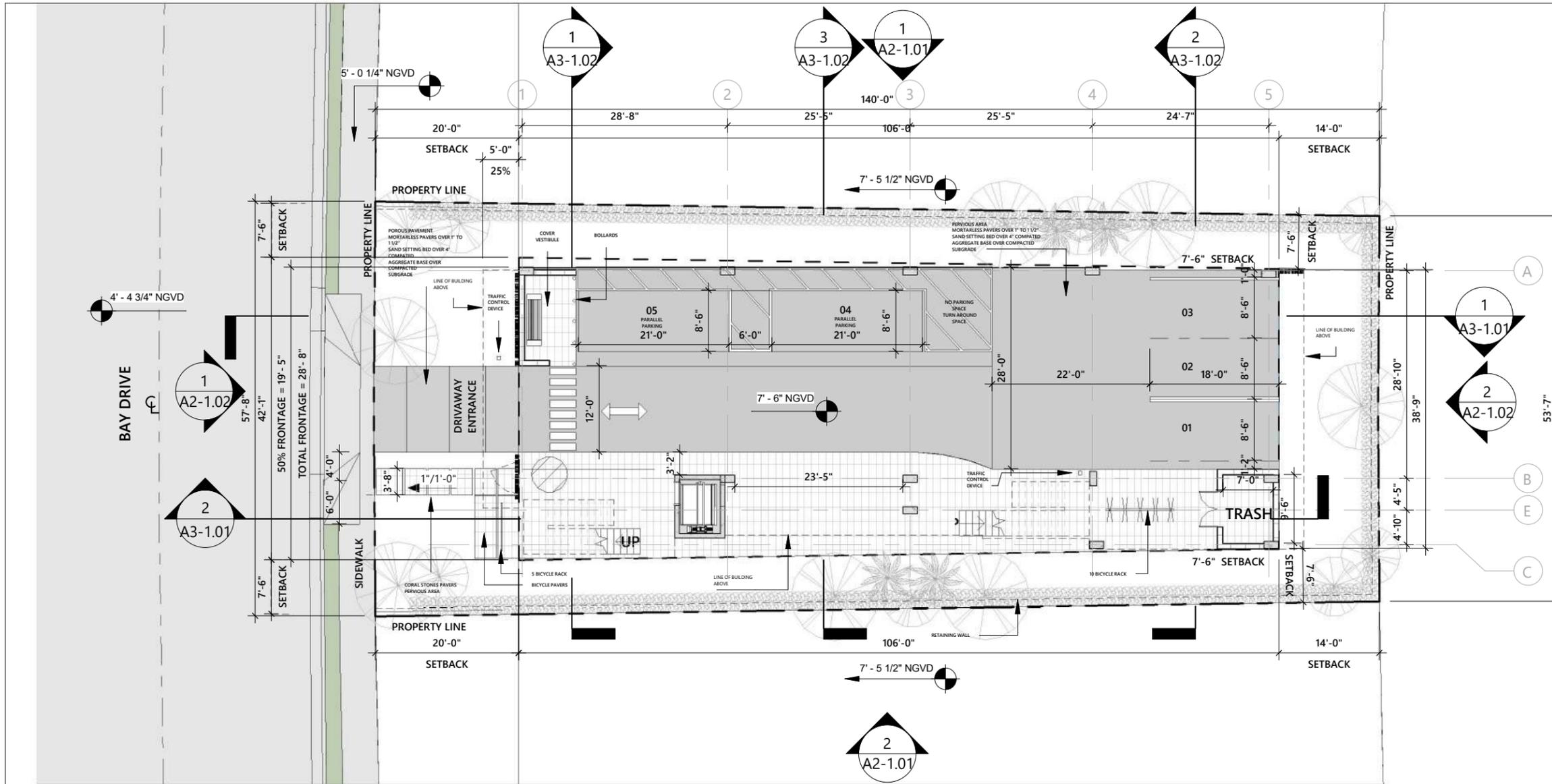
3 DEMOLITION WEST ELEVATION

3/32" = 1'-0"



4 DEMOLITION EAST ELEVATION

3/32" = 1'-0"



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DESIGNER:

 INTEGRAL ARCHITECTURAL SERVICES

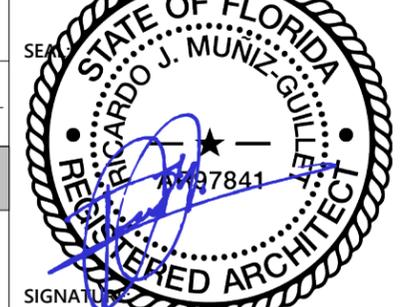
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SIGNATURE:
 RICARDO J. MUNIZ-GUILLET
 LIC# AR97841

SHEET TITLE:
GROUND LEVEL FLOOR PLAN

SCALE:
 As indicated

SHEET NO:
A1-1.01

5/3/2024 12:50:02 PM

1 **GROUND LEVEL PLAN**
 1/16" = 1'-0"

GROUND LEVEL AREA: 238 S.F.

| WALL LEGEND | |
|---|---|
|  | WALL TYPE 1 TYPICAL NON LOAD BEARING 8" CMU WALL W/ VERTICAL REINFORCING. SEE STRUCTURE FOR DETAILS. |
|  | WALL TYPE 2 EXTERIOR NON LOAD BEARING 8" CMU WALL W/ VERTICAL REINFORCING. SEE STRUCTURE FOR DETAILS. |
|  | WALL TYPE 3 TYPICAL 4" INTERIOR PARTITION NON-RATED. |
|  | WALL TYPE 4 REINFORCED CONCRETE WALL. SEE STRUCTURE FOR DETAILS. |
|  | WALL TYPE 5 UNIT DEMISING PARTITION 1 HR FIRE RATED. |

SEE TYPICAL WALL TYPES SHEET A7-1.01 FOR DETAILS

| PLAN NOTES | |
|------------|--|
| 1. | BUILDING IS FULLY SPRINKLERED. |
| 2. | SEE ELECTRICAL DRAWINGS FOR LIFE SAFETY/ EGRESS LIGHTS. |
| 3. | ALL INTERIOR PARTITION ARE TO BE WALL TYPE 4, UNLESS OTHERWISE NOTED. |
| 4. | ALL BATHROOMS TO RECEIVE WATER RESISTANT GYP. BOARD IN NON WET AREAS. |
| 5. | FRAMING CONTRACTOR TO VERIFY FLOOR FINISH WITH OWNER PRIOR TO INSTALLATIONS OF DOOR FRAME. SEE MECHANICAL DRAWINGS FOR ADDITIONAL INFORMATION. |
| 6. | VERIFY LAYOUT OF ALL FIXTURES LOCATED IN CONCRETE SLAB WITH ARCHITECT PRIOR TO POUR. |
| 7. | FINAL SELECTION, LOCATION, AND DESIGN OF FINISHES, FIXTURES, AND EQUIPMENT WILL BE PROVIDED BY OWNER. |
| 8. | REFER TO SHEET A5-1.01 FOR ENLARGED KITCHEN PLANS AND ELEVATIONS. |
| 9. | REFER TO SHEET A5-2.01 FOR ENLARGED BATHROOM PLANS AND ELEVATIONS. |
| 10. | REFER TO SHEET A7-1.04 FOR WALL TYPE DETAILS. |
| 11. | REFER TO SHEET A7-1.02 FOR DOOR SCHEDULE |

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DESIGNER:



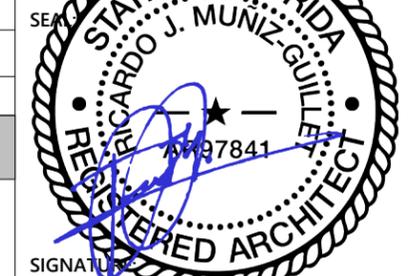
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ADMIN@REDOCTOPUSLLC.COM

FINAL SUBMITAL

PERMIT APPLICATION DATE: 05-05-2024
SHEET ISSUE DATE: 03-31-2023
PROJECT NO.: 2312
DRAWN BY: BK APPROVED BY: YM

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ALL DRAWINGS AND WRITTEN MATERIALS HEREIN CONSTITUTE ORIGINAL WORK OF THE DESIGNER AND MAY ONLY BE DUPLICATED WITH THEIR WRITTEN CONSENT



