

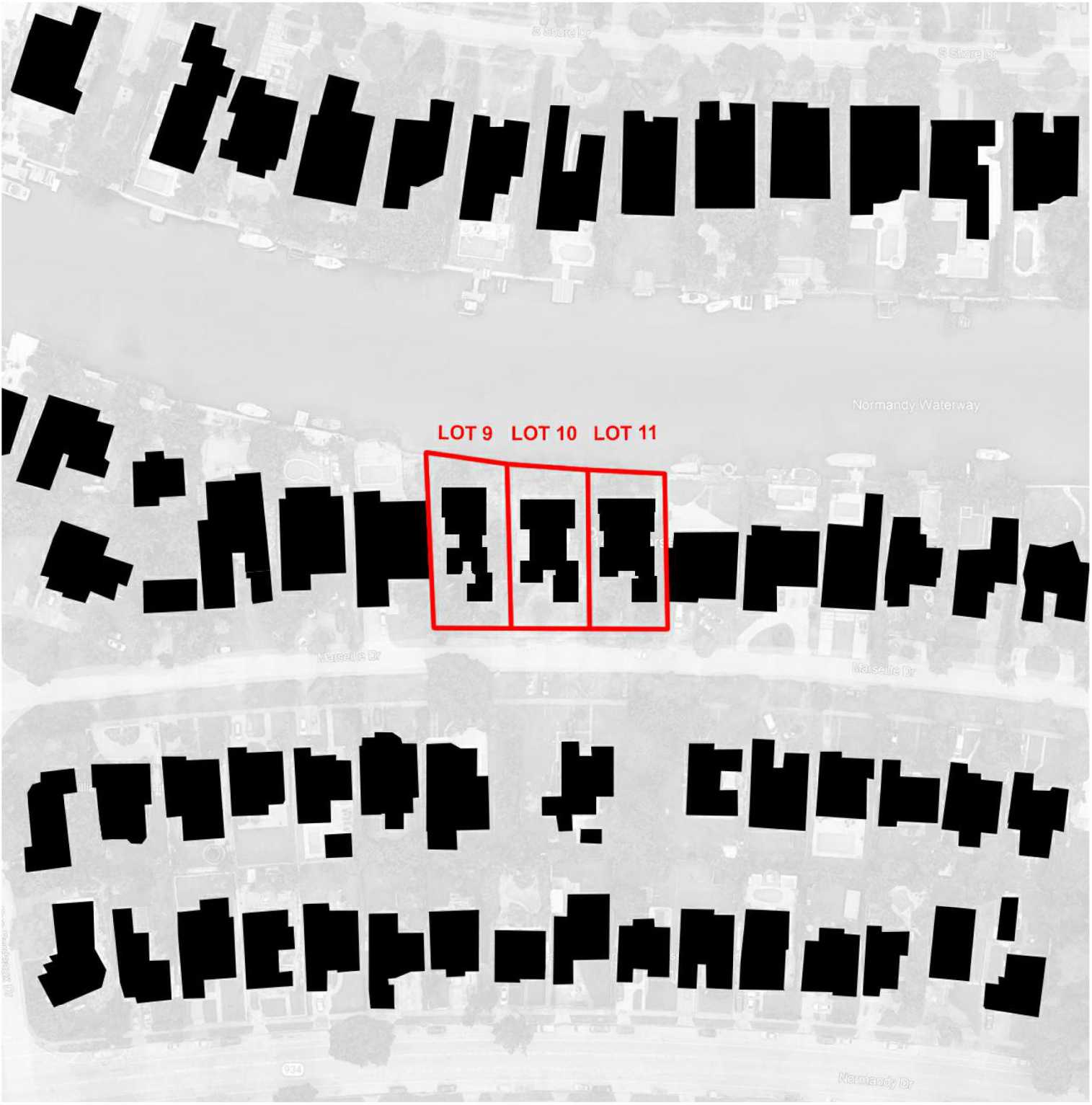
1415 MARSEILLE DRIVE | FINAL SUBMITTAL DRB File No. 24-1058

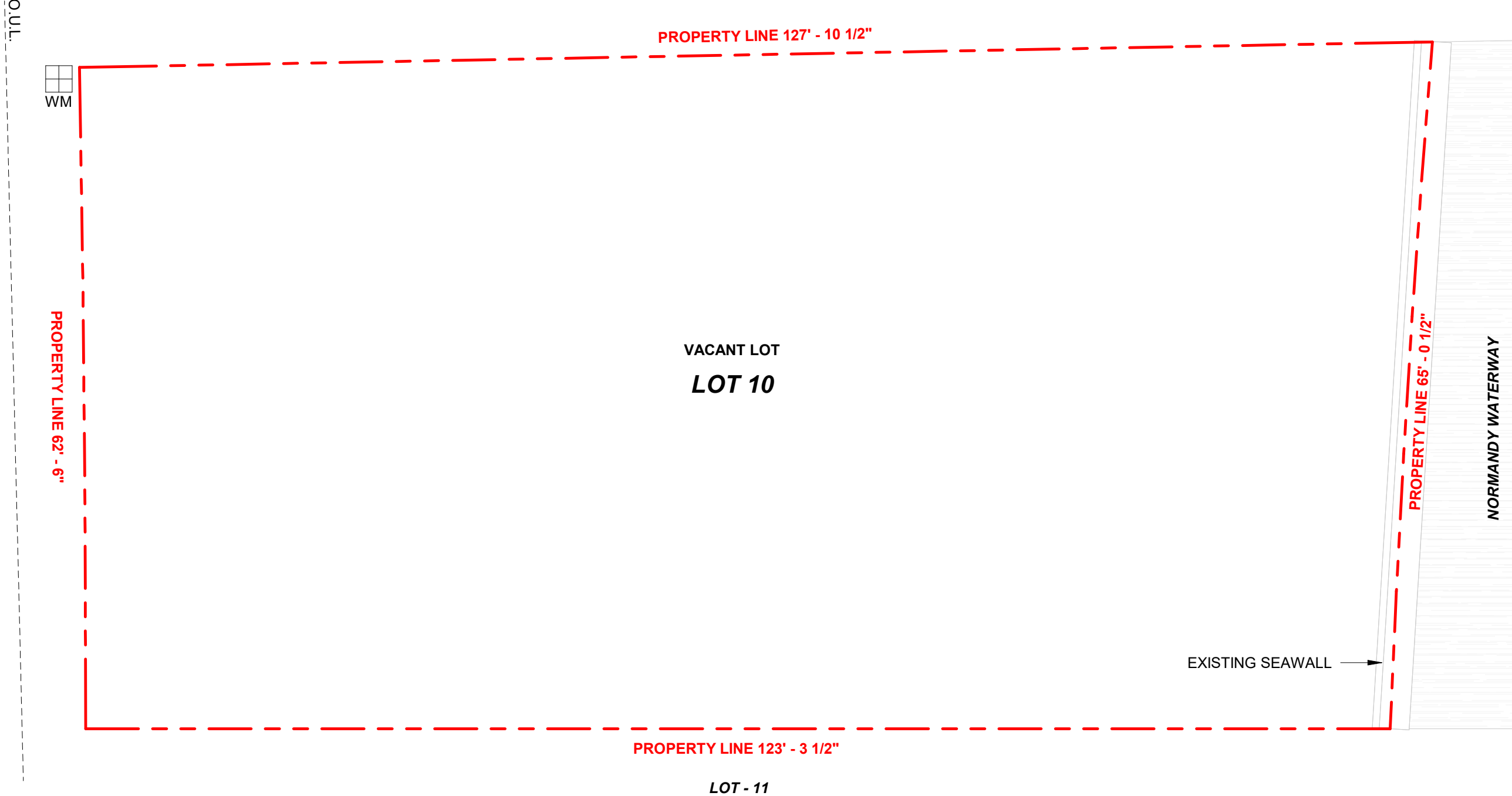
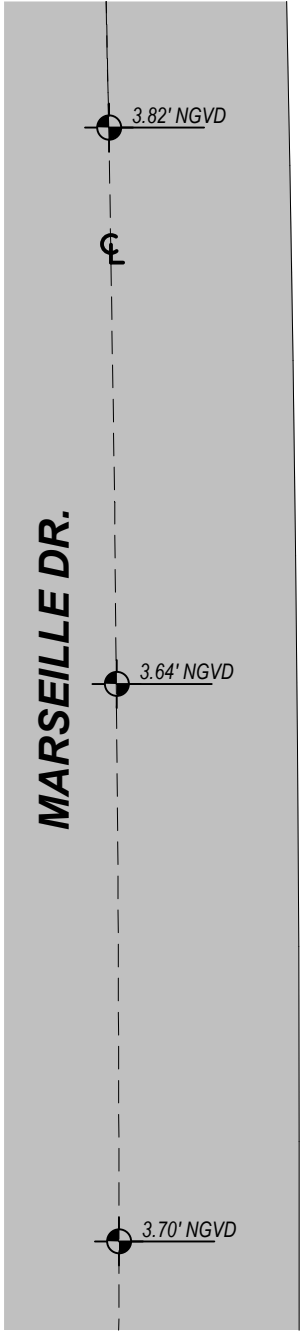


