

KIMPTON HOTEL
PALOMAR
SOUTH BEACH

1750 Alton Road, Miami Beach, FL 33139

BC1703462 MTCI
RECEIVED
MAR 27 2017
PRIVATE PROVIDER SERVICES, LLC
Construction Plans Review, Inspections, Testing & Consulting

PERMUY

ARCHITECTURE
INTERIOR DESIGN
PLANNING

2717 Ponce de Leon Blvd.
Coral Gables, FL 33134
Phone: 305.200.5302
www.PermuyArchitecture.com

02.28.17

STATE OF FLORIDA
REAL ESTATE ARCHITECT
REGISTRATION #A000000000

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PROPERTY OF PERMUY ARCHITECTURE, INTERIOR DESIGN
AND PLANNING, INC. AND MAY NOT BE REPRODUCED
EXCEPT WITH SPECIFICATION WRITTEN CONSENT OF THE
ARCHITECT. THE CONTRACTOR MUST CHECK AND VERIFY
ALL DIMENSIONS OF THE JOB AND BE RESPONSIBLE FOR
SAME. REPORTING ANY DISCREPANCIES TO THE ARCHITECT
BEFORE COMMENCING WORK. DRAWINGS ARE NOT TO BE
SCALED

NOTICE: In addition to the requirement of this permit, there may be additional restrictions applicable to this property that may be found in the Public Records of this County and there may be additional permits required from other government entities such as water management districts, state agencies, or federal agencies. The City of Miami Beach assumes no responsibility for accuracy of or results from these plans which are approved subject to compliance with all Federal, State, and Local Laws, Rules, and Regulations.

PUBLIC WORKS
PLAN REVIEW NOTICE
Phone 305-673-7080 Fax 305-673-7028
THIS PLAN REVIEW CONSTITUTES APPROVAL FOR COMMENCING
BUILDING PERMITS ONLY.
Work, materials and equipment are to be retained within
the property
construction and for use of equipment in the right-of-way
for easements will require a separate permit. Permit
must be obtained PRIOR TO START OF CONSTRUCTION.
to start any excavation in the right-of-way, you must
first obtain a permit from the City of Miami Beach. The permit
must be obtained PRIOR TO START OF CONSTRUCTION.
If the utilities have not been located at this location.

OFFICE COPY
CITY OF MIAMI BEACH
APPROVED FOR PERMIT BY
THE FOLLOWING:
BUILDING: [Signature]
ZONING: [Signature]
PLUMBING: [Signature]
ELECTRICAL: [Signature]
MECHANICAL: [Signature]
FIRE PREVENTION: [Signature]
FLOOD: [Signature]
PUBLIC WORKS: [Signature]
STRUCTURAL: [Signature]
ELEVATOR: [Signature]
ROOFING: [Signature]



OWNER
FINVARB GROUP
1065 Kane Concourse, Suite 201
Bay Harbor Island, FL 33154

ARCHITECT OF RECORD
PERMUY ARCHITECTURE
2717 Ponce de Leon Blvd.
Coral Gables, FL 33134

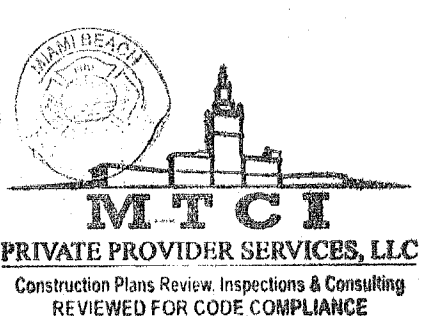
INTERIOR DESIGN
CHAPI CHAPO DESIGN
1822 Danforth Ave.
Toronto, ON, M4C 1H8, Canada

DESIGN ARCHITECT
KOBI KARP ARCHITECTURE
2915 Biscayne Blvd. Suite 200
Miami, FL 33137

CIVIL ENGINEER
OCEAN ENGINEERING, INC.
333 NE 24th Street, Suite 408
Miami, FL 33137

FIRE PROTECTION / LIFE SAFETY
SLS CONSULTING, INC.
1825 Ponce de Leon Blvd. Suite 565
Miami, FL 33134

City of Miami Beach
Fire Prevention Division



STRUCTURAL ENGINEER
De LOS REYES ENGINEERING
8726 NW 26th St. Suite 1 & 2
Miami, FL 33172

MEP
JPG ENGINEERING GROUP P.A.
3553 NW 79 Ave.
Miami, FL 33122

CIVIL ENGINEER
OCEAN ENGINEERING
333 NE 24th ST., Suite 408
Miami, FL 33137

LANDSCAPE ARCHITECT
JFS DESIGN
1833 NW 104th Terrace
Pembroke Pines, FL 33028

LAND SURVEYORS
LEVEL-TECH SURVEYORS, LLC
777 NW 72 Ave. Suite 3134
Miami, FL 33136

POOL CONSULTANT
AQUADYNAMICS DESIGN GROUP, INC.
5000 SW 75th Avenue, Suite 300
Miami, FL 33155

	REVIEWER	DATE
BUILDING	[Signature]	02/28/17
STRUCTURAL	[Signature]	02/28/17
MECHANICAL	[Signature]	02/28/17
ELECTRICAL	[Signature]	02/28/17
PLUMBING	[Signature]	02/28/17
SITE CIVIL	[Signature]	02/28/17

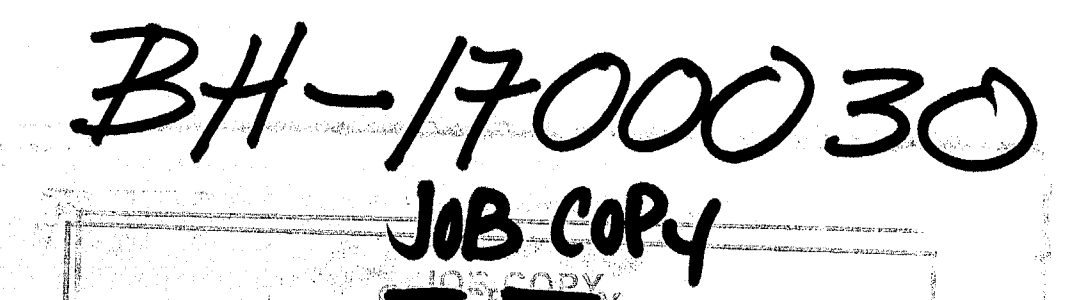
PERMIT SET

PALOMAR
SOUTH BEACH
1750 Alton Road, Miami Beach, FL 33139
FINVARB GROUP
1065 Kane Concourse, Suite 201, Bay Harbor Island, FL 33154

PROJECT NO. 1613
DATE 02.28.17
SHEET INDEX
SCALE: As Noted
SHEET NO.

A-000

1750 Alton Road, Miami Beach, FL 33139



CITY OF MIAMI BEACH
APPROVED FOR PERMIT BY
THE FOLLOWING:

BUILDING:
ZONING:
PLUMBING:
ELECTRICAL:
MECHANICAL:
FIRE PREVENTION:
FLOOD:
PUBLIC WORKS:
STRUCTURAL:
ELEVATOR:
ROOFING:

**PHASE PERMIT
JOB COPY**

PERMUY

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INTERIOR DESIGN
PLANNING

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Coral Gables, FL, 33134
Phone : 305.200.5302
www.PermuyArchitecture.com

02-28-17
H. W. H. H.

STATE OF FLORIDA
HELIO MILIAN ARCHITECT
REGISTRATION #AR1004953

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KIMPTON HOTEL
PALOMAR
SOUTH BEACH
Alton Road Miami Beach FL 33139

FINVARR CROIR

FINVARD GROUP
Concourse, Suite 201, Bay Harbor Islands

OWNER
FINVARB GROUP
1065 Kane Concourse, suite 201
Bay Harbor Island, FL 33154

ARCHITECT OF RECORD
PERMUY ARCHITECTURE
2717 Ponce de Leon Blvd.
Coral Gables, FL 33134

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Toronto, ON, M4C 1H8, Canada

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KOBI KARP ARCHITECTURE
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OCEAN ENGINEERING, INC.
333 NE 24th Street, Suite 408
Miami, FL 33137

FIRE PROTECTION / LIFE SAFETY
SLS CONSULTING, INC.
1825 Ponce de Leon Blvd. Suite 565
Miami, FL 33134

NAME (PRINT): YASMIN L AYALA
SIGNATURE: [Signature] DATE: March 5, 2018
M2017003378

STRUCTURAL ENGINEER
De LOS REYES ENGINEERING
8726 NW 26th St. Suite 1 & 2
Miami, FL 33172

MEP
JPG ENGINEERING GROUP P.A.
3553 NW 79 Ave.
Miami, FL 33122

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OCEAN ENGINEERING
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JFS DESIGN
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Miami, FL, 33126

POOL CONSULTANT
AQUADYNAMICS DESIGN GROUP, INC.
5000 SW 75th Avenue, Suite 300
Miami, FL 33155

MZ017008378

PERMIT SET

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PROJECT NO. 1613

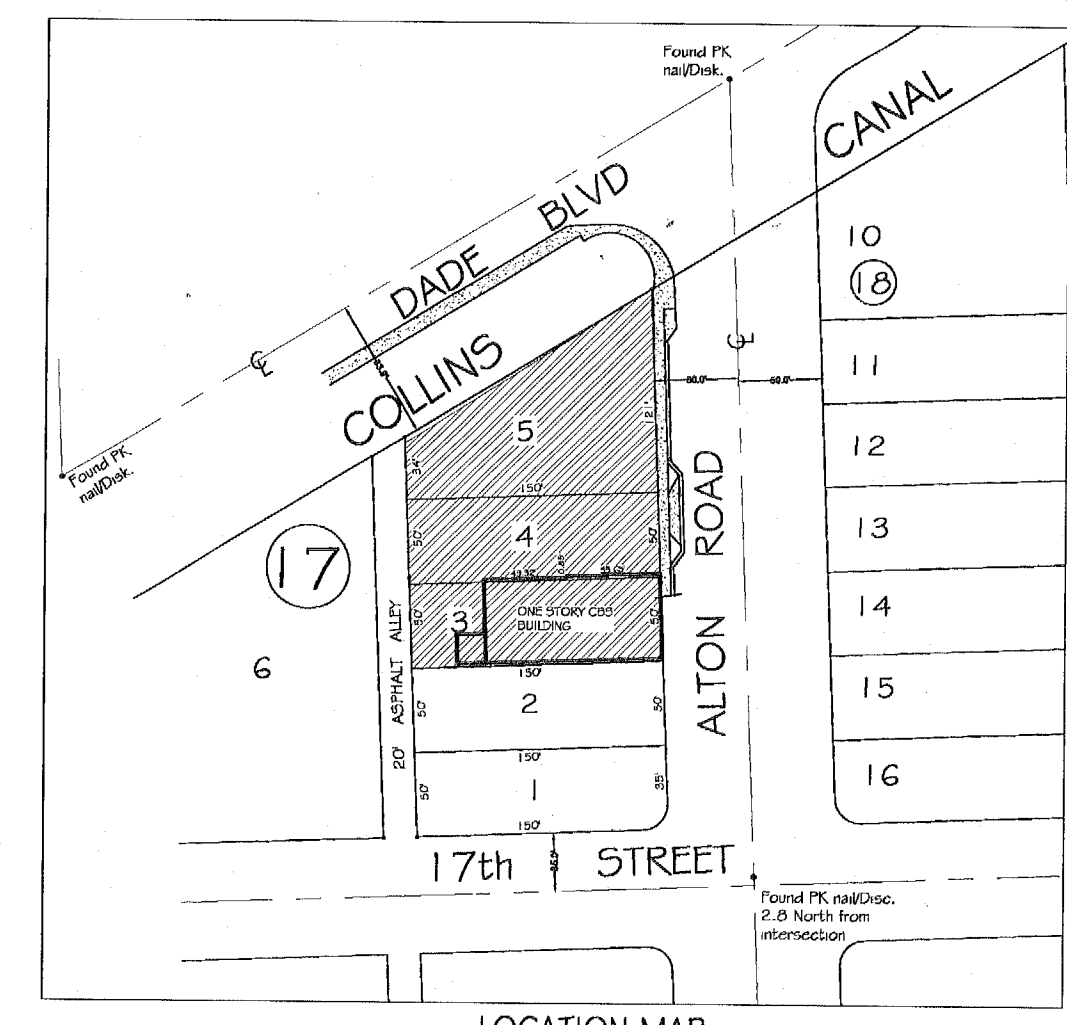
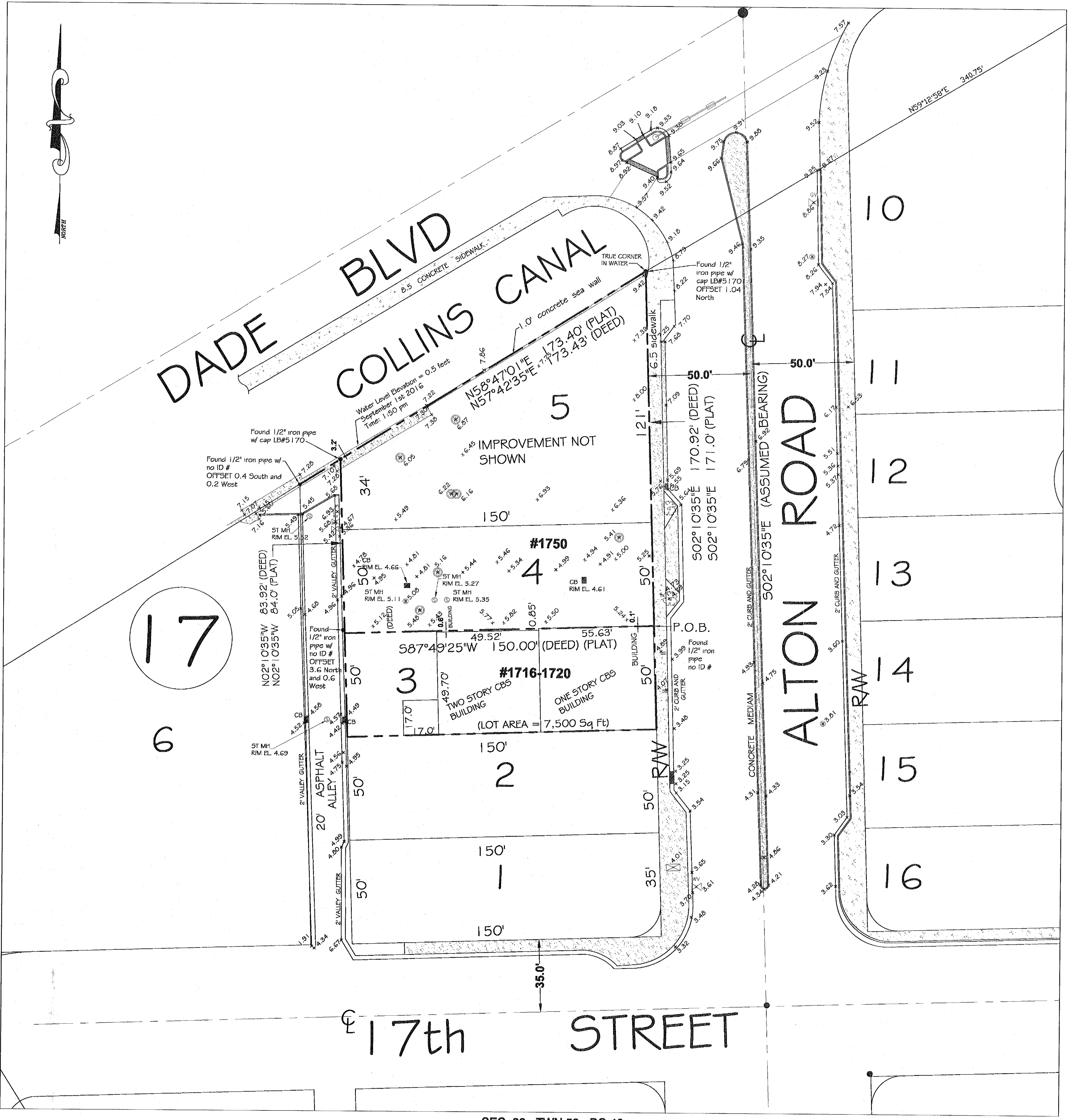
DATE: 02.28.17

SHEET INDEX:

SCALE: As Noted

SHEET NO.

A-000



LEGAL DESCRIPTION:

Lot 4 less the South 1 inch (0.08'), and all Lot 5, both in Block 17, FIRST ADDITION TO COMMERCIAL SUBDIVISION, according to the Plat thereof, as recorded in Plat Book G, Page 30, of the Public Records of Miami-Dade County, Florida, being more particularly described as follows:
Begin at the Southeast corner of Lot 4, Block 17, FIRST ADDITION TO COMMERCIAL SUBDIVISION, according to the Plat thereof, as recorded in Plat Book G, Page 30, of the Public Records of Miami-Dade County, Florida; thence run North along the West right-of-way line of Alton Road, for a distance of 1 inch (0.08' feet) to the Point of Beginning of the hereinafter described parcel; thence run West for a distance of 150.00 feet to a point; thence run North for a distance of 83.92 feet to a point; thence run North 59°53'10" East for a distance of 173.43 feet to a point; thence run South for a distance of 170.92 feet to the Point of Beginning.

SURVEYOR'S NOTES:

- 1) The above captioned Property was surveyed and described based on the above Legal Description: Provided by Client.
- 2) The lands shown hereon were not abstracted for easements or other recorded encumbrances not shown on the plat and the same, if any may not be shown on this section.
- 3) Ownership subject to Opinion of Title.
- 4) Bearings are based on an assumed meridian and referenced on the Centerline of ALTON ROAD, (S 02°10'35" E).
- 5) Underground utilities are not depicted hereon.
- 6) The minimum relative distance accuracy for this type of Survey is 1 foot in 10,000 feet. The accuracy obtained by measurement and calculation of closed geometric figures was found to exceed this requirement.
- Well-identified features as depicted on the Survey Map were measured to an estimated horizontal positional accuracy of 1/10 foot.
- 7) Zoning and Setbacks are not verified by this survey.
- 8) Elevations shown hereon are relative to the 1929 N.G.V.D. of mean sea level and are based on a benchmark supplied by the engineering department of Miami-Dade County, Florida.
- 9) Bench Mark used: No. A-36, Elevation +7.34 located by brass bar in concrete sidewalk at N.W. corner of bridge at Dade Boulevard (41.9' South of centerline) and Alton Road (90' West of centerline).
- 9) Flood Elevation Information:
Community: 120651 FIRM Panel: 12086C0317L Flood Zone: "AE"
Date of FIRM: 09/11/2009 Suffix: L
Base Flood Elevation: 8.0
- 10) Record area: 21,331 Sq. Ft. (Lot 4 & 5)

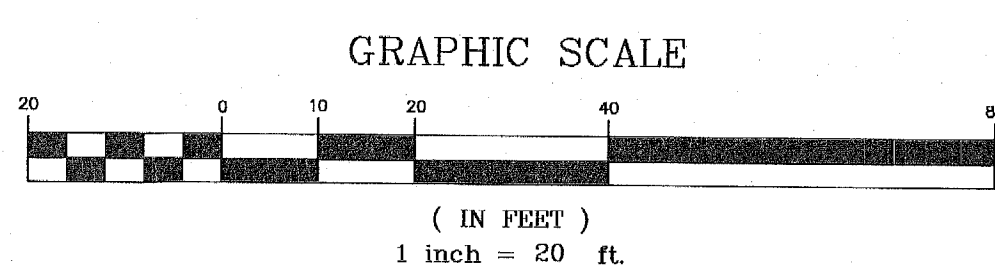
CERTIFICATE NOTE:

I hereby certify that the BOUNDARY and TOPOGRAPHIC SURVEY for the purpose of locating TREES, completed under my direction on SEPTEMBER 1st, 2016, and that said survey is true and correct to the best of my knowledge and belief. I further certify that this survey meets the MINIMUM TECHNICAL STANDARDS FOR SURVEYS set forth in Chapter 5J-17, Florida Administrative Code, as adopted by the Florida Board of Professional Surveyors and Mappers pursuant to 472.027 Florida Statute.

LEVEL TECH SURVEYORS, LLC

Donald T. Ramsey
PROFESSIONAL LAND SURVEYOR, NO. 5851
STATE OF FLORIDA

"NOT VALID UNLESS SEALED WITH THE SURVEYORS EMBOSSED SEAL."



City of Miami Beach
Fire Prevention Division
PLANS APPROVED

REVISIONS	
DATE	DESCRIPTION
02/20/2017	Revise Legal Description
08-22-2015	REVISED TO ADD LOT 3 TO LEGAL AND LOCATION SKETCH
01-06-2016	REVISED AREA

LEVEL-TECH SURVEYORS, LLC
777 N.W. 72ND AVENUE
MIAMI, FL 33126
SUITE 3134
TEL: 305.261.8483
FAX: 305.261.8781
LB # 7154

DRAWINGS ARE THE PROPERTY OF LEVEL-TECH SURVEYORS, LLC, AND MAY NOT BE USED BY CLIENT ON OTHER PROJECTS EXCEPT BY AGREEMENT IN WRITING AND WITH THE APPROPRIATE COMPENSATION TO LEVEL-TECH SURVEYORS, LLC.

