

KIMPTON HOTEL
PALOMAR
 SOUTH BEACH

1750 Alton Road, Miami Beach, FL 33139

BA1703462 MTCI
 RECEIVED
 MAR 27 2017
 PRIVATE PROVIDER SERVICES, LLC
 Construction Plans Review, Inspections, Testing & Consulting

PERMUY
 ARCHITECTURE
 INTERIOR DESIGN
 PLANNING

2717 Ponce de Leon Blvd.
 Coral Gables, FL 33134
 Phone : 305.200.5302
 www.PermuyArchitecture.com

*Mts/Mds
 02.28.17*



NOTICE: In addition to the requirement of this permit, there may be additional restrictions applicable to this property that may be found in the Public Records of this County and there may be additional permits required from other government entities such as water management districts, state agencies, or federal agencies. The City of Miami Beach assumes no responsibility for accuracy of or results from these plans which are approved subject to compliance with all Federal, State, and Local Laws, Rules, and Regulations.

**PUBLIC WORKS
 PLAN REVIEW NOTICE**

Phone 305-673-7080 Fax 305-673-7028

THIS PLAN REVIEW CONSTITUTES APPROVAL FOR OBTAINING BUILDING PERMITS ONLY.

work, materials and equipment are to be retained within the property.

construction and for use of equipment in the right-of-way or encroachments will require a separate traffic management permit PRIOR TO STARTING CONSTRUCTION.

to start any excavation in the right-of-way, you must get Sunshine State One Call of Florida 1-800-368-5898. At least 48 hours prior to the excavation, you must call. If the utilities have not been located at this location.

1750 Alton Road, Miami Beach, FL 33139
 PALOMAR SOUTH BEACH
 KIMPTON HOTEL

**OFFICE COPY
 CITY OF MIAMI BEACH
 APPROVED FOR PERMIT BY
 THE FOLLOWING:**

BUILDING: [Signature]
 ZONING: [Signature]
 PLUMBING: [Signature]
 ELECTRICAL: [Signature]
 MECHANICAL: [Signature]
 FIRE PREVENTION: [Signature] 2/27/18
 FLOOD: [Signature] 2/28/18
 PUBLIC WORKS: [Signature] 3/1/18
 STRUCTURAL: [Signature]
 ELEVATOR: [Signature] 3-1-18
 ROOFING: [Signature] 3/1/18 P20616-0117

NO.	DESCRIPTION	DATE
	PERMIT SET	02.28.17

OWNER
FINVARB GROUP
 1065 Kane Concourse, suite 201
 Bay Harbor Island, FL 33154

ARCHITECT OF RECORD
PERMUY ARCHITECTURE
 2717 Ponce de Leon Blvd.
 Coral Gables, FL 33134

INTERIOR DESIGN
CHAPI CHAPO DESIGN
 1822 Danforth Ave.
 Toronto, ON, M4C 1H8, Canada

DESIGN ARCHITECT
KOBI KARP ARCHITECTURE
 2915 Biscayne Blvd. Suite 200
 Miami, FL 33137

CIVIL ENGINEER
OCEAN ENGINEERING, INC.
 333 NE 24th Street, Suite 408
 Miami, FL 33137

FIRE PROTECTION / LIFE SAFETY
SLS CONSULTING, INC.
 1825 Ponce de Leon Blvd. Suite 565
 Miami, FL 33134

City of Miami Beach
 Fire Prevention Division



STRUCTURAL ENGINEER
De LOS REYES ENGINEERING
 8726 NW 28th St. Suite 1 & 2
 Miami, FL 33172

