

City of Miami Beach
Presentation before the Historic Preservation Board
September 10, 2024



Application Number: HPB24-0622
1200 Meridian Avenue – Flamingo Park Pickleball Courts

Request: a Certificate of Appropriateness for the construction of three (3) pickleball courts within Flamingo Park

- City of Miami Beach, as part of the 2023/2024 Budget, has approved the construction of 3 pickleball courts located within Flamingo Park;
- The construction of the pickleball courts will be overseen by the City of Miami Beach Parks and Recreation Department;
- The scope of work will include:
 - Three asphalt pickleball courts measuring 34 FT x 64 FT
 - New perimeter fencing 10 FT in height
 - New lighting
 - New concrete pad and sidewalk
 - Installation of benches, drinking fountain and trash can

FLAMINGO PARK MASTER PLAN

MIAMI BEACH, FL

LEGEND

- Completed Projects
- Upcoming Projects

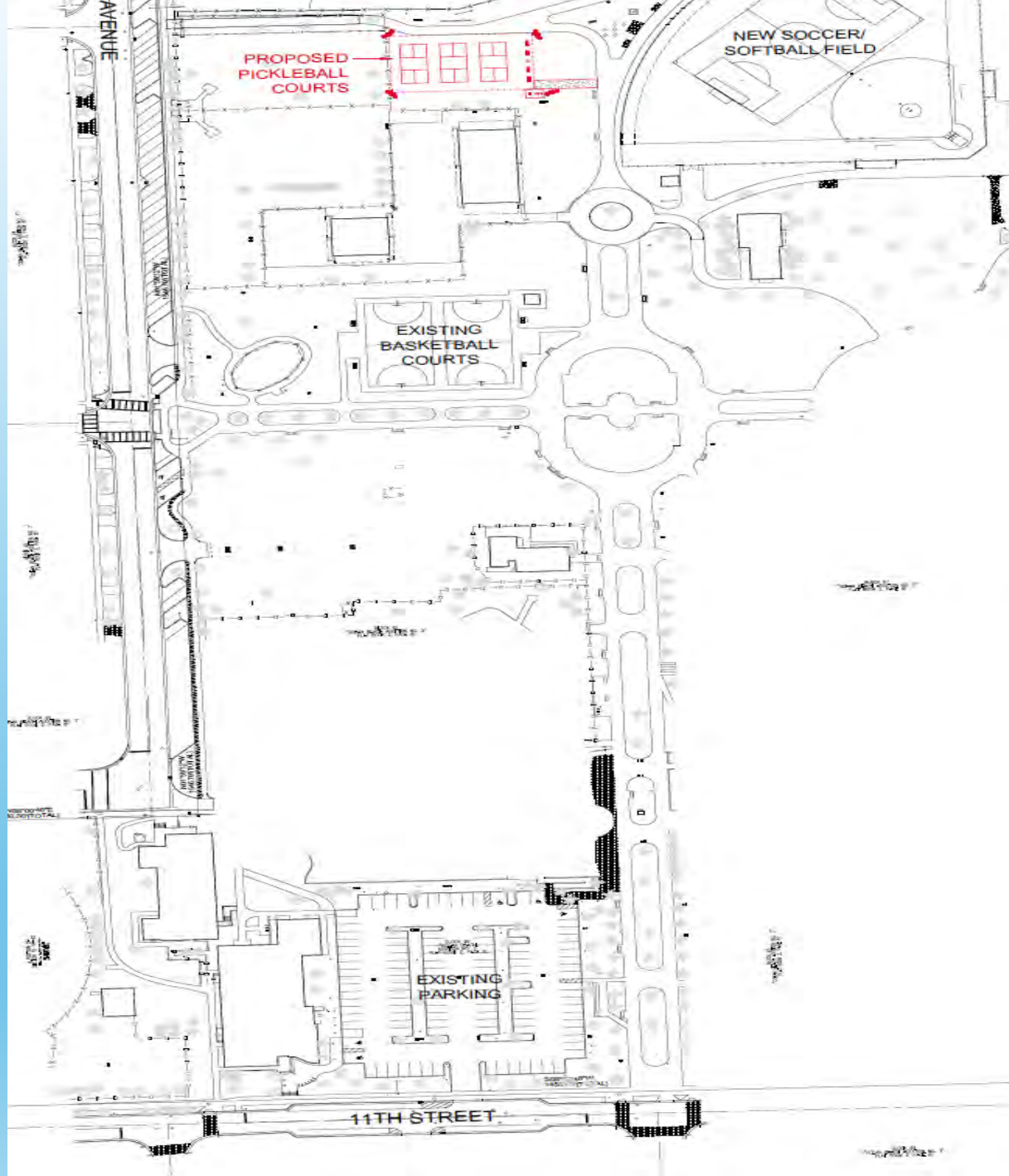
1. Baseball Stadium Renovation (GOB) est construction 2025
2. Soccer Field Renovation (Completed in 2016)
3. Softball Field Renovation (GOB) construction 2024
4. New Restroom Facility (Completed in 2017)
5. Butterfly Garden (GOB) construction 2024
6. Handball Courts Renovation (Completed in 2022)
7. New Entry Features (Possible AIPP location) (GOB)
8. Central Plaza Renovation (Possible AIPP location) (GOB)
9. New Outdoor Fitness Area (Completed 2019)
10. New Multi Use Path (GOB)
11. Dog Park Renovation (completed prior to 2011)
12. Open Green Space Renovation (Completed 2020)
13. Historic Lodge Renovation (GOB) (construction 2024)
14. New Pedestrian Pathway (Completed 2020)
15. New Pedestrian Pathway (Completed 2020)
16. New Pedestrian Pathway Lighting (GOB)
17. New Tennis Center (Completed in 2012)
18. New Artificial Football/Soccer Field and Running Track (Completed in 2013)
19. Youth Center (Future) (GOB)
20. Fire station #1 Daycare relocation (construction 2024)
21. Pickle ball courts (est construction 2024)



FLAMINGO PARK MASTER PLAN

MIAMI BEACH, FL



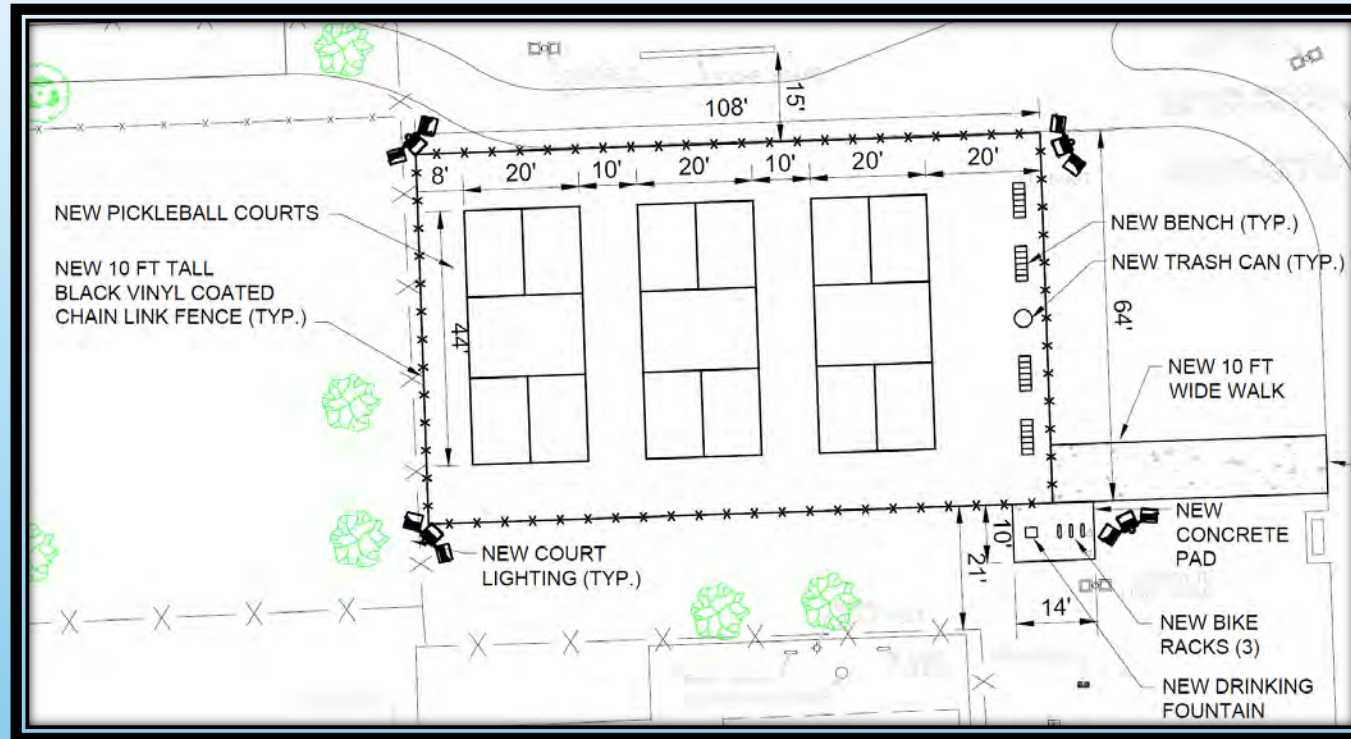


SITE PLAN





Pickleball Court Elements



5 Easy Pieces™
Complete System from Foundation to Poletop

TLC_{rev}LED
Total Light Control

LED Light Source

Poletop Luminaires Assembly

Wire Harness

Electrical Components Enclosure

Galvanized Steel Pole

Precast Concrete Base

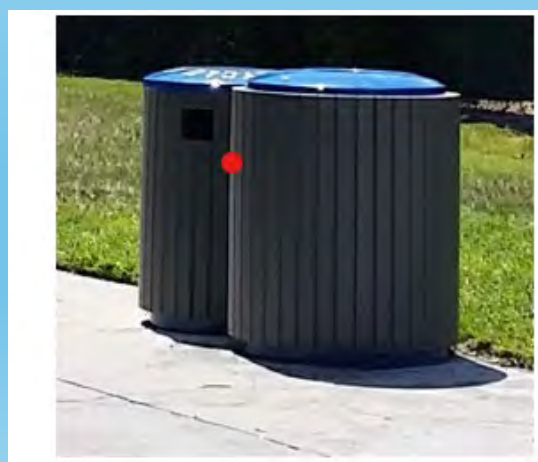
Integrated Lightning Ground System

40FT

All components designed to work together ... factory built, wired, aimed, and tested to assure reliable, trouble-free operation

Covered by a 25-year product assurance and warranty program with guaranteed light levels, parts and labor for maintenance, system monitoring, and 24/7 support from our Control Link Central® service center.