DATE	DESCRIPTION
02/20/2017	Revise Legal Description
08-22-2015	REVISED TO ADD LOT 3 TO LEGAL AND LOCATION SKETCH
01-06-2016	REVISED AREA

BOUNDARY and TOPOGRAPHIC SURVEY

PROJECT LOCATION: 1750 ALTON ROAD, MIAMI BEACH, MIAMI-DADE FLORIDA
CLIENT: RONALD FINVARR (305) 799-3708
CLIENT ADDRESS: 1065 KANE CONCORSE, STE 201
FILE PATH: BAY HARBOR ISLAND, FL 33154

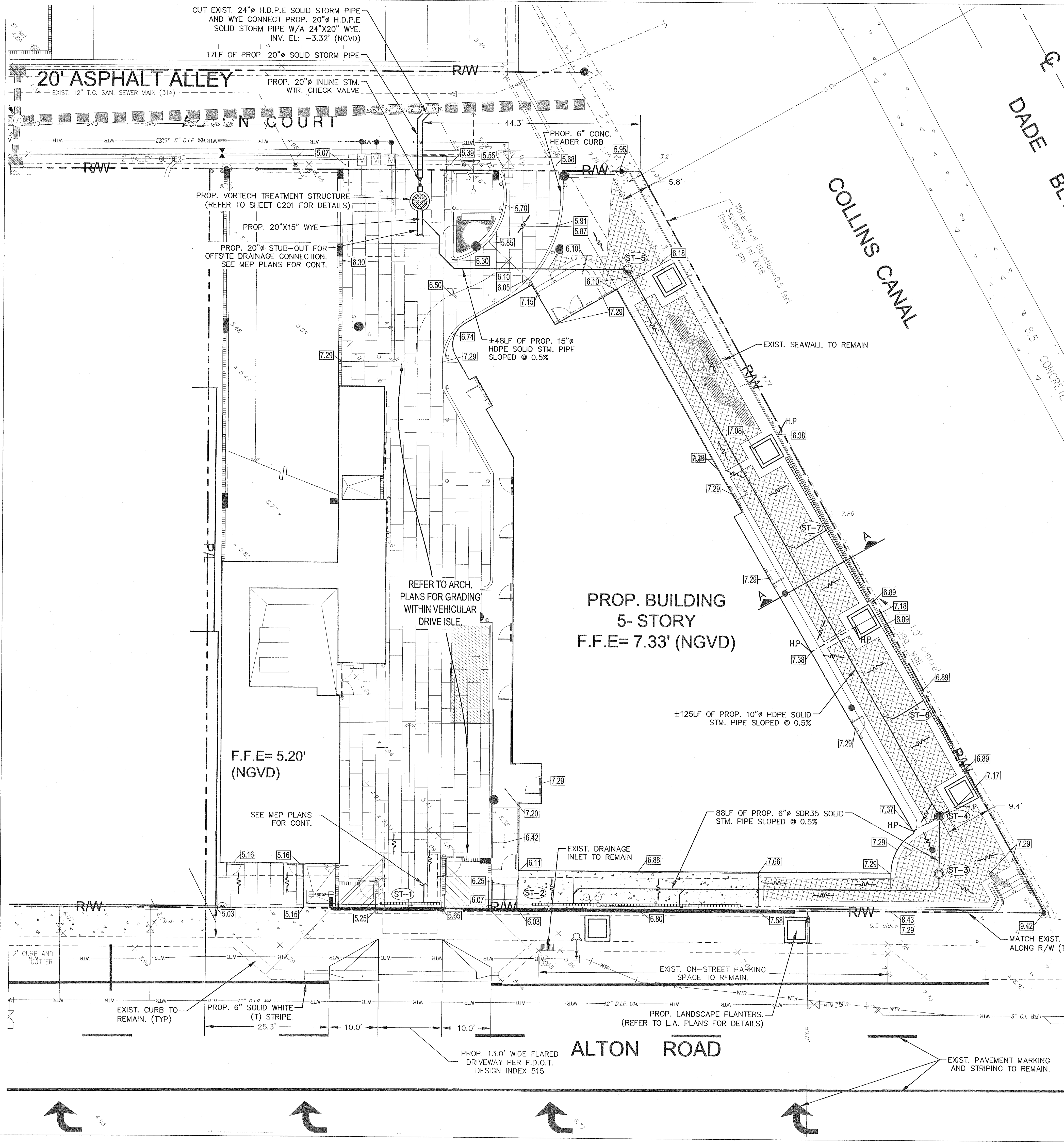
SCALE: 1"=20'
DATE OF FIELD WORK: 09-1-2016
DRAWN BY: A.J.R.
FIELD BOOK: SKETCH
PROJECT NO: 15-08-8182
SHEET: 1
OF 1 SHEETS

LEGEND:

- ELEVATION
- # OR NO. NUMBER
- DWG. DRAWING
- LC- LENSING
- INC- INCORPORATED
- IF- HAND CAP PARKING
- MIN- MINIMUM
- AC- AIR CONDITIONER
- CONG- CONCRETE
- N/A- NOT APPLICABLE
- ASPH- ASPHALT
- ID- IDENTIFICATION
- REF- REFERENCE
- C- CENTER LINE
- F.F. ELEV. FINISH FLOOR ELEVATION
- REDU- ELEVATION
- F.F.E- FOUND IRON ROD
- C.B.S- CONCRETE BLOCK & STUCCO
- N.G.D- NATIONAL GEODETIC VERTICAL DATUM
- 7.5- 7.5' PROFESSIONAL SURVEYOR AND MAPPER
- L.B- LICENSE OF BUSINESS
- REC. # MEAS- RECORD AND MEASURED
- P.O.C- POINT OF COMMENCEMENT
- P.O.B- POINT OF BEGINNING
- M+ MANHOLE
- LP- LIGHT POLE
- WP- WOOD POLE
- CB- CATCH BASIN
- W- WATER VALVE
- BW- BELL-SOUTH MANHOLE
- MW- WATER METER
- FH- FIRE HYDRANT
- TB- TRAFFIC LIGHT BOX
- GV- GAS VALVE
- W- WELL

CERTIFIED TO:
SOBE ALTON, LLC

SEC: 33 - TWN 53 - RG 42

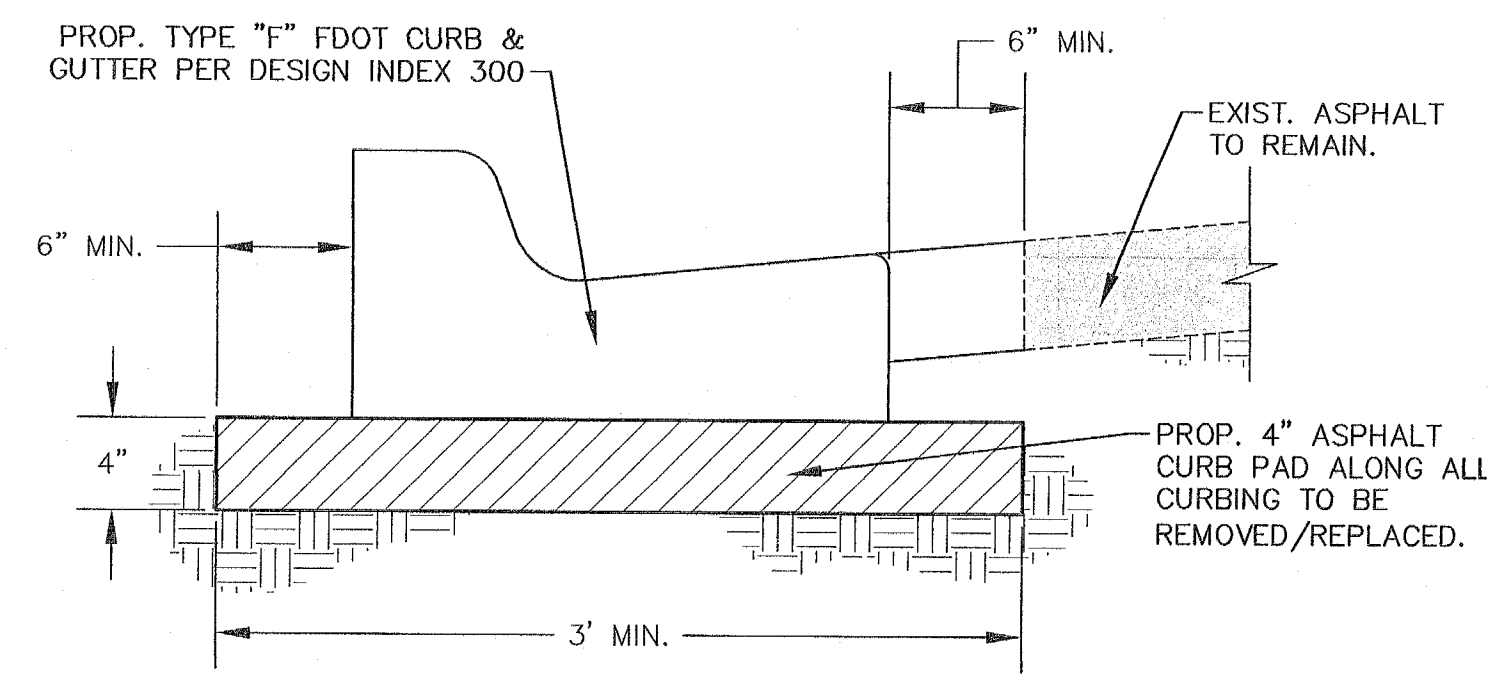


LEGEND:

- RAW --- R/W LINE/PROPERTY LINE
- CENTER LINE
- EXISTING CURBING
- EXISTING ELEVATIONS (N.G.V.D.)
- PROP. CONCRETE PAVING. (SEE ARCH. PLANS FOR DETAILS)
- PROP. PAVERS (SEE ARCH. PLANS FOR DETAILS)

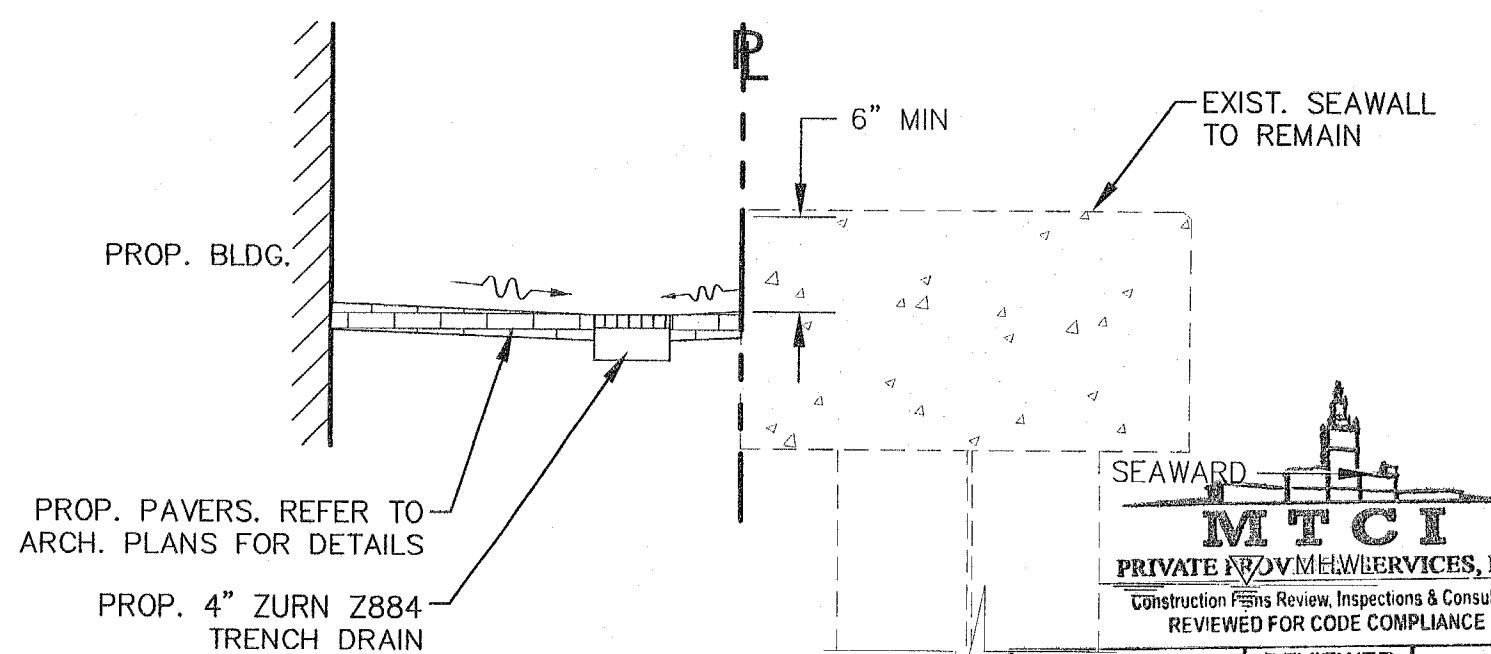
GRAPHIC SCALE
0 5 10 20
(IN FEET)
1" = 10'

PROF. GRADE ELEVATION (NGVD)
DIRECTION OF SURFACE RUNOFF
PROP. TRENCH DRAIN



4" ASPHALT CURB PAD
N.T.S.

NOTE:
ALL CURBING AND/OR GUTTERS WITHIN FDOT R/W INDICATED TO BE REMOVED AND/OR REPLACED SHALL BE SAW CUT TO THE NEAREST JOINT TO ALLOW A CLEAN INTERFACE WITH PROPOSED WORK.



SECTION A-A
N.T.S.

STRUCTURE TABLE								
STRUC. NUM.	DESCRIPTION	RIM. EL.	BTM	E	S	W	STM. PIPE	COMMENTS
ST-1	12' OF ZURN Z882 TRENCH DRAIN	5.25'				2.92'	4" SDR35	W/H2O RATED GRATE
ST-2	42' OF ZURN Z880 TRENCH DRAIN	6.03'				4.20'	4" SDR35	W/ADA GRATE
ST-3	8" NYLOPLAST INLINE DRAIN	7.05'		3.89'		3.79'	4" SDR35	W/ADA GRATE
ST-4	24" NYLOPLAST DRAIN BASIN	7.25'		3.74'			6" SDR35	W/CONCEALED SOLID GRATE
						3.74'	10" HDPE	
ST-5	24" NYLOPLAST DRAIN BASIN	5.80'		3.12'			10" HDPE	W/CONCEALED SOLID GRATE
					3.02'		15" HDPE	
ST-6	34' OF ZURN Z884 TRENCH DRAIN	6.89'		4.58'			6" SDR35	W/ADA GRATE
ST-7	34' OF ZURN Z884 TRENCH DRAIN	6.89'		4.58'			6" SDR35	W/ADA GRATE

- NOTE:**
- ALL PROPOSED CONCRETE SIDEWALKS WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE COLORED "MIAMI BEACH RED" AND OBTAIN A 2% MAXIMUM CROSS SLOPE.
 - ALL CONSTRUCTION JOINTS ARE TO BE SAW CUT TO ACQUIRE A STRAIGHT PERPENDICULAR EDGE.
 - ANY SURFACE UTILITIES AFFECTED BY THE MODIFICATION OF THE EXISTING SIDEWALK WILL NEED TO BE FIELD ADJUSTED TO THE PROPOSED ELEVATIONS DETAILED ON THIS SHEET.
 - ANY DAMAGE INCURRED DURING CONSTRUCTION TO THE SIDEWALKS, RAMPS AND/OR CURB AND GUTTER WITHIN F.D.O.T. RIGHT-OF-WAY SHALL BE RESTORED TO ITS ORIGINAL CONDITION OR BETTER. ALL CONSTRUCTION SHALL CONFORM TO F.D.O.T. DESIGN STANDARDS INDEXES NO. 300, 304 & 310 AND STANDARD SPECIFICATION 522.
 - A. MILL AND RESURFACE 2 INCHES AVERAGE USING TYPE S-III ASPHALT MIX DESIGN ON THE DRIVING LANE (10 FT. WIDE) ALONG THE ALLEY ONLY (ALTON RD. IS AN FDOT ROAD). B. ANY WORK AND/OR IMPROVEMENTS FROM/TO THE RIGHT OF WAY INCLUDING LANDSCAPING AND IRRIGATION REQUIRES A SEPARATE CMB PUBLIC WORKS DEPT. RIGHT OF WAY CONSTRUCTION PERMIT PRIOR TO START OF CONSTRUCTION.

PERMUY
ARCHITECTURE
INTERIOR DESIGN
PLANNING

2717 Ponce de Leon Blvd.
Coral Gables, FL 33134
Phone : 305.200.5302
www.PermuyArchitecture.com

WALTER M. LUGO
P.E.
NO. 61747
STATE OF FLORIDA
PROFESSIONAL ENGINEER

WALTER M. LUGO P.E.
FL PE# 61747

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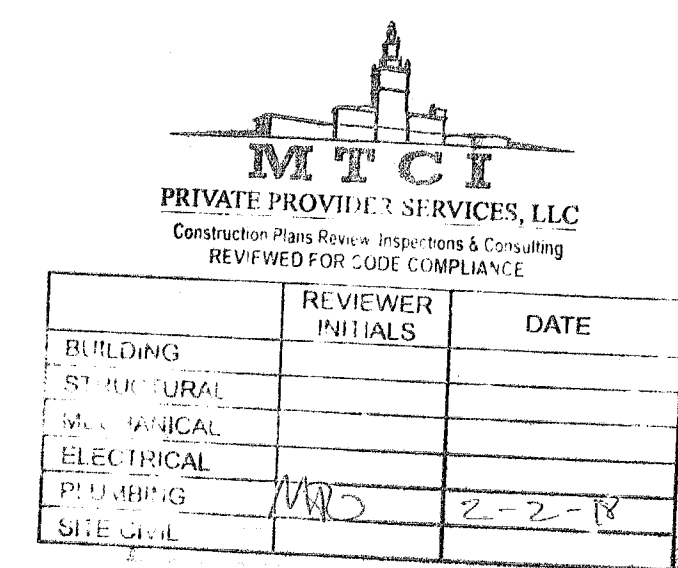
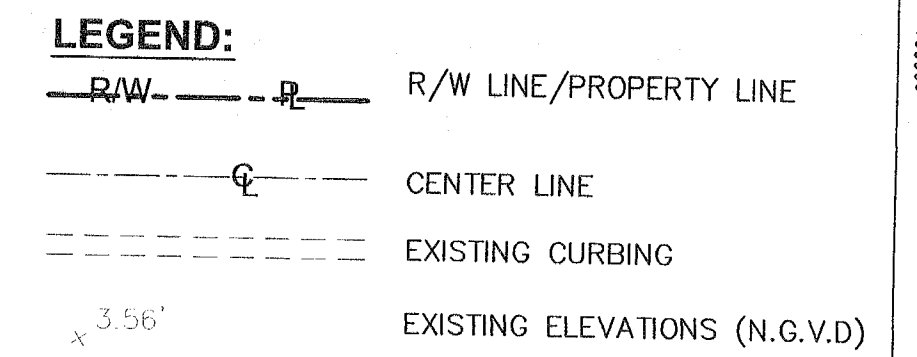
KIMPTON HOTEL
PALOMAR
SOUTH BEACH
1750 Alton Road, Miami Beach, FL 33139

FINVARB GROUP
1085 Kane Concourse, Suite 201, Bay Harbor Island, FL 33154

PROJECT NO. 1613
DATE: 2-17-17
SHEET NO. 1
PAVING, GRADING & DRAINAGE PLAN
SCALE: 1" = 10'

PERMIT ISSUE

SHEET NO. C200



City of Miami Beach
Fire Prevention Division
PLANS APPROVED

FOCUS

[illegible]

PROJECT NO. _____

1613

DATE: _____

2-17-17

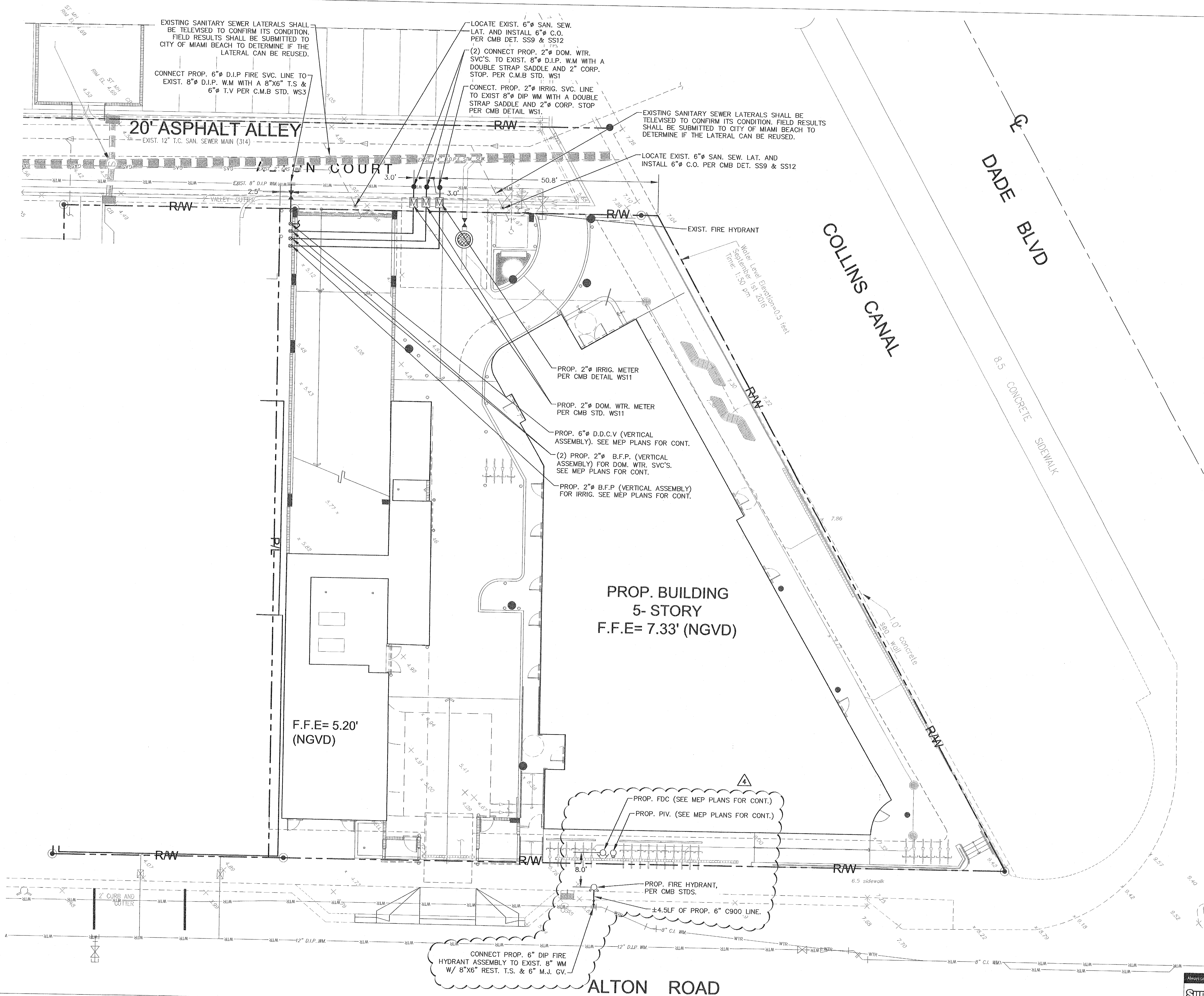
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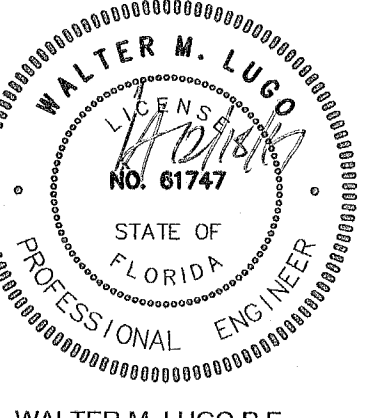
WATER AND
SEWER PLAN

SCALE: _____

SHEET NO. _____

C300





ALTER M. LUGO P.E.
FL PE# 61747

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750 Alton Road, Miami Beach, FL 33139