PROPOSED LOT COVERAGE



PREVIOUS APPROVED LOT COVERAGE





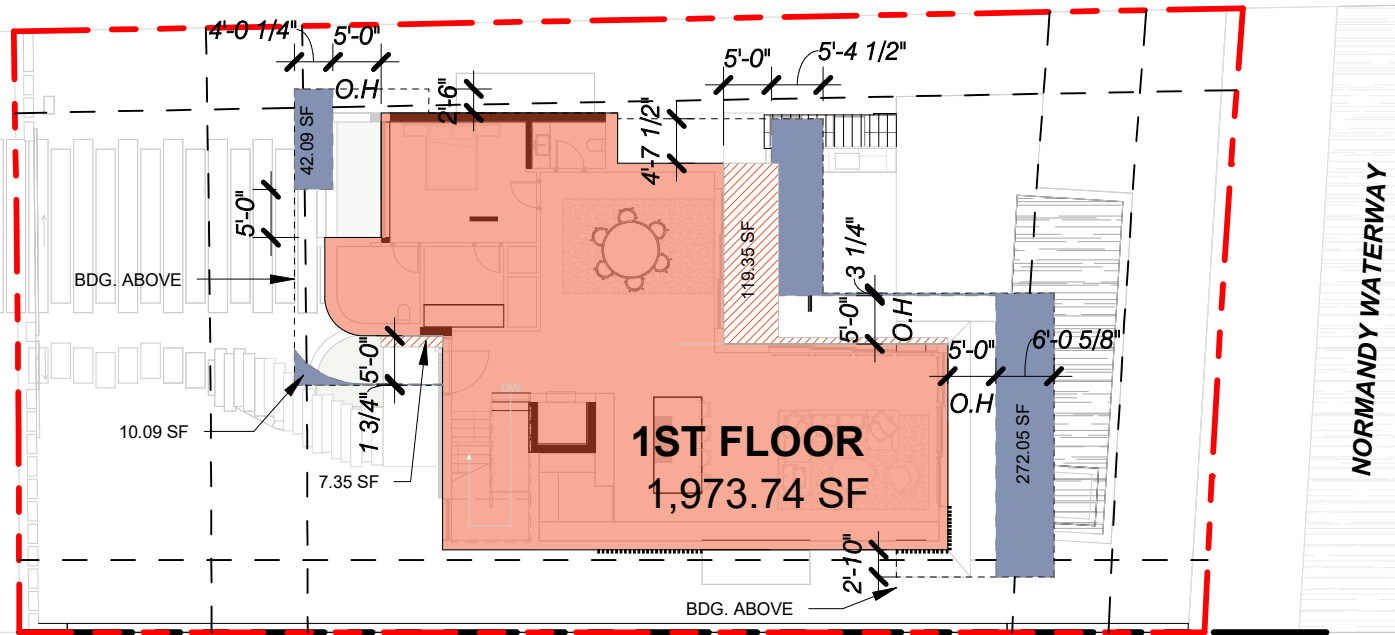
1 EXISTING LOT COVERAGE  
3/32" = 1'-0"

