



KIMPTON PALOMAR SOUTH BEACH 1750 Alton Road
Miami Beach, FL 33139

PB23-0609

Final Submittal 02-25-2024

Plans – Modification to CUP

Scoped of Application: Modification of Planning Board Order No. 2279 to
permit rooftop access.

LEGAL DESCRIPTION:

PARCEL 1:
Lot 4 less the South 1 inch (0.08'), and all of Lot 5, both in Block 17, FIRST ADDITION TO COMMERCIAL SUBDIVISION, according to the Plat thereof, as recorded in Plat Book 6, Page 30, of the Public Records of Miami-Dade County, Florida, being more particularly described as follows:
Begin at the Southeast corner of Lot 4, Block 17, FIRST ADDITION TO COMMERCIAL SUBDIVISION, according to the Plat thereof, as recorded in Plat Book 6, Page 30, of the Public Records of Miami-Dade County, Florida; thence run North along the West right-of-way line of Alton Road, for a distance of 1 inch (0.08' feet) to the Point of Beginning of the hereinafter described parcel; thence run West for a distance of 150.00 feet to a point; thence run North for a distance of 63.92 feet to a point; thence run North 59°53'10" East for a distance of 173.43 feet to a point; thence run South for a distance of 170.92 feet to the Point of Beginning.
THE ABOVE DESCRIBED PARCEL 1 CONTAINS 21,343.54 Sq. Ft., 0.49 (Lot 4 & 5).

PARCEL 2:
PROPOSED AIR RIGHTS EASEMENT for 1716-1720 ALTON ROAD and 1750 ALTON ROAD

COMMENCING AT THE NORTHEAST CORNER OF LOT 3, BLOCK 17 IN SECTION 33, TOWNSHIP 53 SOUTH, RANGE 42 EAST, FIRST ADDITION TO COMMERCIAL SUBDIVISION, according to the Plat thereof, as recorded in Plat Book 6, Page 30, of the Public Records of Miami-Dade County, Florida; thence 56°42'25"W for 4.87 feet along the northern boundary of said LOT 3 to a point of BEGINNING OF THE FOLLOWING DESCRIBED EASEMENT CONTIGUOUS WITH THE FOLLOWING DESCRIBED LINE:
THENCE 50°05'57"E FOR 12.54 FEET TO A POINT OF A CIRCULAR CURVE TO THE LEFT; SOUTHWESTERLY ALONG THE ARC OF SAID CIRCULAR CURVE HAVING FOR ITS ELEMENTS A RADIUS OF 1.45 FEET AND A CENTRAL ANGLE OF 87°25'18" FOR AN ARC DISTANCE OF 7.36 FEET TO A POINT OF TANGENCY; THENCE 58°75'12"W FOR 25.42 FEET TO A POINT OF A CIRCULAR CURVE TO THE LEFT; THENCE NORTHWESTERLY ALONG THE ARC OF SAID CIRCULAR CURVE HAVING FOR ITS ELEMENTS A RADIUS OF 2.66 FEET AND A CENTRAL ANGLE OF 87°30'36" FOR AN ARC DISTANCE OF 4.09 FEET TO A POINT OF TANGENCY; THENCE 102°41'53"W FOR 1.93 FEET; THENCE 58°75'11"W FOR 45.75 FEET; THENCE 50°28'00"E FOR 1.93 FEET; THENCE 50°75'11"W FOR 40.70 FEET; THENCE 102°08'05"W FOR 1.93 FEET; THENCE 50°75'11"W FOR 1.62; THENCE N01°54'19"W FOR 0.54 FEET; THENCE N07°49'25"E FOR 120.84 FEET TO THE POINT OF BEGINNING. THE ABOVE DESCRIBED PERIMETRICAL BOUNDARY LYING ABOVE ELEVATION +29.25 FEET, RELATIVE TO THE NATIONAL GEODETIC VERTICAL DATUM OF 1929.

THE ABOVE DESCRIBED PARCEL 2 CONTAINS 1722.12 SQUARE FEET (0.0395 ACRES), MORE OR LESS.

BOTH PARCELS LIE IN THE CITY OF MIAMI BEACH, MIAMI-DADE COUNTY, FLORIDA.

WITH REFERENCE TO Old Republic National Title Insurance Company TITLE COMMITMENT 751776 A-1, EFFECTIVE DATE: July 15, 2019 at 11:00 PM I HEREBY CERTIFY AS FOLLOWS:

SCHEDULE B- SECTION II:
ITEM 1 THROUGH 4: "STANDARD EXCEPTIONS;" "NOT PLOTTABLE"

ITEM 5: REVISED: Any ten or claim of lien for services, labor or materials which may take priority over the estate or interest insured by reason of that certain Notice of Commencement recorded May 31, 2017, under O.R. Book 30293, Page 4529, as amended in O.R. Book 31365, Page 2439, Public Records of Miami-Dade County, Florida. This exception will be shown as a subordinate matter.

"DOES AFFECT THIS PROPERTY;" "BLANKET IN NATURE"

ITEM 6: Restrictions, conditions, reservations, easements, and other matters contained on the Plat of FIRST ADDITION TO COMMERCIAL SUBDIVISION, as recorded in Plat Book 6, Page 30, Public Records of Miami-Dade County, Florida (Parcel 1 and 2)

"DOES AFFECT THIS PROPERTY;" "PLOTTED"

ITEM 7: REVISED: Reservations contained in the Special Warranty Deed recorded in O.R. Book 15747, Page 1550, Public Records of Miami-Dade County, Florida, in which grantor reserves a right to access the property. (Parcel 1)

"DOES AFFECT THIS PROPERTY;" "BLANKET IN NATURE"

ITEM 8: Underground Business Easement to Florida Power and Light Company of the construction, operation, and maintenance of underground electric utility facilities recorded in O.R. Book 20955, Page 413, Public Records of Miami-Dade County, Florida (Parcel 1)

"DOES AFFECT THIS PROPERTY;" "NOT PLOTTABLE"

ITEM 9: Order recorded in O.R. Book 20955, Page 413, Correlated Order recorded in O.R. Book 30102, Page 358, in Public Records of Miami-Dade County, Florida, regarding the application for Drains Right Board approval for the construction of a nine two-story hotel including variances to exceed the maximum building height (Parcels 1 and 2)

"DOES AFFECT THIS PROPERTY;" "BLANKET IN NATURE"

ITEM 10: Conditions (See Permit recorded in O.R. Book 30132, Page 2210, Public Records of Miami-Dade County, Florida (Parcels 1 and 2)

"DOES AFFECT THIS PROPERTY;" "PLOTTED"

ITEM 11: Notwithstanding Control Risk number 4 of the jacket of this policy, access to Parcel 2 is retained only to the extent provided by a deed for ingress and egress for limited use by the provisions of that certain Statutory Warranty Deed - Air and Other Rights, recorded in O.R. Book 30091, Page 291, and Corrective Statutory Warranty Deed - Air and Other Rights recorded March 31, 2017, in O.R. Book 30476, Page 1785, Public Records of Miami-Dade County, Florida and only if Parcel 1 and Parcel 2 remain in common ownership. No coverage is provided for any impediment to access Parcel 2 due to its elevation.

"DOES AFFECT THIS PROPERTY;" "PLOTTED"

ITEM 12: Terms and Conditions as set forth in that certain Statutory Warranty Deed - Air and Other Rights, recorded in O.R. Book 30091, Page 291, and Corrective Statutory Warranty Deed - Air and Other Rights recorded March 31, 2017, in O.R. Book 30476, Page 1785, Public Records of Miami-Dade County, Florida.

"DOES AFFECT THIS PROPERTY;" "PLOTTED"

ITEM 13: Floods, hurricanes, encroachments, violations, variances, or adverse circumstances, if any, actually shown on the survey prepared by Level-Tech Surveyors, LLC, dated April 26, 2017, bearing Job # 16-06-6313: a) encroachment of the concrete wall onto Collins Canal on the North side of the property; b) water water encroaches onto the property on the West side, as shown in Old Republic National Title Insurance Policy No. MFG-8276240.

"DOES NOT AFFECT THIS PROPERTY;" "PLOTTED"

ITEM 14: The immediately preceding Exception is in addition to, and not in lieu of, the standard survey exception, neither of which can be deleted without current survey information acceptable to the Company as set forth in Title Notes 25.03.06 and 25.03.07.

ITEM 15: All and all rights, title and interest of the surface owner of Parcel 2, La Bata Caribe LLC, a Florida limited liability company.

ITEM 16: No coverage is provided under this law policy for loss of support to Parcel 2.

ITEM 17: Declaration of Restrictive Covenants in Lieu of Unity of Title recorded in O.R. Book 30005, Page 3736; O.R. Book 30005, Page 3780, Public Records of Miami-Dade County, Florida (Parcel 1)

"DOES AFFECT THIS PROPERTY;" "BLANKET IN NATURE"

ITEM 18: Declaration of Restrictive Covenants recorded in O.R. Book 30005, Page 3900, Public Records of Miami-Dade County, Florida (Parcel 1)

"DOES AFFECT THIS PROPERTY;" "BLANKET IN NATURE"

ITEM 19: Easement for the construction, operation, and maintenance of overhead and underground electric utility facilities granted to Florida Power & Light Company recorded in O.R. Book 31455, Page 42, Public Records of Miami-Dade County, Florida (Parcel 1)

"DOES AFFECT THIS PROPERTY;" "NOT PLOTTABLE"

ITEM 20: INTENTIONALLY DELETED.

ITEM 21: Terms and conditions of an unrecorded Operating Agreement referenced in Consent, Subordination, Non-Disturbance and Assignment Agreement recorded in O.R. Book 30253, Page 413, Public Records of Miami-Dade County, Florida.

"DOES AFFECT THIS PROPERTY;" "BLANKET IN NATURE"

ITEM 22: UCC Financing Statement between Soler Alton, LLC, a Florida Limited Liability Company and TOTALBANK as recorded in O.R. Book 30553, Page 402, Public Records of Miami-Dade County, Florida.

"DOES AFFECT THIS PROPERTY;" "BLANKET IN NATURE"

ITEM 23: Easement and interest rights are not insured. "DOES AFFECT THIS PROPERTY;" "NOT PLOTTABLE"

ITEM 24: Subject to transmission of title in possession as better appears. "DOES AFFECT THIS PROPERTY;" "NOT PLOTTABLE"

ITEM 25: Rights of the lessor under unrecorded leases. "DOES AFFECT THIS PROPERTY;" "NOT PLOTTABLE"

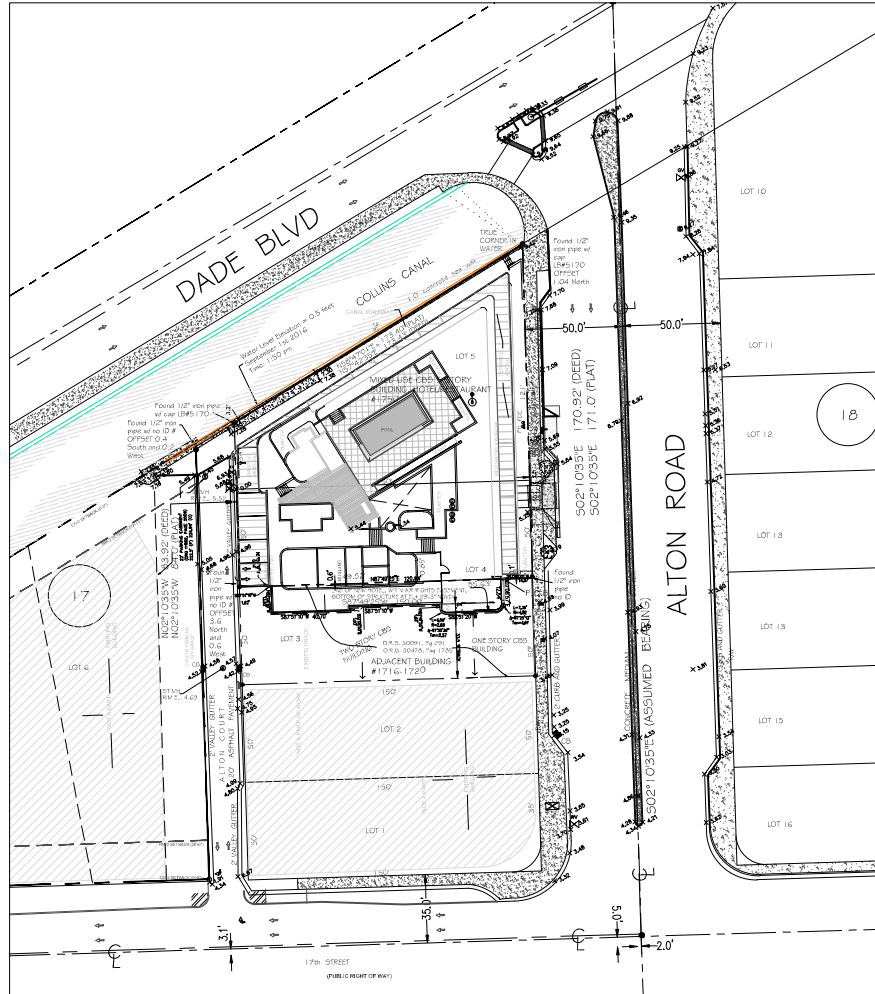
ITEM 26: ADDED: The sole purpose of the policy is to endorse Policy No. MFG-8276240. Upon endorsement the following shall be added as an exception if there is any interest rate increase: Loss of priority of the additional indebtedness created by the increased interest rate. "DOES"

ITEM 27: ADDED: The amount of the policy is hereby changed to \$30,064,040.00, by virtue of a reduction in the original indebtedness to \$27,564,040.00, together with future advance in the amount of \$2,500,000.00, evidence of which is recorded in O.R. Book -, Page -, Public Records of Miami-Dade County, Florida. (Notes: This exception shall be deleted if a replacement policy is issued.)

ITEM 28: ADDED: Storm Water Drainage Easement recorded in O.R. Book 31460, Page 248; Public Records of Miami-Dade County, Florida, which creates easement for the collection, conveyance, and use of storm water, and use restrictions. (Parcel 1)

"DOES AFFECT THIS PROPERTY;" "BLANKET IN NATURE"

ALTA/NSPS LAND TITLE SURVEY



ABBREVIATIONS AND LEGEND

A.B. = ARC DISTANCE
B.M. = BENCH MARK
C.B. = CENTER LINE
C.C. = CENTER LINE
C.D. = CENTER DISTANCE
C.E. = CENTER ELEVATION
C.F. = CENTER FENCE
C.G. = CENTER GUTTER
C.H. = CENTER HATCH
C.I. = CENTER INTERSECTION
C.L. = CENTER LINE
C.M. = CENTER MARK
C.N. = CENTER NORTH
C.O. = CENTER OF GRAVITY
C.P. = CENTER POINT
C.R. = CENTER ROAD
C.S. = CENTER STREET
C.T. = CENTER TRAIL
C.U. = CENTER UTILITY
C.V. = CENTER VALLEY
C.W. = CENTER WALL
C.X. = CENTER CROSSING
C.Y. = CENTER YARD
C.Z. = CENTER ZONE
C.A. = CENTER AREA
C.B. = CENTER BENCH
C.C. = CENTER CIRCLE
C.D. = CENTER DISTANCE
C.E. = CENTER ELEVATION
C.F. = CENTER FENCE
C.G. = CENTER GUTTER
C.H. = CENTER HATCH
C.I. = CENTER INTERSECTION
C.L. = CENTER LINE
C.M. = CENTER MARK
C.N. = CENTER NORTH
C.O. = CENTER OF GRAVITY
C.P. = CENTER POINT
C.R. = CENTER ROAD
C.S. = CENTER STREET
C.T. = CENTER TRAIL
C.U. = CENTER UTILITY
C.V. = CENTER VALLEY
C.W. = CENTER WALL
C.X. = CENTER CROSSING
C.Y. = CENTER YARD
C.Z. = CENTER ZONE
C.A. = CENTER AREA
C.B. = CENTER BENCH
C.C. = CENTER CIRCLE
C.D. = CENTER DISTANCE
C.E. = CENTER ELEVATION
C.F. = CENTER FENCE
C.G. = CENTER GUTTER
C.H. = CENTER HATCH
C.I. = CENTER INTERSECTION
C.L. = CENTER LINE
C.M. = CENTER MARK
C.N. = CENTER NORTH
C.O. = CENTER OF GRAVITY
C.P. = CENTER POINT
C.R. = CENTER ROAD
C.S. = CENTER STREET
C.T. = CENTER TRAIL
C.U. = CENTER UTILITY
C.V. = CENTER VALLEY
C.W. = CENTER WALL
C.X. = CENTER CROSSING
C.Y. = CENTER YARD
C.Z. = CENTER ZONE
C.A. = CENTER AREA
C.B. = CENTER BENCH
C.C. = CENTER CIRCLE
C.D. = CENTER DISTANCE
C.E. = CENTER ELEVATION
C.F. = CENTER FENCE
C.G. = CENTER GUTTER
C.H. = CENTER HATCH
C.I. = CENTER INTERSECTION
C.L. = CENTER LINE
C.M. = CENTER MARK
C.N. = CENTER NORTH
C.O. = CENTER OF GRAVITY
C.P. = CENTER POINT
C.R. = CENTER ROAD
C.S. = CENTER STREET
C.T. = CENTER TRAIL
C.U. = CENTER UTILITY
C.V. = CENTER VALLEY
C.W. = CENTER WALL
C.X. = CENTER CROSSING
C.Y. = CENTER YARD
C.Z. = CENTER ZONE
C.A. = CENTER AREA
C.B. = CENTER BENCH
C.C. = CENTER CIRCLE
C.D. = CENTER DISTANCE
C.E. = CENTER ELEVATION
C.F. = CENTER FENCE
C.G. = CENTER GUTTER
C.H. = CENTER HATCH
C.I. = CENTER INTERSECTION
C.L. = CENTER LINE
C.M. = CENTER MARK
C.N. = CENTER NORTH
C.O. = CENTER OF GRAVITY
C.P. = CENTER POINT
C.R. = CENTER ROAD
C.S. = CENTER STREET
C.T. = CENTER TRAIL
C.U. = CENTER UTILITY
C.V. = CENTER VALLEY
C.W. = CENTER WALL
C.X. = CENTER CROSSING
C.Y. = CENTER YARD
C.Z. = CENTER ZONE
C.A. = CENTER AREA
C.B. = CENTER BENCH
C.C. = CENTER CIRCLE
C.D. = CENTER DISTANCE
C.E. = CENTER ELEVATION
C.F. = CENTER FENCE
C.G. = CENTER GUTTER
C.H. = CENTER HATCH
C.I. = CENTER INTERSECTION
C.L. = CENTER LINE
C.M. = CENTER MARK
C.N. = CENTER NORTH
C.O. = CENTER OF GRAVITY
C.P. = CENTER POINT
C.R. = CENTER ROAD
C.S. = CENTER STREET
C.T. = CENTER TRAIL
C.U. = CENTER UTILITY
C.V. = CENTER VALLEY
C.W. = CENTER WALL
C.X. = CENTER CROSSING
C.Y. = CENTER YARD
C.Z. = CENTER ZONE
C.A. = CENTER AREA
C.B. = CENTER BENCH
C.C. = CENTER CIRCLE
C.D. = CENTER DISTANCE
C.E. = CENTER ELEVATION
C.F. = CENTER FENCE
C.G. = CENTER GUTTER
C.H. = CENTER HATCH
C.I. = CENTER INTERSECTION
C.L. = CENTER LINE
C.M. = CENTER MARK
C.N. = CENTER NORTH
C.O. = CENTER OF GRAVITY
C.P. = CENTER POINT
C.R. = CENTER ROAD
C.S. = CENTER STREET
C.T. = CENTER TRAIL
C.U. = CENTER UTILITY
C.V. = CENTER VALLEY
C.W. = CENTER WALL
C.X. = CENTER CROSSING
C.Y. = CENTER YARD
C.Z. = CENTER ZONE
C.A. = CENTER AREA
C.B. = CENTER BENCH
C.C. = CENTER CIRCLE
C.D. = CENTER DISTANCE
C.E. = CENTER ELEVATION
C.F. = CENTER FENCE
C.G. = CENTER GUTTER
C.H. = CENTER HATCH
C.I. = CENTER INTERSECTION
C.L. = CENTER LINE
C.M. = CENTER MARK
C.N. = CENTER NORTH
C.O. = CENTER OF GRAVITY
C.P. = CENTER POINT
C.R. = CENTER ROAD
C.S. = CENTER STREET
C.T. = CENTER TRAIL
C.U. = CENTER UTILITY
C.V. = CENTER VALLEY
C.W. = CENTER WALL
C.X. = CENTER CROSSING
C.Y. = CENTER YARD
C.Z. = CENTER ZONE
C.A. = CENTER AREA
C.B. = CENTER BENCH
C.C. = CENTER CIRCLE
C.D. = CENTER DISTANCE
C.E. = CENTER ELEVATION
C.F. = CENTER FENCE
C.G. = CENTER GUTTER
C.H. = CENTER HATCH
C.I. = CENTER INTERSECTION
C.L. = CENTER LINE
C.M. = CENTER MARK
C.N. = CENTER NORTH
C.O. = CENTER OF GRAVITY
C.P. = CENTER POINT
C.R. = CENTER ROAD
C.S. = CENTER STREET
C.T. = CENTER TRAIL
C.U. = CENTER UTILITY
C.V. = CENTER VALLEY
C.W. = CENTER WALL
C.X. = CENTER CROSSING
C.Y. = CENTER YARD
C.Z. = CENTER ZONE
C.A. = CENTER AREA
C.B. = CENTER BENCH
C.C. = CENTER CIRCLE
C.D. = CENTER DISTANCE
C.E. = CENTER ELEVATION
C.F. = CENTER FENCE
C.G. = CENTER GUTTER
C.H. = CENTER HATCH
C.I. = CENTER INTERSECTION
C.L. = CENTER LINE
C.M. = CENTER MARK
C.N. = CENTER NORTH
C.O. = CENTER OF GRAVITY
C.P. = CENTER POINT
C.R. = CENTER ROAD
C.S. = CENTER STREET
C.T. = CENTER TRAIL
C.U. = CENTER UTILITY
C.V. = CENTER VALLEY
C.W. = CENTER WALL
C.X. = CENTER CROSSING
C.Y. = CENTER YARD
C.Z. = CENTER ZONE
C.A. = CENTER AREA
C.B. = CENTER BENCH
C.C. = CENTER CIRCLE
C.D. = CENTER DISTANCE
C.E. = CENTER ELEVATION
C.F. = CENTER FENCE
C.G. = CENTER GUTTER
C.H. = CENTER HATCH
C.I. = CENTER INTERSECTION
C.L. = CENTER LINE
C.M. = CENTER MARK
C.N. = CENTER NORTH
C.O. = CENTER OF GRAVITY
C.P. = CENTER POINT
C.R. = CENTER ROAD
C.S. = CENTER STREET
C.T. = CENTER TRAIL
C.U. = CENTER UTILITY
C.V. = CENTER VALLEY
C.W. = CENTER WALL
C.X. = CENTER CROSSING
C.Y. = CENTER YARD
C.Z. = CENTER ZONE
C.A. = CENTER AREA
C.B. = CENTER BENCH
C.C. = CENTER CIRCLE
C.D. = CENTER DISTANCE
C.E. = CENTER ELEVATION
C.F. = CENTER FENCE
C.G. = CENTER GUTTER
C.H. = CENTER HATCH
C.I. = CENTER INTERSECTION
C.L. = CENTER LINE
C.M. = CENTER MARK
C.N. = CENTER NORTH
C.O. = CENTER OF GRAVITY
C.P. = CENTER POINT
C.R. = CENTER ROAD
C.S. = CENTER STREET
C.T. = CENTER TRAIL
C.U. = CENTER UTILITY
C.V. = CENTER VALLEY
C.W. = CENTER WALL
C.X. = CENTER CROSSING
C.Y. = CENTER YARD
C.Z. = CENTER ZONE
C.A. = CENTER AREA
C.B. = CENTER BENCH
C.C. = CENTER CIRCLE
C.D. = CENTER DISTANCE
C.E. = CENTER ELEVATION
C.F. = CENTER FENCE
C.G. = CENTER GUTTER
C.H. = CENTER HATCH
C.I. = CENTER INTERSECTION
C.L. = CENTER LINE
C.M. = CENTER MARK
C.N. = CENTER NORTH
C.O. = CENTER OF GRAVITY
C.P. = CENTER POINT
C.R. = CENTER ROAD
C.S. = CENTER STREET
C.T. = CENTER TRAIL
C.U. = CENTER UTILITY
C.V. = CENTER VALLEY
C.W. = CENTER WALL
C.X. = CENTER CROSSING
C.Y. = CENTER YARD
C.Z. = CENTER ZONE
C.A. = CENTER AREA
C.B. = CENTER BENCH
C.C. = CENTER CIRCLE
C.D. = CENTER DISTANCE
C.E. = CENTER ELEVATION
C.F. = CENTER FENCE
C.G. = CENTER GUTTER
C.H. = CENTER HATCH
C.I. = CENTER INTERSECTION
C.L. = CENTER LINE
C.M. = CENTER MARK
C.N. = CENTER NORTH
C.O. = CENTER OF GRAVITY
C.P. = CENTER POINT
C.R. = CENTER ROAD
C.S. = CENTER STREET
C.T. = CENTER TRAIL
C.U. = CENTER UTILITY
C.V. = CENTER VALLEY
C.W. = CENTER WALL
C.X. = CENTER CROSSING
C.Y. = CENTER YARD
C.Z. = CENTER ZONE
C.A. = CENTER AREA
C.B. = CENTER BENCH
C.C. = CENTER CIRCLE
C.D. = CENTER DISTANCE
C.E. = CENTER ELEVATION
C.F. = CENTER FENCE
C.G. = CENTER GUTTER
C.H. = CENTER HATCH
C.I. = CENTER INTERSECTION
C.L. = CENTER LINE
C.M. = CENTER MARK
C.N. = CENTER NORTH
C.O. = CENTER OF GRAVITY
C.P. = CENTER POINT
C.R. = CENTER ROAD
C.S. = CENTER STREET
C.T. = CENTER TRAIL
C.U. = CENTER UTILITY
C.V. = CENTER VALLEY
C.W. = CENTER WALL
C.X. = CENTER CROSSING
C.Y. = CENTER YARD
C.Z. = CENTER ZONE
C.A. = CENTER AREA
C.B. = CENTER BENCH
C.C. = CENTER CIRCLE
C.D. = CENTER DISTANCE
C.E. = CENTER ELEVATION
C.F. = CENTER FENCE
C.G. = CENTER GUTTER
C.H. = CENTER HATCH
C.I. = CENTER INTERSECTION
C.L. = CENTER LINE
C.M. = CENTER MARK
C.N. = CENTER NORTH
C.O. = CENTER OF GRAVITY
C.P. = CENTER POINT
C.R. = CENTER ROAD
C.S. = CENTER STREET
C.T. = CENTER TRAIL
C.U. = CENTER UTILITY
C.V. = CENTER VALLEY
C.W. = CENTER WALL
C.X. = CENTER CROSSING
C.Y. = CENTER YARD
C.Z. = CENTER ZONE
C.A. = CENTER AREA
C.B. = CENTER BENCH
C.C. = CENTER CIRCLE
C.D. = CENTER DISTANCE
C.E. = CENTER ELEVATION
C.F. = CENTER FENCE
C.G. = CENTER GUTTER
C.H. = CENTER HATCH
C.I. = CENTER INTERSECTION
C.L. = CENTER LINE
C.M. = CENTER MARK
C.N. = CENTER NORTH
C.O. = CENTER OF GRAVITY
C.P. = CENTER POINT
C.R. = CENTER ROAD
C.S. = CENTER STREET
C.T. = CENTER TRAIL
C.U. = CENTER UTILITY
C.V. = CENTER VALLEY
C.W. = CENTER WALL
C.X. = CENTER CROSSING
C.Y. = CENTER YARD
C.Z. = CENTER ZONE
C.A. = CENTER AREA
C.B. = CENTER BENCH
C.C. = CENTER CIRCLE
C.D. = CENTER DISTANCE
C.E. = CENTER ELEVATION
C.F. = CENTER FENCE
C.G. = CENTER GUTTER
C.H. = CENTER HATCH
C.I. = CENTER INTERSECTION
C.L. = CENTER LINE
C.M. = CENTER MARK
C.N. = CENTER NORTH
C.O. = CENTER OF GRAVITY
C.P. = CENTER POINT
C.R. = CENTER ROAD
C.S. = CENTER STREET
C.T. = CENTER TRAIL
C.U. = CENTER UTILITY
C.V. = CENTER VALLEY
C.W. = CENTER WALL
C.X. = CENTER CROSSING
C.Y. = CENTER YARD
C.Z. = CENTER ZONE
C.A. = CENTER AREA
C.B. = CENTER BENCH
C.C. = CENTER CIRCLE
C.D. = CENTER DISTANCE
C.E. = CENTER ELEVATION
C.F. = CENTER FENCE
C.G. = CENTER GUTTER
C.H. = CENTER HATCH
C.I. = CENTER INTERSECTION
C.L. = CENTER LINE
C.M. = CENTER MARK
C.N. = CENTER NORTH
C.O. = CENTER OF GRAVITY
C.P. = CENTER POINT
C.R. = CENTER ROAD
C.S. = CENTER STREET
C.T. = CENTER TRAIL
C.U. = CENTER UTILITY
C.V. = CENTER VALLEY
C.W. = CENTER WALL
C.X. = CENTER CROSSING
C.Y. = CENTER YARD
C.Z. = CENTER ZONE
C.A. = CENTER AREA
C.B. = CENTER BENCH
C.C. = CENTER CIRCLE
C.D. = CENTER DISTANCE
C.E. = CENTER ELEVATION
C.F. = CENTER FENCE
C.G. = CENTER GUTTER
C.H. = CENTER HATCH
C.I. = CENTER INTERSECTION
C.L. = CENTER LINE
C.M. = CENTER MARK
C.N. = CENTER NORTH
C.O. = CENTER OF GRAVITY
C.P. = CENTER POINT
C.R. = CENTER ROAD
C.S. = CENTER STREET
C.T. = CENTER TRAIL
C.U. = CENTER UTILITY
C.V. = CENTER VALLEY
C.W. = CENTER WALL
C.X. = CENTER CROSSING
C.Y. = CENTER YARD
C.Z. = CENTER ZONE
C.A. = CENTER AREA
C.B. = CENTER BENCH
C.C. = CENTER CIRCLE
C.D. = CENTER DISTANCE
C.E. = CENTER ELEVATION
C.F. = CENTER FENCE
C.G. = CENTER GUTTER
C.H. = CENTER HATCH
C.I. = CENTER INTERSECTION
C.L. = CENTER LINE
C.M. = CENTER MARK
C.N. = CENTER NORTH
C.O. = CENTER OF GRAVITY
C.P. = CENTER POINT
C.R. = CENTER ROAD
C.S. = CENTER STREET
C.T. = CENTER TRAIL
C.U. = CENTER UTILITY
C.V. = CENTER VALLEY
C.W. = CENTER WALL
C.X. = CENTER CROSSING
C.Y. = CENTER YARD
C.Z. = CENTER ZONE
C.A. = CENTER AREA
C.B. = CENTER BENCH
C.C. = CENTER CIRCLE
C.D. = CENTER DISTANCE
C.E. = CENTER ELEVATION
C.F. = CENTER FENCE
C.G. = CENTER GUTTER
C.H. = CENTER HATCH
C.I. = CENTER INTERSECTION
C.L. = CENTER LINE
C.M. = CENTER MARK
C.N. = CENTER NORTH
C.O. = CENTER OF GRAVITY
C.P. = CENTER POINT
C.R. = CENTER ROAD
C.S. = CENTER STREET
C.T. = CENTER TRAIL
C.U. = CENTER UTILITY
C.V. = CENTER VALLEY
C.W. = CENTER WALL
C.X. = CENTER CROSSING
C.Y. = CENTER YARD
C.Z. = CENTER ZONE
C.A. = CENTER AREA
C.B. = CENTER BENCH
C.C. = CENTER CIRCLE
C.D. = CENTER DISTANCE
C.E. = CENTER ELEVATION
C.F. = CENTER FENCE
C.G. = CENTER GUTTER
C.H. = CENTER HATCH
C.I. = CENTER INTERSECTION
C.L. = CENTER LINE
C.M. = CENTER MARK
C.N. = CENTER NORTH
C.O. = CENTER OF GRAVITY
C.P. = CENTER POINT
C.R. = CENTER ROAD
C.S. = CENTER STREET
C.T. = CENTER TRAIL
C.U. = CENTER UTILITY
C.V. = CENTER VALLEY
C.W. = CENTER WALL
C.X. = CENTER CROSSING
C.Y. = CENTER YARD
C.Z. = CENTER ZONE
C.A. = CENTER AREA
C.B. = CENTER BENCH
C.C. = CENTER CIRCLE
C.D. = CENTER DISTANCE
C.E. = CENTER ELEVATION
C.F. = CENTER FENCE
C.G. = CENTER GUTTER
C.H. = CENTER HATCH
C.I. = CENTER INTERSECTION
C.L. = CENTER LINE
C.M. = CENTER MARK
C.N. = CENTER NORTH
C.O. = CENTER OF GRAVITY
C.P. = CENTER POINT
C.R. = CENTER ROAD
C.S. = CENTER STREET
C.T. = CENTER TRAIL
C.U. = CENTER UTILITY
C.V. = CENTER VALLEY
C.W. = CENTER WALL
C.X. = CENTER CROSSING
C.Y. = CENTER YARD
C.Z. = CENTER ZONE
C.A. = CENTER AREA
C.B. = CENTER BENCH
C.C. = CENTER CIRCLE
C.D. = CENTER DISTANCE
C.E. = CENTER ELEVATION
C.F. = CENTER FENCE
C.G. = CENTER GUTTER
C.H. = CENTER HATCH
C.I. = CENTER INTERSECTION
C.L. = CENTER LINE
C.M. = CENTER MARK
C.N. = CENTER NORTH
C.O. = CENTER OF GRAVITY
C.P. = CENTER POINT
C.R. = CENTER ROAD
C.S. = CENTER STREET
C.T. = CENTER TRAIL
C.U. = CENTER UTILITY
C.V. = CENTER VALLEY
C.W. = CENTER WALL
C.X. = CENTER CROSSING
C.Y. = CENTER YARD
C.Z. = CENTER ZONE
C.A. = CENTER AREA
C.B. = CENTER BENCH
C.C. = CENTER CIRCLE
C.D. = CENTER DISTANCE
C.E. = CENTER ELEVATION
C.F. = CENTER FENCE
C.G. = CENTER GUTTER
C.H. = CENTER HATCH
C.I. = CENTER INTERSECTION
C.L. = CENTER LINE
C.M. = CENTER MARK
C.N. = CENTER NORTH
C.O. = CENTER OF GRAVITY
C.P. = CENTER POINT
C.R. = CENTER ROAD
C.S. = CENTER STREET
C.T. = CENTER TRAIL
C.U. = CENTER UTILITY
C.V. = CENTER VALLEY
C.W. = CENTER WALL
C.X. = CENTER CROSSING
C.Y. = CENTER YARD
C.Z. = CENTER ZONE
C.A. = CENTER AREA
C.B. = CENTER BENCH
C.C. = CENTER CIRCLE
C.D. = CENTER DISTANCE
C.E. = CENTER ELEVATION
C.F. = CENTER FENCE
C.G. = CENTER GUTTER
C.H. = CENTER HATCH
C.I. = CENTER INTERSECTION
C.L. = CENTER LINE
C.M. = CENTER MARK
C.N. = CENTER NORTH
C.O. = CENTER OF GRAVITY
C.P. = CENTER POINT
C.R. = CENTER ROAD
C.S. = CENTER STREET
C.T. = CENTER TRAIL
C.U. = CENTER UTILITY
C.V. = CENTER VALLEY
C.W. = CENTER WALL
C.X. = CENTER CROSSING
C.Y. = CENTER YARD
C.Z. = CENTER ZONE
C.A. = CENTER AREA
C.B. = CENTER BENCH
C.C. = CENTER CIRCLE
C.D. = CENTER DISTANCE
C.E. = CENTER ELEVATION
C.F. = CENTER FENCE
C.G. = CENTER GUTTER
C.H. = CENTER HATCH
C.I. = CENTER INTERSECTION
C.L. = CENTER LINE
C.M. = CENTER MARK
C.N. = CENTER NORTH
C.O. = CENTER OF GRAVITY
C.P. = CENTER POINT
C.R. = CENTER ROAD
C.S. = CENTER STREET
C.T. = CENTER TRAIL
C.U. = CENTER UTILITY
C.V. = CENTER VALLEY
C.W. = CENTER WALL
C.X. = CENTER CROSSING
C.Y. = CENTER YARD
C.Z. = CENTER ZONE
C.A. = CENTER AREA
C.B. = CENTER BENCH
C.C. = CENTER CIRCLE
C.D. = CENTER DISTANCE
C.E. = CENTER ELEVATION
C.F. = CENTER FENCE
C.G. = CENTER GUTTER
C.H. = CENTER HATCH
C.I. = CENTER INTERSECTION
C.L. = CENTER LINE
C.M. = CENTER MARK
C.N. = CENTER NORTH
C.O. = CENTER OF GRAVITY
C.P. = CENTER POINT
C.R. = CENTER ROAD
C.S. = CENTER STREET
C.T. = CENTER TRAIL
C.U. = CENTER UTILITY
C.V. = CENTER VALLEY
C.W. = CENTER WALL
C.X. = CENTER CROSSING
C.Y. = CENTER YARD
C.Z. = CENTER ZONE
C.A. = CENTER AREA
C.B. = CENTER BENCH
C.C. = CENTER CIRCLE
C.D. = CENTER DISTANCE
C.E. = CENTER ELEVATION
C.F. = CENTER FENCE
C.G. = CENTER GUTTER
C.H. = CENTER HATCH
C.I. = CENTER INTERSECTION
C.L. = CENTER LINE
C.M. = CENTER MARK
C.N. = CENTER NORTH
C.O. = CENTER OF GRAVITY
C.P. = CENTER POINT
C.R. = CENTER ROAD
C.S. = CENTER STREET
C.T. = CENTER TRAIL
C.U. = CENTER UTILITY
C.V. = CENTER VALLEY
C.W. = CENTER WALL
C.X. = CENTER CROSSING
C.Y. = CENTER YARD
C.Z. = CENTER ZONE
C.A. = CENTER AREA
C.B. = CENTER BENCH
C.C. = CENTER CIRCLE
C.D. = CENTER DISTANCE
C.E. = CENTER ELEVATION
C.F. = CENTER FENCE
C.G. = CENTER GUTTER
C.H. = CENTER HATCH
C.I. = CENTER INTERSECTION
C.L. = CENTER LINE
C.M. = CENTER MARK
C.N. = CENTER NORTH
C.O. = CENTER OF GRAVITY
C.P. = CENTER POINT
C.R. = CENTER ROAD
C.S. = CENTER STREET
C.T. = CENTER TRAIL
C.U. = CENTER UTILITY
C.V. = CENTER VALLEY
C.W. = CENTER WALL
C.X. = CENTER CROSSING
C.Y. = CENTER YARD
C.Z. = CENTER ZONE
C.A. = CENTER AREA
C.B. = CENTER BENCH
C.C. = CENTER CIRCLE
C.D. = CENTER DISTANCE
C.E. = CENTER ELEVATION
C.F. = CENTER FENCE
C.G. = CENTER GUTTER
C.H. = CENTER HATCH
C.I. = CENTER INTERSECTION
C.L. = CENTER LINE
C.M. = CENTER MARK
C.N. = CENTER NORTH
C.O. = CENTER OF GRAVITY
C.P. = CENTER POINT
C.R. = CENTER ROAD
C.S. = CENTER STREET
C.T. = CENTER TRAIL
C.U. = CENTER UTILITY
C.V. = CENTER VALLEY
C.W. = CENTER WALL
C.X. = CENTER CROSSING
C.Y. = CENTER YARD
C.Z. = CENTER ZONE
C.A. = CENTER AREA
C.B. = CENTER BENCH
C.C. = CENTER CIRCLE
C.D. = CENTER DISTANCE
C.E. = CENTER ELEVATION
C.F. = CENTER FENCE
C.G. = CENTER GUTTER
C.H. = CENTER HATCH
C.I. = CENTER INTERSECTION
C.L. = CENTER LINE
C.M. = CENTER MARK
C.N. = CENTER NORTH
C.O. = CENTER OF GRAVITY
C.P. = CENTER POINT
C.R. = CENTER ROAD
C.S. = CENTER STREET
C.T. = CENTER TRAIL
C.U. = CENTER UTILITY
C.V. = CENTER VALLEY
C.W. = CENTER WALL
C.X. = CENTER CROSSING
C.Y. = CENTER YARD
C.Z. = CENTER ZONE
C.A. = CENTER AREA
C.B. = CENTER BENCH
C.C. = CENTER CIRCLE
C.D. = CENTER DISTANCE
C.E. = CENTER ELEVATION
C.F. = CENTER FENCE
C.G. = CENTER GUTTER
C.H. = CENTER HATCH
C.I. = CENTER INTERSECTION
C.L. = CENTER LINE
C.M. = CENTER MARK
C.N. = CENTER NORTH
C.O. = CENTER OF GRAVITY
C.P. = CENTER POINT
C.R. = CENTER ROAD
C.S. = CENTER STREET
C.T. = CENTER TRAIL
C.U. = CENTER UTILITY
C.V. = CENTER VALLEY
C.W. = CENTER WALL
C.X. = CENTER CROSSING
C.Y. = CENTER YARD
C.Z. = CENTER ZONE
C.A. = CENTER AREA
C.B. = CENTER BENCH
C.C. = CENTER CIRCLE
C.D. = CENTER DISTANCE
C.E. = CENTER ELEVATION
C.F. = CENTER FENCE
C.G. = CENTER GUTTER
C.H. = CENTER HATCH
C.I. = CENTER INTERSECTION
C.L. = CENTER LINE
C.M. = CENTER MARK
C.N. = CENTER NORTH
C.O. = CENTER OF GRAVITY
C.P. = CENTER POINT
C.R. = CENTER ROAD
C.S. = CENTER STREET
C.T. = CENTER TRAIL
C.U. = CENTER UTILITY
C.V. = CENTER VALLEY
C.W. = CENTER WALL
C.X. = CENTER CROSSING
C.Y. = CENTER YARD
C.Z. = CENTER ZONE
C.A. = CENTER AREA
C.B. = CENTER BENCH
C.C. = CENTER CIRCLE
C.D. = CENTER DISTANCE
C.E. = CENTER ELEVATION
C.F. = CENTER FENCE
C.G. = CENTER GUTTER
C.H. = CENTER HATCH
C.I. = CENTER INTERSECTION
C.L. = CENTER LINE
C.M. = CENTER MARK
C.N. = CENTER NORTH
C.O. = CENTER OF GRAVITY
C.P. = CENTER POINT
C.R. = CENTER ROAD
C.S. = CENTER STREET
C.T. = CENTER TRAIL
C.U. = CENTER UTILITY
C.V. = CENTER VALLEY
C.W. = CENTER WALL
C.X. = CENTER CROSSING
C.Y. = CENTER YARD
C.Z. = CENTER ZONE
C.A. = CENTER AREA
C.B. = CENTER BENCH
C.C. = CENTER CIRCLE
C.D. = CENTER DISTANCE
C.E. = CENTER ELEVATION
C.F. = CENTER FENCE
C.G. = CENTER GUTTER
C.H. = CENTER HATCH
C.I. = CENTER INTERSECTION
C.L. = CENTER LINE
C.M. = CENTER MARK
C.N. = CENTER NORTH
C.O. = CENTER OF GRAVITY
C.P. = CENTER POINT
C.R. = CENTER ROAD
C.S. = CENTER STREET
C.T. = CENTER TRAIL
C.U. = CENTER UTILITY
C.V. = CENTER VALLEY
C.W. = CENTER WALL
C.X. = CENTER CROSSING
C.Y. = CENTER YARD
C.Z. = CENTER ZONE
C.A. = CENTER AREA
C.B. = CENTER BENCH
C.C. = CENTER CIRCLE
C.D. = CENTER DISTANCE
C.E. = CENTER ELEVATION
C.F. = CENTER FENCE
C.G. = CENTER GUTTER
C.H. = CENTER HATCH
C.I. = CENTER INTERSECTION
C.L. = CENTER LINE
C.M. = CENTER MARK
C.N. = CENTER NORTH
C.O. = CENTER OF GRAVITY
C.P. = CENTER POINT
C.R. = CENTER ROAD
C.S. = CENTER STREET
C.T. = CENTER TRAIL
C.U. = CENTER UTILITY
C.V. = CENTER VALLEY
C.W. = CENTER WALL
C.X. = CENTER CROSSING
C.Y. = CENTER YARD
C.Z. = CENTER ZONE
C.A. = CENTER AREA
C.B. = CENTER BENCH
C.C. = CENTER CIRCLE
C.D. = CENTER DISTANCE
C.E. = CENTER ELEVATION
C.F. = CENTER FENCE
C.G. = CENTER GUTTER



20 % PARKING REDUCTION DIAGRAM

Scale: N.T.S.

NOTE:
RED LINE DESCRIBES 905'-0"
FROM SITE TO PARKING GARAGE.

INDEX		
SHEET	DRAWING NUMBER	DRAWING NAME
1	C 1.00	COVER SHEET
2	A 1.00	INDEX AND DATA SHEET
3	I	BOUNDARY SURVEY
4	A 1.01	AERIAL MAP
5	A 1.02	SITE CONTEXT PHOTOS
6	A 1.03	SITE CONTEXT PHOTOS
7	A 1.04	SITE CONTEXT PHOTOS
8	A 1.05	SITE CONTEXT PHOTOS
9	A 1.06	SITE CONTEXT PHOTOS
10	A 1.07	SITE CONTEXT PHOTOS
11	A 1.08	SITE CONTEXT PHOTOS
12	A 1.09	EXISTING CONDITIONS
13	A 1.10	EXISTING NORTH/SOUTH ELEV.
14	A 1.11	EXISTING EAST/WEST ELEV.
15		RENDERING
16		RENDERING
17		RENDERING
18	A 1.12	F.A.R. CALCULATION
19	A 1.13	F.A.R. CALCULATION
20	A 2.00	SITE PLAN
21	A 3.00	LEVEL 1
22	A 3.01	LEVEL 2
23	A 3.02	LEVEL 3
24	A 3.03	LEVEL 4-5
25	A 3.04	ROOF PLAN
26	A 4.00	EXTERIOR ELEVATION
27	A 4.01	EXTERIOR ELEVATION
28	A 4.02	EXTERIOR ELEVATION
29	A 4.03	EXTERIOR ELEVATION
30	A 5.00	BUILDING SECTION
31	ALT 3.00	ALTERNATE PARKING LEVEL 1
32	ALT 3.01	ALTERNATE PARKING LEVEL 2
33	ALT 5.00	BUILDING SECTION
34	TD-1	TREE DISPOSITION PLAN
35	TD-2	TREE DISPOSITION PLAN
36	L-1	SITE LANDSCAPE PLAN
37	L-2	FOOR LEVEL SITE LANDSCAPE PLAN
38	L-3	LANDSCAPE DETAILS
39	IRR-1	SITE IRRIGATION PLAN
40	IRR-2	IRRIGATION DETAILS
41	LL-1	LANDSCAPE LIGHTING PLAN
42	LL-2	LANDSCAPE LIGHTING DETAILS

UNIT MATRIX

FLOOR	300 SF	336 SF AND ABOVE	UNIT/FLOOR	NUMBER OF FLOORS
	# OF UNITS	# OF UNITS		
1	0	0	0	5
2	0	0	0	
3	4	28	32	
4	4	28	32	
5	4	28	32	
TOTAL	12	84	96	5
PERCENTAGE	13%	88%	100%	

AREA CALCULATIONS					
LEVEL	PROPOSED	EXISTING	GROSS	CIRCULATION	LEASABLE
1	8,222 SF	5,114 SF	9,999 SF	975 SF	5,425 SF
2	1,772 SF	2,408 SF	13,483 SF	975 SF	0 SF
3	13,133 SF		14,938 SF	2,232 SF	0 SF
4	13,133 SF		14,938 SF	2,229 SF	0 SF
5	13,133 SF		14,938 SF	2,229 SF	0 SF
ROOF TOP	716 SF		14,938 SF	545 SF	0 SF
TOTAL	57,631 SF	83,234 SF	9,185 SF	5,425 SF	TOTAL

PARKING REQUIREMENTS (A)		
LEVEL	USE	FLOORS
LEVEL 1	RETAIL	0
LEVEL 3-5	RESTAURANT	160
TOTAL	HOTEL	96
		1 pts seven seats / 40 SPACES
		48 SPACES
		88 SPACES

LOADING REQUIRED	
LEVEL	AMOUNT
1	3 SPACES

PARKING PROVIDED	
LEVEL	AMOUNT
1	2 8.5 X 21 SPACES
2	1 8.5 X 21HC SPACE
2	28 LIFTS (56 SPACE)
	59 TOTAL

LOADING PROVIDED	
LEVEL	AMOUNT
1	3 SPACES
	3 TOTAL

MIAMI BEACH

Planning Department, 1700 Convention Center Drive
Miami Beach, Florida 33139, www.miamibeachfl.gov
305.673.7550

MULTIFAMILY - COMMERCIAL - ZONING DATA SHEET

Zoning Information	
1 Address:	1750 - 1716 ALTON RD, Miami Beach, FL 33139-2412
2 Board and File numbers:	
3 Folio number(s):	02-3234-017-0030 02-3234-017-0020
4 Year constructed:	1995
5 Base Flood Elevation:	8'-0" NGVD
6 Adjusted grade (Flood+Grade/2):	N/A
7 Lot Width:	150'-0"
8 Minimum Unit Size:	300 SF
9 Existing User:	RETAIL
Zoning District:	CD-2: GROUND/PEDESTAL RM-2: TOWER
Grade Value in NGVD:	6.15 NGVD 6'-1-13/16"
Lot Area:	1750 = 21,343, 1716 = 7,500
Lot Depth:	209'-4"
Average Unit Size:	N/A
Proposed Use:	HOTEL / REAIL / RESTAURANT

	Maximum	Existing	Proposed	Deficiencies
10 Height	50'-0"	19'-0"	53'-0"	3'-0"
11 Number of Stories	5 STORIES	1	5 STORIES	-
12 FAR 2.0	57,686 SF	7,522 SF	57,631 SF	-
13 Gross Square Footage	N/A	10,714 SF	83,234 SF	-
14 Square Footage by use	N/A	N/A	5,425 SF	-
15 Number of Units Residential	N/A	N/A	96	-
16 Number of Units Hotel	N/A	0	160	-
17 Number of Seats:	N/A	N/A	233	-
18 Occupancy Load	N/A	N/A	233	-

Setbacks	Required	Existing	Proposed	Deficiencies
Subterranean:				
19 Front Setback:	N/A	N/A	N/A	-
20 Side Setback:	N/A	N/A	N/A	-
21 Side Setback:	N/A	N/A	N/A	-
22 Side Setback facing Street:	N/A	N/A	N/A	-
23 Rear Setback:	N/A	N/A	N/A	-
At Grade Parking:				
24 Front Setback:	0'-0"	N/A	5'-0"	-
25 Side Setback:	0'-0"	N/A	5'-0"	-
26 Side Setback:	0'-0"	N/A	5'-0"	-
27 Side Setback facing Street:	0'-0"	N/A	5'-0"	-
28 Rear Setback:	0'-0"	N/A	5'-0"	-
Pedestal 3-5				
29 Front Setback (East):	20'-0"	N/A	20'-0"	-
30 Side Setback (South):	16'-9"	N/A	16'-9"	-
31 Side Setback facing Street (West):	13'-0"	N/A	13'-0"	-
32 Rear Setback:	16'-9"	N/A	16'-9"	-

Parking	Required	Existing	Proposed	Deficiencies
33 Parking District	6	6	6	-
34 Total # of parking spaces	88	18	57	-
35 20% PARKING REDUCTION (CENTRALIZED PARKING) SEE DIAGRAM PROVIDED	-17.6	-	-	-
36 Car Pool Spaces Ground Floor	-6	-	-	-
37 10 Long Term Bike Rack	-2	-	-	-
38 20 Short Term Bike Rack	-2	-	-	-
39 2 Shower Facilities in Hotel	-4	-	-	-
40 # of parking spaces per use (Provide a separate chart for a breakdown)	SEE CHART PROVIDED	N/A	SEE CHART PROVIDED	-
41 # of parking spaces per level (Provide a separate chart for a breakdown)	SEE CHART PROVIDED	N/A	SEE CHART PROVIDED	-
42 Parking Space Configurations (450,600,900,Parallel)	SEE CHART PROVIDED	N/A	SEE CHART PROVIDED	-
43 ADA Spaces	1	N/A	1	-
44 Tandem Spaces	N/A	N/A	N/A	-
45 Drive Aisle Width	22	N/A	22	-
46 Vast Drop off and pick up	11	N/A	11	-
47 Loading zones and Trash collection or	3	N/A	2 ON SITE / 1 ON STREET	1 ON STREET
48 Racks	25	N/A	31	-

Restaurants, Cafes, Bars, Lounges, Nightclubs	Required	Existing	Proposed	Deficiencies
46 Type of use	N/A	RESTAURANT	RESTAURANT	-
47 Total # of Seats	N/A	N/A	160	-
48 Total # of Seats per venue (Provide a separate chart for a breakdown)	N/A	N/A	40 (28 W / PARKING REDUCTION)	-
49 Total Occupant Content	N/A	N/A	233	-
50 Occupant content per venue (Provide a separate chart for a breakdown)	N/A	N/A	233	-

51 Is this a contributing building?	NO
52 Located within a Local Historic District	NO

Notes: If not applicable write N/A
All other data information may be required and presented like the above format.
* SEE PARKING REQUIREMENTS (A)

REVISIONS / SUBMISSIONS	
1	
2	
3	
4	
5	
6	
7	
8	
9	
10	
11	
12	

1384

ALL DRAWINGS AND ANY OTHER INFORMATION, WHETHER OR NOT INDICATED OTHERWISE, ARE THE PROPERTY OF THE ARCHITECT AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT. NO PART OF THIS DOCUMENT SHALL BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE EXPRESS WRITTEN CONSENT OF THE ARCHITECT. (AIA A201-2017, ARTICLE 10, SECTION 10.6.2)

1750 ALTON HOTEL
1750 ALTON ROAD
MIAMI BEACH, FLORIDA 33139

INDEX & DATA

FINVARB
ARCHITECTS

1750 ALTON HOTEL
1750 ALTON ROAD
MIAMI BEACH, FLORIDA 33139

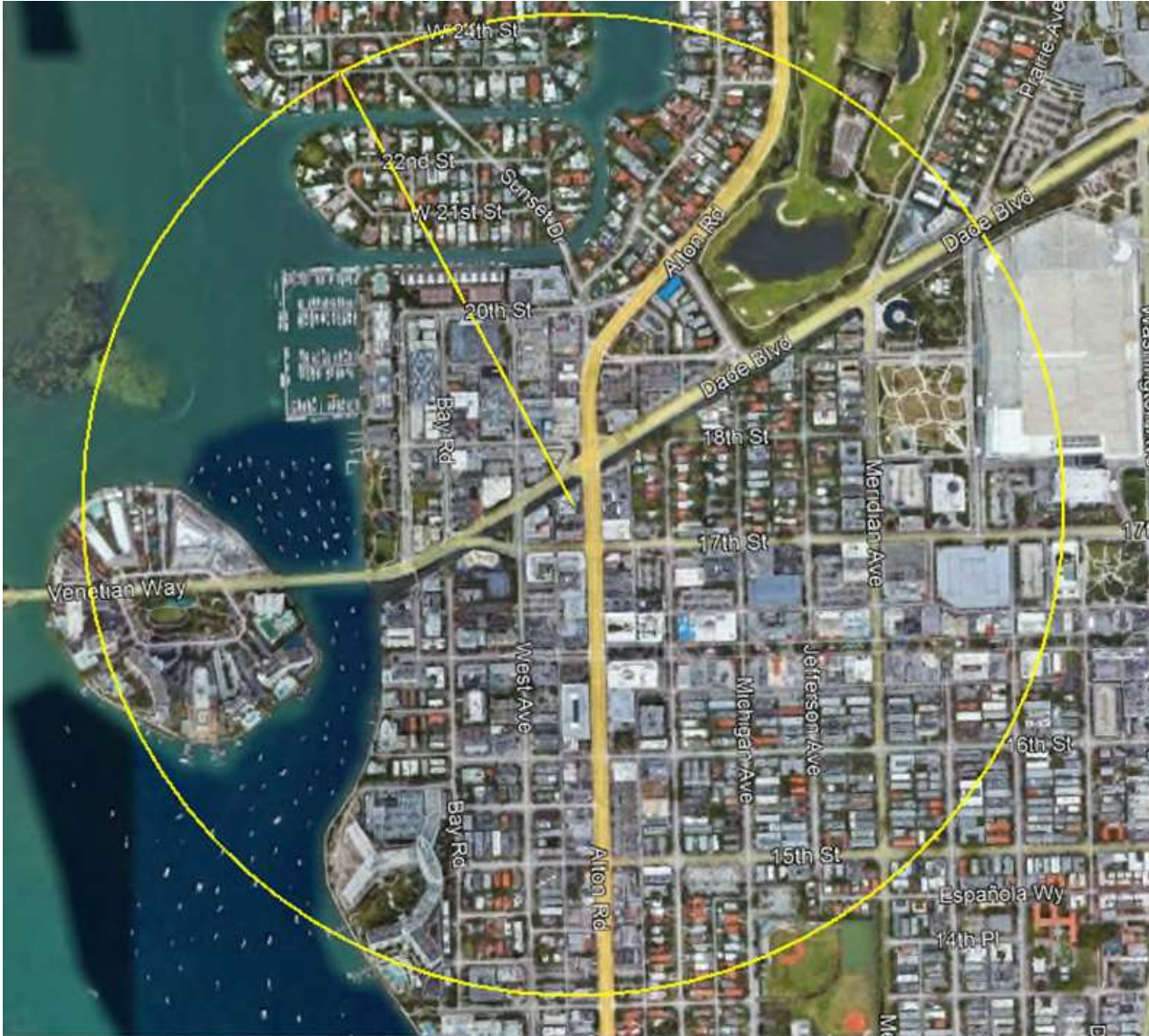
ARCHITECTURE
INTERIOR DESIGN
PLANNING
AIA ASID NCARB
Miami, FL 33139
P. 305.673.7550
WWW.KOBKARP.COM

K O B I
K A R P

DRAWN BY:
CHECKED BY:
DATE: APRIL 2012

A1.00

FOR
REFERENCE
ONLY
PB # 2279



Context Location Plan. Aerial Half Mile Radius



FINVARB
GROUP

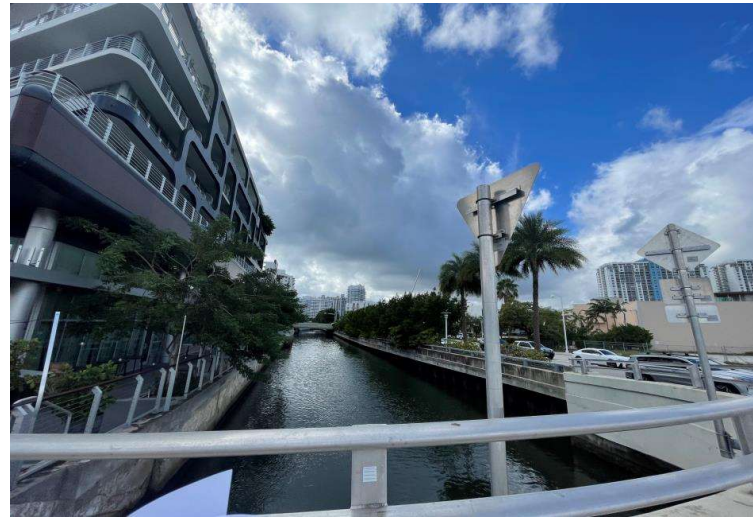
KIMPTON PALOMAR SOUTH BEACH

1750 Alton Road
Miami Beach, FL 33139

CONTEXT PHOTOS



1 INTERSECTION BETWEEN ALTON RD AND DADE BLVD



2 ALTON RD INTERSECTION VIEW WEST



3 PROPERTY



KEY PLAN

KIMPTON PALOMAR SOUTH BEACH

1750 Alton Road
Miami Beach, FL 33139

CONTEXT PHOTOS





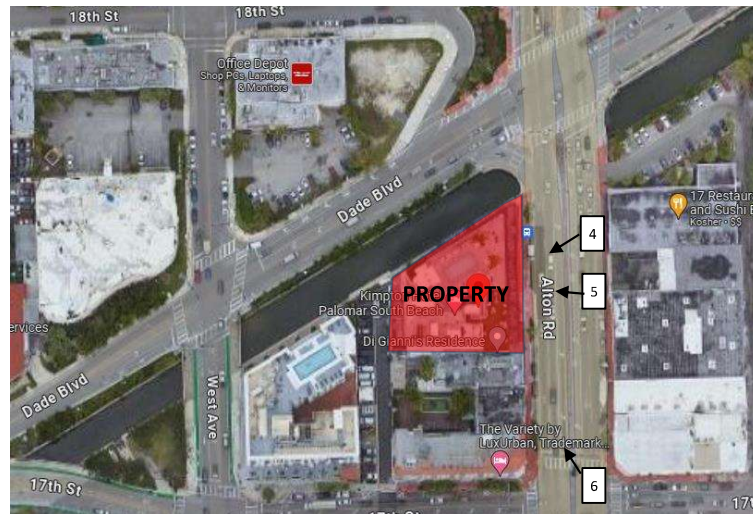
4 ALTON RD S.W. VIEW



5 PROPERTY



6 ADJACENT SITE



KEY PLAN

KIMPTON PALOMAR SOUTH BEACH

1750 Alton Road
Miami Beach, FL 33139

CONTEXT PHOTOS





7

ALTON RD S.E. VIEW



8

ALTON RD S.E VIEW



9

ADJACENT SITE



KEY PLAN

KIMPTON PALOMAR SOUTH BEACH

1750 Alton Road
Miami Beach, FL 33139

CONTEXT PHOTOS





10 ALTON COURT LOOKING NORTH



11 ADJACENT HOTEL



12 WEST AVENUE BRIDGE / ADJACENT HOTEL



KEY PLAN

KIMPTON PALOMAR SOUTH BEACH

1750 Alton Road
Miami Beach, FL 33139

CONTEXT PHOTOS





13 WEST AVENUE BRIDGE / ADJACENT HOTEL



14 ADJACENT HOTEL



15 PROPERTY



KEY PLAN

KIMPTON PALOMAR SOUTH BEACH

1750 Alton Road
Miami Beach, FL 33139

CONTEXT PHOTOS





16 ALTON COURT WEST VIEW / ADJACENT HOTEL



17 ALTON COURT EAST VIEW / ADJACENT SITE



18 ALTON COURT EAST VIEW / PROPERTY



KEY PLAN

KIMPTON PALOMAR SOUTH BEACH

1750 Alton Road
Miami Beach, FL 33139

CONTEXT PHOTOS





19 ALTON COURT / PROPERTY



20 ALTON RD / PROPERTY



21 ALTON RD / PROPERTY



KEY PLAN

KIMPTON PALOMAR SOUTH BEACH

1750 Alton Road
Miami Beach, FL 33139

CONTEXT PHOTOS





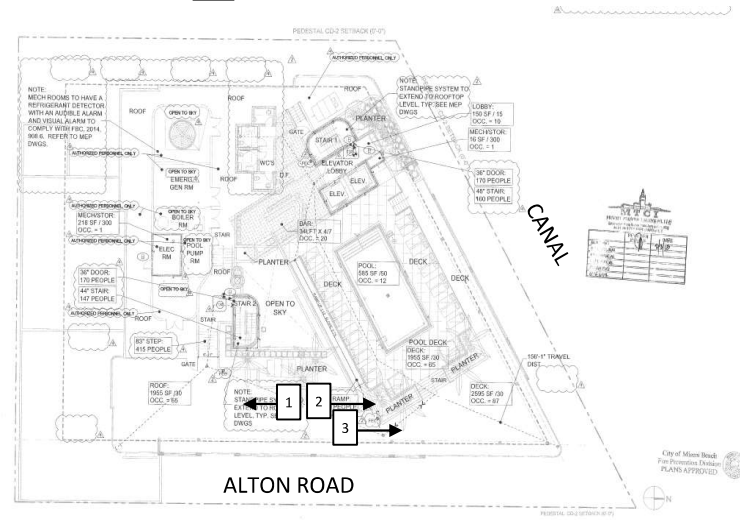
1 ROOF TERRACE / SOUTH



2 ROOF TERRACE / NORTH



3 ROOF TERRACE / NORTH



ROOF PLAN

KIMPTON PALOMAR SOUTH BEACH

1750 Alton Road
Miami Beach, FL 33139

ROOFTOP PHOTOS



FINVARB
GROUP



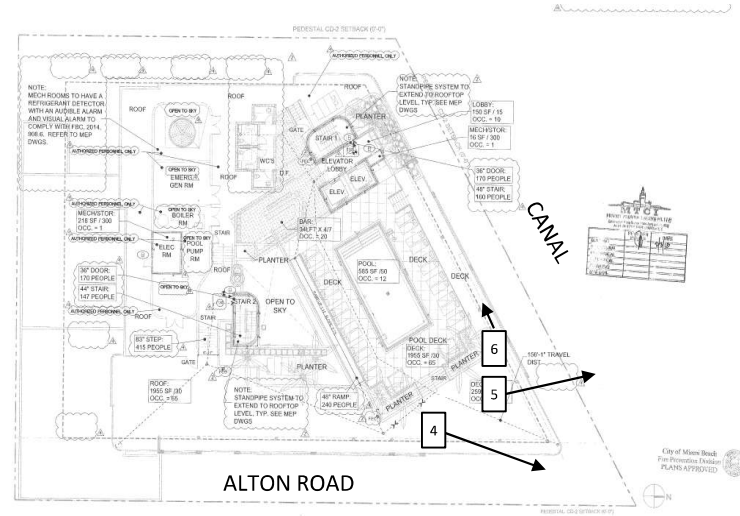
4 ROOF TERRACE / N.E. VIEW



5 ROOF TERRACE / NORTH VIEW



6 ROOF TERRACE / SOUTH WEST



ROOF PLAN

KIMPTON PALOMAR SOUTH BEACH

1750 Alton Road
Miami Beach, FL 33139

ROOFTOP PHOTOS



FINVARB
GROUP



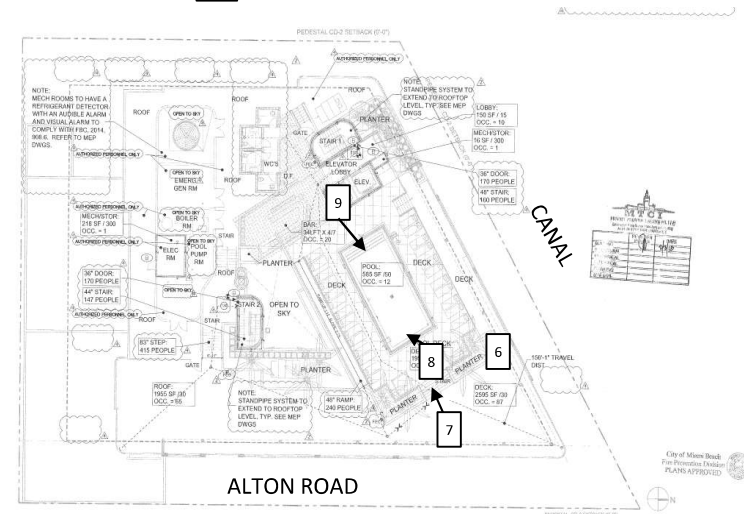
7 ROOF TERRACE / STAIRS TO POOL DECK



8 POOL DECK / SOUTH WEST



9 POOL DECK / NORTH EAST



ROOF PLAN

KIMPTON PALOMAR SOUTH BEACH

1750 Alton Road
Miami Beach, FL 33139

ROOFTOP PHOTOS



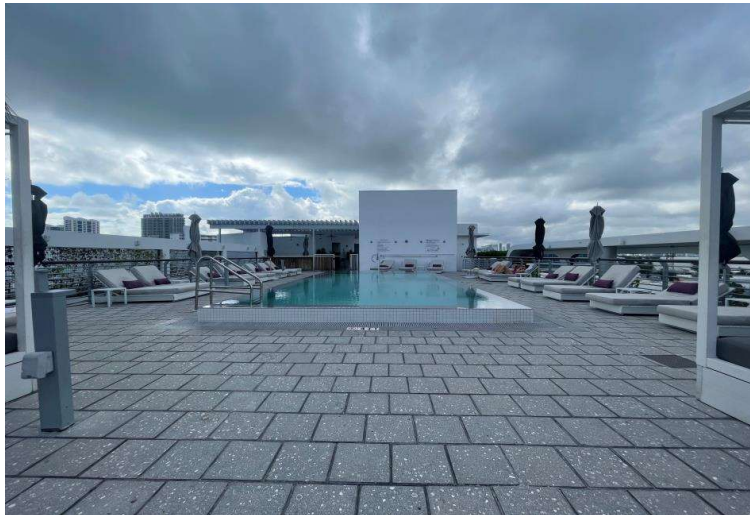
FINVARB
GROUP



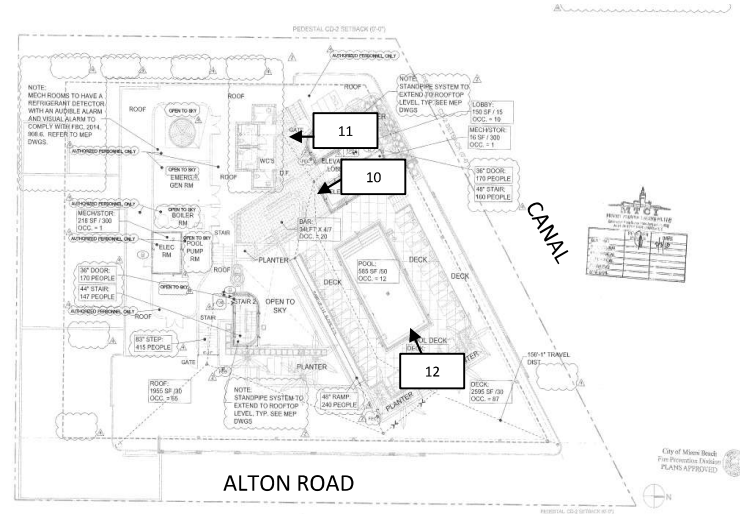
10 ROOFTOP 6-SEAT BAR



11 ROOFTOP RESTROOMS



12 POOL DECK / SOUTH WEST



ROOF PLAN

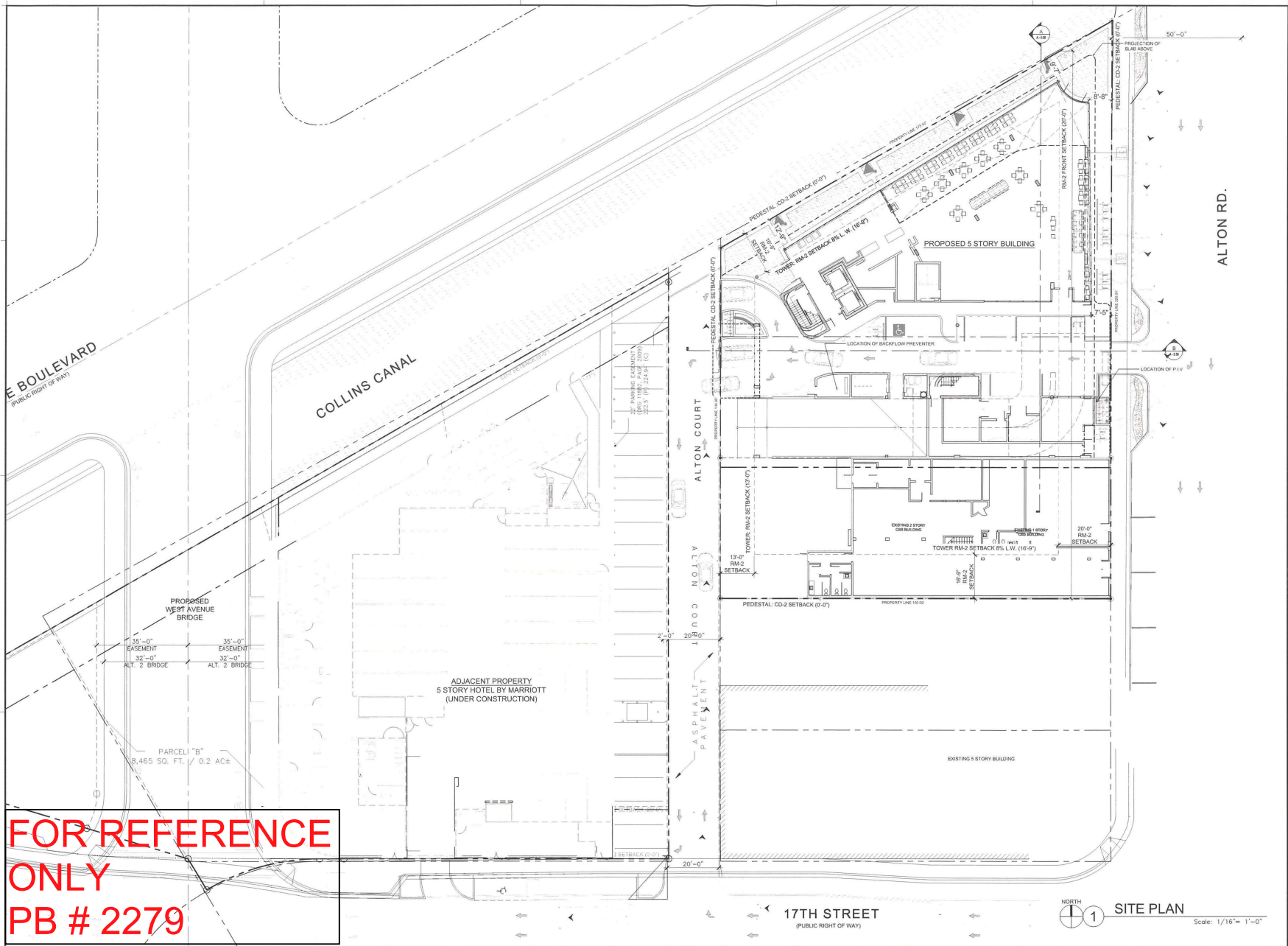
KIMPTON PALOMAR SOUTH BEACH

1750 Alton Road
Miami Beach, FL 33139

ROOFTOP PHOTOS



FINVARB
GROUP



REVISIONS / SUBMISSIONS
1
2
3
4
5
6
7
8
9
10
11
12

1384

ALL DIMENSIONS AND SETBACKS SHOWN ARE BASED ON THE RECORD AND FIELD SURVEY AND SHALL BE USED TO LOCATE THE PROPOSED IMPROVEMENTS WITHOUT THE ENGINEER'S WRITTEN CONSENT OR APPROVAL. THE ENGINEER'S LIABILITY IS LIMITED TO THE PROFESSIONAL SERVICES PROVIDED BY HIM OR HER.

1750 ALTON HOTEL
1750 ALTON ROAD
MIAMI BEACH, FLORIDA 33139

SITE PLAN

FINVARB GROUP

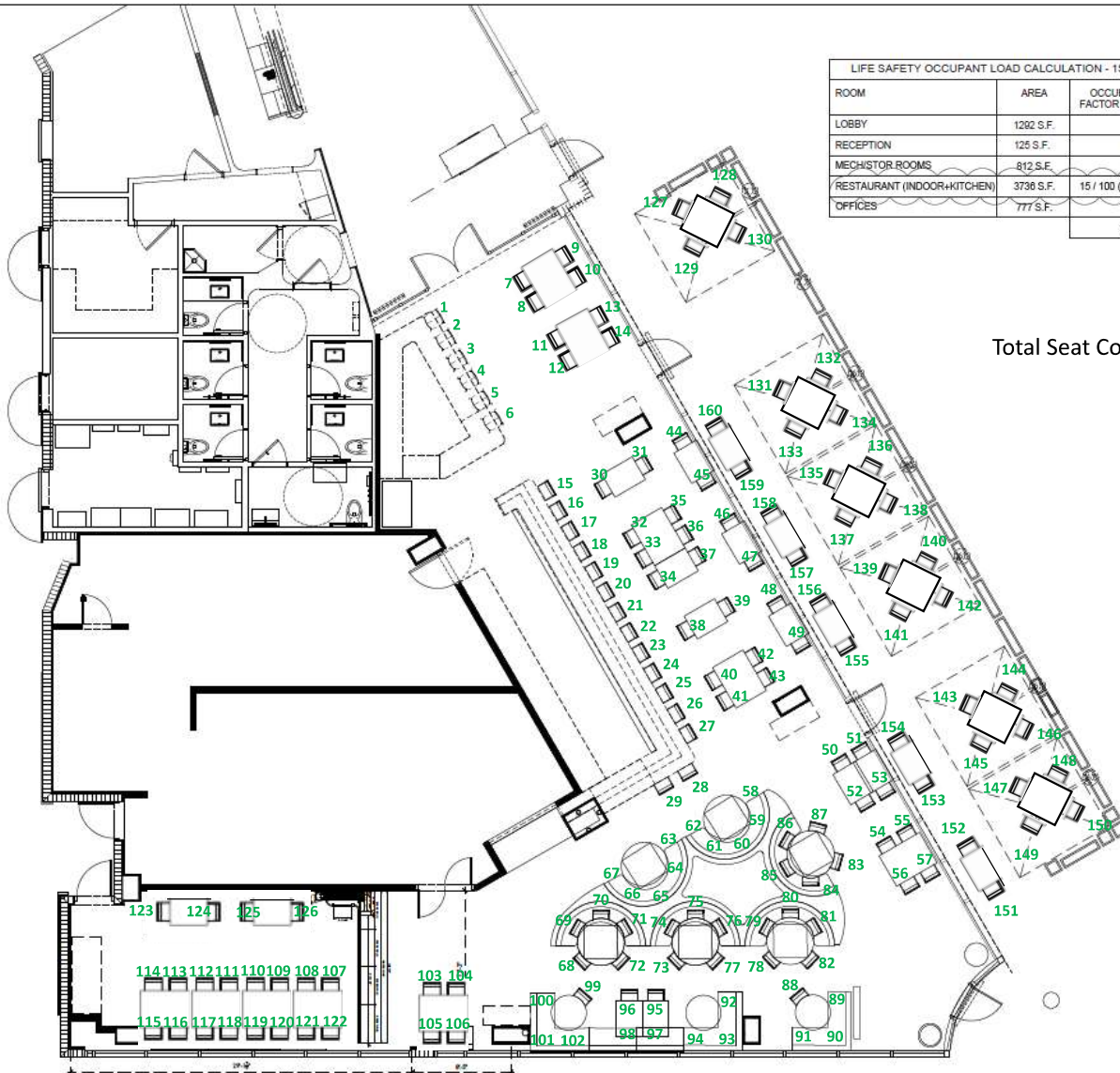
17
OCT 20 2015

**ARCHITECTURE
INTERIOR DESIGN
PLANNING**
AIA ASID NCARB
2515 Southeast Boulevard
Miami, Florida 33137
P. 305.573.3788
WWW.KOBKARP.COM

KOBKARP

DRAWN BY:
CHECKED BY:
DATE: APRIL 2012

A2.00



LIFE SAFETY OCCUPANT LOAD CALCULATION - 1ST FLOOR				
ROOM	AREA	OCCUPANT LOAD FACTOR PER 1,000 SF	OCCUPANT LOAD	CATEGORY
LOBBY	1292 S.F.	15	98	HOTEL LOBBY
RECEPTION	125 S.F.	60	3	RECEPTION
MECH/STOR. ROOMS	812 S.F.	300	2	STORAGE / MECH
RESTAURANT (INDOOR+KITCHEN)	3736 S.F.	15 / 100 (SEE ABOVE)	205	RESTAURANT
OFFICES	777 S.F.	100	8	BUSINESS
TOTAL =			304 PERSONS	4

Total Seat Count = 160

KIMPTON PALOMAR SOUTH BEACH

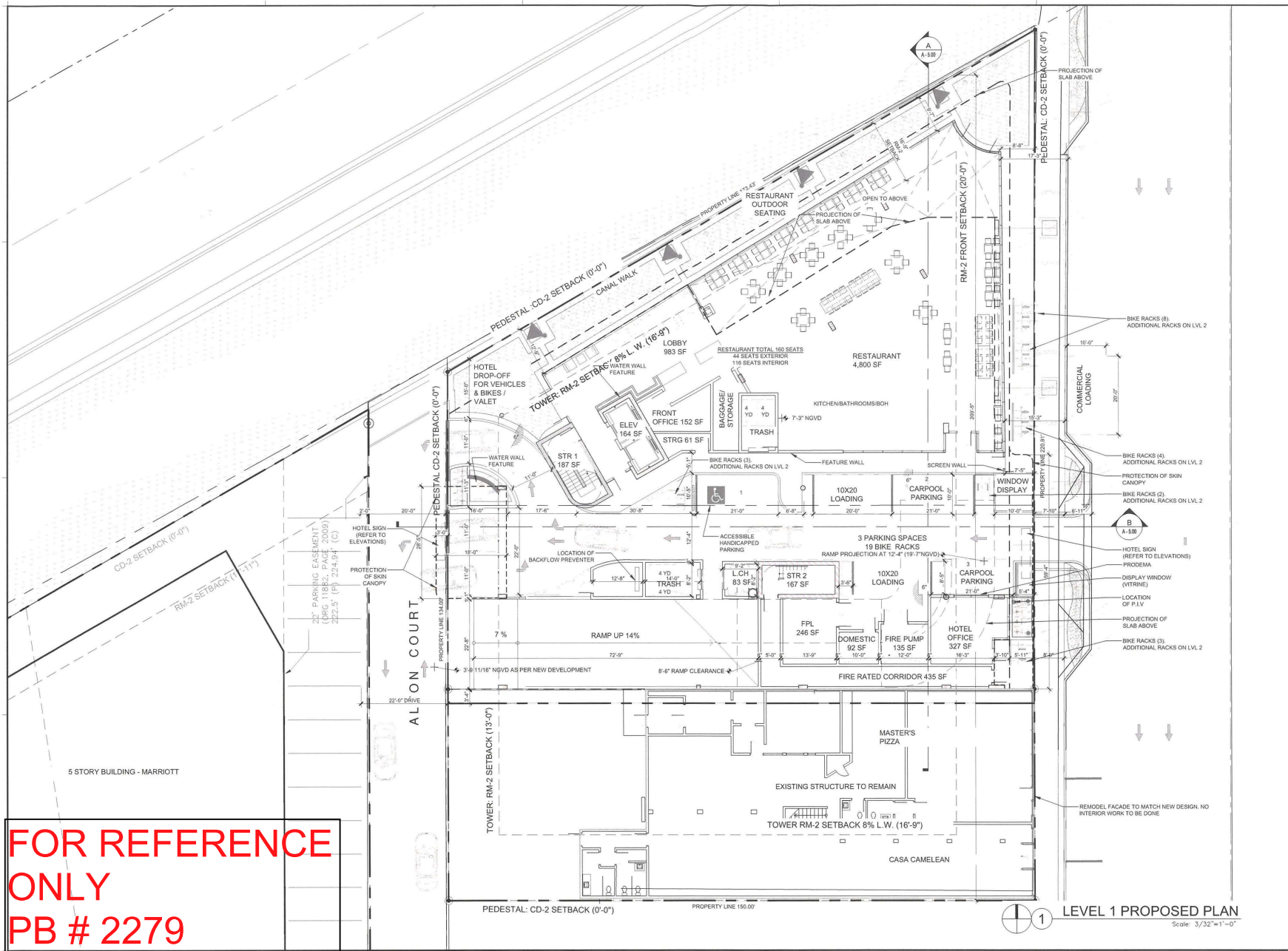
1750 Alton Road
Miami Beach, FL 33139

DIAGRAM PLANNING – FIRST FLOOR RESTAURANT



Note: Not an architectural drawing. This is diagram planning for Planning Board purposes only. Occupancy loads are from As-Built drawings.

**FOR REFERENCE
ONLY
PB # 2279**



REVISIONS / SUBMISSIONS	
1	
2	
3	
4	
5	
6	
7	
8	
9	
10	
11	
12	

1384

1750 ALTON HOTEL
1750 ALTON ROAD
MIAMI BEACH, FLORIDA 33139

LEVEL 1

FINVARB
ARCHITECTS

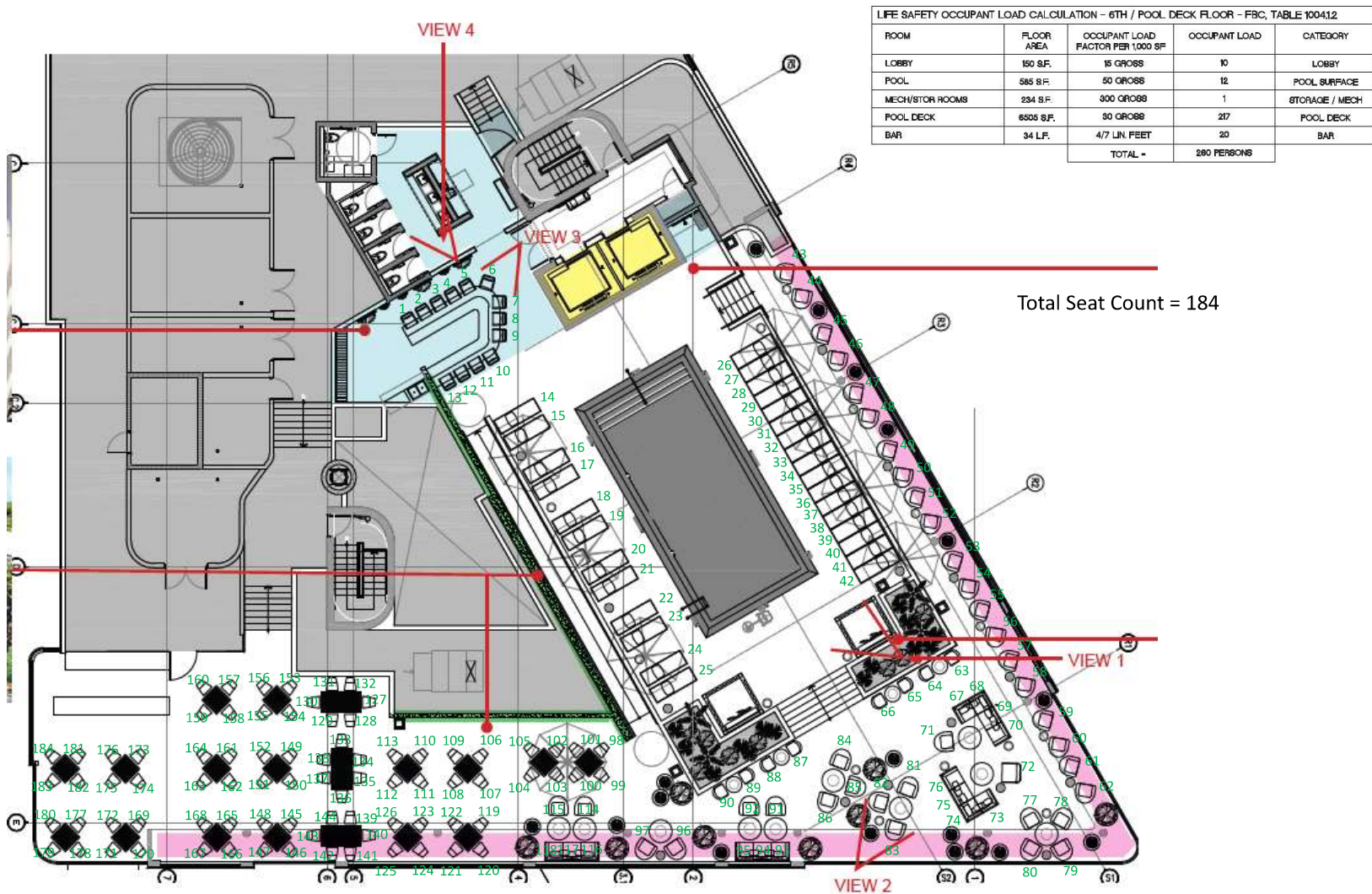
HA
OCT 20 2015
LIC # A000578

**ARCHITECTURE
INTERIOR DESIGN
PLANNING**
AIA ASID NCARB
2915 Brickyard Boulevard
Miami, Florida 33137
P: 305.573.3788
WWW.KOBKARP.COM


**K O B I
K A R P**

DRAWN BY:
CHECKED BY:
DATE: APRIL 2012

A3.00



Note: Not an architectural drawing. This is diagram planning for Planning Board purposes only. Occupancy loads are from As-Built drawings.



FINVARB

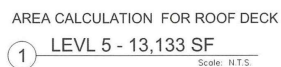
GROUP

KIMPTON PALOMAR SOUTH BEACH

1750 Alton Road

Miami Beach, FL 33139

DIAGRAM PLANNING – ROOFTOP



CE

ALTON COURT

PROPOSED ROOF PLAN

Scale: 3/32"=1'-0"

REVISIONS / SUBMISSION	
1	
2	
3	
4	
5	
6	
7	
8	
9	
10	
11	
12	

1384

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK OF K. HAPPAU, AND MAY NOT BE DUPLICATED, USED, OR DISCLOSED WITHOUT THE EXPRESS WRITTEN CONSENT OF KUS+HAPPAU ARCHITECTURE & INTERIOR DESIGN INC. AIA, INC. 2014

1750 ALTON HOTEL

1750 ALTON ROAD
MIAMI BEACH, FLORIDA 33139

ROOF PLAN



EINVARB

11
OCT 20 20

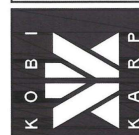
ARCHITECTURE
INTERIOR DESIGN

PLANNING	
AIA	ASID NCARB

2015 Biscayne Boulevard
Suite 200
Miami, Florida 33137

O: 305.573.1818
F: 305.873.5766

F: 305 513 3766
WWW.KOBIKARP.COM



DRAWN BY:

CHECKED BY _____

DATE: APRIL 2012

A3.04

ARCHITECTURE
INTERIOR DESIGN
PLANNING

2717 Ponce de Leon Blvd.
Coral Gables, FL, 33134
Phone : 305.200.5302
www.PertusayArchitecture.com

Adeline
11.22.19

STATE OF FLORIDA
HELIO M. LAMAR ARCHTCT
REGISTRATION #B00000893

THESE DESIGNS AND DRAWINGS ARE THE
COPYRIGHTED PROPERTY OF HELIO
ARCHITECTURE. INTERIOR DESIGN AND
PLANNING, INC. AND MAY NOT BE REPRODUCED
EXCEPT WITH SPECIFICATION-WRITTEN
CONSENT OF THE ARCHITECT. THE
CONTRACTOR MUST CHECK AND VERIFY ALL
DIMENSIONS OF THE JOB AND BE RESPONSIBLE
FOR MARK, REPORTING ANY DISCREPANCIES TO
THE ARCHITECT BEFORE COMMENCING WORK.

KIMPTON HOTEL
PALOMAR
SOUTH BEACH
1750 Alton Road, Miami Beach, FL 33139
FINVARE GROUP

FINVARB GROUP
665 Kane Concourse, Suite 201 Bay Harbor Island FL 33154

[illegible]

PROJECT NO. 1613
DATE 02.28.17
SHEET INDEX:
SCALE: As Noted
SHEET NO.

A-024

NOTES:

ALL EGRESS DOORS WITH $\frac{1}{2}$ " MAX ELEVATION TYPICAL

PLUMBING FIXTURE CALCULATION - POOL DECK FLOOR - FBG, TABLE 403.6				
ROOM	OCCUPANT LOAD	$\frac{1}{2}$ MALE 150 PEOPLE	$\frac{1}{2}$ FEMALE 150 PEOPLE	LAVS 1 PER 200 PERSONS
LOBBY	10 PEOPLE			
SWIMMING POOL	12 PEOPLE			
MECH/STOR ROOMS	1 PERSON	2 WCs	2 WCs	2 LAVS
POOL DECK	237 PEOPLE			
BAR	30 PEOPLE			
TOTALS	260 PEOPLE	4 WCs		2 LAVS

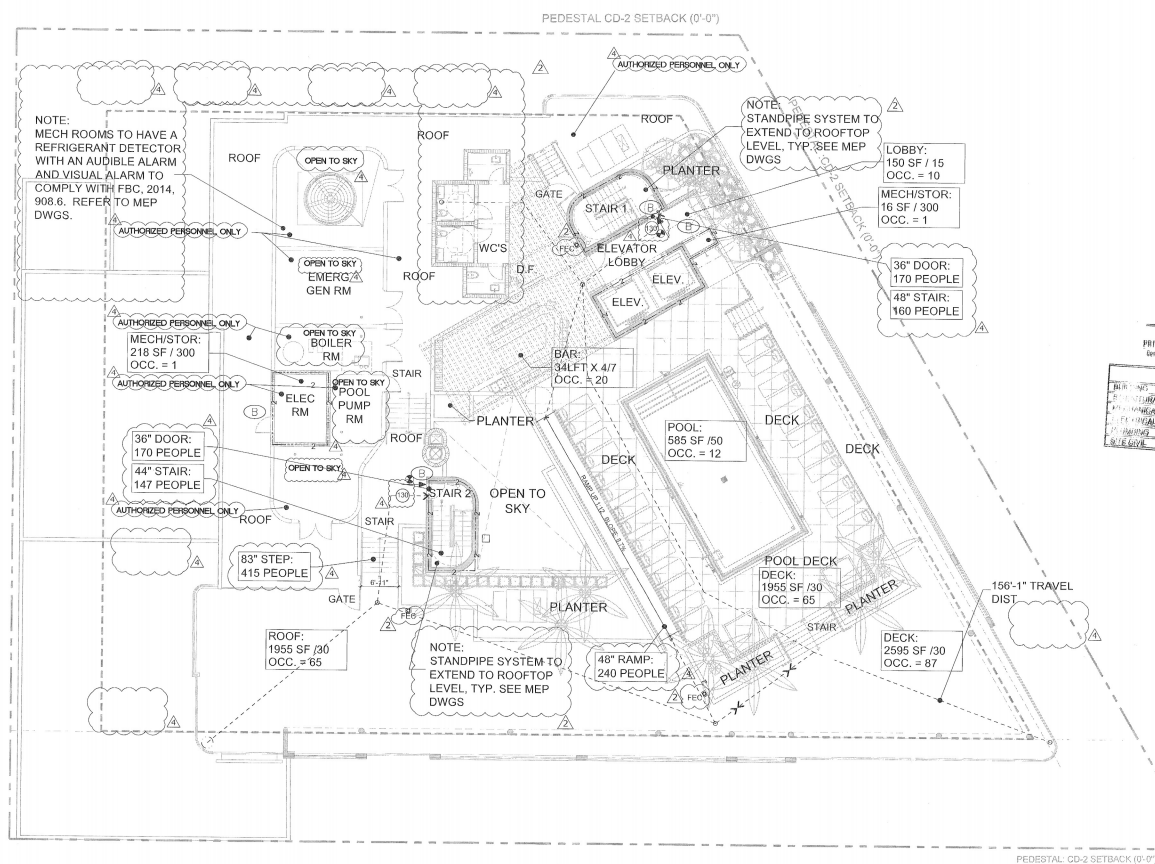
LIFE SAFETY OCCUPANT LOAD CALCULATION - 6TH / POOL DECK FLOOR - FBC, TABLE 1004.12				
ROOM	FLOOR AREA	OCCUPANT LOAD FACTOR PER 1000 SF	OCCUPANT LOAD	CATEGORY
LOBBY	150 S.F.	15 GROSS	15	LOBBY
POOL	585 S.F.	12	52	POOL SURFACE
MECH/STOR ROOMS	234 S.F.	300 GROSS	1	STORAGE / MECH
POOL DECK	6505 S.F.	30 GROSS	217	POOL DECK
BAR	34 L.F.	4/7 LIN FEET	20	BAR
TOTAL =			260 PERSONS	

DOOR AND STAIR EGRESS - 6TH FLOOR / ROOF - 260 PERSONS			
REQUIRED	REQUIRED	PROVIDED	
DOOR 0.2' MIN. WIDTH	STAIR 0.5' MIN. WIDTH	DOOR 0.2' MIN. WIDTH	STAIR 0.5' MIN. WIDTH
REQUIRED	REQUIRED	REQUIRED	REQUIRED
54.6' WIDTH	816' WIDTH	(2) AT 32' WIDTH + 64'	(2) AT 44' WIDTH + 88'
		TOTAL =	260 PERSONS

FOR
REFERENCE
ONLY
BC1703462

A1 LIFE SAFETY PLAN - ROOF / 6TH FLOOR

SCALE: 3/32" = 1'-0"



PEDESTAL: CD-2 SETBACK (0'-0")

City of Miami Beach
Fire Prevention Division
PLANS APPROVED



[illegible]

LIGHTING NOTE:
1. ALL ROOFTOP LIGHTING SHALL CONSIST OF A LIGHTING FIXTURE THAT IS AFFIXED TO AND NO HIGHER THAN THE ROOFTOP PARAPET WALL.
2. All roof top lighting fixtures shall be designed to preclude light spilling over to adjacent properties, in a manner to be reviewed and approved by staff — consistent with the Design Review Criteria and/or the directions from the Board.

FLOOR	GROSS CONSTRUC TION AREA		ENTRY DRIVE	CANAL WALKWAY	BALCONY	TERRACE	POOL DECK (HIN. DECK)	MECH ROOMS	STAIRS
	GROSS CONST AREA (SLAB AREA)	ENCLOSED AREA (A/C SPACE)							
1ST	15,025	8,210	5,045	2,802	0	0	0	410	412
2ND	14,999	1,945	0	0	0	0	0	0	412
3RD	18,783	13,120	0	0	202	4,923	0	65	341
4TH	14,649	13,120	0	0	1,529	0	0	65	341
5TH	14,649	13,120	0	0	1,529	0	0	65	341
6TH/POOL HIGH ROOF	14,649 1,211	648	0	0	0	0	8,574	220	337
Sub-Totals:	93,965	50,163	5,045	2,802	3,260	4,923	8,574	825	2,184



PERMY
ARCHITECTURE
INTERIOR DESIGN
PLANNING

2717 Ponce de Leon Blvd.
Coral Gables, FL 33134
Phone : 305.209.5302
www.PermyArchitecture.com

1-27-18

STATE OF FLORIDA
JULIO MILIAN ARCHITECT
REGISTRATION #W00004953

THESE DESIGNS AND DRAWINGS ARE THE
EXCLUSIVE PROPERTY OF PERNEY
ARCHITECTURE INTERIOR DESIGN AND
PLANNING, INC. AND MAY NOT BE REPRODUCED
EXCEPT WITH SPECIFIC, WRITTEN
CONSENT OF THE ARCHITECT. THE
CONTRACTOR MUST CHECK AND VERIFY ALL
DIMENSIONS OF THE JOB ARE TO BE RESPONSIBLE
FOR EXACT MEASUREMENTS AND UNDERSTAND A LIE TO
THE ARCHITECT. THE CONTRACTOR CANNOT CHALLENGE THE
DRAWINGS AND NOT TO BE SCALED.

KIMPTON HOTEL
PALOMAR
SOUTH BEACH
1750 Alton Road, Miami Beach, FL 33139

FINVARB GROUP
1065 Kallie Concourse, Suite 201, Bay Harbor Island, FL 33154

No.	Description	Date
	PERMIT SET	02.28.17
2	REV. 2	05.31.17
3	BLDG. MTC3 COMMENTS	08.01.17
4	REV. 4	11.22.17

PROJECT NO. 1613

DATE: 02.28.17

SCALE _____
As Noted

A-106

**FOR
REFERENCE
ONLY**

20'-0"
5'-2"
SETBACK

12'-0"

BC1703462

A1 LOWER ROOF PLAN

SCALE: 1" = 1' 0"

A-106

—

PERMUY

ARCHITECTURE
INTERIOR DESIGN
PLANNING

2717 Ponce de Leon Blvd.
Coral Gables, FL 33134
Phone: 305.355.5302
www.PermuyArchitecture.com

STATE OF FLORIDA
HABITAT REHABILITATION
RESTORATION AND REPAIRS

THESE DOCUMENTS HAVE BEEN PREPARED AND THE
CORRESPONDING PROJECT OF HABITAT REHABILITATION
AND RESTORATION AND REPAIRS HAS BEEN REVIEWED
AND APPROVED BY THE ARCHITECTURAL BOARD OF THE
STATE OF FLORIDA. THE ARCHITECT HAS NOTIFIED THE
ARCHITECTURAL BOARD OF THE REVIEW AND APPROVAL
AND THE ARCHITECTURAL BOARD HAS REVIEWED THE
DOCUMENTS AND HAS NOTIFIED THE ARCHITECTURAL BOARD.

KIMTOM HOTEL
PALOMAR
1750 Alton Road, Miami Beach, FL 33139
FINVARB GROUP
1005 Kane Concourse, Suite 301, 34th Street, Miami Beach, FL 33140

NO.	DESCRIPTION	DATE
1	PERMIT SET	02.28.17
2	REV. 2	05.31.17
3	REV. 3	05.31.17
4	REV. 4	11.22.17

City of Miami Beach
Fire Prevention Division
PLANS APPROVED



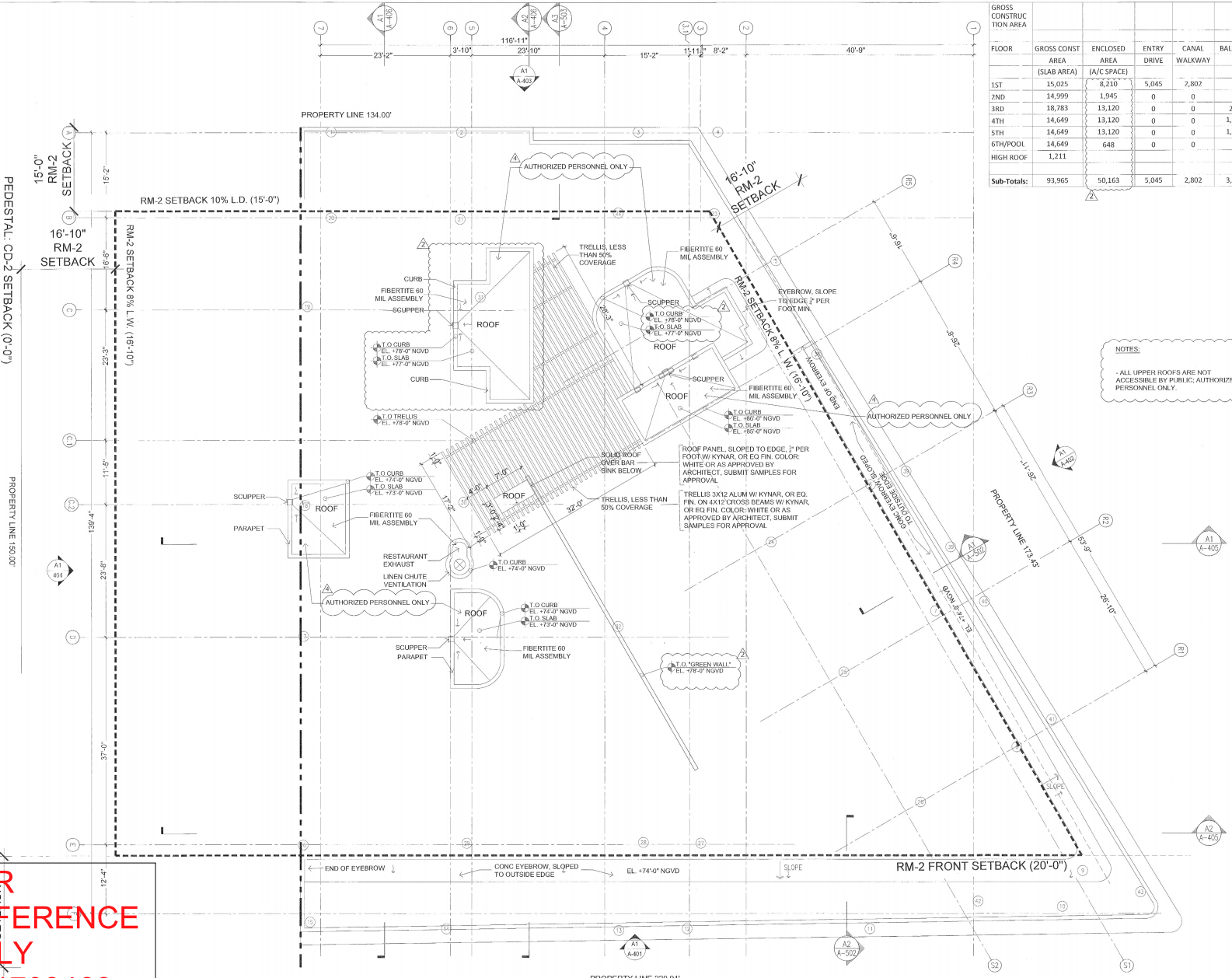
PROJECT NO: 1613
DATE: 02.28.17
SHEET NO: As Noted
SHEET NO: A-107

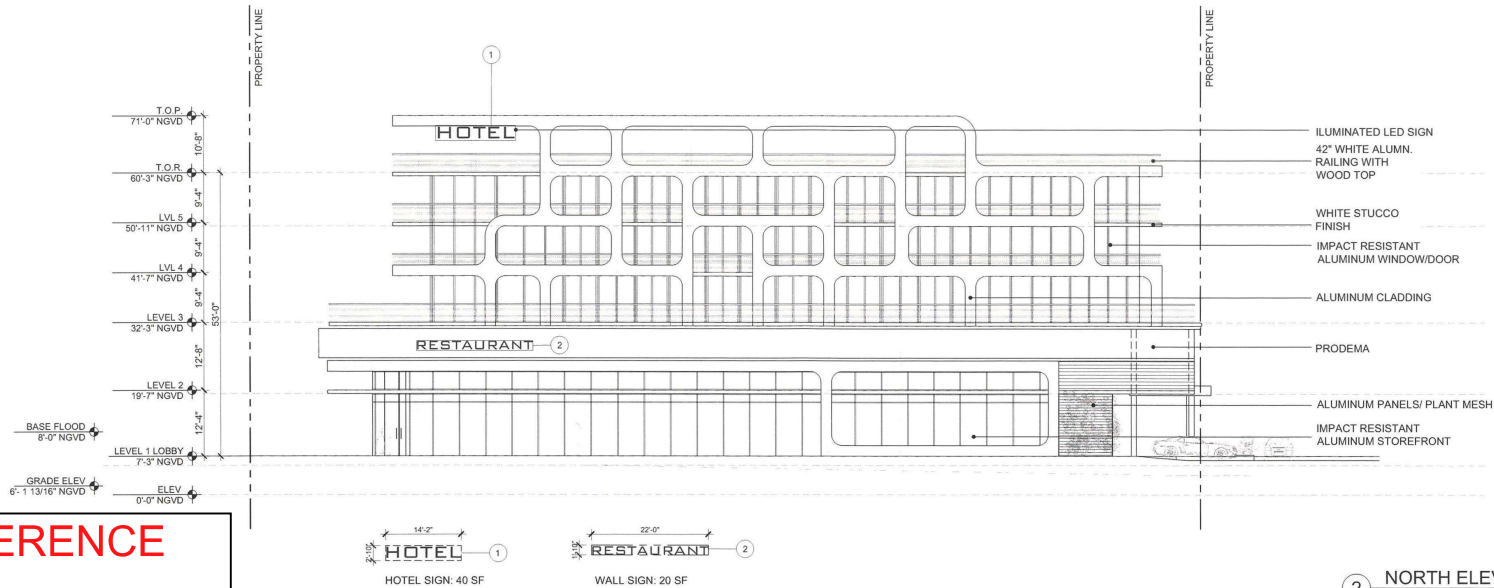
FLOOR	GROSS CONSTRUCTION AREA									
	GROSS CONST AREA (SLAB AREA)	ENCLOSED AREA (A/C SPACE)	ENTRY DRIVE	CANAL WALKWAY	BALCONY	TERRACE	POOL DECK (FIN. DECK)	MECH ROOMS	STAIRS	
1ST	15,025	8,210	5,045	2,802	0	0	0	410	412	
2ND	14,999	1,945	0	0	0	0	0	0	412	
3RD	18,783	13,120	0	0	202	4,923	0	65	341	
4TH	14,649	13,120	0	0	1,529	0	0	65	341	
5TH	14,649	13,120	0	0	1,529	0	0	65	341	
6TH/POOL HIGH ROOF	14,649	648	0	0	0	0	8,574	220	337	
Sub-Totals:	93,965	50,163	5,045	2,802	3,260	4,923	8,574	825	2,184	

NOTES:
ALL UPPER ROOFS ARE NOT ACCESSIBLE BY PUBLIC; AUTHORIZED PERSONNEL ONLY.

FOR
REFERENCE
ONLY
BC1703462

A1 6TH ROOF PLAN
SCALE: 1/8" = 1'-0"





② NORTH ELEVATION
 Scale: 3/32"=1'-0"

REVISIONS / SUBMISSIONS
1
2
3
4
5
6
7
8
9
10
11
12

1384

ALL DIMENSIONS AND SPACING ARE APPROXIMATE. THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE DIMENSIONS AND SPACING SHOWN HEREIN. THE CLIENT ASSUMES RESPONSIBILITY FOR THE ACCURACY OF THE DIMENSIONS AND SPACING SHOWN HEREIN. THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE DIMENSIONS AND SPACING SHOWN HEREIN.

1750 ALTON HOTEL
 1750 ALTON ROAD
 MIAMI BEACH, FLORIDA 33139

NORTH ELEVATION

FINVARR
 GROUP

ft
 01.20.17

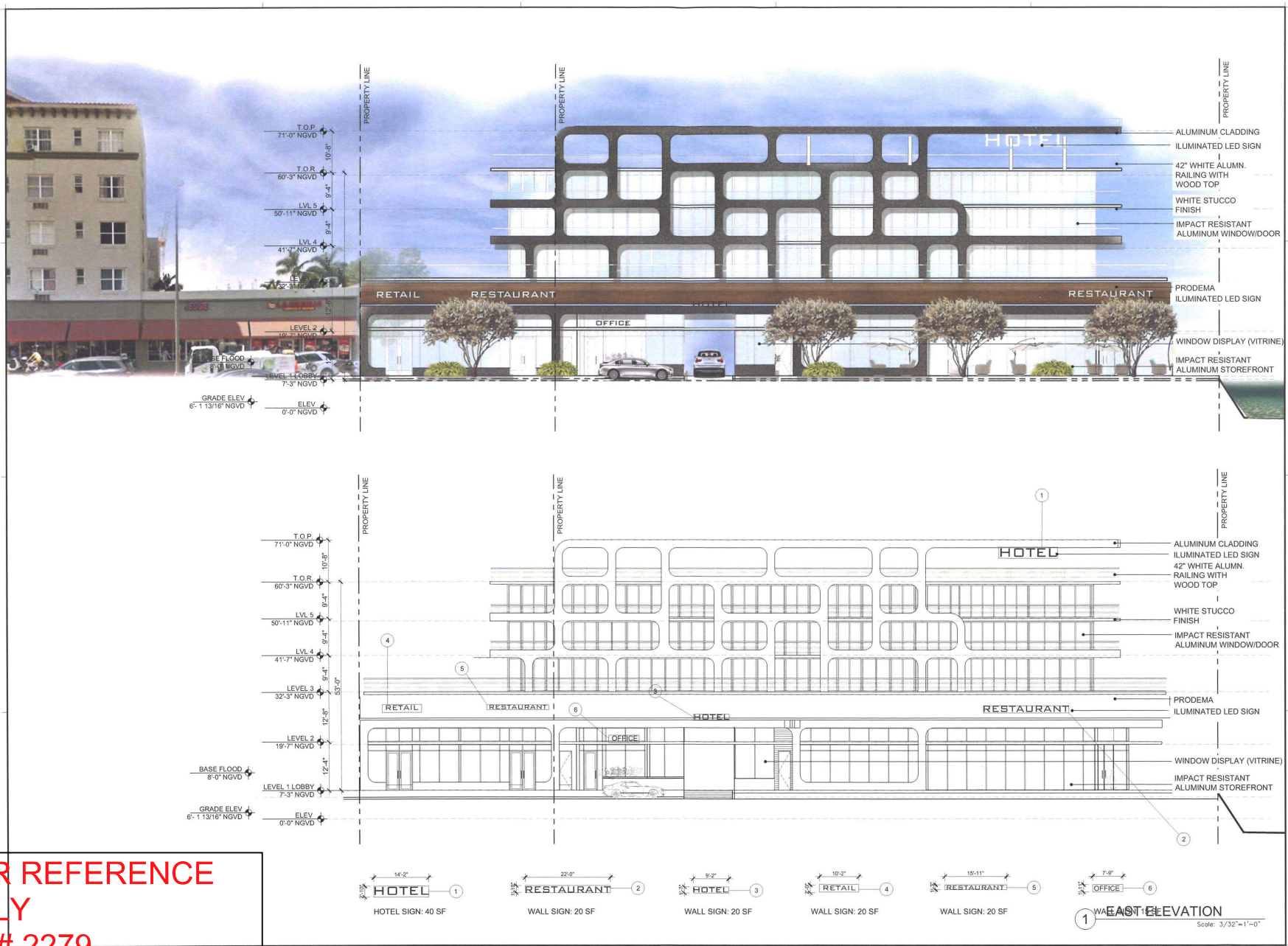
ARCHITECTURE
 INTERIOR DESIGN
 PLANNING
 AIA ASID NCARB
 2015 Broward Boulevard
 Miami, Florida 33137
 P: 305.573.3188
 WWW.KOBIKARP.COM

KOB I KARP

DRAWN BY:
 CHECKED BY:
 DATE: APRIL 2012

A4.00

FOR REFERENCE
 ONLY
 PB # 2279



FOR REFERENCE
ONLY
PB # 2279

REVISIONS / SUBMISSIONS	
1	
2	
3	
4	
5	
6	
7	
8	
9	
10	
11	
12	

1384

ALL DRAWINGS AND SPECIFICATIONS ARE PRELIMINARY AND SUBJECT TO CHANGE WITHOUT NOTICE. THE CLIENT ACCEPTS THE RISK OF ANY SUCH CHANGES. THE ARCHITECT ASSUMES NO LIABILITY FOR ANY SUCH CHANGES.

1750 ALTON HOTEL
1750 ALTON ROAD
MIAMI BEACH, FLORIDA 33139

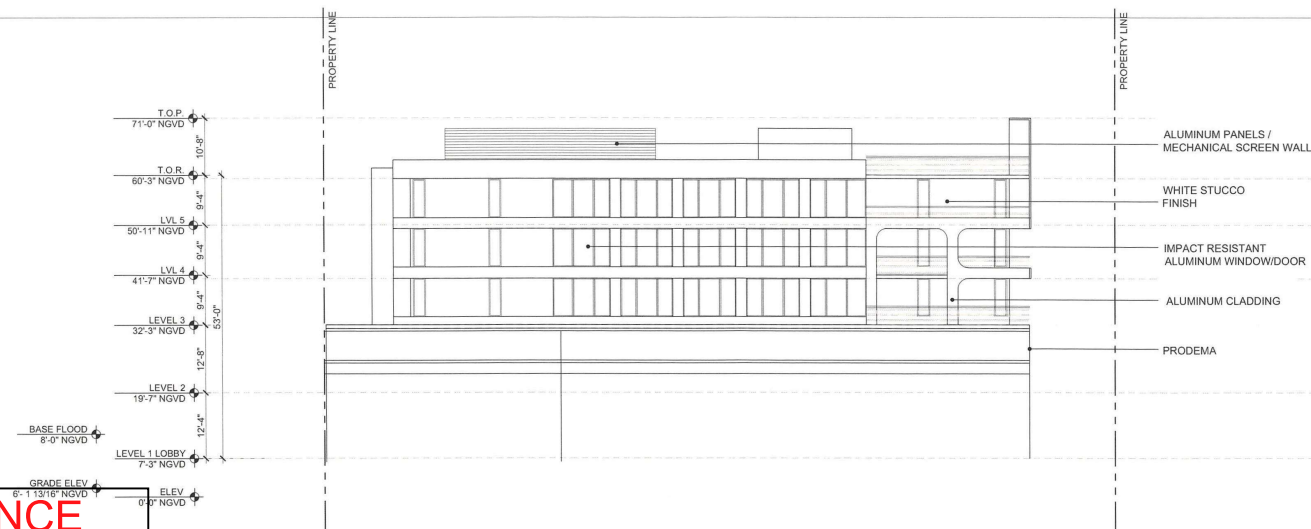
EAST ELEVATION

FINVARB
ARCHITECTS
P.C.

ARCHITECTURE
INTERIOR DESIGN
PLANNING
AIA ASID NCARB
2015 Building Blueprint
Miami, Florida 33137
P: 305.573.3708
WWW.KOBIKARP.COM

K O B I
K A R P

DRAWN BY:
CHECKED BY:
DATE: APRIL 2012
A4.01



① SOUTH ELEVATION
Scale: 3/32"=1'-0"

REVISIONS / SUBMISSIONS	
1	
2	
3	
4	
5	
6	
7	
8	
9	
10	
11	
12	

1384

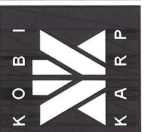
ALL DRAWINGS AND WRITTEN MATERIALS, INCLUDING, WITHOUT LIMITATION, THE DESIGN, CONSTRUCTION, AND MAINTENANCE OF THE PROJECT, SHALL BE THE PROPERTY OF KOBINKARP AND SHALL REMAIN THE PROPERTY OF KOBINKARP. NO PART OF THIS DOCUMENT SHALL BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN CONSENT OF KOBINKARP. ARCHITECTURE & INTERIOR DESIGN, INC. 04-01-2012

1750 ALTON HOTEL
1750 ALTON ROAD
MIAMI BEACH, FLORIDA 33139

SOUTH ELEVATION



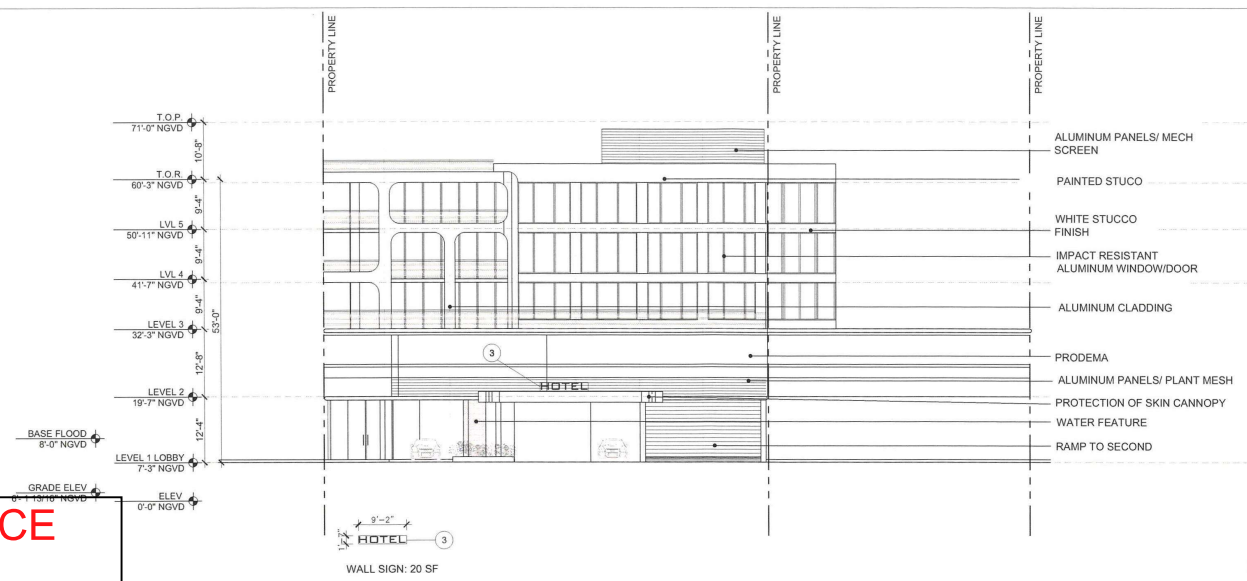
ARCHITECTURE
INTERIOR DESIGN
PLANNING
AIA ASID NCARB
2915 Broward Boulevard
Fort Lauderdale, FL 33307
Tel: 305.573.3137
Fax: 305.573.3796
WWW.KOBINKARP.COM



DRAWN BY:
CHECKED BY:
DATE: APRIL 2012

A4.02

FOR REFERENCE
ONLY
PB # 2279



① WEST ELEVATION
Scale: 3/32"=1'-0"

REVISIONS / SUBMISSIONS	
1	
2	
3	
4	
5	
6	
7	
8	
9	
10	
11	
12	

1384

All drawings and specifications are subject to change without notice. The user assumes all responsibility for the use of the drawings and specifications. No part of this document may be reproduced without the written permission of the author.

1750 ALTON HOTEL
1750 ALTON ROAD
MIAMI BEACH, FLORIDA 33139

WEST ELEVATION

FINVARB
ARCHITECTURE

17
OCT 20 2015

ARCHITECTURE
INTERIOR DESIGN
PLANNING
AIA ASID NCARB
2015 Encanto Boulevard
Miami, Florida 33137
P: 305.573.3788
WWW.KOBKARP.COM

K O B K A R P

DRAWN BY:
CHECKED BY:
DATE: APRIL 2012

A4.03

FOR REFERENCE
ONLY
PB # 2279