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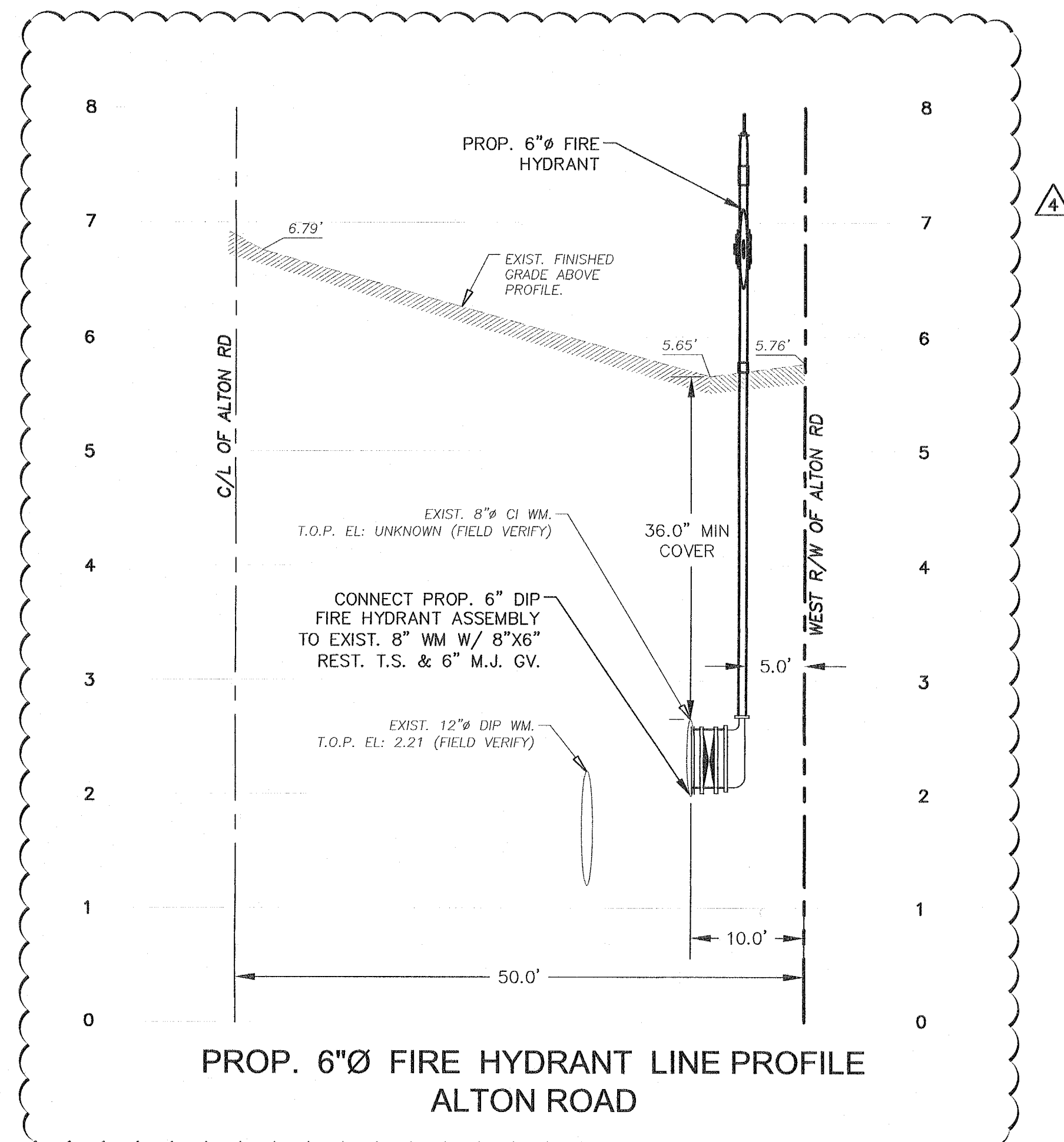
SCALE:
1"= 10' HORIZONTAL
1"= 1' VERTICAL



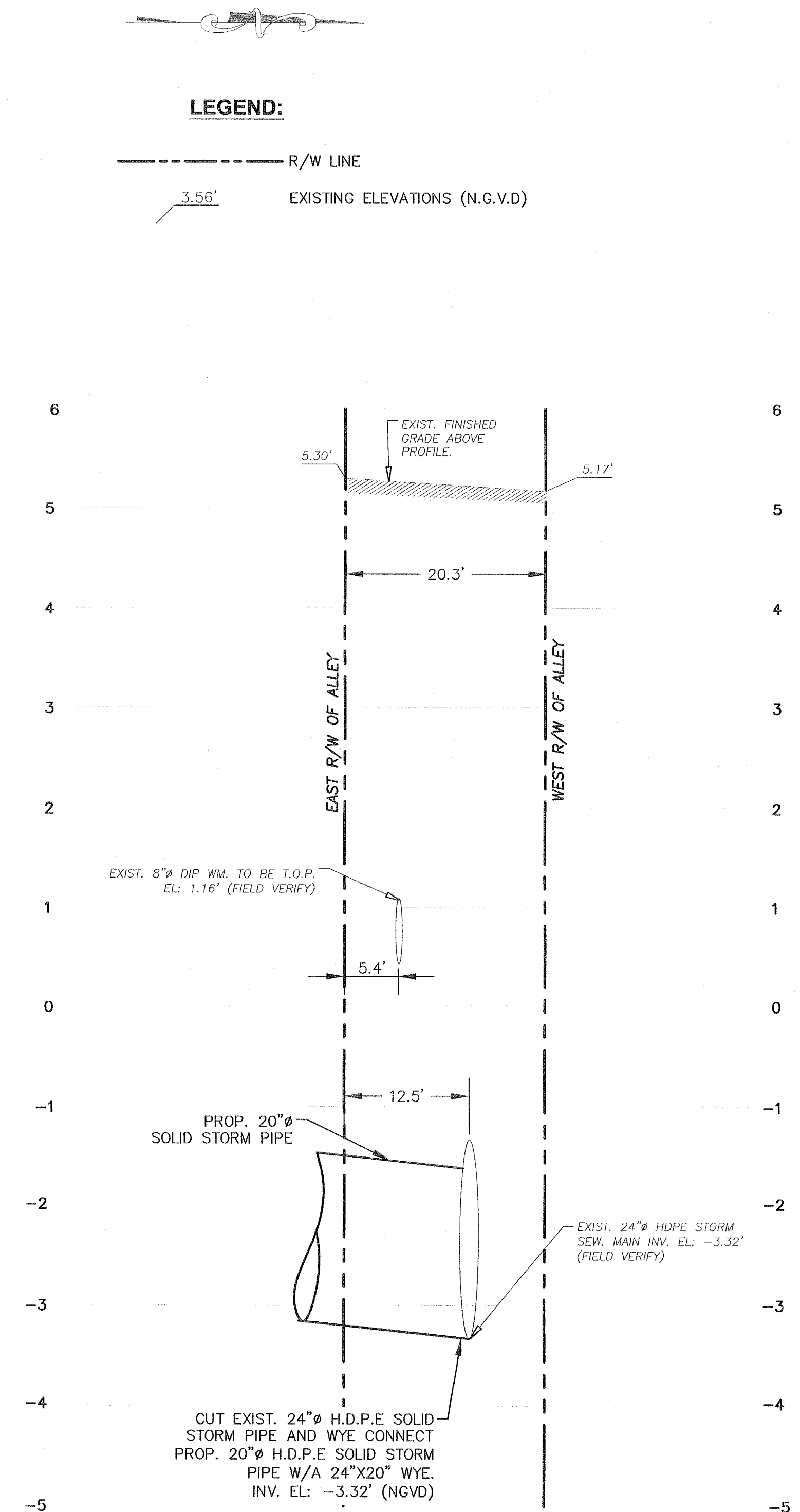
SCALE:
1"= 10' HORIZONTAL
1"= 1' VERTICAL



SCALE:
1"= 10' HORIZONTAL
1"= 1' VERTICAL



PROP. 6"Ø FIRE HYDRANT LINE PROFILE
ALTON ROAD



PROP. 20"Ø H.D.P.E. SOLID STORM LINE
PROFILE @ ALLEY

SCALE:
1"= 10' HORIZONTAL
1"= 1' VERTICAL

City of Miami Beach
Fire Prevention Division
PLANS APPROVED



PRIVATE PROVIDER SERVICES, L.L.C.
Construction Plans Review, Inspections & Consulting
REVIEWED FOR CODE COMPLIANCE

REVIEWED FOR CODE COMPLIANCE		
	REVIEWER INITIALS	DATE
BUILDING		
MECHANICAL		
ELECTRICAL		
PLUMBING	WRS	2-2-18
FOOTNOTES		

males

[illegible]

PROJECT NO. _____

613

TE:

7-17

LET INDEX:


WATER AND STORM PROFILES

SALE:

EET NO.

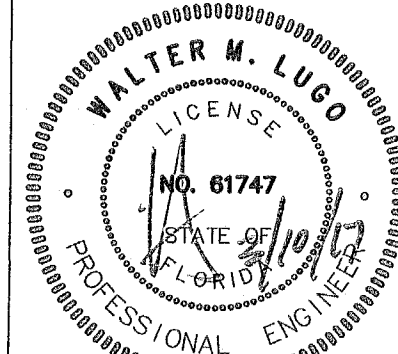
Always call 811 two full business days before you dig.

Sunshine811.com



OCEAN ENGINEERING, INC.
CIVIL ENGINEERING CONSULTANTS
333 W. 24TH STREET, SUITE 100, HANNA, FL 33139
PHONE: 786-233-5237 FAX: 786-475-8150
EMAIL: OCEAN@OCEANENGINEERING.COM

C301



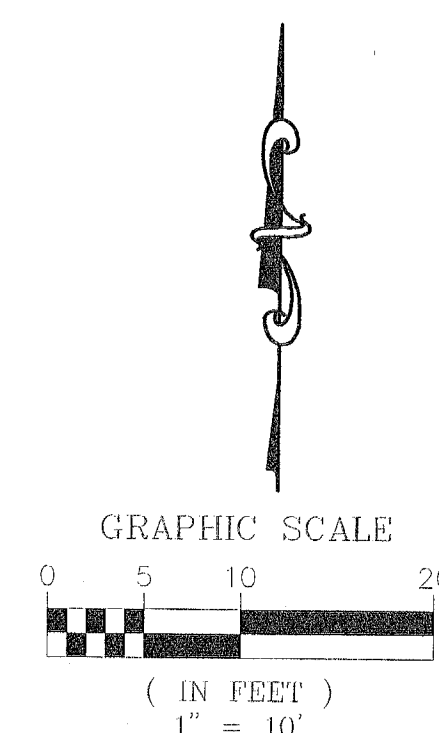
WALTER M. LUGO P.E.
FL PE# 61747

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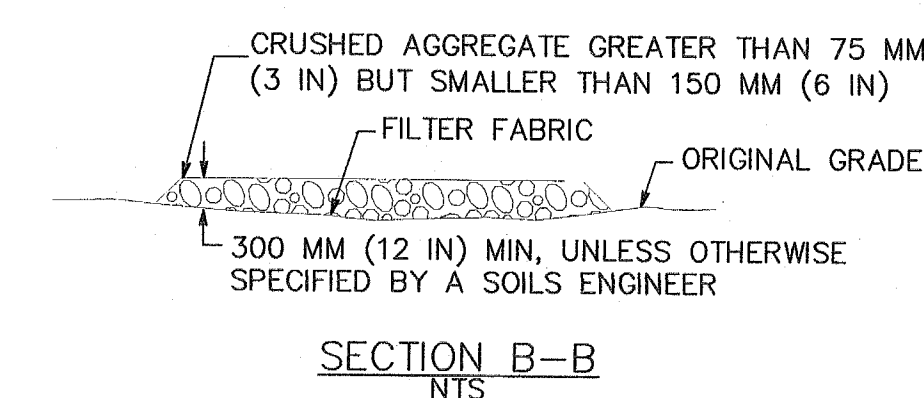
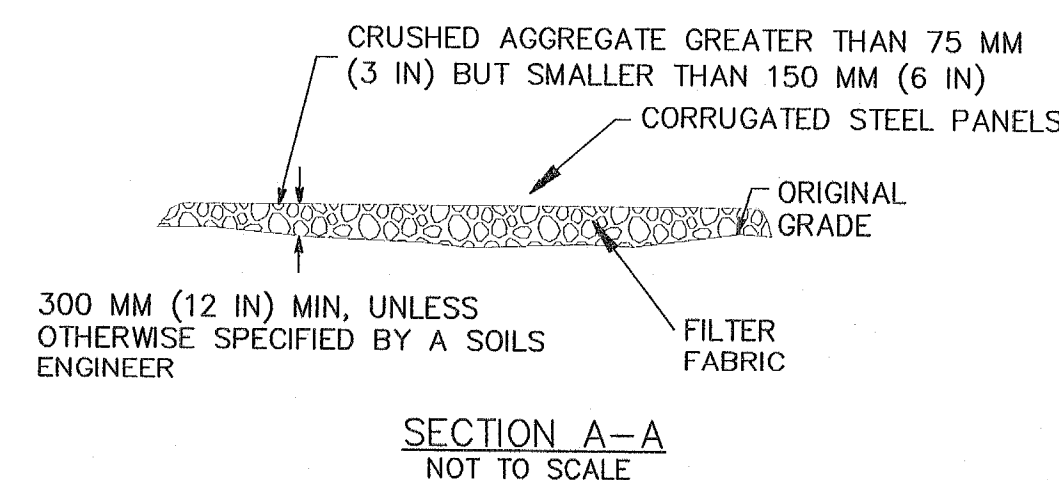


LEGEND:

-
- R/W LINE / PROPERTY LINE
 CENTER LINE
 EXISTING CURBING
 EXISTING ELEVATIONS (NGVD)
 PROP. EROSION BARRIER PER CMB
 DETAIL SES13. (SEE CIVIL SHT. C600
 FOR DETAILS)

NOTES:

1. CONTRACTOR SHALL INSTALL GEOTEXTILE FABRIC IN EACH CATCH BASIN, FLOOR DRAIN OR TRENCH DRAINS IN THE EFFORTS TO PROTECT THE PROPOSED STORM WATER MANAGEMENT SYSTEM FROM DEBRIS AND SEDIMENTATION.
2. IN ACCORDANCE TO FDEP NPDES PERMIT REQUIREMENTS, EROSION CONTROL DEVICES SHALL BE INSPECTED DAILY AND REPLACED AS NEEDED.



City of Miami Beach
Fire Prevention Division
PLANS APPROVED



DITCH TO CARRY RUNOFF
TO A SEDIMENT TRAPPING
DEVICE

	VER	DATE
BUILDING	IS	
STRUCTURAL		
MECHANICAL		
ELECTRICAL		
PLUMBING		
SITE CIVIL		

10-14-17

NOTE:
MANY DESIGNS CAN BE FIELD
FABRICATED, OR FABRICATED
UNITS MAY BE USED.

WATER SUPPLY & HOSE

ALTON ROAD

PERMIT ISSUE

[illegible]

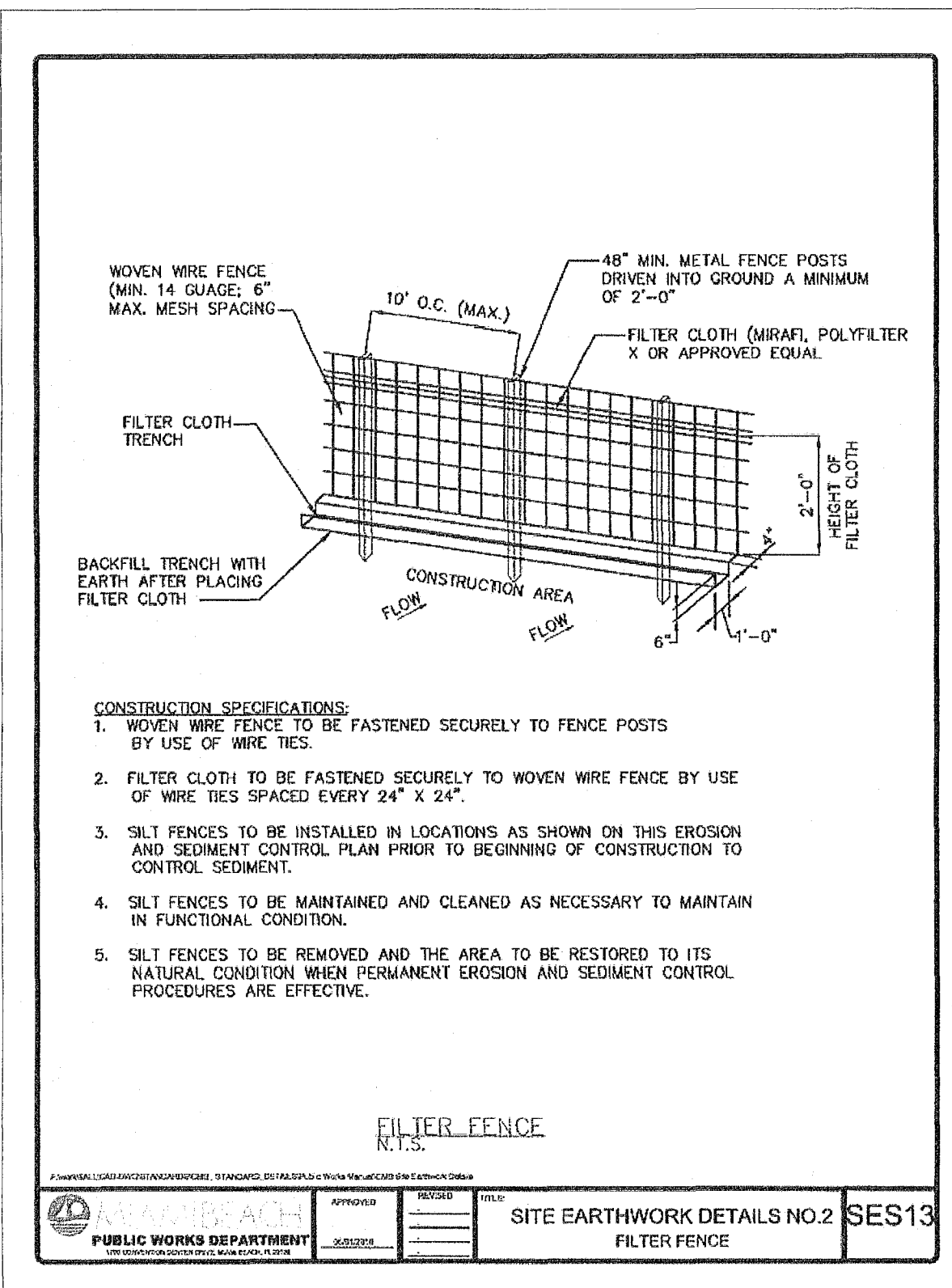
PROJECT NO. 1613

DATE: 2-17-17

SHEET INDEX:
SEDIMENTATION AND
EROSION CONTROL PLAN

SHEET NO. _____

C400



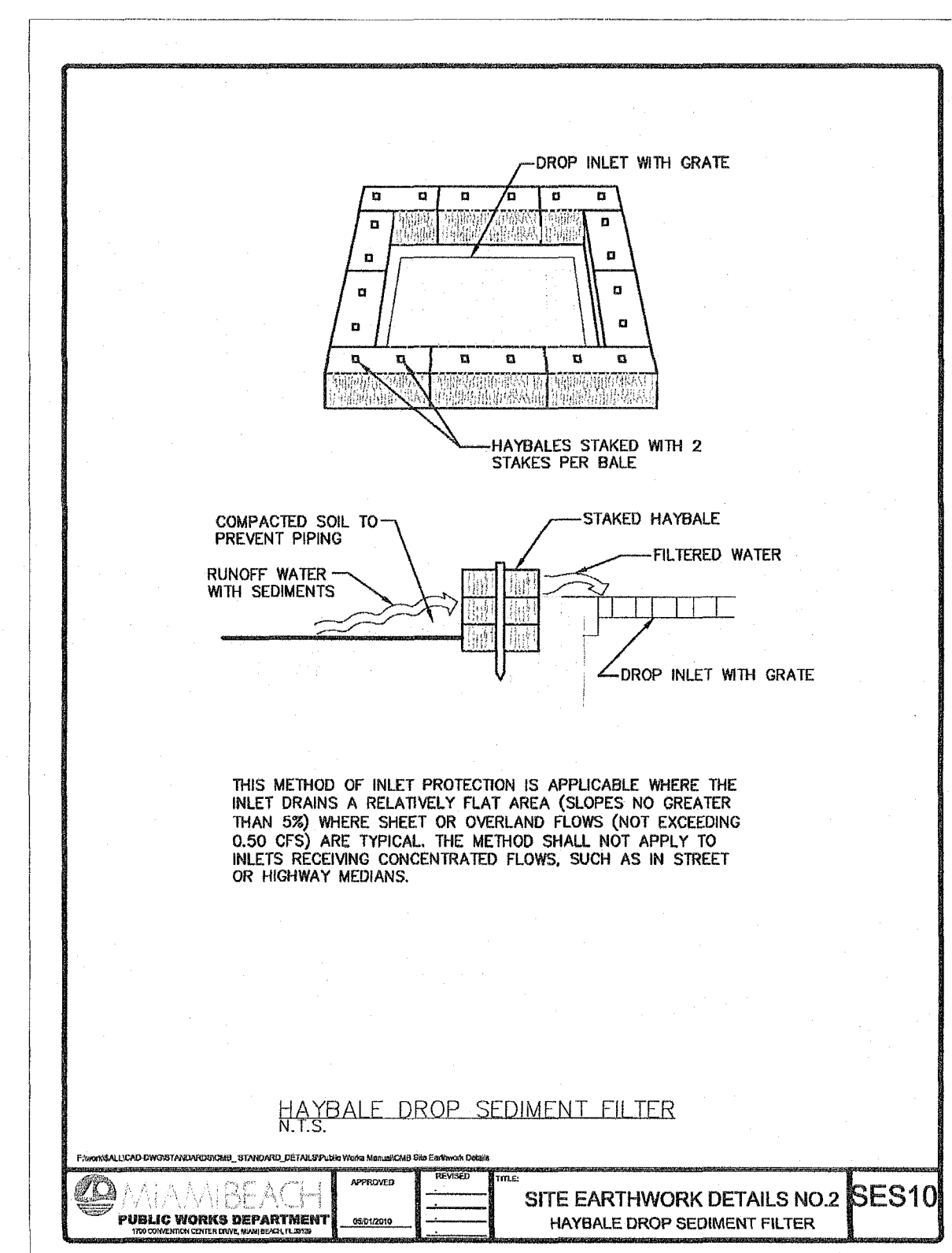
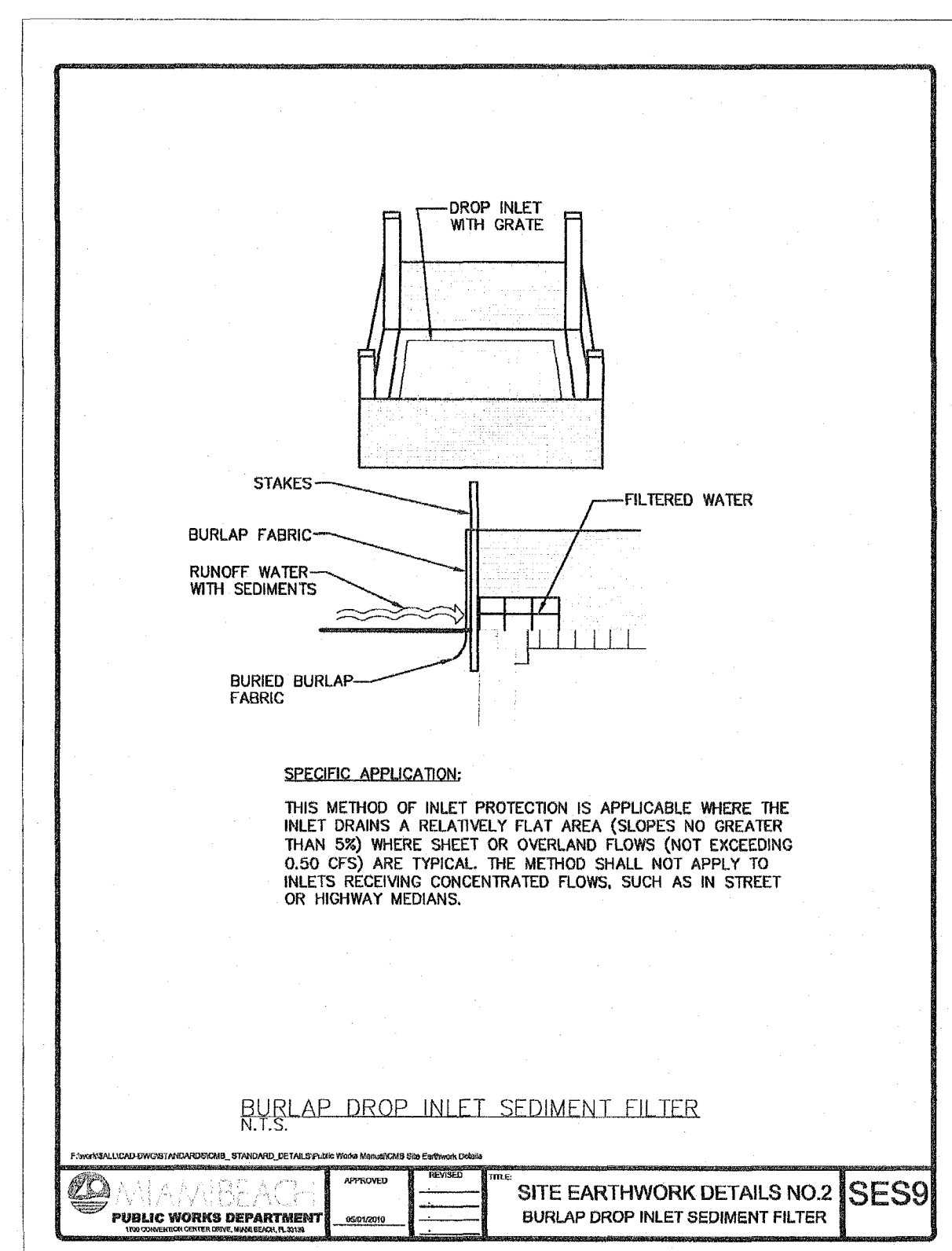
EROSION AND SEDIMENT CONTROL GENERAL NOTE.

