

ZBA24-0166
FINAL SUBMITTAL
September 8, 2024



Ch2 design
Architecture
Interiors
Construction
www.ch2d.com

161 CRANDON BLVD
SUITE #413, MIAMI
FLORIDA 33149
TEL. 305 495 5536
LICENSE #AR 94361



0 KEY FOR PHOTOS



1 VIEW OF FRONT FACADE OF LOT 5473 FACING EAST



2 VIEW OF FRONT FACADE OF LOT 5473 FACING EAST



3 VIEW OF FRONT FACADE OF LOT 5481 FACING EAST



4

VIEW OF LOT 5493 FACING EAST



5

VIEW OF FRONT FACADE OF LOT 5481 FACING SOUTH



6

VIEW OF FRONT FACADE OF LOT 5465 FACING EAST



7

VIEW OF FRONT FACADE OF LOT 5455 FACING EAST



8

VIEW OF FRONT FACADE OF LOT 5480 FACING EAST



9

VIEW OF FRONT FACADE OF LOT 5480 FACING EAST



10

VIEW OF FRONT FACADE OF LOT 5446 FACING WEST



11

VIEW OF FRONT FACADE OF LOT 5446 FACING WEST



Existing Structure – Front Elevation (West)



Existing Structure – Rear Elevation (East)

GENERAL NOTES

1. ALL FINISH MATERIALS SHALL BE CLASS "B" FLAME SPREAD.
2. THE SELECTION OF ALL FINISH MATERIALS SHALL BE APPROVED BY THE ARCHITECT.
3. THE WORK SHALL BE DONE IN ACCORDANCE WITH THE BEST PRACTICES IN THE CONSTRUCTION INDUSTRY AND SHALL BE PERFORMED IN A PROFESSIONAL AND WORKMAN-LIKE MANNER. ANY WORK COMPLETED IN A NON-PROFESSIONAL MANNER SHALL BE REJECTED AND SHALL BE REDONE BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
4. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT PROPERTY, FURNISHINGS AND EQUIPMENT IN AREAS WHERE WORK IS BEING DONE THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGES CAUSED TO EXISTING PROPERTY SPACES AND EQUIPMENT DUE TO CONSTRUCTION OPERATIONS.
5. ALL WORK PERFORMED UNDER THIS CONTRACT SHALL COMPLY WITH ALL NATIONAL, STATE AND LOCAL CODES HAVING JURISDICTION AND WITH THE REQUIREMENTS OF THE UTILITY COMPANIES WHOSE SERVICES SHALL BE USED. ALL MODIFICATIONS REQUIRED BY THESE CODES SHALL BE MADE BY THE CONTRACTOR WITHOUT ANY ADDITIONAL COST TO THE OWNER.
6. DEMOLITION WILL NOT AFFECT ANY PLUMBING , ELECTRICAL OR SPRINKLER LINES , OUTLETS OR UTILITY LINES.
7. ALL MATERIALS FURNISHED ON THE JOB SITE SHALL BE NEW AND STORED IN SUCH A MANNER SO AS TO PROTECT IT FROM DAMAGE AND EXPOSURE TO THE ELEMENTS
8. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS AND ANGLES AND ALL OTHER EXISTING CONDITIONS PRIOR TO COMMENCING ANY WORK. CONTRACTOR TO ALSO VERIFY AND APPROVE ALL INFORMATION ON DRAWINGS. ACCEPTANCE OF THESE PLANS CONSTITUTES APPROVAL. PLEASE NOTIFY ENGINEER BY CERTIFIED MAIL OF ANY CONFLICTS OR DISCREPANCIES, IF ANY.
9. CONTRACTOR SHALL FURNISH AND BE SOLELY RESPONSIBLE FOR ALL TEMPORARY BRACING AND SHORING REQUIRED TO MAINTAIN PLUMPNESS AND STABILITY OF ALL STRUCTURAL ELEMENTS DURING CONSTRUCTION.
10. THE CONTRACTOR SHALL OBTAIN FROM ALL SUBCONTRACTORS THE FINAL APPROVED SITE AND LOCATION OF ALL OPENINGS TO BE PROVIDED FOR RESPECTIVE TRADES. HE SHALL BE RESPONSIBLE FOR LOCATION AND DETAILS.
11. ANY UTILITY LINES THAT ARE DAMAGED OR BROKEN DURING CONSTRUCTION SHALL BE REPAIRED BY THE CONTRACTOR AT NO CHARGE TO THE OWNER.
12. ALL WORK SHALL BE PERFORMED IN COMPLIANCE WITH THE LASTEST FLORIDA BUILDING CODE AND ALL APPLICABLE LOCAL ORDINANCES.
13. THE CONTRACTOR SHALL SUBMIT ALL PROPOSED SUBSTITUTIONS OF SPECIFIED PRODUCTS AND/OR MATERIALS IN WRITING TO THE ARCHITECT. SUCH SUBSTITUTIONS SHALL BE SUBJECT TO REVIEW AND APPROVAL BY THE ARCHITECT.
14. AFTER COMPLETION OF THE WORK THE PREMISES AND THE BUILDING SHALL BE LEFT CLEAN AND FREE OF PAINT,CONCRETE AND/OR PLASTER SMEARS AND SPLATTERS. ALL CONSTRUCTION DEBRIS SHALL BE HAULED AWAY AND THE BUILDING SHALL BE BROOM CLEANED.
15. THE CONTRACTOR SHALL VERIFY ALL WINDOW AND DOOR OPENINGS AND SIZES. IN CASE OF DISCREPANCIES OR OR CONFLICTS THE ARCHITECT SHALL BE NOTIFIED BEFORE PROCEEDING WITH THE WORK.
16. THE CONTRACTOR SHALL INCLUDE IN THE DOOR AND WINDOW WORK THE FURNISHING, INSTALLATION AND FINISHING OF AII CASINGS, FRAMES, TRIM AND SILLS.
17. THE CONTRACTOR SHALL SUBMIT TO THE ARCHITECT FOR REVIEW / APPROVAL SHOP DRAWINGS IN TRIPLICATE FOR ALL SPECIFIED ITEMS.
18. ALL WOOD IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED.
19. DO NOT SCALE DRAWINGS.
20. THESE DRAWINGS ARE INSTRUMENTS OF CONSTRUCTION AND REMAIN THE SOLE PROPERTY OF THE SIGNATORY ARCHITECT OR ENGINEER . ANY REPRODUCTIONS OF SAID DRAWINGS SHALL BE MADE ONLY WITH THE WRITTEN CONSENT OF THE ARCHITECT OR ENGINEER.
21. CONTRACTOR SHALL FURNISH AND BE SOLELY RESPONSIBLE FOR ALL TEMPORARY BRACING AND SHORING REQUIRED TO MAINTAIN PLUMBNESS AND STABILITY OF ALL STRUCTURAL ELEMENTS DURING CONSTRUCTION.
22. THE CONTRACTOR SHALL OBTAIN FROM ALL SUBCONTRACTORS THE FINAL APPROVED SITE AND LOCATION OF ALL OPENINGS TO BE PROVIDED FOR RESPECTIVE TRADES. HE SHALL BE RESPONSIBLE FOR LOCATION AND DETAILS.
23. ALL CONCRETE FOR FOUNDATION & SLABS ON GRADE SHALL REACH 2500 P.S.I. COMPRESSIVE STRENGTH AT 28 DAYS, AND ALL COLUMNS, GROUTED CELLS, SLABS ABOVE GRADE AND TIE BEAMS SHALL REACH 3000 P.S.I. COMPRESSIVE STRENGTH MINIMUM AT 28 DAYS UNLESS OTHERWISE NOTED.
24. CONTRACTOR/OWNER SHALL BE RESPONSIBLE FOR VERIFYING REQUIRES GRADE AND FINISH FLOOR ELEVATIONS WITH RESPECT TO DADE COUNTY FLOOD CRITERIA, EXISTING CROWN OF ROAD ELEVATIONS, FEDERAL FLOOD CRITERIA OR ANY OTHER GOVERNING BODY.
25. OWNER AND CONTRACTOR SHALL NOTIFY ENGINEER IN WRITING, BY CERTIFIED MAIL UPON COMMENCEMENT PROJECT.