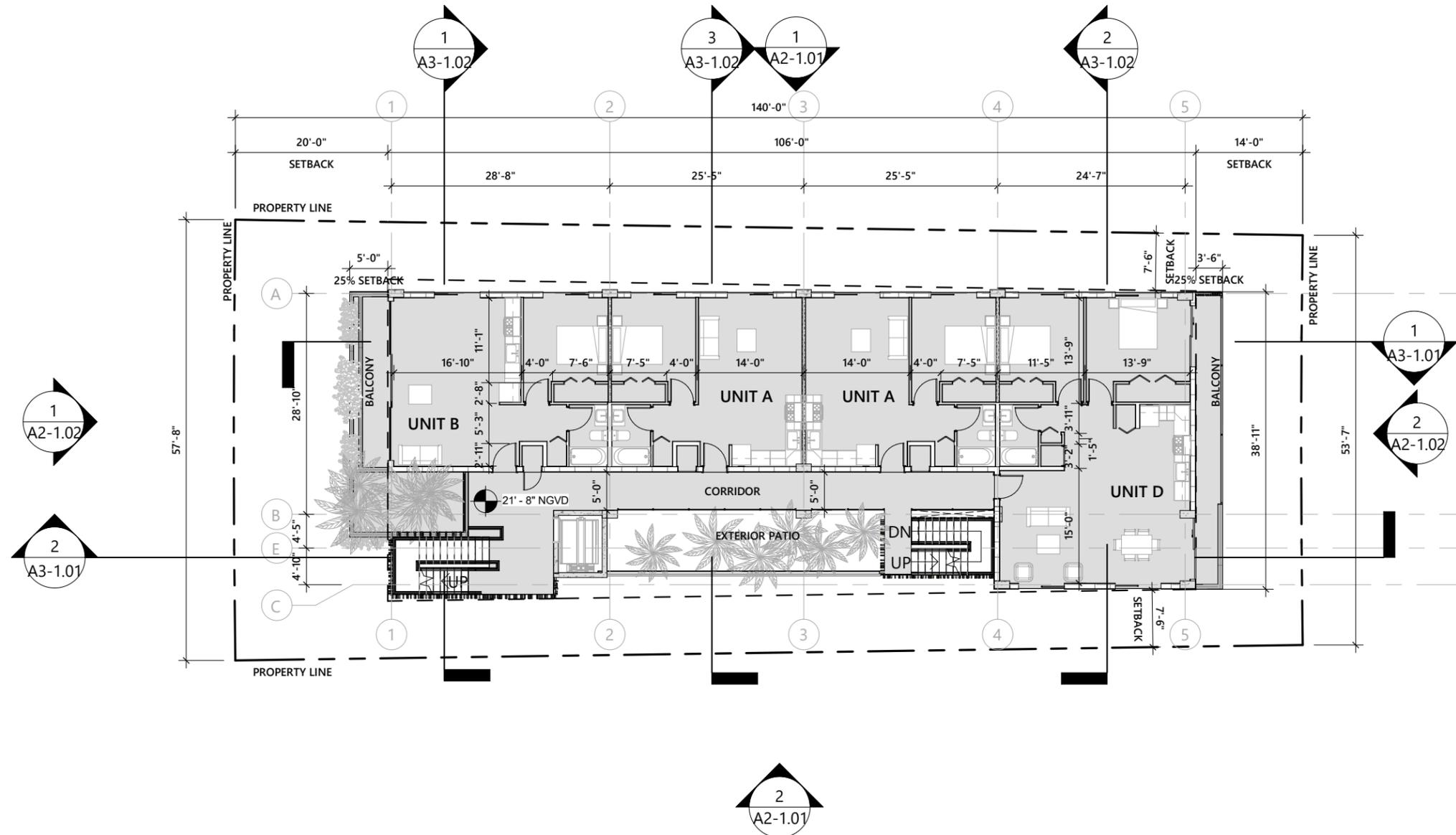
SIGNATURE:
RICARDO J. MUNIZ-GUILLET
LIC# AR97841

SHEET TITLE:
FLOOR PLAN 2ND LEVEL

SCALE:
As indicated

SHEET NO:
A1-1.02

5/3/2024 12:50:07 PM



1 FLOOR PLAN LEVEL 02
1/16" = 1'-0"

GROUND LEVEL AREA: 3,986 S.F.

| WALL LEGEND | |
|-------------|---|
| | WALL TYPE 1 TYPICAL NON LOAD BEARING 8" CMU WALL W/ VERTICAL REINFORCING. SEE STRUCTURE FOR DETAILS. |
| | WALL TYPE 2 EXTERIOR NON LOAD BEARING 8" CMU WALL W/ VERTICAL REINFORCING. SEE STRUCTURE FOR DETAILS. |
| | WALL TYPE 3 TYPICAL 4" INTERIOR PARTITION NON-RATED. |
| | WALL TYPE 4 REINFORCED CONCRETE WALL. SEE STRUCTURE FOR DETAILS. |
| | WALL TYPE 5 UNIT DEMISING PARTITION 1 HR FIRE RATED. |

SEE TYPICAL WALL TYPES SHEET A7-1.01 FOR DETAILS

| PLAN NOTES | |
|------------|---|
| 1. | BUILDING IS FULLY SPRINKLERED. |
| 2. | SEE ELECTRICAL DRAWINGS FOR LIFE SAFETY/ EGRESS LIGHTS. |
| 3. | ALL INTERIOR PARTITION ARE TO BE WALL TYPE 4, UNLESS OTHERWISE NOTED. |
| 4. | ALL BATHROOMS TO RECEIVE WATER RESISTANT GYP. BOARD IN NON WET AREAS. |
| 5. | FRAMING CONTRACTOR TO VERIFY FLOOR FINISH WITH OWNER PRIOR TO INSTALLATIONS OF DOOR FRAME. |
| 6. | SEE MECHANICAL DRAWINGS FOR ADDITIONAL INFORMATION. |
| 7. | VERIFY LAYOUT OF ALL FIXTURES LOCATED IN CONCRETE SLAB WITH ARCHITECT PRIOR TO POUR. |
| 8. | FINAL SELECTION, LOCATION, AND DESIGN OF FINISHES, FIXTURES, AND EQUIPMENT WILL BE PROVIDED BY OWNER. |
| 9. | REFER TO SHEET A5-1.01 FOR ENLARGED KITCHEN PLANS AND ELEVATIONS. |
| 10. | REFER TO SHEET A5-2.01 FOR ENLARGED BATHROOM PLANS AND ELEVATIONS. |
| 11. | REFER TO SHEET A7-1.04 FOR WALL TYPE DETAILS. |
| 12. | REFER TO SHEET A7-1.02 FOR DOOR SCHEDULE |

PROJECT AND OWNER:
DENBORA BAY III

2125 Bay Dr.
MIAMI BEACH | FL | 33141
2125 BAY DR LLC
3179 HOLYLAKE RD.
LAKE WORTH | FL | 33467

ARCHITECT:
2030 HABERSHAM TRCE | CUMMING | GA 30041
954 812 6650
RICARDO@MUVEARCH.COM
AA#26003161



DESIGNER:



1535 NORTH PARK DRIVE #102 WESTON
FL 33326
954 850 9965
ADMIN@REDOCTOPUSLLC.COM

FINAL SUBMITAL

PERMIT APPLICATION DATE: 05-05-2024
SHEET ISSUE DATE: 03-31-2023
PROJECT NO.: 2312
DRAWN BY: BK APPROVED BY: YM

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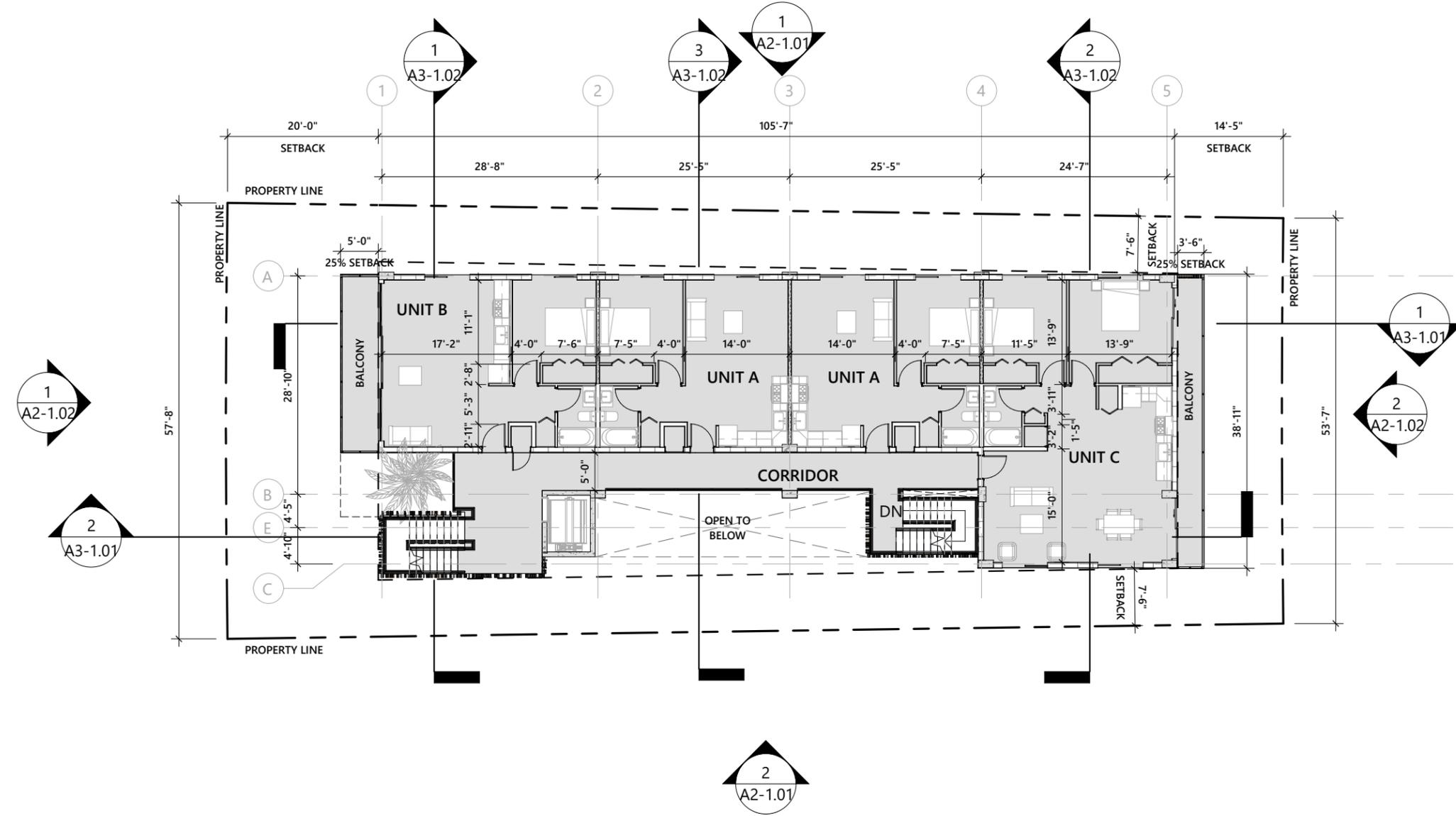
SIGNATURE:
RICARDO J. MUNIZ-GUILLET
LIC# AR97841