THE FOLLOWING ARE BEST MANAGEMENT PRACTICES (BMP'S) DETAILS AND SPECIFICATIONS. IN ADDITION TO THE STANDARDS PER FOOT INDEX 100, 101, 102, 103, AND 104, AS WELL AS PER FLORIDA'S EROSION AND SEDIMENT CONTROL MANUAL, AND ARE ONLY A SUGGESTED APPROACH DEVELOPED FOR USE BY THE OWNER/CONTRACTOR TO ASSIST THEM IN IMPLEMENTING APPROPRIATE POLLUTION PREVENTION TECHNIQUES TO COMPLY WITH FLORIDA NPDES STORM WATER CONSTRUCTION ACTIVITY, AS ESTABLISHED BY FDP.

IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE AND IMPLEMENT THE BEST MANAGEMENT PRACTICE THAT ARE APPROPRIATE FOR THE PROJECT'S SITE SPECIFIC CONDITIONS DURING THE LIFE OF THE CONSTRUCTION ACTIVITIES.

EROSION AND SEDIMENT CONTROL GENERAL NOTE
N.T.S.

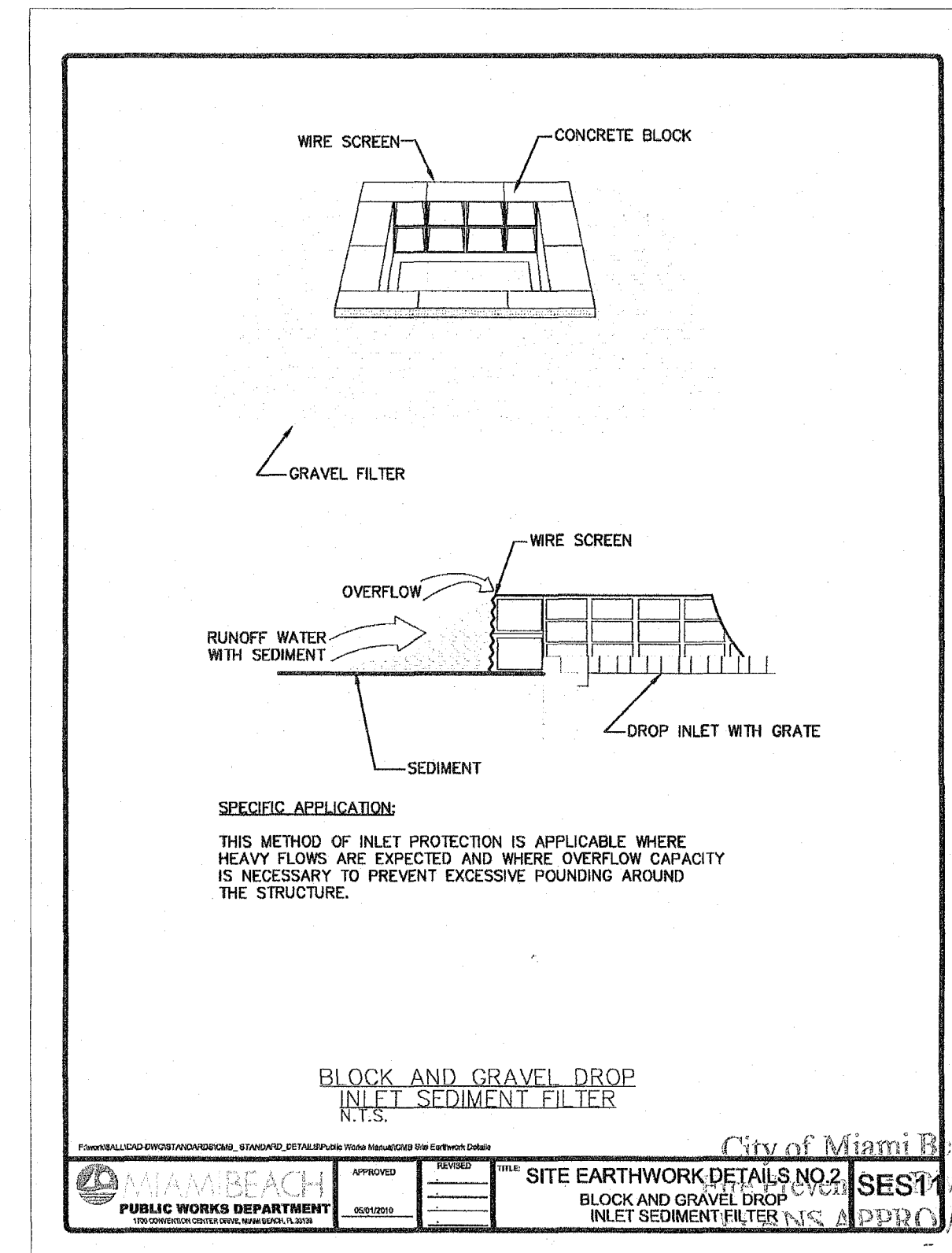
SITE EARTHWORK DETAILS NO.2 **SES14**
EROSION AND SEDIMENT CONTROL GENERAL NOTE



1. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING SILT FROM SITE IF NOT REUSABLE ON SITE AND ASSURING PLAN ALIGNMENT AND GRADE IN ALL DITCHES AND SWALES AT COMPLETION OF CONSTRUCTION.
 2. THE SITE CONTRACTOR IS RESPONSIBLE FOR REMOVING THE TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES AFTER COMPLETION OF CONSTRUCTION AND ONLY WHEN AREAS HAVE BEEN STABILIZED.
 3. ADDITIONAL PROTECTION - ON-SITE PROTECTION MUST BE PROVIDED THAT WILL NOT PERMIT SILT TO LEAVE THE PROJECT CONFINED DUE TO UNOBSERVED CONDITIONS OR ACCIDENTS.
 4. CONTRACTOR SHALL INSURE THAT ALL DRAINAGE STRUCTURES, PIPES, ETC. ARE CLEANED OUT AND WORKING PROPERLY AT TIME OF ACCEPTANCE.
 5. WIRE MESH SHALL BE Laid OVER THE TOP DROP INLET SO THAT THE WIRE EXTENDS A MINIMUM OF 1 FOOT BEYOND EACH SIDE OF THE INLET STRUCTURE. HARDWARE CLOTH OR COMPARABLE WIRE MESH WITH 1/2-INCH OPENING SHALL BE USED. IF MORE THAN ONE STRIP OF MESH IS NECESSARY, THE STRIPS SHALL BE OVERLAPPED.
 6. FOOT NO. 1 COARSE AGGREGATE SHALL BE PLACED OVER THE WIRE MESH AS INDICATED ON DETAIL. THE DEPTH OF STONE SHALL BE AT LEAST 12 INCHES OVER THE ENTIRE INLET OPENING. THE STONE SHALL EXTEND BEYOND THE INLET OPENING AT LEAST 12 INCHES ON ALL SIDES.
 7. IF THE STONE FILTER BECOMES CLOGGED WITH SEDIMENT SO THAT IT NO LONGER ADEQUATELY PERFORMS ITS FUNCTION, THE STONE MUST BE PULLED AWAY FROM THE INLET, CLEANED AND REPLACED.
 8. BALES SHALL BE Laid WIDE-ROUND OR STRIP-TIED WITH THE BINDINGS ORIENTED AROUND THE SIDES RATHER THAN OVER AND UNDER THE BALES.
 9. BALES SHALL BE PLACED LENGTHWISE IN SINGLE ROW SURROUNDING THE INLET, WITH THE ENDS OF ADJACENT BALES PRESSED TOGETHER.
 10. THE FILTER BARRIER SHALL BE ENTRENCHED AND BACKFILLED. A TRENCH SHALL BE EXCAVATED AROUND THE INLET AND WIDTH OF A BALE TO A MINIMUM DEPTH OF FOUR INCHES. AFTER THE BALES ARE STACKED, THE EXCAVATED SOIL SHALL BE BACKFILLED AND COMPACTED AGAINST THE FILTER BARRIER.
 11. EACH BALE SHALL BE SECURELY ANCHORED AND HELD IN PLACE BY AT LEAST TWO STAKES OR REBARS DRIVEN THROUGH THE BALE.
 12. LOOSE STRAW SHOULD BE WEDGED BETWEEN BALE STOPS TO PREVENT WATER FROM ENTERING BETWEEN BALES.
- EROSION AND SEDIMENT CONTROL NOTES**
N.T.S.
- SITE EARTHWORK DETAILS NO.3** **SES15**
EROSION AND SEDIMENT CONTROL NOTES

13. HAYBALE BARRIERS SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL.
 14. CLOSE ATTENTION SHALL BE PAID TO THE REPAIR OF DAMAGED BALES, END ROPS AND UNDERCUTTING BENEATH BALES.
 15. NECESSARY REPAIRS TO BARRIERS OR REPLACEMENT OF BALES SHALL BE ACCOMPLISHED PROMPTLY.
 16. SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH RAINFALL. THEY MUST BE REMOVED WHEN THE LEVEL OF DEPOSITION REACHES APPROXIMATELY ONE-HALF THE HEIGHT OF THE BARRIERS.
 17. ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE HAYBALE BARRIER IS NO LONGER REQUIRED SHALL BE DRESSED TO CONFORM TO THE EXISTING GRADE, PREPARED AND SEED.
 18. SILT FENCES AND FILTER BARRIERS SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY.
 19. SHOULD THE FABRIC ON A SILT FENCE OR FILTER BARRIER DECOMPOSE OR BECOME IMPRACTICAL PRIOR TO THE END OF THE EXPECTED USABLE LIFE AND THE BARRIER IS STILL NECESSARY, THE FABRIC SHALL BE REPLACED PROMPTLY.
 20. THE STRUCTURE SHALL BE INSPECTED AFTER EACH RAIN AND REPAIRS MADE AS NEEDED.
 21. SEDIMENT SHALL BE REMOVED AND THE TRAP RESTORED TO ITS ORIGINAL DIMENSIONS WHEN THE SEDIMENT HAS ACCUMULATED TO ONE-HALF THE DESIGN DEPTH OF THE TRAP. REMOVED SEDIMENT SHALL BE DEPOSITED IN A SEPARATE AREA AND IN SUCH A MANNER THAT IT WILL NOT ERODE.
 22. THE CONTRACTOR IS RESPONSIBLE FOR FOLLOWING THE BEST EROSION AND SEDIMENT CONTROL PRACTICES AS OUTLINED IN THE PLANS, SPECIFICATIONS AND APPLICABLE WATER MANAGEMENT DISTRICT PERMITS FOR THIS PROJECT.
 23. FOR ADDITIONAL INFORMATION ON SEDIMENT AND EROSION CONTROL, REFER TO "THE FLORIDA DEVELOPMENT MANUAL - A GUIDE TO SOUND LAND AND WATER MANAGEMENT" FROM THE STATE OF FLORIDA DEPARTMENT OF ENVIRONMENTAL REGULATION (FDER), CHAPTER 6.
 24. EROSION AND SEDIMENT CONTROL BARRIERS SHALL BE PLACED ADJACENT TO ALL WETLAND AREAS WHERE THERE IS POTENTIAL FOR DOWNSTREAM WATER QUALITY DEGRADATION.
- EROSION AND SEDIMENT CONTROL NOTES**
N.T.S.
- SITE EARTHWORK DETAILS NO.3** **SES15**
EROSION AND SEDIMENT CONTROL NOTES

25. ALL DISTURBED AREAS SHALL BE RE-GRASSED, FERTILIZED, AND CURED AND MUST REMAIN UNTIL A PERMANENT VEGETATIVE COVER IS ESTABLISHED.
 26. SOIL SHALL BE PLACED IN AREAS WHICH MAY REQUIRE IMMEDIATE EROSION PROTECTION TO ENSURE WATER QUALITY STANDARDS ARE MAINTAINED.
 27. ANY OBSTACLE FROM DEWATERING ACTIVITY SHALL BE REMOVED AND CONVEYED TO THE OUTFALL IN A MANNER WHICH PREVENTS PULSION AND TRANSPORTATION OF SUSPENDED SOLIDS TO THE RECEIVING OUTFALL.
 28. DEWATERING PUMPS SHALL NOT EXCEED THE CAPACITY OF THAT WHICH REQUIRES A CONSUMPTIVE USE PERMIT FROM THE APPLICABLE WATER MANAGEMENT DISTRICT.
 29. ALL DISTURBED AREAS TO BE STABILIZED THROUGH COMPACTION, SILT SCREENS, HAYBALES AND GRASSING. ALL HILL SLOPES 3:1 OR STEEPER TO RECEIVE STAKED SOIL SHIP.
 30. ALL DRAINAGE, EROSION, AND SEDIMENT CONTROL TO BE MAINTAINED IN PLACE AFTER COMPLETION OF CONSTRUCTION AND BE REMOVED ONLY WHEN AREAS HAVE BEEN STABILIZED.
 31. THIS PLAN INDICATES THE MINIMUM EROSION AND SEDIMENT CONTROL MEASURES REQUIRED FOR THIS PROJECT. THE CONTRACTOR IS RESPONSIBLE FOR SHEETING ALL APPLICABLE RULES, REGULATIONS AND WATER QUALITY GUIDELINES AND MAY NEED TO INSTALL ADDITIONAL CONTROLS.
 32. ALL EXCAVATIONS AND EARTHWORK SHALL BE DONE IN A MANNER TO MINIMIZE WATER TURBIDITY AND POLLUTION. DISCHARGE SHALL BE CONTROLLED AND MONITORED THROUGHOUT BY FILTERS, SILT TRAPS, DUMPS AND DAMPS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PREVENTION, CORRECTION, CONTROL, AND ABATEMENT OF EROSION AND WATER POLLUTION IN ACCORDANCE WITH CHAPTER 62-305, FLORIDA ADMINISTRATIVE CODE.
 33. THE CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL OF ANY SEDIMENT THAT LEAVES THE SITE AND CHANGES ANY DOWNSTREAM CONDITIONS BY RAISING CHANNEL BOTTOMS, INDIAN CLOGGING OF FLOW, ETC.
 34. THE CONTRACTOR SHALL PAY FOR ANY WATER QUALITY CONTROL VIOLATIONS FROM ANY AGENCY THAT RESULTS IN FINES BEING ASSESSED TO THE OWNER BECAUSE OF THE CONTRACTOR'S FAILURE TO ELIMINATE TURBID RUNOFF FROM THE SITE AND RAISING BACKGROUND LEVELS TO 5.00 mg/l (TSS) BACKGROUND LEVEL.
 35. A MINIMUM OF ONE OF THE EROSION CONTROL MEASURES SHOWN FOR ALL DROP INLETS WILL BE USED BY THE CONTRACTOR.
 36. FLOATING TURBIDITY BARRIERS WILL BE PLACED AT ALL OUTFALL LOCATIONS. IF SEPARATE AND PRESENT BARRIERS WILL NOT BE PLACED OVER THEM, THE FLOATING TURBIDITY BARRIERS SHALL BE INSTALLED IN A MANNER TO PREVENT MANATEE ENANGLEMENT.
 37. SILT FENCES OR HAYBALES WILL BE USED ALONG BOTH SIDES OF LIMITS OF CONSTRUCTION TO MINIMIZE OFF-SITE SILTATION MIGRATION.
- EROSION AND SEDIMENT CONTROL NOTES**
N.T.S.
- SITE EARTHWORK DETAILS NO.3** **SES15**
EROSION AND SEDIMENT CONTROL NOTES



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FL P.E. 61747

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PALOMAR
SOUTH BEACH
1750 Alton Road, Miami Beach, FL 33139

FINVARB GROUP
1085 Kane Concourse, Suite 201, Bay Harbor Island, FL 33154

PROJECT NO. 1613
DATE: 2-17-17
SHEET INDEX: SEDIMENTATION AND EROSION CONTROL NOTES
SCALE:
SHEET NO.

C500

DESIGN FLOOD ELEVATION (DFE): +5'-0" NGVD
PROPOSED TO LOWEST FLOOR: +5'-0" NGVD
PROPOSED TO TOP OF NEXT HIGHER FLOOR: +5'-2.5" NGVD
ADJUSTED GRADE: +5'-0" NGVD
PROPOSED LOWEST ADJACENT GRADE NEXT TO BUILDING: +5'-0.5" NGVD
PROPOSED HIGHEST ADJACENT GRADE NEXT TO BUILDING: +6'-93" NGVD
LOWEST ELEVATION OF MACHINERY OR EQUIPMENT SERVICING THE BUILDING: +5' 0" NGVD
PROPOSED MINIMUM FLOOR STRUCTURE FOR FLOOD-RESISTANT DESIGN AND CONSTRUCTION PER ASCESD 24-05 TABLE 1.1 CATEGORY II.
FIRM MAP: 12086C0317L
ELEVATOR REQUIREMENTS (7-10) (SEE FEMA TECHNICAL BULLETIN 4)

NEW AND EXISTING BUILDINGS SHALL BE PROVIDED WITH APPROVED ADDRESS NUMBERS OR LETTERS. EACH CHARACTER SHALL BE NOT LESS THAN 4 INCHES (102 MM) IN HEIGHT AND NOT LESS THAN 0.5 INCH (12.7 MM) IN WIDTH. ADDRESS NUMBERS SHALL BE CONTRASTING BACKGROUND AND BE PLAINLY VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. WHEN REQUIRED BY THE FIRE CODE OFFICIAL, ADDRESS NUMBERS SHALL BE PROVIDED IN ADDITIONAL PLACES, INCLUDING LOCATIONS NEAR FACILITIES, ENTRANCES, WHERE ACCESS IS BY MEANS OF A PRIVATE ROAD AND THE BUILDING ADDRESS CANNOT BE VIEWED FROM THE PUBLIC WAY. A MONUMENT, POLE OR OTHER APPROVED SIGN OR MEANS SHALL BE USED TO IDENTIFY THE STRUCTURE. ADDRESS NUMBERS SHALL BE MAINTAINED.

CERTIFICATE OF OCCUPANCY (CO) OR TEMPORARY CERTIFICATE OF OCCUPANCY (TCO) FOR RESIDENTIAL UNITS SHALL NOT BE ISSUED UNTIL THE COMMERCIAL SPACE BUILD-OUT IS COMPLETED, PASSED FINAL INSPECTIONS AND A TCO/CO AND OCCUPANCY LICENSE HAVE BEEN ISSUED FOR THIS SPACE

TO MINIMIZE THE LOSS OF LIFE, INJURIES AND DAMAGES, A SYSTEM OF INTERLOCKING CONTROLS WITH ONE OR MORE FLOAT SWITCHES IN THE ELEVATOR SHAFT, WHICH PREVENTS THE CAB FROM DESCENDING INTO FLOODWATERS, SHOULD BE INSTALLED. IN ADDITION, THE MAJORITY OF THE ELECTRICAL EQUIPMENT SUCH AS ELECTRICAL JUNCTION BOXES AND CIRCUIT AND CONTROL PANELS SHOULD BE ELEVATED ABOVE DFE (+9.00' NGVD)".

ARCHITECTURE
INTERIOR DESIGN
PLANNING

717 Ponce de Leon Blvd.
Oral Gables, FL, 33134
Phone : 305.200.5302
www.PermuyArchitecture.com

Actio 1166
1.22.18

TATE OF FLORIDA
ELIO MILIAN ARCHITECT
REGISTRATION #AR0004953

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[illegible]

SHEET NO. _____

A-002

SCALE: 1/16" = 1'-0"

 MTCI PRIVATE PROVIDER SERVICE	
Construction Plans Review Inspection REVIEWED FOR CODE 000	
BUILDING STRUCTURAL MECHANICAL ELECTRICAL PLUMBING SLIP	REVIEW IN <u>Q</u> DATE <u>7/2-16</u>

M. J. Mula
5.31.17

STATE OF FLORIDA
ELIO MILIAN ARCHITECT
REGISTRATION #AR0004563

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Project

2000

[illegible]

PROJECT NO. _____

613

TE:

EET INDEX:

SCALE:

SHEET NO. _____

A-00

A-005

NOTE: "L" FIXTURES - SEE I.D. DWG'S FOR SPEC'S

[illegible]

BUILDING	100-100-100	REVIEWED
STRUCTURAL		and
MECHANICAL		
ELECTRICAL		
PLUMBING		
SITE CIVIL		

A1	LIGHTING SCHEDULE
----	-------------------

SCALE: N.T.S.