PROJECT DIRECTORY

OWNER:	DAVID PULLMAN, ALLISON PULLMAN
ARCHITECT:	CH2 DESIGN INC - Ph 305.771.2423 161 CRANDON BLVD AP 413, KEY BISCAYNE FL 33149
CONTACT:	GABRIEL CHAVARRIA
MEP ENGINEERS:	ARPE ENGINEERING INC. - Ph 305.444.9809 2020 PONCE DE LEON BLVD suite 1002, CORAL GABLES FL 33134
CONTACT:	AMARILIS RODRIGUEZ
STRUCT.ENGINEERS:	SkyRock Engineering, Inc. Ph 786.285.7157 18102 SW 156th Ave. Miami, FL. 33187
CONTACT:	AIMEE RODRIGUEZ

SCOPE OF WORK - CONSTRUCTION

- ADDITION GARAGE AREA
- ELECTRICAL SCOPE**
- SUPPLY POWER TO NEW AREA

LEGAL DESCRIPTION

FOLIO # ID= 02-3215-003-1540

5473 N BAY RD
MIAMI BEACH. FLORIDA 33140-2031

CONSTRUCTION TYPE

EXISTING BUILDING IS A CONSTRUCTION TYPE 1B AS PER FLORIDA BUILDING CODE. EXISTING OCCUPANCY USE IS RESIDENTIAL. PROPOSED OCCUPANCY GROUP IS RESIDENTIAL

APPLICABLE CODES

- FLORIDA BUILDING CODE 2023, 8th EDITION.
- FLORIDA FIRE PREVENTION CODE 8TH EDITION. NFPA 2021 EDITION

PROPOSED REMODELING OF SPACE IS ALTERATION LEVEL 3 AS PER FBC 2020

SEPARATE PERMITS

- WINDOWS AND DOORS REPLACEMENT.
- ACCESS DRIVEWAY (IF REQUIRED)

FEMA FLOOD NOTE

FEMA FLOOD ZONE AE BASE FLOOD ELEVATION: 10'-0" NGVD MIN. FFE = 11'-0" NGVD. NEW

AS PER SURVEY AND ELEVATION CETIFICATE, EXISTING ELEVATION ARE:

- GGE ELEVATION: 9.7'NGVD
- FINISH FLOOR ELEVATION: 10' NGVD (EXISTING TO REMAIN)

EXISTING INTERIOR HOME ELEVATION TO REMAIN. SINCE GARAGE IS CONVERTED TO INTERIOR ROOMS, THE FLOOR WILL MATCH EXISTING ELEVATION OF THE HOME => 10'-0" NGVD

POOL NOTE

EXISTING 48" TALL SAFETY FENCE WITH 3.5" SECURITY MESH (REQUIRED TO MEET ASTM 1346-91 STANDARDS) ACCESS DOOR TO HAVE A SELF - CLOSING AND SELF - LATCHING MECHANISM REQUIRED FOR POOL ENCLOSURE.

TERMITE PROTECTION

ALL SOIL AND FILL UNDER FLOORS AND/OR WITHIN OR UNDER BUILDING SHALL HAVE PRE CONSTRUCTION SOIL TREATMENT FOR PROTECTION AGAINST TERMITES. THE STANDARDS OF NATIONAL PEST CONTROL ASSOCIATION SHALL BE DEEMED AS APPROVED IN RESPECT TO PRE-CONSTRUCTION SOIL TREATMENT FOR PROTECTION AGAINST TERMITES. CERTIFICATE OF COMPLIANCE SHALL BE ISSUED TO THE BUILDING DEPARTMENT BY LICENSED PEST CONTROL AGENCY.

SOIL NOTE

PROVIDE VAPOR RETARDER FOR SLAB ON GRADE OF 6 MIL. AS PER F.B.C.R.506.2.3 COMPACT ALL CONSTRUCTION AREAS WITH A HEAVY SELF PROPELLED ROLLER TO A MINIMUM OF 95% OF ASTM D-1557 BUT NO LESS THAN 10 PASSES IN EACH DIRECTION. LOCALIZED AREAS OF LOOSE MATERIALS, IF PRESENT, WILL BECOME EVIDENT DURING SITE CLEANING, GRUBBING AND PROOF ROLLING, AND MUST BE REMOVED PRIOR TO FILLING OPERATIONS. BACKFILL CONSTRUCTION AREAS TO REQUIRED ELEVATION USING CLEAN GRANULAR HOMOGENEOUS MATERIAL PLACED IN LIFTS NOT TO EXCEED 12 INCHES IN THICKNESS AND COMPACT AS INDICATED ABOVE. OUTSIDE GROUND SURFACE MUST BE SLOPED AWAY FROM THE STRUCTURE TO AVOID WATER ACCUMULATION AND POUNDING.