SHEET TITLE:
FLOOR PLAN 3TH LEVEL

SCALE:
As indicated

SHEET NO:
A1-1.03

5/3/2024 12:50:10 PM



1 FLOOR PLAN LEVEL 03
1/16" = 1'-0"

GROUND LEVEL AREA: 3,697 S.F.

| WALL LEGEND | |
|-------------|---|
| | WALL TYPE 1 TYPICAL NON LOAD BEARING 8" CMU WALL W/ VERTICAL REINFORCING. SEE STRUCTURE FOR DETAILS. |
| | WALL TYPE 2 EXTERIOR NON LOAD BEARING 8" CMU WALL W/ VERTICAL REINFORCING. SEE STRUCTURE FOR DETAILS. |
| | WALL TYPE 3 TYPICAL 4" INTERIOR PARTITION NON-RATED. |
| | WALL TYPE 4 REINFORCED CONCRETE WALL. SEE STRUCTURE FOR DETAILS. |
| | WALL TYPE 5 UNIT DEMISING PARTITION 1 HR FIRE RATED. |

SEE TYPICAL WALL TYPES SHEET A7-1.01 FOR DETAILS

| PLAN NOTES | |
|------------|---|
| 1. | BUILDING IS FULLY SPRINKLERED. |
| 2. | SEE ELECTRICAL DRAWINGS FOR LIFE SAFETY/ EGRESS LIGHTS. |
| 3. | ALL INTERIOR PARTITION ARE TO BE WALL TYPE 4, UNLESS OTHERWISE NOTED. |
| 4. | ALL BATHROOMS TO RECEIVE WATER RESISTANT GYP. BOARD IN NON WET AREAS. |
| 5. | FRAMING CONTRACTOR TO VERIFY FLOOR FINISH WITH OWNER PRIOR TO INSTALLATIONS OF DOOR FRAME. |
| 6. | SEE MECHANICAL DRAWINGS FOR ADDITIONAL INFORMATION. |
| 7. | VERIFY LAYOUT OF ALL FIXTURES LOCATED IN CONCRETE SLAB WITH ARCHITECT PRIOR TO POUR. |
| 8. | FINAL SELECTION, LOCATION, AND DESIGN OF FINISHES, FIXTURES, AND EQUIPMENT WILL BE PROVIDED BY OWNER. |
| 9. | REFER TO SHEET A5-1.01 FOR ENLARGED KITCHEN PLANS AND ELEVATIONS. |
| 10. | REFER TO SHEET A5-2.01 FOR ENLARGED BATHROOM PLANS AND ELEVATIONS. |
| 11. | REFER TO SHEET A7-1.04 FOR WALL TYPE DETAILS. |
| 12. | REFER TO SHEET A7-1.02 FOR DOOR SCHEDULE |

PROJECT AND OWNER:
DENBORA BAY III

2125 Bay Dr.
MIAMI BEACH | FL | 33141
2125 BAY DR LLC
3179 HOLYLAKE RD.
LAKE WORTH | FL | 33467

ARCHITECT:

2030 HABERSHAM TRCE | CUMMING | GA 30041
954 812 6650
RICARDO@MUVEARCH.COM
AA#26003161



DESIGNER:



1535 NORTH PARK DRIVE #102 WESTON
FL 33326
954 850 9965
ADMIN@REDOCTOPUSLLC.COM

FINAL SUBMITAL

PERMIT APPLICATION DATE: 05-05-2024
SHEET ISSUE DATE: 03-31-2023
PROJECT NO.: 2312
DRAWN BY: BK APPROVED BY: YM

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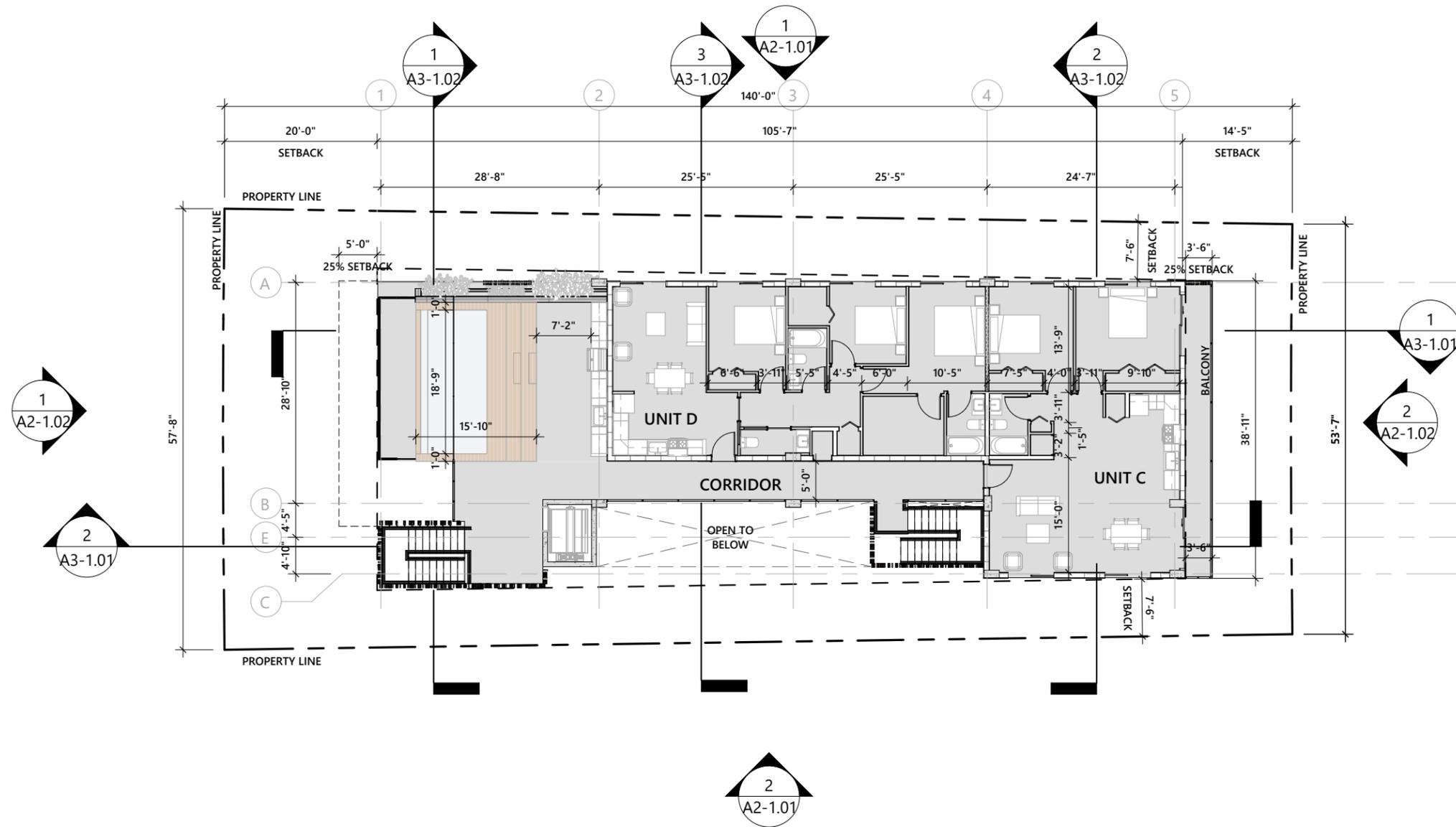
SIGNATURE:
RICARDO J. MUNIZ-GUILLET
LIC# AR97841

SHEET TITLE:
FLOOR PLAN 4TH LEVEL

SCALE:
As indicated

SHEET NO:
A1-1.04

5/3/2024 12:50:13 PM



1 FLOOR PLAN LEVEL 04
1/16" = 1'-0"

GROUND LEVEL AREA: 3,661 S.F.

| WALL LEGEND | |
|-------------|--|
| 1 | <p>WALL TYPE 1 TYPICAL NON LOAD BEARING 8" CMU WALL W/ VERTICAL REINFORCING. SEE STRUCTURE FOR DETAILS.</p> |
| 2 | <p>WALL TYPE 2 EXTERIOR NON LOAD BEARING 8" CMU WALL W/ VERTICAL REINFORCING. SEE STRUCTURE FOR DETAILS.</p> |
| 3 | <p>WALL TYPE 3 TYPICAL 4" INTERIOR PARTITION NON-RATED.</p> |
| 4 | <p>WALL TYPE 4 REINFORCED CONCRETE WALL. SEE STRUCTURE FOR DETAILS.</p> |
| 5 | <p>WALL TYPE 5 UNIT DEMISING PARTITION 1 HR FIRE RATED.</p> |