DOOR SCHEDULE - 1ST LEVEL													
DOOR													
DOOR #	FROM	TO	TYPE	MATERIAL	SIZE			FIRE RATING	MATERIAL	HEAD	JAMB	THRESHOLD	REMARKS
	ROOM NAME	ROOM NAME			PANEL WIDTH	HEIGHT	THICKNESS						
101	STAIR 1	ELEV LOBBY	B	HM	3'-0"	7'-0"	1-3/4"	B	2 HOUR	HM			7
102	EXIT CORRIDOR	SIDEWALK	B	HM	3'-0"	7'-0"	1-3/4"	B	2 HOUR	HM			7
103	LOBBY	DROP OFF	L	AL/GL	6'-0"	8'-0"			AL/GL				3, 6, 9
104	ELEV LOBBY	ENTRY DRIVE	L	AL/GL	3'-0"	8'-0"			AL/GL				3, 6, 9
105	TRASH ROOM	ENTRY DRIVE	J	SS	5'-0"	8'-0"	1-3/4"	B	2 HOUR	SS			7
106	LINEN ROOM	ENTRY DRIVE	J	SS	5'-0"	8'-0"	1-3/4"	B	2 HOUR	SS			7
107	FIRE PUMP	ENTRY DRIVE	A	HM	3'-0"	7'-0"	1-3/4"	B	2 HOUR	HM			7
108	DOM WATER RM	ENTRY DRIVE	A	HM	3'-0"	7'-0"	1-3/4"	B	2 HOUR	HM			7
109	LOBBY	CANAL WALK	L	AL/GL	3'-0"	8'-0"			AL/GL				3, 6, 9
110	RESTAURANT	CANAL WALK	L	AL/GL	3'-0"	8'-0"			AL/GL				3, 6, 9
111	RESTAURANT	CANAL WALK	L	AL/GL	3'-0"	8'-0"			AL/GL				3, 6, 9
112	RESTAURANT	CANAL WALK	L	AL/GL	3'-0"	8'-0"			AL/GL				3, 6, 9
113	ENTRY DRIVE	WINDOW DISPLAY	A	HM	3'-0"	7'-0"	1-3/4"		HM				7
114	ENTRY DRIVE	WINDOW DISPLAY	A	HM	3'-0"	7'-0"	1-3/4"		HM				7
115	HOTEL ADMIN	SIDEWALK	L	AL/GL	3'-0"	8'-0"			AL/GL				3, 6, 9
116	RESTAURANT	ENTRY DRIVE	L	AL/GL	3'-0"	8'-0"			AL/GL				3, 6, 9
117	RESTAURANT	ENTRY DRIVE	A	HM	3'-0"	7'-0"	1-3/4"	B	2 HOUR	HM			7
118	ELEC RM	ENTRY DRIVE	A	HM	3'-0"	7'-0"	1-3/4"	B	2 HOUR	HM			7, 20
119	BAGGAGE RM	ENTRY DRIVE	A	HM	3'-0"	7'-0"	1-3/4"	B	2 HOUR	HM			7, 20
120	FRONT OFFICE	ENTRY DRIVE	A	HM	3'-0"	7'-0"	1-3/4"	B	2 HOUR	HM			7, 20
121	DESK	FRONT OFFICE	A	HM	3'-0"	7'-0"	1-3/4"	B	2 HOUR	HM			1, 20
122	DESK	BAGGAGE RM	A	HM	3'-0"	7'-0"	1-3/4"	B	2 HOUR	HM			1
123	MDF CLOSET	BAGGAGE RM	M	WD	5'-4"	7'-0"	1-3/4"	B	2 HOUR	WD			1
124	MDF CLOSET	BAGGAGE RM	M	WD	5'-4"	7'-0"	1-3/4"			WD			1
125	TOILET	WC CORRIDOR	A	WD	3'-0"	7'-0"	1-3/4"		WD				1
126	TOILET	WC CORRIDOR	A	WD	3'-0"	7'-0"	1-3/4"		WD				1
127	TOILET	WC CORRIDOR	A	WD	3'-0"	7'-0"	1-3/4"		WD				1
128	TOILET	WC CORRIDOR	A	WD	3'-0"	7'-0"	1-3/4"		WD				1
129	TOILET	WC CORRIDOR	A	WD	3'-0"	7'-0"	1-3/4"		WD				1
130	JANITOR CL	WC CORRIDOR	A	WD	3'-0"	7'-0"	1-3/4"		WD				1
131	OFFICE 3	HOTEL ADMIN	A	WD	3'-0"	7'-0"	1-3/4"		WD				
132	OFFICE 2	HOTEL ADMIN	A	WD	3'-0"	7'-0"	1-3/4"		WD				
133	OFFICE 1	HOTEL ADMIN	A	WD	3'-0"	7'-0"	1-3/4"		WD				

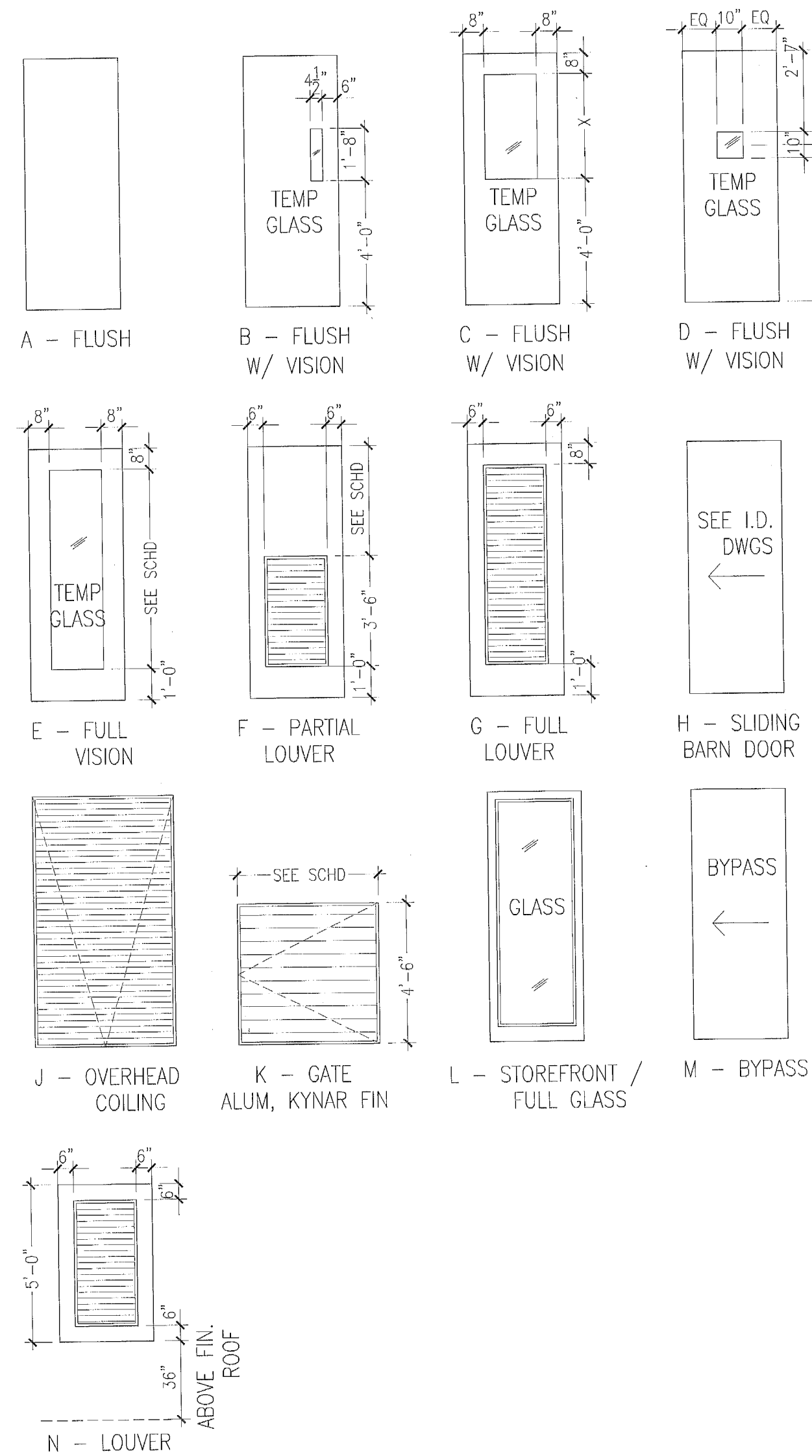
F.F.P.C. (NFPA 101) 7.2.1.6.2

ACCESS CONTROLLED EGRESS DOOR ASSEMBLIES (CARD KEY)

DOOR ASSEMBLIES IN THE MEANS OF EGRESS SHALL BE PERMITTED TO BE EQUIPPED WITH AN APPROVED ENTRANCE AND EGRESS ACCESS CONTROL SYSTEM, PROVIDED THAT ALL THE FOLLOWING CRITERIA ARE MET:

- 7.2.1.6.2* Access-Controlled Egress Door Assemblies. Where permitted in Chapters 11 through 43, door assemblies in the means of egress shall be permitted to be equipped with electrical lock hardware that prevents egress, provided that all of the following criteria are met:
- (1) A sensor shall be provided on the egress side, arranged to unlock the door leaf in the direction of egress upon detection of an approaching occupant.
 - (2) Door leaves shall automatically unlock in the direction of egress upon loss of power to the sensor or to the part of the access control system that locks the door leaves.
 - (3) Door locks shall be arranged to unlock in the direction of egress from a manual release device complying with all of the following criteria:
 - (a) The manual release device shall be located on the egress side, 40 in. to 48 in. (1015 mm to 1220 mm) vertically above the floor, and within 60 in. (1525 mm) of the secured door openings.
 - (b) The manual release device shall be readily accessible and clearly identified by a sign that reads as follows: PUSH TO EXIT.
 - (c) When operated, the manual release device shall result in direct interruption of power to the lock, independent of the locking system electronics, and the lock shall remain unlocked for not less than 30 seconds.
 - (d) Activation of the building fire-protective signaling system, if provided, shall automatically unlock the door leaves in the direction of egress, and the door leaves shall remain unlocked until the fire-protective signaling system has been manually reset.
 - (e) The activation of manual fire alarm boxes that activate the building fire-protective signaling system specified in 7.2.1.6.2(4) shall not be required to unlock the door leaves.
 - (f) Activation of the building automatic sprinkler or fire detection system, if provided, shall automatically unlock the door leaves in the direction of egress, and the door leaves shall remain unlocked until the fire-protective signaling system has been manually reset.
 - (g) The egress side of access-controlled egress doors, other than existing access-controlled egress doors, shall be provided with emergency lighting in accordance with Section 7.9.

DOOR TYPE ELEVATIONS



DOOR CLASSIFICATION

FIRE DOOR LEGEND

4 HOUR WALL - 4 HOUR DOOR - A LABEL

3 HOUR WALL - 3 HOUR DOOR - A LABEL

2 HOUR WALL - 1-1/2 HOUR DOOR - B LABEL

1 HOUR WALL - 45 MINUTE DOOR - C LABEL

1/2 HOUR WALL - 20 MINUTE DOOR - C LABEL

MATERIAL LEGEND

AL ALUMINIUM

AL/GL ALUMINIUM W/ GLASS

GL GLASS

HM HOLLOW METAL

WD WOOD SOLID CORE

WD/GL WOOD W/ GLASS

STL STEEL

SS STAINLESS STEEL

DOOR NOTES

- NOTE 1 FOR HEAD, JAMB & THRESHOLD DETAILS REFER TO SHEET A803
- NOTE 2 ALL DOORS NOT TO EXCEED A MAX UNDERCUT OF 3/8" TO CONC SLAB, OR LESS FOR APPLIED FINISH PER NFPA 80 TABLE 1-11.4 COORDINATE CLEARANCE OF UNDERCUT WITH FLOOR FINISH SPECIFIED ON I.D. DWGS
- NOTE 3 CARD READERS AT FIRE RATED DOORS TO BE FIRE RATED
- NOTE 4 ALL FIRE RATED DOORS TO HAVE FIRE RATED HARDWARE
- NOTE 5 DOORS EXITING INTO STAIRWELLS SHALL NOT HAVE LOCKING DEVICES
- NOTE 6 INSULATED COREFILL AT ALL HM DOORS PER FBC 13-403.1 (SEE SPECS)
- NOTE 7 REFER TO F.F.P.C. 7.2.1.6 SELF CLOSING DEVICES
- NOTE 8 ALL DOORS SERVING MORE THAN 100 PEOPLE SHALL HAVE PANIC HARDWARE
- NOTE 9 ALL FIRE RATED DOORS TO HAVE SELF CLOSING AND LATCHING HARDWARE
- NOTE 10 ALL FIRE RATED DOUBLE LEAF DOORS WITH ASTRAGALS SHALL HAVE DOOR COORDINATORS TO ENSURE PROPER OPERATION
- NOTE 11 ALL EXIT DOORS SHALL BE SINGLE MOTION RELEASE AND REOPERABLE IN THE DIRECTION OF EGRESS WITHOUT ANY SPECIAL KNOWLEDGE, KEY OR TOOL

ADA ACCESSIBLE DOOR NOTES

DOOR HARDWARE: HANDLES, LATCHES, PULLS, LOCKS AND OTHER OPERATING DEVICES MUST HAVE A SHAPE THAT IS EASY TO GRASP WITH ONE HAND AND DOES NOT REQUIRE TIGHT GRASPING, TIGHT PINCHING OR TWISTING OF THE WRIST TO OPERATE, LEVER OPERATED MECHANISM AND U-SHAPED HANDLES ARE ACCEPTABLE DESIGNS, HARDWARE REQUIRED FOR PASSAGE MUST BE MOUNTED NO HIGHER THAN 48" AFF.

DOOR CLOSERS: IF A DOOR HAS A CLOSER THEN THE SWEEP PERIOD OF THE CLOSER MUST BE ADJUSTED SO THAT FROM AN OPEN POSITION OF 70 DEGREES, THE DOOR WILL TAKE AT LEAST 3 SECONDS TO MOVE TO A POINT 3" FROM THE LATCH, MEASURED FROM THE LEADING EDGE OF THE DOOR.

DOOR OPENING FORCE: THE MAXIMUM FORCE FOR PUSHING OR PULLING OPEN A DOOR MUST BE AS FOLLOWS:

EXTERIOR HINGED DOORS - ADAAG PROVIDED NO REQUIREMENTS AT THIS TIME

INTERIOR HINGED DOORS - 5 LBF

SLIDING OR FOLDING DOORS - 5 LBF

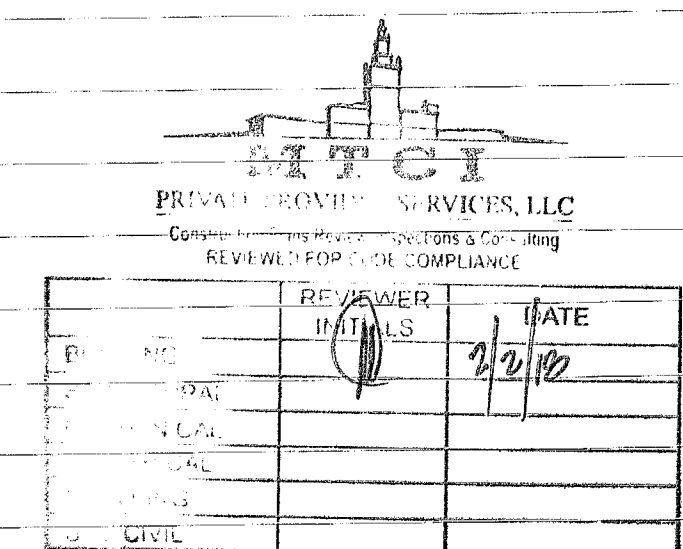
DOOR NOTES: ANY WALK THROUGH OPENING TO BE 32" CLEAR WIDTH

ANY DOUBLE DOOR TO HAVE AT LEAST ONE LEAF 36" WIDE

PUSH LOCKS SHALL BE USED

DOOR SCHEDULE REMARKS CODE

- 1 SEE INTERIOR DESIGN DOCUMENTS
- 2 FF&E SPECIALITY DOOR, SEE I.D. DOCS
- 3 DOOR AND FRAME PROVIDED BY STOREFRONT / WINDOW WALL MANUFACTURER
- 4 CONCEALED OVERHEAD DOOR CLOSER
- 5 DESIGNED TO RESIST A 4" DIA OBJECT THROUGHOUT
- 6 SELF CLOSING DEVICE
- 7 OVERHEAD DOOR CLOSER
- 8 MAGNETIC HOLD OPEN DEVICE
- 9 PANIC HARDWARE
- 10 FUSIBLE LINK
- 11 TEMPERED GLASS PANEL
- 12 WIRED GLASS - INSTALL WIRE IN HORIZ. & VERT. POSITIONS
- 13 GATE LATCH TO BE MOUNTED AT 54" AFF MIN.
- 14 DOUBLE ACTING
- 15 MOTORIZED
- 16 ACOUSTIC SEALS FOR HEAD, JAMBS AND THRESHOLD
- 17 AUTOMATIC LOCKING DEVICE CONNECTED TO FIRE ALARM SYSTEM
- 18 CARD KEY - ELECTRONIC LOCKING
- 19 ELECTRONIC RELEASE HARDWARE
- 20 180 DEGREE SWING
- 21 OFFSET HINGES
- 22 CATEGORY II SAFETY GLASS CAPABLE OF WITHSTANDING A 400 LB IMPACT TEST
- 23 DOOR AND FRAME TO MEET WIND LOADS AS DEFINED BY STRUCT DWGS
- 24 DOOR TO HAVE ADJUSTABLE SWEEP AND MAX 3/8" UNDERCUT
- 25 FIRE RATED GLASS
- 26 EMERGENCY BREAKAWAY CAPABILITY
- 27 DOOR PROTECTED BY REMOVABLE PANEL SYSTEM MEETING WIND LOADS AS DEFINED BY STRUCT DWGS
- 28 2 (3'-0" X 7'-0") INTERCONNECTING DOORS (ONE PANEL EACH SIDE)
- 29 WITH 1/8" LAMINATED GLASS
- 30 WIDTH TO BE 32" MIN. CLEAR IN OPEN POSITION
- 31
- 32
- 33
- 34
- 35



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FINVARB GROUP

1005 Kane Concourse, Suite 201, Bay Harbor Islands, FL 33154

NO.	DESCRIPTION	DATE
1	PERMIT SET	02.28.17
2	REV 4	11.22.17

PROJECT NO. 1613

DATE: 02.28.17

SHEET INDEX:

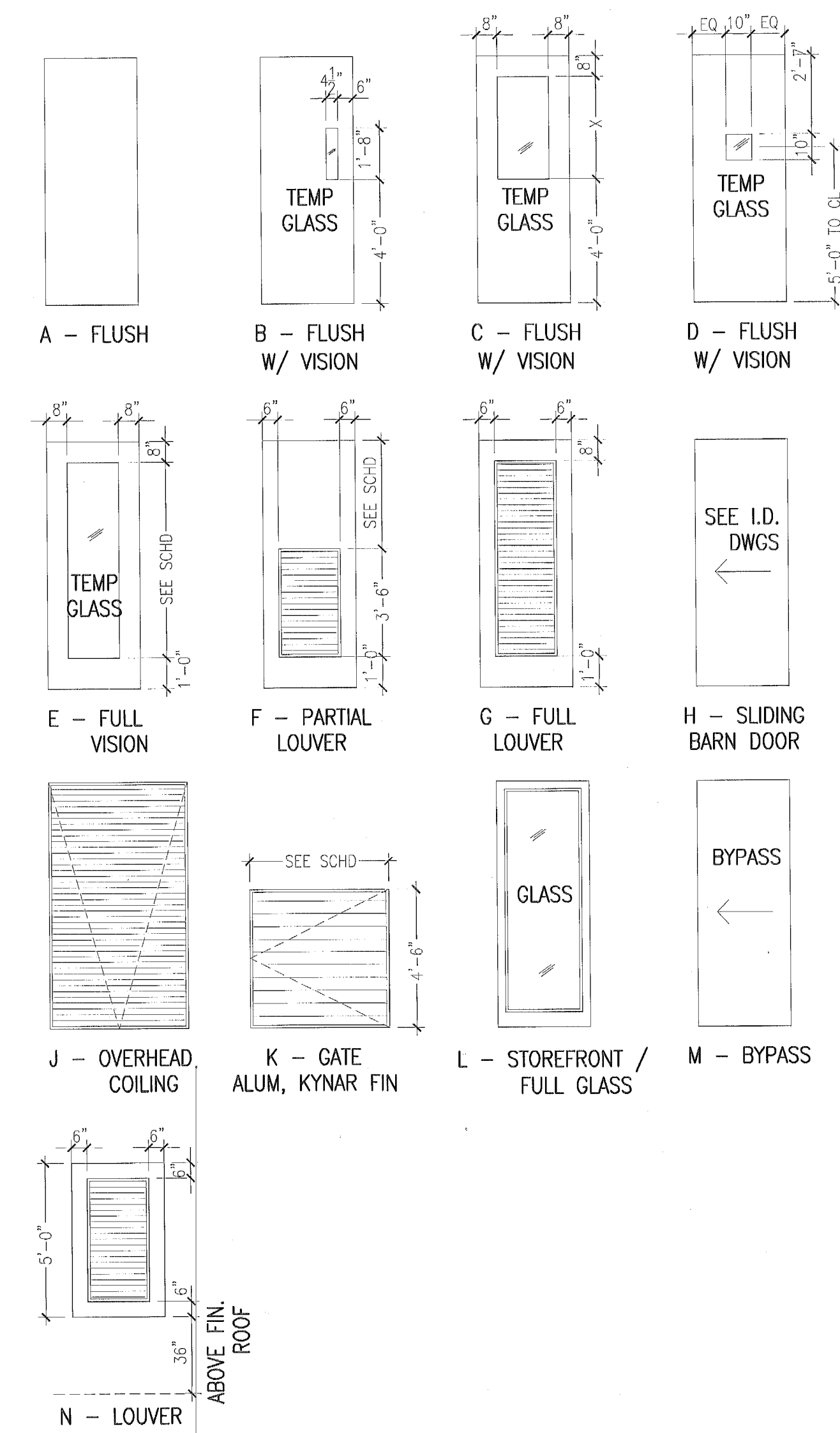
SCALE: As Noted

SHEET NO.

