

SELECTIVE RENOVATION  
DESIGN REVIEW BOARD FILE DRB23-0958  
MODIFICATION OF DRB 22964  
FINAL SUBMITTAL  
10/11/2023

- RENOVATE EXISTING STUDY INTO A BEDROOM WITH A FULL BATHROOM AND ENCLOSE ATTACHED BALCONY
- PROTECTION AND PRESERVATION OF ALL EXISTING EXTERIOR DOORS AND PENETRATION
- PROTECTION AND PRESERVATION OF ALL EXISTING STRUCTURAL ELEMENTS
- CAPPING OF ALL MECHANICAL, ELECTRICAL AND SYSTEMS PRIOR TO ANY DEMOLITION
- NEW CASEWORK, PLASTER, STONE WORK AND WOOD FLOORING.
- NEW INTERIOR PAINTING

- A-0.00 COVER SHEET
- A-0.01 SITE LOCATION MAP
- A-0.10a PHOTOS OF EXISTING CONDITIONS
- A-0.10b PHOTOS OF EXISTING CONDITIONS
- A-0.10c PHOTOS OF EXISTING CONDITIONS
- A-0.02 EXISTING SITE PLAN AND AREA OF WORK
- A-0.04 ZONING DATA SHEET
- A-0.05 LOT AREA DIAGRAM
- A-0.50 EXISTING OVERALL PLAN - 2ND FLOOR
- A-0.50a SITE AREAS - CURRENT
- A-0.50b PROPERTY AREAS - ORIGINAL, CURRENT, PROPOSED
- A-0.50c PROPERTY AREAS - ORIGINAL, CURRENT, PROPOSED
- A-0.50d BUILDING AREAS - ORIGINAL, CURRENT, PROPOSED
- A-0.50e BUILDING AREAS - ORIGINAL, CURRENT, PROPOSED
- A-0.50f BUILDING AREAS - ORIGINAL, CURRENT, PROPOSED
- A-0.50g BUILDING AREAS - ORIGINAL, CURRENT, PROPOSED
- A-1.00 EXISTING FLOOR PLAN - 2ND FLOOR
- A-1.01 DEMOLITION PLAN - 2ND FLOOR
- A-1.02 PROPOSED FLOOR PLAN - 2ND FLOOR
- A-1.03a EXISTING ROOF PLAN
- A-1.03b PROPOSED ROOF PLAN
- A-2.00 EXISTING AND PROPOSED ELEVATIONS
- A-5.00 RENDERING
- A-5.01 RENDERING

An aerial photograph of a residential development, likely a resort or planned community, featuring numerous small, uniform buildings arranged in rows. A red dashed circle highlights a specific area, and a red arrow points to a building within that area. The surrounding landscape is green and hilly, with some roads and parking areas visible.



AREA OF WORK:  
428 S HIBISCUS DRIVE  
MIAMI BEACH, FL 33139

**MADISON WORTH  
ARCHITECTURE, DPC**  
485 Madison Avenue, Suite 200, New York, NY 10022 - Tel. 212.255.3261  
125 Worth Avenue, Suite 306, Palm Beach, FL 33480 - Tel. 561.833.3242

NOTES:

2	FINAL SUBMITTAL	10/11/2023
1	FIRST SUBMITTAL	09/18/2023
NO	ISSUE DESCRIPTION	DATE

PROJECT: PRIVATE RESIDENCE  
428 S HIBISCUS DRIVE  
MIAMI BEACH, FL 33139

SHEET TITLE:

COVER SHEET



DATE: AUGUST 26, 2023

PROJECT No.: \_\_\_\_\_

SCALE: AS NOTED

CHK. BY: \_\_\_\_\_

DWG. No.: **A-0.00**

CADD FILE: **17 Aug 23**



2	FINAL SUBMITTAL	10/11/2023
1	FIRST SUBMITTAL	09/18/2023
NO.	ISSUE DESCRIPTION	DATE

PROJECT: PRIVATE RESIDENCE  
428 S HIBISCUS DRIVE  
MIAMI BEACH, FL 33139

SHEET TITLE:

SITE LOCATION PLAN



DATE: AUGUST 21, 2023

PROJECT No.: \_\_\_\_\_

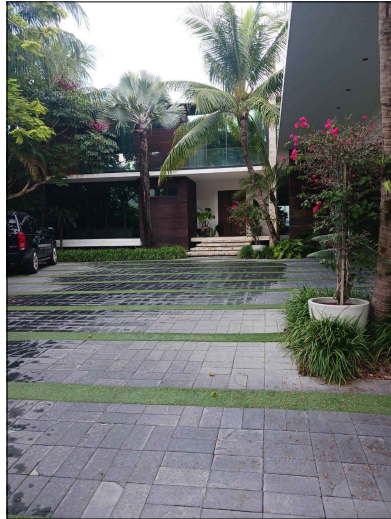
SCALE: AS NOTED

CHK. BY: \_\_\_\_\_

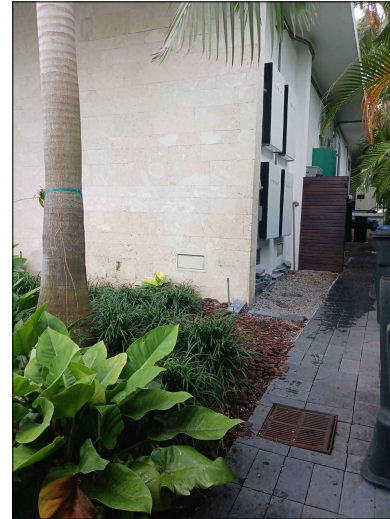
DWG No.: **A-0.01**







① FRONT LOOKING SOUTHWEST



② SIDE LOOKING SOUTHEAST

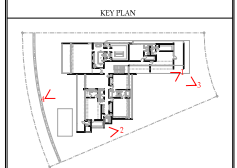


③ FRONT LOOKING WEST



④ REAR - LOOKING NORTH


NOTES:



2	FINAL SUBMITTAL	07/12/23
1	FIRST SUBMITTAL	06/16/23
NO.	ISSUE DESCRIPTION	DATE

PROJECT:  
PRIVATE RESIDENCE  
428 S HIBISCUS DRIVE  
MIAMI BEACH, FL 33139

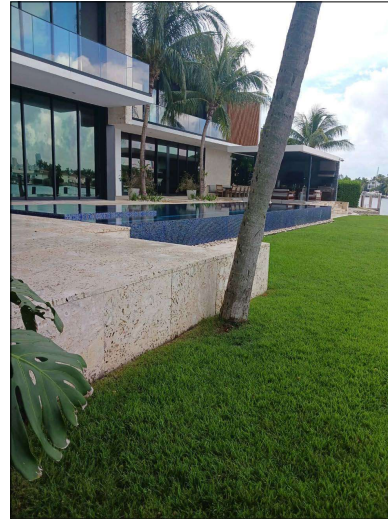
SHEET TITLE:  
PHOTOS OF EXISTING  
CONDITIONS

SEAL & SIGNATURE 	DATE: AUGUST 11, 2023 PROJECT NO.: SCALE: AS SHOWN CHK. BY: EDUC. NO.: A-0.10b CADD: [ ] PLOT: [ ]
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① REAR LOOKING NORTHWEST



② REAR LOOKING NORTHEAST



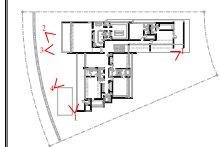
③ REAR LOOKING NORTH



④ REAR - LOOKING NORTHWEST

NOTES:

KEY PLAN



2	FINAL SUBMITTAL
1	FIRST SUBMITTAL
NO.	ISSUE DESCRIPTION
	DATE

PROJECT: PRIVATE RESIDENCE  
428 S HIBISCUS DRIVE  
MIAMI BEACH, FL 33139

SHEET TITLE: PHOTOS OF EXISTING CONDITIONS

SEAL & SIGNATURE  
DATE: AUGUST 11, 2023  
PROJECT No.:  
SCALE: AS SHOWN  
CHK. BY:  
DATE:  
A-0.10c  
CADD: [Signature] PLOT: No



NOTES:

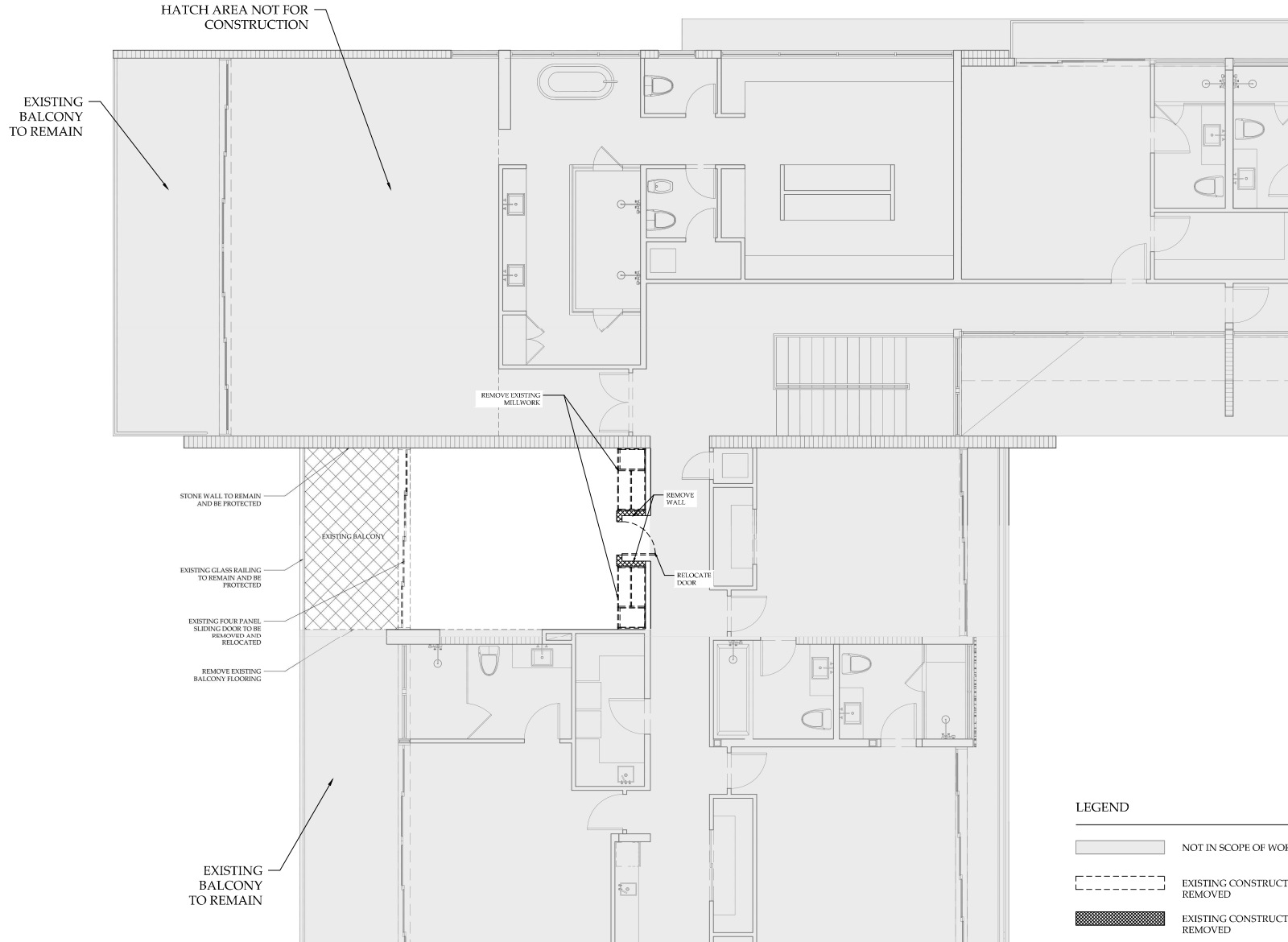
2	FINAL SUBMITTAL	10/11/2023
1	FIRST SUBMITTAL	09/18/2023
NO.	ISSUE DESCRIPTION	DATE

PROJECT: PRIVATE RESIDENCE  
428 S HIBISCUS DRIVE  
MIAMI BEACH, FL 33139

SHEET TITLE:  
DEMOLITION PLAN -  
SECOND FLOOR

SEAL & SIGNATURE  
STATE OF FLORIDA  
JAMES J. WORTH  
2023819  
REGISTERED ARCHITECT

DATE: AUGUST 11, 2023  
PROJECT NO.:  
SCALE: AS SHOWN  
CHK. BY:  
EDUC. NO.:  
A-1.01  
CADD: TPA/JS



1 DEMOLITION PLAN - SECOND FLOOR  
SCALE: 1/4" = 1'-0"

LEGEND

- NOT IN SCOPE OF WORK
- EXISTING CONSTRUCTION TO BE REMOVED
- EXISTING CONSTRUCTION TO BE REMOVED



NOTES:

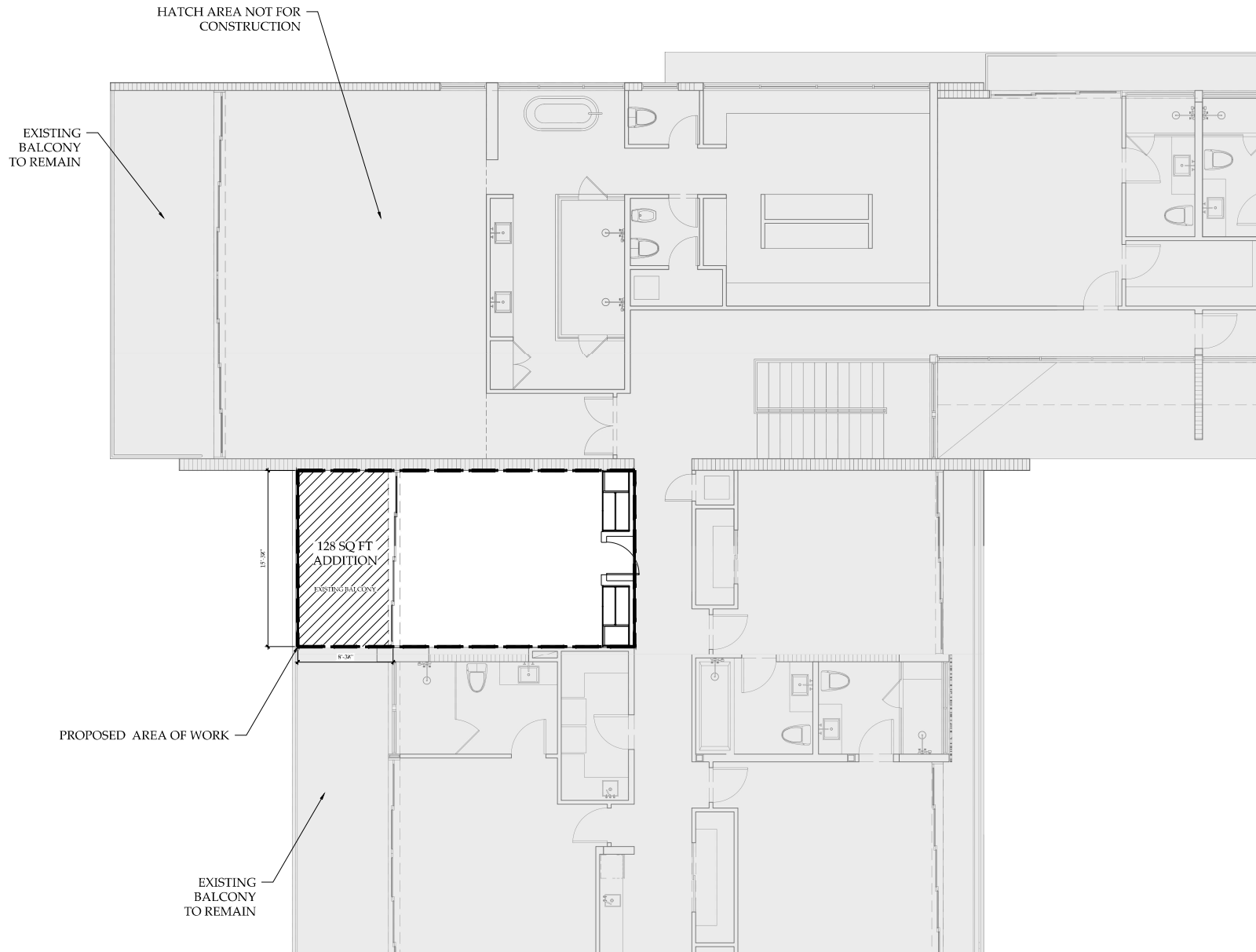
2	FINAL SUBMITTAL	10/11/2023
1	FIRST SUBMITTAL	09/18/2023
NO.	ISSUE DESCRIPTION	DATE

PROJECT:  
PRIVATE RESIDENCE  
428 S HIBISCUS DRIVE  
MIAMI BEACH, FL 33139

SHEET TITLE:  
EXISTING FLOOR PLAN -  
SECOND FLOOR

SEAL & SIGNATURE  
STATE OF FLORIDA  
JAMES M. WORTH  
ARCHITECT  
20238119

DATE: AUGUST 11, 2023  
PROJECT NO.:  
SCALE: AS SHOWN  
CHK. BY:  
DATE:  
A-1.00  
CADD: JMW  
PLOT: JMW



① EXISTING FLOOR PLAN - SECOND FLOOR  
SCALE: 1/4" = 1'-0"

NOTES:

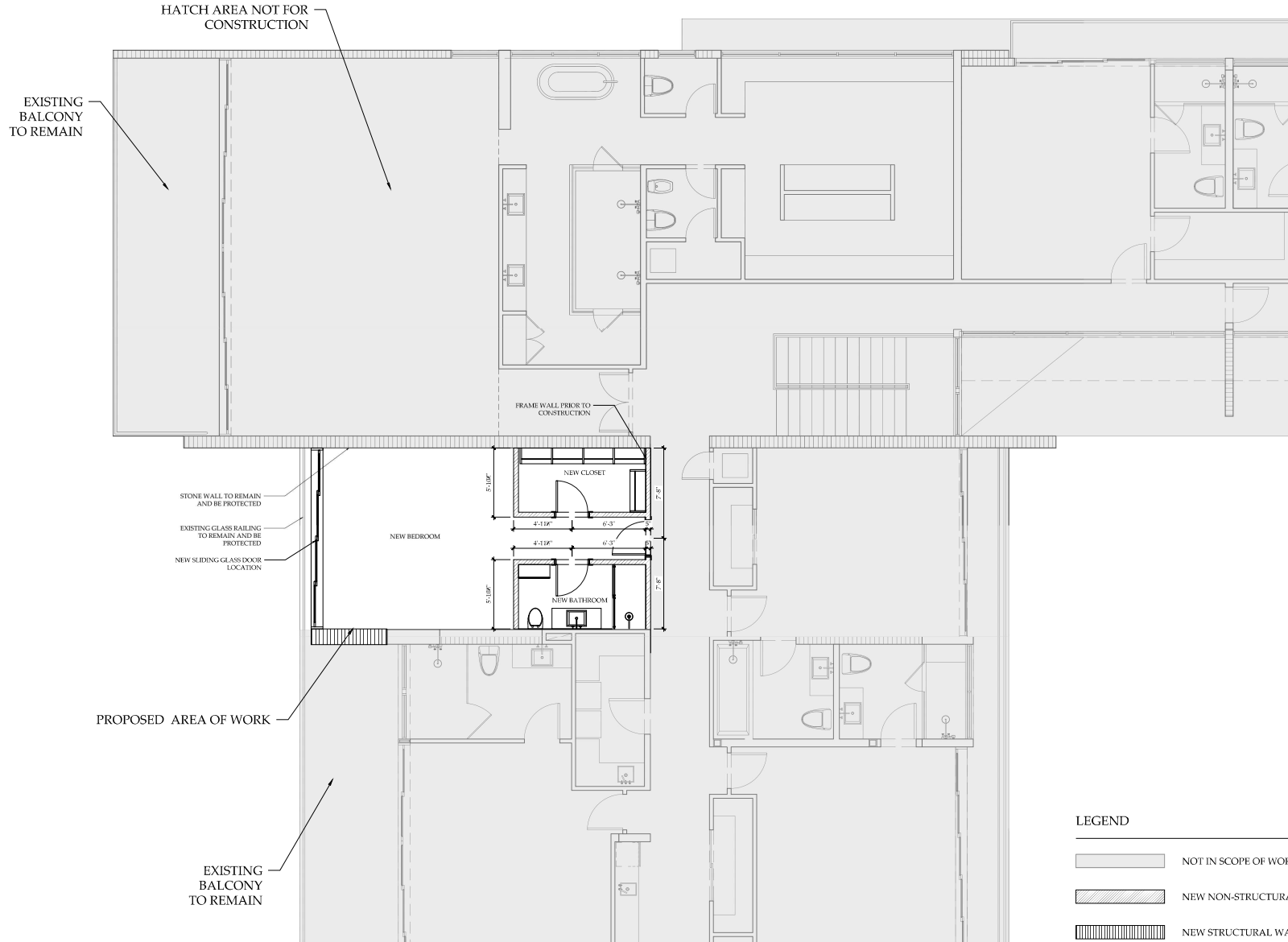
2	FINAL SUBMITTAL	10/11/2013
1	FIRST SUBMITTAL	09/16/2013
NO.	ISSUE DESCRIPTION	DATE

PROJECT:  
PRIVATE RESIDENCE  
428 S HIBISCUS DRIVE  
MIAMI BEACH, FL 33139

SHEET TITLE:  
PROPOSED FLOOR PLAN -  
SECOND FLOOR



DATE: AUGUST 21, 2013  
PROJECT NO.:  
SCALE: AS SHOWN  
CHK. BY:  
DATE:  
A-1.02  
CHECKED: P. W. NO.

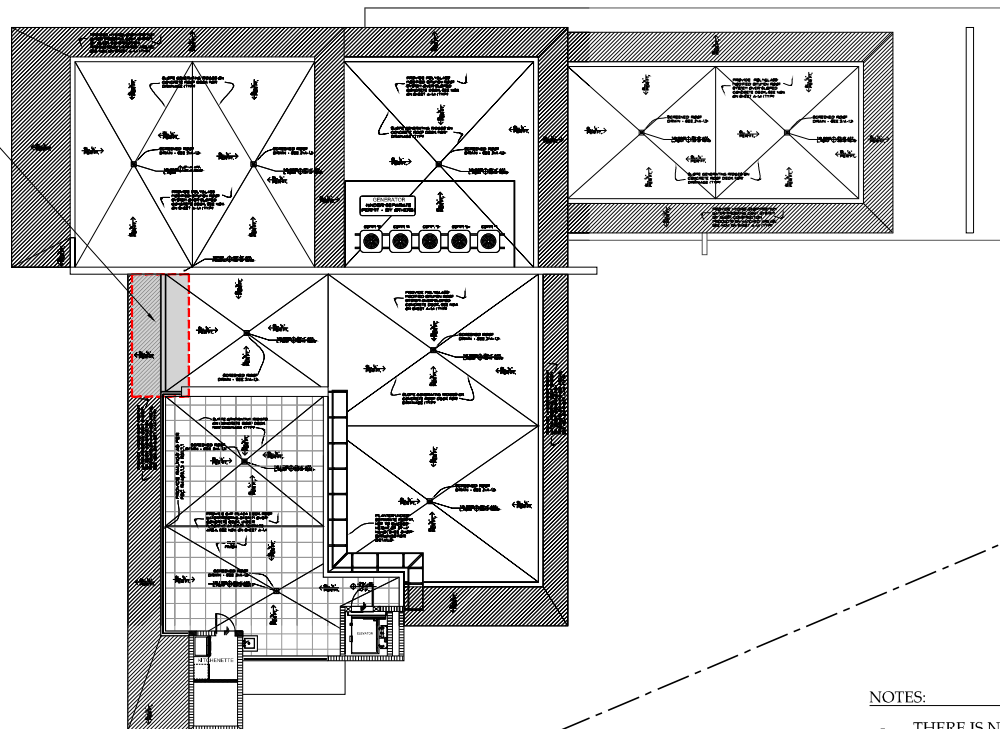


LEGEND

- NOT IN SCOPE OF WORK
- NEW NON-STRUCTURAL WALL
- NEW STRUCTURAL WALL

1 EXISTING FLOOR PLAN - SECOND FLOOR  
SCALE: 1/4" = 1'-0"

EXISTING SEAWALL



NOTES:

- THERE IS NO CHANGE PROPOSED TO THE EXISTING ROOF AS A PART OF THIS APPLICATION
- PROPOSED AREA OF WORK IS NOT VISIBLE FROM ABOVE
- PROPOSED AREA OF WORK IS NOT VISIBLE FROM THE PROPERTY TO THE WEST
- PROPOSED AREA OF WORK IS NOT VISIBLE FROM THE PROPERTY TO THE EAST

1 EXISTING ROOF PLAN  
SCALE 1/8" = 1'-0"



2	FINAL SUBMITTAL	10/11/2023
1	FIRST SUBMITTAL	09/15/2023
NO.	ISSUE DESCRIPTION	DATE

PROJECT:  
PRIVATE RESIDENCE  
428 S HIBISCUS DRIVE  
MIAMI BEACH, FL 33139

SHEET TITLE:

EXISTING ROOF PLAN



DATE: AUGUST 21, 2023

PROJECT No.: \_\_\_\_\_

SCALE: AS NOTED

CHK BY: \_\_\_\_\_

UTWC No.: \_\_\_\_\_

**A-1.03a**

CAD FILE: \_\_\_\_\_ P. 5 of 5





- THERE IS NO CHANGE PROPOSED TO THE EXISTING ROOF AS A PART OF THIS APPLICATION
- PROPOSED AREA OF WORK IS NOT VISIBLE FROM ABOVE
- PROPOSED AREA OF WORK IS NOT VISIBLE FROM THE PROPERTY TO THE WEST
- PROPOSED AREA OF WORK IS NOT VISIBLE FROM THE PROPERTY TO THE EAST

1 PROPOSED ROOF PLAN  
SCALE 1/8" = 1'-0"



2	FINAL SUBMITTAL	10/11/2023
1	FIRST SUBMITTAL	09/28/2023
NO	ISSUE DESCRIPTION	DATE

PROJECT:  
PRIVATE RESIDENCE  
428 S HIBISCUS DRIVE  
MIAMI BEACH, FL 33139

SHEET TITLE:

PROPOSED ROOF PLAN



DATE: AUGUST 21, 2023

PROJECT No.: \_\_\_\_\_

SCALE: AS NOTED

CHECK BY: \_\_\_\_\_

UPRC No.: \_\_\_\_\_

**A-1.03b**

CAD FILE: \_\_\_\_\_ UPRC No: \_\_\_\_\_


NOTES:

2	FINAL SUBMITTAL	07/12/23
1	FIRST SUBMITTAL	06/07/23
NO.	ISSUE DESCRIPTION	DATE

PROJECT:  
PRIVATE RESIDENCE  
428 S HIBISCUS DRIVE  
MIAMI BEACH, FL 33139

SHEET TITLE:  
EXISTING AND PROPOSED  
ELEVATIONS

SEAL & SIGNATURE



DATE: AUGUST 11, 2023

PROJECT NO.: \_\_\_\_\_

SCALE: AS SHOWN

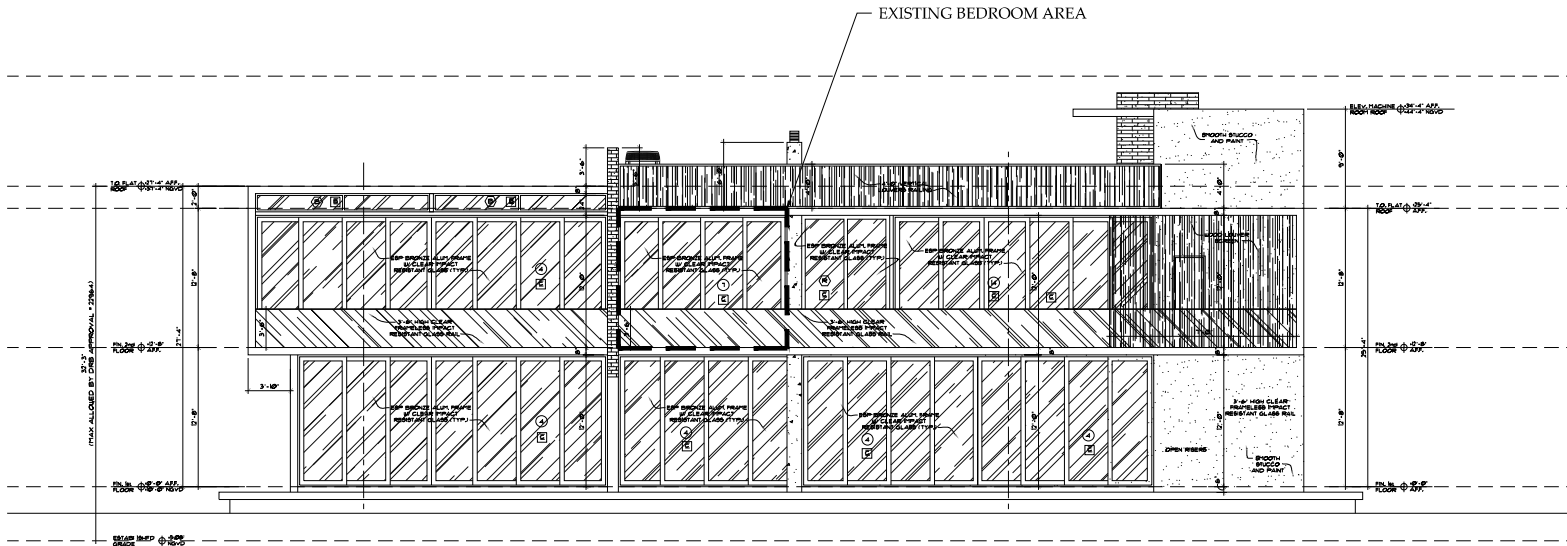
CHE. BY: \_\_\_\_\_

DATE: \_\_\_\_\_

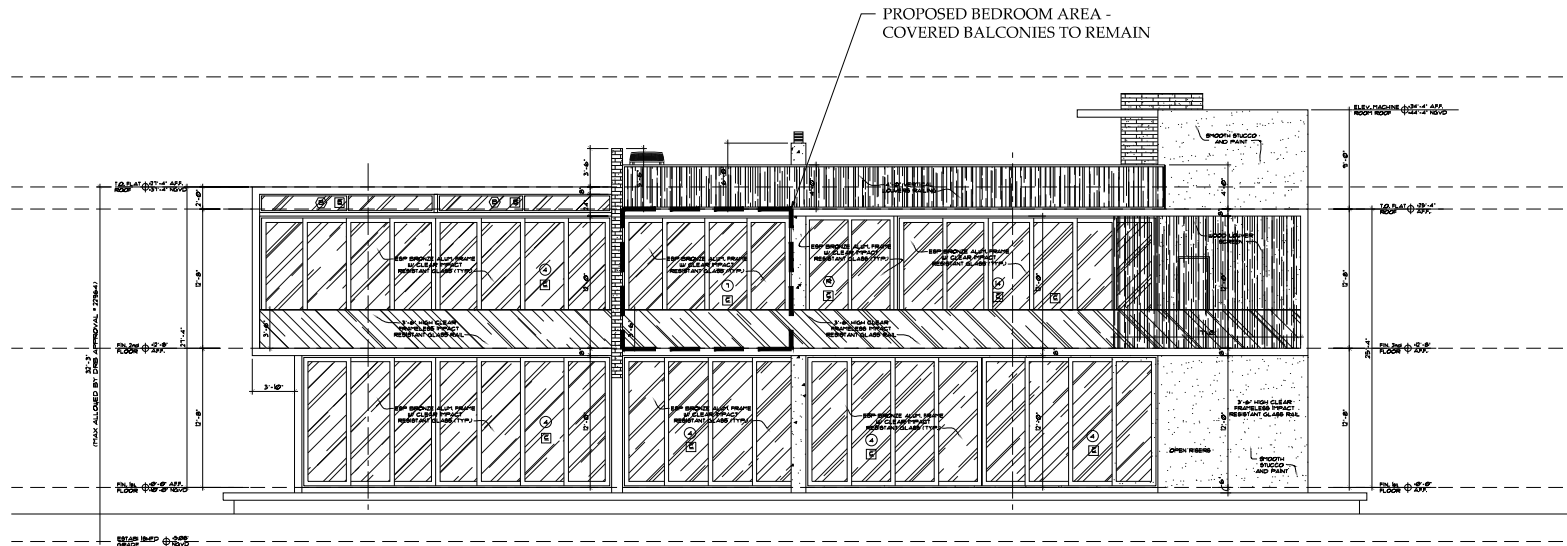
CHECKED: \_\_\_\_\_

DATE: \_\_\_\_\_

**A-2.00**



① EXISTING REAR ELEVATION  
SCALE: 3/16" = 1'-0"



② PROPOSED REAR ELEVATION  
SCALE: 3/16" = 1'-0"

NOTES:

2	FINAL SUBMITTAL
1	FIRST SUBMITTAL
NO.	ISSUE DESCRIPTION
	DATE

PROJECT:	PRIVATE RESIDENCE
	428 S HIBISCUS DRIVE
	MIAMI BEACH, FL 33139

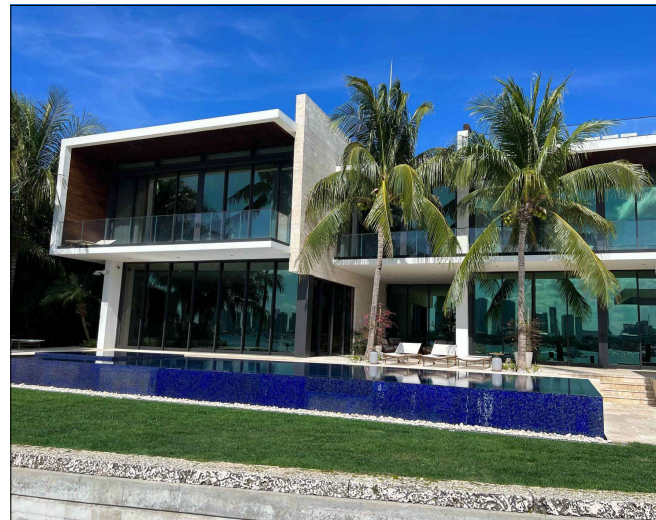
SHEET TITLE:	RENDERING
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SEAL & SIGNATURE STATE OF FLORIDA J. Worth ARCHITECT 2025819 REGISTERED ARCHITECT	DATE: AUGUST 11, 2023 PROJECT No.: SCALE: AS SHOWN CHK. BY: DATE: A-5.00 CADD: P.004 No.
--	--

AREA OF PROPOSED WORK



① REAR - LOOKING NORTH EXISTING



② REAR - LOOKING NORTH PROPOSED

NOTES:

- THERE IS NO CHANGE PROPOSED TO THE EXISTING ROOF AS A PART OF THIS APPLICATION
- PROPOSED AREA OF WORK IS NOT VISIBLE FROM ABOVE
- PROPOSED AREA OF WORK IS NOT VISIBLE FROM THE PROPERTY TO THE WEST
- PROPOSED AREA OF WORK IS NOT VISIBLE FROM THE PROPERTY TO THE EAST





# Thank You

200 S. Biscayne Boulevard  
Suite 300, Miami, FL 33131

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NOTE: INFORMATION NOTED BELOW WAS TAKEN FROM SURVEY DRAWINGS DATED OCTOBER 10, 2023 PREPARED BY MARTINEZ AND MARTINEZ ENTERPRISES INC.

NOTES:

PROJECT:  
PRIVATE RESIDENCE  
428 S HIBISCUS DRIVE  
MIAMI BEACH, FL 33139

SHEET TITLE: \_\_\_\_\_

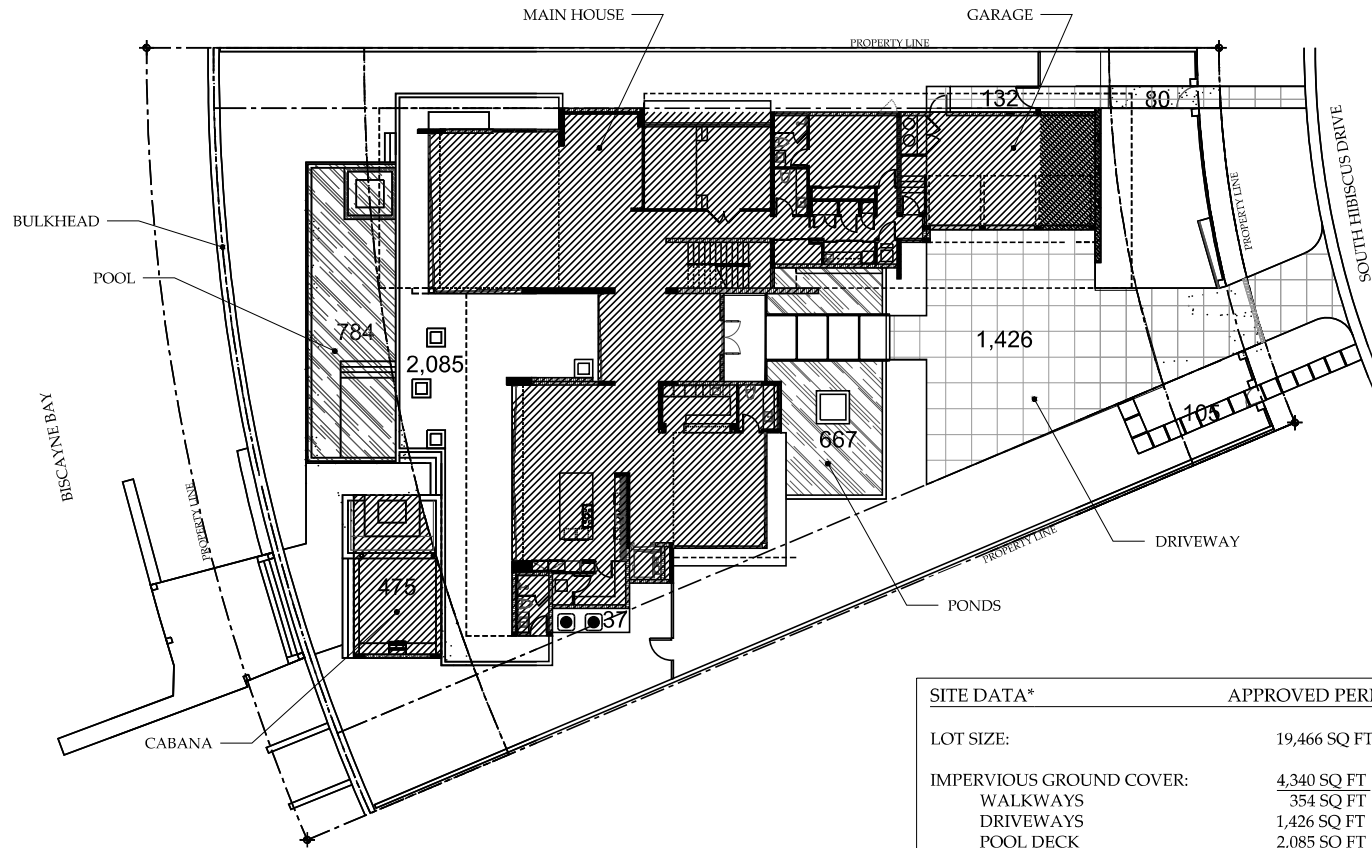
LOT AREA DIAGRAM





# SITE DATA

APPROVED PERMIT 2014



① SITE AREA - DRB# 22964  
SCALE:  $\frac{3}{32}$ " = 1'-0"

SITE DATA*		APPROVED PERMIT 2014
LOT SIZE:		19,466 SQ FT
IMPERVIOUS GROUND COVER:		4,340 SQ FT
WALKWAYS		354 SQ FT
DRIVEWAYS		1,426 SQ FT
POOL DECK		2,085 SQ FT
CABANA		475 SQ FT
WATER FEATURES:		1,451 SQ FT
POOL		784 SQ FT
PONDS		667 SQ FT
LANDSCAPE AREA:		7,874 SQ FT

\*NOTE: DATA TAKEN FROM CHOEFF+LEVY P.A.  
DRAWING A-1.0 REV1 DATED 03/28/2014

**MADISON WORTH**  
**ARCHITECTURE, P.C.**  
405 Madison Avenue, Suite 300, New York, NY 10017 - Tel: 212.203.5261  
125 North Avenue, Suite 300, Palm Beach, FL 33480 - Tel: 561.833.5262

NOTES:

1	FINAL SUBMITTAL	03/11/2013
2	FIRST SUBMITTAL	06/07/2012
3	ISSUE DESCRIPTION	DATE

PROJECT: PRIVATE RESIDENCE  
428 S HIBISCUS DRIVE  
MIAMI BEACH, FL 33139

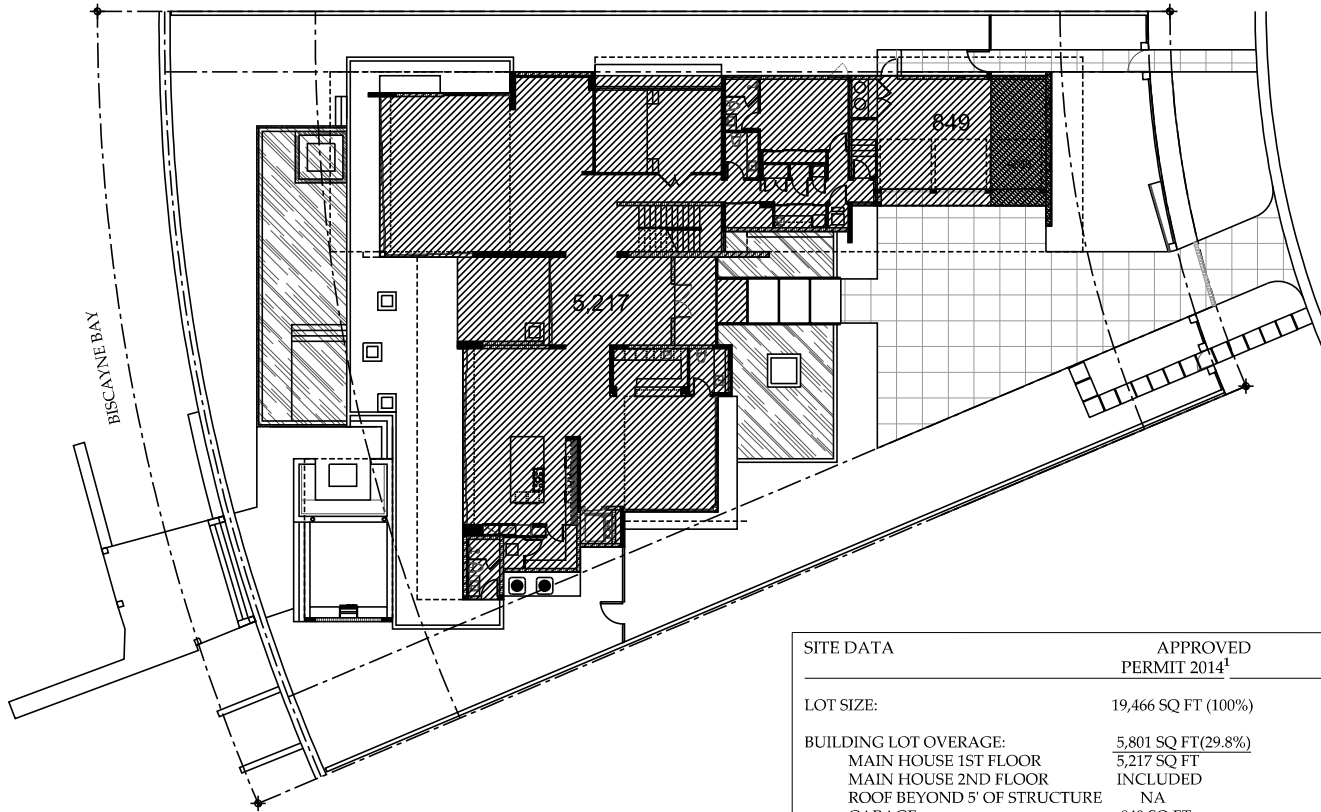
SHEET TITLE: SITE AREAS - CURRENT

SEAL & SIGNATURE 	DATE: AUGUST 21, 2013 DRAWN BY: [Signature] SCALE: AS NOTED CHECK BY: [Signature] PROJECT: A-0.05a SHEET: 01 OF 01
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# SITE DATA COMPARISON

DBR# 22964 VS CURRENT CODE



① BUILDING AREA PER DBR# 22964  
SCALE: 3/32" = 1'-0"

SITE DATA	APPROVED PERMIT 2014 <sup>1</sup>	CURRENT CODE <sup>2</sup>	PROPOSED
LOT SIZE:	19,466 SQ FT (100%)	19,933 SQ FT (100%) <sup>3</sup>	19,933 SQ FT (100%)
BUILDING LOT OVERAGE:	5,801 SQ FT (29.8%)	6,262 SQ FT (31.4%)	6,334 SQ FT (31.8%)
MAIN HOUSE 1ST FLOOR	5,217 SQ FT	4,744 SQ FT	4,744 SQ FT
MAIN HOUSE 2ND FLOOR	INCLUDED	666 SQ FT	794 SQ FT
ROOF BEYOND 5' OF STRUCTURE	NA	321 SQ FT	265 SQ FT
GARAGE	849 SQ FT	766 SQ FT	766 SQ FT
GARAGE CREDIT	-265 SQ FT	-235 SQ FT	-235 SQ FT
IMPERVIOUS GROUND COVER:	4,340 SQ FT (22.3%)	4,480 SQ FT (22.5%)	4,480 SQ FT (22.5%)
WALKWAYS	354 SQ FT	354 SQ FT	354 SQ FT
DRIVEWAYS	1,426 SQ FT	1,426 SQ FT	1,426 SQ FT
POOL DECK	2,085 SQ FT	2,985 SQ FT	2,985 SQ FT
CABANA	475 SQ FT	475 SQ FT	475 SQ FT
BULKHEAD <sup>4</sup>	NA	140 SQ FT	140 SQ FT
WATER FEATURES:	1,451 SQ FT (7.4%)	1,451 SQ FT (7.3%)	1,451 SQ FT (7.3%)
POOL	784 SQ FT	784 SQ FT	784 SQ FT
PONDS	667 SQ FT	667 SQ FT	667 SQ FT
LANDSCAPE AREA:	7,874 SQ FT (40.5%)	7,762 SQ FT (38.9%)	7,690 SQ FT (38.5%)

1. DATA TAKEN FROM CHOEFF+LEVY P.A. DRAWING A-1.0 REV1 DATED 03/28/2014
2. CURRENT SQ FT TAKEN FROM CAD FILES OF EXISTING CONDITIONS; CANNOT ACCOUNT FOR SLIGHT DIFFERENCES FROM APPROVED PERMIT 2014
3. LOT AREA PER MARTINEZ & MARTINEZ ENTERPRISES, INC. SURVEY DATED 10/10/2023
4. LOT AREA SEAWARD OF BULKHEAD(SEAWALL) TO PROPERTY LINE IS NOT ACCOUNTED AS LOT AREA

**MADISON WORTH  
ARCHITECTURE, DPC**


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NOTES:

2	FINAL SUBMITTAL	03/11/2023
1	FIRST SUBMITTAL	06/06/2023
NO.1	ISSUE DESCRIPTION	DATE

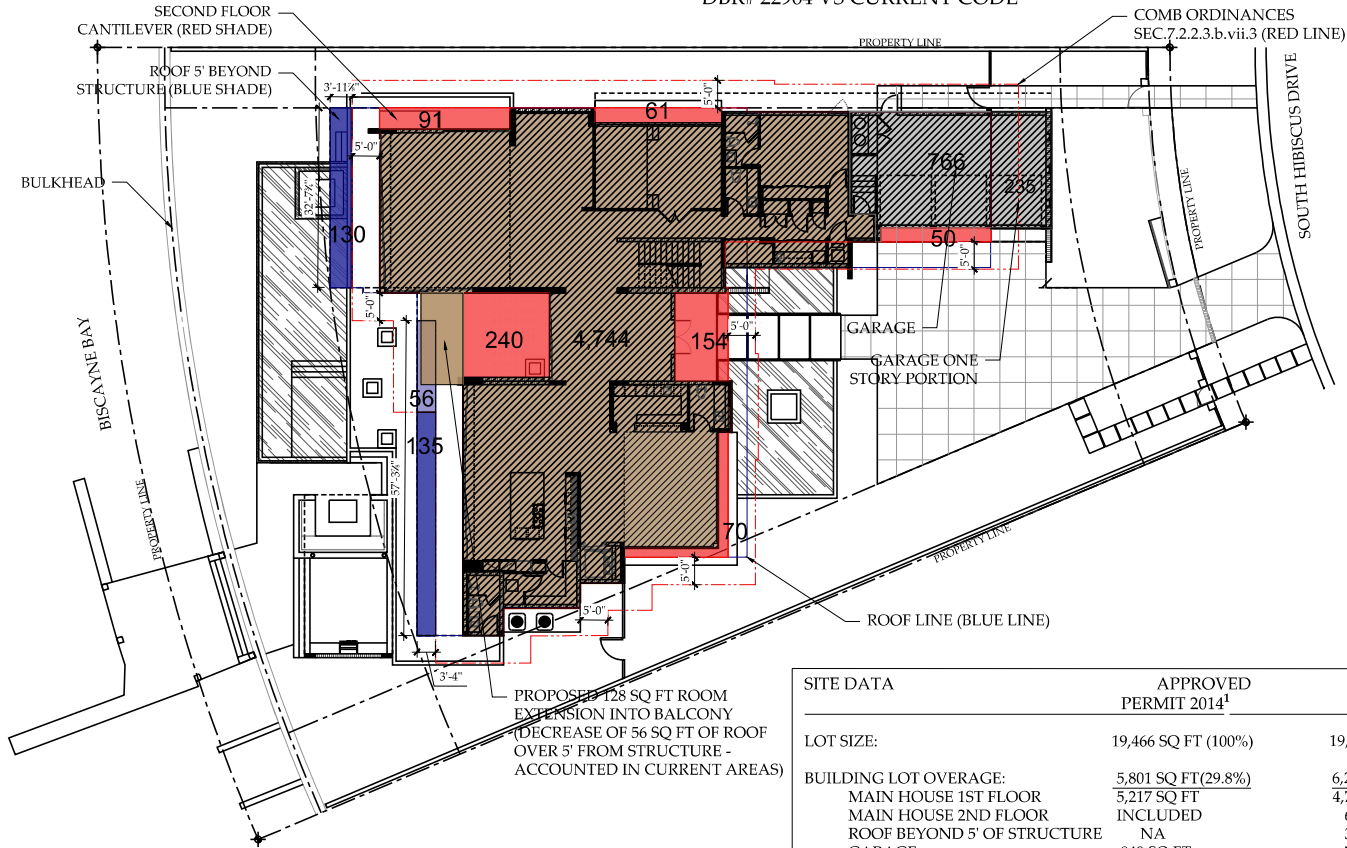
PROJECT:  
PRIVATE RESIDENCE  
428 S HIBISCUS DRIVE  
MIAMI BEACH, FL 33139

SHEET TITLE:  
PROPERTY AREAS -  
ORIGINAL, CURRENT,  
PROPOSED

SEAL & SIGNATURE 	DATE: AUGUST 21, 2023 PROJECT NO.: SCALE: AS SHOWN CER. BY: CER. NO.: CHECKED: [ ] DATE: [ ] A-0.05b
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# SITE DATA COMPARISON

DBR# 22964 VS CURRENT CODE



① BUILDING AREA - CURRENT  
SCALE: 3/32" = 1'-0"

SITE DATA	APPROVED PERMIT 2014 <sup>1</sup>	CURRENT CODE <sup>2</sup>	PROPOSED
LOT SIZE:	19,466 SQ FT (100%)	19,933 SQ FT (100%) <sup>3</sup>	19,933 SQ FT (100%)
BUILDING LOT COVERAGE:	5,801 SQ FT (29.8%)	6,262 SQ FT (31.4%)	6,334 SQ FT (31.8%)
MAIN HOUSE 1ST FLOOR	5,217 SQ FT	4,744 SQ FT	4,744 SQ FT
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GARAGE	849 SQ FT	766 SQ FT	766 SQ FT
GARAGE CREDIT	-265 SQ FT	-235 SQ FT	-235 SQ FT
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WALKWAYS	354 SQ FT	354 SQ FT	354 SQ FT
DRIVEWAYS	1,426 SQ FT	1,426 SQ FT	1,426 SQ FT
POOL DECK	2,085 SQ FT	2,985 SQ FT	2,985 SQ FT
CABANA	475 SQ FT	475 SQ FT	475 SQ FT
BULKHEAD <sup>4</sup>	NA	140 SQ FT	140 SQ FT
WATER FEATURES:	1,451 SQ FT (7.4%)	1,451 SQ FT (7.3%)	1,451 SQ FT (7.3%)
POOL	784 SQ FT	784 SQ FT	784 SQ FT
PONDS	667 SQ FT	667 SQ FT	667 SQ FT
LANDSCAPE AREA:	7,874 SQ FT (40.5%)	7,762 SQ FT (38.9%)	7,690 SQ FT (38.5%)

1. DATA TAKEN FROM CHOEFF+LEVY P.A. DRAWING A-1.0 REV1 DATED 03/28/2014
2. CURRENT SQ FT TAKEN FROM CAD FILES OF EXISTING CONDITIONS; CANNOT ACCOUNT FOR SLIGHT DIFFERENCES FROM APPROVED PERMIT 2014
3. LOT AREA PER MARTINEZ & MARTINEZ ENTERPRISES, INC. SURVEY DATED 10/10/2023
4. LOT AREA SEAWARD OF BULKHEAD(SEAWALL) TO PROPERTY LINE IS NOT ACCOUNTED AS LOT AREA

**MADISON WORTH  
ARCHITECTURE, DPC**  
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175 Worth Avenue, Suite 306, Palm Beach, FL 33480 - Tel: 561.833.3242

NOTES:

2	FINAL SUBMITTAL	06/11/2023
1	FIRST SUBMITTAL	06/08/2023
NOI	ISSUE DESCRIPTION	DATE

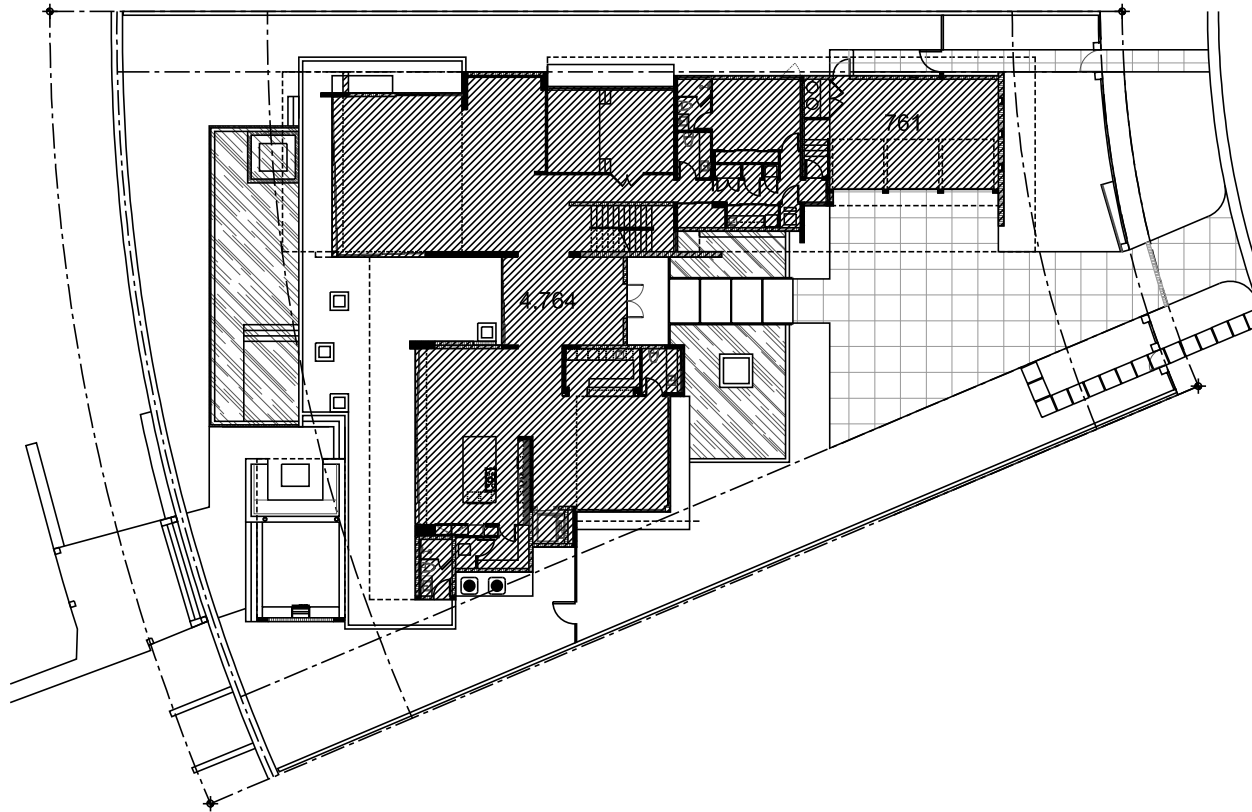
PROJECT:  
PRIVATE RESIDENCE  
428 S HIBISCUS DRIVE  
MIAMI BEACH, FL 33139

SHEET TITLE:  
PROPERTY AREAS -  
ORIGINAL, CURRENT,  
PROPOSED

SEAL & SIGNATURE  
STATE OF FLORIDA  
JULIAN M. WORTH  
ARCHITECT  
2023819  
DATE: AUGUST 21, 2023  
PROJECT NO.:  
SCALE: AS SHOWN  
CER. BY:  
DATE:  
A-0.05c  
CITY: PALM BEACH

# BUILDING DATA COMPARISON

APPROVED PERMIT 2014 VS CURRENT CODE



① 1ST FLOOR AREA - PERMIT 2014  
SCALE: 3/32" = 1'-0"



BUILDING DATA	APPROVED PERMIT 2014 <sup>1</sup>	EXISTING CURRENT CODE <sup>2</sup>	PROPOSED
LOT SIZE:	19,466 SQ FT	19,933 SQ FT <sup>3</sup>	19,933 SQ FT
BUILDING INTERIORS:	10,974 SQ FT	10,864 SQ FT	10,992 SQ FT
MAIN HOUSE 1ST FLOOR	4,764 SQ FT	4,744 SQ FT	4,744 SQ FT
MAIN HOUSE 2ND FLOOR	5,684 SQ FT	5,854 SQ FT	5,854 SQ FT
GARAGE	761 SQ FT	766 SQ FT	766 SQ FT
GARAGE CREDIT	-235 SQ FT	-500 SQ FT	-500 SQ FT
PROPOSED BALCONY EXTENSION			128 SQ FT
UNIT SIZE/LOT SIZE:	56.4 %	54.5 %	55.1%

1. DATA TAKEN FROM CHOEFF+LEVY P.A. DRAWING A-1.0 REV1 DATED 03/28/2014
2. CURRENT SQ FT TAKEN FROM CAD FILES OF EXISTING CONDITIONS;  
CANNOT ACCOUNT FOR SLIGHT DIFFERENCES FROM APPROVED PERMIT 2014
3. LOT AREA PER MARTINEZ & MARTINEZ ENTERPRISES, INC. SURVEY DATED 10/10/2023

**MADISON WORTH  
ARCHITECTURE, DPC**  
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NOTES:

2	FINAL SUBMITTAL	10/11/2023
1	FIRST SUBMITTAL	06/04/2023
NOI	ISSUE DESCRIPTION	DATE

PROJECT:  
PRIVATE RESIDENCE  
428 S HIBISCUS DRIVE  
MIAMI BEACH, FL 33139

SHEET TITLE:  
BUILDING AREAS -  
ORIGINAL, CURRENT,  
PROPOSED

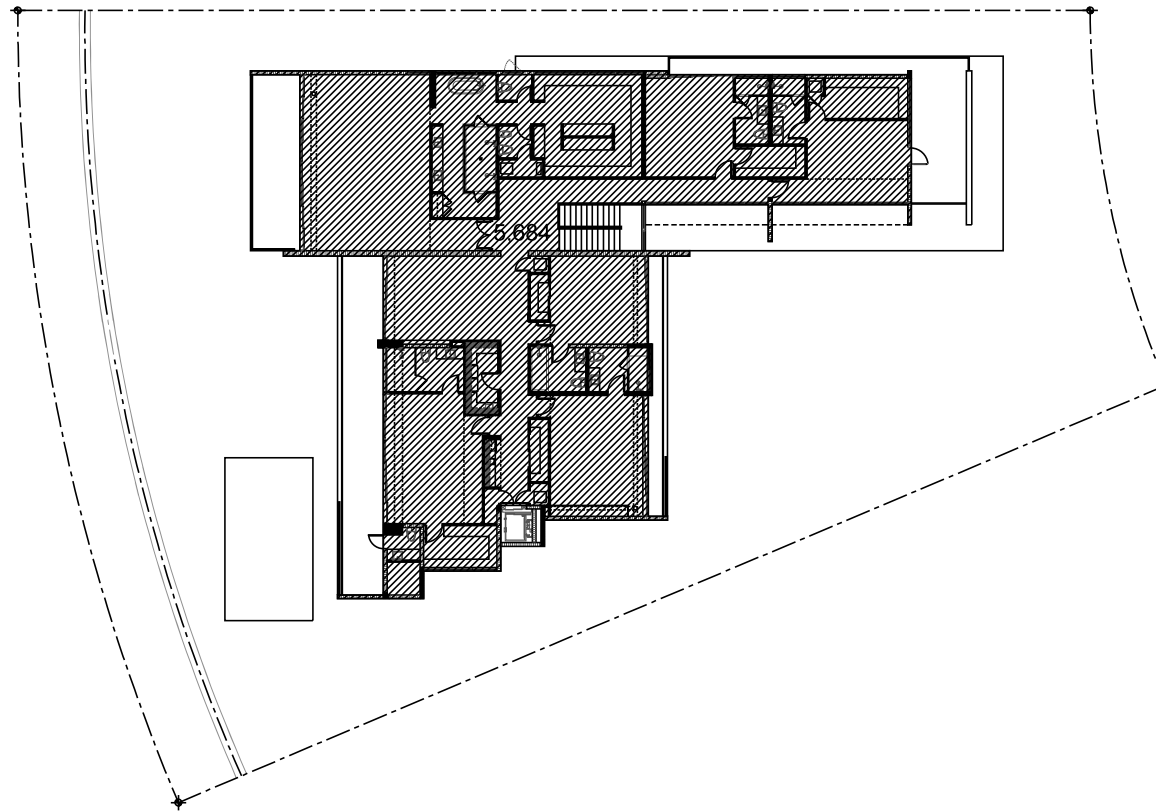
SEAL & SIGNATURE  
STATE OF FLORIDA  
ARCHITECT  
MADISON WORTH  
0005819  
EXPIRES 06/30/2025

DATE: AUGUST 21, 2023  
PROJECT NO.:  
SCALE: AS SHOWN  
CER. NO.:  
A-0.05d  
CHECKED: TAD No



# BUILDING DATA COMPARISON

APPROVED PERMIT 2014 VS CURRENT CODE



① 2ND FLOOR AREA - PERMIT 2014  
SCALE: 3/32" = 1'-0"



BUILDING DATA	APPROVED PERMIT 2014 <sup>1</sup>	EXISTING CURRENT CODE <sup>2</sup>	PROPOSED
LOT SIZE:	19,466 SQ FT	19,933 SQ FT <sup>3</sup>	19,933 SQ FT
BUILDING INTERIORS:	10,974 SQ FT	10,864 SQ FT	10,992 SQ FT
MAIN HOUSE 1ST FLOOR	4,764 SQ FT	4,744 SQ FT	4,744 SQ FT
MAIN HOUSE 2ND FLOOR	5,684 SQ FT	5,854 SQ FT	5,854 SQ FT
GARAGE	761 SQ FT	766 SQ FT	766 SQ FT
GARAGE CREDIT	-235 SQ FT	-500 SQ FT	-500 SQ FT
PROPOSED BALCONY EXTENSION			128 SQ FT
UNIT SIZE/LOT SIZE:	56.4 %	54.5 %	55.1 %

1. DATA TAKEN FROM CHOEFF+LEVY P.A. DRAWING A-1.0 REV1 DATED 03/28/2014
2. CURRENT SQ FT TAKEN FROM CAD FILES OF EXISTING CONDITIONS;  
CANNOT ACCOUNT FOR SLIGHT DIFFERENCES FROM APPROVED PERMIT 2014
3. LOT AREA PER MARTINEZ & MARTINEZ ENTERPRISES, INC. SURVEY DATED 10/10/2023

**MADISON WORTH  
ARCHITECTURE, DPC**  
865 Madison Avenue, Suite 250, New York, NY 10022 - Tel: 212.335.3243  
175 Worth Avenue, Suite 306, Palm Beach, FL 33480 - Tel: 561.833.3242

NOTES:

2	FINAL SUBMITTAL	10/11/2023
1	FIRST SUBMITTAL	06/04/2023
NOI	ISSUE DESCRIPTION	DATE

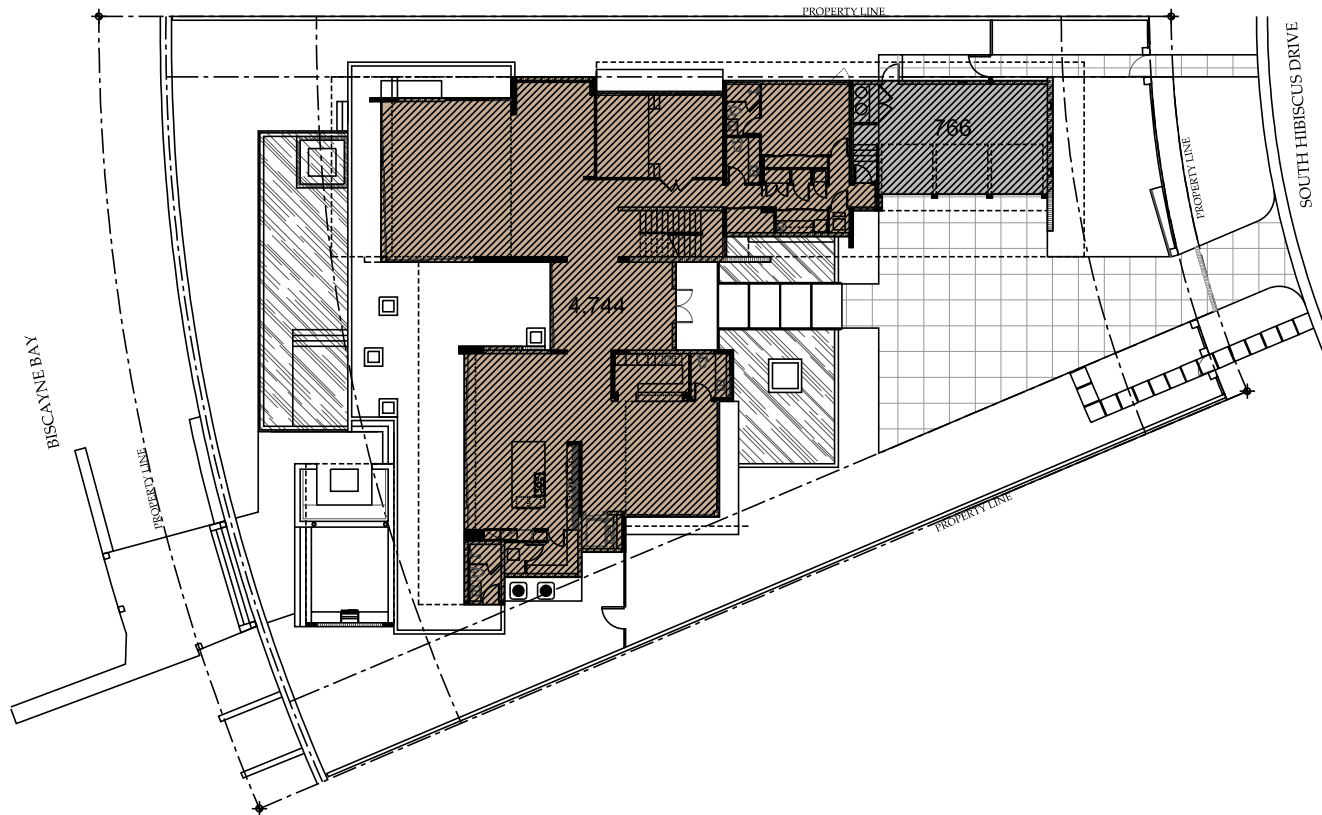
PROJECT:  
PRIVATE RESIDENCE  
428 S HIBISCUS DRIVE  
MIAMI BEACH, FL 33139

SHEET TITLE:  
BUILDING AREAS -  
ORIGINAL, CURRENT,  
PROPOSED

SEAL & SIGNATURE  
MADISON WORTH  
ARCHITECTURE, DPC  
DATE: AUGUST 21, 2023  
PROJECT NO.:  
SCALE: AS SHOWN  
SHEET NO.:  
A-0.05e  
CUTTER: [ ] PLOT NO: [ ]

# BUILDING DATA COMPARISON

APPROVED PERMIT 2014 VS CURRENT CODE



① 1ST FLOOR AREA - CURRENT  
SCALE: 3/32" = 1'-0"



BUILDING DATA	APPROVED PERMIT 2014 <sup>1</sup>	EXISTING CURRENT CODE <sup>2</sup>	PROPOSED
LOT SIZE:	19,466 SQ FT	19,933 SQ FT <sup>3</sup>	19,933 SQ FT
BUILDING INTERIORS:	10,974 SQ FT	10,864 SQ FT	10,992 SQ FT
MAIN HOUSE 1ST FLOOR	4,764 SQ FT	4,744 SQ FT	4,744 SQ FT
MAIN HOUSE 2ND FLOOR	5,684 SQ FT	5,854 SQ FT	5,854 SQ FT
GARAGE	761 SQ FT	766 SQ FT	766 SQ FT
GARAGE CREDIT	-235 SQ FT	-500 SQ FT	-500 SQ FT
PROPOSED BALCONY EXTENSION			128 SQ FT
UNIT SIZE/LOT SIZE:	56.4 %	54.5 %	55.1%

1. DATA TAKEN FROM CHOFFET-LEVY P.A. DRAWING A-1.0 REV1 DATED 03/28/2014
2. CURRENT SQ FT TAKEN FROM CAD FILES OF EXISTING CONDITIONS;  
CANNOT ACCOUNT FOR SLIGHT DIFFERENCES FROM APPROVED PERMIT 2014
3. LOT AREA PER MARTINEZ & MARTINEZ ENTERPRISES, INC. SURVEY DATED 10/10/2023

**MADISON WORTH  
ARCHITECTURE, P.C.**  
865 Madison Avenue, Suite 201, New York, NY 10022 - Tel: 212.335.3241  
175 Worth Avenue, Suite 306, Palm Beach, FL 33480 - Tel: 561.833.3242

NOTES:

2	FINAL SUBMITTAL	10/11/2023
1	FIRST SUBMITTAL	06/04/2023
NO.	ISSUE DESCRIPTION	DATE

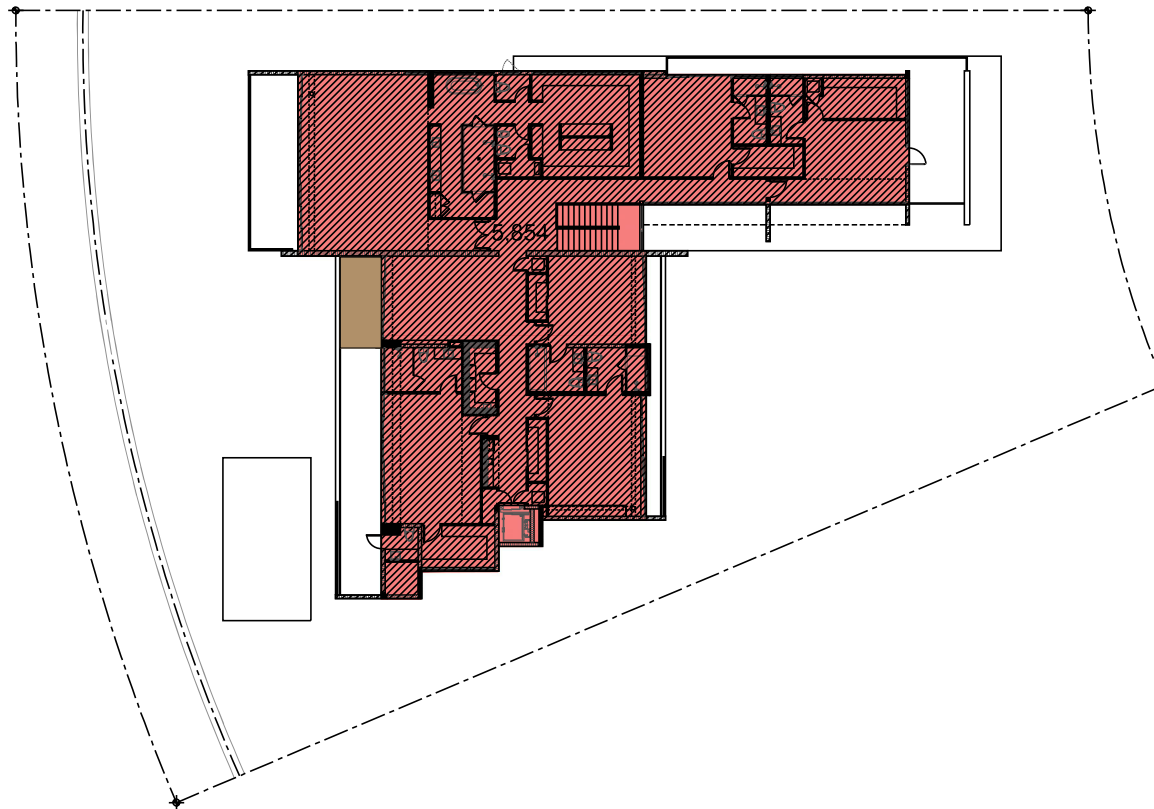
PROJECT:  
PRIVATE RESIDENCE  
428 S HIBISCUS DRIVE  
MIAMI BEACH, FL 33139

SHEET TITLE:  
BUILDING AREAS -  
ORIGINAL, CURRENT,  
PROPOSED

SEAL & SIGNATURE  
MADISON WORTH  
ARCHITECTURE, P.C.  
DATE: AUG 05 2023  
PROJECT NO.:  
SCALE: AS SHOWN  
SHEET NO.:  
A-0.05f  
CITY: MIAMI BEACH, FL 33139

# BUILDING DATA COMPARISON

APPROVED PERMIT 2014 VS CURRENT CODE



① 2ND FLOOR AREA - CURRENT  
SCALE: 3/32" = 1'-0"



BUILDING DATA	APPROVED PERMIT 2014 <sup>1</sup>	EXISTING CURRENT CODE <sup>2</sup>	PROPOSED
LOT SIZE:	19,466 SQ FT	19,933 SQ FT <sup>3</sup>	19,933 SQ FT
BUILDING INTERIORS:	10,974 SQ FT	10,864 SQ FT	10,992 SQ FT
MAIN HOUSE 1ST FLOOR	4,764 SQ FT	4,744 SQ FT	4,744 SQ FT
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GARAGE	761 SQ FT	766 SQ FT	766 SQ FT
GARAGE CREDIT	-235 SQ FT	-500 SQ FT	-500 SQ FT
PROPOSED BALCONY EXTENSION			128 SQ FT
UNIT SIZE/LOT SIZE:	56.4 %	54.5 %	55.1 %

1. DATA TAKEN FROM CHOFFET-LEVY P.A. DRAWING A-1.0 REV1 DATED 03/28/2014
2. CURRENT SQ FT TAKEN FROM CAD FILES OF EXISTING CONDITIONS;  
CANNOT ACCOUNT FOR SLIGHT DIFFERENCES FROM APPROVED PERMIT 2014
3. LOT AREA PER MARTINEZ & MARTINEZ ENTERPRISES, INC. SURVEY DATED 10/10/2023

**MADISON WORTH  
ARCHITECTURE, DPC**  
865 Madison Avenue, Suite 201, New York, NY 10022 - Tel: 212.335.3241  
175 Worth Avenue, Suite 306, Palm Beach, FL 33480 - Tel: 561.833.3242

NOTES:

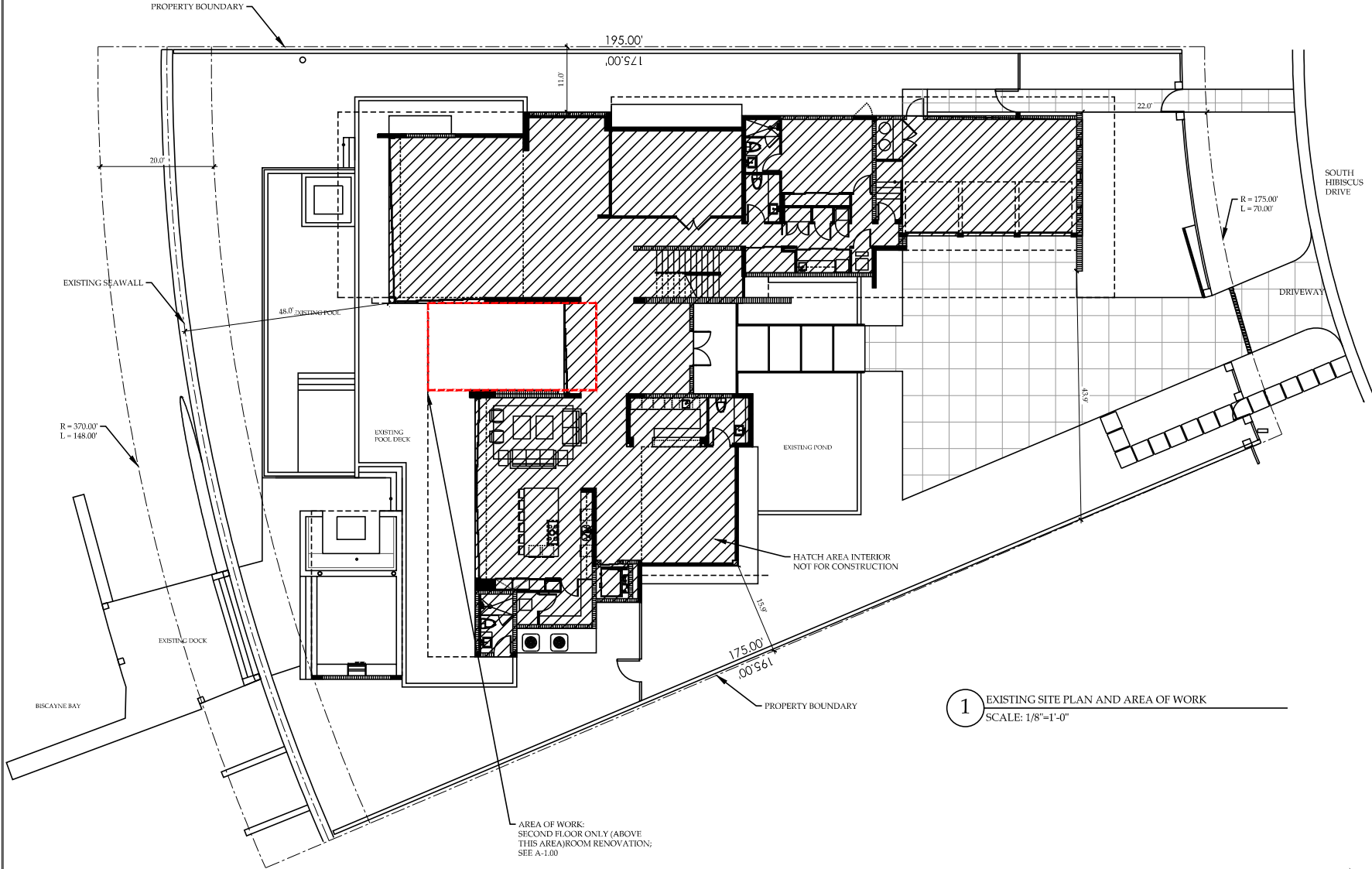
2	FINAL SUBMITTAL	10/1/2023
1	FIRST SUBMITTAL	06/04/2023
NCD	ISSUE DESCRIPTION	DATE

PROJECT:  
PRIVATE RESIDENCE  
428 S HIBISCUS DRIVE  
MIAMI BEACH, FL 33139

SHEET TITLE:  
BUILDING AREAS -  
ORIGINAL, CURRENT,  
PROPOSED

SEAL & SIGNATURE  
MADISON WORTH  
ARCHITECTURE, DPC  
DATE: AUGUST 21, 2023  
PROJECT NO.:  
SCALE: AS SHOWN  
CER. NO.:  
A-0.05g  
CITY/STATE: FLA/NO

NOTES:



2	FINAL SUBMITTAL	10/1/2023
1	FIRST SUBMITTAL	09/04/2023
N/A	ISSUE DESCRIPTION	DATE

PROJECT: PRIVATE RESIDENCE  
428 S HIBISCUS DRIVE  
MIAMI BEACH, FL 33139

SHEET TITLE: EXISTING SITE PLAN &  
AREA OF WORK

SEAL & SIGNATURE

DATE: AUG/SE 21, 2023

PROJECT NO.: \_\_\_\_\_

SCALE: AS SHOWN

CHECK BY: \_\_\_\_\_

DATE: \_\_\_\_\_

**A-0.20**

CHECKED: \_\_\_\_\_







ALL INFORMATION REQUIRED BELOW MUST BE SUBMITTED AS REQUESTED. THE FORMAT OF THIS DOCUMENT MAY NOT BE MODIFIED OR ALTERED IN ANY WAY. SUBMITTALS FOUND INSUFFICIENT OR INCOMPLETE MAY FAIL THE REVIEW

**Notes:** Indicate N/A if not applicable.

**MADISON WORTH  
ARCHITECTURE, DPC**  
485 Madison Avenue, Suite 200, New York, NY 10022 - Tel. 212.355.3261  
125 Worth Avenue, Suite 306, Palm Beach, FL 33480 - Tel. 561.833.3242

NOTES:

2	FINAL SUBMITTAL	10/11/2023
1	FIRST SUBMITTAL	09/18/2023
NO.	ISSUE DESCRIPTION	DATE

PROJECT: PRIVATE RESIDENCE  
428 S HIBISCUS DRIVE  
MIAMI BEACH, FL 33139

SHEET TITLE:

ZONING DATA SHEET



DATE: AUGUST 21, 2023  
PROJECT No.:  
SCALE: AS NOTED  
CHK. BY:  
DWG No.:  
**A-0.40**

November 29, 2023

**Design Review Board Members**

c/o Michael Belush, Planning & Design Officer  
Planning Department  
City of Miami Beach  
1700 Convention Center Drive, 2nd Floor  
Miami Beach, Florida 33139

Re: **DRB23-0958** – Modification of DRB File No. 22964 – Request for Two Variances for  
Minor Addition at the Property Located at 428 S. Hibiscus

**Letter of Support**

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Dear Board Members:

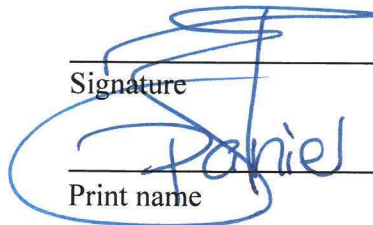
I am the owner of 420 S. Hibiscus Dr., Miami Beach, Florida, which is in close proximity or abutting the above-referenced property. I had the opportunity to speak with the applicant's team to review plans, renderings and design requests for the proposed modification to renovate and add a small amount of livable area to the center of the second-floor of the existing single-family home for the family. The existing home is beautifully-designed and well-kept. The minor addition will not be visible, and therefore will have no impact.

Based on the foregoing, I fully support the applicant's modification to DRB File. No 22964 and ask the Design Review Board to grant the proposed minimal variances from the unit size and lot coverage requirements so this family may continue to use this great home.

Sincerely,

Signature

Print name

  
Daniel Kotsi