SEE TYPICAL WALL TYPES SHEET A7-1.01 FOR DETAILS

| PLAN NOTES | |
|------------|---|
| 1. | BUILDING IS FULLY SPRINKLERED. |
| 2. | SEE ELECTRICAL DRAWINGS FOR LIFE SAFETY/ EGRESS LIGHTS. |
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| 7. | VERIFY LAYOUT OF ALL FIXTURES LOCATED IN CONCRETE SLAB WITH ARCHITECT PRIOR TO POUR. |
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| 11. | REFER TO SHEET A7-1.04 FOR WALL TYPE DETAILS. |
| 12. | REFER TO SHEET A7-1.02 FOR DOOR SCHEDULE |

PROJECT AND OWNER:
DENBORA BAY III

2125 Bay Dr.
MIAMI BEACH | FL | 33141
2125 BAY DR LLC
3179 HOLYLAKE RD.
LAKE WORTH | FL | 33467

ARCHITECT:
2030 HABERSHAM TRCE | CUMMING | GA 30041
954 812 6650
RICARDO@MUVEARCH.COM
AA#26003161



DESIGNER:



1535 NORTH PARK DRIVE #102 WESTON
FL 33326
954 850 9965
ADMIN@REDOCTOPUSLLC.COM

FINAL SUBMITAL

PERMIT APPLICATION DATE: 05-05-2024
SHEET ISSUE DATE: 03-31-2023
PROJECT NO.: 2312
DRAWN BY: BK APPROVED BY: YM

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SIGNATURE:
RICARDO J. MUNIZ-GUILLET
LIC# AR97841

SHEET TITLE:
TOP OF ROOF

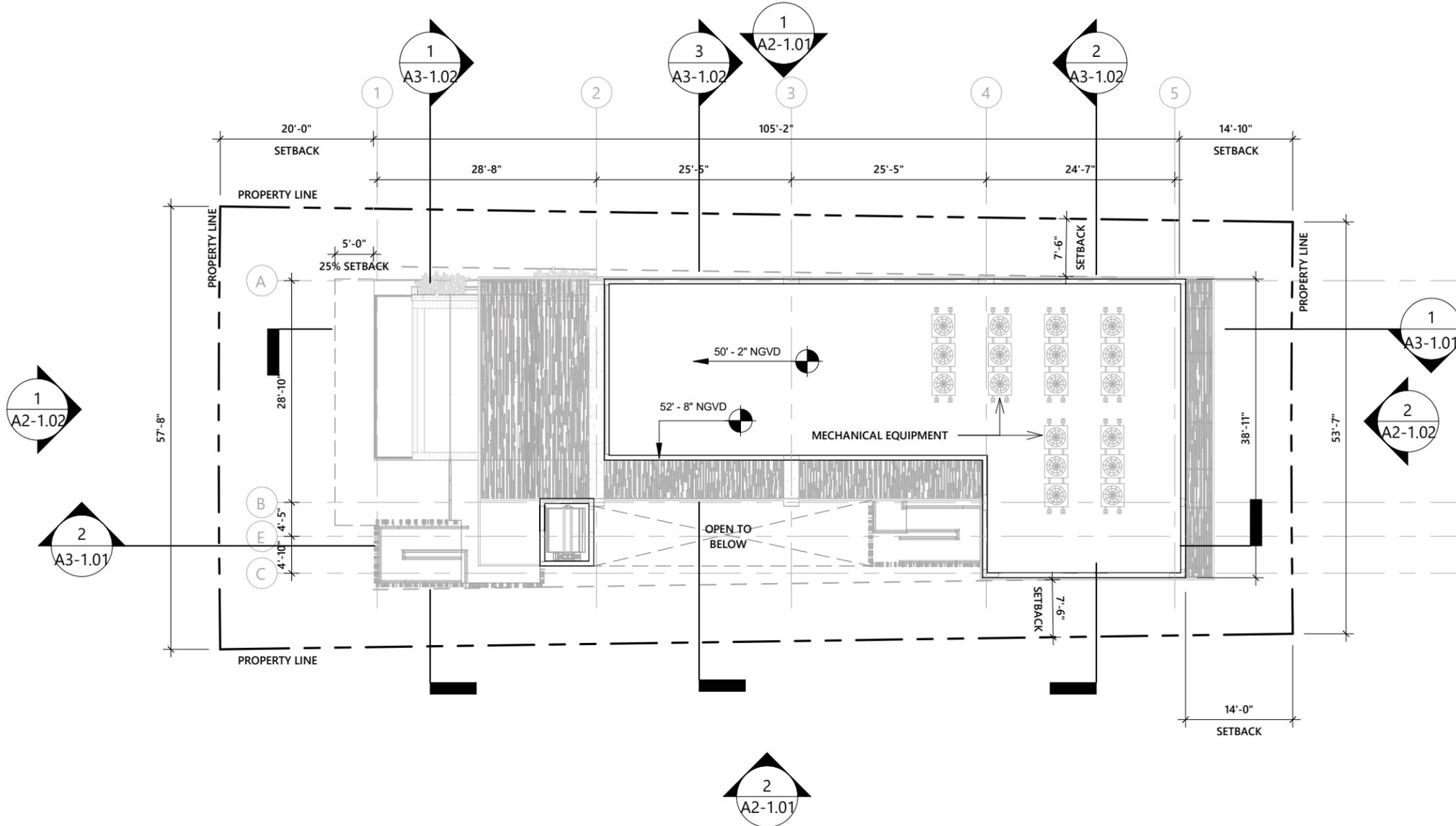
SCALE:

As indicated

SHEET NO:

A1-1.05

5/3/2024 12:50:16 PM



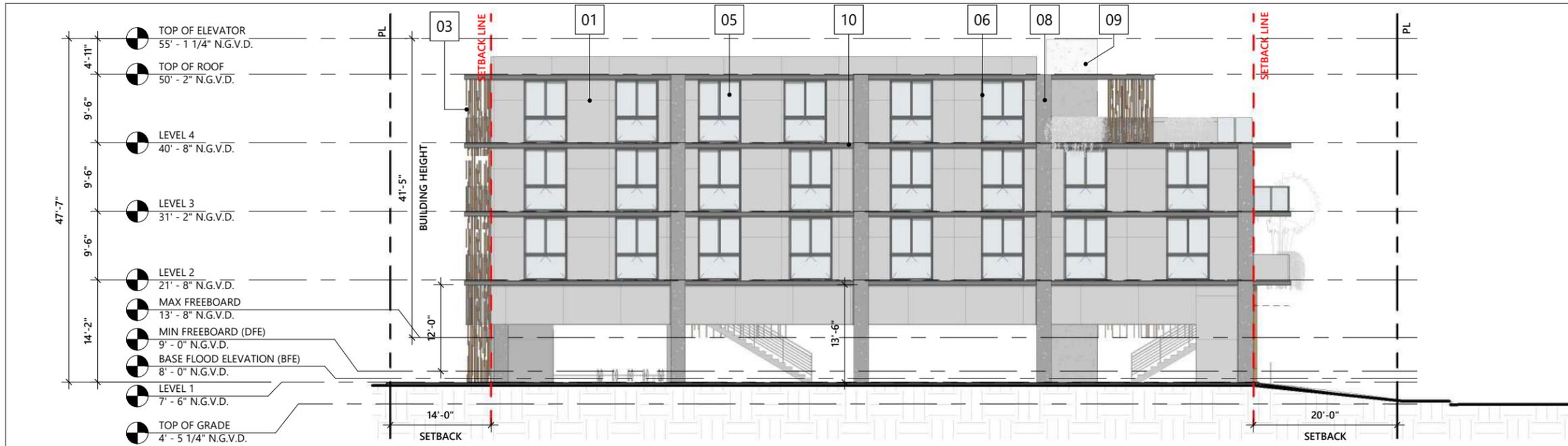
1 TOP OF ROOF
1/16" = 1'-0"

GROUND LEVEL AREA: 3,986 S.F.

| WALL LEGEND | |
|-------------|---|
| | WALL TYPE 1 TYPICAL NON LOAD BEARING 8" CMU WALL W/ VERTICAL REINFORCING. SEE STRUCTURE FOR DETAILS. |
| | WALL TYPE 2 EXTERIOR NON LOAD BEARING 8" CMU WALL W/ VERTICAL REINFORCING. SEE STRUCTURE FOR DETAILS. |
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SEE TYPICAL WALL TYPES SHEET A7-1.01 FOR DETAILS

| PLAN NOTES | |
|------------|---|
| 1. | BUILDING IS FULLY SPRINKLERED. |
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| 10. | REFER TO SHEET A5-2.01 FOR ENLARGED BATHROOM PLANS AND ELEVATIONS. |
| 11. | REFER TO SHEET A7-1.04 FOR WALL TYPE DETAILS. |
| 12. | REFER TO SHEET A7-1.02 FOR DOOR SCHEDULE |