A-006

DOOR SCHEDULE – 1ST LEVEL															
DOOR									FRAME – SEE A-803						
DOOR #	FROM	TO	TYPE	MATERIAL	SIZE			LABEL	FIRE RATING	MATERIAL	HEAD	JAMB	THRESHOLD	REMARKS	
						PANEL WIDTH	HEIGHT								THICKNESS
	ROOM NAME	ROOM NAME													
101	STAIR 1	ELEV LOBBY	B	HM		3'-0"	7'-0"	1-3/4"	B	2 HOUR	HM				7
102	EXIT CORRIDOR	SIDEWALK	B	HM		3'-0"	7'-0"	1-3/4"	B	2 HOUR	HM				7
103	LOBBY	DROP OFF	L	AL/GL		6'-0"	8'-0"				AL/GL				3, 6, 9
104	ELEV LOBBY	ENTRY DRIVE	L	AL/GL		3'-0"	8'-0"				AL/GL				3, 6, 9
105	TRASH ROOM	ENTRY DRIVE	J	SS		5'-0"	8'-0"	1-3/4"	B	2 HOUR	SS				7
106	LINEN ROOM	ENTRY DRIVE	J	SS		5'-0"	8'-0"	1-3/4"	B	2 HOUR	SS				7
107	FIRE/WATER PUMP	ENTRY DRIVE	A	HM		6'-0"	7'-0"	1-3/4"	B	2 HOUR	HM				7
108	NOT USED														
109	LOBBY	CANAL WALK	L	AL/GL		3'-0"	8'-0"				AL/GL				3, 6, 9
110	RESTAURANT	CANAL WALK	L	AL/GL		3'-0"	8'-0"				AL/GL				3, 6, 9
111	RESTAURANT	CANAL WALK	L	AL/GL		3'-0"	8'-0"				AL/GL				3, 6, 9
112	RESTAURANT	CANAL WALK	L	AL/GL		3'-0"	8'-0"				AL/GL				3, 6, 9
113	ENTRY DRIVE	WINDOW DISPLAY	A	HM		3'-0"	7'-0"	1-3/4"			HM				7
114	ENTRY DRIVE	WINDOW DISPLAY	A	HM		3'-0"	7'-0"	1-3/4"			HM				7
115	HOTEL ADMIN	SIDEWALK	L	AL/GL		3'-0"	8'-0"				AL/GL				3, 6, 9
116	RESTAURANT	ENTRY DRIVE	L	AL/GL		3'-0"	8'-0"				AL/GL				3, 6, 9
117	RESTAURANT	ENTRY DRIVE	A	HM		3'-0"	7'-0"	1-3/4"	B	2 HOUR	HM				7
118	ELEC RM	ENTRY DRIVE	A	HM		3'-0"	7'-0"	1-3/4"	B	2 HOUR	HM				7
119	MDF RM	ENTRY DRIVE	A	HM		3'-0"	7'-0"	1-3/4"	B	2 HOUR	HM				7
120	BAGGAGE OFFICE	ENTRY DRIVE	A	HM		3'-0"	7'-0"	1-3/4"	B	2 HOUR	HM				7
121	FRONT OFFICE	ENTRY DRIVE	A	HM		3'-0"	7'-0"	1-3/4"	B	2 HOUR	HM				7
122	FRONT OFFICE	BOH HALL	A	WD		3'-0"	7'-0"	1-3/4"			WD				7
123	BOH HALL	BAGGAGE RM	A	WD		3'-0"	7'-0"	1-3/4"			WD				7
124	JAN	WC VEST	A	WD		3'-0"	7'-0"	1-3/4"			WD				1, 7
125	TOILET	WC CORRIDOR	A	WD		3'-0"	7'-0"	1-3/4"			WD				1
126	TOILET	WC CORRIDOR	A	WD		3'-0"	7'-0"	1-3/4"			WD				1
127	TOILET	WC CORRIDOR	A	WD		3'-0"	7'-0"	1-3/4"			WD				1
128	TOILET	WC CORRIDOR	A	WD		3'-0"	7'-0"	1-3/4"			WD				1
129	TOILET	WC CORRIDOR	A	WD		3'-0"	7'-0"	1-3/4"			WD				1
130	WC VEST	WC CORRIDOR	A	WD		3'-0"	7'-0"	1-3/4"			WD				1, 7
131	OFFICE 3	HOTEL ADMIN	A	WD		3'-0"	7'-0"	1-3/4"			WD				
132	OFFICE 2	HOTEL ADMIN	A	WD		3'-0"	7'-0"	1-3/4"			WD				
133	OFFICE 1	HOTEL ADMIN	A	WD		3'-0"	7'-0"	1-3/4"			WD				

DOOR TYPE ELEVATIONS



DOOR CLASSIFICATION

FIRE DOOR LEGEND
 4 HOUR WALL – 4 HOUR DOOR – A LABEL
 3 HOUR WALL – 3 HOUR DOOR – A LABEL
 2 HOUR WALL – 1-1/2 HOUR DOOR – B LABEL
 1 HOUR WALL – 45 MINUTE DOOR – C LABEL
 1/2 HOUR WALL – 20 MINUTE DOOR – C LABEL

MATERIAL LEGEND

AL ALUMINIUM
 AL/GL ALUMINIUM W/ GLASS
 GL GLASS
 HM HOLLOW METAL
 WD WOOD SOLID CORE
 WD/GL WOOD W/ GLASS
 STL STEEL
 SS STAINLESS STEEL

DOOR NOTES

NOTE 1	FOR HEAD, JAMB & THRESHOLD DETAILS REFER TO SHEET A803
NOTE 2	ALL DOORS NOT TO EXCEED A MAX UNDERCUT OF 3/4" TO CONC SLAB, OR LESS FOR APPLIED FINISH PER NFPA 80 TABLE 1-11.4 COORDINATE CLEARANCE OF UNDERCUT WITH FLOOR FINISH SPECIFIED ON I.D. DWGS
NOTE 3	CARD READERS AT FIRE RATED DOORS TO BE FIRE RATED
NOTE 4	ALL FIRE RATED DOORS TO HAVE FIRE RATED HARDWARE
NOTE 5	DOORS EXITING INTO STAIRWELLS SHALL NOT HAVE LOCKING DEVICES
NOTE 6	INSULATED COREFILL AT ALL HM DOORS PER FBC 13-403.1 (SEE SPECS)
NOTE 7	REFER TO F.F.P.C. 7.2.1.6 SELF CLOSING DEVICES
NOTE 8	ALL DOORS SERVING MORE THAN 100 PEOPLE SHALL HAVE PANIC HARDWARE
NOTE 9	ALL FIRE RATED DOORS TO HAVE SELF CLOSING AND LATCHING HARDWARE
NOTE 10	ALL FIRE RATED DOUBLE LEAF DOORS WITH ASTRAGALS SHALL HAVE DOOR COORDINATORS TO ENSURE PROPER OPERATION
NOTE 11	ALL EXIT DOORS SHALL BE SINGLE MOTION RELEASE AND REOPERABLE IN THE DIRECTION OF EGRESS WITHOUT ANY SPECIAL KNOWLEDGE, KEY OR TOOL

ADA ACCESSIBLE DOOR NOTES

DOOR HARDWARE: HANDLES, LATCHES, PULLS, LOCKS AND OTHER OPERATING DEVICES MUST HAVE A SHAPE THAT IS EASY TO GRASP WITH ONE HAND AND DOES NOT REQUIRE TIGHT GRASPING, TIGHT PINCHING OR TWISTING OF THE WRIST TO OPERATE, LEVER OPERATED MECHANISM AND U-SHAPED HANDLES ARE ACCEPTABLE DESIGNS, HARDWARE REQUIRED FOR PASSAGE MUST BE MOUNTED NO HIGHER THAN 48" AFF.

DOOR CLOSERS: IF A DOOR HAS A CLOSER THEN THE SWEEP PERIOD OF THE CLOSER MUST BE ADJUSTED SO THAT FROM AN OPEN POSITION OF 70 DEGREES, THE DOOR WILL TAKE AT LEAST 3 SECONDS TO MOVE TO A POINT 3" FROM THE LATCH, MEASURED FROM THE LEADING EDGE OF THE DOOR.

DOOR OPENING FORCE: THE MAXIMUM FORCE FOR PUSHING OR PULLING OPEN A DOOR MUST BE AS FOLLOWS:
 EXTERIOR HINGED DOORS – ADAAG PROVIDED NO REQUIREMENTS AT THIS TIME
 INTERIOR HINGED DOORS – 5 LBF
 SLIDING OR FOLDING DOORS – 5 LBF

DOOR NOTES: ANY WALK THROUGH OPENING TO BE 32" CLEAR WIDTH
 ANY DOUBLE DOOR TO HAVE AT LEAST ONE LEAF 36" WIDE
 PUSH LOCKS SHALL BE USED

DOOR SCHEDULE REMARKS CODE

1	SEE INTERIOR DESIGN DOCUMENTS
2	FF&E SPECIALITY DOOR, SEE I.D. DOCS
3	DOOR AND FRAME PROVIDED BY STOREFRONT / WINDOW WALL MANUFACTURER
4	CONCEALED OVERHEAD DOOR CLOSER
5	DESIGNED TO RESIST A 4" DIA OBJECT THROUGHOUT
6	SELF CLOSING DEVICE
7	OVERHEAD DOOR CLOSER
8	MAGNETIC HOLD OPEN DEVICE
9	PANIC HARDWARE
10	FUSIBLE LINK
11	TEMPERED GLASS PANEL
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16	ACOUSTIC SEALS FOR HEAD, JAMBS AND THRESHOLD
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19	ELECTRONIC RELEASE HARDWARE
20	180 DEGREE SWING
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25	FIRE RATED GLASS
26	EMERGENCY BREAKAWAY CAPABILITY
27	DOOR PROTECTED BY REMOVABLE PANEL SYSTEM MEETING WIND LOADS AS DEFINED BY STRUCTURAL DWGS
28	2 (3'-0" X 7'-0") INTERCONNECTING DOORS (ONE PANEL EACH SIDE)
29	WITH 1/8" LAMINATED GLASS
30	WIDTH TO BE 32" MIN. CLEAR IN OPEN POSITION
31	
32	
33	
34	
35	

F.F.P.C. (NFPA 101) 7.2.1.6.2

ACCESS CONTROLLED EGRESS DOOR ASSEMBLIES (CARD KEY)

DOOR ASSEMBLIES IN THE MEANS OF EGRESS SHALL BE PERMITTED TO BE EQUIPPED WITH AN APPROVED ENTRANCE AND EGRESS ACCESS CONTROL SYSTEM, PROVIDED THAT ALL THE FOLLOWING CRITERIA ARE MET:

- A SENSOR SHALL BE PROVIDED ON THE EGRESS SIDE, ARRANGED TO DETECT AN OCCUPANT APPROACHING THE DOOR LEAVES THAT ARE ARRANGED TO UNLOCK IN THE DIRECTION OF EGRESS UPON DETECTION OF AN APPROACHING OCCUPANT OR LOSS OF POWER TO THE SENSOR
- LOSS OF POWER TO THE PART OF THE ACCESS CONTROL SUYSTEM THAT LOCKS THE DOOR LEAVES SHALL AUTOMATICALLY UNLOCK THE DOOR LEAVES IN THE DIRECTION OF EGRESS
- DOOR LEAVES SHALL BE ARRANGED TO UNLOCK IN THE DIRECTION OF EGRESS FROM A MANUAL RELEASE DEVICE LOCATED 40 IN. TO 48 IN. (1015MM TO 1220MM) VERTICALLY ABOVE THE FLOOR AND WITHIN 60 IN. (1525MM) OF THE SECURED DOOR OPENINGS.
- THE MANUAL RELEASE DEVICE SPECIFIED IN 7.2.1.6.2 (3) SHALL BE READILY ACCESSIBLE AND CLEARLY IDENTIFIED BY A SIGN THAT READS AS FOLLOWS: PUSH TO EXIT
- WHEN OPERATED, THE MANUAL RELEASE DEVICE SHALL RESULT IN DIRECT INTERRUPTION OF POWER TO THE LOCK – INDEPENDENT OF THE ACCESS CONTROL SYSTEM ELECTRONICS – AND THE DOOR LEAVES SHALL REMAIN UNLOCKED FOR NOT LESS THAN 30 SECONDS
- ACTIVATION OF THE BLDG FIRE PROTECTIVE SIGNALING SYSTEM, IF PROVIDED, SHALL AUTOMATICALLY UNLOCK THE DOOR LEAVES IN THE DIRECTION OF EGRESS, AND SHALL REMAIN UNLOCKED UNTIL THE FIRE PROTECTIVE SIGNALING SYSTEM HAS BEEN MANUALLY RESET
- THE ACTIVATION OF MANUAL FIRE ALARM BOXES THAT ACTIVATE THE BLDG FIRE PROTECTIVE SIGNALING SYSTEM SPECIFIED IN 7.2.1.6.2 (6) SHALL NOT BE REQUIRED TO UNLOCK THE DOOR LEAVES
- ACTIVATION OF THE BLDG AUTOMATIC SPRINKLER OF FIRE DETECTION SYSTEM, IF PROVIDED, SHALL AUTOMATICALLY UNLOCK THE DOOR LEAVES IN THE DIRECTION OF EGRESS, AND THEY SHALL REMAIN UNLOCKED UNTIL THE FIRE PROTECTIVE SYSTEM HAS BEEN MANUALLY RESET

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3-31-17

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PALOMAR
SOUTH BEACH
1750 Alton Road, Miami Beach, FL 33139

FINVARB GROUP
1085 Kane Concourses, Suite 201, Bay Harbor Island, FL 33154

Print

Owner

No.	DESCRIPTION	DATE
1	PERMIT SET	02.28.17
2	REV. 2	05.31.17

PROJECT NO.	1613
DATE:	02.28.17
SHEET NO.:	
SCALE:	As Noted
SHEET NO.	

City of Miami Beach
Fire Prevention Division
PLANS APPROVED

REVIEWER	DATE
STRUCTURAL	
MECHANICAL	
ELECTRICAL	
PLUMBING	
SITE CIVIL	

A-006

DOOR SCHEDULE - 2ND LEVEL													
DOOR										FRAME - SEE A-803		SEE A-006	
DOOR #	FROM	TO	TYPE	MATERIAL	SIZE			LABEL	FIRE RATING	MATERIAL	HEAD	JAMB	THRESHOLD
	ROOM NAME	ROOM NAME			PANEL WIDTH	HEIGHT	THICKNESS						
201	STAIR 1	ELEV LOBBY	B	HM	3'-0"	7'-0"	1-3/4"	B	2 HOUR	HM			
202	STAIR 2	GARAGE	B	HM	3'-0"	7'-0"	1-3/4"	B	2 HOUR	HM			
203	GARAGE	ELEV LOBBY	C	HM	3'-0"	7'-0"		B	2 HOUR	HM			6, 9, 12
204	ELEV LOBBY	HSKP BREAK	A	HM	3'-0"	7'-0"		C	1 HOUR	HM			6
205	ELEV LOBBY	GYM	E	AL/GL	3'-0"	7'-0"		C	1 HOUR	HM			6, 12
206	UNIFORM STOR	HSKP BREAK	A	HM	3'-0"	7'-0"				HM			6
207	LINEN CL	HSKP BREAK	A	HM	3'-0"	7'-0"				HM			6
208	LOCKERS	HSKP BREAK	A	HM	3'-0"	7'-0"				HM			6
209	WC	HSKP BREAK	A	HM	3'-0"	7'-0"				HM			6
210	HSKP OFFICE	HSKP BREAK	A	HM	3'-0"	7'-0"				HM			6
211	MINI BAR STOR	HSKP BREAK	A	HM	3'-0"	7'-0"				HM			6

DOOR SCHEDULE - 3RD-5TH LEVELS													
T01	STAIR 1	ELEV LOBBY	B	HM	3'-0"	7'-0"	1-3/4"	B	2 HOUR	HM			6, 11
T02	STAIR 2	CORRIDOR	B	HM	3'-0"	7'-0"	1-3/4"	B	2 HOUR	HM			6, 11
T03	ELEC RM	CORRIDOR	A	HM	3'-0"	7'-0"	1-3/4"	B	2 HOUR	HM			6
T04	LINEN RM	CORRIDOR	A	HM	3'-0"	7'-0"	1-3/4"	B	2 HOUR	HM			6, 20
T05	HSK	CORRIDOR	A	HM	3'-0"	7'-0"	1-3/4"	B	2 HOUR	HM			6
T06	IT ROOM	CORRIDOR	A	HM	3'-0"	7'-0"	1-3/4"	B	2 HOUR	HM			6
T07	ICE MACHINE	CORRIDOR	H	WD	5'-0"	7'-0"	1-3/4"	B	2 HOUR	HM			1
T10	HOTEL ENTRY	CORRIDOR	A	HM	3'-0"	7'-0"	1-3/4"	B	20 MINUTE	HM			1, 4, 18
T11	HOTEL RM	HOTEL RM	A	WD	3'-0"	7'-0"	1-3/4"	B	20 MINUTE	HM			20, 28
T12	HOTEL RM	BATH	H	WD	3'-0"	7'-0"	1-3/4"	B		WD			1, 24, 30
T13	HOTEL RM	BATH	A	WD	3'-0"	7'-0"	1-3/4"	B		WD			1, 24

DOOR SCHEDULE - POOL DECK / ROOF LEVEL													
R01	STAIR 1	ELEV LOBBY	B	HM	3'-0"	7'-0"	1-3/4"	B	2 HOUR	HM			
R02	STAIR 2	ROOF	B	HM	3'-0"	7'-0"	1-3/4"	B	2 HOUR	HM			
R03	ELEV LOBBY	MACH RM	A	HM	3'-0"	7'-0"	1-3/4"	B	2 HOUR	HM			
R04	WOMEN 1,2 MEN 3,4	ROOF	A	HM	3'-0"	7'-0"	1-3/4"			HM			
R05	ELEC RM	ROOF	A	HM	3'-0"	7'-0"	1-3/4"	B	2 HOUR	HM			
R06	ROOF	ROOF	K	AL	3'-0"	4'-6"				AL			
R07	POOL PUMP RM	ROOF	N	AL	3'-0"	7'-0"				AL			BOT 36" ABOVE FIN. ROOF
R08	MECH RMS	ROOF	N	AL	(2)3'-0"	5'-0"				AL			BOT 36" ABOVE FIN. ROOF

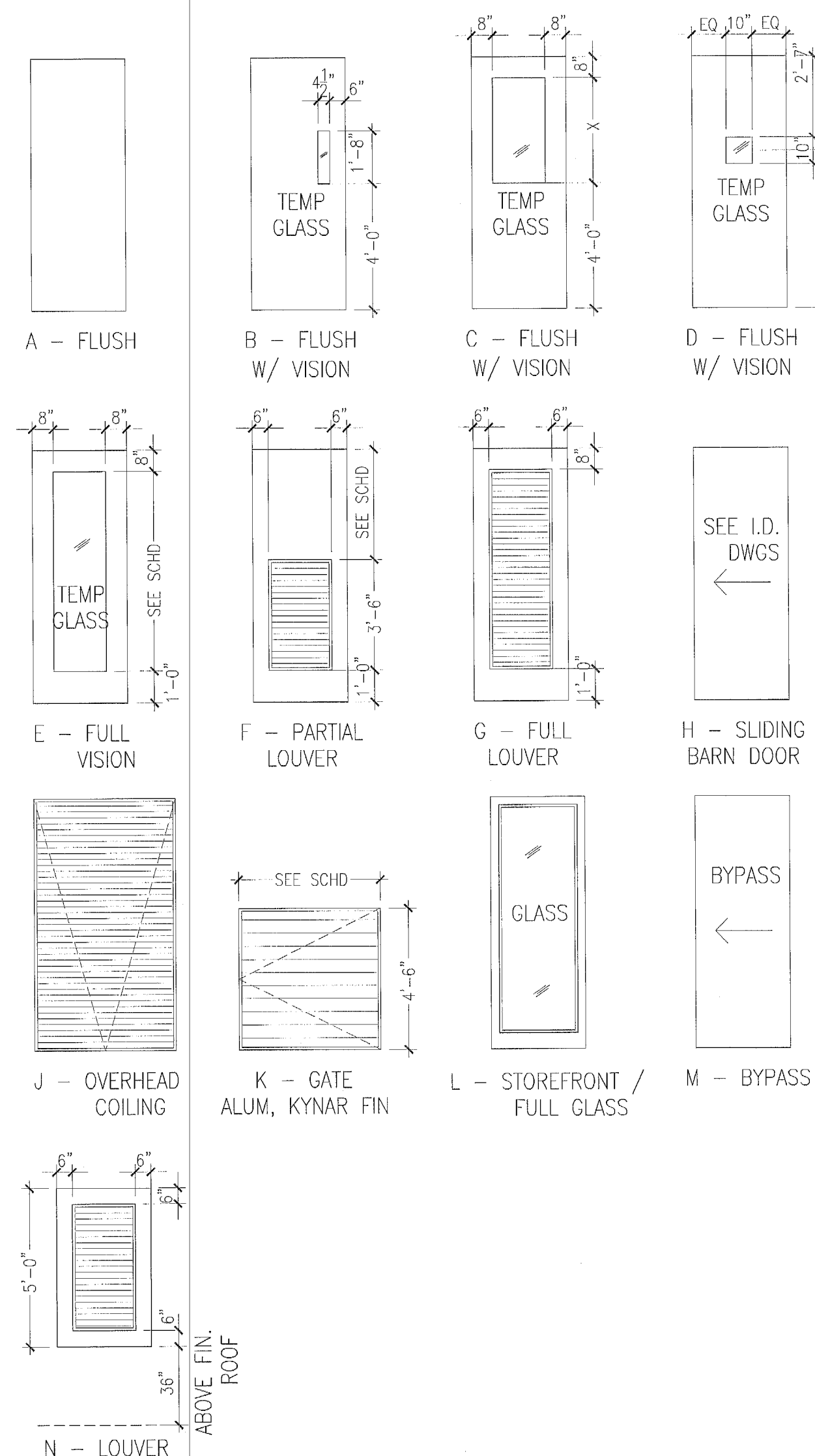
F.F.P.C. (NFPA 101) 7.2.1.6.2

ACCESS CONTROLLED EGRESS DOOR ASSEMBLIES (CARD KEY)

DOOR ASSEMBLIES IN THE MEANS OF EGRESS SHALL BE PERMITTED TO BE EQUIPPED WITH AN APPROVED ENTRANCE AND EGRESS ACCESS CONTROL SYSTEM, PROVIDED THAT ALL THE FOLLOWING CRITERIA ARE MET:

- 7.2.1.6.2* Access-Controlled Egress Door Assemblies. Where permitted in Chapters 11 through 43, door assemblies in the means of egress shall be permitted to be equipped with electrical lock hardware that prevents egress, provided that all of the following criteria are met:
- (1) A sensor shall be provided on the egress side, arranged to unlock the door leaf in the direction of egress upon detection of an approaching occupant.
 - (2) Door leaves shall automatically unlock in the direction of egress upon loss of power to the sensor or to the part of the access control system that locks the door leaves.
 - (3) Door locks shall be arranged to unlock in the direction of egress from a manual release device complying with all of the following criteria:
 - (a) The manual release device shall be located on the egress side, 40 in. to 48 in. (1015 mm to 1220 mm) vertically above the floor, and within 60 in. (1525 mm) of the secured door openings.
 - (b) The manual release device shall be readily accessible and clearly identified by a sign that reads as follows: PUSH TO EXIT.
 - (c) When operated, the manual release device shall result in direct interruption of power to the lock, independent of the locking system electronics, and the lock shall remain unlocked for not less than 30 seconds.
 - (4) Activation of the building fire-protective signaling system, if provided, shall automatically unlock the door leaves in the direction of egress, and the door leaves shall remain unlocked until the fire-protective signaling system has been manually reset.
 - (5) The activation of manual fire alarm boxes that activate the building fire-protective signaling system specified in 7.2.1.6.2(4) shall not be required to unlock the door leaves.
 - (6) Activation of the building automatic sprinkler or fire detection system, if provided, shall automatically unlock the door leaves in the direction of egress, and the door leaves shall remain unlocked until the fire-protective signaling system has been manually reset.
 - (7) The egress side of access-controlled egress doors, other than existing access-controlled egress doors, shall be provided with emergency lighting in accordance with Section 7.9.