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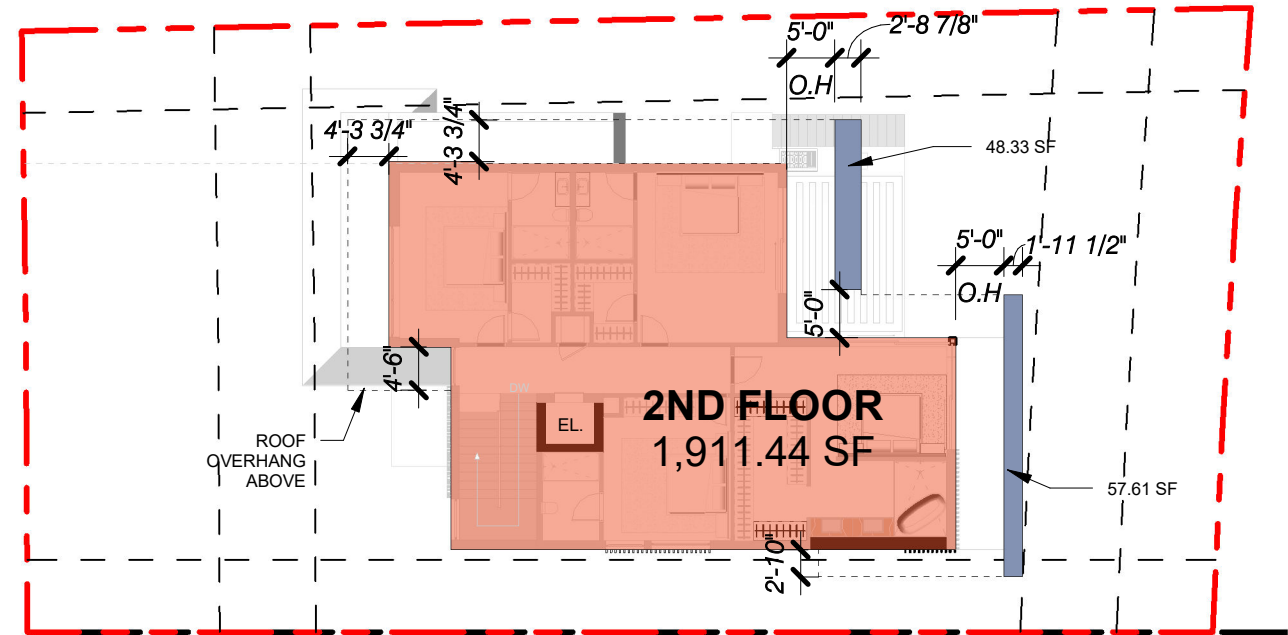


EXISTING / DEMO LOT COVERAGE  
3/32" = 1'-0"

MARSEILLE DR.

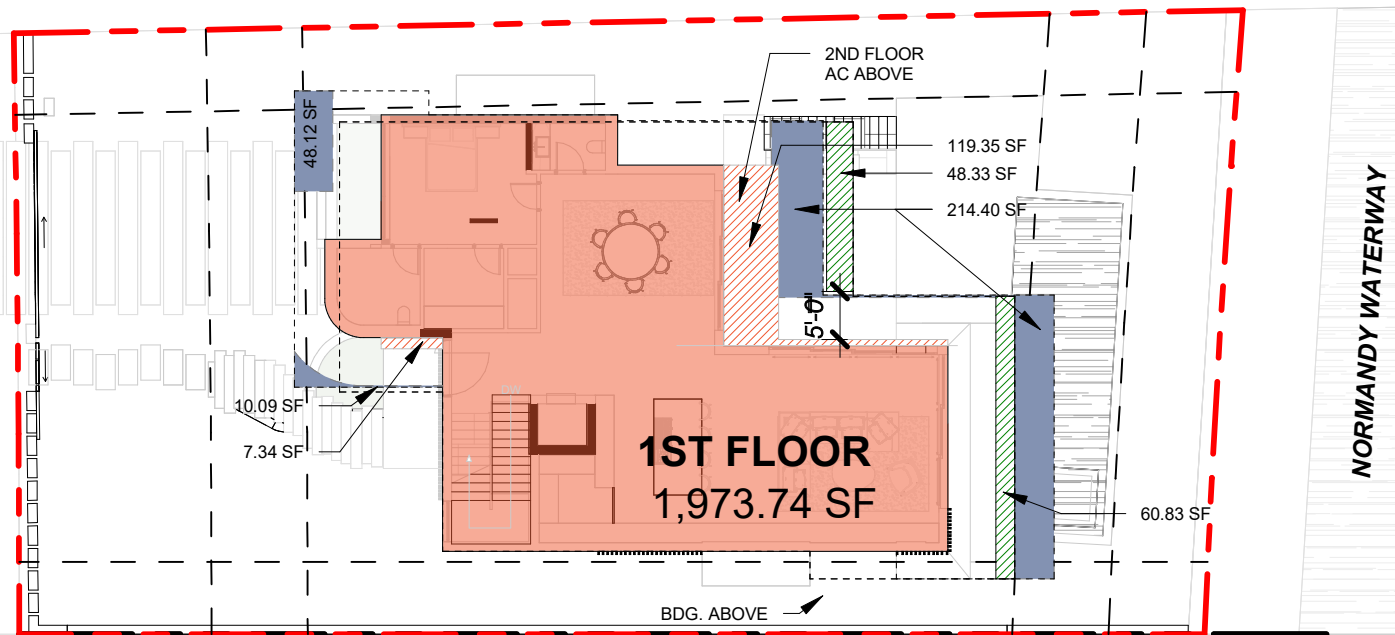


1 PROPOSED LOT COVERAGE - LEVEL 1  
1" = 20'-0"



2 PROPOSED LOT COVERAGE - LEVEL 2  
1" = 20'-0"

MARSEILLE DR.



3 PROPOSED LOT COVERAGE - COMBINED  
1" = 20'-0"

### PROPOSED LOT COVERAGE

LOT SIZE	7,976.98 SF
ALLOWED = 30% OF LOT	2,393.09 SF
2ND FLOOR ROOF OVERHANG	105.94 SF
1ST FLOOR AC	1,973.74 SF
2ND FLR AC	126.69 SF
1ST FLR ROOF OVERHANG	266.62 SF
GARAGE REDUCTION	480.00 SF
PROPOSED LOT COVERAGE	(2,472.99 - 480) SF
	1,992.99 SF (24.98 %)



= AREA UNDER AC



= ROOF OVERHANG > 5'-0" PROJECTION



= AREA UNDER AC ABOVE



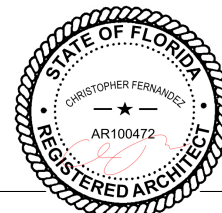
= 2ND FLOOR ROOF OVERHANG > 5'-0" PROJECTION



= GARAGE OVERHANG

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CFZ DESIGN



PROPOSED LOT COVERAGE

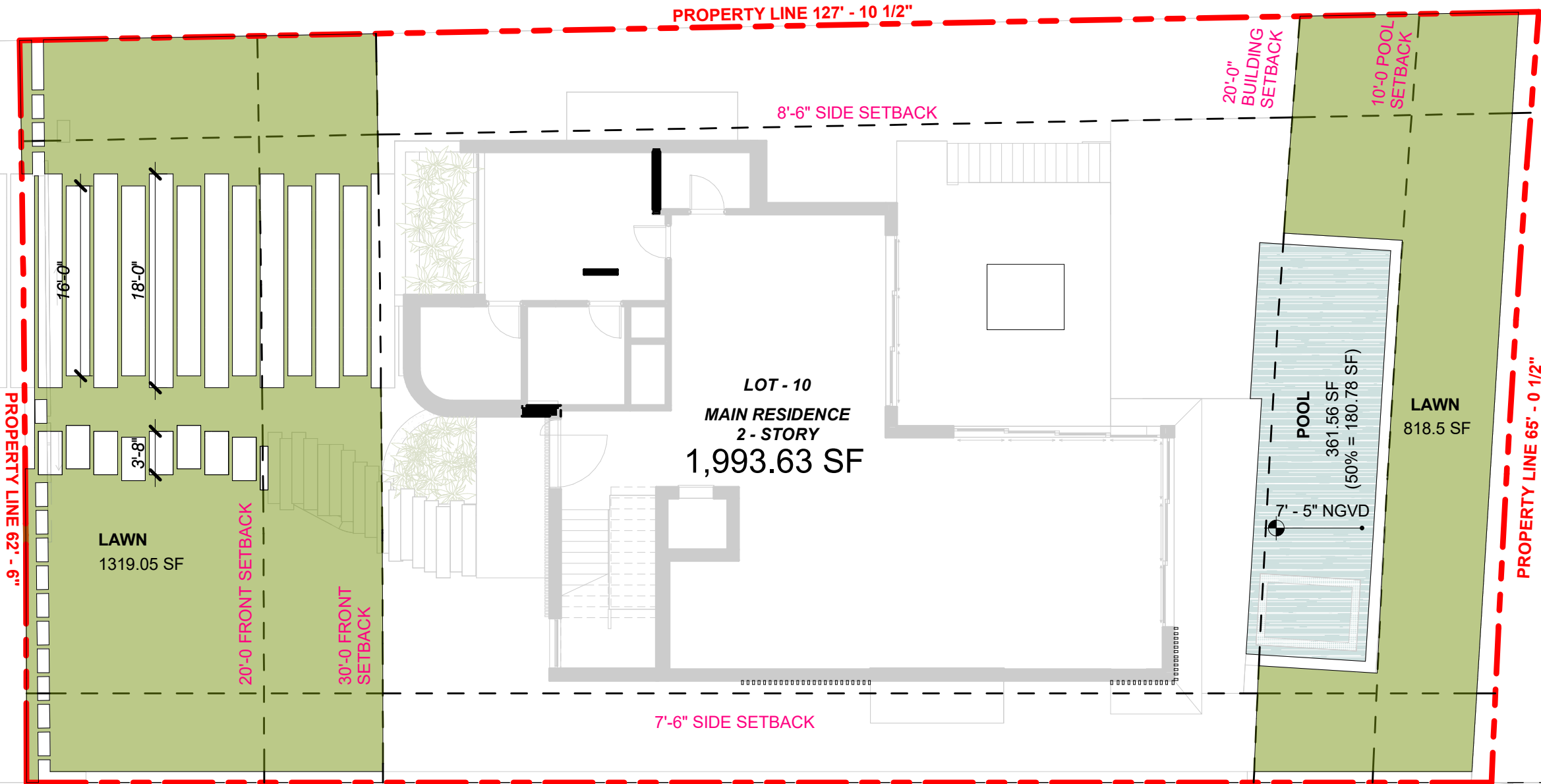
As indicated

03.09.2025

DRB\_A0.10.b






MARSEILLE DR.



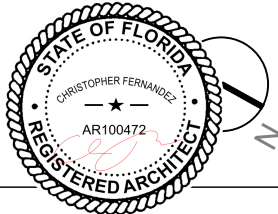
1 PROPOSED FRONT AND REAR OPEN SPACE  
3/32" = 1'-0"

LOT 11 - FRONT AND REAR COVERAGE

<b>FRONT YARD AREA:</b>	1883.78 SF	<b>REAR YARD AREA:</b>	1296.48 SF
<b>MINIMUM REQUIRED OPEN SPACE:</b>	1318.64 SF (70%)	<b>MINIMUM REQUIRED OPEN SPACE:</b>	907.53 SF (70%)
<b>PROPOSED OPEN SPACE:</b> 	1319.05 SF (70.01%)	<b>PROPOSED GREEN SPACE:</b> 	818.54 SF
		<b>PROPOSED POOL @ 50% AREA:</b>  (50% OF 361.56) SF = 180.78 SF	
		<b>TOTAL PROPOSED OPEN SPACE:</b>	818.5 SF + 157 SF = 999.32 SF (77.07%)

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CFZ DESIGN

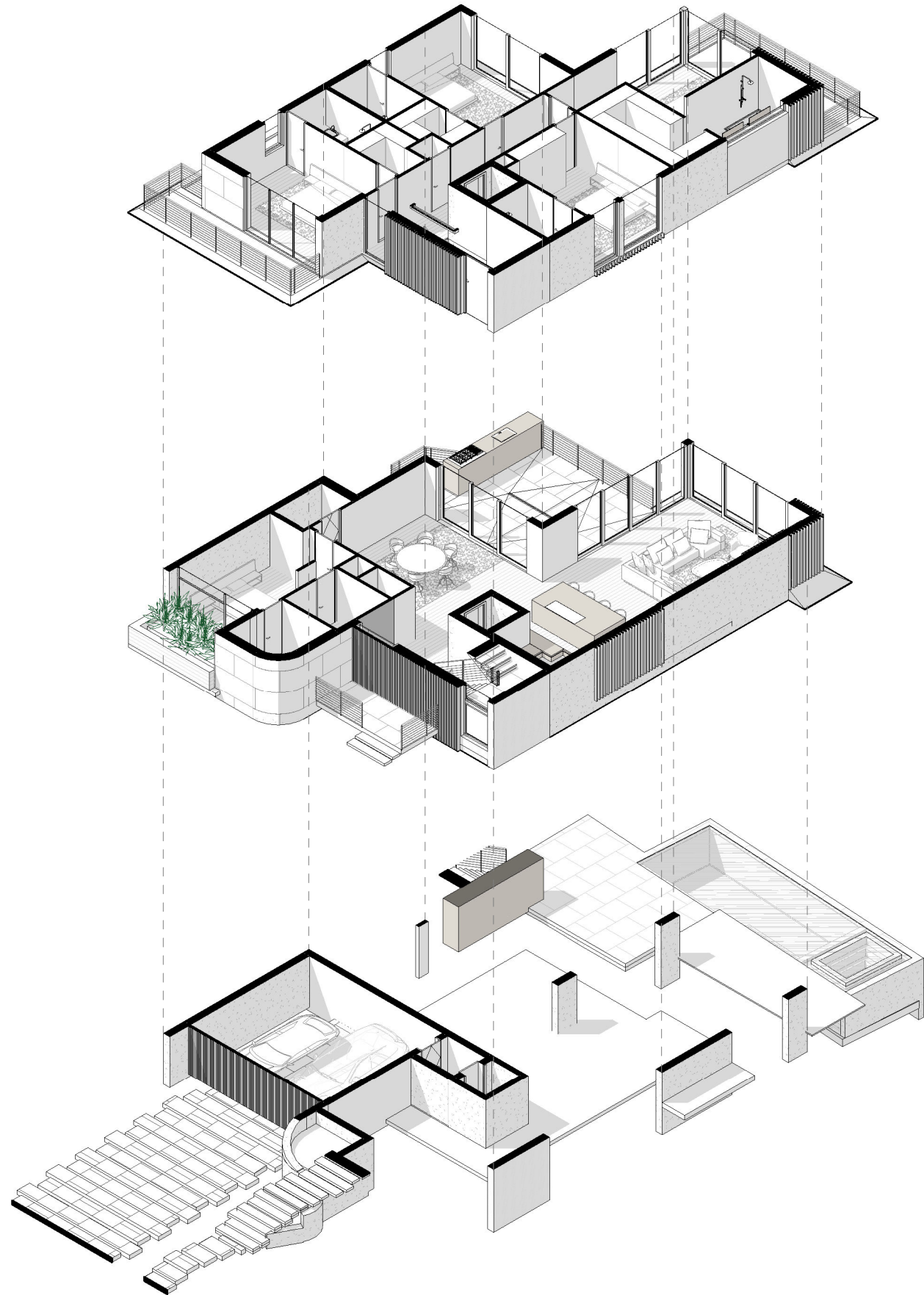


FRONT & REAR DIAGRAM

As indicated

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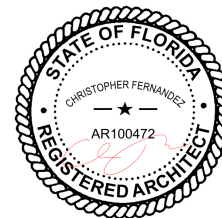
3 AXON EXPLODED SECOND FLOOR

2 AXON EXPLODED FIRST FLOOR

1 AXON EXPLODED UNDERSTORY FLOOR

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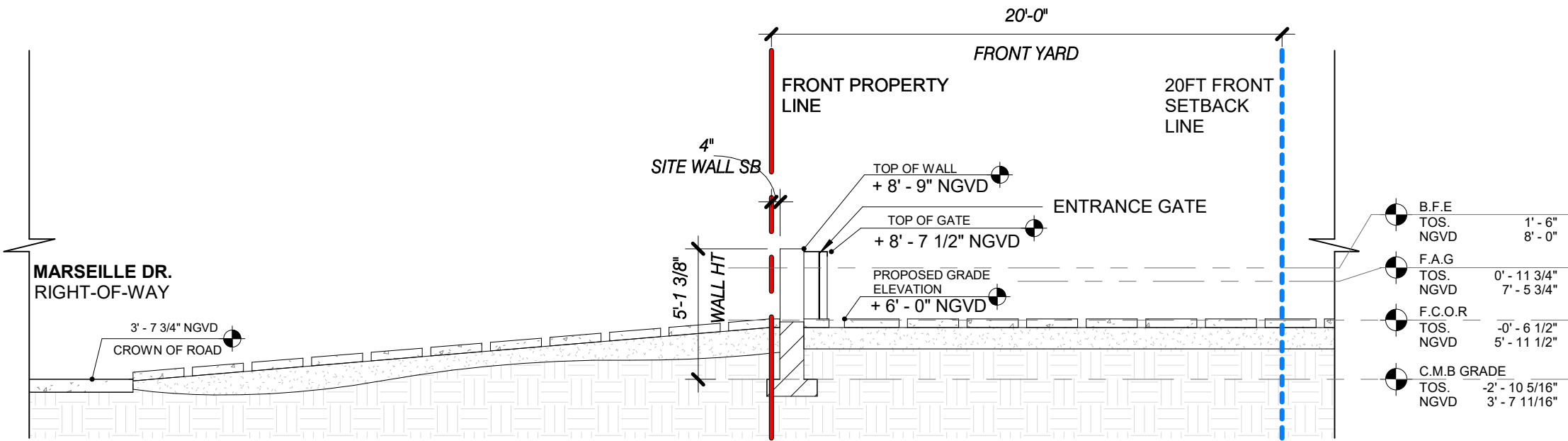
CFZ DESIGN



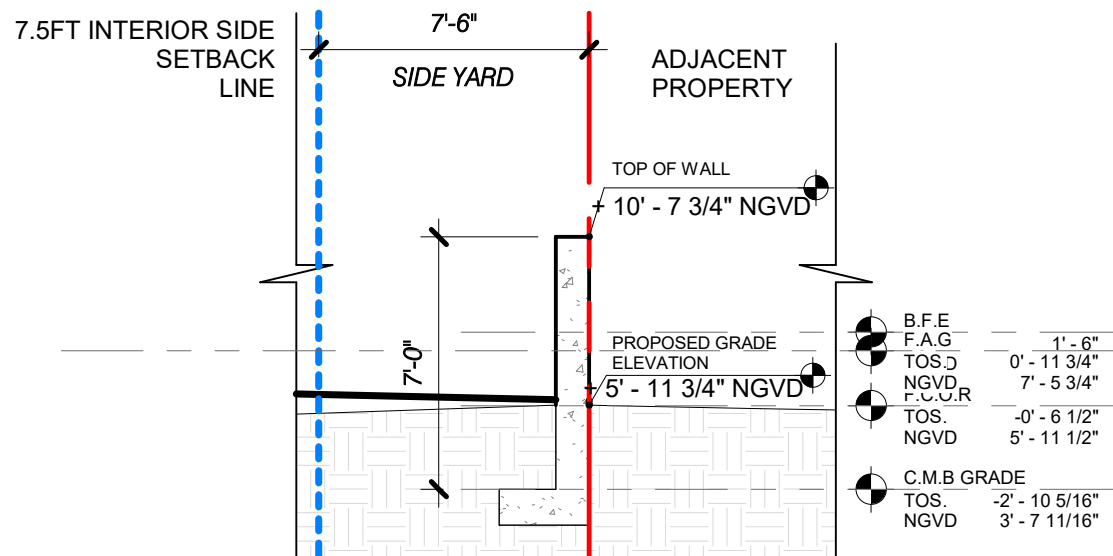
PROPOSED BUILDING -  
AXON

03.09.2025

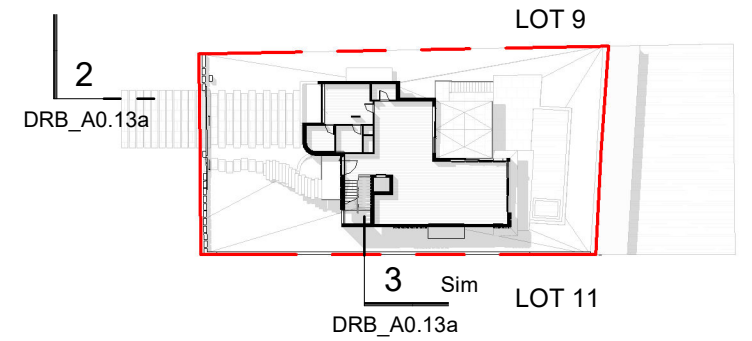
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**2 FRONT YARD SECTION**  
3/16" = 1'-0"

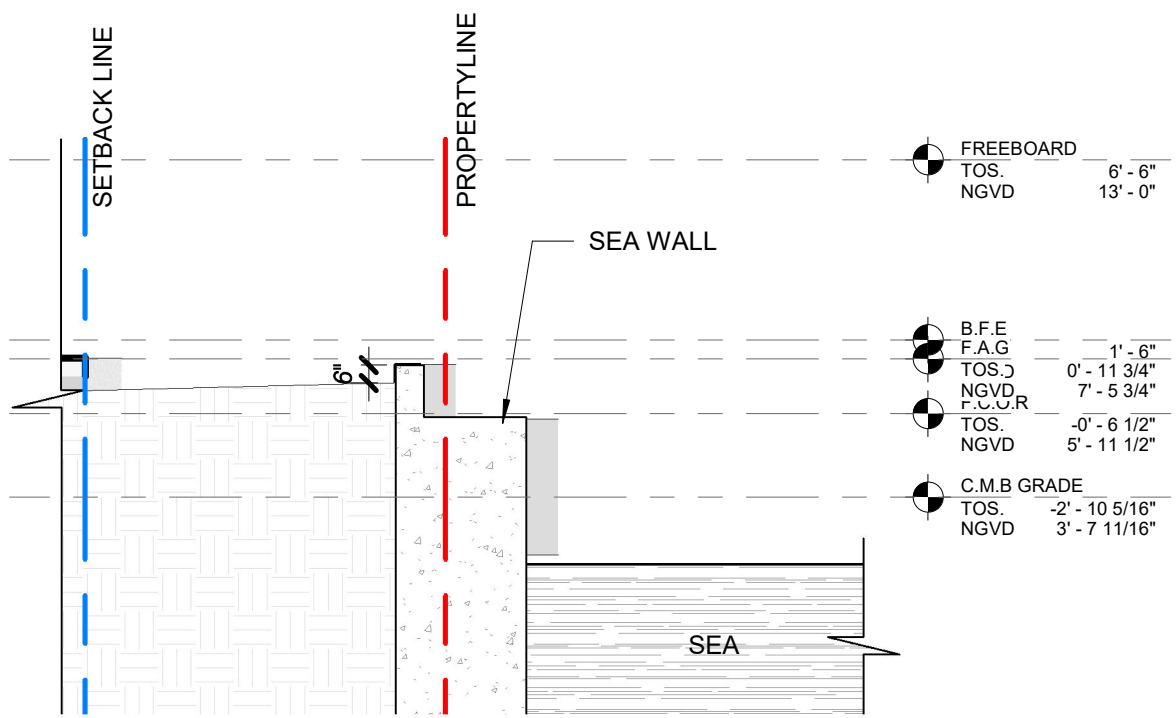


**3 INTERIOR SIDE YARD SECTION 01**  
3/16" = 1'-0"

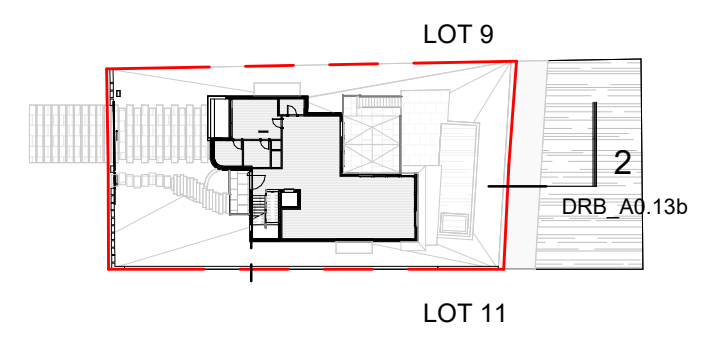


**1 KEY PLAN**  
1" = 60'-0"

**FUTURE ADJUSTED GRADE (F.A.G) = 7.479' NGVD**  
**FUTURE CROWN OF ROAD = 5'-11 1/2" NGVD**  
**BFE+1 = 9'-0 NGVD**

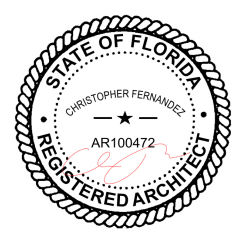


**2** BACK YARD SECTION  
3/16" = 1'-0"

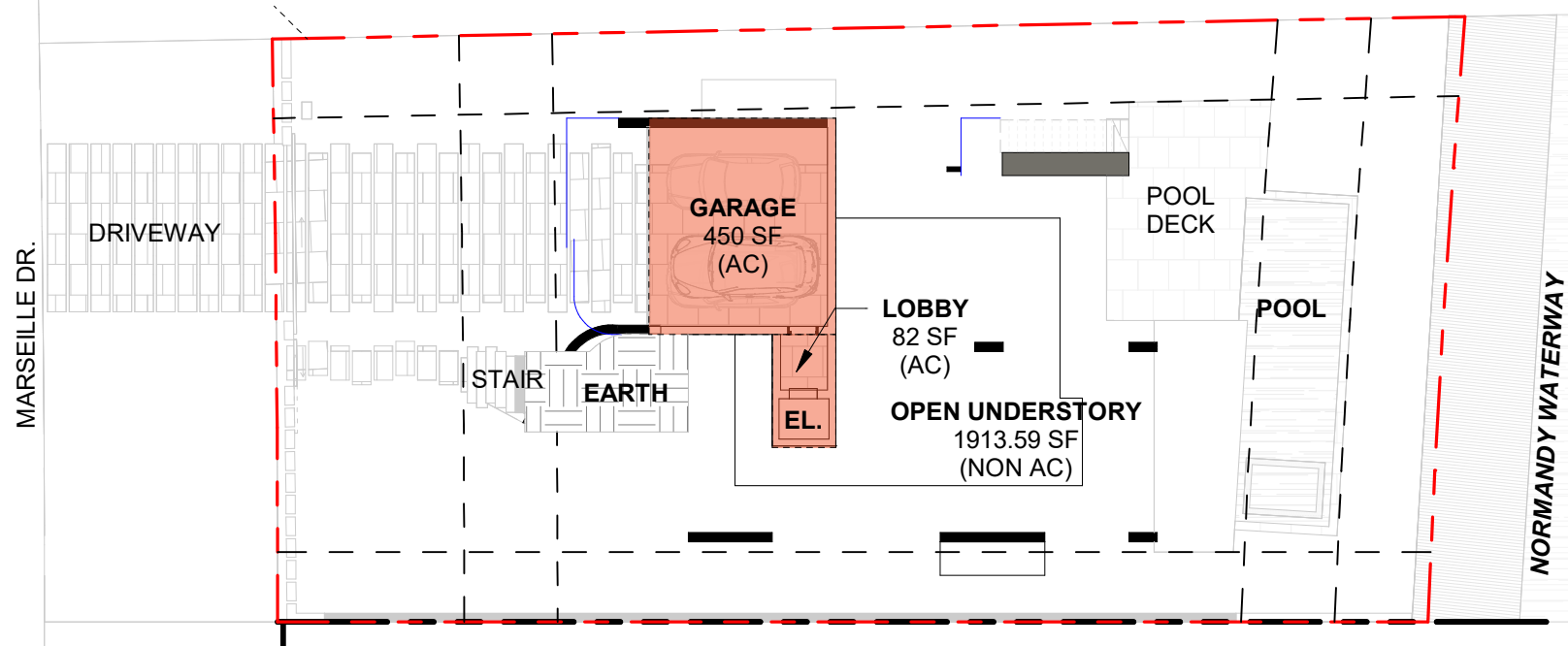


**1** KEY\_PLAN  
1" = 60'-0"

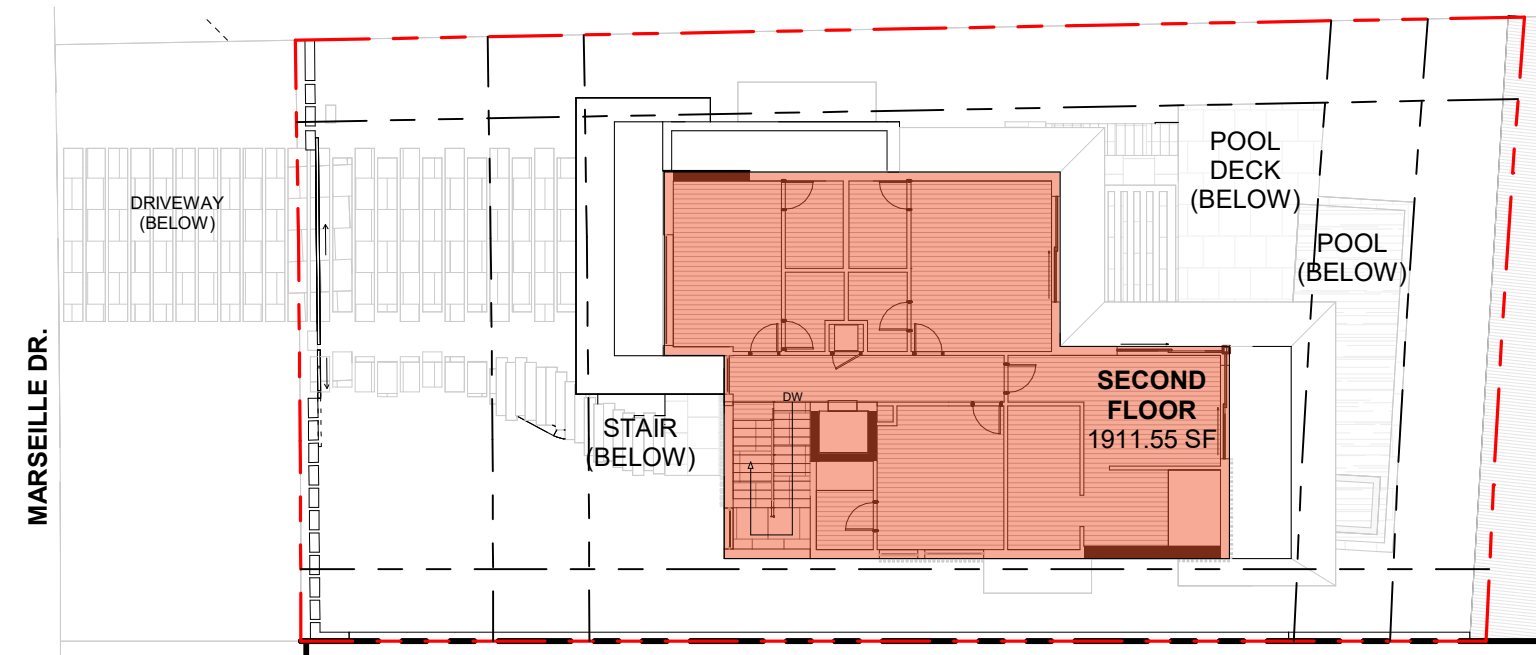
**FUTURE ADJUSTED GRADE = 7.479' NGVD**  
**FUTURE CROWN OF ROAD = 5'-11 1/2" NGVD**  
**BFE+1 = 9'-0 NGVD**



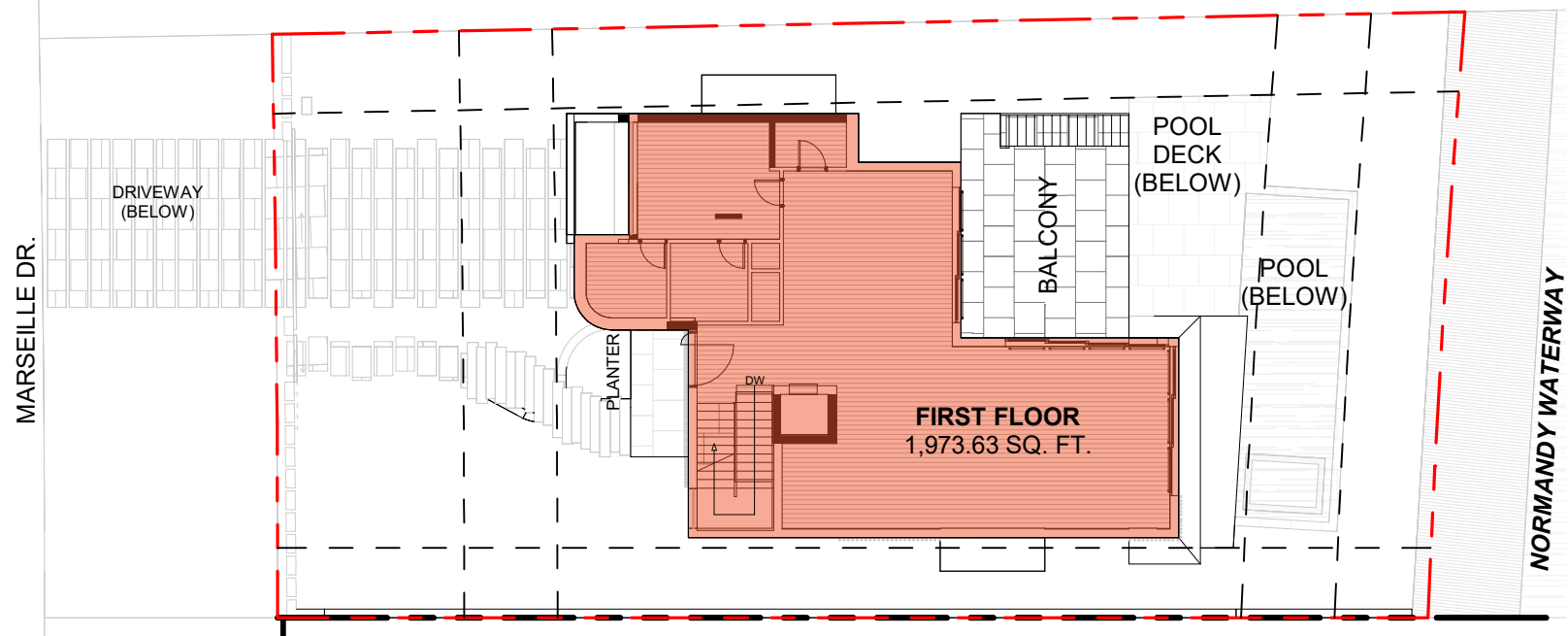




**1 UNDERGROUND - UNIT SIZE**  
1" = 20'-0"



**3 LEVEL 2 - PROPOSED UNIT SIZE**  
1" = 20'-0"



**2 LEVEL 1 - PROPOSED UNIT SIZE**  
1" = 20'-0"

### ENCLOSED UNDERSTORY AREA

<b>LOT</b>	7,976.98 SF
<b>ALLOWED</b>	7,976.98 * 5 % = 398.84 SF (5%)
PROPOSED UNDERSTORY	532.00 SF
GARAGE REDUCTION	-450.00 SF
<b>TOTAL</b>	82 SF (1.00 %)

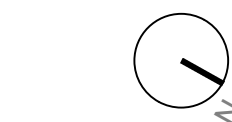
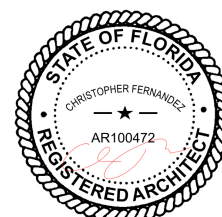
### UNIT SIZE

<b>LOT</b>	7,976.98 SF
<b>ALLOWED</b>	7,976.98 * 50 % = 3,988.49 SF
UNDERSTORY (AC)	532.00 SF
GARAGE REDUCTION	-450.00 SF
<b>FIRST FLOOR</b>	1,973.63 SF
<b>SECOND FLOOR</b>	1,911.55 SF
<b>TOTAL</b>	3,967.18 SF (49.73 %)

- ENCLOSED NON AC AREA
- WATER BASIN
- ENCLOSED AC AREA
- OUTLINE OF LEVEL 1 ENCLOSED FLOOR SPACE ABOVE
- OUTLINE OF LEVEL 1 FOOTPRINT ABOVE

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CFZ DESIGN

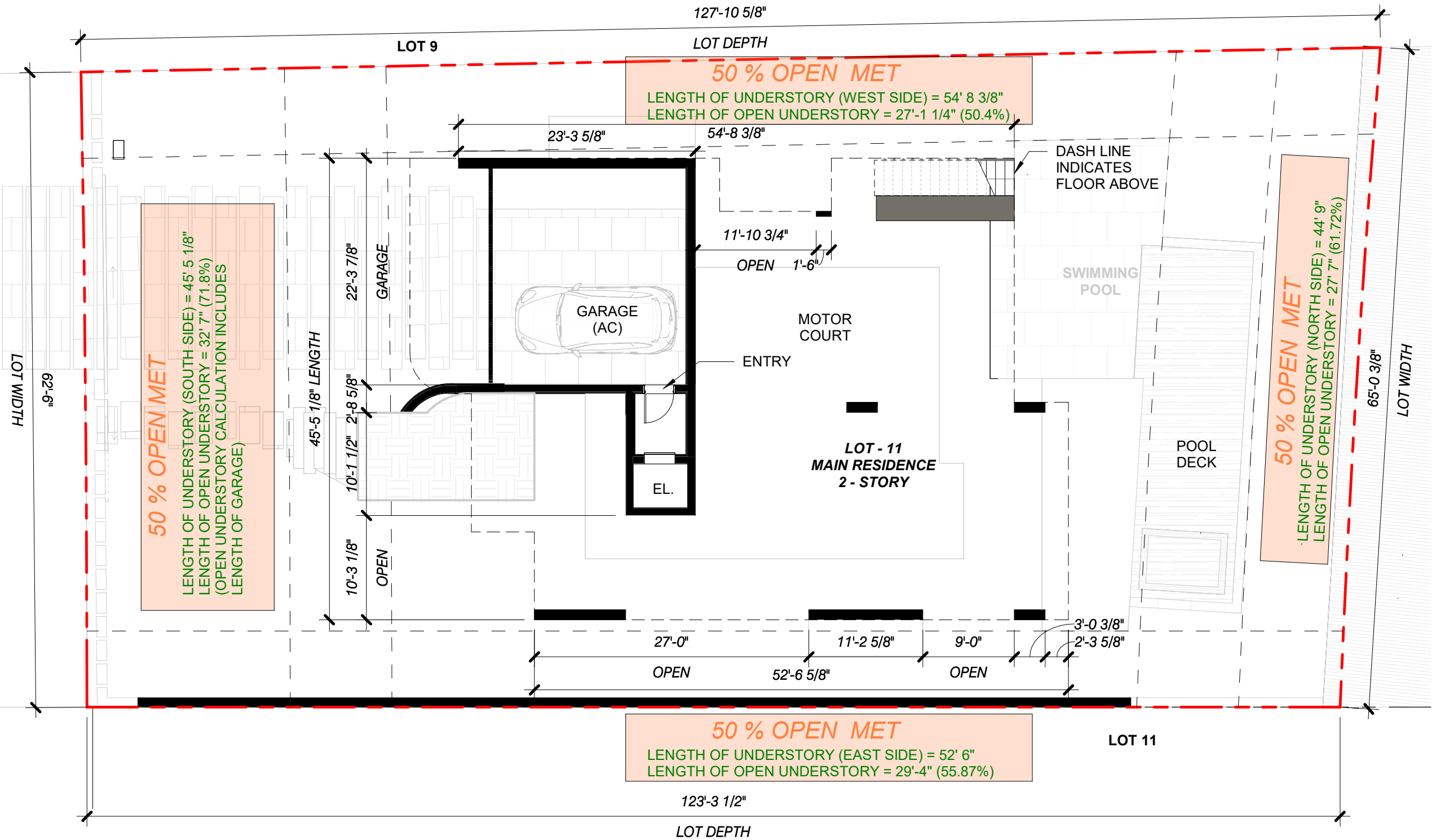


PROPOSED UNIT DIAGRAM

As indicated

03.09.2025

DRB\_A0.15



3/32" = 1'-0"