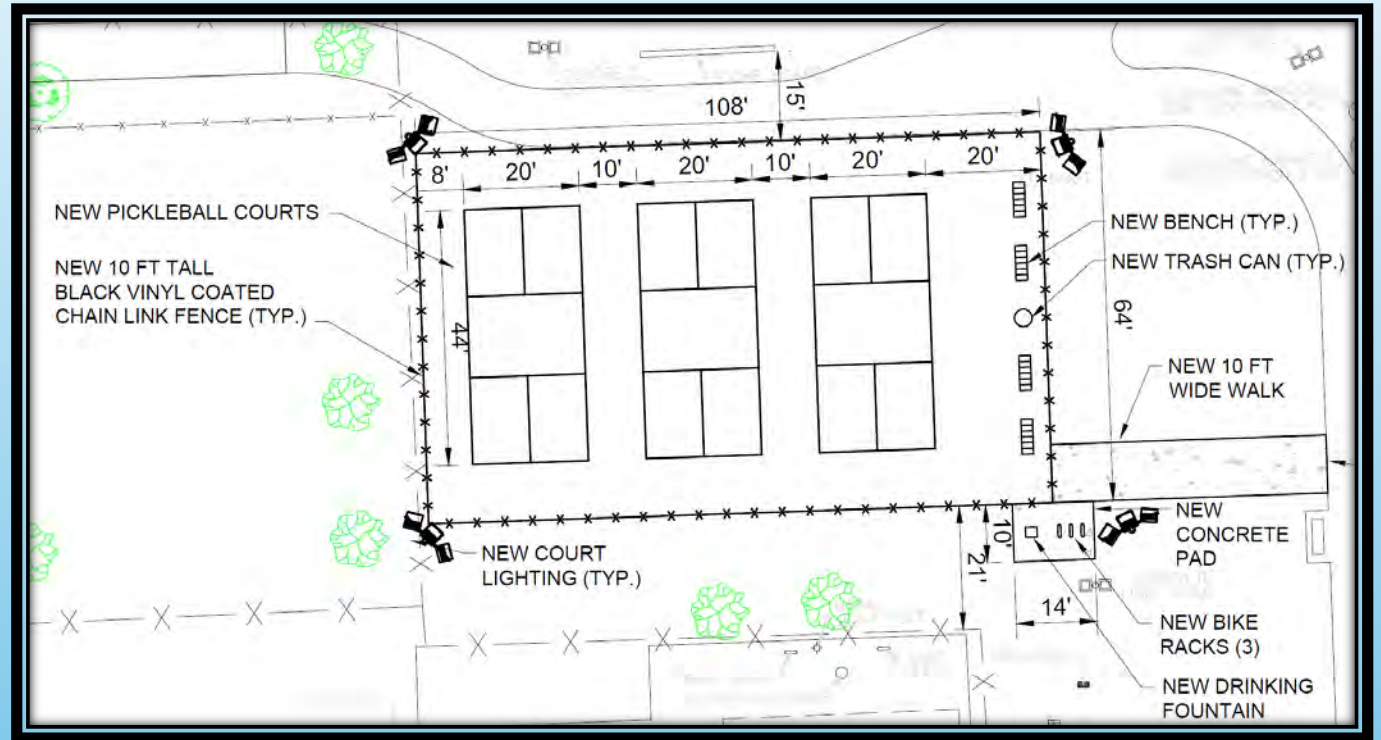
For your BUDGET, for the ENVIRONMENT.






Pickleball Court Elements



Note: Color will be silver-photo is show model type



COMPLIANCE WITH CERTIFICATE OF APPROPRIATENESS

I.	Evaluation of the compatibility of the physical alteration or improvement with surrounding properties.	
II.	In determining whether a particular application is compatible with surrounding properties the Historic Preservation Board shall consider the criteria specified pursuant to Section 2.13.7(d)(ii)(2) of the City of Miami Beach Land Development Regulations .	
III.	Examination of architectural drawings for consistency with the criteria pursuant to Section 2.13.7(d)(ii)(3) of the City of Miami Beach Land Development Regulations with regard to aesthetics, appearance, safety, and function of any new or existing structure, public interior space and physical attributes of the project in relation to the site, adjacent structures and properties and surrounding community.	

THE END

MIAMIBEACH

CITY OF MIAMI BEACH:

MAYOR: STEVEN MEINER

COMMISSIONERS:

JOSEPH MAGAZINE
LAURA DOMINGUEZ
ALEXJ. FERNANDEZ
DAVID SUAREZ
TANYA K. BHATT
KRISTEN ROSEN GONZALEZ

MIAMI BEACH
OFFICE OF CAPITAL IMPROVEMENT PROJECTS

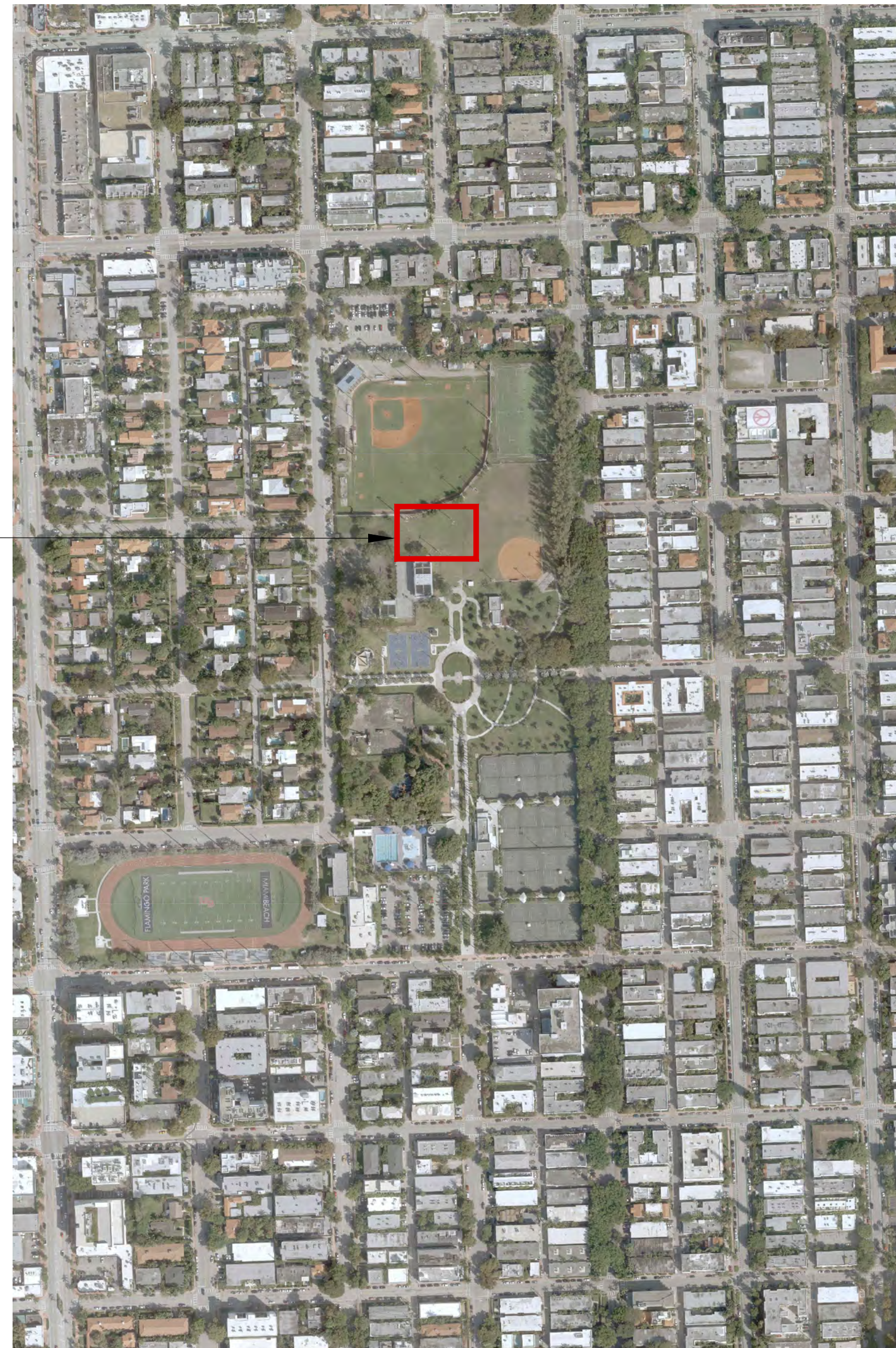
JUNE 2024

HISTORIC PRESERVATION BOARD FIRST DESIGN

FINAL SUBMITTAL

PICKLEBALL IMPROVEMENTS
1245 MERIDIAN AVENUE
MIAMI BEACH, FLORIDA

THREE (3) PICKLEBALL COURTS
REFER TO SD-1 FOR DETAILED
LOCATION



AERIAL OF FLAMINGO PARK (N.T.S.)

LIST OF DRAWINGS:

SD-0	COVER SHEET
	SURVEY (3 SHEETS)
HR-1	HISTORIC RESOURCES REPORT
Z-1	ZONING AND PARKING CHART
SP-1 - SP-4	PHOTOS: EXISTING SITE CONDITIONS
SD-1	OVERALL SITE PLAN
SD-2	PARTIAL SITE PLAN
SD-3	RENDERING: NORTHWEST VIEW
SD-4	RENDERING: SOUTHEAST VIEW
SD-5 - SD-7	DETAILS: PROJECT ACCESSORIES AND LIGHTING
SD-8 - SD-9	PHOTOS: CITY GOLF COURSE PICKLEBALL COURTS

SCOPE OF WORK:

THE CONSTRUCTION OF THREE (3) PICKLEBALL COURTS
AND ANCILLARY SIDEWALKS AND ACCESSORIES SUCH
AS COURT LIGHTING, FOUNTAINS, AND BENCHES.

CAPE JUPITER, LLC

208 BARBADOS DRIVE
JUPITER, FLORIDA 33458
PHONE: (561) 329-1514
EMAIL: CAPELLC@OUTLOOK.COM
CERTIFICATE OF AUTHORIZATION: 30993

CLAUDINE ALEXANDER, PROFESSIONAL ENGINEER,
STATE OF FLORIDA, LICENSE NO. 53822

THIS PLAN SHEET HAS BEEN DIGITALLY SIGNED AND SEALED BY:
CLAUDINE ALEXANDER, P.E. ON 06-28-2024.

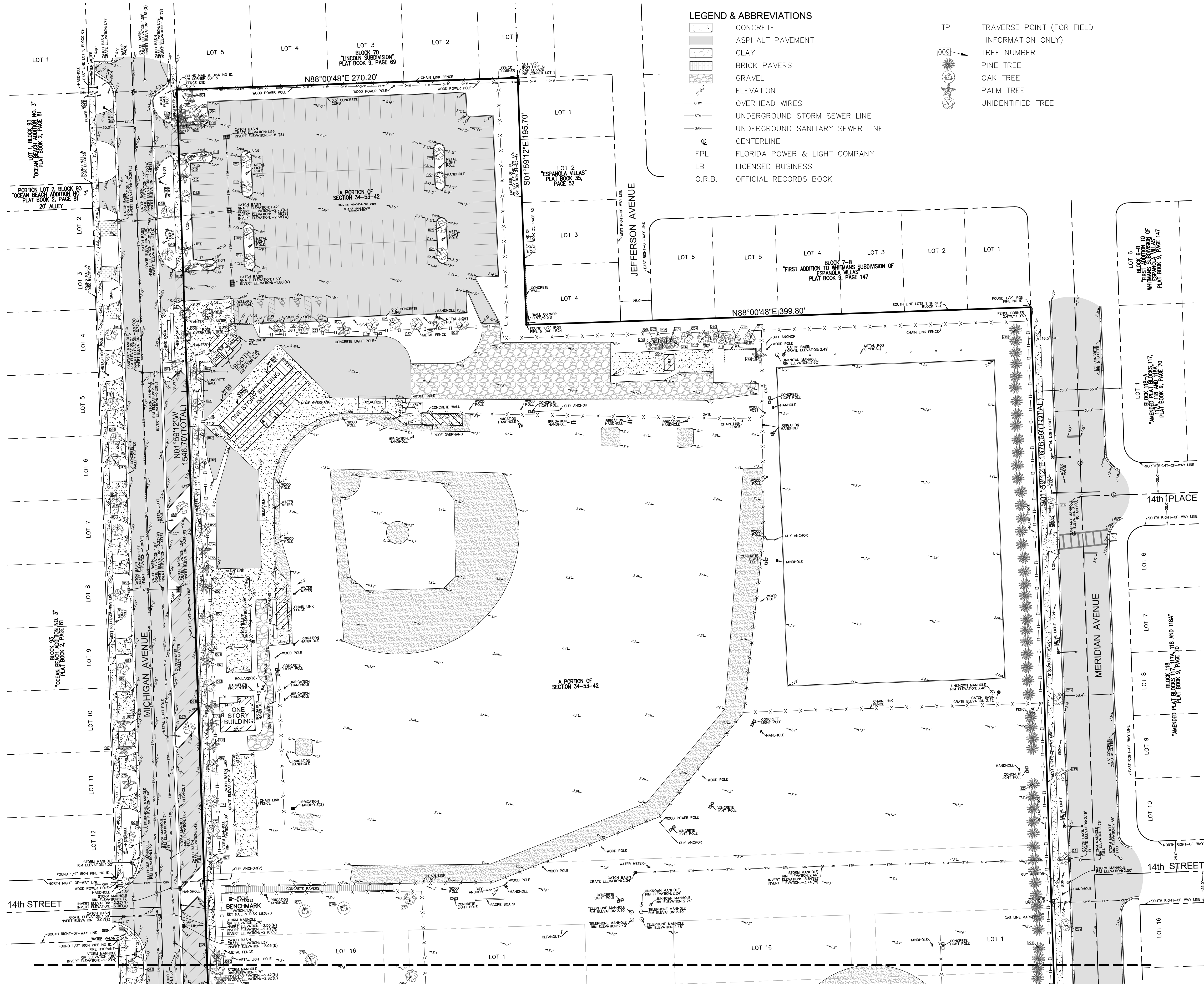
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ON ANY ELECTRONIC COPIES.



10805 GLENEAGLES ROAD BOYNTON BEACH, FLORIDA, 33436
561.736.6642 pattontnt@earthlink.net

COVER SHEET
PICKLEBALL IMPROVEMENTS
CITY OF MIAMI BEACH FLAMINGO PARK
1245 MERIDIAN AVENUE, MIAMI BEACH, FLORIDA

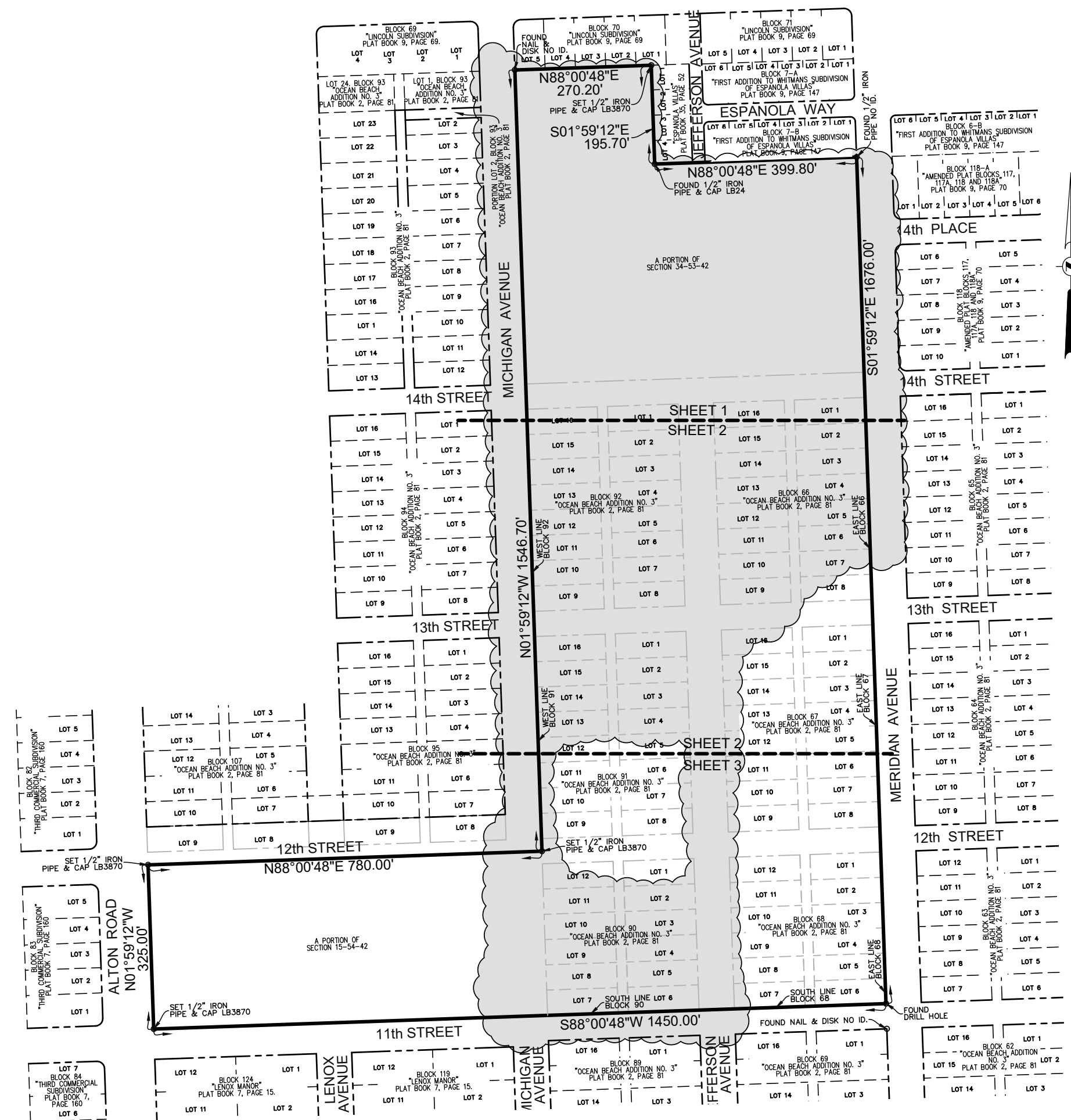
DATE	JUNE 2024
DWG	SD-0



LEGEND & ABBREVIATIONS

- CONCRETE
- ASPHALT PAVEMENT
- CLAY
- BRICK PAVERS
- GRAVEL
- ELEVATION
- OVERHEAD WIRES
- UNDERGROUND STORM SEWER LINE
- UNDERGROUND SANITARY SEWER LINE
- CENTERLINE
- FPL FLORIDA POWER & LIGHT COMPANY
- LB LICENSED BUSINESS
- O.R.B. OFFICIAL RECORDS BOOK

- TP TRAVERSE POINT (FOR FIELD INFORMATION ONLY)
- TREE NUMBER
- PINE TREE
- OAK TREE
- PALM TREE
- UNIDENTIFIED TREE



CERTIFICATION:

I HEREBY CERTIFY: THAT THIS MAP OF SURVEY MEETS THE STANDARDS OF PRACTICE SET FORTH BY THE FLORIDA STATE BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES.

- JOHN F. PULICE, PROFESSIONAL SURVEYOR AND MAPPER LS2691
- VICTOR R. GILBERT, PROFESSIONAL SURVEYOR AND MAPPER LS6274
- DONNA C. WEST, PROFESSIONAL SURVEYOR AND MAPPER LS4290

STATE OF FLORIDA

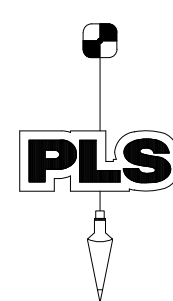
THIS DOCUMENT IS NEITHER FULL NOR COMPLETE WITHOUT SHEETS 1 THRU 3, INCLUSIVE

SHEET 1 OF 3

NO.	REVISIONS	BY
1		
2		
3		
4		
5		

FLAMINGO PARK
1200 MERIDIAN AVENUE
MIAMI BEACH, FLORIDA 33139
(CITY OF MIAMI BEACH, MIAMI-DADE COUNTY)

PARTIAL BOUNDARY AND TOPOGRAPHIC SURVEY



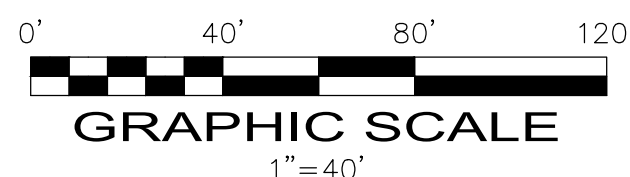
PULICE LAND SURVEYORS, INC.
5381 NOB HILL ROAD
SUNRISE, FLORIDA 33351
TELEPHONE: (954) 572-1777
FAX: (954) 572-1778

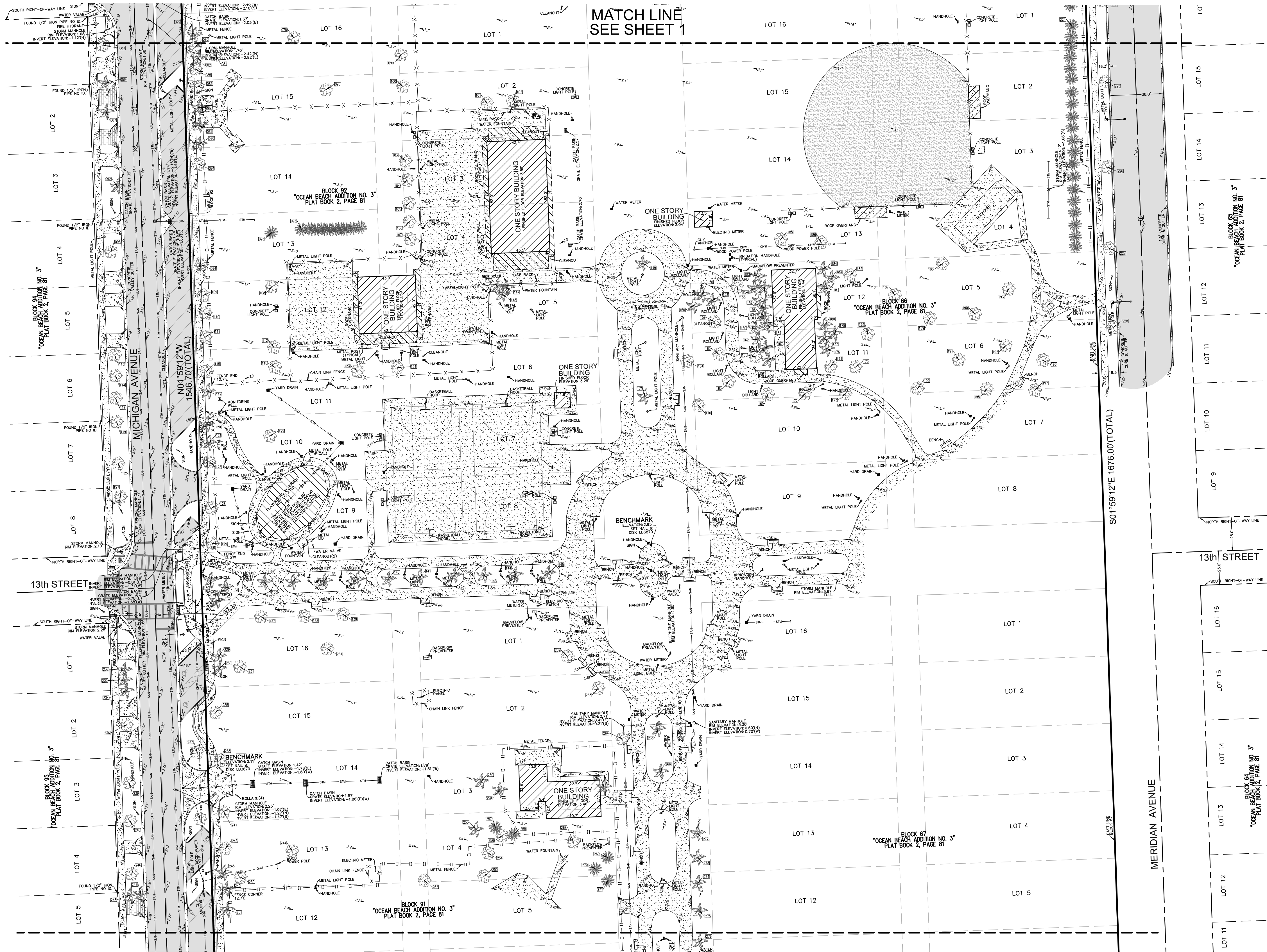
E-MAIL: surveys@pulicelandsurveyors.com
WEBSITE: www.pulicelandsurveyors.com
CERTIFICATE OF AUTHORIZATION LB#3870

DRAWN BY: L.H.
CHECKED BY: J.F.P.

SCALE: 1" = 40'
SURVEY DATE: 07/08/22

CLIENT: WOLFBERG, ALVAREZ & PARTNERS
ORDER NO.: 70277





LEGEND & ABBREVIATIONS	
	CONCRETE
	ASPHALT PAVEMENT
	CLAY
	BRICK PAVERS
	GRAVEL
	ELEVATION
	OVERHEAD WIRES
	UNDERGROUND STORM SEWER LINE
	UNDERGROUND SANITARY SEWER LINE
	CENTERLINE
	FPL FLORIDA POWER & LIGHT COMPANY
	LB LICENSED BUSINESS
	O.R.B. OFFICIAL RECORDS BOOK
	TP TRAVERSE POINT (FOR FIELD INFORMATION ONLY)
	TREE NUMBER
	PINE TREE
	OAK TREE
	PALM TREE
	UNIDENTIFIED TREE

LEGAL DESCRIPTION:
BLOCKS 66, 67, 68, 90, 91 & 92, "OCEAN BEACH ADDITION NO. 3", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 2, PAGE 81, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA, TOGETHER WITH A PORTION OF SECTION 15, TOWNSHIP 54 SOUTH, RANGE 42 EAST, TOGETHER WITH A PORTION OF SECTION 34, TOWNSHIP 53 SOUTH, RANGE 42 EAST, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT SOUTHEAST CORNER OF LOT 6, BLOCK 68, "OCEAN BEACH ADDITION NO. 3", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 2, PAGE 81, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA, THENCE SOUTH 88°00'48" WEST ALONG THE SOUTH OF SAID BLOCK AND BLOCK 90 EXTENDED FOR 1450.00 FEET; THENCE NORTH 01°59'12" WEST ALONG THE EAST RIGHT-OF-WAY LINE OF ALTON ROAD 325.00 FEET; THENCE NORTH 88°00'48" EAST ALONG THE SOUTH RIGHT-OF-WAY LINE OF 12TH STREET 780.00 FEET; THENCE NORTH 01°59'12" WEST ALONG THE WEST LINE EXTENDED OF BLOCK 91 AND BLOCK 92 FOR 1546.70 FEET TO THE SOUTHWEST CORNER OF LOT 5, BLOCK 70 "LINCOLN SUBDIVISION", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 9, PAGE 69, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA, THENCE NORTH 88°00'48" EAST ALONG THE SOUTH LINE OF LOTS 1 THRU 5, OF SAID PLAT, 270.20 FEET TO THE NORTHWEST CORNER OF LOT 1, "ESPAÑOLA VILLAS" ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 35, PAGE 52, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA; THENCE SOUTH 01°59'12" EAST ALONG THE WEST LINE OF LOTS 1 THRU 4, OF SAID PLAT 195.70 FEET TO THE SOUTHWEST CORNER OF SAID LOT 4; THENCE NORTH 88°00'48" EAST ALONG THE SOUTH LINE OF SAID LOT 4 EXTENDED 399.80 FEET TO A POINT ON THE WEST RIGHT-OF-WAY LINE OF MERIDIAN AVE; THENCE SOUTH 01°59'12" EAST ALONG THE WEST RIGHT-OF-WAY LINE OF MERIDIAN AVE, ALSO BEING THE EAST LINE OF BLOCKS 66-68, INCLUSIVE, FOR 1676.00 FEET TO THE POINT OF BEGINNING.

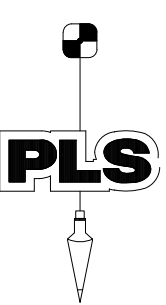
SAID LANDS LYING AND BEING IN THE CITY OF MIAMI-BEACH, MIAMI-DADE COUNTY, FLORIDA AND CONTAINING 1,429,298 SQUARE FEET (32.8122 ACRES), MORE OR LESS.

- NOTES:**
1. THIS SURVEY MAP AND REPORT OR THE COPIES THEREOF ARE NOT VALID WITHOUT THE ORIGINAL SIGNATURE AND SEAL OR AN ELECTRONIC SIGNATURE AND ELECTRONIC SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
 2. ELEVATIONS ARE BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988. NATIONAL GEODETIC SURVEY BENCHMARK #AC2261; ELEVATION: 3.01 FEET.
 3. FLOOD ZONE: AE; BASE FLOOD ELEVATION: 8 FEET; PANEL #12086C0317L; COMMUNITY #120651; MAP DATE: 9/11/09.
 4. THIS SITE LIES IN SECTIONS 15, TOWNSHIP 54 SOUTH, RANGE 42 EAST, AND 34, TOWNSHIP 53 SOUTH, RANGE 42 EAST, MIAMI-DADE COUNTY, FLORIDA.
 5. BEARINGS ARE BASED ON STATE PLANE COORDINATES AND ARE RELATIVE TO THE NORTH AMERICAN DATUM OF 1983 WITH THE 1990 ADJUSTMENT, FL-E ZONE, WITH THE SOUTH LINE OF BLOCK 7-B "FIRST ADDITION TO WHITMANS SUBDIVISION OF ESPAÑOLA VILLAS" PLAT BOOK 9, PAGE 147, BEING N88°00'48"E.
 6. REASONABLE EFFORTS WERE MADE REGARDING THE EXISTENCE AND THE LOCATION OF UNDERGROUND UTILITIES. THIS FIRM, HOWEVER, DOES NOT ACCEPT RESPONSIBILITY FOR THIS INFORMATION. BEFORE EXCAVATION OR CONSTRUCTION CONTACT THE APPROPRIATE UTILITY COMPANIES FOR FIELD VERIFICATION.
 7. THIS SURVEY IS CERTIFIED EXCLUSIVELY TO: THOMAS ENGINEERING GROUP.
 8. THE HORIZONTAL POSITIONAL ACCURACY OF WELL DEFINED IMPROVEMENTS ON THIS SURVEY IS $\pm 0.2'$. THE VERTICAL ACCURACY OF ELEVATIONS OF WELL DEFINED IMPROVEMENTS ON THIS SURVEY IS $\pm 0.1'$.
 9. THIS SITE CONTAINS 251 TOTAL CLEARLY IDENTIFIABLE PARKING SPACES (241 REGULAR & 10 DISABLED).
 10. THIS SURVEY WAS PREPARED WITHOUT BENEFIT OF A COMMITMENT FOR TITLE INSURANCE. ONLY PLATTED OR KNOWN EASEMENTS ARE DEPICTED HEREON.
 11. ALL RECORDED DOCUMENTS ARE PER MIAMI-DADE COUNTY PUBLIC RECORDS.
 12. THE TREE SYMBOLS DEPICTED HEREON ARE NOT SCALED TO TREE CANOPY.

SHEET 2 OF 3

FLAMINGO PARK
1200 MERIDIAN AVENUE
MIAMI BEACH, FLORIDA 33139
(CITY OF MIAMI BEACH, MIAMI-DADE COUNTY)

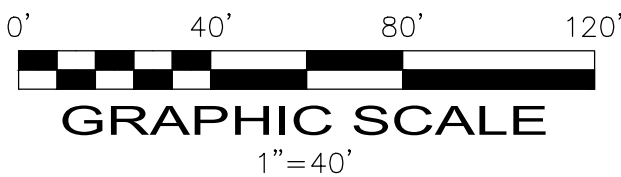
PARTIAL BOUNDARY AND TOPOGRAPHIC SURVEY



PULICE LAND SURVEYORS, INC.
5381 NOB HILL ROAD
SUNRISE, FLORIDA 33351
TELEPHONE: (954) 572-1777
FAX: (954) 572-1778
E-MAIL: surveys@pulicelandsurveyors.com
WEBSITE: www.pulicelandsurveyors.com
CERTIFICATE OF AUTHORIZATION LB#3870

DRAWN BY: L.H. SCALE: 1" = 40' CLIENT: WOLFBURG, ALVAREZ & PARTNERS
CHECKED BY: J.F.P. SURVEY DATE: 07/08/22 ORDER NO.: 70277

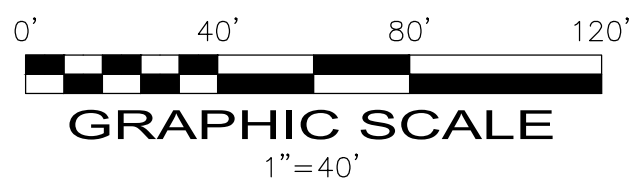
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MATCH LINE
SEE SHEET 2

LEGEND & ABBREVIATIONS

	CONCRETE	TP	TRAVERSE POINT (FOR FIELD INFORMATION ONLY)
	ASPHALT PAVEMENT		
	CLAY		TREE NUMBER
	BRICK PAVERS		PINE TREE
	GRAVEL		OAK TREE
	ELEVATION		PALM TREE
	OVERHEAD WIRES		UNIDENTIFIED TREE
	UNDERGROUND STORM SEWER LINE		
	UNDERGROUND SANITARY SEWER LINE		
	CENTERLINE		
FPL	FLORIDA POWER & LIGHT COMPANY		
LB	LICENSED BUSINESS		
O.R.B.	OFFICIAL RECORDS BOOK		



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WITHOUT SHEETS 1 THRU 3, INCLUSIVE



ORDER NO.: 70277

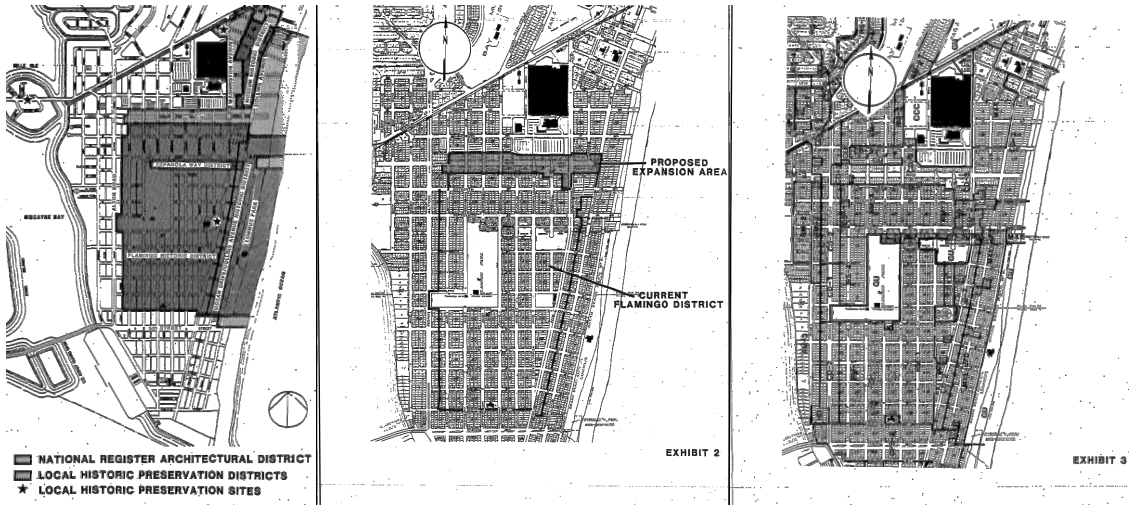
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SITE NAME: Flamingo Park

A. NARRATIVE DESCRIPTION OF SITE

Flamingo Park is located in the Flamingo Park Local Historic District and the *NRHP*-listed MBAD in Miami-Dade County, Florida. It is in Township 53 South, Range 42 East, Section 34 and Township 54 South, Range 42 East, Section 34 (Miami 1988 USGS Quadrangle). It is roughly bounded by 11th Street on the south; Meridian Avenue on the east; Michigan Avenue on the west with a portion extending to Alton Road; and Espanola Way on the north. Currently the park contains a football field, baseball field, tennis courts, a card room, shuffleboard courts, a swimming pool, basketball and handball courts, and maintenance buildings. Memorial Field is the portion of the park which extends to Alton Road. It contains the football field with bleachers, an announcer's box, and a running track. It is presently the stadium for Miami Beach Senior High.

Flamingo Park is one of the largest sports and recreation complexes in Miami Beach. It was originally a facility for guests of the Flamingo Hotel, Carl G. Fisher's luxury hotel which opened in 1921 on Biscayne Bay at 15th Street. In 1921, the property was used as a polo field. In 1925, it became the Flamingo Golf Course and covered the entire area from 11th Street to just south of 14th Street, and from Alton Road east to Meridian. The park was purchased from the Miami Ocean View Company in 1929 for \$300,000 by the City of Miami Beach. At that time there were also an open air theater and an arena (Singman 1978).



B. DISCUSSION OF SIGNIFICANCE

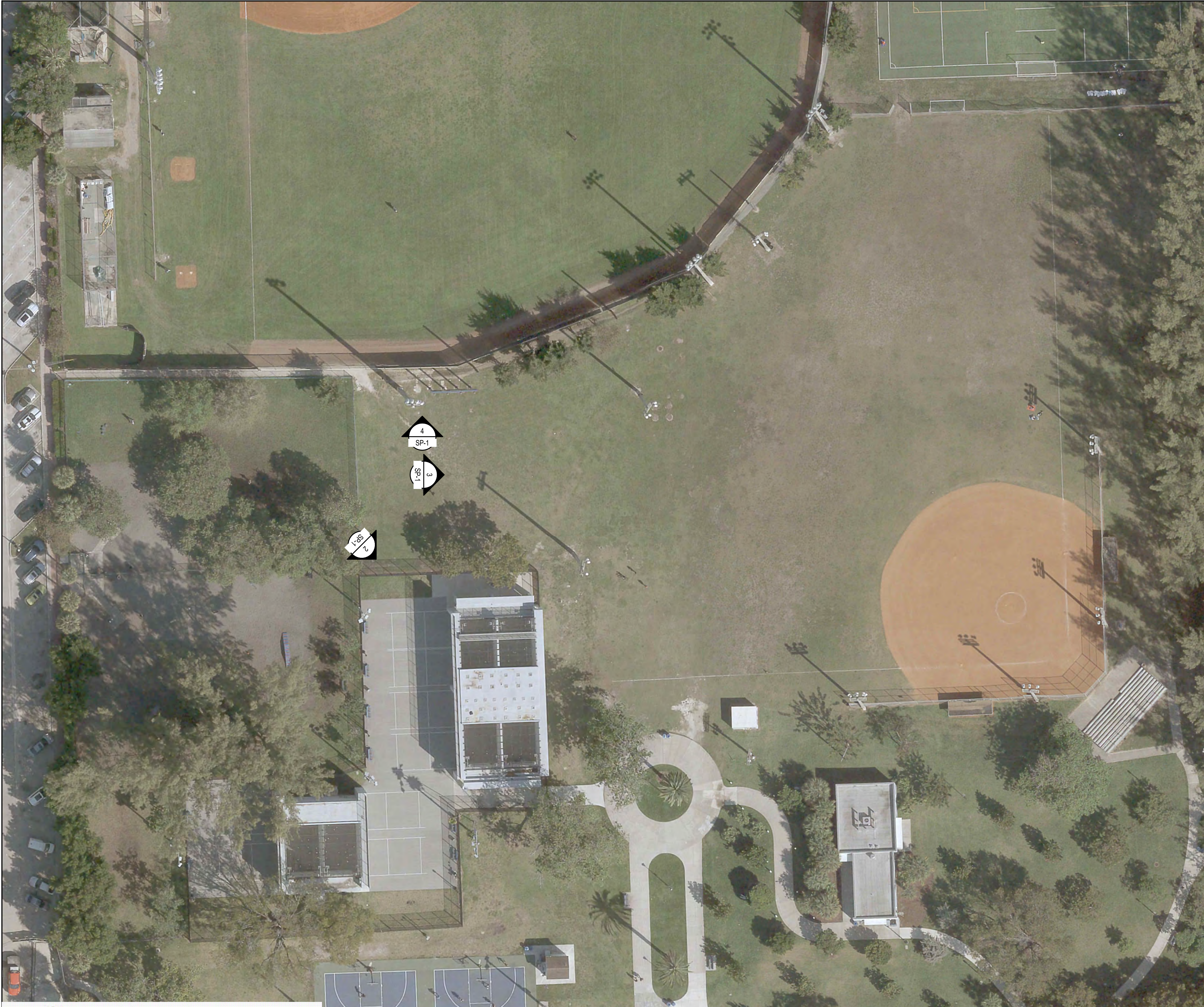
Although there are no structures extant from the early 1920s period, Flamingo Park has been in use as a city park since 1929. The layout of the park features a historic north/south axis extending from Jefferson Avenue and an east/west axis extending from 13th Street which has been in place since before 1952. Flamingo Park is currently listed as a contributing resource to the *NRHP*-listed MBAD. It is also a contributing resource to the Flamingo Park Local Historic District.



SHEET TITLE: FLAMINGO PARK HISTORIC RESOURCES DEPARTMENT	<div><div><div>MIAMI</div><div>BEACH</div></div><div>PARKS AND RECREATION DEPARTMENT</div></div> <div><div>CHISHOLM</div><div>architects</div></div>		SHEET NO:
PROJECT: FLAMINGO PARK PICKLEBALL COURTS 1245 MICHIGAN AVE, MIAMI BEACH, FL	DATE: 05/09/2024		

Item #	Project Information				
1	Address: 1200 Meridian Avenue, Miami Beach, Florida 33139	Folio Number: 02-3234-000-0050		Year built	1950
2	Board file number, Determination of Architectural Significance				
3	Located within Historic District:	YES			
4	Individual Historic Site:	YES			
5	Base Flood Elevations:				
6	Adjusted Grade:				
7	Proposed Use: Park				
8	Proposed Accessory Use:				
9	Signed and Sealed Landscape Plans				
	ZONING INFORMATION/CALCULATION	Required	Existing	Proposed	Deficiencies
13	Floor Area Ratio				
14	Building Height				
15	At grade parking lot on same lot				
a	Front Setback				
b	Side Interior				
c	Side facing Street Setback				
d	Rear Setback				
16	Subterranean, Pedestal, Tower				
a	Front Setback				
b	Side Interior				
c	Side facing Street Setback				
d	Rear Setback				
17	Subterranean, Pedestal, Tower				
a	Front Setback				
b	Side Interior				
c	Side facing Street Setback				
d	Rear Setback				
18	Minimum Apartment Unit Size				
a	New Construction				
b	Rehabilitated Building				
c	Hotel Unit				
19	Average Apartment Unit Size				
a	New Construction				
b	Rehabilitated Building				
c	Hotel Unit				
20	Required Open Space Ratio				
21	Parking				
22	Loading				



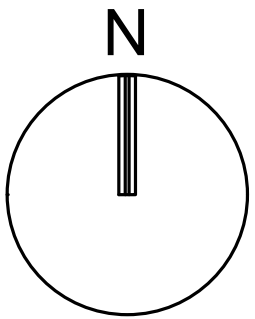


10805 GLENEAGLES ROAD BOYNTON BEACH, FLORIDA, 33436
561.736.6642 pattontnt@earthlink.net

1

EXISTING AERIAL MAP OF FLAMINGO PARK

1" = 30' (FOR ANSI D 34" X 22" PLOT)



2



IMAGE 1

3

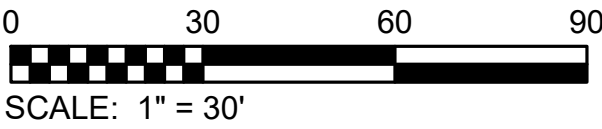


IMAGE 2

4



IMAGE 3



PHOTOS: EXISTING SITE CONDITIONS
PICKLEBALL IMPROVEMENTS
CITY OF MIAMI BEACH FLAMINGO PARK
1245 MERIDIAN AVENUE, MIAMI BEACH, FLORIDA

DATE JUNE 2024
DWG

SP-1



IMAGE 4



IMAGE 5

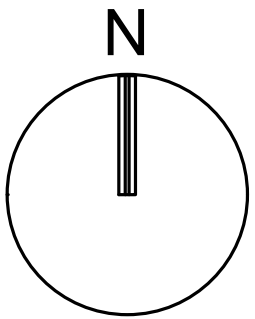


IMAGE 6

1

EXISTING AERIAL MAP OF FLAMINGO PARK

1" = 30' (FOR ANSI D 34" X 22" PLOT)

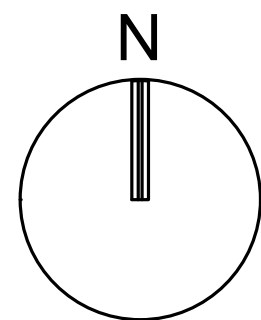




10805 GLENEAGLES ROAD BOYNTON BEACH, FLORIDA, 33436
561.736.6642 pattontnt@earthlink.net

1

EXISTING AERIAL MAP OF FLAMINGO PARK
1" = 30' (FOR ANSI D 34" X 22" PLOT)



2

IMAGE 7



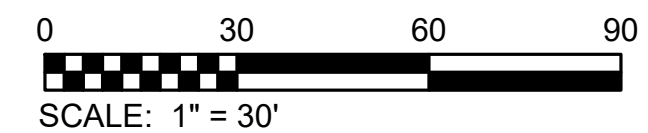
3

IMAGE 8



4

IMAGE 9



PHOTOS: EXISTING SITE CONDITIONS
PICKLEBALL IMPROVEMENTS
CITY OF MIAMI BEACH FLAMINGO PARK
1245 MERIDIAN AVENUE, MIAMI BEACH, FLORIDA

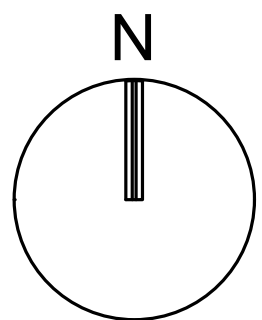


10805 GLENEAGLES ROAD BOYNTON BEACH, FLORIDA, 33436
561.736.6642 pattontnt@earthlink.net

1

EXISTING AERIAL MAP OF FLAMINGO PARK

1" = 30' (FOR ANSI D 34" X 22" PLOT)



2



IMAGE 10

3



IMAGE 11

4



IMAGE 12

5

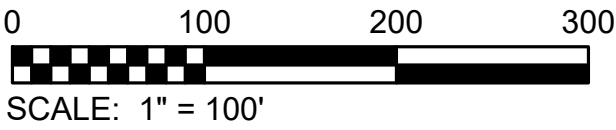


IMAGE 13

0 30 60 90
SCALE: 1" = 30'

PHOTOS: EXISTING SITE CONDITIONS
PICKLEBALL IMPROVEMENTS
CITY OF MIAMI BEACH FLAMINGO PARK
1245 MERIDIAN AVENUE, MIAMI BEACH, FLORIDA

DATE JUNE 2024
DWG SP-4



10805 GLENEAGLES ROAD BOYNTON BEACH, FLORIDA, 33436
561.736.6642 pattontnt@earthlink.net

OVERALL SITE PLAN
PICKLEBALL IMPROVEMENTS
CITY OF MIAMI BEACH FLAMINGO PARK
1245 MERIDIAN AVENUE, MIAMI BEACH, FLORIDA

DATE JUNE 2024
DWG SD-1





CAPE JUPITER, LLC

208 BARBADOS DRIVE
JUPITER, FLORIDA 33458
PHONE: (561) 329-1514
EMAIL: CAPELLC@OUTLOOK.COM
CERTIFICATE OF AUTHORIZATION: 30993

CLAUDINE ALEXANDER, PROFESSIONAL ENGINEER,
STATE OF FLORIDA, LICENSE NO. 53822

THIS PLAN SHEET HAS BEEN DIGITALLY SIGNED AND SEALED BY:
CLAUDINE ALEXANDER, P.E. ON 06-28-2024.

PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED
SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED
ON ANY ELECTRONIC COPIES.



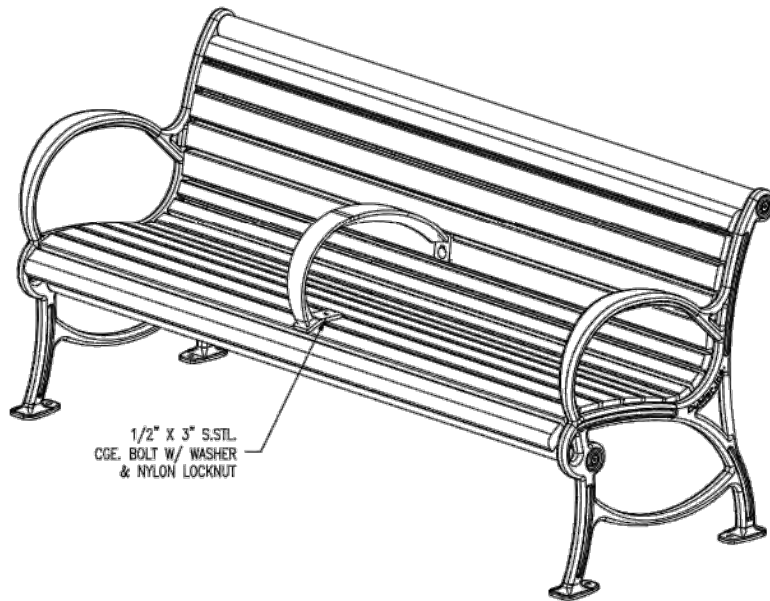
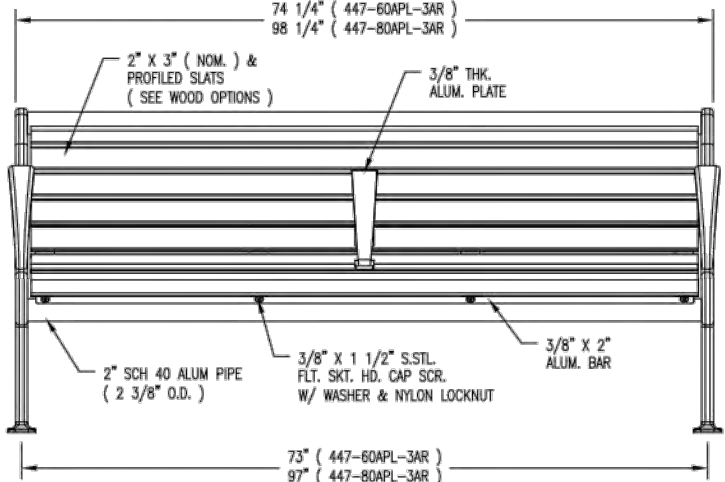
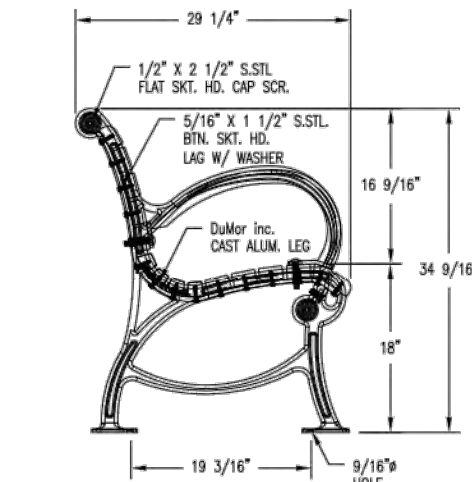
10805 GLENEAGLES ROAD BOYNTON BEACH, FLORIDA, 33436
561.736.6642 pattontnt@earthlink.net

RENDERING: NORTHWEST VIEW
PICKLEBALL IMPROVEMENTS
CITY OF MIAMI BEACH FLAMINGO PARK
1245 MERIDIAN AVENUE, MIAMI BEACH, FLORIDA

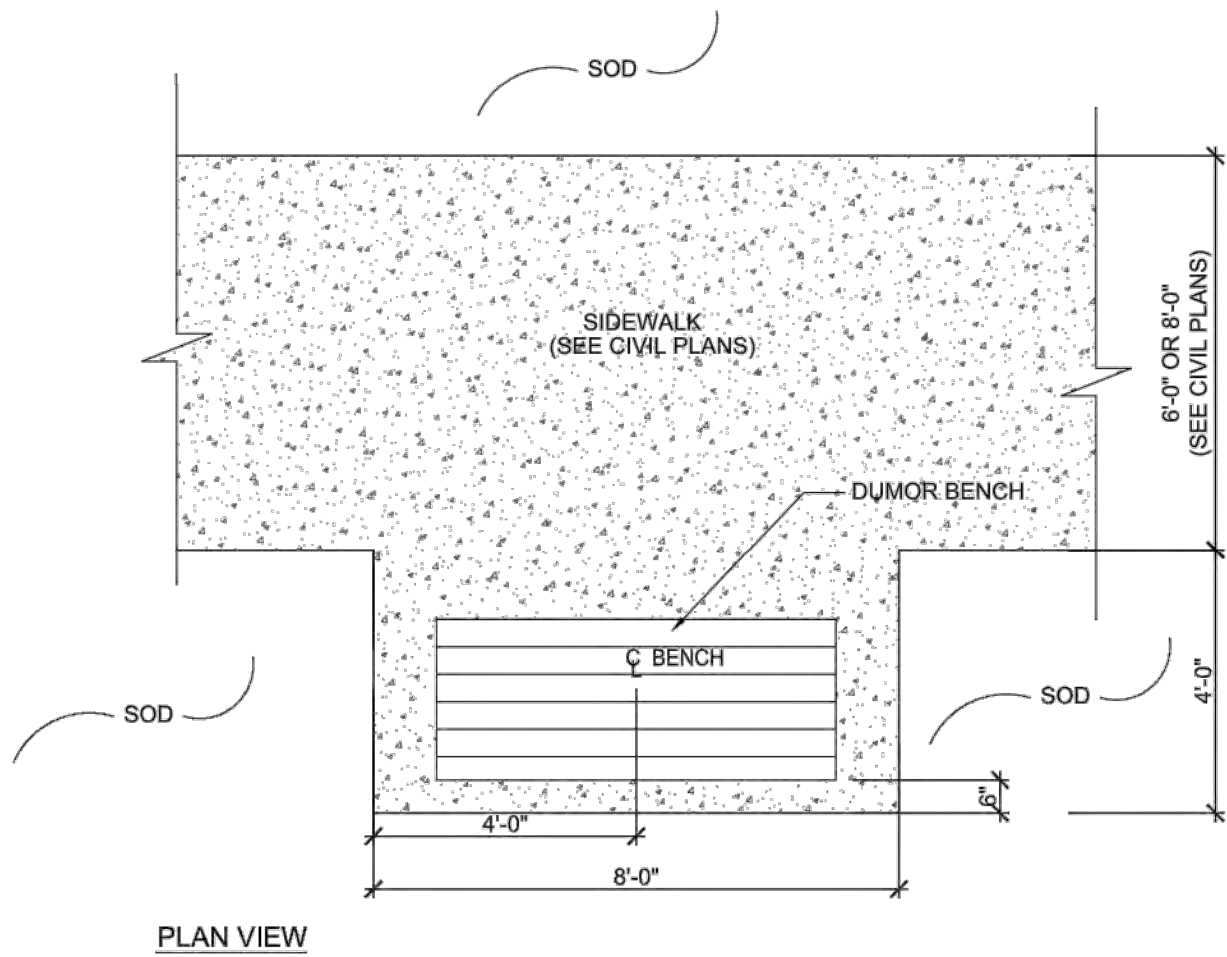


BENCH:
MANUFACTURED BY DUMOR, INC.
DUMOR MODEL NO.447-60APLG-3AR-6" CAST ALUMINUM BENCH,
(3) ARMS, GREY RECYCLED PLASTIC SLATS
INSTALL PER MANUFACTURER'S INSTRUCTIONS.
CONTACT REP SERVICES (407) 831-9658

NOTE:
ALL HARDWARE SUPPLIED BY CONTRACTOR SHALL BE STAINLESS
STEEL. ANCHOR BOLTS SHALL BE STUD TYPE EXPANSION ANCHOR
MIN. $\frac{3}{4}$ "x3 $\frac{3}{4}$ ". EXACT LOCATION TO BE DETERMINED IN FIELD.
ALL ALUMINUM TO BE COATED WITH ZINC RICH EPOXY THEN
FINISHED WITH POLYESTER POWDER COATING. COLOR TO MATCH
MIAMI BEACH BLUE.
CONTRACTOR SHALL SALVAGE EXISTING CITY BENCHES AND
PROVIDE TO CITY FOR FUTURE USE.

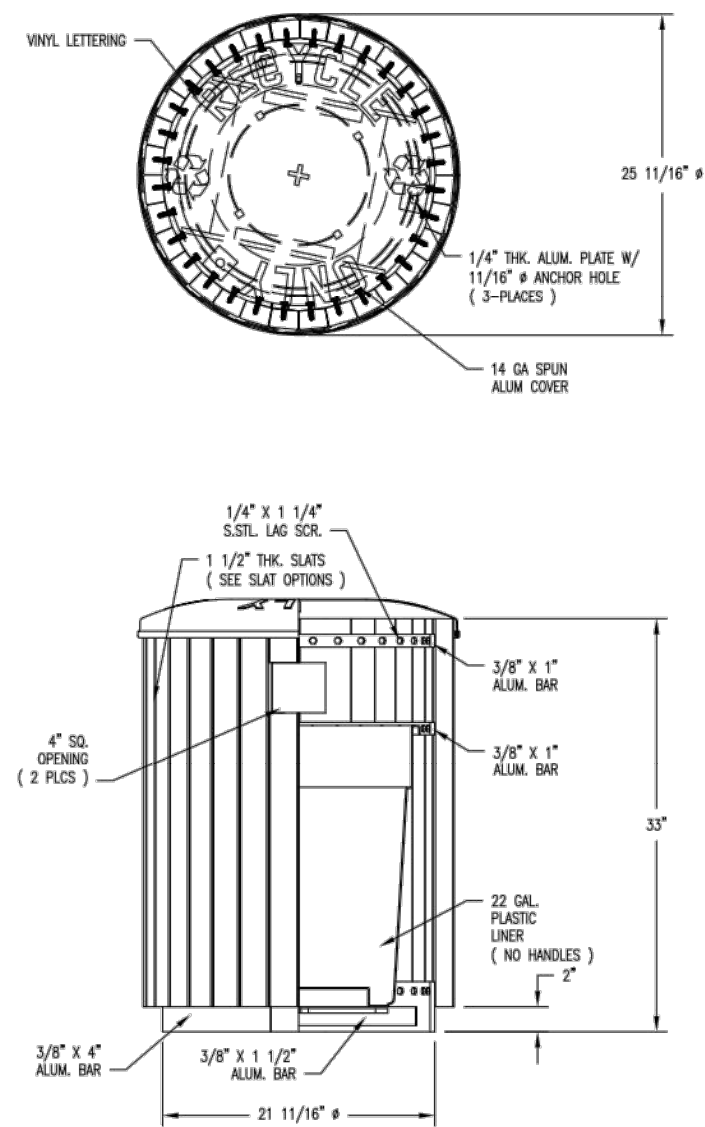


- LENGTH OPTIONS
☒ 6" BENCH
☐ 8" BENCH
- SLAT OPTIONS
☐ "CEDAR" RECYCLED PLASTIC
☒ "GREY" RECYCLED PLASTIC
☐ "REDWOOD" RECYCLED PLASTIC
☐ "WALNUT" RECYCLED PLASTIC
☐ OTHER
- NOTES
1.) ALL ALUM. MEMBERS COATED W/ ZINC RICH EPOXY THEN
FINISHED W/ POLYESTER POWDER COATING.
2.) 1/2" X 3 3/4" EXPANSION ANCHOR BOLTS PROVIDED.

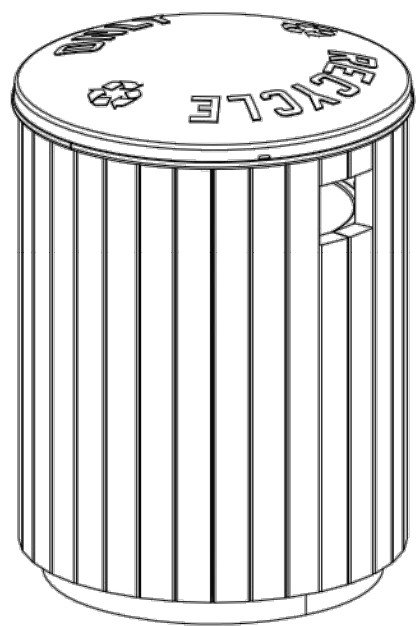


A BENCH
L2.3 (22 TOTAL)

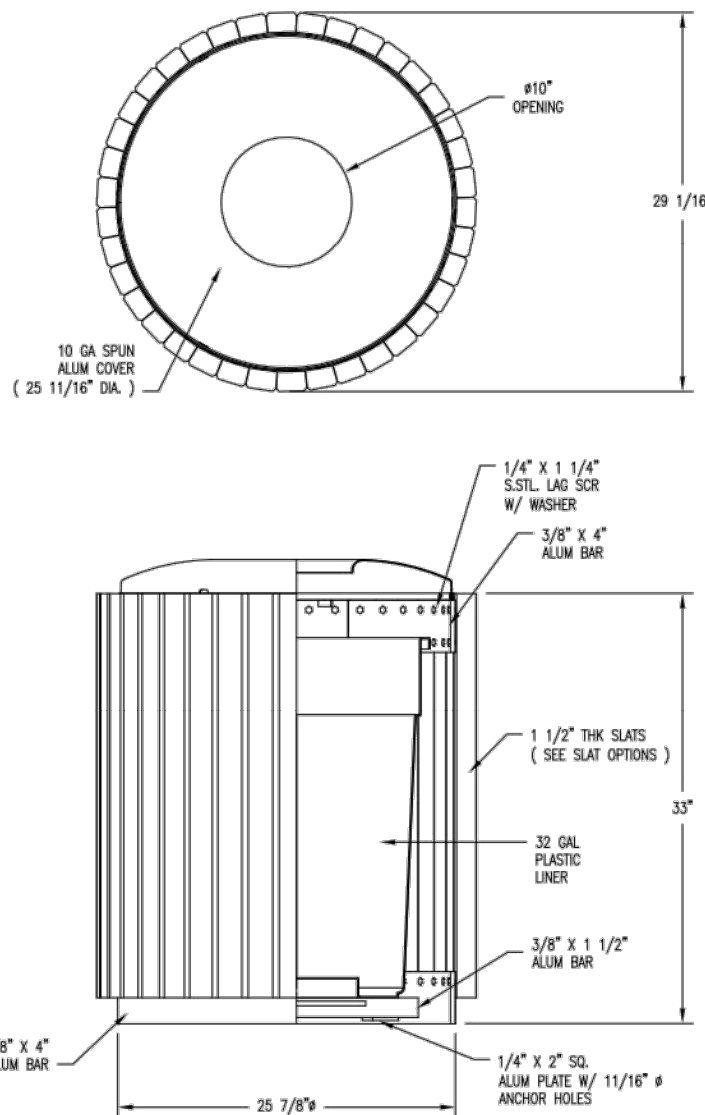
Not to Scale



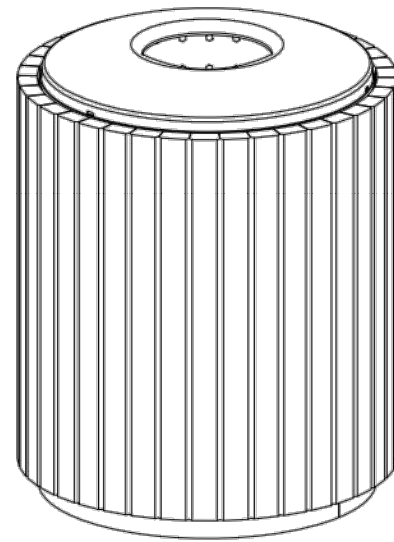
RECYCLE TRASH RECEPTACLE (5 Total)



- SLAT OPTIONS
☐ "CEDAR" RECYCLED PLASTIC
☒ "GREY" RECYCLED PLASTIC
☐ "REDWOOD" RECYCLED PLASTIC
☐ "WALNUT" RECYCLED PLASTIC
☐ OTHER
- NOTES
1.) ALL ALUM. MEMBERS COATED W/ ZINC RICH EPOXY
THEN FINISHED W/ POLYESTER POWDER COATING.
2.) 1/2" X 3 3/4" EXPANSION ANCHOR BOLTS PROVIDED.



TRASH RECEPTACLE (5 Total)



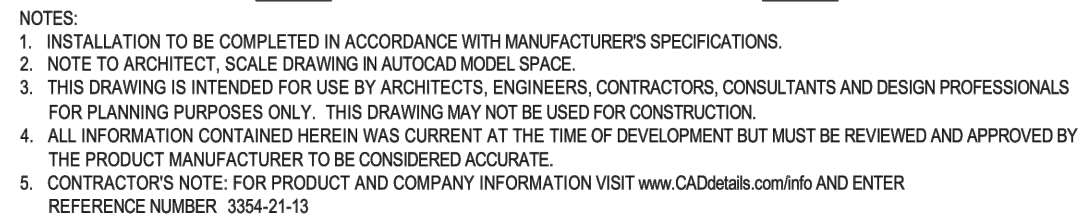
- SLAT OPTIONS
☐ "CEDAR" RECYCLED PLASTIC
☒ "GREY" RECYCLED PLASTIC
☐ "REDWOOD" RECYCLED PLASTIC
☐ "WALNUT" RECYCLED PLASTIC
☐ OTHER
- NOTES
1.) ALL ALUM. MEMBERS COATED W/ ZINC RICH EPOXY THEN FINISHED
W/ POLYESTER POWDER COATING.
2.) 1/2" X 3 3/4" EXPANSION ANCHOR BOLTS PROVIDED



TRASH RECEPTACLES:
MANUFACTURED BY DUMOR, INC.
RECYCLE- DUMOR MODEL NO. 69-365-22PL WITH CVR-30A-RC-0165
22 GAL. ALUMINUM RECEPTACLE WITH GREY RECYCLED PLASTIC WITH
WITH 25 $\frac{11}{16}$ " DIAMETER FLAT COVER.
REGULAR: DUMOR MODEL NO. 70-32APL WITH CVR-30A-FTD
32 GAL. ALUMINUM RECEPTACLE WITH GREY RECYCLED PLASTIC WITH
LARGE SPUN ALUMINUM COVER WITH OPENING AND CABLE
INSTALL PER MANUFACTURER'S INSTRUCTIONS.
CONTACT REP SERVICES (407) 831-9658
NOTE:
ALL HARDWARE SUPPLIED BY CONTRACTOR SHALL BE STAINLESS STEEL.
ANCHOR BOLTS SHALL BE STUD TYPE EXPANSION ANCHOR MIN. $\frac{3}{4}$ "x3 $\frac{3}{4}$ ".
EXACT LOCATION TO BE DETERMINED IN FIELD.
ALL ALUMINUM TO BE COATED WITH ZINC RICH EPOXY THEN FINISHED
WITH POLYESTER POWDER COATING. COLOR TO MATCH MIAMI BEACH
BLUE.
EXACT LOCATIONS TO BE DETERMINED IN FIELD BY CITY.

B TRASH RECEPTACLES

Not to Scale



SHOWN W/ REMOTE CHILLER, SHOWN W/ OPTIONAL TEMPLATE

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NOTES:

1. USE 1-1/2" SCHEDULE 40, SATIN #4 POLISH, STAINLESS STEEL PIPE 316 GRADE.
2. USE 1/2"-13 x 1" STAINLESS STEEL FLAT HEAD SOCKET CAP SCREW WITH 1/2" HDI, CARBON STEEL, HILT ANCHOR DROP-IN (PART #336427) OR EQUAL TO SECURE BIKE RACK TO MOUNTING SURFACE.
3. WHEN USING MORE THAN ONE LOOP, SEPARATION BETWEEN EACH LOOP SHALL BE A MINIMUM OF 30" CENTER TO CENTER.

MIAMI BEACH
PUBLIC WORKS DEPARTMENT
4700 COMMERCIAL CENTER BLVD. MIAMI BEACH, FL 33136

APPROVED	REVISED 07/2020 08/2022	BICYCLE RACK	DETAIL 10-4
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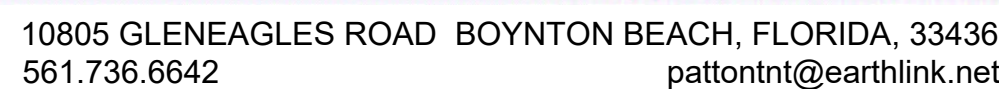


DETAILS: ACCESSORIES AND LIGHTING

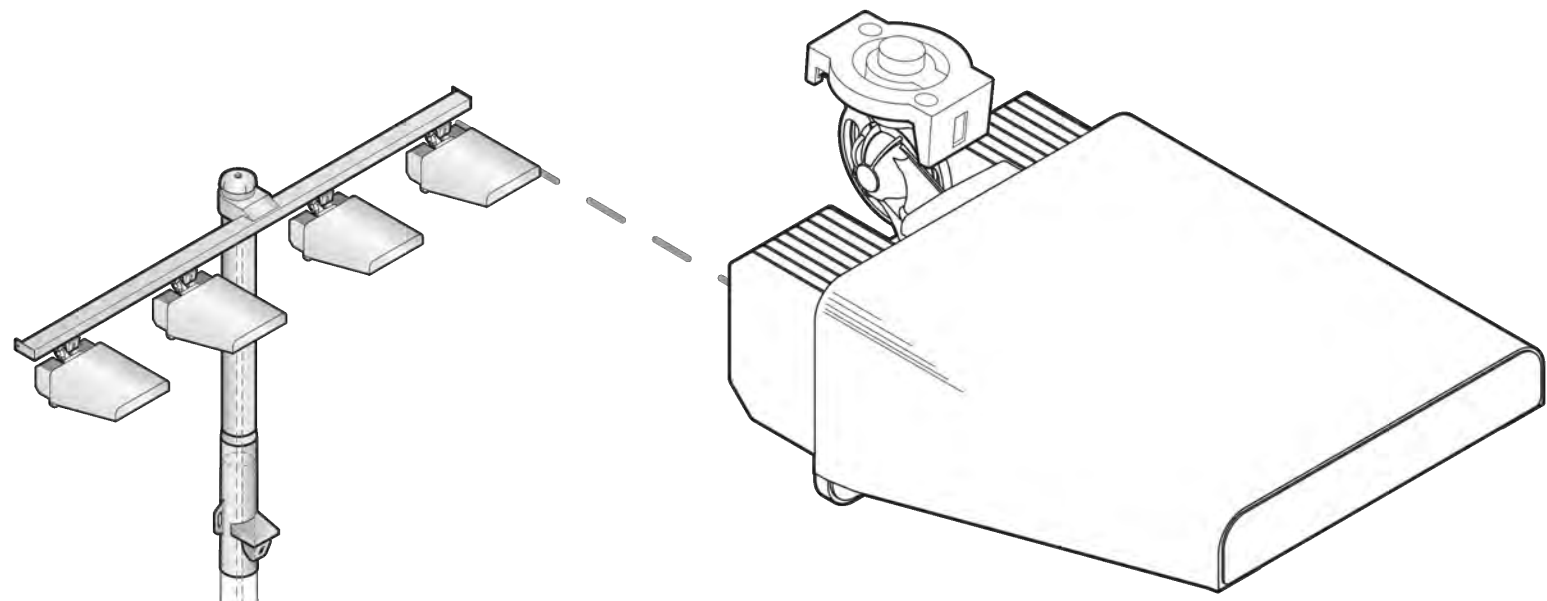
DATE	JUNE 2024
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DWG

SD-6



Luminaire and Driver – TLC-LED-550



Luminaire Data

Weight (luminaire)	25 lb (11 kg)
UL listing number	E338094
UL listed for USA/Canada	UL1598 CSA-C22.2 No.250.0
CE Declaration	LVD, EMC, RoHS
Ingress protection (luminaire)	IP65
Impact rating	IK07
Material and finish	Aluminum, powder-coat painted
Wind speed rating (aiming only)	150 mi/h (67 m/s)
UL, IEC ambient temperature rating (luminaire)	50°C (122°F)

Photometric Characteristics

Projected lumen maintenance per IES TM-21-11	
L90 (20k)	>120,000 h
L80 (20k)	>120,000 h
L70 (20k)	>120,000 h
Lumens¹	67,000
CIE correlated color temperature	5700 K
Color rendering index (CRI)	75 typ, 70 min
LED binning tolerance	7-step MacAdam Ellipse

Footnotes:
1) Incorporates appropriate dirt depreciation factor for life of luminaire.

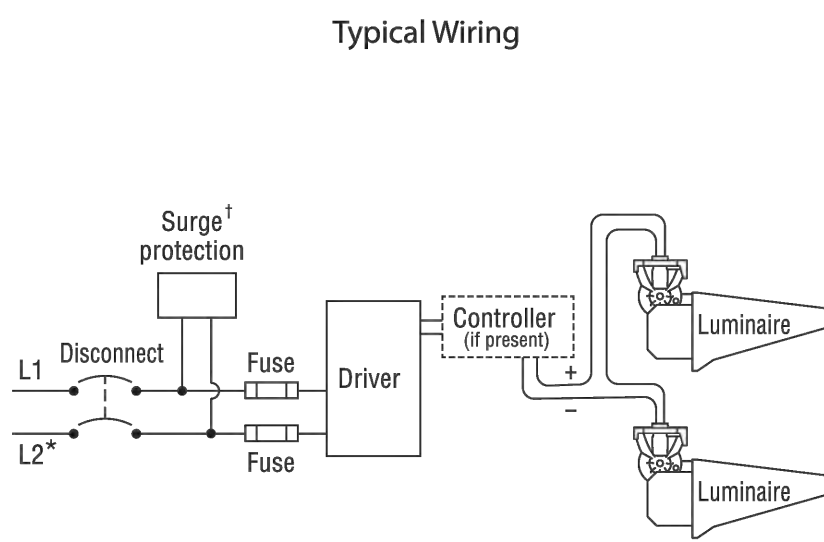
All components from foundation to poletop are designed to work together in Light-Structure System™ to ensure reliable, trouble-free operation.

Luminaire and Driver – TLC-LED-550

Driver Data

Electrical Data

Rated wattage¹	
Per driver	1080 W
Per luminaire	540 W
Number of luminaires per driver	2
Starting (inrush) current	<40 A, 256 µs
Fuse rating	15 A
UL, IEC ambient temperature rating, electrical components enclosure	50°C (122°F)
Ingress protection, electrical components enclosure	IP54
Efficiency	95%
Dimming mode	optional
Range, energy consumption	15 - 100%
Range, light output	20 - 100%
Flicker	<2%
Total harmonic distortion (THD) at full output	<20%



* If L2 is neutral then not switched or fused.
† Not present if indoor installation.

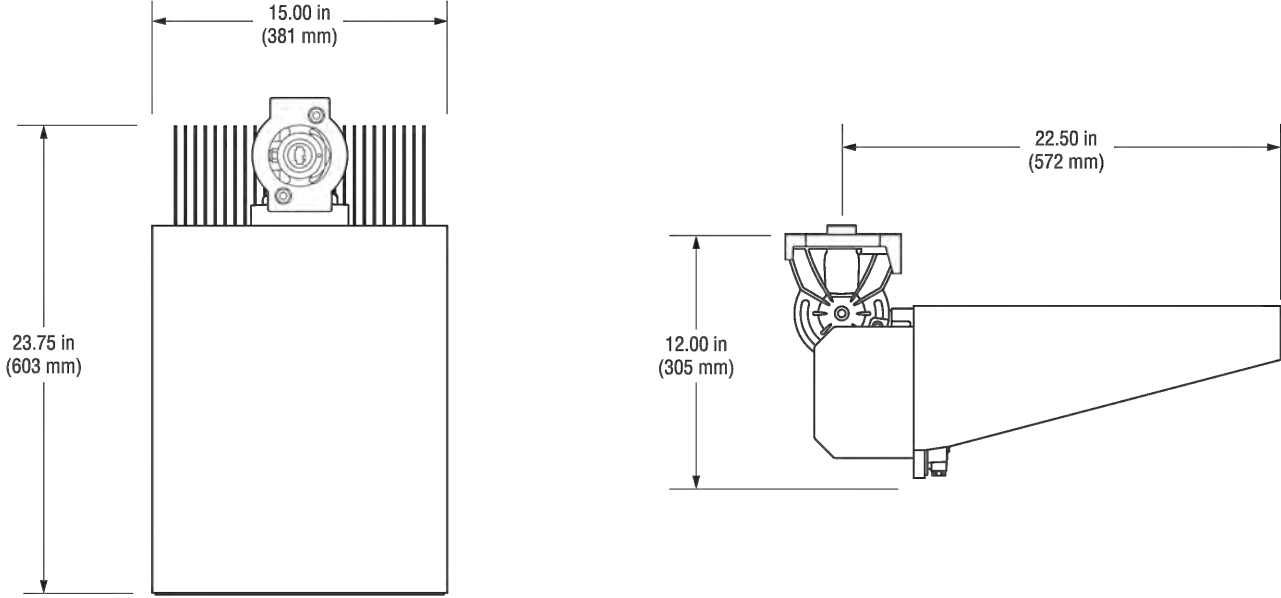
	200 Vac 50/60 Hz	208 Vac 60 Hz	220 Vac 50/60 Hz	230 Vac 50 Hz	240 Vac 50/60 Hz	277 Vac 60 Hz	347 Vac 60 Hz	380 Vac 50/60 Hz	400 Vac 50 Hz	415 Vac 50 Hz	480 Vac 60 Hz
Max operating current per luminaire²	3.32 A	3.19 A	3.02 A	2.89 A	2.77 A	2.40 A	1.92 A	1.75 A	1.66 A	1.60 A	1.39 A

Footnotes:

- 1) Rated wattage is the power consumption, including driver efficiency losses, at stabilized operation in 25°C ambient temperature environment.
2) Operating current includes allowance for 0.90 minimum power factor, operating temperature, and LED light source manufacturing tolerances.

Notes

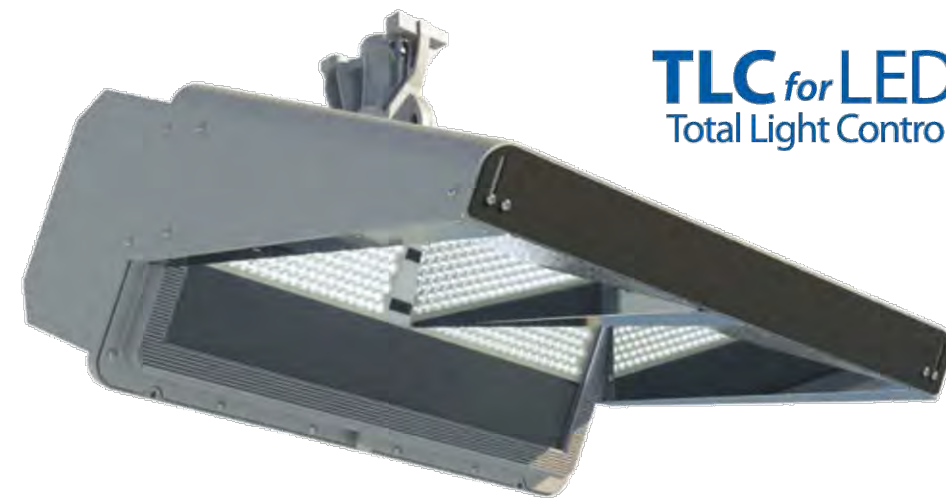
1. Use thermal magnetic HID-rated or D-curve circuit breakers.
2. See *Musco Control System Summary* for circuit information.



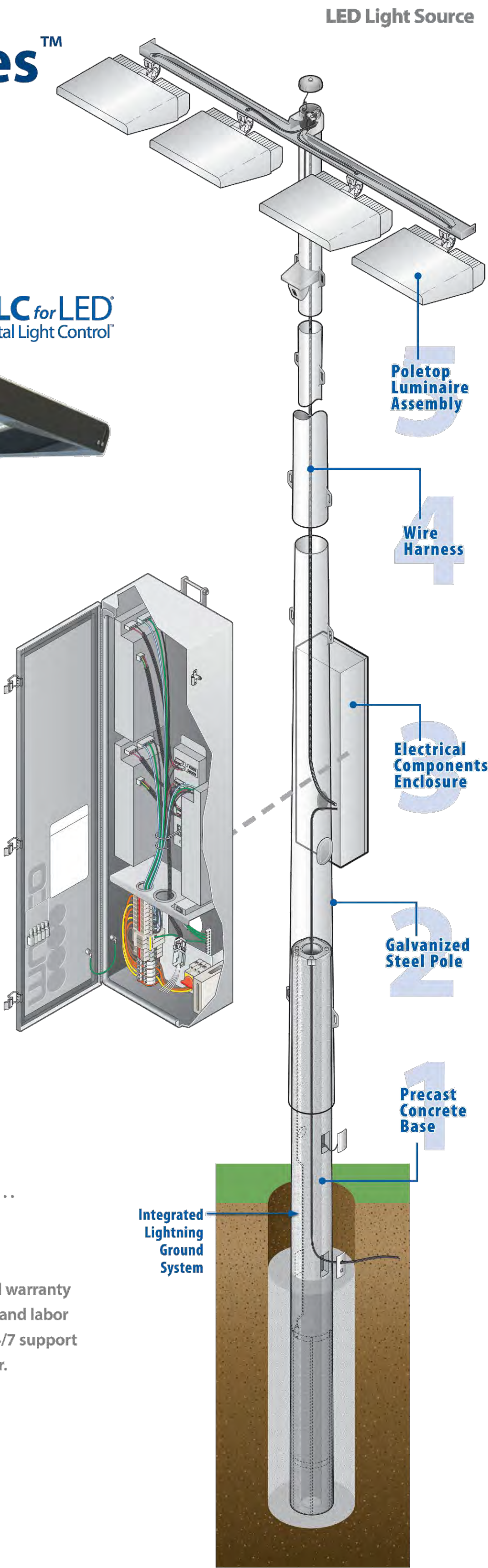
Light-Structure System™ MIAMI BEACH

5 Easy Pieces™

Complete System from Foundation to Poletop



TLC for LED
Total Light Control™



All components designed to work together . . .
factory built, wired, aimed, and tested
to assure reliable, trouble-free operation

Covered by a 25-year product assurance and warranty
program with guaranteed light levels, parts and labor
for maintenance, system monitoring, and 24/7 support
from our Control-Link Central™ service center.

For your
BUDGET,
for the
ENVIRONMENT.

DETAILS: ACCESSORIES AND LIGHTING
PICKLEBALL IMPROVEMENTS
CITY OF MIAMI BEACH FLAMINGO PARK
1245 MERIDIAN AVENUE, MIAMI BEACH, FLORIDA



10805 GLENEAGLES ROAD BOYNTON BEACH, FLORIDA, 33436
561.736.6642 pattonnt@earthlink.net