DOOR TYPE ELEVATIONS



DOOR CLASSIFICATION

FIRE DOOR LEGEND
 4 HOUR WALL - 4 HOUR DOOR - A LABEL
 3 HOUR WALL - 3 HOUR DOOR - A LABEL
 2 HOUR WALL - 1-1/2 HOUR DOOR - B LABEL
 1 HOUR WALL - 45 MINUTE DOOR - C LABEL
 1/2 HOUR WALL - 20 MINUTE DOOR - C LABEL

MATERIAL LEGEND

AL ALUMINIUM
 AL/GL ALUMINIUM W/ GLASS
 GL GLASS
 HM HOLLOW METAL
 WD WOOD SOLID CORE
 WD/GL WOOD W/ GLASS
 STL STEEL
 SS STAINLESS STEEL

DOOR NOTES

NOTE 1	FOR HEAD, JAMB & THRESHOLD DETAILS REFER TO SHEET A803
NOTE 2	ALL DOORS NOT TO EXCEED A MAX UNDERCUT OF 3/4" TO CONC SLAB, OR LESS FOR APPLIED FINISH PER NFPA 80 TABLE 1-11.4 COORDINATE CLEARANCE OF UNDERCUT WITH FLOOR FINISH SPECIFIED ON I.D. DWGS
NOTE 3	CARD READERS AT FIRE RATED DOORS TO BE FIRE RATED
NOTE 4	ALL FIRE RATED DOORS TO HAVE FIRE RATED HARDWARE
NOTE 5	DOORS EXITING INTO STAIRWELLS SHALL NOT HAVE LOCKING DEVICES
NOTE 6	INSULATED COREFILL AT ALL HM DOORS PER FBC 13-403.1 (SEE SPECS)
NOTE 7	REFER TO F.F.P.C. 7.2.1.6 SELF CLOSING DEVICES
NOTE 8	ALL DOORS SERVING MORE THAN 100 PEOPLE SHALL HAVE PANIC HARDWARE
NOTE 9	ALL FIRE RATED DOORS TO HAVE SELF CLOSING AND LATCHING HARDWARE
NOTE 10	ALL FIRE RATED DOUBLE LEAF DOORS WITH ASTRAGALS SHALL HAVE DOOR COORDINATORS TO ENSURE PROPER OPERATION
NOTE 11	ALL EXIT DOORS SHALL BE SINGLE MOTION RELEASE AND REOPERABLE IN THE DIRECTION OF EGRESS WITHOUT ANY SPECIAL KNOWLEDGE, KEY OR TOOL

ADA ACCESSIBLE DOOR NOTES

DOOR HARDWARE: HANDLES, LATCHES, PULLS, LOCKS AND OTHER OPERATING DEVICES MUST HAVE A SHAPE THAT IS EASY TO GRASP WITH ONE HAND AND DOES NOT REQUIRE TIGHT GRASPING, TIGHT PINCHING OR TWISTING OF THE WRIST TO OPERATE, LEVER OPERATED MECHANISM AND U-SHAPED HANDLES ARE ACCEPTABLE DESIGNS, HARDWARE REQUIRED FOR PASSAGE MUST BE MOUNTED NO HIGHER THAN 48" AFF.

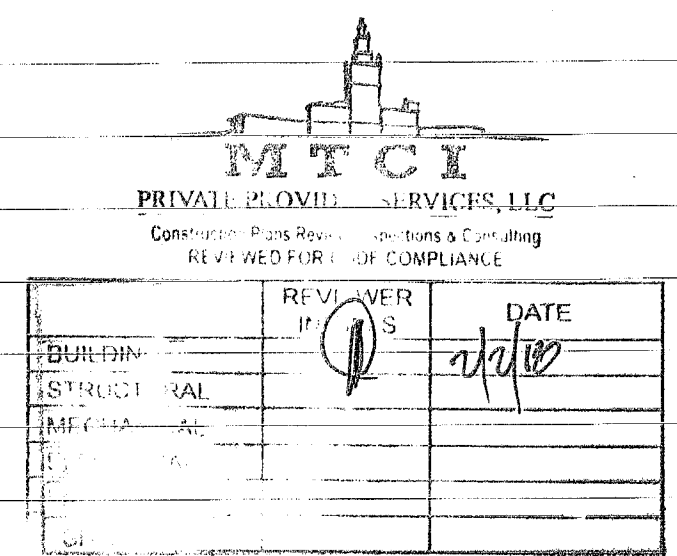
DOOR CLOSERS: IF A DOOR HAS A CLOSER THEN THE SWEEP PERIOD OF THE CLOSER MUST BE ADJUSTED SO THAT FROM AN OPEN POSITION OF 70 DEGREES, THE DOOR WILL TAKE AT LEAST 3 SECONDS TO MOVE TO A POINT 3" FROM THE LATCH, MEASURED FROM THE LEADING EDGE OF THE DOOR.

DOOR OPENING FORCE: THE MAXIMUM FORCE FOR PUSHING OR PULLING OPEN A DOOR MUST BE AS FOLLOWS:
 EXTERIOR HINGED DOORS - ADAAG PROVIDED NO REQUIREMENTS AT THIS TIME
 INTERIOR HINGED DOORS - 5 LBF
 SLIDING OR FOLDING DOORS - 5 LBF

DOOR NOTES: ANY WALK THROUGH OPENING TO BE 32" CLEAR WIDTH
 ANY DOUBLE DOOR TO HAVE AT LEAST ONE LEAF 36" WIDE
 PUSH LOCKS SHALL BE USED

DOOR SCHEDULE REMARKS CODE

1	SEE INTERIOR DESIGN DOCUMENTS
2	FF&E SPECIALITY DOOR, SEE I.D. DOCS
3	DOOR AND FRAME PROVIDED BY STOREFRONT / WINDOW WALL MANUFACTURER
4	CONCEALED OVERHEAD DOOR CLOSER
5	DESIGNED TO RESIST A 4" DIA OBJECT THROUGHOUT
6	SELF CLOSING DEVICE
7	OVERHEAD DOOR CLOSER
8	MAGNETIC HOLD OPEN DEVICE
9	PANIC HARDWARE
10	FUSIBLE LINK
11	TEMPERED GLASS PANEL
12	WIRED GLASS - INSTALL WIRE IN HORIZ. & VERT. POSITIONS
13	GATE LATCH TO BE MOUNTED AT 54" AFF MIN.
14	DOUBLE ACTING
15	MOTORIZED
16	ACOUSTIC SEALS FOR HEAD, JAMBS AND THRESHOLD
17	AUTOMATIC LOCKING DEVICE CONNECTED TO FIRE ALARM SYSTEM
18	CARD KEY - ELECTRONIC LOCKING
19	ELECTRONIC RELEASE HARDWARE
20	180 DEGREE SWING
21	OFFSET HINGES
22	CATEGORY II SAFETY GLASS CAPABLE OF WITHSTANDING A 400 LB IMPACT TEST
23	DOOR AND FRAME TO MEET WIND LOADS AS DEFINED BY STRUCT DWGS
24	DOOR TO HAVE ADJUSTABLE SWEEP AND MAX 3/4" UNDERCUT
25	FIRE RATED GLASS
26	EMERGENCY BREAKAWAY CAPABILITY
27	DOOR PROTECTED BY REMOVABLE PANEL SYSTEM MEETING WIND LOADS AS DEFINED BY STRUCTURAL DWGS
28	2 (3'-0" X 7'-0") INTERCONNECTING DOORS (ONE PANEL EACH SIDE)
29	WITH 3/8" LAMINATED GLASS
30	WIDTH TO BE 32" MIN. CLEAR IN OPEN POSITION
31	
32	
33	
34	
35	

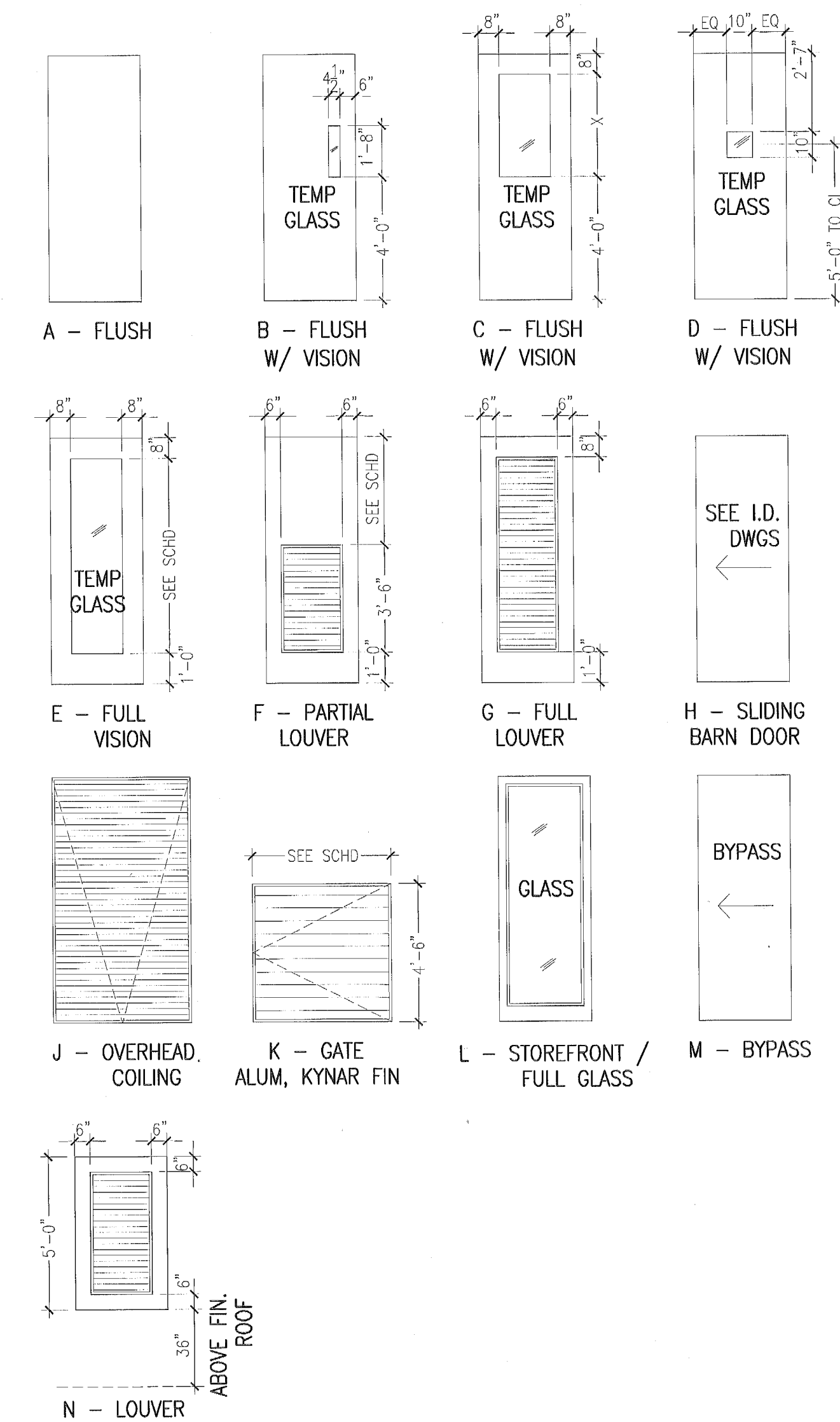


NO.	DESCRIPTION	DATE
1	PERMIT SET	02.28.17
2	BLDG. MTCI COMMENTS	08.01.17
3	REV 4	11.22.17

PROJECT NO.	1613
DATE	02.28.17
SHEET INDEX	
SCALE	As Noted
SHEET NO.	

DOOR SCHEDULE – 1ST LEVEL															
DOOR										FRAME – SEE A-803					
DOOR #	FROM	TO	TYPE	MATERIAL	SIZE			LABEL	FIRE RATING	MATERIAL	HEAD	JAMB	THRESHOLD	REMARKS	
						PANEL WIDTH	HEIGHT								THICKNESS
	ROOM NAME	ROOM NAME													
101	STAIR 1	ELEV LOBBY	B	HM		3'-0"	7'-0"	1-3/4"	B	2 HOUR	HM				7
102	EXIT CORRIDOR	SIDEWALK	B	HM		3'-0"	7'-0"	1-3/4"	B	2 HOUR	HM				7
103	LOBBY	DROP OFF	L	AL/GL		6'-0"	8'-0"				AL/GL				3, 6, 9
104	ELEV LOBBY	ENTRY DRIVE	L	AL/GL		3'-0"	8'-0"				AL/GL				3, 6, 9
105	TRASH ROOM	ENTRY DRIVE	J	SS		5'-0"	8'-0"	1-3/4"	B	2 HOUR	SS				7
106	LINEN ROOM	ENTRY DRIVE	J	SS		5'-0"	8'-0"	1-3/4"	B	2 HOUR	SS				7
107	FIRE/WATER PUMP	ENTRY DRIVE	A	HM		6'-0"	7'-0"	1-3/4"	B	2 HOUR	HM				7
108	NOT USED														
109	LOBBY	CANAL WALK	L	AL/GL		3'-0"	8'-0"				AL/GL				3, 6, 9
110	RESTAURANT	CANAL WALK	L	AL/GL		3'-0"	8'-0"				AL/GL				3, 6, 9
111	RESTAURANT	CANAL WALK	L	AL/GL		3'-0"	8'-0"				AL/GL				3, 6, 9
112	RESTAURANT	CANAL WALK	L	AL/GL		3'-0"	8'-0"				AL/GL				3, 6, 9
113	ENTRY DRIVE	WINDOW DISPLAY	A	HM		3'-0"	7'-0"	1-3/4"			HM				7
114	ENTRY DRIVE	WINDOW DISPLAY	A	HM		3'-0"	7'-0"	1-3/4"			HM				7
115	HOTEL ADMIN	SIDEWALK	L	AL/GL		3'-0"	8'-0"				AL/GL				3, 6, 9
116	RESTAURANT	ENTRY DRIVE	L	AL/GL		3'-0"	8'-0"				AL/GL				3, 6, 9
117	RESTAURANT	ENTRY DRIVE	A	HM		3'-0"	7'-0"	1-3/4"	B	2 HOUR	HM				7
118	ELEC RM	ENTRY DRIVE	A	HM		3'-0"	7'-0"	1-3/4"	B	2 HOUR	HM				7
119	MDF RM	ENTRY DRIVE	A	HM		3'-0"	7'-0"	1-3/4"	B	2 HOUR	HM				7
120	BAGGAGE OFFICE	ENTRY DRIVE	A	HM		3'-0"	7'-0"	1-3/4"	B	2 HOUR	HM				7
121	FRONT OFFICE	ENTRY DRIVE	A	HM		3'-0"	7'-0"	1-3/4"	B	2 HOUR	HM				7
122	FRONT OFFICE	BOH HALL	A	WD		3'-0"	7'-0"	1-3/4"			WD				7
123	BOH HALL	BAGGAGE RM	A	WD		3'-0"	7'-0"	1-3/4"			WD				7
124	JAN	WC VEST	A	WD		3'-0"	7'-0"	1-3/4"			WD				1, 7
125	TOILET	WC CORRIDOR	A	WD		3'-0"	7'-0"	1-3/4"			WD				1
126	TOILET	WC CORRIDOR	A	WD		3'-0"	7'-0"	1-3/4"			WD				1
127	TOILET	WC CORRIDOR	A	WD		3'-0"	7'-0"	1-3/4"			WD				1
128	TOILET	WC CORRIDOR	A	WD		3'-0"	7'-0"	1-3/4"			WD				1
129	TOILET	WC CORRIDOR	A	WD		3'-0"	7'-0"	1-3/4"			WD				1
130	WC VEST	WC CORRIDOR	A	WD		3'-0"	7'-0"	1-3/4"			WD				1, 7
131	OFFICE 3	HOTEL ADMIN	A	WD		3'-0"	7'-0"	1-3/4"			WD				
132	OFFICE 2	HOTEL ADMIN	A	WD		3'-0"	7'-0"	1-3/4"			WD				
133	OFFICE 1	HOTEL ADMIN	A	WD		3'-0"	7'-0"	1-3/4"			WD				

DOOR TYPE ELEVATIONS



DOOR CLASSIFICATION

FIRE DOOR LEGEND
 4 HOUR WALL - 4 HOUR DOOR - A LABEL
 3 HOUR WALL - 3 HOUR DOOR - A LABEL
 2 HOUR WALL - 1-1/2 HOUR DOOR - B LABEL
 1 HOUR WALL - 45 MINUTE DOOR - C LABEL
 1/2 HOUR WALL - 20 MINUTE DOOR - C LABEL

MATERIAL LEGEND

AL ALUMINIUM
 AL/GL ALUMINIUM W/ GLASS
 GL GLASS
 HM HOLLOW METAL
 WD WOOD SOLID CORE
 WD/GL WOOD W/ GLASS
 STL STEEL
 SS STAINLESS STEEL

DOOR NOTES

NOTE 1	FOR HEAD, JAMB & THRESHOLD DETAILS REFER TO SHEET A803
NOTE 2	ALL DOORS NOT TO EXCEED A MAX UNDERCUT OF 3/4" TO CONC SLAB, OR LESS FOR APPLIED FINISH PER NFPA 80 TABLE 1-11.4 COORDINATE CLEARANCE OF UNDERCUT WITH FLOOR FINISH SPECIFIED ON I.D. DWGS
NOTE 3	CARD READERS AT FIRE RATED DOORS TO BE FIRE RATED
NOTE 4	ALL FIRE RATED DOORS TO HAVE FIRE RATED HARDWARE
NOTE 5	DOORS EXITING INTO STAIRWELLS SHALL NOT HAVE LOCKING DEVICES
NOTE 6	INSULATED COREFILL AT ALL HM DOORS PER FBC 13-403.1 (SEE SPECS)
NOTE 7	REFER TO F.F.P.C. 7.2.1.6 SELF CLOSING DEVICES
NOTE 8	ALL DOORS SERVING MORE THAN 100 PEOPLE SHALL HAVE PANIC HARDWARE
NOTE 9	ALL FIRE RATED DOORS TO HAVE SELF CLOSING AND LATCHING HARDWARE
NOTE 10	ALL FIRE RATED DOUBLE LEAF DOORS WITH ASTRAGALS SHALL HAVE DOOR COORDINATORS TO ENSURE PROPER OPERATION
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31	
32	
33	
34	
35	

F.F.P.C. (NFPA 101) 7.2.1.6.2

ACCESS CONTROLLED EGRESS DOOR ASSEMBLIES (CARD KEY)

DOOR ASSEMBLIES IN THE MEANS OF EGRESS SHALL BE PERMITTED TO BE EQUIPPED WITH AN APPROVED ENTRANCE AND EGRESS ACCESS CONTROL SYSTEM, PROVIDED THAT ALL THE FOLLOWING CRITERIA ARE MET:

- A SENSOR SHALL BE PROVIDED ON THE EGRESS SIDE, ARRANGED TO DETECT AN OCCUPANT APPROACHING THE DOOR LEAVES THAT ARE ARRANGED TO UNLOCK IN THE DIRECTION OF EGRESS UPON DETECTION OF AN APPROACHING OCCUPANT OR LOSS OF POWER TO THE SENSOR
- LOSS OF POWER TO THE PART OF THE ACCESS CONTROL SYSTEM THAT LOCKS THE DOOR LEAVES SHALL AUTOMATICALLY UNLOCK THE DOOR LEAVES IN THE DIRECTION OF EGRESS
- DOOR LEAVES SHALL BE ARRANGED TO UNLOCK IN THE DIRECTION OF EGRESS FROM A MANUAL RELEASE DEVICE LOCATED 40 IN. TO 48 IN. (1015MM TO 1220MM) VERTICALLY ABOVE THE FLOOR AND WITHIN 60 IN. (1525MM) OF THE SECURED DOOR OPENINGS.
- THE MANUAL RELEASE DEVICE SPECIFIED IN 7.2.1.6.2 (3) SHALL BE READILY ACCESSIBLE AND CLEARLY IDENTIFIED BY A SIGN THAT READS AS FOLLOWS: PUSH TO EXIT
- WHEN OPERATED, THE MANUAL RELEASE DEVICE SHALL RESULT IN DIRECT INTERRUPTION OF POWER TO THE LOCK - INDEPENDENT OF THE ACCESS CONTROL SYSTEM ELECTRONICS - AND THE DOOR LEAVES SHALL REMAIN UNLOCKED FOR NOT LESS THAN 30 SECONDS
- ACTIVATION OF THE BLDG FIRE PROTECTIVE SIGNALING SYSTEM, IF PROVIDED, SHALL AUTOMATICALLY UNLOCK THE DOOR LEAVES IN THE DIRECTION OF EGRESS, AND SHALL REMAIN UNLOCKED UNTIL THE FIRE PROTECTIVE SIGNALING SYSTEM HAS BEEN MANUALLY RESET
- THE ACTIVATION OF MANUAL FIRE ALARM BOXES THAT ACTIVATE THE BLDG FIRE PROTECTIVE SIGNALING SYSTEM SPECIFIED IN 7.2.1.6.2 (6) SHALL NOT BE REQUIRED TO UNLOCK THE DOOR LEAVES
- ACTIVATION OF THE BLDG AUTOMATIC SPRINKLER OF FIRE DETECTION SYSTEM, IF PROVIDED, SHALL AUTOMATICALLY UNLOCK THE DOOR LEAVES IN THE DIRECTION OF EGRESS, AND THEY SHALL REMAIN UNLOCKED UNTIL THE FIRE PROTECTIVE SYSTEM HAS BEEN MANUALLY RESET

PERMUY

ARCHITECTURE
INTERIOR DESIGN
PLANNING

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Coral Gables, FL 33134
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STATE OF FLORIDA
REGISTERED ARCHITECT
REGISTRATION NUMBER 00000000

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PALOMAR
SOUTH BEACH
1760 Alton Road, Miami Beach, FL 33139

