



KIMPTON PALOMAR SOUTH BEACH 1750 Alton Road
Miami Beach, FL 33139

PB23-0609

Final Submittal 02-25-2024

Plans – Modification to CUP

Scoped of Application: Modification of Planning Board Order No. 2279 to
permit rooftop access.

LEGAL DESCRIPTION:

PARCEL 1:
Lot 4 less the South 1 inch (0.00'), and all of Lots 5, both in Block 17, FIRST ADDITION TO COMMERCIAL SUBDIVISION, according to the Plat thereof, as recorded in Plat Book 6, Page 30, of the Public Records of Miami-Dade County, Florida, being more particularly described as follows:
Begin at the Southeast corner of Lot 4, Block 17, FIRST ADDITION TO COMMERCIAL SUBDIVISION, according to the Plat thereof, as recorded in Plat Book 6, Page 30, of the Public Records of Miami-Dade County, Florida; thence run North along the West right-of-way line of Alton Road, for a distance of 1 inch (0.00 feet) to the Point of Beginning of the hereinafter described parcel; thence run West for a distance of 150.00 feet to a point; thence run North for a distance of 63.92 feet to a point; thence run North 59°35'10" East for a distance of 173.43 feet to a point; thence run South for a distance of 170.92 feet to the Point of Beginning.
THE ABOVE DESCRIBED PARCEL 1 CONTAINS: 1.2343 Sq. Ft., 0.49 (Lot 4 + 5).

PARCEL 2:
"PROPOSED AIR RIGHTS DEDICATION" for 1716-1720 ALTON ROAD and 1750 ALTON ROAD

COMMENCING AT THE NORTHEAST CORNER OF LOT 3, BLOCK 17 IN SECTION 33, TOWNSHIP 53 SOUTH, RANGE 42 EAST, FIRST ADDITION TO COMMERCIAL SUBDIVISION, according to the Plat thereof, as recorded in Plat Book 6, Page 30, of the Public Records of Miami-Dade County, Florida, THENCE S87°42'25"W FOR 4.87 FEET ALONG THE NORTHERLY BOUNDARY OF SAID LOT 3 TO A POINT OF BEGINNING OF THE FOLLOWING DESCRIBED DEDICATION CONTIGUOUS WITH THE FOLLOWING DESCRIBED LINE, THENCE S02°09'57"E FOR 12.54 FEET TO A POINT OF A CIRCULAR CURVE TO THE LEFT; SOUTHWESTERLY ALONG THE ARC OF SAID CIRCULAR CURVE HAVING FOR 155 ELEMENTS A RADIUS OF 4.82 FEET AND A CENTRAL ANGLE OF 87°25'13" FOR AN ARC DISTANCE OF 17.36 FEET TO A POINT OF TANGENCY, THENCE S87°51'20"W FOR 25.42 FEET TO A POINT OF A CIRCULAR CURVE TO THE LEFT; THENCE NORTHWESTERLY ALONG THE ARC OF SAID CIRCULAR CURVE HAVING FOR 155 ELEMENTS A RADIUS OF 2.66 FEET AND A CENTRAL ANGLE OF 87°30'36" FOR AN ARC DISTANCE OF 4.09 FEET TO A POINT OF TANGENCY, THENCE N02°41'55"W FOR 1.93 FEET; THENCE S87°51'10"W FOR 45.75 FEET; THENCE S02°09'57"E FOR 1.93 FEET; THENCE S07°51'10"W FOR 40.70 FEET; THENCE N02°09'05"W FOR 1.93 FEET; THENCE S07°51'10"W FOR 1.42; THENCE N01°54'19"W FOR 0.54 FEET; THENCE N07°49'25"E FOR 120.84 FEET TO THE POINT OF BEGINNING, THE ABOVE DESCRIBED PERIMETRICAL BOUNDARY LYING ABOVE ELEVATION +29.25 FEET, RELATIVE TO THE NATIONAL GEODETIC VERTICAL DATUM OF 1929.

THE ABOVE DESCRIBED PARCEL 2 CONTAINS: 1.722 (2.50 SQUARE FEET OR 0.0395 ACRES), MORE OR LESS.

BOTH PARCELS LIE IN THE CITY OF MIAMI BEACH, MIAMI-DADE COUNTY, FLORIDA

WITH REFERENCE TO Old Republic National Title Insurance Company TITLE COMMITMENT 751779 A-1, EFFECTIVE DATE: July 15, 2019 at 11:00 PM I HEREBY CERTIFY AS FOLLOWS:

SCHEDULE B - SECTION II:
ITEMS 1 THROUGH 4: "STANDARD EXCEPTIONS" "NOT FLOTTABLE"

ITEM 5. REVISOR: Any ten or claim of lien for services, labor or materials which may take priority over the estate or interest insured by reason of that certain Notice of Commencement recorded May 31, 2017, under O.R. Book 302933, Page 45229, as amended in O.R. Book 313629, Page 28289, Public Records of Miami-Dade County, Florida. This exception will be shown as a subordinate matter.

ITEM 6. REVISOR: "DOES AFFECT THIS PROPERTY." "BLANKET IN NATURE"

ITEM 7. REVISOR: Reservations contained in the Special Warranty Deed recorded in O.R. Book 167447, Page 1630, Public Records of Miami-Dade County, Florida, which grant or reserve a right to access the property. (Parcel 1)

ITEM 8. REVISOR: "DOES AFFECT THIS PROPERTY." "NOT FLOTTABLE"

ITEM 9. REVISOR: Order recording in O.R. Book 22996, Page 6779, Corrected Order recorded in O.R. Book 30103, Page 1330, Public Records of Miami-Dade County, Florida, regarding the application for Design Review Board approval for the construction of a multi-story hotel including variances to maintain the maximum building height (Parcels 1 and 2)

ITEM 10. REVISOR: "DOES AFFECT THIS PROPERTY." "BLANKET IN NATURE"

ITEM 11. REVISOR: Notwithstanding Covered Risk number 4 of the jacket of this policy, access to Parcel 2 is reserved only to the extent provided by a easement for ingress and egress for limited use by the provisions of that certain Statutory Warranty Deed - Air and Other Rights, recorded in O.R. Book 30091, Page 291, and Corrective Statutory Warranty Deed - Air and Other Rights recorded March 31, 2017, in O.R. Book 30476, Page 1785, Public Records of Miami-Dade County, Florida and only if Parcel 1 and Parcel 2 remain in common ownership. No coverage is provided for any impairment to access Parcel 2 due to elevation.

ITEM 12. REVISOR: "DOES AFFECT THIS PROPERTY." "NOT FLOTTABLE"

ITEM 13. REVISOR: Encroachments, encroachments, violations, or adverse circumstances, if any, actually shown on the survey prepared by Level-Tech Surveyors, LLC, dated April 26, 2017, bearing Job # 16-06-831-3 (a) encroachment of the concrete wall onto Collins Canal on the North side of the property, (b) water valve encroaches onto the property on the West side, as shown in Old Republic National Title Insurance Policy No. MFG-8278240.

ITEM 14. The irrevocably proceeding Exception is in addition to, and not in lieu of, the standard survey exception, neither of which can be deleted without current survey information acceptable to the Company as set forth in Title Notes 25.03.06 and 25.03.07.

ITEM 15. All and all rights, title and interests of the surface owner of Parcel 2: La Sola Caribe, LLC, a Florida limited liability company.

ITEM 16. No coverage is provided under this title policy for lack of approval for Parcel 2.

ITEM 17. Declaration of Restrictive Covenants in Lieu of Unity of Title recorded in O.R. Book 30305, Page 3736; O.R. Book 30205, Page 3780, Public Records of Miami-Dade County, Florida, (Parcel 1)

ITEM 18. Declaration of Restrictive Covenants recorded in O.R. Book 30205, Page 2900, Public Records of Miami-Dade County, Florida, (Parcel 1)

ITEM 19. Easement for the construction, operation, and maintenance of overhead and underground electric utility facilities granted to Florida Power & Light Company recorded in O.R. Book 31455, Page 42, Public Records of Miami-Dade County, Florida, (Parcel 1)

ITEM 20. INTENTIONALLY DELETED.

ITEM 21. Terms and conditions as set forth in that certain Statutory Warranty Deed - Air and Other Rights, recorded in O.R. Book 30091, Page 291, and Corrective Statutory Warranty Deed - Air and Other Rights recorded March 31, 2017, in O.R. Book 30476, Page 1785, Public Records of Miami-Dade County, Florida.

ITEM 22. UCC Financing Statement between Sola Alton, LLC, a Florida Limited Liability Company and TOTALBANK, as recorded in O.R. Book 30453, Page 402, Public Records of Miami-Dade County, Florida.