NEW / REVISED

RE-ISSUED WITHOUT REVISION

PREVIOUSLY SUBMITTED

REVISED AFTER PERMIT

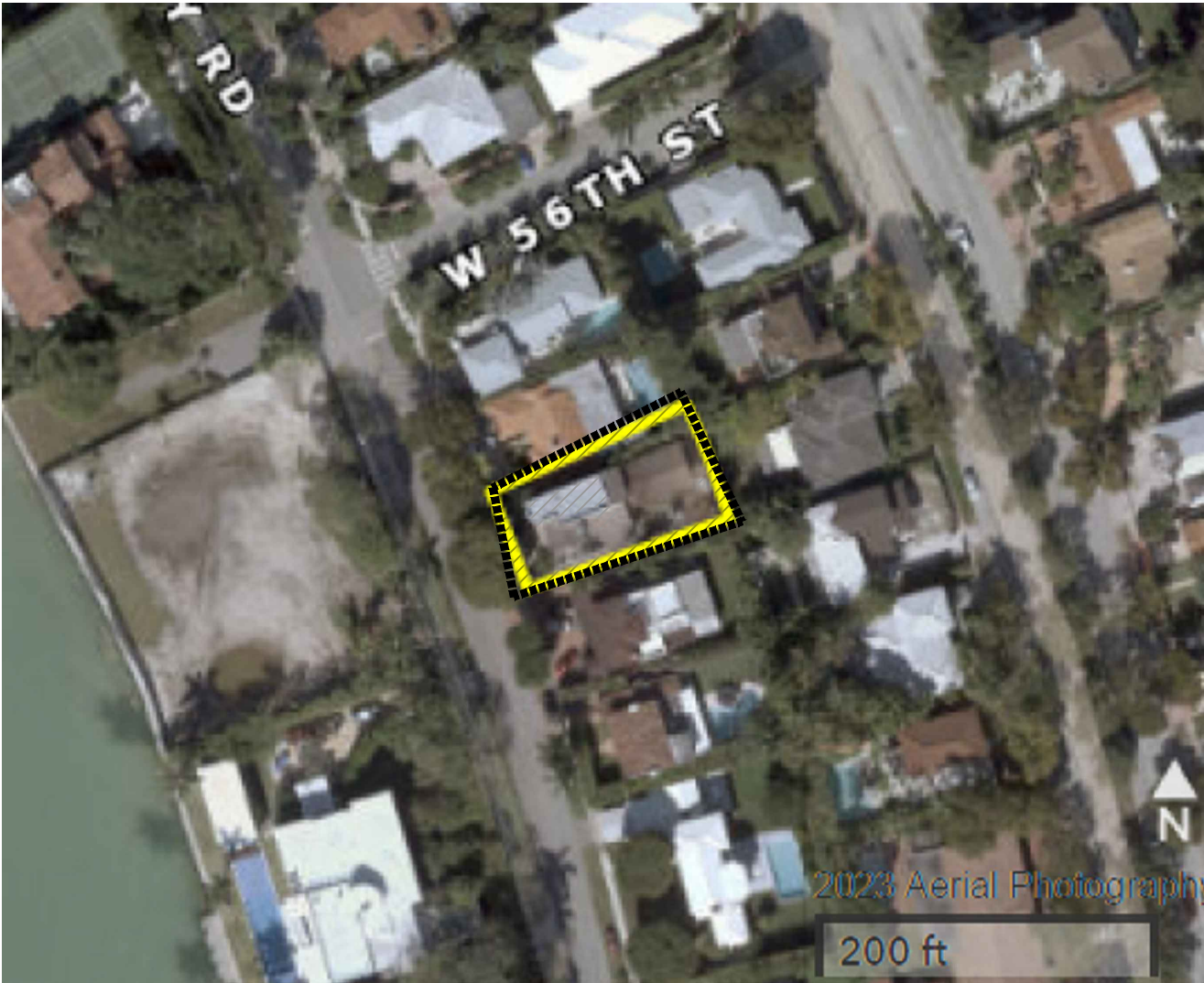
BUILD DEPT. 1st SUBMITTAL

SEP 15

INDEX OF DRAWINGS		Scale	SEP 15						
ARCHITECTURAL									
A-0.0:	INDEX & NOTES	N.T.S.							
A-0.1:	ZONING	N.T.S.							
A-1.0:	EXISTING & PROPOSED AREA	3/32" - 1'-0"							
A-1.1:	EXISTING & DEMO SITE PLAN	1/8" - 1'-0"							
A-1.2:	EXISTING & DEMO FLOOR PLAN	1/4" - 1'-0"							
A-1.3:	PROPOSED SITE PLAN	1/8" - 1'-0"							
A-2.0:	PROPOSED FLOOR PLAN	1/4" - 1'-0"							
A-2.1:	EXISTING RCP PLAN	1/4" - 1'-0"							
A-2.2:	PROPOSED RCP PLAN	1/4" - 1'-0"							
A-3.0:	EXISTING ELEVATIONS	1/4" - 1'-0"							
A-3.1:	PROPOSED ELEVATIONS	1/4" - 1'-0"							
A-4.0:	DOORS & WINDOWS SCHEDULE	N.T.S.							
A-4.1:	DETAILS	N.T.S.							
LANDSCAPE									
L-1:	TREE DISPOSITION	1/8" - 1'-0"							
L-2:	PLANTING PLAN	1/4" - 1'-0"							
L-3:	PLANTING DETAILS AND NOTES	N.T.S.							
ELECTRICAL									
E-1.0:	POWER FLOOR PLAN	1/4" - 1'-0"							
E-1.1:	LIGHTING PLAN	1/4" - 1'-0"							
E-2.0:	ELECTRICAL RISER, NOTES AND PANEL SCHEDULE	N.T.S.							
ES-1.0:	ELECTRICAL SITE PLAN	1/8" - 1'-0"							
MECHANICAL									
M-1.0:	MECHANICAL FLOOR PLAN	1/4" - 1'-0"							
M-2.0:	MECHANICAL NOTES & SCHEDULES	1/4" - 1'-0"							
M-2.1:	MECHANICAL DETAILS	1/4" - 1'-0"							
PLUMBING									
P-1.0:	PROPOSED SANITARY FLOOR PLAN	1/4" - 1'-0"							
P-2.0:	PROPOSED WATER FLOOR PLAN	1/4" - 1'-0"							
P-3.0:	SANITARY & WATER ISOETRICS PLAN	N.T.S.							
P-4.0:	PLUMBING NOTES & SCHEDULES	N.T.S.							
PS-1.0:	PROPOSED SITE PLAN	1/8" - 1'-0"							
STRUCTURE									
S-1.0:	DEMOLITION/ EXISTING FOUNDATION PLAN	1/4" - 1'-0"							
S-2.0:	EXISTING ROOF FRAMING PLAN	1/4" - 1'-0"							
S-3.0:	PROPOSED FOUNDATION PLAN	1/4" - 1'-0"							
S-4.0:	PROPOSED ROOF FRAMING PLAN	1/4" - 1'-0"							
S-5.0:	DETAILS AND SECTIONS	1/4" - 1'-0"							
S-6.0:	DETAILS AND SECTIONS	1/4" - 1'-0"							
S-7.0:	DETAILS AND SCHEDULES	1/4" - 1'-0"							
S-8.0:	DETAILS AND STRUCTURAL NOTES	1/4" - 1'-0"							

SITE LOCATION:

5473 N BAY RD. MIAMI BEACH, FL 33140-2031



N

Location Plan

N.T.S.

CONTRACTOR SHALL VERIFY ALL CONDITIONS @ SITE, IF ANY MAJOR DISCREPANCIES ARE FOUND PLEASE CONTACT THE ARCHITECT. DISCONNECT ELECTRICAL SERVICES FROM MAIN PANEL BEFORE PROCEEDING WITH ANY DEMOLITION WORK. SHUT OFF MAIN VALVE AT WATER METER OR SHUT OFF MAIN VALVE BEFORE PROCEEDING WITH ANY WORK.

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GARAGE ADDITION

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MIAMI BEACH, FLORIDA 33140

REVISIONS

BY

GABRIEL CHAVARRIA , AIA
FLORIDA LIC. # AR 94361

JOB: 5473 N BAY RD

DATE: FEB.2024

HOUSE
REMODELING

ESC: N.T.S

INDEX

A-0.0

DESIGNS ARE SUBJECT TO MODIFICATION OR CHANGE AS REQUIRED BY ACTUAL MEASUREMENTS. STANDARD INDUSTRY PRACTICES IN LIGHT OF EXISTING STRUCTURAL AND OTHER CONDITIONS. APPLICABLE BLDG CODES AND THE LIKE. THESE PLANS ARE AND SHALL REMAIN PROPERTY OF CH2 D CORP AND SHALL NOT BE SOLD OR REPRODUCED WITHOUT ITS PRIOR WRITTEN CONSENT. CH2 DESIGN CORP. SHALL BE NOTIFIED OF ANY CHANGE BEFORE IT SUBMISSION OF ANY PHASE FOR BID OR CONSTRUCTION.

GARAGE ADDITION
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MIAMI BEACH, FLORIDA 33140

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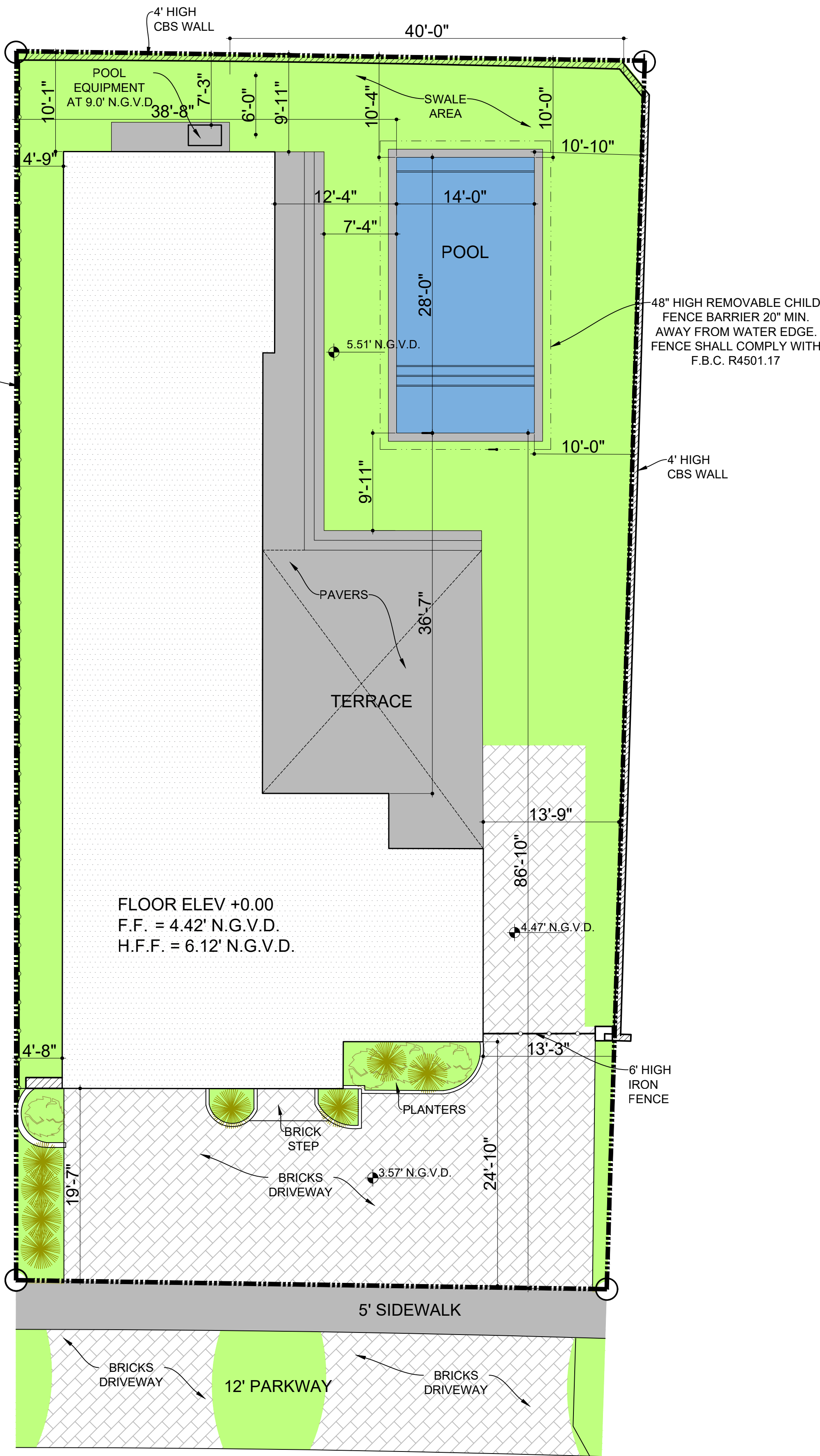
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DATE: FEB.2024

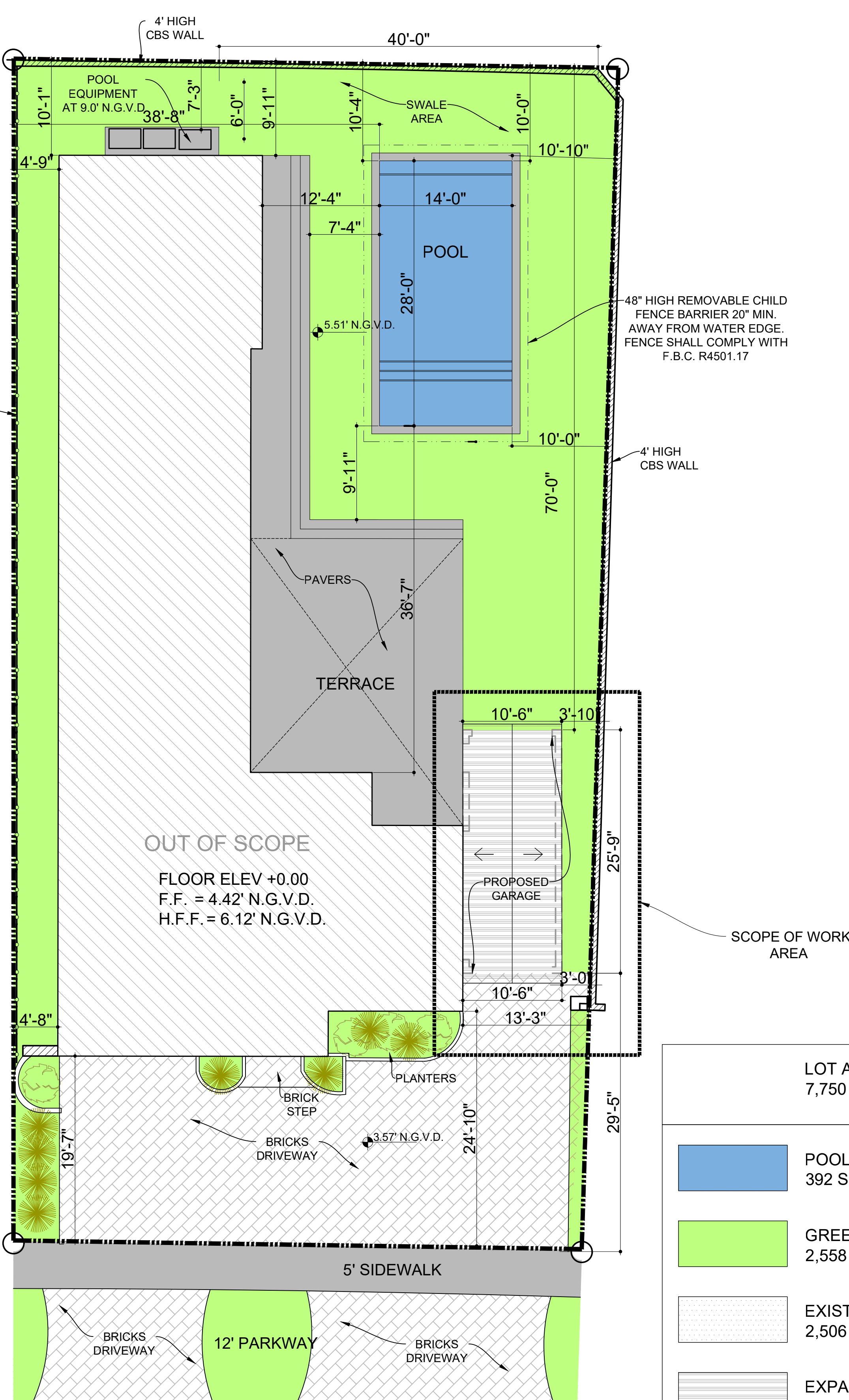
HOUSE REMODELING ESC: 1/8" = 1'-0"

EXISTING & PROPOSED AREAS
A-1.0

LOT AREA 7,750 SQ.FT	% AREA
<div></div> POOL AREA 392 SQ.FT	5%
<div></div> GREEN AREA 2,586 SQ.FT	34%
<div></div> EXISTING HOUSE AREA 2,506 SQ.FT	32%
<div></div> OPEN COVERED AREA 866 SQ.FT	11%
<div></div> PAVERS AREA 1,400 SQ.FT	18%



EXISTING SITE PLAN
1/8" = 1'-0"



PROPOSED SITE PLAN
1/8" = 1'-0"

LOT AREA 7,750 SQ.FT	% AREA
<div></div> POOL AREA 392 SQ.FT	5%
<div></div> GREEN AREA 2,558 SQ.FT	33%
<div></div> EXISTING HOUSE AREA 2,506 SQ.FT	32%
<div></div> EXPANSION AREA 268 SQ.FT	3%
<div></div> OPEN COVERED AREA 866 SQ.FT	11%
<div></div> PAVERS AREA 1,160 SQ.FT	16%

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HOUSE
REMODELING

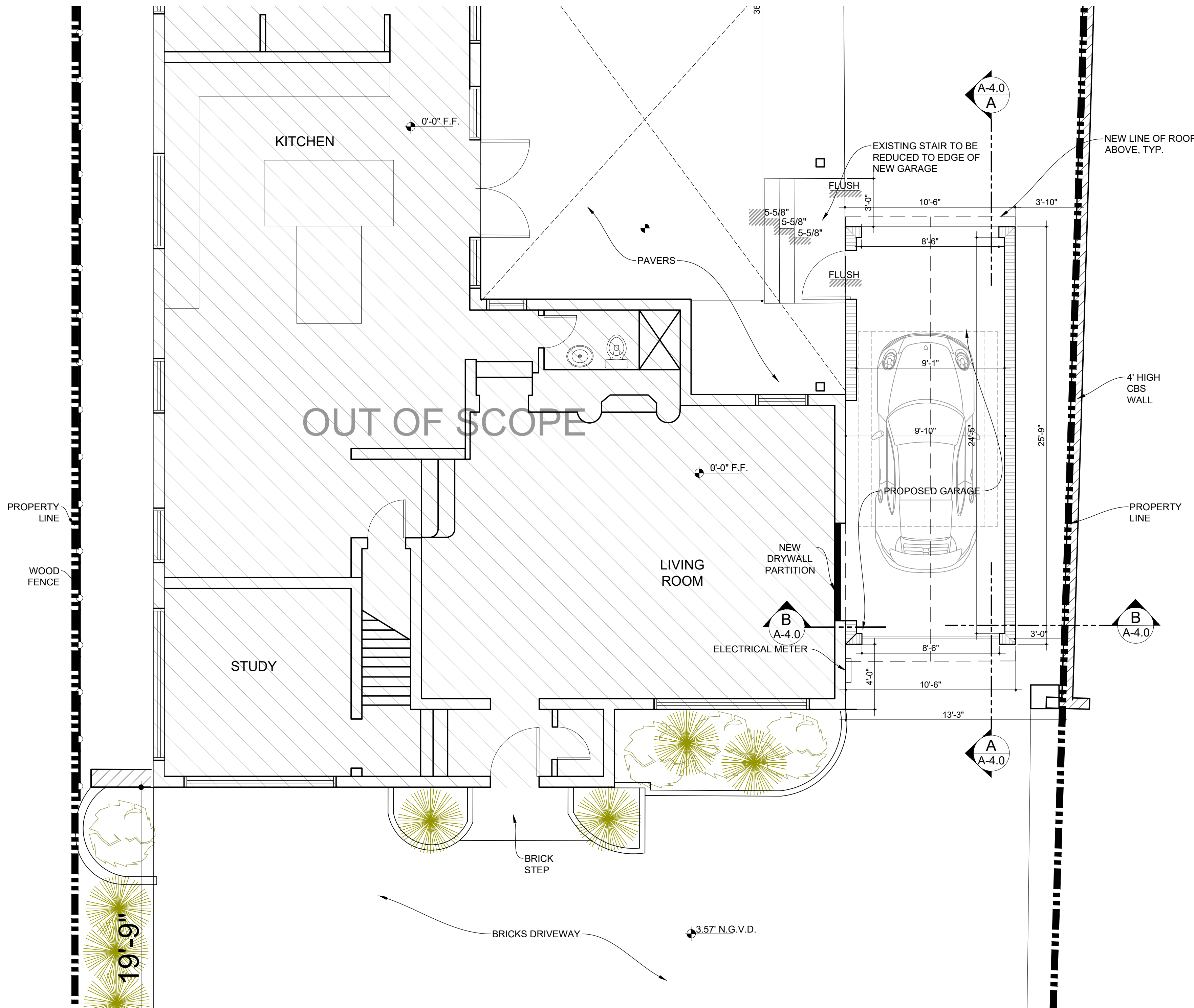
ESC: 1/4" = 1'-0"

PROPOSED
FLOOR PLAN

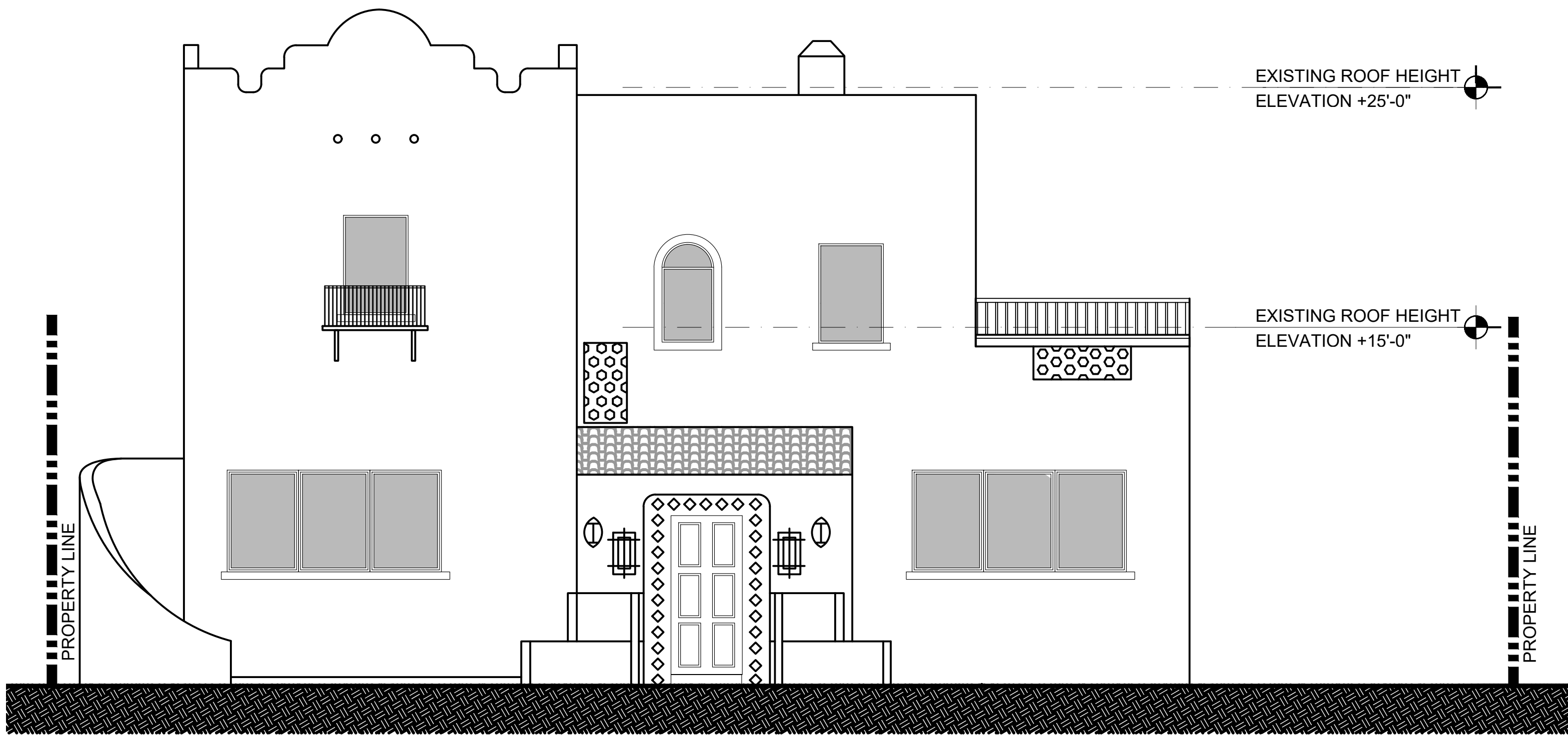
A-2.0

LEGEND

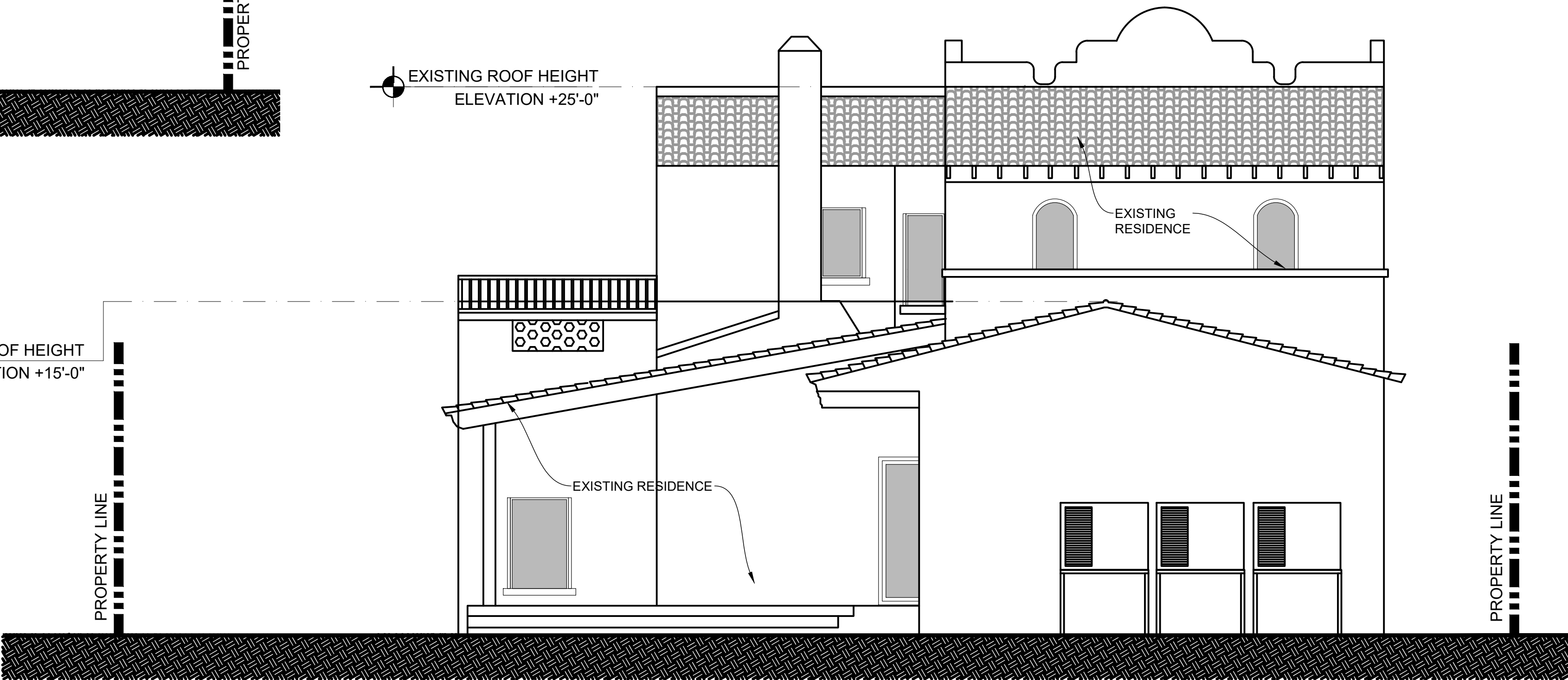
- WALL AREA TO BE REMOVED
- EXISTING WALL
- NEW WALL (DRYWALL PARTITION)
- NEW CMU WALL



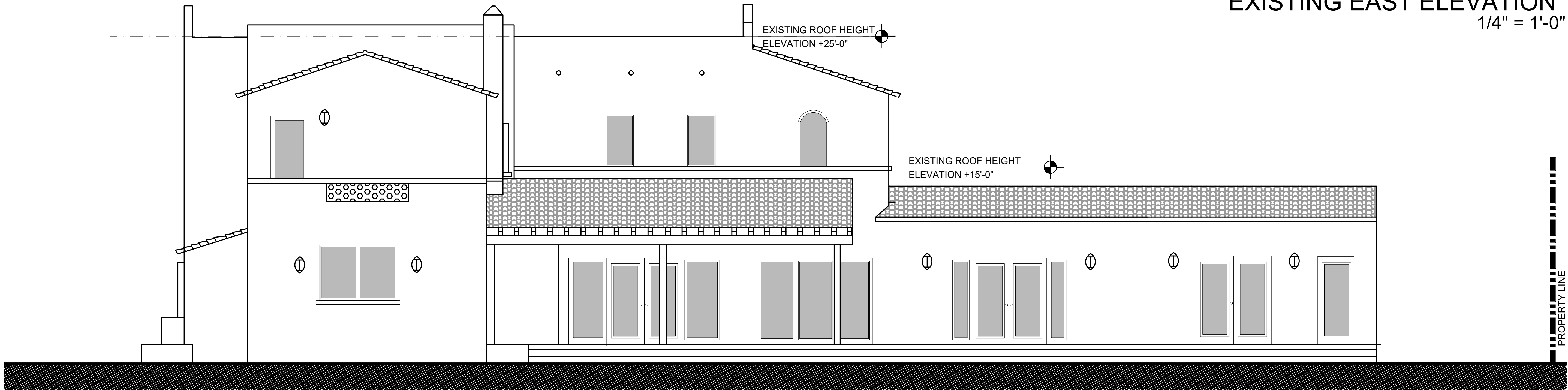
PROPOSED FLOOR PLAN
1/4" = 1'-0"



EXISTING WEST ELEVATION
1/4" = 1'-0"



EXISTING EAST ELEVATION
1/4" = 1'-0"



EXISTING SIDE (SOUTH) ELEVATION
1/4" = 1'-0"

GARAGE ADDITION
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GABRIEL CHAVARRIA , AIA FLORIDA LIC. # AR 94361	
JOB: 5473 N BAY RD	
DATE: FEB.2024	
HOUSE REMODELING	ESC: 1/4" = 1'-0"
EXISTING ELEVATIONS	A-3.0

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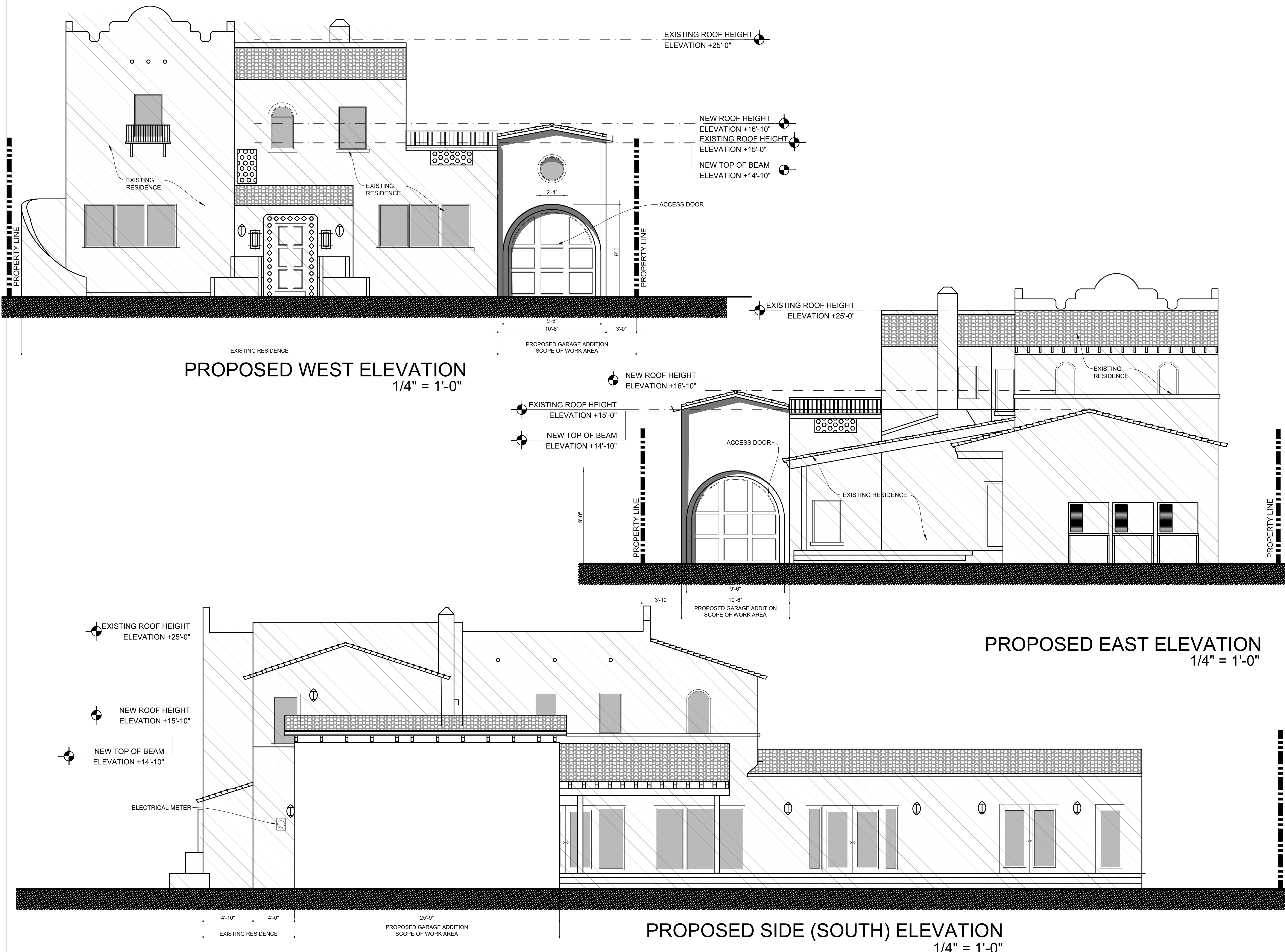
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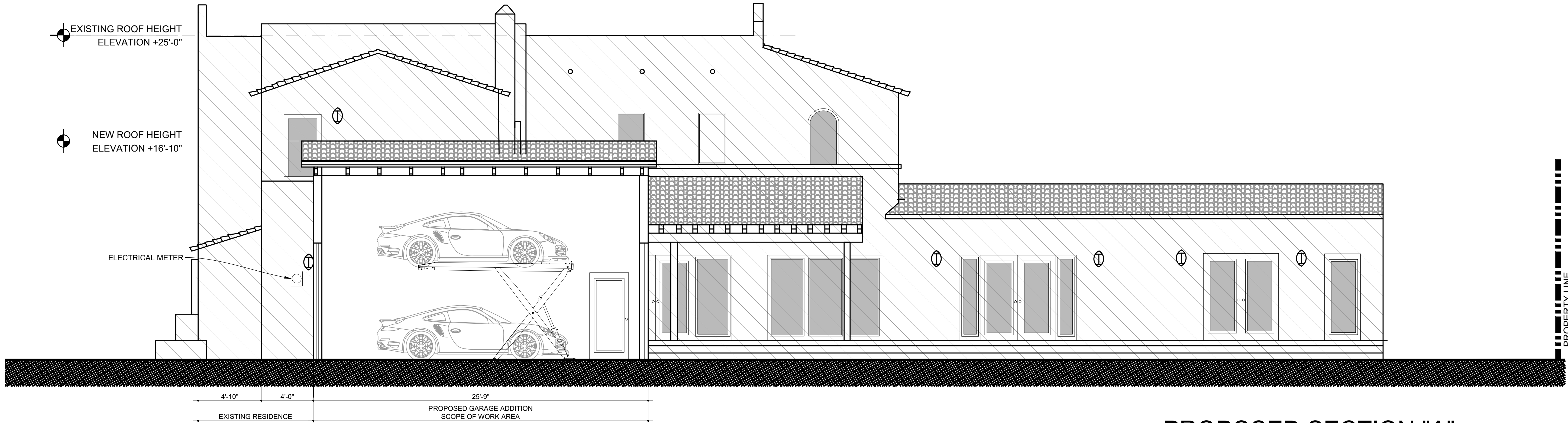
HOUSE REMODELING

PROPOSED ELEVATIONS

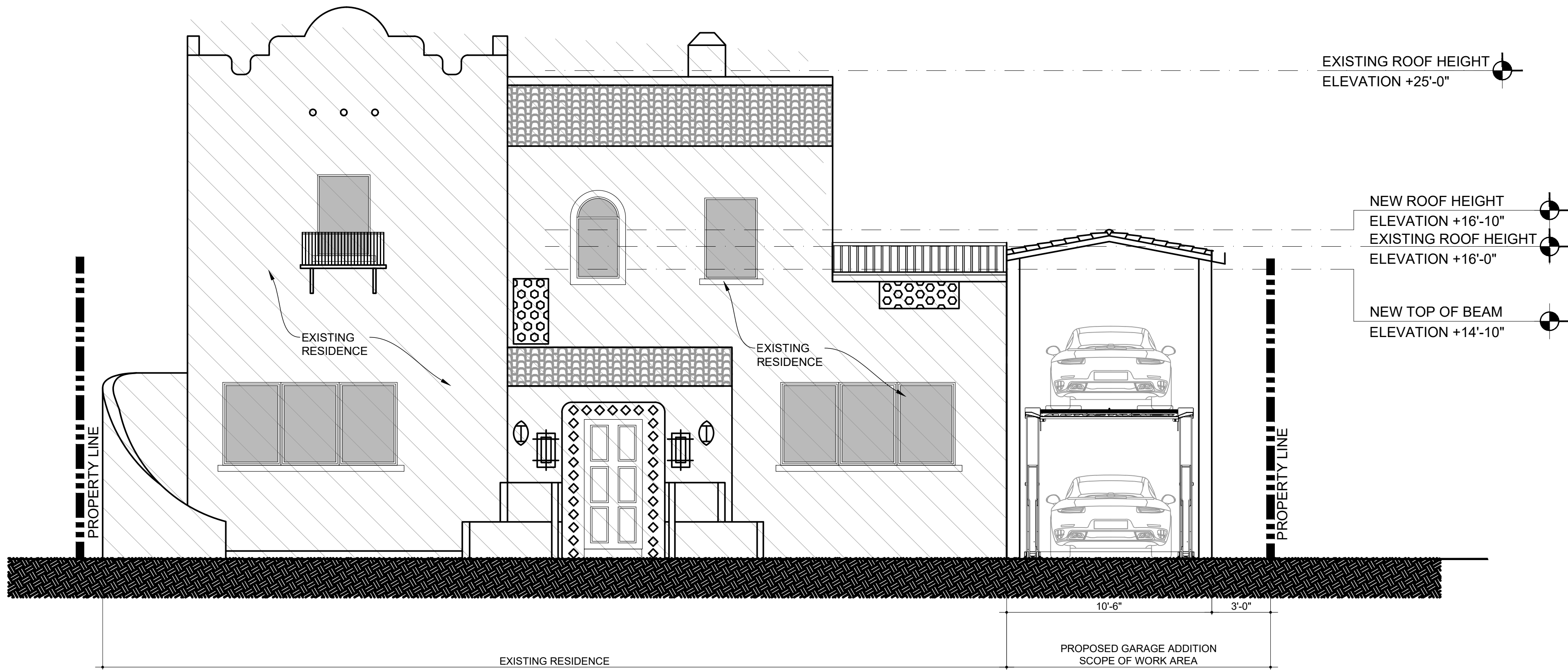
ESC: 1/4" = 1'-0"

A-3.1





PROPOSED SECTION "A"
1/4" = 1'-0"



PROPOSED SECTION "B"
1/4" = 1'-0"

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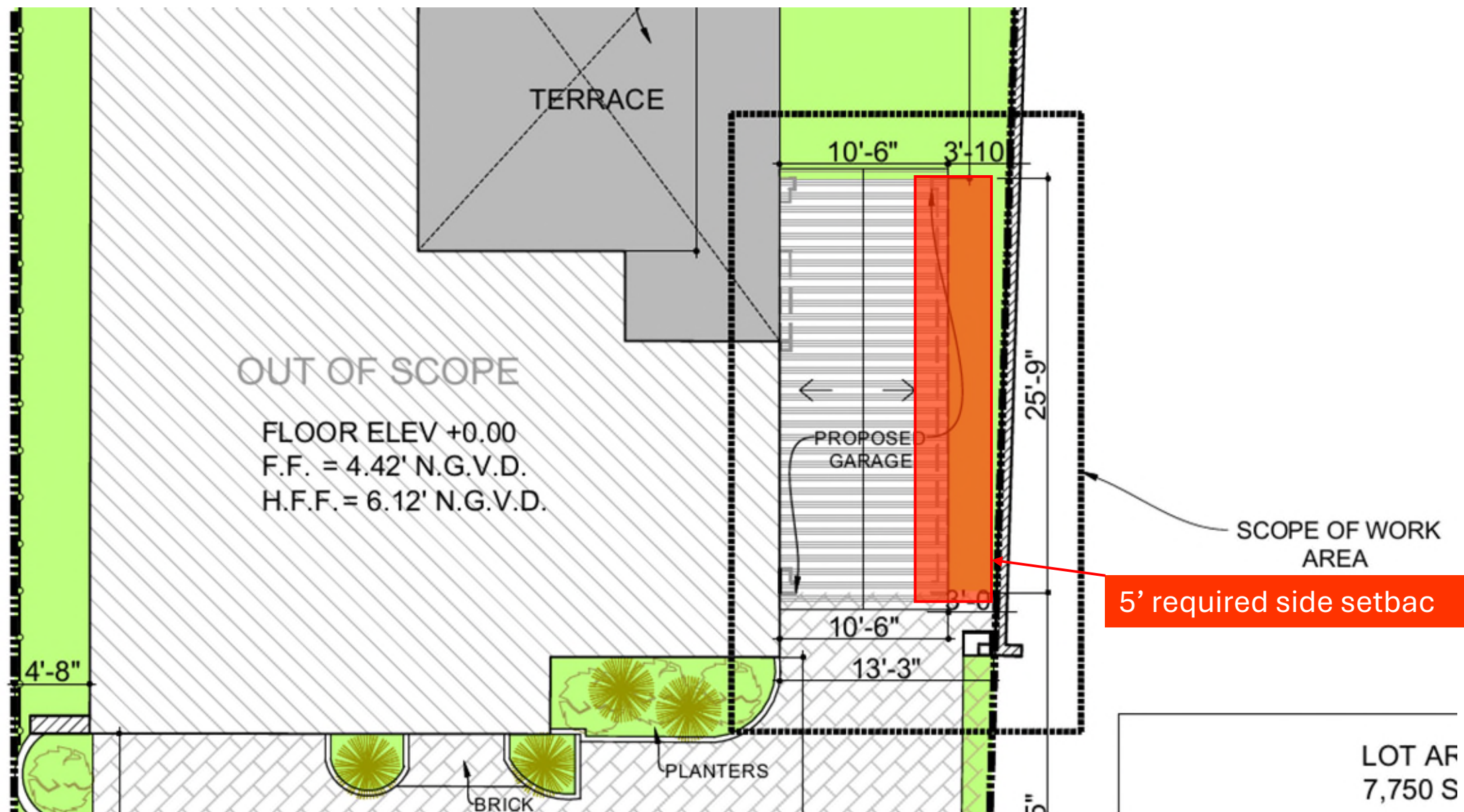
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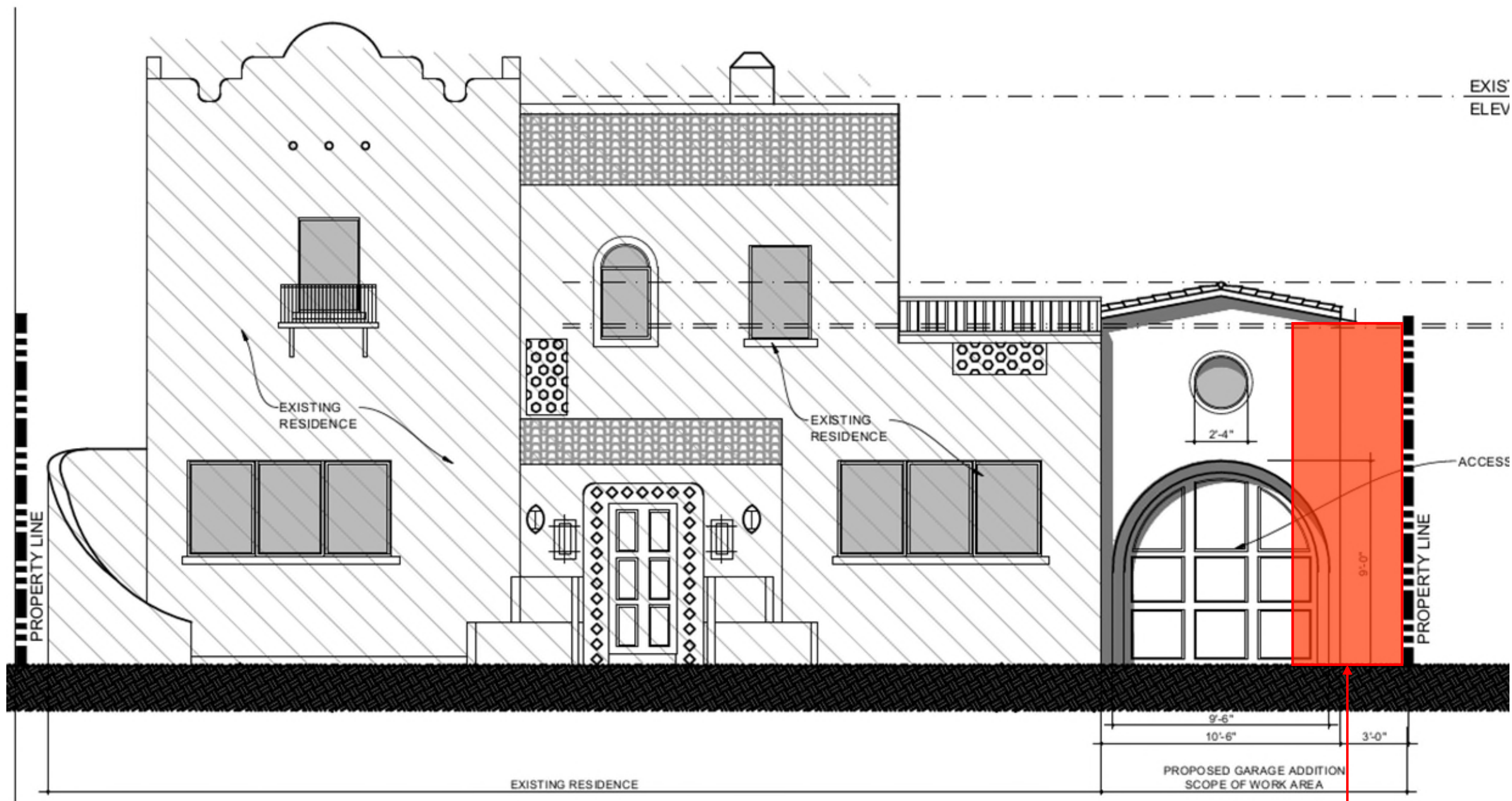
HOUSE
REMODELING

PROPOSED
SECTIONS

ESC: 1/4" = 1'-0"

A-4.0





5' required side setback