PROJECT AND OWNER:
DENBORA BAY III

2125 Bay Dr.
 MIAMI BEACH | FL | 33141
 2125 BAY DR LLC
 3179 HOLYLAKE RD.
 LAKE WORTH | FL | 33467

ARCHITECT:
 2030 HABERSHAM TRCE | CUMMING | GA 30041
 954 812 6650
 RICARDO@MUVEARCH.COM
 AA#26003161



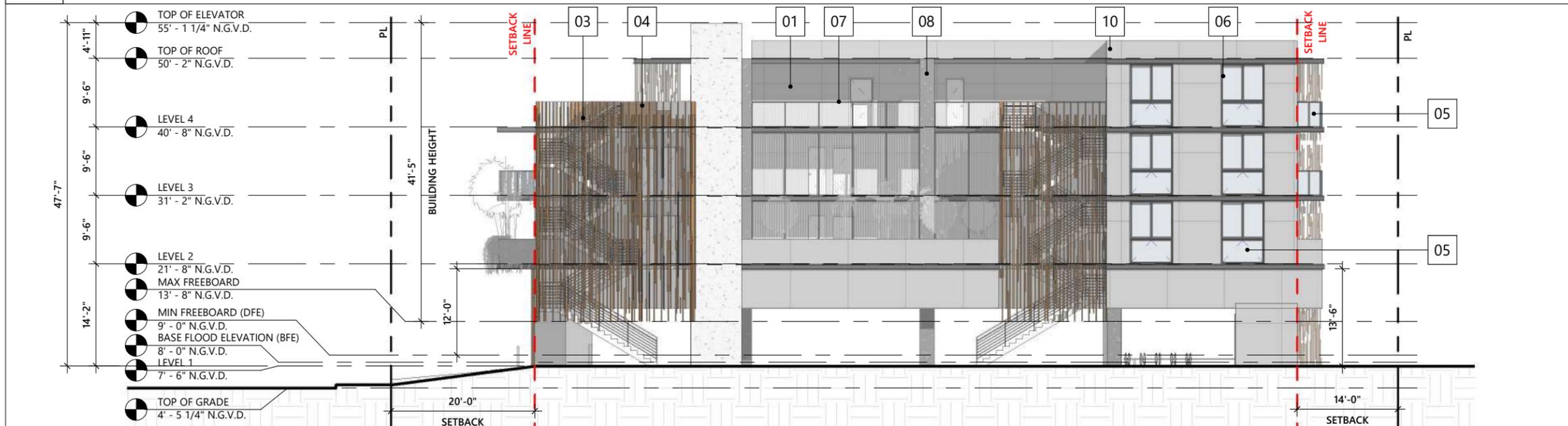
DESIGNER:



1535 NORTH PARK DRIVE #102 WESTON
 FL 33326
 954 850 9965
 ADMIN@REDOCTOPUSLLC.COM

1 NORTH ELEVATION

1/16" = 1'-0"



2 SOUTH ELEVATION

1/16" = 1'-0"

FINAL SUBMITAL

PERMIT APPLICATION DATE: 05-05-2024
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 PROJECT NO.: 2312
 DRAWN BY: BK APPROVED BY: YM

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SIGNATURE:
 RICARDO J. MUNIZ-GUILLET
 LIC# AR97841

SHEET TITLE:
NORTH & SOUTH ELEVATION

SCALE:
As indicated

SHEET NO:
A2-1.01

5/3/2024 12:50:24 PM

MATERIAL LEGEND

| | | | | | | | | | |
|--|---------------------------|--|----------------------|--|---------------------------|--|--------------------------------------|--|--|
| | 1 EXPOSED CONCRETE | | 3 WOOD SIDING | | 5 LAMINATED GLASS | | 7 VERTICAL ALUMINUM BALUSTERS | | 9 CAST IN PLACE CONCRETE LIGHT |
| | 2 GRAY PAVERS | | 4 WOOD TEAK | | 6 ALUMINUM FRAMING | | 8 CAST IN PLACE CONCRETE | | 10 GRAY STEEL FRAMING C CHANNEL |

PROJECT AND OWNER:
DENBORA BAY III

2125 Bay Dr.
 MIAMI BEACH | FL | 33141
 2125 BAY DR LLC
 3179 HOLYLAKE RD.
 LAKE WORTH | FL | 33467

ARCHITECT:
 2030 HABERSHAM TRCE | CUMMING | GA 30041
 954 812 6650
 RICARDO@MUVEARCH.COM
 AA#26003161



DESIGNER:



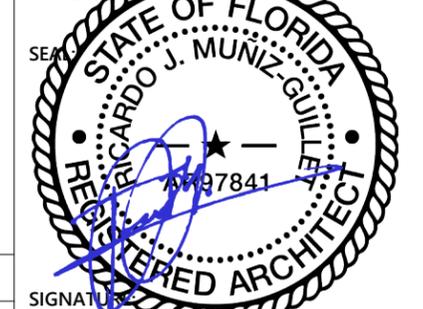
1535 NORTH PARK DRIVE #102 WESTON
 FL 33326
 954 850 9965
 ADMIN@REDOCTOPUSLLC.COM

FINAL SUBMITAL

PERMIT APPLICATION DATE: 05-05-2024
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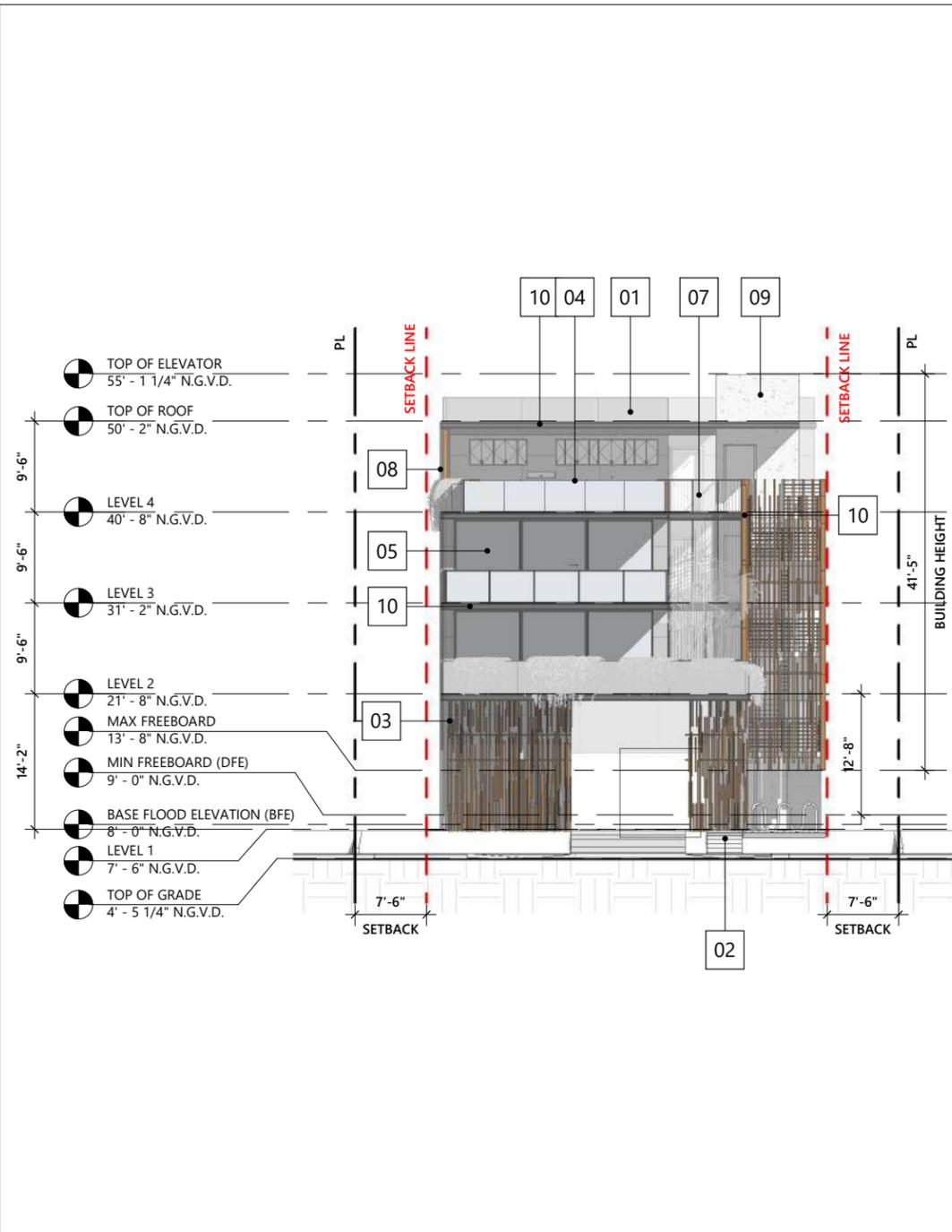
SIGNATURE:
 RICARDO J. MUNIZ-GUILLET
 LIC# AR97841

SHEET TITLE:
EAST & WEST ELEVATION

SCALE:
As indicated

SHEET NO:
A2-1.02

5/3/2024 12:50:32 PM



1 WEST ELEVATION
 1/16" = 1'-0"

2 EAST ELEVATION
 1/16" = 1'-0"

MATERIAL LEGEND

| | | | | | | | | | |
|--|---------------------------|--|----------------------|--|---------------------------|--|--------------------------------------|--|--|
| | 1 EXPOSED CONCRETE | | 3 WOOD SIDING | | 5 LAMINATED GLASS | | 7 VERTICAL ALUMINUM BALUSTERS | | 9 CAST IN PLACE CONCRETE LIGHT |
| | 2 GRAY PAVERS | | 4 WOOD TEAK | | 6 ALUMINUM FRAMING | | 8 CAST IN PLACE CONCRETE | | 10 GRAY STEEL FRAMING C CHANNEL |



PROJECT AND OWNER:
DENBORA BAY III

2125 Bay Dr.
 MIAMI BEACH | FL | 33141
 2125 BAY DR LLC
 3179 HOLYLAKE RD.
 LAKE WORTH | FL | 33467

ARCHITECT:
 2030 HABERSHAM TRCE | CUMMING | GA 30041
 954 812 6650
 RICARDO@MUVEARCH.COM
 AA#26003161



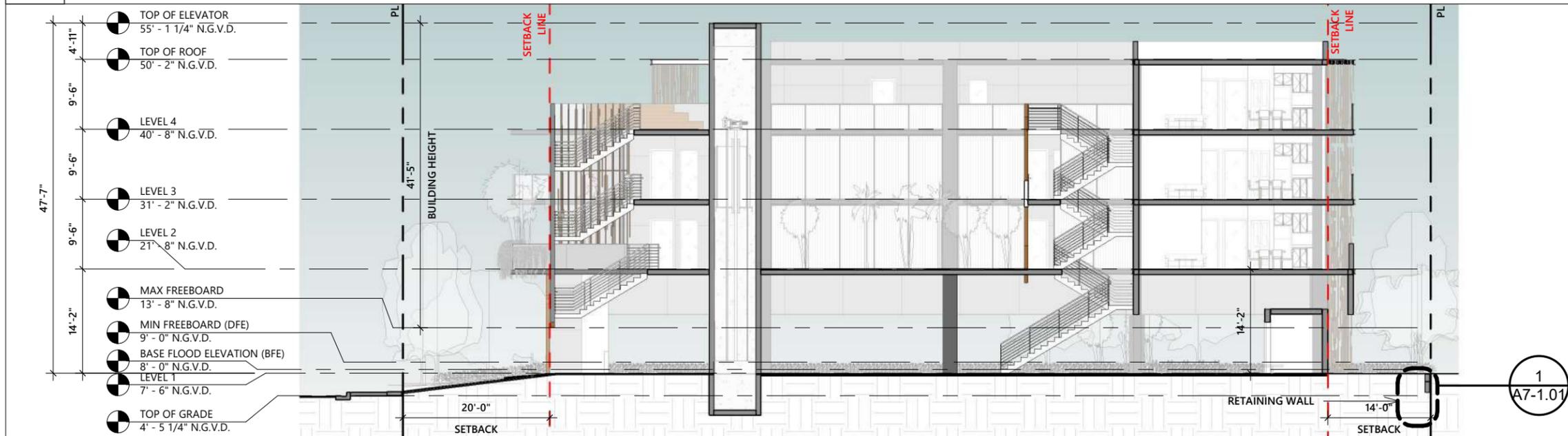
DESIGNER:



1535 NORTH PARK DRIVE #102 WESTON
 FL 33326
 954 850 9965
 ADMIN@REDOCTOPUSLLC.COM

1 LONGITUDINAL SECTION 01

1/16" = 1'-0"



2 LONGITUDINAL SECTION 02

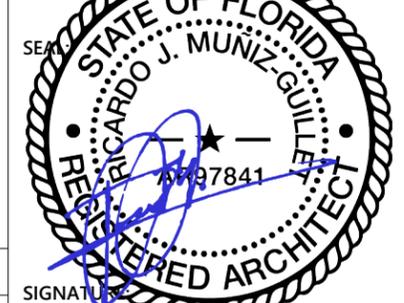
1/16" = 1'-0"

FINAL SUBMITAL

PERMIT APPLICATION DATE: 05-05-2024
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 DRAWN BY: BK APPROVED BY: YM

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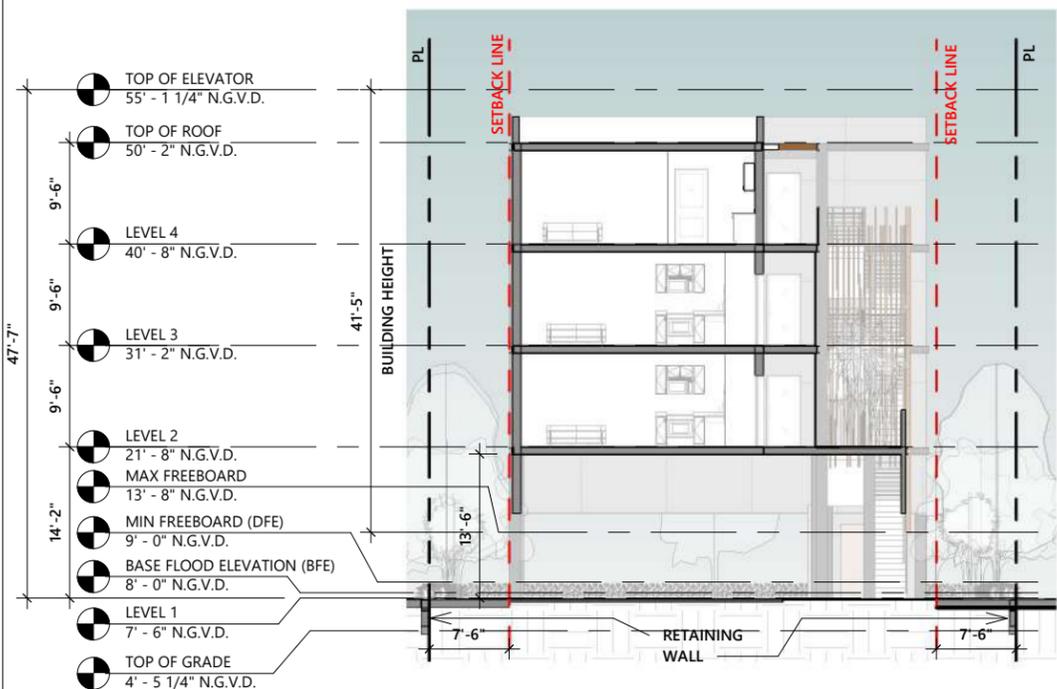
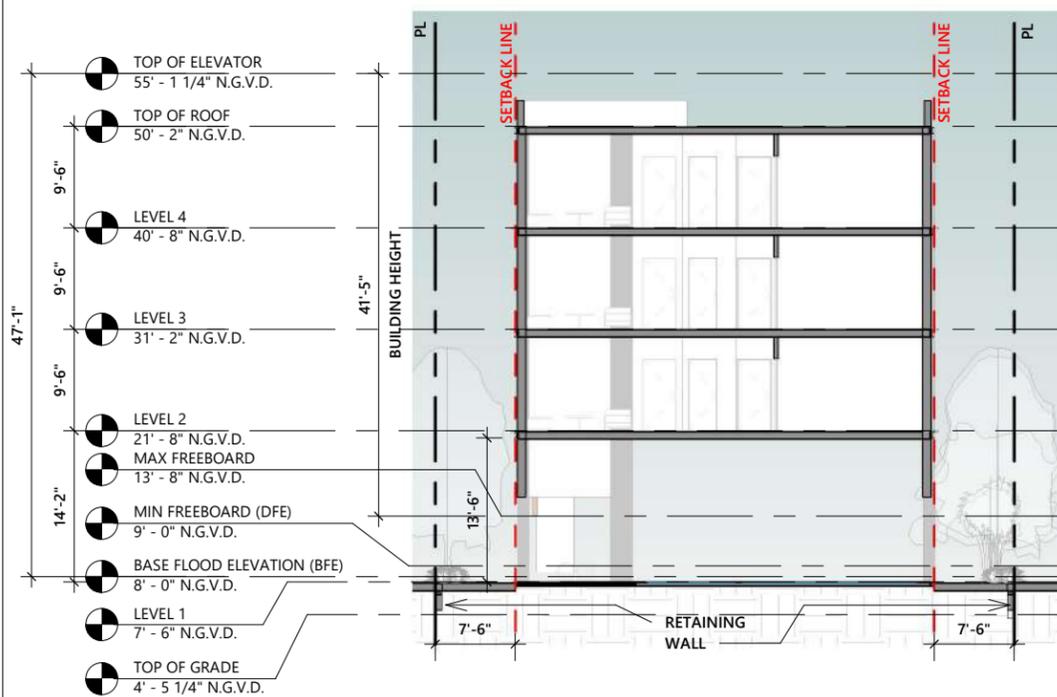
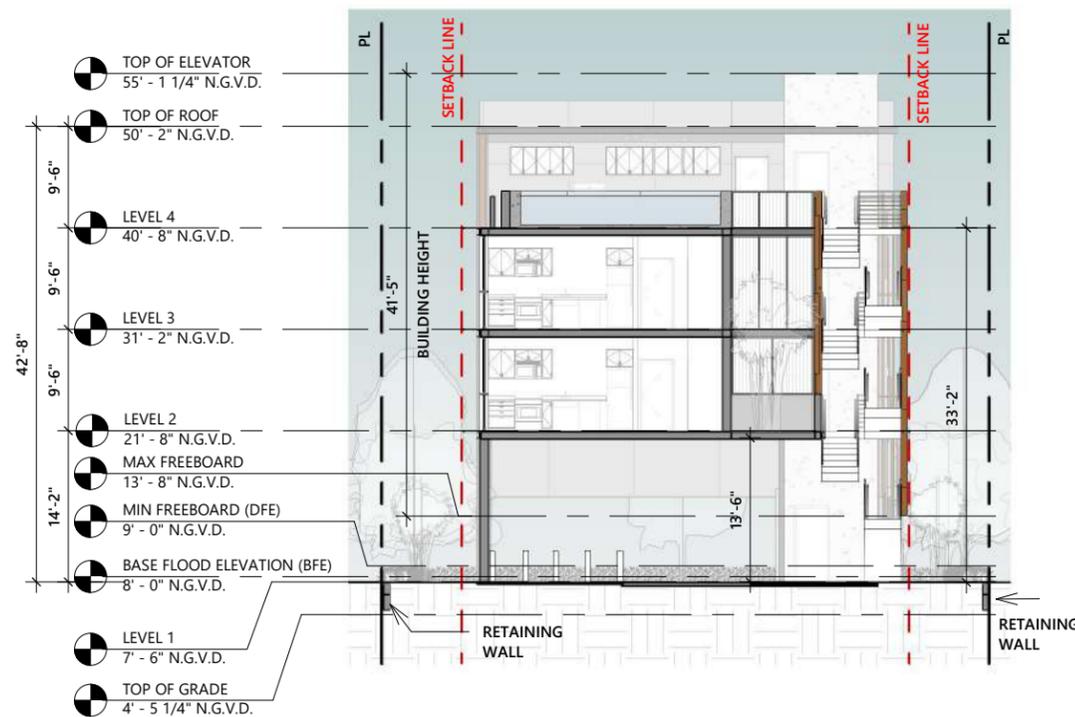
SIGNATURE:
 RICARDO J. MUNIZ-GUILLET
 LIC# AR97841