ITEM 23. REVISOR: "DOES AFFECT THIS PROPERTY." "BLANKET IN NATURE"

ITEM 24. REVISOR: "DOES AFFECT THIS PROPERTY." "NOT FLOTTABLE"

ITEM 25. REVISOR: "DOES AFFECT THIS PROPERTY." "NOT FLOTTABLE"

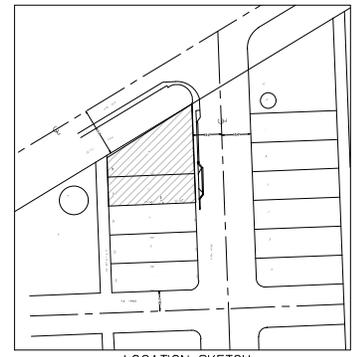
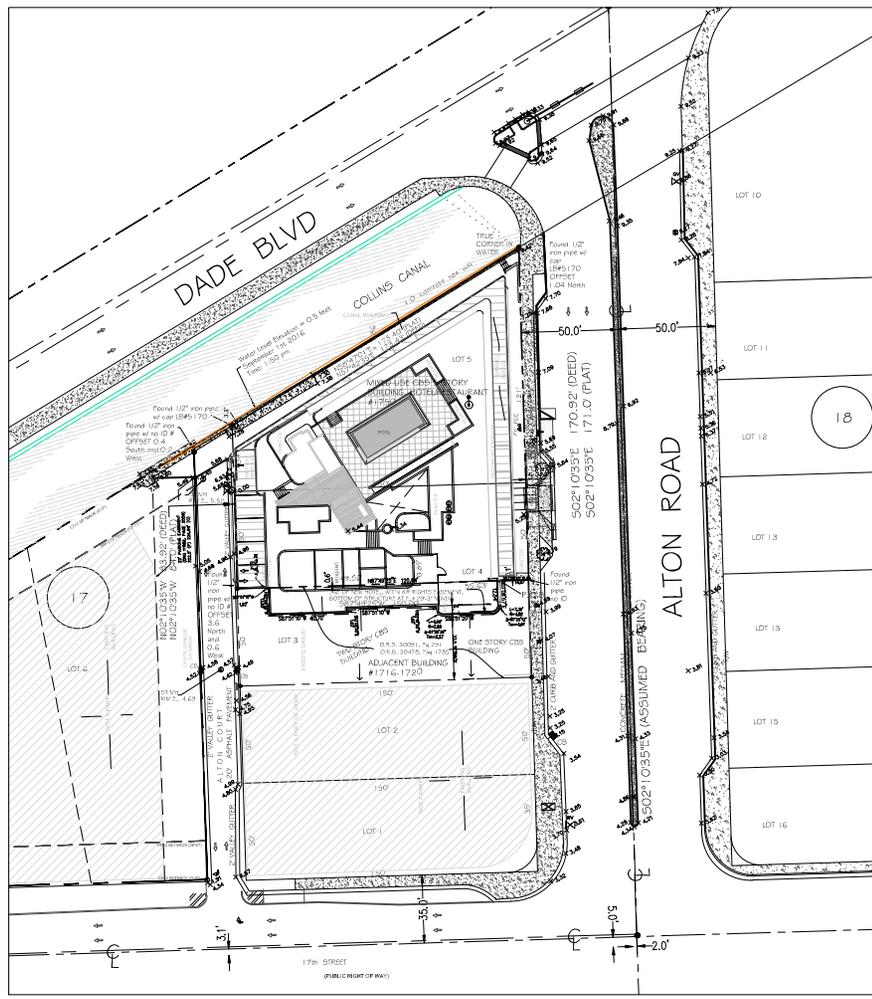
ITEM 26. ADDENDUM: The policy is subject to a CONCRETE ALTA MFG policy. The sole purpose of the commitment is to endorse Policy No. MFG-8278240. Upon endorsement the following shall be added as an exception if there is any interest increase: "Loss of priority of the additional indebtedness created by the increased interest rate." "DOES AFFECT THIS PROPERTY." "NOT FLOTTABLE"

ITEM 27. ADDENDUM: The amount of the policy is hereby changed to \$30,064,040.00, by virtue of a reduction in the original indebtedness to \$27,564,040.00, together with future advance in the amount of \$2,500,000.00, evidence of which is recorded in O.R. Book 3, Page 1, Public Records of Miami-Dade County, Florida. (Note: This exception shall be deleted if a replacement policy is issued.)

ITEM 28. ADDENDUM: Storm Water Drainage Covenant recorded in O.R. Book 31460, Page 2481, Public Records of Miami-Dade County, Florida, which creates connection lines or services chases, and use restrictions. (Parcel 1)

ITEM 29. REVISOR: "DOES AFFECT THIS PROPERTY." "BLANKET IN NATURE"

ALTANSPS LAND TITLE SURVEY



LOCATION SKETCH
PORTION OF SECTION 21, TOWNSHIP 52 SOUTH, RANGE 42 EAST
MIAMI-DADE COUNTY, FLORIDA
NOT TO SCALE

SURVEYOR'S NOTES:

1. THE ABOVE CAPTIONED PROPERTY WAS SURVEYED AND DESCRIBED BASED ON THE ABOVE LEGAL DESCRIPTION PROVIDED BY CLIENT.
2. ALL DISTANCES SHOWN HEREON ARE RECORDED AND MEASURED UNLESS OTHERWISE SHOWN. ALL MEASUREMENTS IN U.S. SURVEY FOOT.
3. ELEVATIONS ARE BASED ON THE NATIONAL GEODETIC VERTICAL DATUM (N.G.V.D.) 1929.
BENCHMARK USED: Miami-Dade County Bench Mark No. = A-86 ELEVATION = 7.34
LOCATION: Dade Blvd - 41.8' SOUTH OF THE ALTON RD - 80' WEST OF DL
4. FENCE TIES ARE TO BE THE CENTER LINE OF THE FENCE.
5. ALL UTILITY INFORMATION DETECTED ON SURVEY IS BASED ON ABOVE GROUND OBSERVABLE EVIDENCE INCLUDING TELEPHONE LINES, POLES, CABLES, STUDES AND OTHER TRANSMISSION TOWERS, WATER, SEWER AND DRAINAGE LINES, (IF NOT SHOWN UTILITIES ARE UNDEGROUND).
6. BOUNDARIES ARE BASED ON AN ASSUMED MERIDIAN AND REFERENCED ON THE CENTERLINE OF ALTON ROAD, IS 02°10'35"E.
7. MIAMI-DADE COUNTY FLOOD CRITERIA IS 6 FEET IN A.G.V.D.
8. FEDERAL ZONE INFORMATION:
Community: 0203 L, FEMA Panel: 12046C03 71, Flood Zone: "A"
Date of FIRM: 08/11/2009, 5/1/11; Date of Flood Elevation: 8.0
9. FLOOD INSURANCE RATE MAP FOR THE COMMUNITY IN WHICH SAID PROPERTY IS LOCATED IS 12046C03 71.
10. FOLIO NUMBERS: 02-3234-017-0030
11. OWNER: SOLA ALTON, LLC
12. ZONE: COMMERCIAL
13. THERE IS NO VISIBLE EVIDENCE OF CEMETERIES ON SUBJECT PROPERTY.
14. AT THE TIME OF SURVEY, NO EVIDENCE OF RECENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR REPAIRS WERE OBSERVED.
15. NO VISIBLE EVIDENCE WAS OBSERVED THAT THE SITE IS BEING USED AS A SOLID WASTE DUMP, SLUMP OR SANITARY LANDFILL AT THE TIME OF SURVEY.
16. THIS PLAN OF SURVEY HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF THE ENTITIES HANDED HEREON. THE CERTIFICATE DOES NOT EXTEND TO ANY UNHANDLED PARTIES.
17. LEGAL DESCRIPTION IN Old Republic National Title Insurance Company TITLE COMMITMENT 751779 A-1, EFFECTIVE DATE: July 15, 2019 at 11:00 PM IS THE SAME AS THE DEED DESCRIPTION AND MEASURED LEGAL DESCRIPTION.
18. PROPERTY HAS ADEQUATE INGRESS/EGRESS PROVIDED BY PUBLIC DEDICATED STREETS MAINTAINED BY THE MIAMI-DADE COUNTY.
19. THE PROPERTY HAS NOT BEEN DESIGNATED AS A "WETLANDS" AREA BY ANY GOVERNMENTAL ENTITY.
20. THERE DOES NOT APPEAR TO BE ANY ENCROACHMENTS ON THIS PROPERTY.
21. ALL TRACTS DETECTED IN THIS SURVEY ARE CONTIGUOUS ALONG COMMON BOUNDARIES WITHOUT GAPS, GORES OR HUNGUS AND TAKEN AS A WHOLE, THE PARCELS FORM ONE TRACT OF LAND.
22. THE MINIMUM relative distance accuracy for this type of survey is 1 foot in 10,000 feet. The accuracy obtained by measurement and calculation of closed polygonal figures was found to exceed this requirement. Well-identified features as detected on the Survey Map were measured to an estimated horizontal accuracy of 11.10 feet.