FINVARB GROUP
1085 Kane Concourse, Suite 201, Bay Harbor Island, FL 33154

No.	DESCRIPTION	DATE
1	PERMIT SET	02.28.17
2	REV. 2	05.31.17

PROJECT NO.	1613
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SHEET INDEX:	
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City of Miami Beach
Fire Prevention Division
PLANS APPROVED

REVIEWER	DATE
STRUCTURAL	
MECHANICAL	
ELECTRICAL	
PLUMBING	
SITE CIVIL	

A-006

DOOR SCHEDULE - 2ND LEVEL															
DOOR									FRAME - SEE A-803			SEE A-006			
DOOR #	FROM	TO	TYPE	MATERIAL	SIZE			LABEL	FIRE RATING	MATERIAL	HEAD	JAMB	THRESHOLD	REMARKS	
						PANEL WIDTH	HEIGHT								THICKNESS
	ROOM NAME	ROOM NAME													
201	STAIR 1	ELEV LOBBY	B	HM		3'-0"	7'-0"	1-3/4"	B	2 HOUR	HM			6	
202	STAIR 2	GARAGE	B	HM		3'-0"	7'-0"	1-3/4"	B	2 HOUR	HM			6	
203	GARAGE	ELEV LOBBY	C	HM		3'-0"	7'-0"		B	2 HOUR	HM			6, 9, 12	
204	ELEV LOBBY	HSKP BREAK	A	HM	4	3'-0"	7'-0"		C	1 HOUR	HM			6	
205	ELEV LOBBY	GYM	E	AL/GL		3'-0"	7'-0"		C	1 HOUR	HM			6, 12	
206	UNIFORM STOR	HSKP BREAK	A	HM		3'-0"	7'-0"				HM			6	
207	LINEN CL	HSKP BREAK	A	HM		3'-0"	7'-0"				HM			6	
208	LOCKERS	HSKP BREAK	A	HM		3'-0"	7'-0"				HM			6	
209	WC	HSKP BREAK	A	HM		3'-0"	7'-0"				HM			6	
210	HSKP OFFICE	HSKP BREAK	A	HM		3'-0"	7'-0"				HM			6	
211	MINI BAR STOR	HSKP BREAK	A	HM		3'-0"	7'-0"				HM			6	

T01	STAIR 1	ELEV LOBBY	B	HM		3'-0"	7'-0"	1-3/4"	B	2 HOUR	HM				6, 11
T02	STAIR 2	CORRIDOR	B	HM		3'-0"	7'-0"	1-3/4"	B	2 HOUR	HM				6, 11
T03	ELEC RM	CORRIDOR	A	HM		3'-0"	7'-0"	1-3/4"	B	2 HOUR	HM				6
T04	LINEN RM	CORRIDOR	A	HM		3'-0"	7'-0"	1-3/4"	B	2 HOUR	HM				6, 20
T05	HSK	CORRIDOR	A	HM		3'-0"	7'-0"	1-3/4"	B	2 HOUR	HM				6
T06	IT ROOM	CORRIDOR	A	HM		3'-0"	7'-0"	1-3/4"	B	2 HOUR	HM				6
T07	ICE MACHINE	CORRIDOR	H	WD		5'-0"	7'-0"	1-3/4"	4 1/2" C	20 MINUTE					1
T10	HOTEL ENTRY	CORRIDOR	A	HM		3'-0"	7'-0"	1-3/4"	4 1/2" C	20 MINUTE	HM				1, 4, 18
T11	HOTEL RM	HOTEL RM	A	WD		3'-0"	7'-0"	1-3/4"	4 1/2" C	20 MINUTE	HM				20, 28
T12	HOTEL RM	BATH	H	WD		3'-0"	7'-0"	1-3/4"	4 1/2" C		WD				1, 24, 30
T13	HOTEL RM	BATH	A	WD		3'-0"	7'-0"	1-3/4"			WD				1, 24

[illegible]

The drawings are as follows:

- A - FLUSH**: A simple rectangular frame.
- B - FLUSH W/ VISION**: A rectangular frame with a central vision pane. Dimensions: 4'-0" wide, 1'-0" high for the vision pane, 6" top and bottom margins, 4 1/2" side margins.
- C - FLUSH W/ VISION**: A rectangular frame with a central vision pane. Dimensions: 4'-0" wide, 4'-0" high, 8" top and bottom margins, 8" side margins.
- D - FLUSH W/ VISION**: A rectangular frame with a central vision pane. Dimensions: 5'-0" to 6'-0" high, 10" top and bottom margins, 10" side margins.
- E - FULL VISION**: A rectangular frame with a full vision pane. Dimensions: 1'-0" high, 8" top and bottom margins, 8" side margins. Label: "SEE SCH-D".
- F - PARTIAL LOUVER**: A rectangular frame with a partial louver at the bottom. Dimensions: 3'-6" high for the louver, 1'-0" high for the bottom section, 6" top and bottom margins, 6" side margins. Label: "SEE SCH-D".
- G - FULL LOUVER**: A rectangular frame with a full louver. Dimensions: 1'-0" high, 6" top and bottom margins, 6" side margins.
- H - SLIDING BARN DOOR**: A rectangular frame with a sliding barn door. Label: "SEE I.D. DWGS".
- I - OVERHEAD COILING**: A rectangular frame with overhead coiling. Dimensions: 4'-6" high, 6" top and bottom margins, 6" side margins.
- J - GATE ALUM, KYNAR FIN**: A rectangular frame with a gate. Dimensions: 4'-6" high, 6" top and bottom margins, 6" side margins. Label: "SEE SCH-D".
- K - STOREFRONT / FULL GLASS**: A rectangular frame with a storefront or full glass. Dimensions: 4'-6" high, 6" top and bottom margins, 6" side margins.
- L - BYPASS**: A rectangular frame with a bypass. Label: "BYPASS".
- M - BYPASS**: A rectangular frame with a bypass. Label: "BYPASS".
- N - LOUVER**: A rectangular frame with a louver. Dimensions: 3'-6" high, 6" top and bottom margins, 6" side margins. Label: "ABOVE FIN. ROOF".

A-007

NOTES:

- 1 - ALL EGRESS DOORS WITH $\frac{1}{2}$ " MAX ELEVATION. TYPICAL
- 2 - THERE IS NO OPEN TO SKY WITHIN BUILDING FOOTPRINT.

PLUMBING FIXTURE CALCULATION - POOL DECK FLOOR - FBC, TABLE 403.6

ROOM	OCCUPANT LOAD	151 PEOPLE 1/16 MALE	151 PEOPLE 1/16 FEMALE	LAVS 1 PER 200 PERSONS
LOBBY	86 PEOPLE			
RECEPTION	3 PEOPLE			
MECH ROOMS	2 PEOPLE			
RESTAURANT-KITCHEN	8 PEOPLE			
RESTAURANT-INDOOR SEAT	197 PEOPLE	3 WCS	3 WCS	4 LAVS
RESTAURANT-OUTDOOR SEAT	12 PEOPLE			
OFFICE	8 PEOPLE			
TOTALS:	316 PEOPLE	6 WCS		4 LAVS

LIFE SAFETY OCCUPANT LOAD CALCULATION - 1ST FLOOR

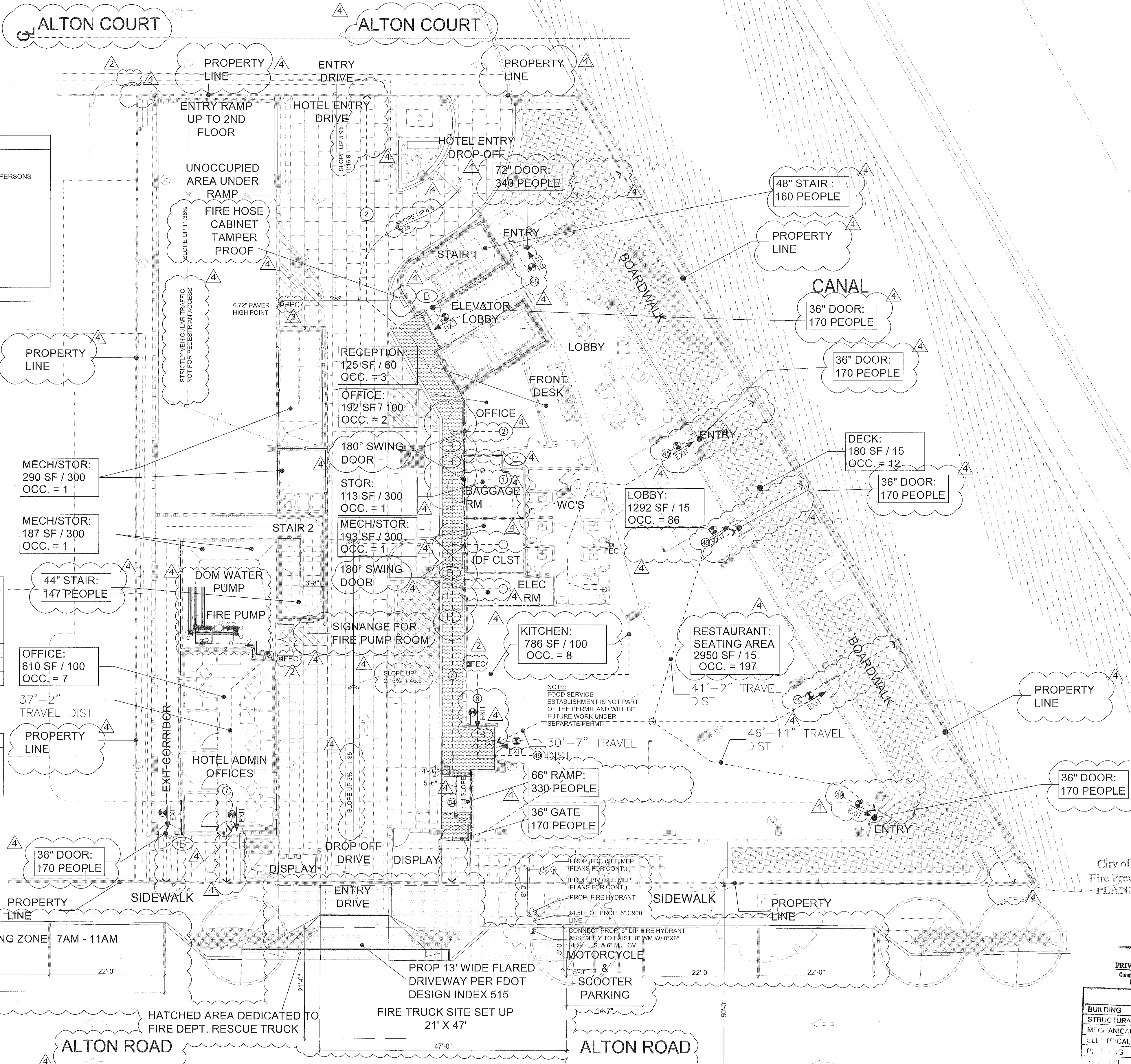
ROOM	AREA	OCCUPANT LOAD FACTOR PER 1,000 SF	OCCUPANT LOAD	CATEGORY
LOBBY	1292 S.F.	15	96	HOTEL LOBBY
RECEPTION	125 S.F.	60	3	RECEPTION
MECH/STOR ROOMS	512 S.F.	300	2	STORAGE / MECH
RESTAURANT (INDOOR+KITCHEN)	3736 S.F.	15 / 100 (SEE ABOVE)	205	RESTAURANT
OFFICES	717 S.F.	100	8	BUSINESS
	TOTAL =		304 PERSONS	

DOOR AND STAIR EGRESS - 1ST FLOOR - 337 PERSONS

REQUIRED	REQUIRED	PROVIDED	STAIR, 0.3" MIN. WIDTH REQUIRED
DOOR, 0.2" MIN. WIDTH REQUIRED	STAIR, 0.3" MIN. WIDTH REQUIRED	DOOR, 0.2" MIN. WIDTH REQUIRED	STAIR, 0.3" MIN. WIDTH REQUIRED
58.4" WIDTH	87.6" WIDTH	(7) AT 32" WIDTH	N/A
		TOTAL = 224"	

A1 LIFE SAFETY PLAN - 1ST FLOOR

SCALE: 3/32" = 1'-0"



City of Miami Beach
Fire Prevention Division
PLANS APPROVED

MTCT
PRIVATE PROVIDER SERVICES, LLC
Construction Plans Review, Inspections & Consulting
REVIEWED FOR CODE COMPLIANCE

BUILDING	REVIEWER	DATE
STRUCTURAL	IN/11/13	2/2/13
MECHANICAL		
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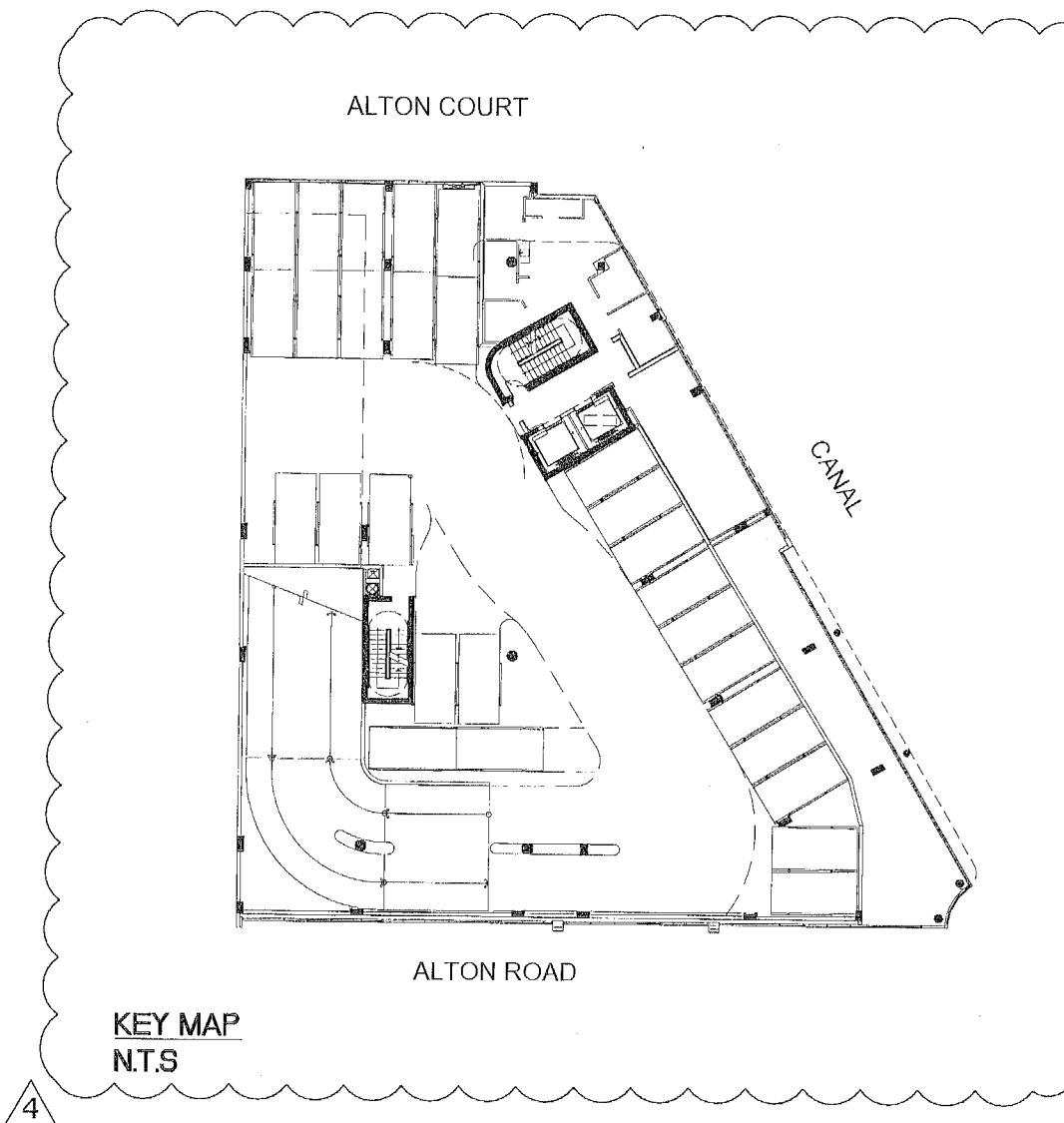
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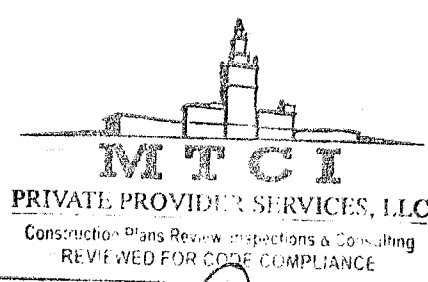
Helio Milian
11.22.17

STATE OF FLORIDA
HELIO MILIAN ARCHITECT
REGISTRATION AND ADDRESS

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EXCEPT WITH SPECIFICATION WRITTEN
CONSENT OF THE ARCHITECT. THE
CONTRACTOR MUST CHECK AND VERIFY ALL
DIMENSIONS OF THE JOB AND BE RESPONSIBLE
FOR SAME. REPORTING ANY DISCREPANCIES TO
THE ARCHITECT BEFORE COMMENCING WORK.
DRAWINGS ARE NOT TO BE SCALED



KEY MAP
NTS



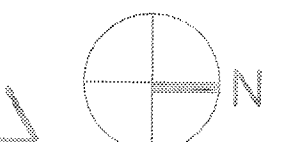
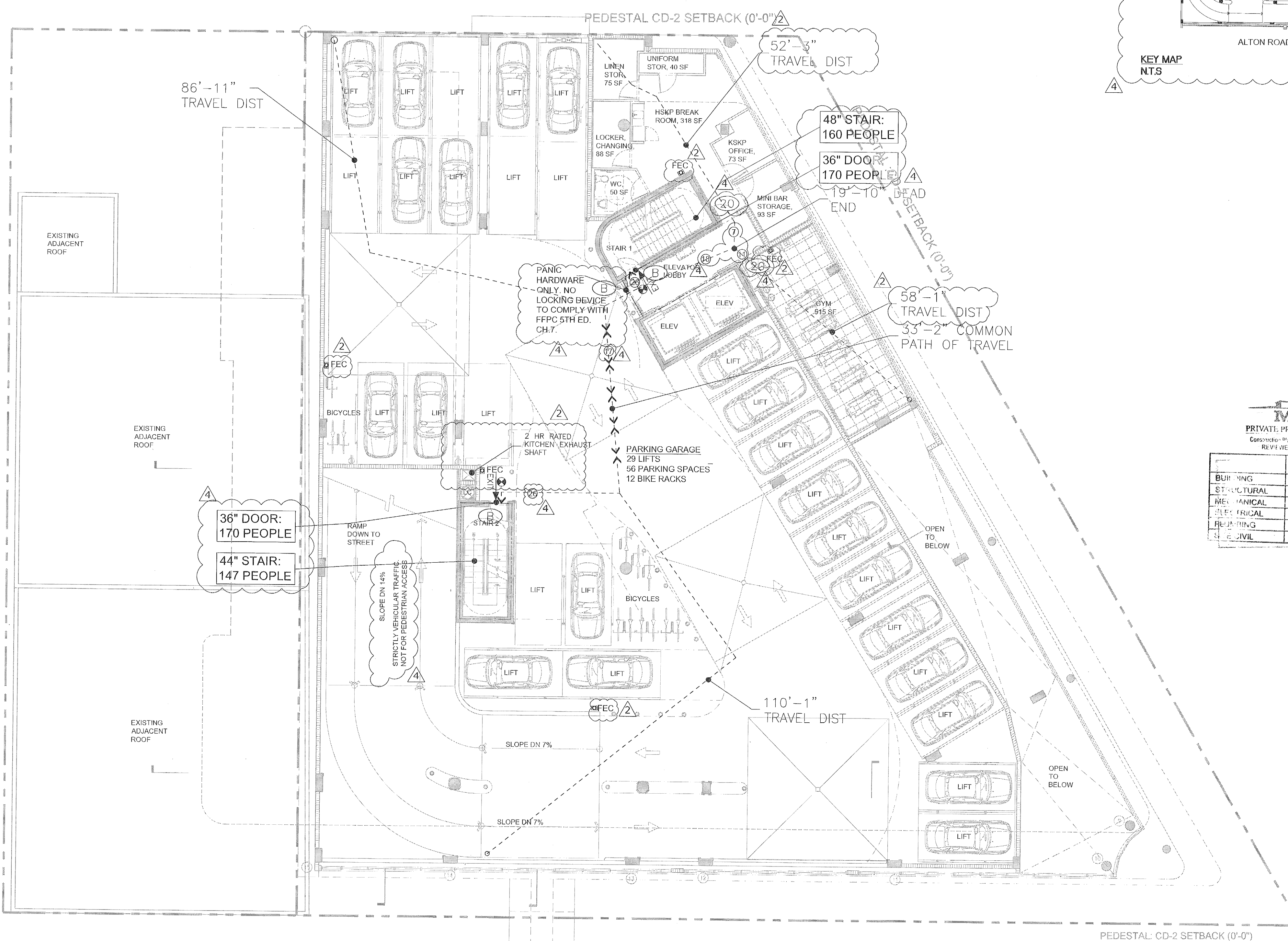
	REVIEWER	DATE
BUILDING		
STRUCTURAL		
MECHANICAL		
ELECTRICAL		
PLUMBING		
CIVIL		

NOTES:

- 1 - ALL EGRESS DOORS WITH 1/2" MAX ELEVATION, TYPICAL
- 2 - THERE IS NO OPEN TO SKY WITHIN BUILDING FOOTPRINT

LIFE SAFETY OCCUPANT LOAD CALCULATION - 3RD-4TH-5TH FLOORS - FBC, TABLE 1004.12				
ROOM	FLOOR AREA	OCCUPANT LOAD FACTOR PER 1000 SF	OCCUPANT LOAD	CATEGORY
PARKING (GARAGE)	9,836 SF.	300 GROSS	33	GARAGE
BUS/HKBP ROOMS	644 SF.	100 GROSS	7	BUSINESS
GYM ROOM	515 SF.	50 GROSS	11	ASSEMBLY
TOTAL =			51 PERSONS	

DOOR AND STAIR EGRESS - 2ND FLOOR - 74 PERSONS				
REQUIRED DOOR, 0.2" MIN. WIDTH REQUIRED	REQUIRED STAIR, 0.3" MIN. WIDTH REQUIRED	PROVIDED DOOR, 0.2" MIN. WIDTH REQUIRED	STAIR, 0.3" MIN. WIDTH REQUIRED	
14.8" WIDTH	22.2" WIDTH	(2) AT 32" WIDTH	(2) AT 44" WIDTH	
TOTAL =			74 PERSONS	



City of Miami Beach
Fire Prevention Division
PLANS APPROVED



No.	DESCRIPTION	DATE
1	PERMIT SET	02.28.17
2	REV. 2	05.31.17
3	REV. 4	11.22.17

PROJECT NO: 1613
DATE: 02.28.17
SHEET INDEX:
SCALE: As Noted
SHEET NO: