

- DEMOLITION NOTES:**
- INTERIOR PARTITIONS SHALL BE REMOVED AND DISPOSED AS INDICATED ON THIS PLAN & LEGEND.
 - CONTRACTOR SHALL PATCH AND REPAIR DRYWALL CEILING THAT IS EXISTING TO REMAIN.
 - EXISTING DOORS, DOOR FRAMES & HARDWARE SHALL BE REMOVED. (UNLESS OTHERWISE NOTED)
 - THE CONTRACTOR SHALL FURNISH ALL LABOR MATERIALS & EQUIPMENT TO DISCONNECT, DISMANTLE, REMOVE & SALVAGE IN THE DISPOSITION OF DEMOLITION IN EXISTING SPACE.
 - CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PREVENT DAMAGE TO EXISTING STRUCTURE OR EQUIPMENT CAUSED BY THIS OPERATION AND SHALL NOT INTERFERE WITH EXISTING STRUCTURE SYSTEM.
 - UPON COMPLETION OF DEMOLITION, THE ENTIRE AREA SHALL BE CLEANED OF ALL DEBRIS AND PREPARED FOR NEW CONSTRUCTION.
 - EXISTING CONDITIONS NOT SHOWN ON THIS PLAN SHALL BE REVIEWED WITH DESIGNER OR CLIENT TO REMOVE.
 - THE CONTRACTOR SHALL PROVIDE ALL NECESSARY BARRICADES AND SAFETY BARRIERS AS REQUIRED BY WORK, CONTRACTOR TO PROVIDE DUST CONTROL MEASURES.
 - WHERE EXISTING TILE FLOOR IS TO BE REMOVED, CONTRACTOR SHALL PREPARE SLAB TO BE LEVEL & SMOOTH, READY TO RECEIVE NEW FINISH.
 - CONTRACTOR SHALL REMOVE AS INDICATED FINISH PLAN, SURFACE SHALL BE PREPARED TO RECEIVE NEW FINISHES.
 - CONTRACTOR SHALL LOCATE, IDENTIFY, STUB-OFF AND DISCONNECT UTILITY SERVICES THAT ARE NOT INDICATED TO REMAIN. FILL SLAB WITH SAME FIRE RATED INTEGRITY. REMOVE ALL ELECTRICAL WIRE, J-BOXES, HOOKUPS, ETC., IN EXISTING PARTITIONS AND TIE-OFF AT SOURCE. REMOVE AND PLUG WATER LINES AT SOURCE, (ONLY IF SO DENOTED)
 - ALL ITEMS OF SALVAGEABLE VALUE, AS DETERMINED BY THE OWNER, SHALL BE CAREFULLY REMOVED, CLEANED, STORED AND TURNED OVER TO THE BUILDING MANAGER, CONTRACTOR TO OBTAIN A RECEIPT. THESE ITEMS SHALL BE STORED FOR THE BUILDING IN AN AREA DESIGNATED BY THE BUILDING MANAGER.
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 - CONTRACTOR SHALL COORDINATE WORK WITH OTHER TRADES AND SHALL PROTECT THE BUILDING STRUCTURE AND ALL EXISTING MATERIAL AND EQUIPMENT NOT SCHEDULED FOR DEMOLITION.
 - CONTRACTOR SHALL COORDINATE TO ENSURE UTILITY SYSTEMS REMAIN IN OPERATION AS NEEDED TO ACCOMMODATE DEMOLITION ACTIVITIES. COORDINATE INTERRUPTIONS TO UTILITIES WITH THE OWNER'S REPRESENTATIVE AND ARCHITECT.
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WALL LEGEND

	EXISTING CONCRETE MASONRY WALL
	PROPOSED CONCRETE MASONRY WALL
	EXISTING STANDARD INTERIOR DRYWALL PARTITION
	PROPOSED STANDARD INTERIOR DRYWALL PARTITION
	EXISTING TO BE DEMOLISHED

DEMOLITION GROUND FLOOR PLAN 1/8"=1'-0"

NORTH



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jumbdsarchitect@gmail.com



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Juan E Berry

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Juan E Berry
Date: 2024.05.20
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PRIVATE RESIDENCE RENOVATION

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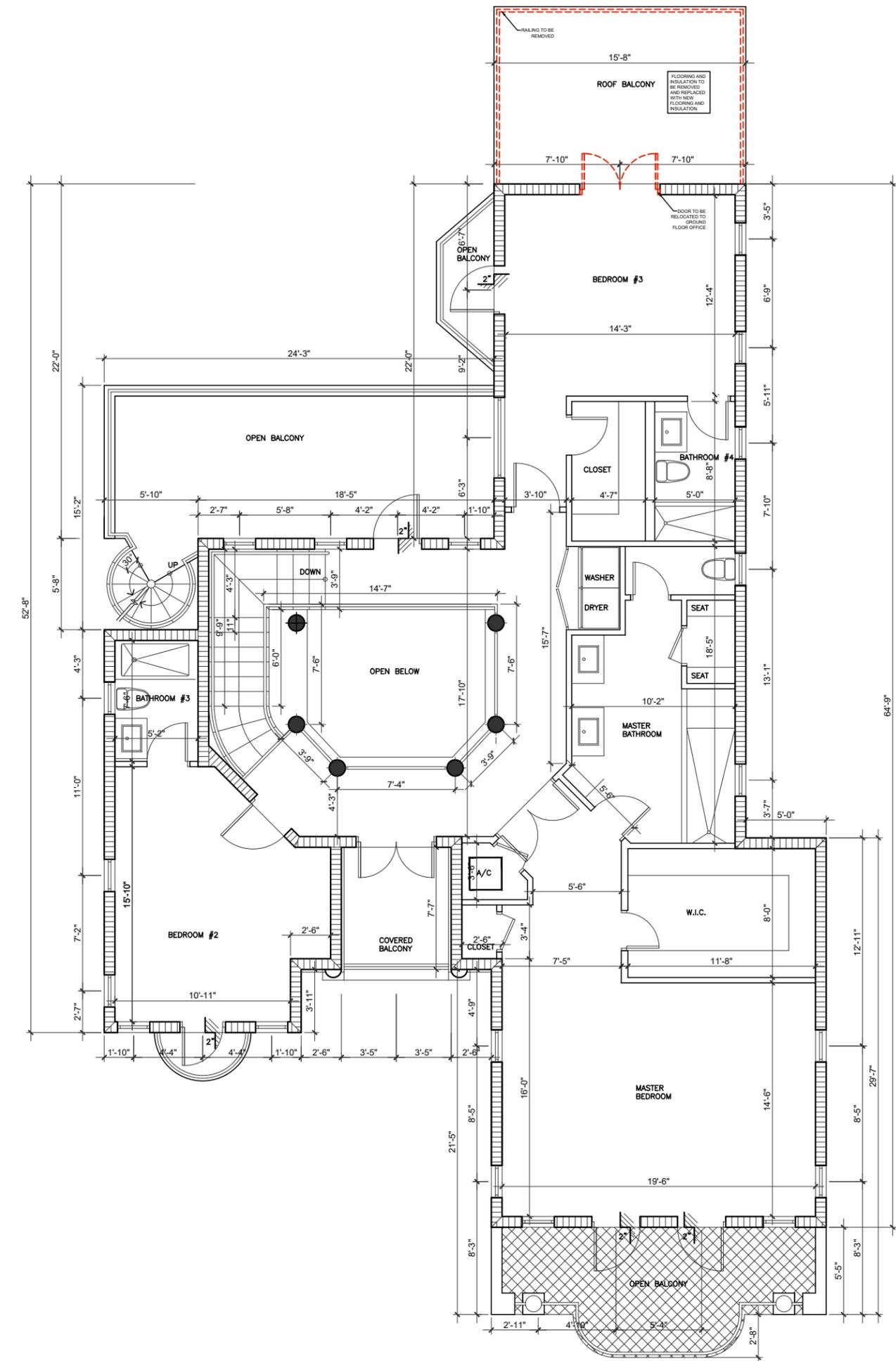
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PROJECT NO.
2131
DATE
10/28/2021
REVISIONS

SHEET NO

A-10



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DEMOLITION SECOND FLOOR PLAN 1/8"=1'-0"



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PRIVATE RESIDENCE RENOVATION
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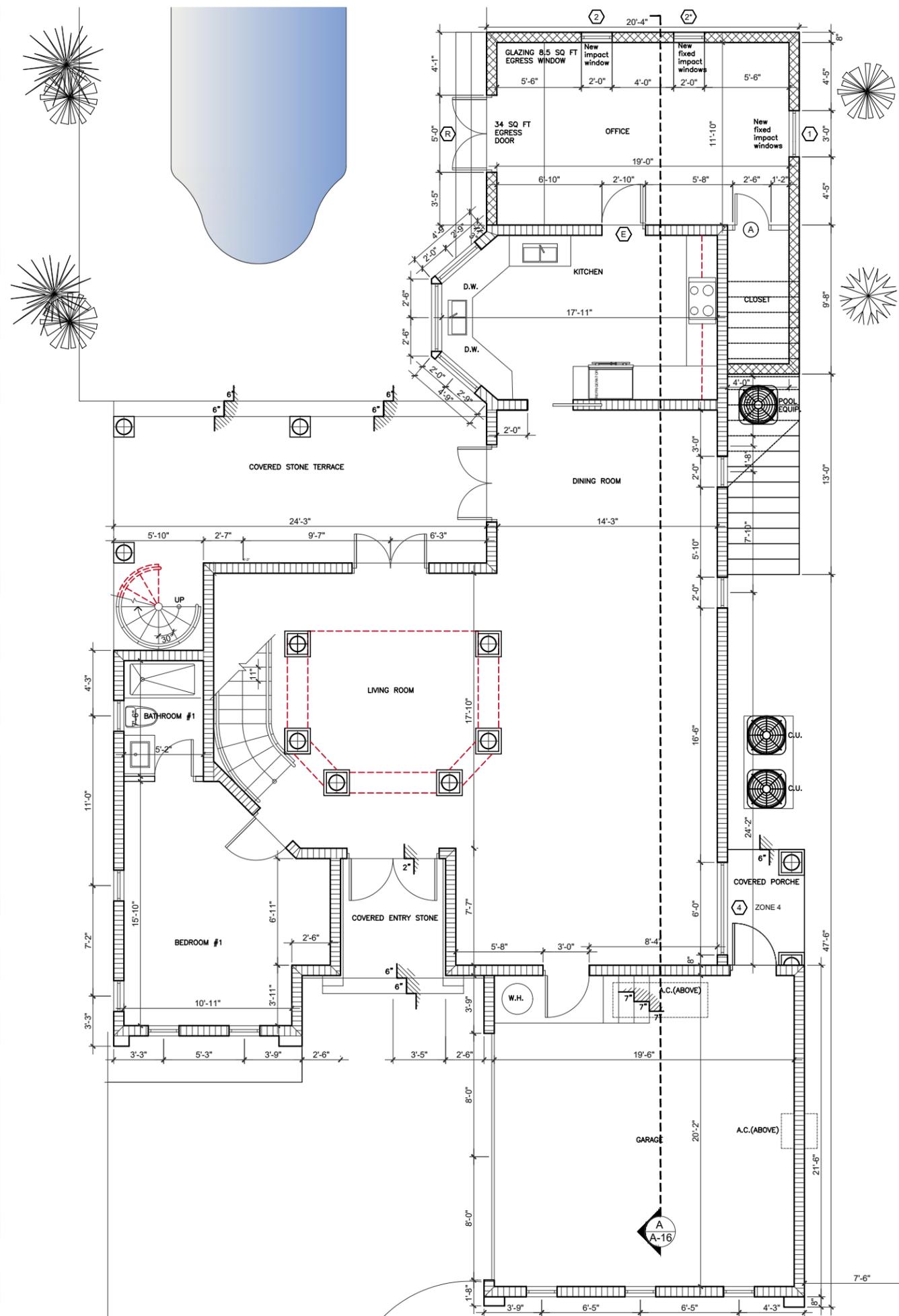
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PROJECT NO.
2131
DATE
10/28/2021
REVISIONS

SHEET NO

A-11



GENERAL NOTES :

All work should be in accordance with the requirements of the actual Florida 2020 7th edition building code, zoning requirements and other applicable municipal requirements.

Before performing any work or ordering any materials, the contractor shall verify all dimensions and conditions of any existing and new work and shall be responsible for their accuracy. Any differences found shall be submitted to architect or engineer for verification before proceeding with the work.

The general contractor shall be held to have examined the site with respect to all existing field conditions and to have fully examined the complete set of architectural drawings as prepared by others, and shall be responsible for the condition and insertion of this drawing set, as is included as part of the original drawing set.

The general contractor shall locate all general reference points and take ordinary precautions to prevent their disruption. Each prime subcontractor shall be responsible for layout of his own work and shall be required of and for his work. He shall be responsible for all lines, elevations, measurements, and others as may be required of and for his work. He shall be responsible for verifying all figures and details shown on the drawings which relate to his work, prior to laying out the work. He shall be held responsible for any error resulting from his failure to take such precautions.

Divisions of the work for subcontracting purposes shall be as per the general contractor's direction.

It shall be the responsibility of all subcontractors to have examined and reviewed the complete set of working drawings, and /or specifications and to provide labor and material for their respective area of work for a complete and finished installation in compliance with the intent of the drawing and / or specifications, whether it is indicated or not. All work, whether indicated or not, shall be in compliance with all building codes and ordinances which are applicable to the project.

Subcontractors shall cooperate with each other and with the general contractor to provide materials and labor that are necessary in each other's work at the proper times so that the construction schedule is not affected. These interfacings shall be the responsibility of the subcontractors whose work is affected as such. All work shall be performed by qualified contractors in strict accordance with manufacturer's specifications.

Product manufactures indicated in schedule and /or on plans were selected based upon quality, style, size, color, etc. and are not intended to restrict competitive bidding. Products "equal to" intended to be used as substitutes are subject to architect's approval in writing prior to product purchase and installation.

This drawing package is based on documents, specifications and related information provided by owner and or owner's agent.

The design information indicated on these plans is intended to be a complete and workable systems in accordance with all products manufactures' specifications, existing and / or proposed, building design, field conditions, etc.

Architect shall be notified prior to start-up of construction, should existing conditions vary from drawings by greater than 1".

The general contractor or subcontractors shall be held responsible for the removal and disposal of materials and items commonly referred to as "debris" or determined by the remove all specific items indicated on drawings, also remove any other item or construction architect to be refuse.

The general contractor shall have made all required provisions for the removal of debris from the site, having charges, dumping fees, etc., in his original bid submission.

The general contractor shall provide and install signage, barricades, fencings, lighting, etc. as required for the prevention of personal injuries to the owners, its employees, representatives, clientele, or others within the area of construction.

Protection devices to be installed shall comply with the requirements of all local, state and national governing codes. The general contractor shall take ordinary precautions to prevent their disruption during the course of work.

General contractor shall take ordinary precautions to secure and protect materials to be relocated or warehoused as determined by the owner.

Prior to the start of any work, contractor shall secure all permits, licenses, utility connections confirmations, governmental approvals, etc. All prime permits, impact fees and any other special condition that arise beyond the normal scope of the project shall be paid by owner unless stated in the construction contract.

All new finishes (wall ceiling/floor/trim/decor), are to comply with FBCB Chapter 8, for flame spread and smoke development classification.

All new wood backing to be fire rated.

1/2 Inch maximum thresholds or floor transitions inside the unit. FBCB 1010.1.5& 13.

Habitable spaces shall have ceiling height of 7 feet minimum FBCB 1208.2-EXC 4

Contractor to provide sound insulation with a min STC of 50 in partition walls of dwellings/sleeping unit separation or against public or service areas in compliances with FCBC 1207.2

Contractor to reinforce all vanity walls as required for wall hung cabinets.

WALL LEGEND

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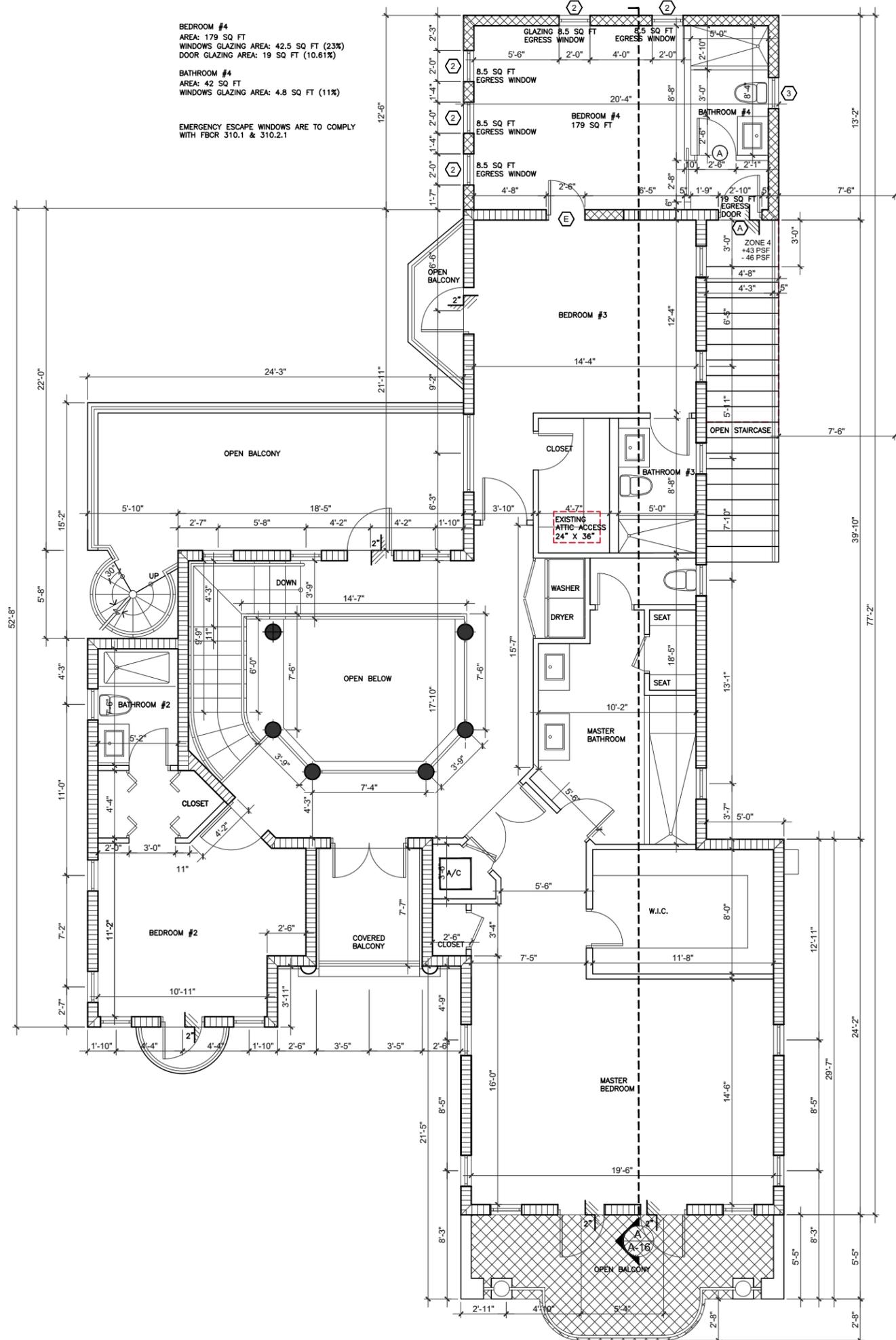
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PROJECT NO. 2131
DATE 10/28/2021
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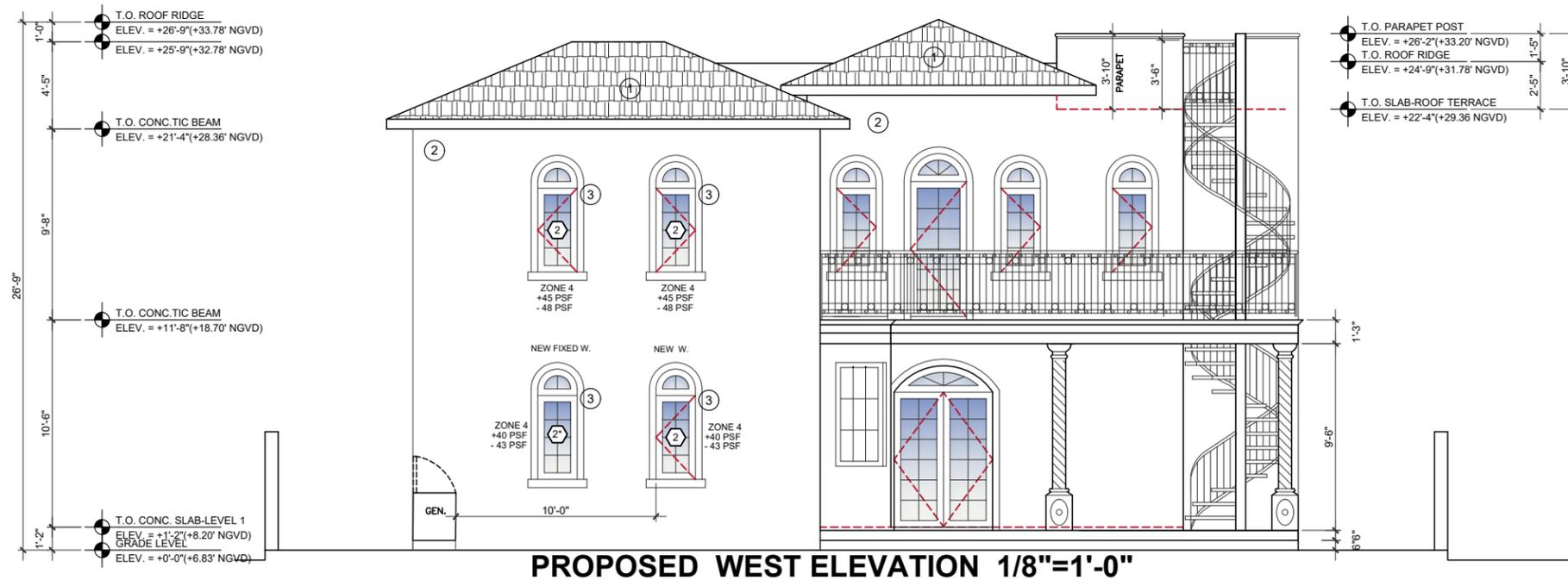
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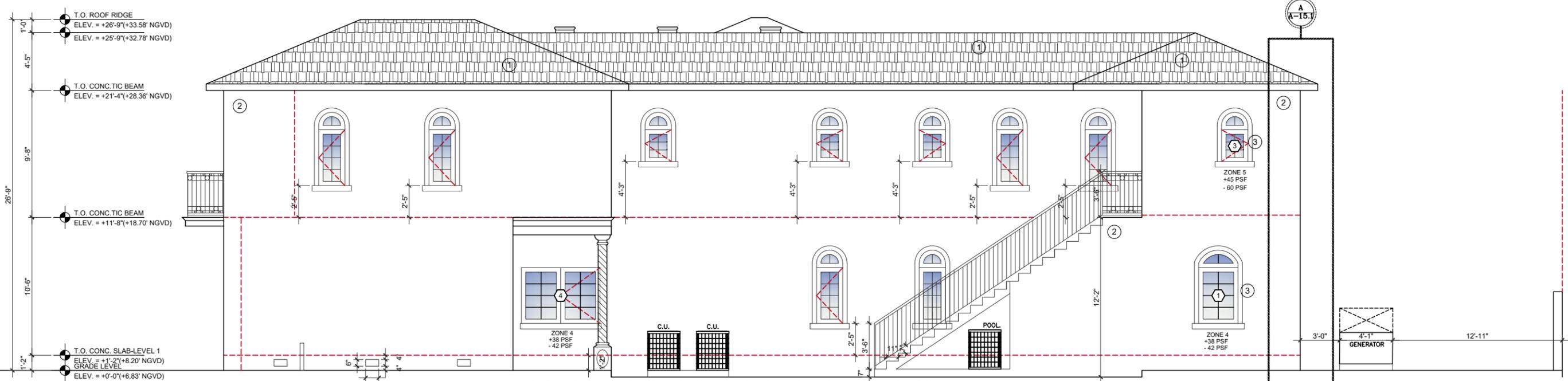
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 2131
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SHEET NO

A-13



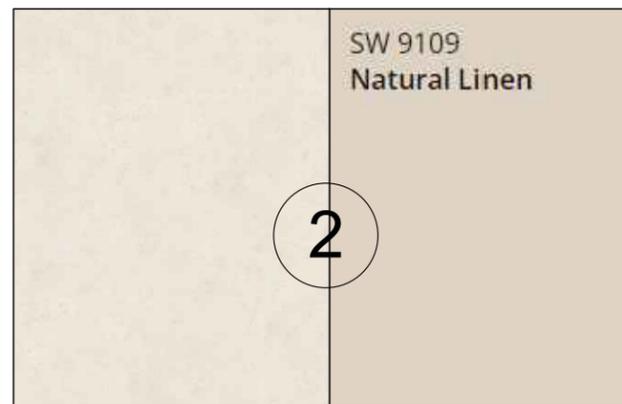
PROPOSED WEST ELEVATION 1/8"=1'-0"



PROPOSED NORTH ELEVATION 1/8"=1'-0"



ROOF TILE TO MATCH EXISTING



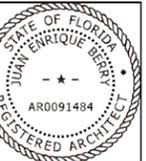
STUCCO + APPROVED COLOR PAINT TO MATCH EXISTING



PROPOSED WINDOWS TO MATCH EXISTING



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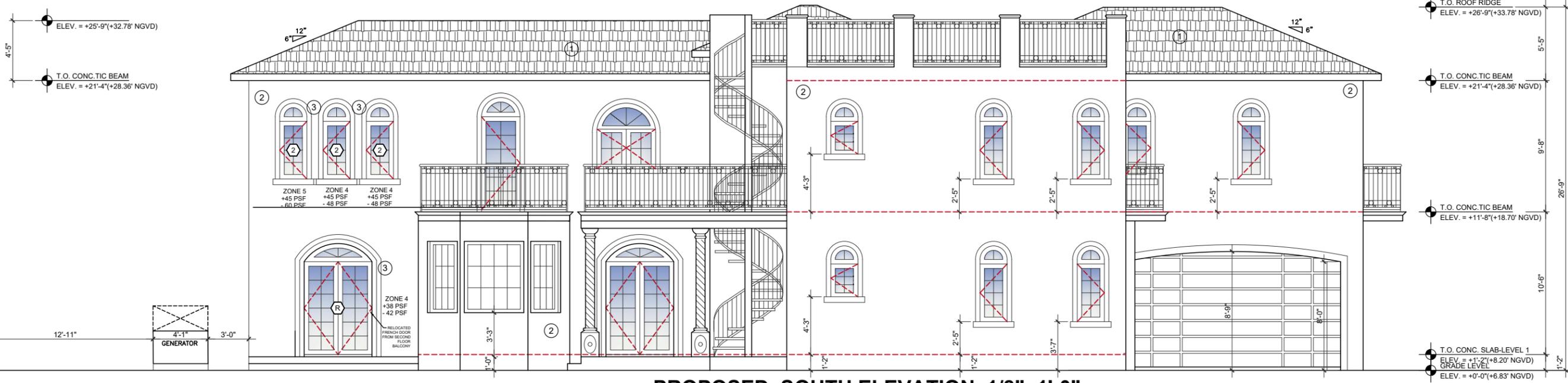
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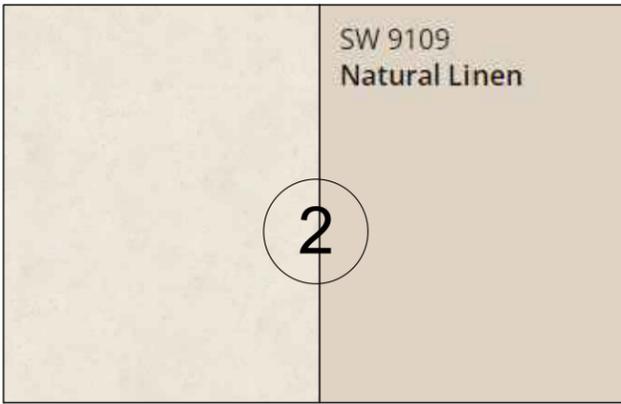
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PROPOSED SOUTH ELEVATION 1/8"=1'-0"



**ROOF TILE
TO MATCH EXISTING**



**STUCCO + APPROVED COLOR PAINT
TO MATCH EXISTING**



**PROPOSED WINDOWS
TO MATCH EXISTING**

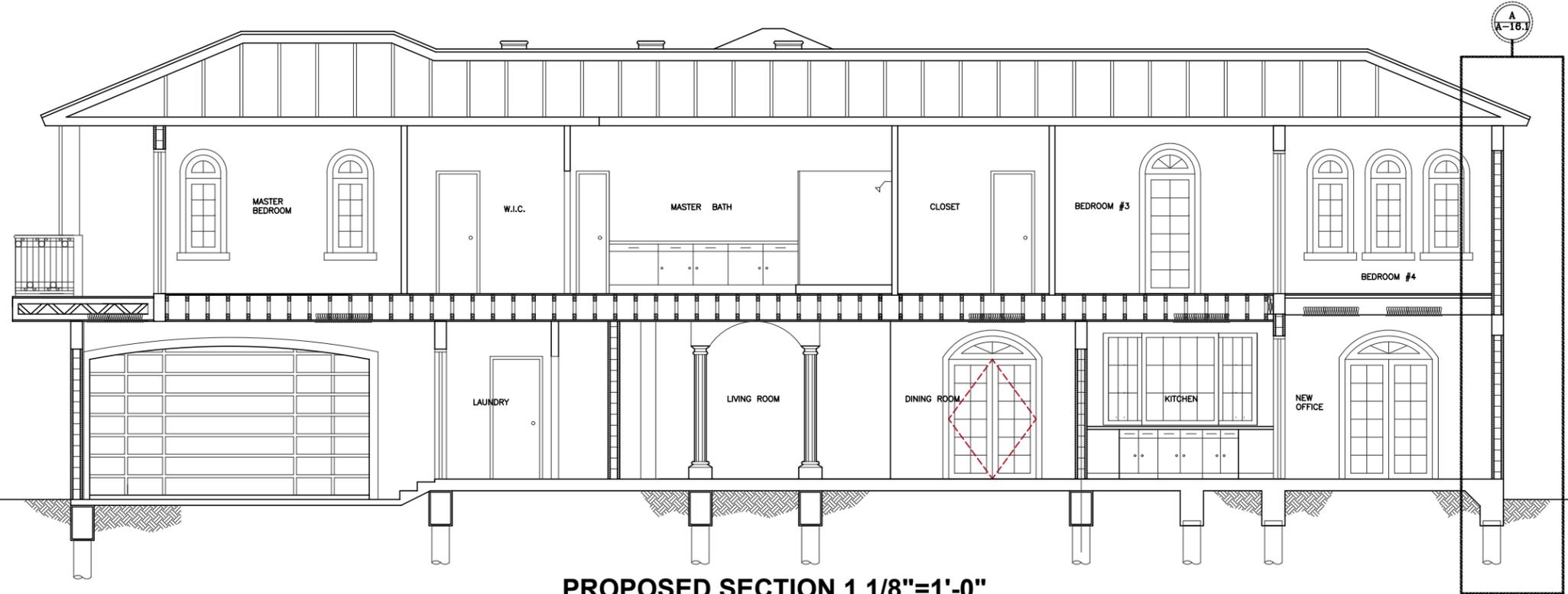
1'-0" T.O. ROOF RIDGE
ELEV. = +26'-9" (+33.58' NGVD)
ELEV. = +25'-9" (+32.58' NGVD)

4'-5" T.O. CONC. TIC BEAM
ELEV. = +21'-4" (+28.16' NGVD)

9'-5" T.O. CONC. TIC BEAM
ELEV. = +11'-8" (+18.50' NGVD)

10'-6" T.O. CONC. SLAB-LEVEL 1
ELEV. = +1'-2" (+8.00' NGVD)
GRADE LEVEL
ELEV. = +0'-0" (+6.83' NGVD)

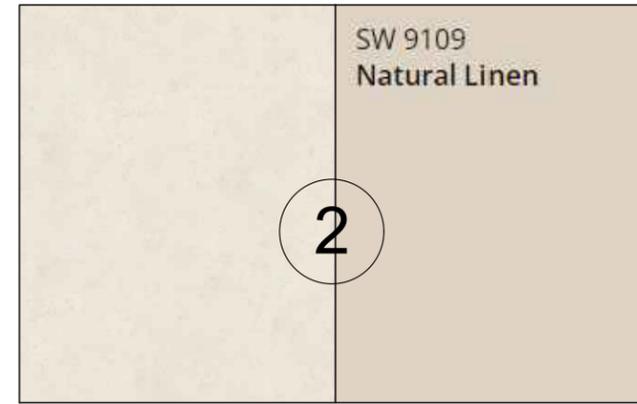
1'-2"



PROPOSED SECTION 1 1/8"=1'-0"



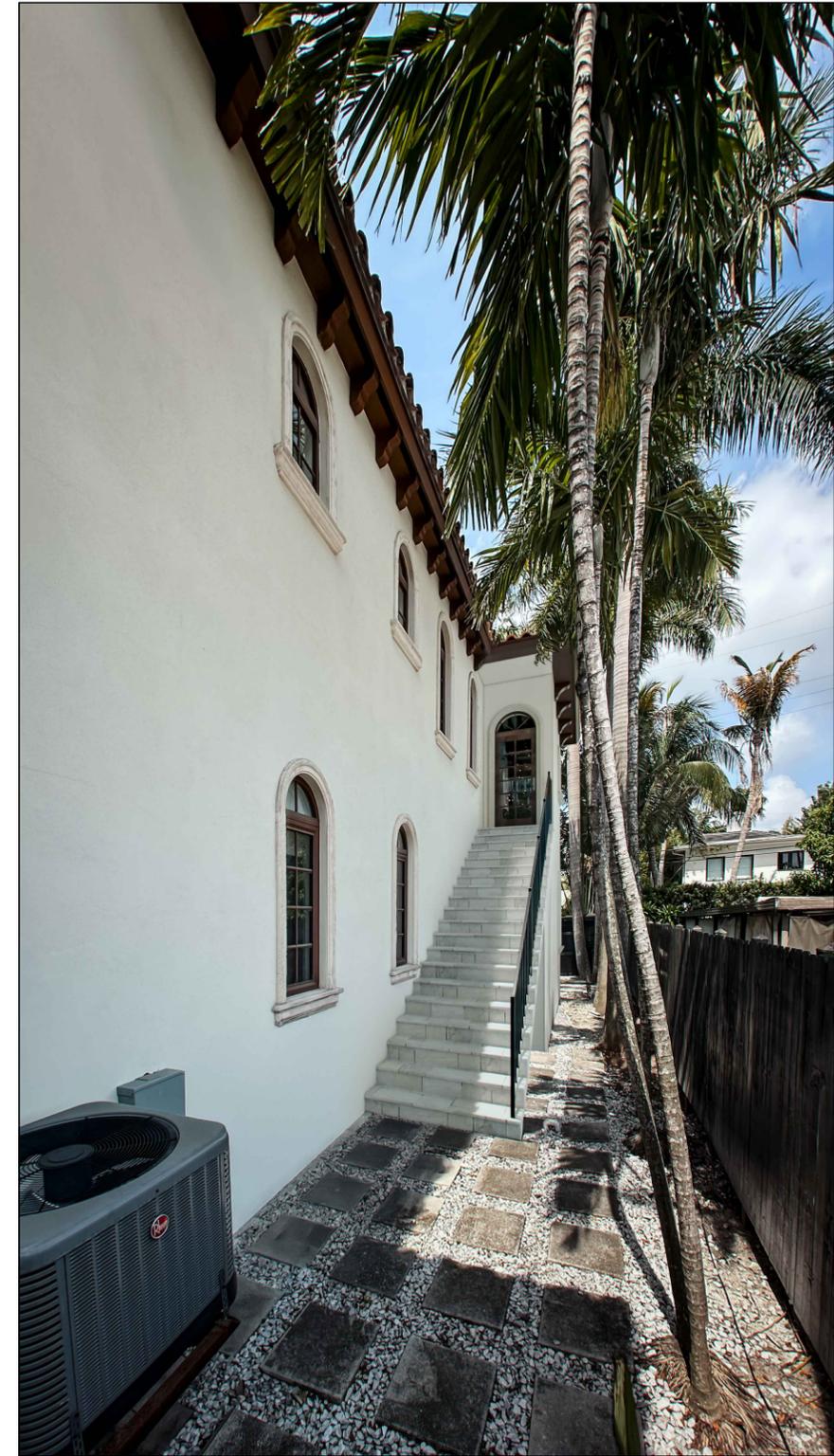
ROOF TILE
TO MATCH EXISTING



STUCCO + APPROVED COLOR PAINT
TO MATCH EXISTING



PROPOSED WINDOWS
TO MATCH EXISTING



COLOR RENDERINGS



BERRY
DESIGN
STUDIO



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**Juan E
Berry**
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Date: 2024.05.20
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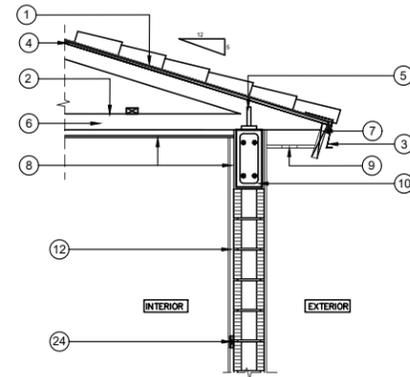
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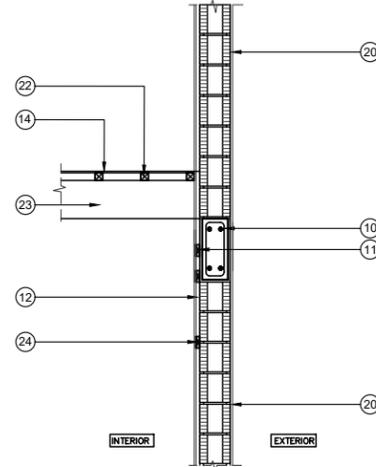
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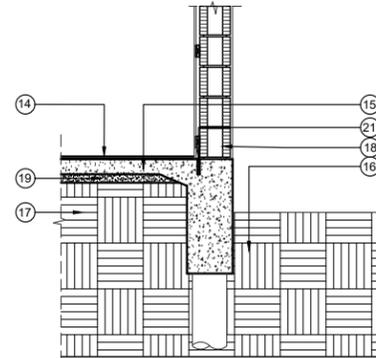
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TOP OF BEAM
EL. +21'-4"



TOP OF BEAM
EL. +10'-6"



TOP OF SLAB
EL. +1'-2"

TOP OF GRADE
EL. 0'-0"

WALL SECTION "A" 1/4"=1'-0"

SECTIONS A NOTES:

1. NEW SPANISH TILE TO MATCH EXISTING OVER ROOF MEMBRANE SYSTEM. CONTRACTOR TO SUPPLY ALL PERTINENT INFO. SPECS. AND SHOP DWG. (SEPARATE PERMIT).
2. WOOD TRUSSES BY OTHERS. CONTRACTOR TO SUPPLY ALL PERTINENT INFO
3. FLASHING SYSTEM. CONTRACTOR TO SUPPLY ALL PERTINENT INFO. SPECS.
4. PLYWOOD BOARD.
5. HURRICANE STRAP SEE STRUCTURAL.
6. 10" BATT INSULATION R-30.
7. WOOD FASCIA.
8. 1/2" DRYWALL ON 1-1/2" PT. FURRING STRIPS AT 16" O.C.
9. 8" CONT. VENTILATION GRILL WITH INSECT SCREEN WITH OPENINGS THEREIN NOT EXCEEDING 1/8".
10. CONCRETE BEAM. SEE STRUCTURAL DRAWINGS FOR DETAILS.
11. WOOD FURRING AND BLOCKING AS REQUIRED.
12. RIGID R-4.1 INSULATION.
13. METAL/GLASS WINDOW / DOORS. SEE WINDOW SCHEDULE FOR DETAILS. PROVIDE IMPACT RESISTANT PRODUCT FOR ALL EXTERIOR WINDOWS AND DOORS.
14. FLOOR FINISH TO BE SELECTED BY OWNER. OVER 5/8" CDX PLYWOOD SHEATHING NAILED WITH 10d NAILS AT 6" O.C.
15. CONCRETE SLAB. PROVIDE 6 ML. VISQUEEN VAPOR BARRIER. SEE STRUCTURAL DRAWINGS FOR DETAILS. VAPOR RETARDER SHALL BE PLACED BETWEEN THE CONCRETE FLOOR SLAB AND THE BASE COURSE OR SUB GRADE.
16. NEW CONCRETE FOOTING SEE STRUCTURAL DRAWINGS.
17. WELL COMPACTED FILL. SEE STRUCTURAL DRAWINGS. CONTRACTOR TO PROVIDE COMPACTION REPORT PRIOR TO POURING CONCRETE SLAB.
18. NEW 8" CONC. BLOCK WALL.
19. CONTRACTOR TO PROVIDE TERMITE TREATMENT REPORT PRIOR TO COMPACTION INSPECTION. AS PER FBCR 4409.13.5
20. 5/8" MIN. SMOOTH STUCCO FINISH.
21. PROVIDE EXPANSION JOINT
22. 2X2 WOOD BOARD NAILED AT EXISTING DECK WITH 10d NAILS AT 12" O.C.
23. 2 X 10 EXISTING WOOD JOIST TO REMAIN.
24. FIRE BLOCKING SHALL BE PROVIDED IN WALLS EVERY 10' HORIZONTALLY AND AT CEILINGS/FLOORS LEVEL, INTERCONNECTIONS, BETWEEN STAIR STRINGERS, AT OPENINGS, AT CHIMNEYS, AT FLOOR JOISTS, AROUND POCKET DOORS

SECTIONS ADDITIONAL NOTES:

1. WALL AND CEILING FINISHES SHALL HAVE A FLAME SPREAD CLASSIFICATION OF NOT GREATER THAN 200 AND A SMOKE-DEVELOPED INDEX NOT GREATER THAN 450 AS PER ASTM E-84 OR UL 273. FBCR 302.9
2. FOAM PLASTIC TO HAVE A FLAME-SPREAD INDEX NOT MORE THAN 75. SMOKE-DEVELOPED INDEX NOT MORE THAN 450 AS PER ASTM E 84 OR UL 723. FBCR 316 (IF APPLICABLE)
3. THERMAL BARRIER: FOAM PLASTIC INSULATION SHALL BE SEPARATED FROM THE INTERIOR OF A BUILDING BY AN APPROVED THERMAL BARRIER. SEE FBCR 314.4 THRU 314.5.4 FOR SPECIFIC INFORMATION. FBCR 316.4
4. FOAM PLASTIC (OTHERS LIKE INTERIOR TRIM, DOORS, SHEATHING, FLOOR INS): OTHER ELEMENTS OF FOAM PLASTIC TO COMPLY WITH FBCR 316

FOR ADDITIONAL INFORMATION REFER OF SHEET S-5.0



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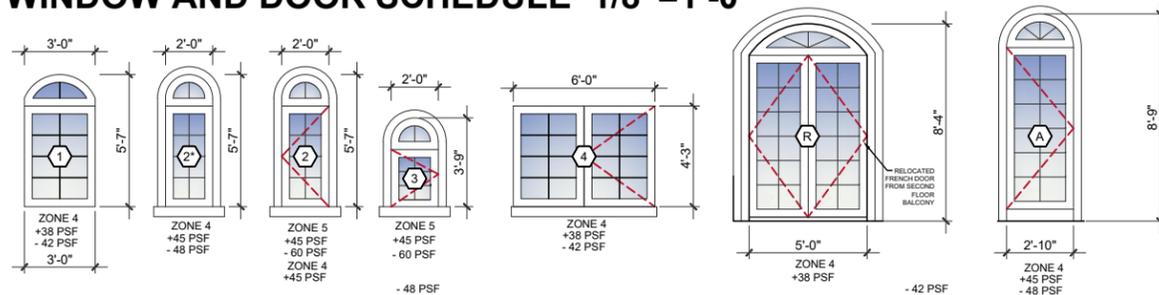
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WINDOW AND DOOR SCHEDULE 1/8"=1'-0"



EXTERIOR WINDOW / DOOR SCHEDULE											
SYM	TYPE	SIZE	EGRESS	SILL HEIGHT	ZONE	MODEL	REMARKS	PRODUCT'S APPROVED PRESSURE (+) PSF (-) PSF		MATERIAL	MANUFACTURER
1	PICTURE WINDOW	SEE ELEVATION	NO		4	TBD	TBD	80	80	METAL / GLASS	MR GLASS PGT
2	PICTURE WINDOW	SEE ELEVATION	NO		4	TBD	TBD	80	80	METAL / GLASS	MR GLASS PGT
2	CASEMENT/AWNING WINDOW	SEE ELEVATION	YES		4 & 5	TBD	TBD	80	80	METAL / GLASS	MR GLASS PGT
3	CASEMENT/AWNING WINDOW	SEE ELEVATION	NO		5	TBD	TBD	80	80	METAL / GLASS	MR GLASS PGT
4	CASEMENT/AWNING WINDOW	SEE ELEVATION	YES	25"	4	TBD	TBD	80	80	METAL / GLASS	MR GLASS PGT
A	FRENCH DOOR	SEE ELEVATION	YES	0"	4	TBD	TBD	80	80	METAL / GLASS	MR GLASS PGT
R	FRENCH DOOR	SEE ELEVATION	YES	0"	4	TBD	TBD	80	80	METAL / GLASS	RELOCATED/PGT

WINDOWS SQFT SUMMARY
TOTAL SQFT 147

ADDITIONAL NOTES:

NEW WINDOWS & EXTERIOR DOORS:

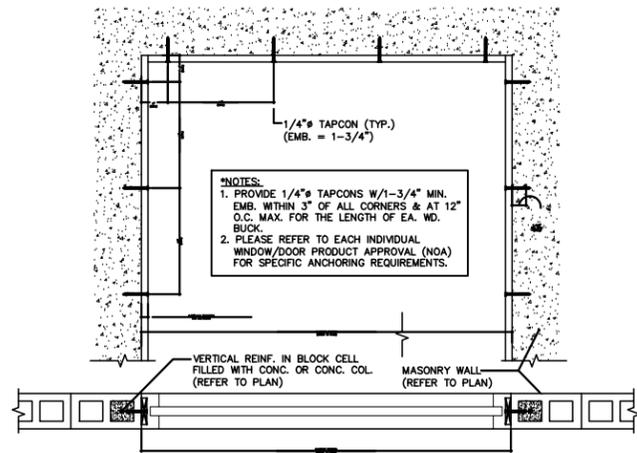
- ALL WINDOWS & EXTERIOR DOORS SHALL COMPLY W/ SECTIONS 2410 THROUGH 2415 OF THE F.B.C.
- NEW WINDOWS & EXTERIOR DOORS SHALL HAVE MIAMI- DADE COUNTY PRODUCT APPROVAL NOTICE OF ACCEPTANCE WHICH INDICATES INSTALLATION AND ATTACHMENT TO STRUCTURE REQUIREMENTS SHALL BE SUBMITTED TO THE BUILDING DEPARTMENT FOR REVIEW FOR ISSUANCE OF PERMIT.
- ALL DOORS AND WINDOWS PROVIDING ACCESS FROM THE HOME TO THE POOL MUST BE EQUIPPED WITH EXIT ALARMS- SEE FBC'20-RESIDENTIAL, R4501.17.1.9.
- ALL PROPOSED WINDOWS AND DOORS GLASS TO BE U FACTOR OF 1.11 AND SHGC 0.28
- WIND DESIGN PRESSURES ARE IN ASD AS INDICATED ON PAGE TWO OF THE PROVIDED "BORA INTERPRETATION WIND LOAD TABLE FOR OPENINGS IN WALLS - ONE- AND TWO-FAMILY DETACHED AND MULTIPLE SINGLE-FAMILY DWELLINGS WITH MEAN ROOF HEIGHT OF 30 FEET OR LESS"

WINDOW NOTES:

- ALL IMPACT WINDOWS TO BE BY MR. GLASS OR APPROVED EQUAL. WINDOWS SHALL BE A HEAVY DUTY ALUMINUM FRAME WITH PAINTED FINISH ON INTERIOR AND EXTERIOR. FRAME COLOR TO BE APPROVED BY DESIGNER AND OWNER.
- ALL WINDOWS TO BE IMPACT RESISTANT GLASS. THE DESIGN OPTION OF WINDOW IS STANDARD (WITH OR WITHOUT ANY MUNTINS).
- ALL WINDOW DIMENSIONS / SIZES INDICATED ARE MODULAR, UNLESS OTHERWISE INDICATED.
- REFER TO BUILDING ELEVATIONS FOR CORRECT DIRECTION OF SLIDING UNIT.
- CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR DESIGNER APPROVAL PRIOR TO ORDERING OF WINDOWS.
- ALL WINDOWS TO HAVE MIAMI-DADE COUNTY APPROVAL.
- WINDOWS AT BEDROOMS WHICH ARE 2ND MEANS OF ESCAPE SHALL COMPLY WITH S.F.B.C. EGRESS REQUIREMENTS.
- ALL GLAZING WITHIN 60" OF TUB OR SHOWER SHALL HAVE SAFETY GLAZING PER SECTION 3508.4 (B) S.F.B.C.
- INSTALL WINDOWS ACCORDING TO THE MANUFACTURERS INSTRUCTIONS AND THE APPROVED SHOP DRAWINGS TO INSURE PROPER INSTALLATION AND OPERATION.
- INITIATE AND MAINTAIN ALL PROTECTION AND OTHER PRECAUTIONS REQUIRED TO ENSURE WINDOWS ARE IN ACCEPTABLE CONDITION AT TIME OF SUBSTANTIAL COMPLETION.
- GLAZING AT 5 FT. OR LESS FROM THE WATER EDGE MUST BE OF CATEGORY II SAFETY GLAZING- SEE FBC'20-RESIDENTIAL, R308.4.5.

DOOR NOTES:

- ALL EXTERIOR IMPACT-RESISTANT DOORS TO BE BY MR GLASS OR APPROVED EQUAL. DOORS SHALL BE A HEAVY DUTY ALUMINUM FRAME WITH PAINTED FINISH ON INTERIOR AND EXTERIOR. FRAME COLOR TO BE APPROVED BY DESIGNER AND OWNER.
- SUBMIT SHOP DRAWINGS FOR DESIGNER APPROVAL BEFORE ORDERING. UNLESS OTHERWISE NOTED.
- ALL EXTERIOR DOOR GLASS TO BE IMPACT RESISTANT. THE DESIGN OPTION OF THE WINDOW IS STANDARD (WITH OR WITHOUT ANY MUNTINS).
- ALL EXTERIOR DOOR DIMENSIONS / SIZES INDICATED ARE MODULAR, UNLESS OTHERWISE INDICATED.
- REFER TO BUILDING ELEVATIONS FOR CORRECT SWING OR DIRECTION SLIDE OF DOOR UNITS.
- ALL EXTERIOR SOLID CORE WOOD DOORS, INCLUDING GARAGE DOORS, TO HAVE MIAMI-DADE COUNTY APPROVAL. (IF APPLICABLE)
- CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR DESIGNER APPROVAL PRIOR TO ORDERING DOORS.
- ALL GLAZING WITHIN 60" OF TUB OR SHOWER SHALL HAVE SAFETY GLAZING PER SECTION 3508.4 (B) S.F.B.C.
- ALL HARDWARE INCLUDING FINISH, TO BE APPROVED BY DESIGNER AND OWNER.
- INSTALL DOORS ACCORDING TO MANUFACTURERS INSTRUCTIONS AND THE APPROVED SHOP DRAWINGS TO INSURE PROPER INSTALLATION AND OPERATION.
- INITIATE AND MAINTAIN ALL PROTECTION AND OTHER PRECAUTIONS REQUIRED TO ENSURE DOORS ARE IN ACCEPTABLE CONDITION AT TIME OF SUBSTANTIAL COMPLETION.
- EXTERIOR DOORS AND SIDELIGHTS SHALL HAVE CAT II SAFETY GLASS



TYP. WINDOW & DOOR BUCK DETAIL



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