ABBREVIATIONS AND LEGEND

- A = ARC DISTANCE
- B = BENCH MARK
- C = CONCRETE FOUNDATION STRUCTURE
- D = CURB & GUTTER
- E = CORNER DISTANCE
- F = CLEAR
- G = CONCRETE SLAB
- H = CENTER LINE
- I = FLOOR ELEVATION
- J = THE HYDRANT
- K = FOUND BRN PIPE
- L = FNS - FOUND HOLE & BOX
- M = LIGHT POLE
- N = ELECTRICAL LIGHT POLE
- O = NO IDENTIFICATION NUMBER
- P = TO SCALE
- Q = IDENTIFIED RECORDS BOOK
- R = PLAT BOOK
- S = POINT OF BEGINNING
- T = POINT OF COMMENCEMENT
- U = PERMANENT REFERENCE POINT
- V = UTILITY EASEMENT
- W = VALVE GUTTER
- X = CHAIN LINK FENCE
- Y = C.S. WALL

SURVEYOR'S CERTIFICATE:

1. Sola Alton, LLC, a Florida Limited Liability Company
2. Green Kahn, PL
3. City National Bank of Florida Via, TOTALBANK, its successors and/or assigns as their interests may appear
4. Old Republic National Title Insurance Company

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2016 Minimum Standards Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 6(b), 7(b), 8, 13, 14, 16, 17, 18 and 20 of Table A thereof. The field work was completed on 07/11/2023. Said described property is located within an area having a Zone Designation "AE" by the Secretary of Housing and Urban Development, on Flood Insurance Rate Map No. 12046C03 71, with a date of identification of 08/11/2009, for Community Number 120463, in Miami-Dade County, State of Florida, which is the current Flood Insurance Rate Map for the community in which said property is situated.

LEVEL-TECH SURVEYORS, LLC



RONALD W. WALLING Digitally signed by RONALD W. WALLING
Date: 2023.11.10 16:23:59 -05'00'

LEVEL-TECH SURVEYORS, LLC
777 N.W. 72nd AVENUE
MIAMI, FL 33126
TEL: 305.361.1444
FAX: 305.361.8981
LB # 7154
LAND SURVEYORS & LAND PLANNERS

DRAWINGS ARE THE PROPERTY OF LEVEL-TECH SURVEYORS, LLC AND MAY NOT BE USED BY CLIENT OR OTHER PERSONS WITHOUT THE WRITTEN AND WITH THE APPROPRIATE PERMISSION TO LEVEL-TECH SURVEYORS, LLC.

DATE	DESCRIPTION	RECORD OF REVISIONS
11-07-23	UPDATE ALTA SURVEY	

ALTA/NSPS Land Title Survey

PROJECT LOCATION: 1750 Alton Rd, Miami Beach Florida
CLIENT: SOLA ALTON, LLC
CLIENT TELEPHONE: (305) 799-3706/65 KANE GENESEE, STE 200, BAY HARBOR ISLANDS, FL 30154
CLIENT ADDRESS: AS SHOWN

SCALE: AS SHOWN

DATE OF FIELD WORK: 11-07-2023

DRAWN BY: TR

FIELD BOOK: AR-23-11-1869

PROJECT NO: LT 23-11-1869

SHEET: 1 OF 1 SHEETS



20 % PARKING REDUCTION DIAGRAM

Scale: N.T.S.

NOTE:
RED LINE DESCRIBES 905'-0"
FROM SITE TO PARKING GARAGE.

INDEX		
SHEET	DRAWING NUMBER	DRAWING NAME
1	C 1.00	COVER SHEET
2	A 1.00	INDEX AND DATA SHEET
3	I	BOUNDARY SURVEY
4	A 1.01	AERIAL MAP
5	A 1.02	SITE CONTEXT PHOTOS
6	A 1.03	SITE CONTEXT PHOTOS
7	A 1.04	SITE CONTEXT PHOTOS
8	A 1.05	SITE CONTEXT PHOTOS
9	A 1.06	SITE CONTEXT PHOTOS
10	A 1.07	SITE CONTEXT PHOTOS
11	A 1.08	SITE CONTEXT PHOTOS
12	A 1.09	EXISTING CONDITIONS
13	A 1.10	EXISTING NORTH/SOUTH ELEV.
14	A 1.11	EXISTING EAST/WEST ELEV.
15		RENDERINGS
16		RENDERING
17		RENDERING
18	A 1.12	F.A.R. CALCULATION
19	A 1.13	F.A.R. CALCULATION
20	A 2.00	SITE PLAN
21	A3.00	LEVEL 1
22	A3.01	LEVEL 2
23	A3.02	LEVEL 3
24	A3.03	LEVEL 4-5
25	A3.04	ROOF PLAN
26	A4.00	EXTERIOR ELEVATION
27	A4.01	EXTERIOR ELEVATION
28	A4.02	EXTERIOR ELEVATION
29	A4.03	EXTERIOR ELEVATION
30	A5.00	BUILDING SECTION
31	ALT 3.00	ALTERNATE PARKING LEVEL 1
32	ALT 3.01	ALTERNATE PARKING LEVEL 2
33	ALT 5.00	BUILDING SECTION
34	ID-1	TREE DISPOSITION PLAN
35	ID-2	TREE DISPOSITION PLAN
36	L-1	SITE LANDSCAPE PLAN
37	L-2	FOOR LEVEL SITE LANDSCAPE PLAN
38	L-3	LANDSCAPE DETAILS
39	IRR-1	SITE IRRIGATION PLAN
40	IRR-2	IRRIGATION DETAILS
41	LL-1	LANDSCAPE LIGHTING PLAN
42	LL-2	LANDSCAPE LIGHTING DETAILS

UNIT MATRIX

FLOOR	300 SF # OF UNITS	336 SF AND ABOVE # OF UNITS	UNIT/FLOOR	NUMBER OF FLOORS
1	0	0	0	5
2	0	0	0	
3	4	28	32	
4	4	28	32	
5	4	28	32	
TOTAL	12	84	96	5
PERCENTAGE	13%	88%	100%	

AREA CALCULATIONS

LEVEL	PROPOSED	F.A.R.	EXISTING	GROSS	CIRCULATION	LEASABLE	
1	8,222 SF		5,114 SF	9,999 SF	975 SF	5,425 SF	
2	1,772 SF		2,408 SF	13,483 SF	975 SF	0 SF	
3	13,133 SF			14,938 SF	2,232 SF	0 SF	
4	13,133 SF			14,938 SF	2,232 SF	0 SF	
5	13,133 SF			14,938 SF	2,232 SF	0 SF	
ROOF TOP	716 SF			14,938 SF	545 SF	0 SF	
TOTAL	57,631 SF			83,234 SF	9,185 SF	5,425 SF	TOTAL

PARKING REQUIREMENTS (A)			
LEVEL	USE	FLOORS	AMOUNT
LEVEL 1	RETAIL	0	
LEVEL 1	RESTAURANT	160	1 prs seven seats / 40 SPACES
LEVEL 3-5	HOTEL	96	48 SPACES
TOTAL			88 SPACES

PARKING PROVIDED			
LEVEL	AMOUNT		
1	2	8.5 X 21 SPACES	
2	1	8.5 X 21HC SPACE	
2	28	LIFTS (56 SPACE)	
TOTAL	59	TOTAL	

LOADING REQUIRED		
LEVEL	AMOUNT	
1	3	SPACES

LOADING PROVIDED		
LEVEL	AMOUNT	
1	3	SPACES
TOTAL	3	TOTAL

**FOR
REFERENCE
ONLY
PB # 2279**

MIAMIBEACH
Planning Department, 1700 Convention Center Drive
Miami Beach, Florida 33139, www.miamibeachfl.gov
305.673.7550

MULTIFAMILY - COMMERCIAL - ZONING DATA SHEET

ITEM #	Zoning Information		
1	Address:	1750 - 1716 ALTON RD.	Miami Beach, FL 33139-2412
2	Board and File numbers:		
3	File number(s):	02-3234-017-0030	02-3234-017-0020
4	Year constructed:	1995	Zoning District: CD-2-1 GROUND/PEDESTAL RM-2-1 TOWER
5	Base Flood Elevation:	8'-0" NGVD	Grade Value in NG: 6.15 NGVD 6'-1-13/16"
6	Adjusted grade (Flood+Grade/2)	N/A	Lot Area: 1750 = 21,343, 1716 = 7,500
7	Lot Width	150'-0"	Lot Depth: 209'-6"
8	Minimum Unit Size	300 SF	Average Unit Size: N/A
9	Existing User	RETAIL	Proposed Use: HOTEL / REITAL / RESTAURANT

	Maximum	Existing	Proposed	Deficiencies	
10	Height	50'-0"	19'-0"	53'-0"	3'-0"
11	Number of Stories	5 STORIES	1	5 STORIES	-
12	FAR 2.0	57,686 SF	7,522 SF	57,631 SF	-
13	Gross Square Footage	N/A	10,714 SF	83,234 SF	-
14	Square Footage by use	N/A	N/A	5,425 SF	-
15	Number of Units Residential	N/A	N/A	N/A	-
16	Number of Units Hotel	N/A	0	96	-
17	Number of Seats	N/A	0	160	-
18	Occupancy Load	N/A	N/A	233	-

Setbacks	Required	Existing	Proposed	Deficiencies	
Subterranean:					
19	Front Setback:	N/A	N/A	N/A	-
20	Side Setback:	N/A	N/A	N/A	-
21	Side Setback:	N/A	N/A	N/A	-
22	Side Setback facing Street:	N/A	N/A	N/A	-
23	Rear Setback:	N/A	N/A	N/A	-
At Grade Parking:					
24	Front Setback:	0'-0"	N/A	5'-0"	-
25	Side Setback:	0'-0"	N/A	5'-0"	-
26	Side Setback:	0'-0"	N/A	5'-0"	-
27	Side Setback facing Street:	0'-0"	N/A	5'-0"	-
28	Rear Setback:	0'-0"	N/A	5'-0"	-
Pedestal 3-5					
29	Front Setback (East):	20'-0"	N/A	20'-0"	-
30	Side Setback (South):	16'-9"	N/A	16'-9"	-
31	Side Setback facing Street (West):	13'-0"	N/A	13'-0"	-
32	Rear Setback:	16'-9"	N/A	16'-9"	-

Parking	Required	Existing	Proposed	Deficiencies	
33	Parking District	6	6	6	-
34	Total # of parking spaces	88	18	57	-
35	20% PARKING REDUCTION (CENTRALIZED PARKING) SEE DIAGRAM PROVIDED	-17.6	-	-	-
36	Car Pool Spaces Ground Floor	-6	N/A	-	-
37	10 Long Term Bike Rack	-2	-	-	-
38	20 Short Term Bike Rack	-2	-	-	-
39	2 Shower Facilities in Hotel	-4	-	-	-
40	# of parking spaces per use (Provide a separate chart for a breakdown)	SEE CHART PROVIDED	N/A	SEE CHART PROVIDED	-
41	# of parking spaces per level (Provide a separate chart for a breakdown)	SEE CHART PROVIDED	N/A	SEE CHART PROVIDED	-
42	Parking Space Dimensions (45x60x90x Parallel)	SEE CHART PROVIDED	N/A	SEE CHART PROVIDED	-
43	ADA Spaces	1	N/A	1	-
44	Tandem Spaces	N/A	N/A	N/A	-
45	Drive Aisle Width	22	N/A	22	-
46	Vanet Drop off and pick-up	11	N/A	11	-
47	Loading zones and Trash collection or Racks	3	N/A	2 ON SITE / 1 ON STREET	1 ON STREET
48	Racks	25	N/A	31	-

Restaurants, Cafes, Bars, Lounges, Nightclubs	Required	Existing	Proposed	Deficiencies	
46	Type of use	N/A	RESTAURANT	RESTAURANT	-
47	Total # of Seats	N/A	N/A	160	-
48	Total # of Seats per venue (Provide a separate chart for a breakdown)	N/A	N/A	40 (28 W / PARKING REDUCTION)	-
49	Total Occupant Content	N/A	N/A	233	-
50	Occupant content per venue (Provide a separate chart for a breakdown)	N/A	N/A	233	-

51	Is this a contributing building?		NO	
52	Located within a Local Historic District		NO	

Notes: If not applicable write N/A
All other data information may be required and presented like the above format.
* SEE PARKING REQUIREMENTS (A)

REVISIONS / SUBMISSIONS	
1	
2	
3	
4	
5	
6	
7	
8	
9	
10	
11	
12	

1384

ALL DRAWINGS AND ARCHITECTURAL SPECIFICATIONS, CONDITIONS OF CONTRACT, AND SCHEDULES SHALL BE SUBJECT TO THE STANDARD CONDITIONS OF CONTRACT FOR ARCHITECTURAL SERVICES, FURNISHED BY THE ARCHITECT AT THE TIME OF THE COMMENCEMENT OF SERVICES.

1750 ALTON HOTEL
1750 ALTON ROAD
MIAMI BEACH, FLORIDA 33139

INDEX & DATA

FINVARB
GROUP

HT
OCT 20 2018
Lic. # AR0012216

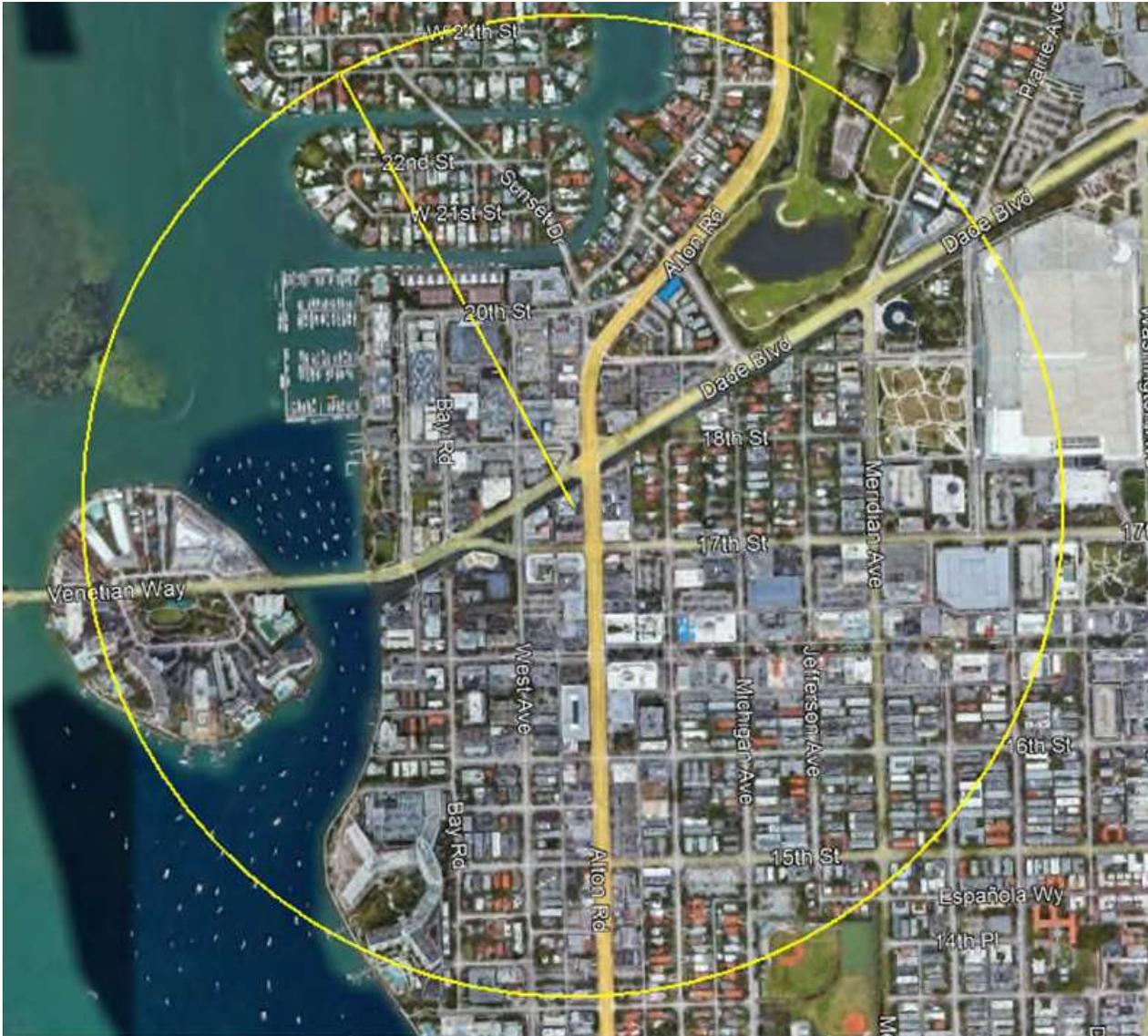
ARCHITECTURE
INTERIOR DESIGN
PLANNING

AIA ASID NCARB
2015 Best of Award Winner
Miami, FL 33137
P: 305.573.2808
WWW.KOBKARP.COM

K O B I K A R P

DRAWN BY:
CHECKED BY:
DATE: APRIL 2012

A1.00



Context Location Plan. Aerial Half Mile Radius

KIMPTON PALOMAR SOUTH BEACH

1750 Alton Road
Miami Beach, FL 33139

CONTEXT PHOTOS



FINVARB
G R O U P



1 INTERSECTION BETWEEN ALTON RD AND DADE BLVD



2 ALTON RD INTERSECTION VIEW WEST



3 PROPERTY



KEY PLAN

KIMPTON PALOMAR SOUTH BEACH
 1750 Alton Road
 Miami Beach, FL 33139

CONTEXT PHOTOS





4 ALTON RD S.W. VIEW



5 PROPERTY



6 ADJACENT SITE



KEY PLAN

KIMPTON PALOMAR SOUTH BEACH

1750 Alton Road
Miami Beach, FL 33139

CONTEXT PHOTOS





7 ALTON RD S.E. VIEW



8 ALTON RD S.E VIEW



9 ADJACENT SITE



KEY PLAN

KIMPTON PALOMAR SOUTH BEACH
 1750 Alton Road
 Miami Beach, FL 33139

CONTEXT PHOTOS





10 ALTON COURT LOOKING NORTH



11 ADJACENT HOTEL



12 WEST AVENUE BRIDGE / ADJACENT HOTEL



KEY PLAN

KIMPTON PALOMAR SOUTH BEACH
 1750 Alton Road
 Miami Beach, FL 33139

CONTEXT PHOTOS





13 WEST AVENUE BRIDGE / ADJACENT HOTEL



14 ADJACENT HOTEL



15 PROPERTY



KEY PLAN

KIMPTON PALOMAR SOUTH BEACH
 1750 Alton Road
 Miami Beach, FL 33139

CONTEXT PHOTOS





16 ALTON COURT WEST VIEW / ADJACENT HOTEL



17 ALTON COURT EAST VIEW / ADJACENT SITE



18 ALTON COURT EAST VIEW / PROPERTY

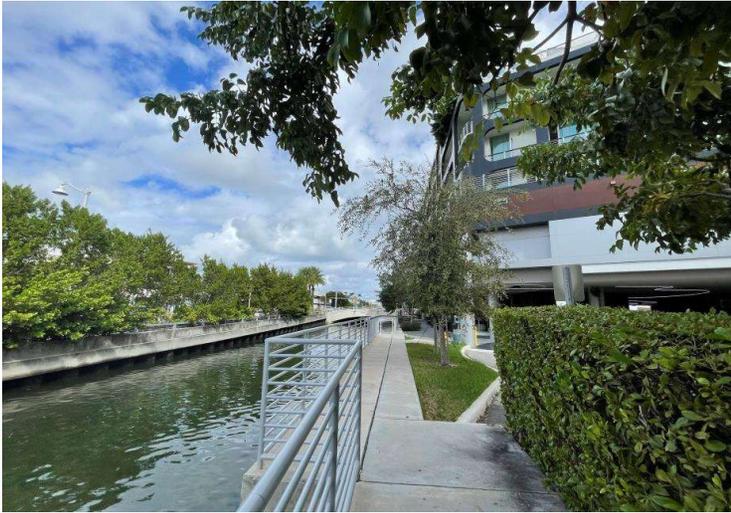


KEY PLAN

KIMPTON PALOMAR SOUTH BEACH
 1750 Alton Road
 Miami Beach, FL 33139

CONTEXT PHOTOS





19 ALTON COURT / PROPERTY



20 ALTON RD / PROPERTY



21 ALTON RD / PROPERTY



KEY PLAN

KIMPTON PALOMAR SOUTH BEACH
 1750 Alton Road
 Miami Beach, FL 33139

CONTEXT PHOTOS





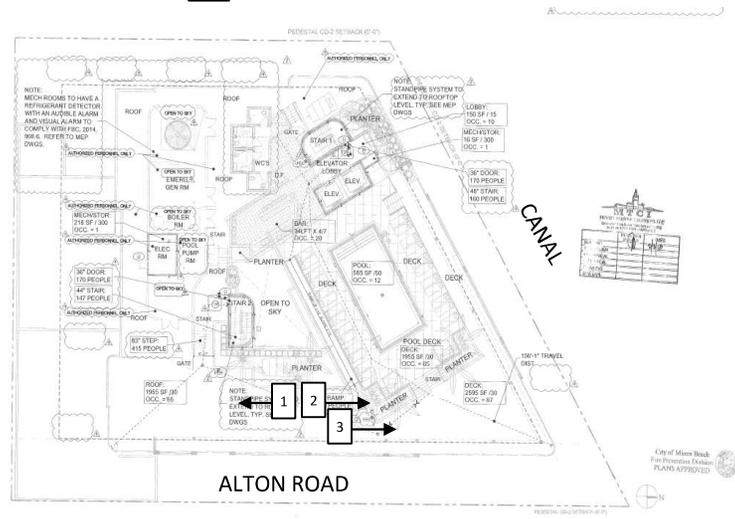
1 ROOF TERRACE / SOUTH



2 ROOF TERRACE / NORTH



3 ROOF TERRACE / NORTH



KIMPTON PALOMAR SOUTH BEACH
 1750 Alton Road
 Miami Beach, FL 33139

ROOFTOP PHOTOS





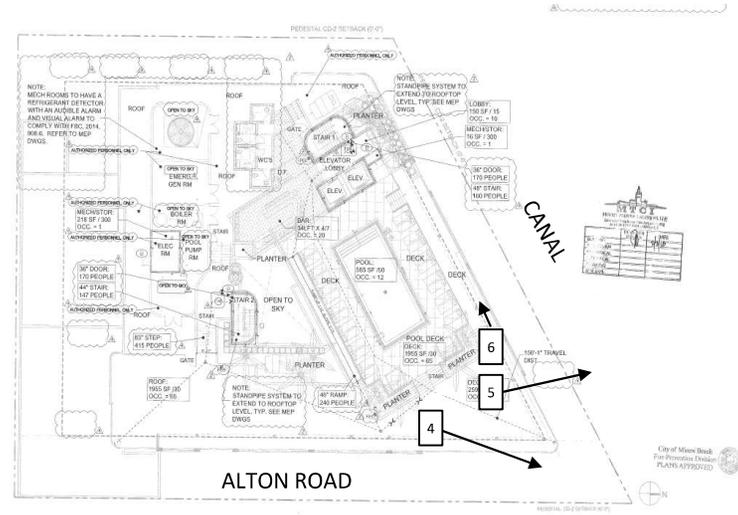
4 ROOF TERRACE / N.E. VIEW



5 ROOF TERRACE / NORTH VIEW



6 ROOF TERRACE / SOUTH WEST



ROOF PLAN

KIMPTON PALOMAR SOUTH BEACH
 1750 Alton Road
 Miami Beach, FL 33139



ROOFTOP PHOTOS



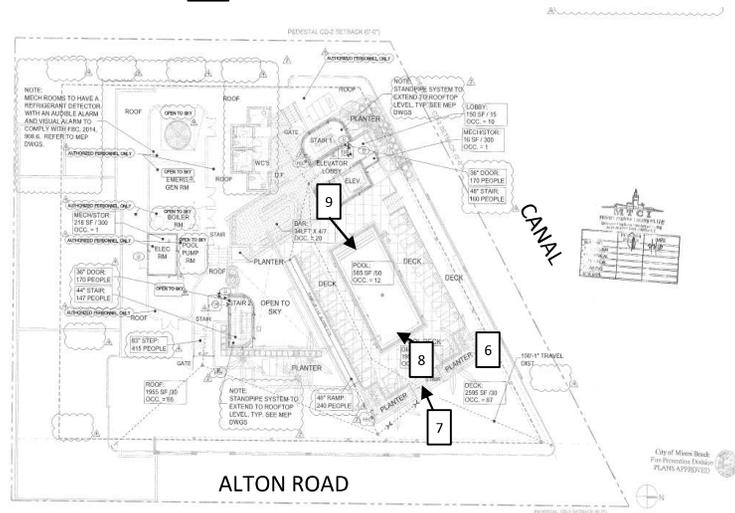
7 ROOF TERRACE / STAIRS TO POOL DECK



8 POOL DECK / SOUTH WEST



9 POOL DECK / NORTH EAST



ROOF PLAN

KIMPTON PALOMAR SOUTH BEACH
 1750 Alton Road
 Miami Beach, FL 33139

ROOFTOP PHOTOS





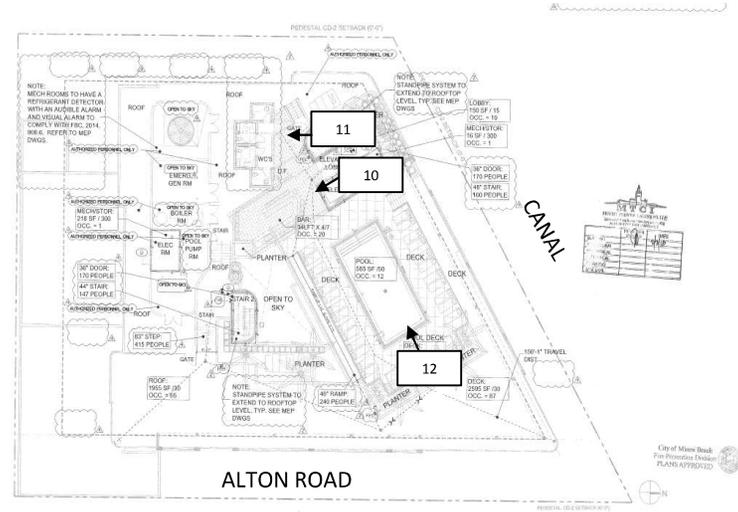
10 ROOFTOP 6-SEAT BAR



11 ROOFTOP RESTROOMS



12 POOL DECK / SOUTH WEST



ROOF PLAN

KIMPTON PALOMAR SOUTH BEACH
 1750 Alton Road
 Miami Beach, FL 33139

ROOFTOP PHOTOS





Total Seat Count = 160

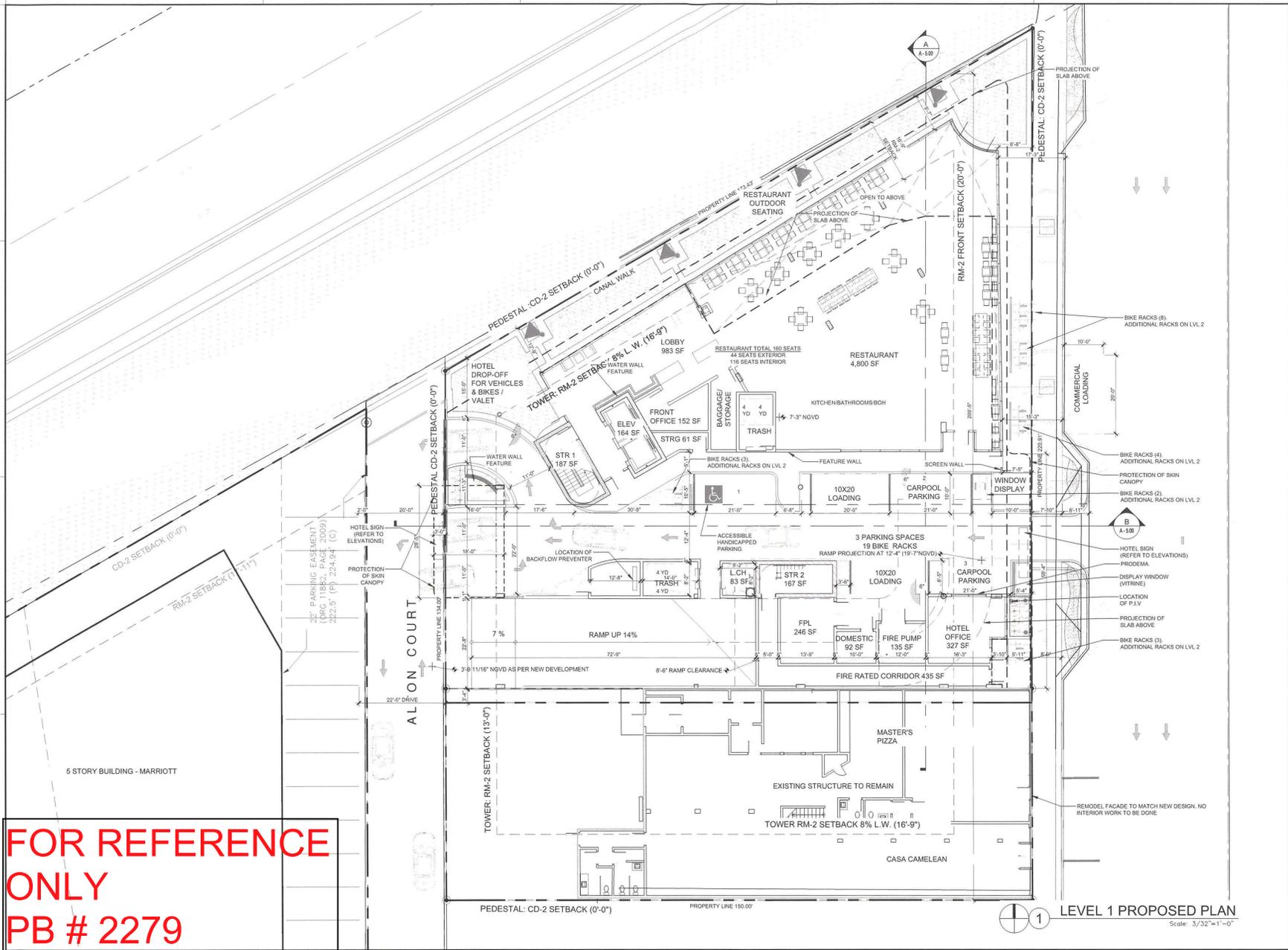
LIFE SAFETY OCCUPANT LOAD CALCULATION - 1ST FLOOR				
ROOM	AREA	OCCUPANT LOAD FACTOR PER 1,000 SF	OCCUPANT LOAD	CATEGORY
LOBBY	1292 S.F.	15	88	HOTEL LOBBY
RECEPTION	125 S.F.	80	3	RECEPTION
MECH/STOR ROOMS	812 S.F.	300	2	STORAGE / MECH
RESTAURANT (INDOOR+KITCHEN)	3738 S.F.	15 / 100 (SEE ABOVE)	205	RESTAURANT
OFFICES	777 S.F.	100	8	BUSINESS
TOTAL #			304 PERSONS	4

KIMPTON PALOMAR SOUTH BEACH
 1750 Alton Road
 Miami Beach, FL 33139

DIAGRAM PLANNING – FIRST FLOOR RESTAURANT



Note: Not an architectural drawing. This is diagram planning for Planning Board purposes only. Occupancy loads are from As-Built drawings.



FOR REFERENCE ONLY
PB # 2279

REVISIONS / SUBMISSIONS	
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1750 ALTON HOTEL
 1750 ALTON ROAD
 MIAMI BEACH, FLORIDA, 33139

LEVEL 1

FINVARB
 0 0 0 0

[Handwritten Signature]
 Lic. # ARD01 2573
 OCT 20 2015

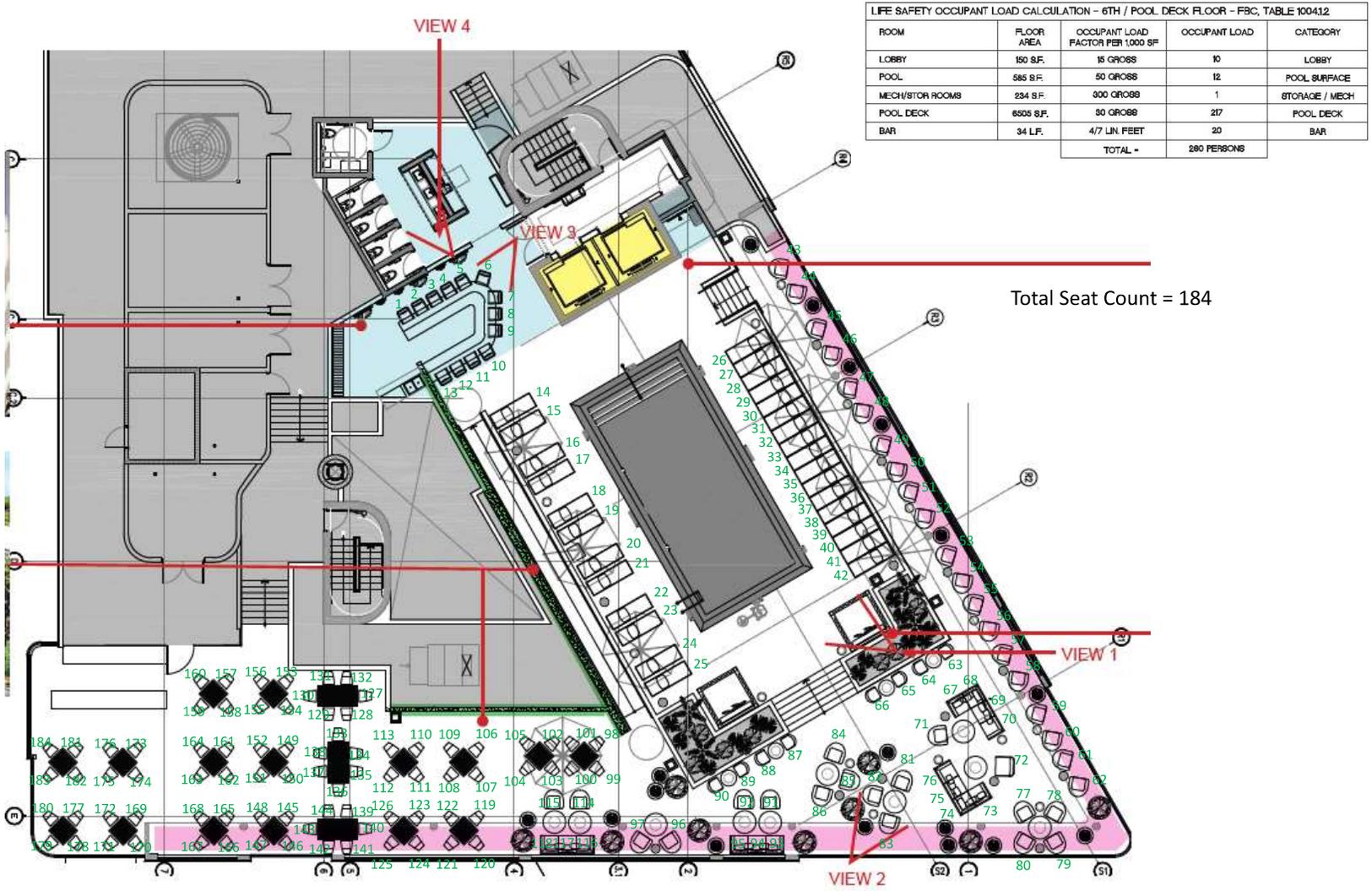
ARCHITECTURE
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 AIA ASID NCARB
 2915 Sycamore Boulevard
 Miami, Florida 33137
 P: 305.573.2788
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DRAWN BY:
 CHECKED BY:
 DATE: APRIL 2012

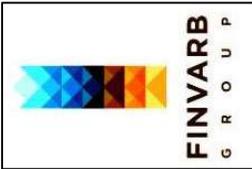
A3.00

LEVEL 1 PROPOSED PLAN
 Scale: 3/32"=1'-0"



KIMPTON PALOMAR SOUTH BEACH
 1750 Alton Road
 Miami Beach, FL 33139

DIAGRAM PLANNING – ROOFTOP



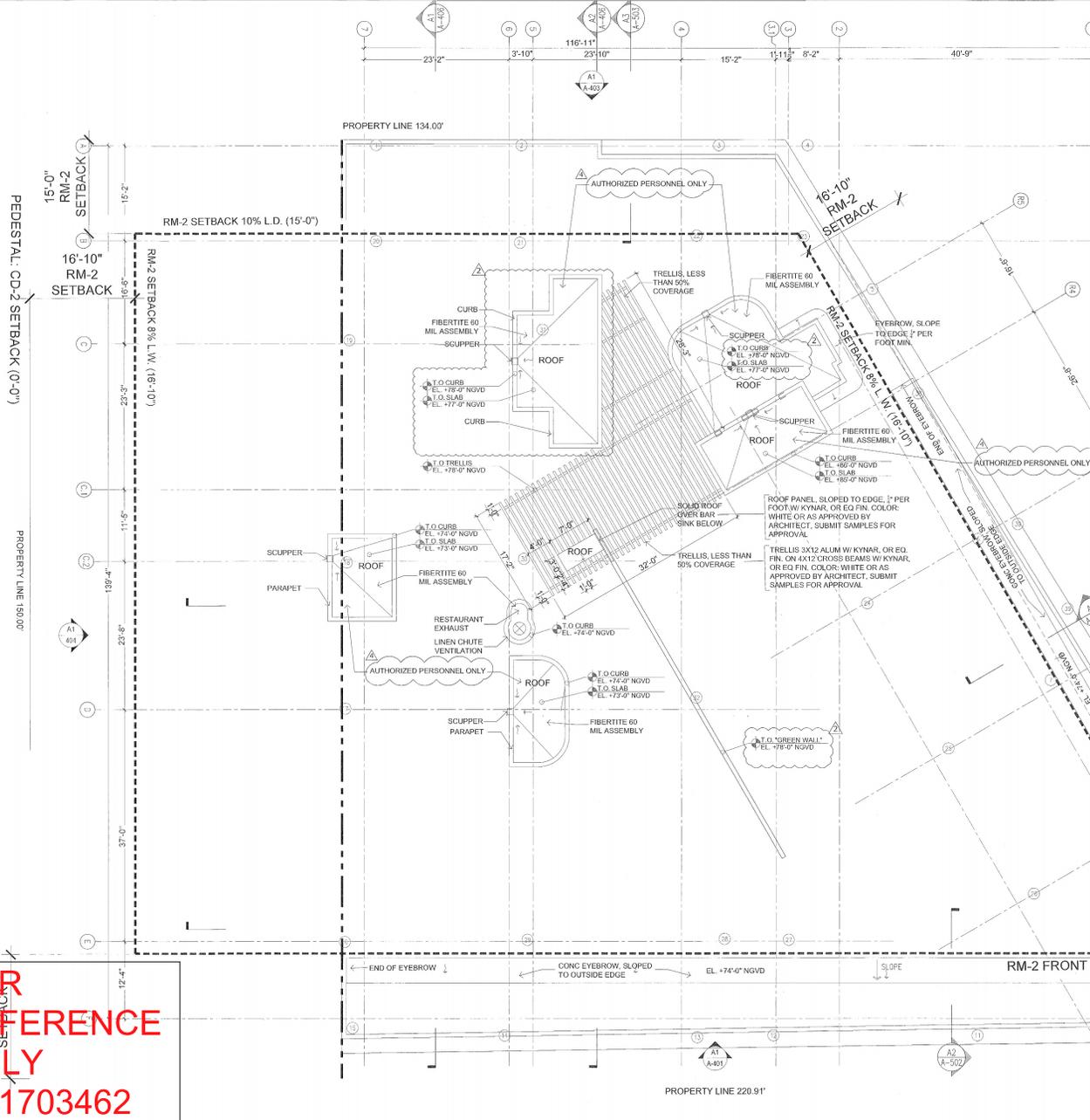
Note: Not an architectural drawing. This is diagram planning for Planning Board purposes only. Occupancy loads are from As-Built drawings.

1-22-19

STATE OF FLORIDA
REGISTERED PROFESSIONAL ARCHITECT
REGISTERED PROFESSIONAL INTERIOR DESIGNER

THIS DOCUMENT IS UNLAWFUL AND THE CONSTRUCTION OF ANY PART OF THIS ARCHITECTURE WITHOUT THE WRITTEN APPROVAL OF PERMUY ARCHITECTURE AND INTERIOR DESIGN PLANNING, INC. IS STRICTLY PROHIBITED. ANY CONSTRUCTION OF THIS PROJECT WITHOUT THE WRITTEN APPROVAL OF PERMUY ARCHITECTURE AND INTERIOR DESIGN PLANNING, INC. IS STRICTLY PROHIBITED. ANY CONSTRUCTION OF THIS PROJECT WITHOUT THE WRITTEN APPROVAL OF PERMUY ARCHITECTURE AND INTERIOR DESIGN PLANNING, INC. IS STRICTLY PROHIBITED.

FLOOR	GROSS CONST AREA (SLAB AREA)	ENCLOSED AREA (A/C SPACE)	ENTRY DRIVE	CANAL WALKWAY	BALCONY	TERRACE	POOL DECK (FIN. DECK)	MECH ROOMS	STAIRS
1ST	15,025	8,210	5,045	2,802	0	0	0	410	412
2ND	14,999	1,945	0	0	0	0	0	0	412
3RD	18,783	13,120	0	0	202	4,923	0	65	341
4TH	14,649	13,120	0	0	1,529	0	0	65	341
5TH	14,649	13,120	0	0	1,529	0	0	65	341
6TH/POOL	14,649	648	0	0	0	0	8,574	220	337
HIGH ROOF	1,211								
Sub-Totals:	93,965	50,163	5,045	2,802	3,260	4,923	8,574	825	2,184



NOTES:
ALL UPPER ROOFS ARE NOT ACCESSIBLE BY PUBLIC; AUTHORIZED PERSONNEL ONLY.

ROOF PANEL, SLOPED TO EDGE, 1" PER FOOT W/ KYNAR, OR EQ FIN. COLOR: WHITE OR AS APPROVED BY ARCHITECT. SUBMIT SAMPLES FOR APPROVAL.
TRELLIS 3X12 ALUM W/ KYNAR, OR EQ FIN. OR 4X12 CROSS BEAMS W/ KYNAR, OR EQ FIN. COLOR: WHITE OR AS APPROVED BY ARCHITECT. SUBMIT SAMPLES FOR APPROVAL.

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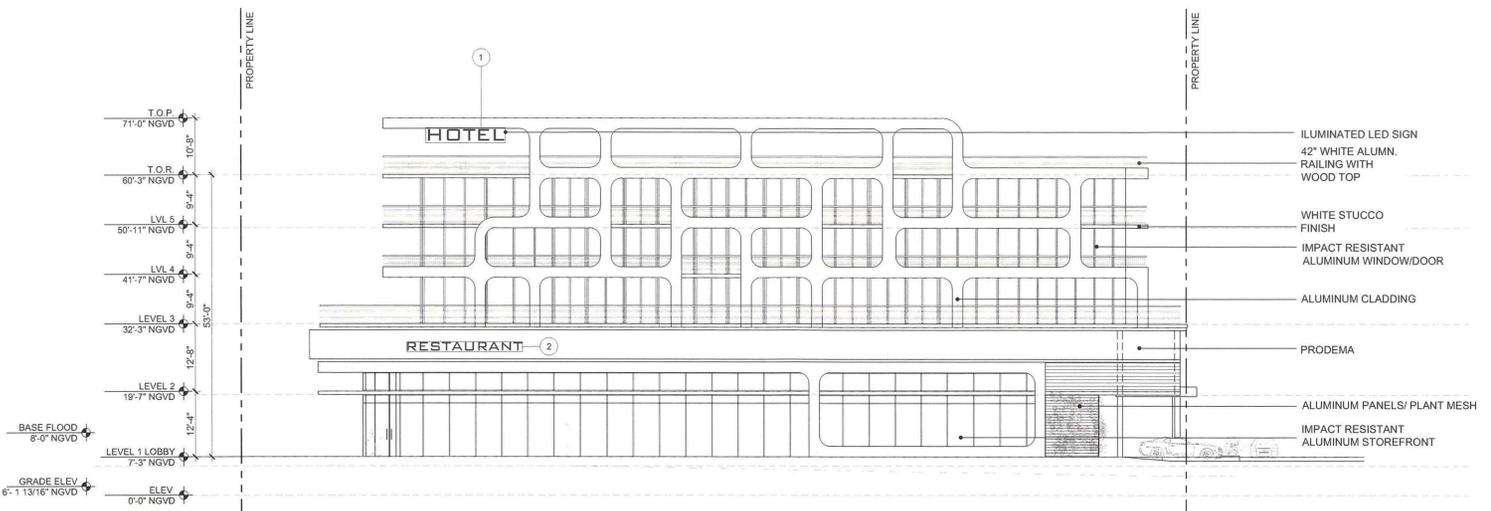
A1 6TH ROOF PLAN
SCALE: 1/8" = 1'-0"

NO.	DESCRIPTION	DATE
1	PERMIT SET	02.28.17
2	REV. 2	05.31.17
3	REV. 4	11.22.17

City of Miami Beach
Fire Prevention Division
PLANS APPROVED

KIMTOWN HOTEL
PALOMAR
1750 Ocean Road, Miami Beach, FL 33139
FINVARB GROUP
1005 Kane Concourse, Suite 201, 39th Interior Island, FL 33154

PROJECT NO.	1613
DATE	02.28.17
SHEET NAME	
SCALE	As Noted
SHEET NO.	



2 NORTH ELEVATION
Scale: 3/32"=1'-0"

REVISIONS / SUBMISSIONS	
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1750 ALTON HOTEL
1750 ALTON ROAD
MIAMI BEACH, FLORIDA 33139

NORTH ELEVATION



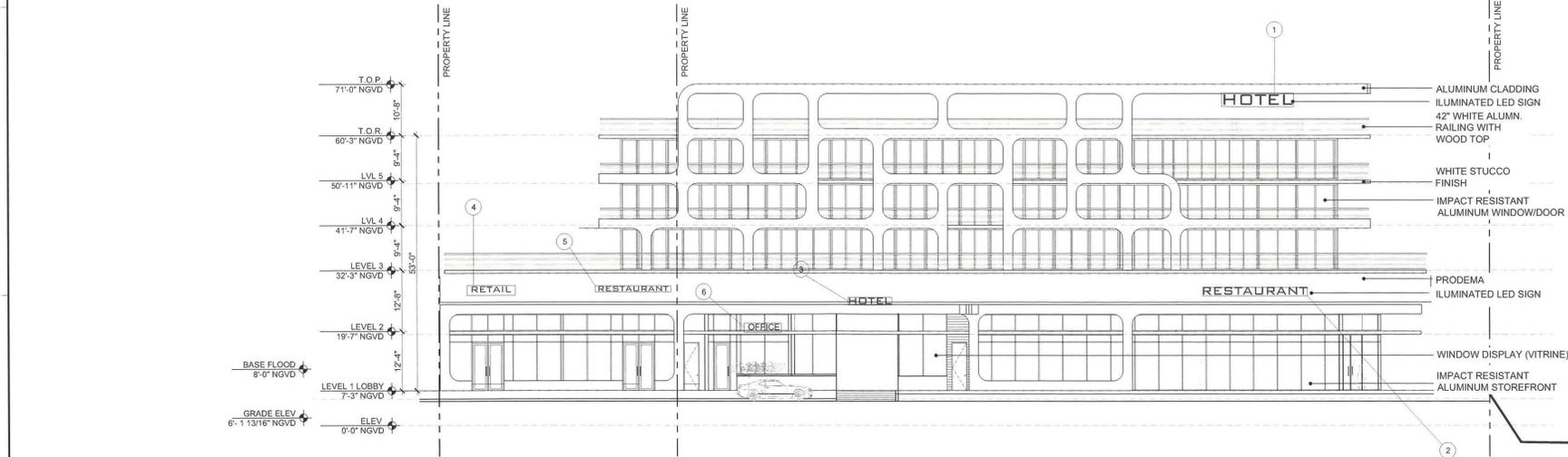
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Miami, Florida 33137
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CHECKED BY:
DATE: APRIL 2023

A4.00

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- $\frac{1}{4} \times$ HOTEL ①
HOTEL SIGN: 40 SF
- $\frac{1}{4} \times$ RESTAURANT ②
WALL SIGN: 20 SF
- $\frac{1}{4} \times$ HOTEL ③
WALL SIGN: 20 SF
- $\frac{1}{4} \times$ RETAIL ④
WALL SIGN: 20 SF
- $\frac{1}{4} \times$ RESTAURANT ⑤
WALL SIGN: 20 SF
- $\frac{1}{4} \times$ OFFICE ⑥
WALL SIGN: 20 SF

① EAST ELEVATION
Scale: 3/32"=1'-0"

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1750 ALTON HOTEL
1750 ALTON ROAD
MIAMI BEACH, FLORIDA 33158

EAST ELEVATION

FINVARB
ARCHITECTS
P.C.

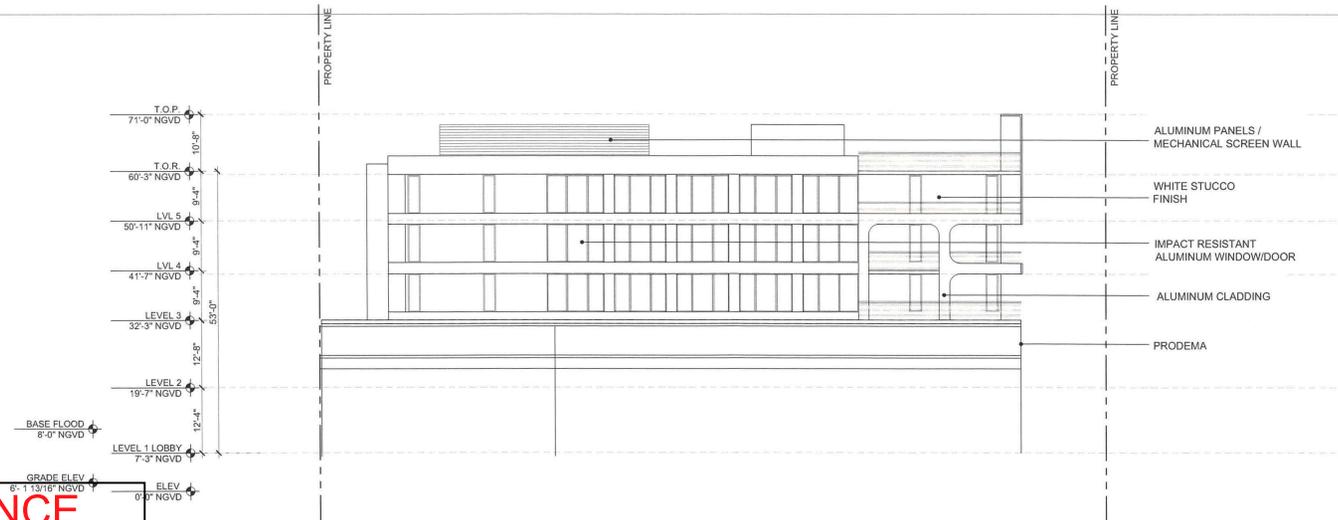
Handwritten initials and date:
OCT 20 2015

**ARCHITECTURE
INTERIOR DESIGN
PLANNING**
AIA ASID NCARB
2915 Brickyard Boulevard
Miami, Florida 33157
P: 305.573.2700
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**K O B I
K A R P**

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DATE: APRIL 2012

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① SOUTH ELEVATION
Scale: 3/32"=1'-0"

REVISIONS / SUBMISSIONS	
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ALL DIMENSIONS AND MATERIALS, UNLESS OTHERWISE SPECIFIED, SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND STANDARDS OF THE AMERICAN INSTITUTE OF ARCHITECTS (AIA) AND THE NATIONAL ARCHITECTURAL ACADEMY (NAA).

1750 ALTON HOTEL
1750 ALTON ROAD
MIAMI BEACH, FLORIDA 33139

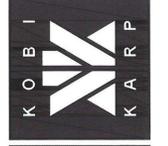
SOUTH ELEVATION



ARCHITECTURE
INTERIOR DESIGN
PLANNING

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All drawings and specifications are preliminary and subject to change without notice. The contractor shall verify all dimensions and conditions of the site before construction. The architect shall not be responsible for any errors or omissions in these drawings and specifications.

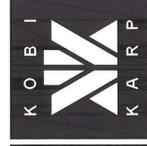
1750 ALTON HOTEL
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 MIAMI BEACH, FLORIDA 33139

WEST ELEVATION



Handwritten signature
 OCT 20 2015
 Sign. # A20072276

ARCHITECTURE INTERIOR DESIGN PLANNING
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① WEST ELEVATION
 Scale: 3/32"=1'-0"