SHEET TITLE:
LONGITUDINAL SECTION

SCALE:
 1/16" = 1'-0"

SHEET NO:
A3-1.01

5/3/2024 12:50:36 PM



1 CROSS SECTION 1
1/16" = 1'-0"

2 CROSS SECTION 2
1/16" = 1'-0"

3 CROSS SECTION 3
1/16" = 1'-0"

PROJECT AND OWNER:
DENBORA BAY III

2125 Bay Dr.
MIAMI BEACH | FL | 33141
2125 BAY DR LLC
3179 HOLYLAKE RD.
LAKE WORTH | FL | 33467

ARCHITECT:
2030 HABERSHAM TRCE | CUMMING | GA 30041
954 812 6650
RICARDO@MUVEARCH.COM
AA#26003161



DESIGNER:



1535 NORTH PARK DRIVE #102 WESTON
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ADMIN@REDOCTOPUSLLC.COM

FINAL SUBMITAL

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DRAWN BY: BK APPROVED BY: YM

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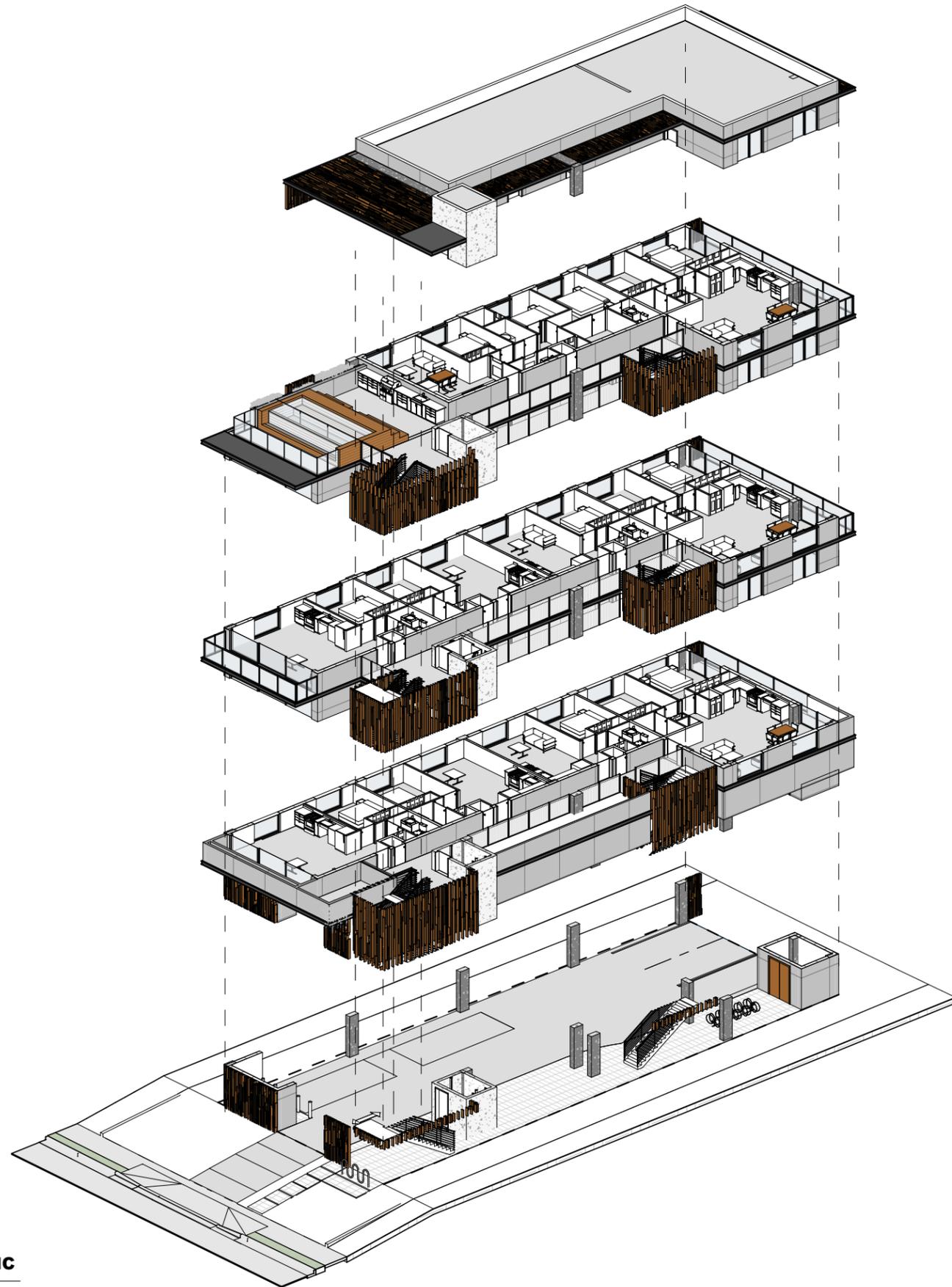
SIGNATURE:
RICARDO J. MUNIZ-GUILLET
LIC# AR97841

SHEET TITLE:
CROSS SECTION

SCALE:
1/16" = 1'-0"

SHEET NO:
A3-1.02

5/3/2024 12:50:39 PM



← TOP OF ROOF

← FLOOR PLAN 4TH LEVEL

← FLOOR PLAN 3RD LEVEL

← FLOOR PLAN 2ND LEVEL

← GROUND LEVEL PLAN

PROJECT AND OWNER:

DENBORA BAY III

2125 Bay Dr.
MIAMI BEACH | FL | 33141
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FINAL SUBMITAL

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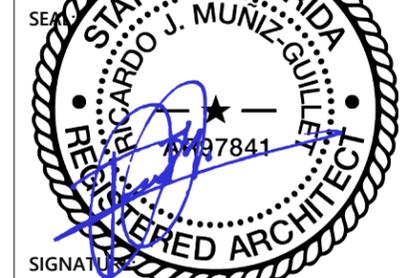
SHEET ISSUE DATE: 03-31-2023

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DRAWN BY: BK APPROVED BY: YM

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CONSTITUTE ORIGINAL WORK OF THE DESIGNER AND
MAY ONLY BE DUPLICATED WITH THEIR WRITTEN
CONSENT



SIGNATURE:
RICARDO J. MUNIZ-GUILLET
LIC# AR97841

SHEET TITLE:
EXPLOTED AXONOMETRIC

SCALE:
N.T.S.

SHEET NO:
A3-1.03

5/3/2024 12:51:26 PM

PROJECT AND OWNER:
DENBORA BAY III

2125 Bay Dr.
 MIAMI BEACH | FL | 33141
 2125 BAY DR LLC
 3179 HOLYLAKE RD.
 LAKE WORTH | FL | 33467

ARCHITECT:
 2030 HABERSHAM TRCE | CUMMING | GA 30041
 954 812 6650
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DESIGNER:



1535 NORTH PARK DRIVE #102 WESTON
 FL 33326
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PERMIT APPLICATION DATE: 05-05-2024
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 PROJECT NO.: 2312
 DRAWN BY: APPROVED BY:

| | | |
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ALL DRAWINGS AND WRITTEN MATERIALS HEREIN
 CONSTITUTE ORIGINAL WORK OF THE DESIGNER AND
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 CONSENT



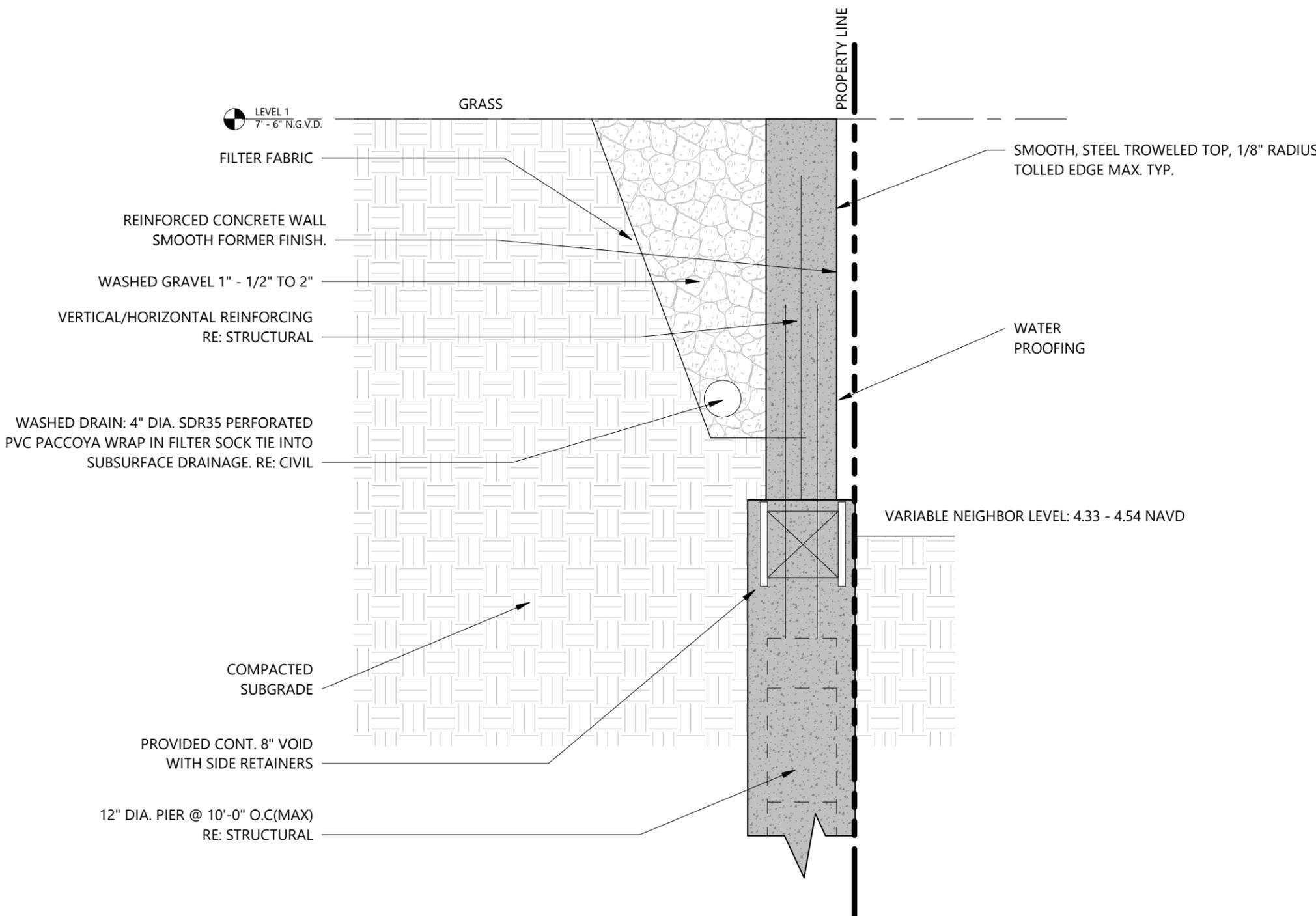
SIGNATURE:
 RICARDO J. MUNIZ-GUILLET
 LIC# AR97841

SHEET TITLE:
WALL DETAIL

SCALE:
1" = 1'-0"

SHEET NO.:
A7-1.01

5/3/2024 12:51:28 PM



1 **RETAINING WALL DETAIL SECTION**
 1" = 1'-0"



PROJECT AND OWNER:
DENBORA BAY III

2125 Bay Dr.
 MIAMI BEACH | FL | 33141
 2125 BAY DR LLC
 3179 HOLYLAKE RD.
 LAKE WORTH | FL | 33467

ARCHITECT:
 2030 HABERSHAM TRCE | CUMMING | GA 30041
 954 812 6650
 RICARDO@MUVEARCH.COM
 AA#26003161



DESIGNER:



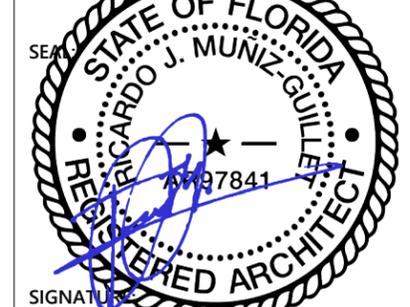
1535 NORTH PARK DRIVE #102 WESTON
 FL 33326
 954 850 9965
 ADMIN@REDOCTOPUSLLC.COM

FINAL SUBMITAL

PERMIT APPLICATION DATE: 05-05-2024
 SHEET ISSUE DATE: 03-31-2023
 PROJECT NO.: 2312
 DRAWN BY: BK APPROVED BY: YM

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 LIC# AR97841

SHEET TITLE:
STREET VIEW

SCALE:
 N.T.S.

SHEET NO:
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PROJECT AND OWNER:
DENBORA BAY III

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 MIAMI BEACH | FL | 33141
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REAR VIEW

SCALE:
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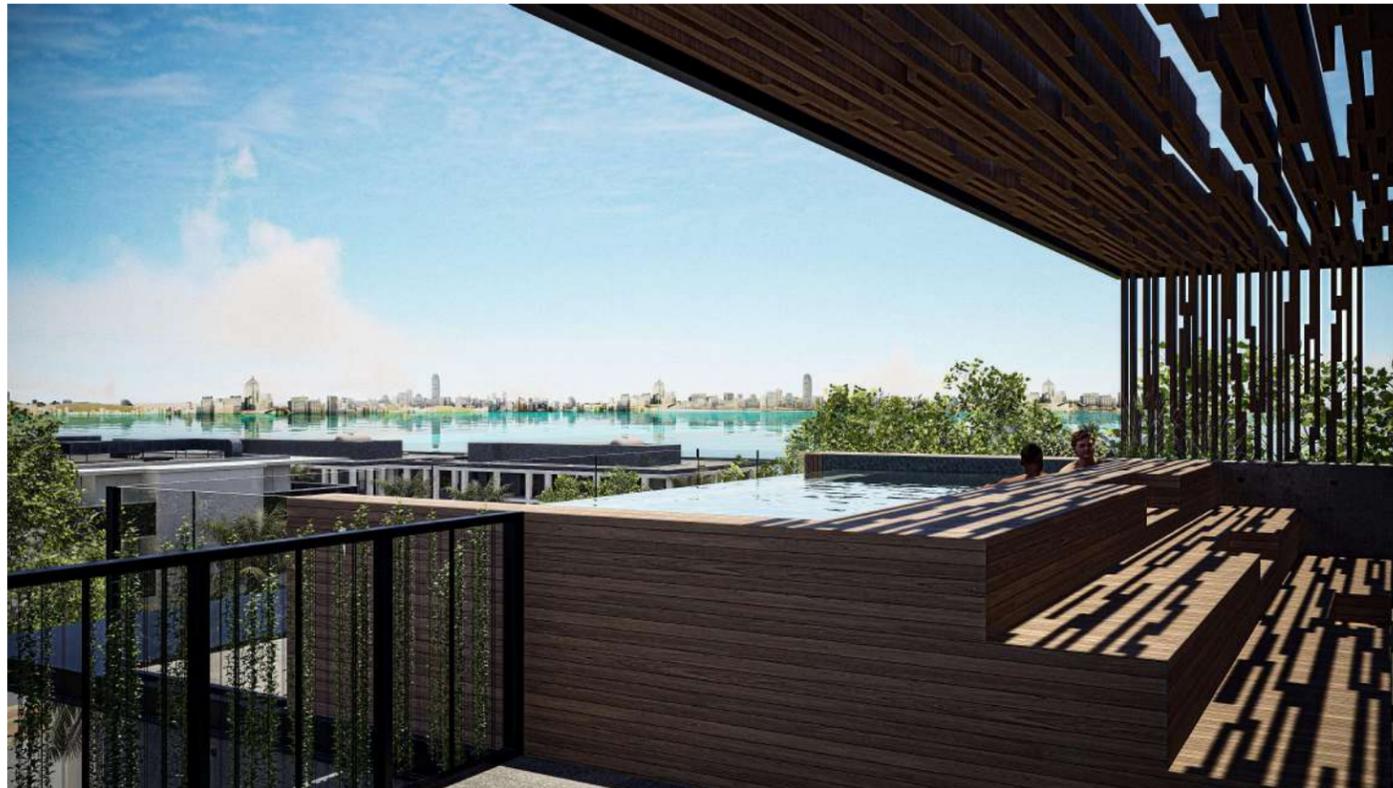
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EXTERIOR PATIO VIEW

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2125 Bay Dr.
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ROOFTOP VIEW

SCALE:
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AXONOMETRIC VIEW

SCALE:

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