MEP
JPG ENGINEERING GROUP P.A.
 3553 NW 79 Ave.
 Miami, FL 33122

CIVIL ENGINEER
OCEAN ENGINEERING
 333 NE 24th ST., Suite 408
 Miami, FL 33137

LANDSCAPE ARCHITECT
JFS DESIGN
 1833 NW 104th Terrace
 Pembroke Pines, FL 33028

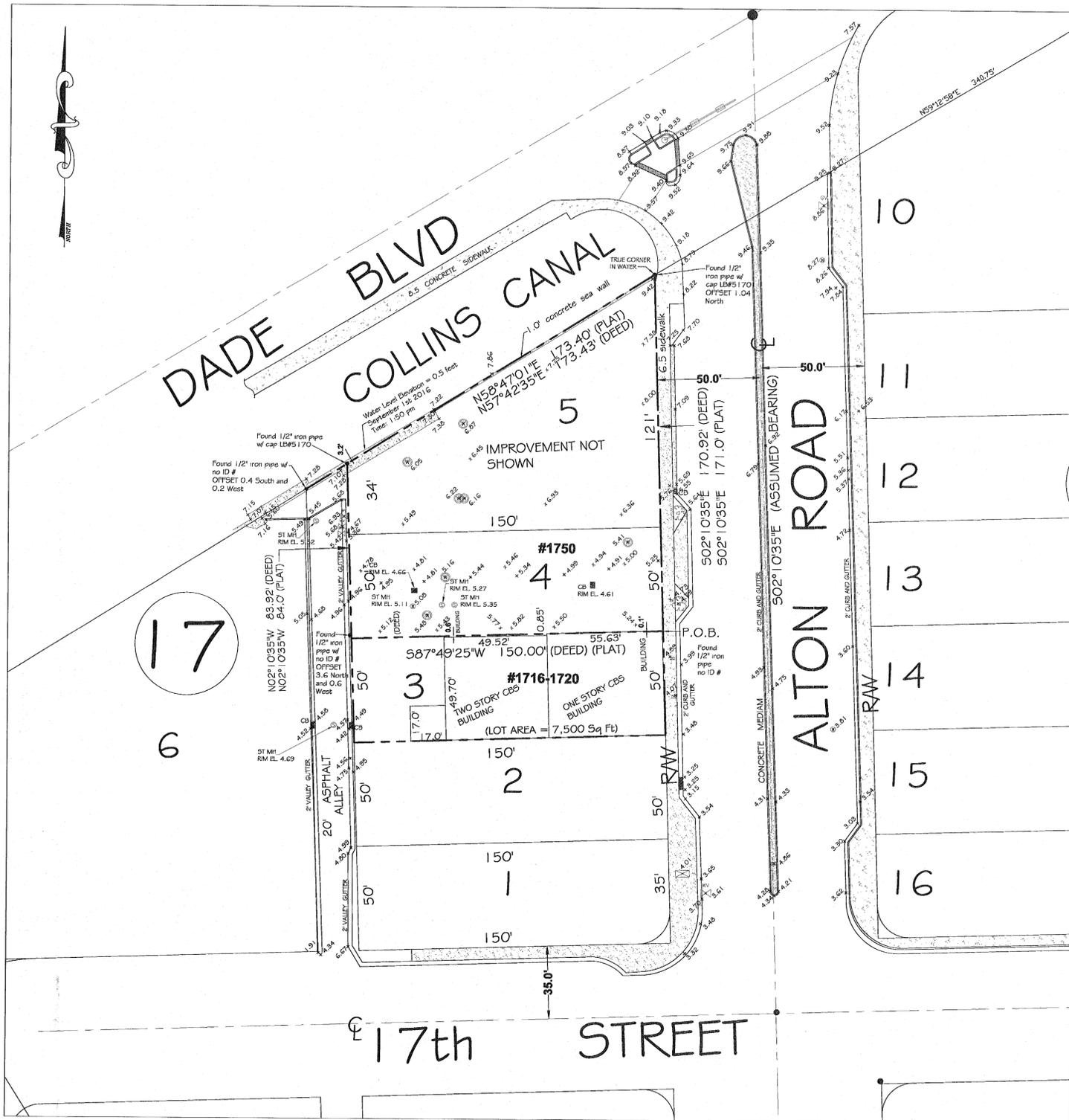
LAND SURVEYORS
LEVEL-TECH SURVEYORS, LLC
 777 NW 72 Ave. Suite 3134
 Miami, FL 33126

POOL CONSULTANT
AQUADYNAMICS DESIGN GROUP, INC.
 5000 SW 75th Avenue, Suite 300
 Miami, FL 33155

	REVIEWER	DATE
BUILDING	[Signature]	10/19/17
STRUCTURAL	[Signature]	10/19/17
MECHANICAL	[Signature]	10/19/17
ELECTRICAL	[Signature]	10/19/17
PLUMBING	[Signature]	10-19-17
SITE CIVIL	[Signature]	

PROJECT NO. 1613
 DATE: 02.28.17
 SHEET INDEX:
 SCALE: As Noted
 SHEET NO. A-000

PERMIT SET



LEGAL DESCRIPTION:

Lot 4 less the South 1 inch (0.08'), and all Lot 5, both in Block 17, FIRST ADDITION TO COMMERCIAL SUBDIVISION, according to the Plat thereof, as recorded in Plat Book 6, Page 30, of the Public Records of Miami-Dade County, Florida, being more particularly described as follows:
 Begin at the Southeast corner of Lot 4, Block 17, FIRST ADDITION TO COMMERCIAL SUBDIVISION, according to the Plat thereof, as recorded in Plat Book 6, Page 30, of the Public Records of Miami-Dade County, Florida; thence run North along the West right-of-way line of Alton Road, for a distance of 1 inch (0.08' feet) to the Point of Beginning of the hereinafter described parcel; thence run West for a distance of 150.00 feet to a point; thence run North for a distance of 83.92 feet to a point; thence run North 59°53'10" East for a distance of 173.43 feet to a point; thence run South for a distance of 170.92 feet to the Point of Beginning.

SURVEYORS NOTES:

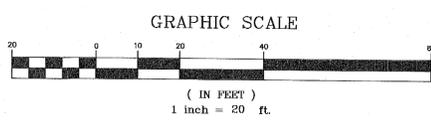
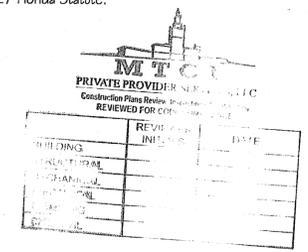
- The above captioned Property was surveyed and described based on the above Legal Description: Provided by Client.
- The lands shown hereon were not abstracted for easements or other recorded encumbrances not shown on the plat and the same, if any may not be shown on this section.
- Ownership subject to Opinion of Title.
- Bearings are based on an assumed meridian and referenced on the Centerline of ALTON ROAD, (S 02°10'35" E)
- Underground utilities are not depicted hereon.
- The minimum relative distance accuracy for this type of Survey is 1 foot in 10,000 feet. The accuracy obtained by measurement and calculation of closed geometric figures was found to exceed this requirement.
- Well-identified features as depicted on the Survey Map were measured to an estimated horizontal positional accuracy of 1/10 foot.
- Zoning and Setbacks are not verified by this survey.
- Elevations shown hereon are relative to the 1929 N.G.V.D. of mean sea level and are based on a benchmark supplied by the engineering department of Miami-Dade County, Florida.
- Bench Mark used: No. A-36, Elevation +7.34 located by brass bar in concrete sidewalk at N.W. corner of bridge at Dade Boulevard (41.9' South of centerline) and Alton Road (90' West of centerline)
- Flood Elevation Information:
 Community: 12065 I FIRM Panel: 12086C0317L Flood Zone: 'AE'
 Date of FIRM: 09/11/2009 Suffix: L
 Base Flood Elevation: 8.0
- Record area: 21,331 Sq. Ft. (Lot 4 & 5)

CERTIFICATE NOTE:

I hereby certify that the BOUNDARY and TOPOGRAPHIC SURVEY for the purpose of locating TREES, completed under my direction on SEPTEMBER 1st, 2016, and that said survey is true and correct to the best of my knowledge and belief. I further certify that this survey meets the MINIMUM TECHNICAL STANDARDS FOR SURVEYS set forth in Chapter 5J-17, Florida Administrative Code, as adopted by the Florida Board of Professional Surveyors and Mappers pursuant to 472.027 Florida Statute.

LEVEL TECH SURVEYORS, LLC

 DONALD T. RAMSEY
 PROFESSIONAL LAND SURVEYOR, NO. 5851
 STATE OF FLORIDA



CERTIFIED TO:
 SOBE ALTON, LLC

LEGEND:

○ = ELEVATION	○ M+ = MANHOLE
○ OR NO. = NUMBER	○ LP = LIGHT POLE
DWG = DRAWING	○ WP = WOOD POLE
LC = CONC	○ CB = CATCH BASIN
INC = INCORPORATED	○ W = WATER VALVE
HP = HAND CAR PARKING	○ DW = BELLOTTI MANHOLE
MM = MANHOLE	○ W = WATER METER
AC = AIR CONDITIONER	○ P = FIRE HYDRANT
CONG = CONCRETE	○ P = FIRE HYDRANT
NA = NOT A PLEASANT	○ T = TRAFFIC LIGHT BOX
ASPH = ASPHALT	○ G = GAS VALVE
ID = IDENTIFICATION	○ W = WELL
REF = REFERENCE	
CL = CENTER LINE	
F.F. ELEV. = FINISH FLOOR ELEVATION	
REDL = ELEVATION	
FILE = FOUND IRON ROD	
C.B.S. = CONCRETE BLOCK & STUCCO	
N.G.V.D. = NATIONAL GEODETIC VERTICAL DATUM	
Z.S.A. = PROFESSIONAL SURVEYOR AND MAPPING	
L.B. = LICENSE OF BUSINESS	
R.C. # MEAS. = RECORD AND MEASURED	
P.O.C. = POINT OF COMMENCEMENT	
P.O.B. = POINT OF BEGINNING	

SEC: 33 - TWN 53 - RG 42

LEVEL-TECH SURVEYORS, LLC
 777 N.W. 72ND AVENUE, SUITE 3134
 MIAMI, FL 33126
 TEL: 305.261.8483
 FAX: 305.261.8781
 LB # 7154

DRAWINGS ARE THE PROPERTY OF LEVEL-TECH SURVEYORS, LLC, AND MAY NOT BE USED BY CLIENT ON OTHER PROJECTS EXCEPT BY AGREEMENT IN WRITING AND WITH THE APPROPRIATE COMPENSATION TO LEVEL-TECH SURVEYORS, LLC.

DATE	DESCRIPTION	REVISION
02/20/2017	Revise Legal Description	
08-22-2016	REVISED TO ADD LOT 3 TO LEGAL AND LOCATION SKETCH	
01-08-2016	REVISED AREA	

BOUNDARY and TOPOGRAPHIC SURVEY

PROJECT LOCATION: 1750 ALTON ROAD, MIAMI BEACH, MIAMI-DADE FLORIDA

CLIENT: RONALD FINVARR (305) 799-3708

CLIENT ADDRESS: 1065 KANE CONCORSE, STE 201 BAY HARBOR ISLAND, FL 33154

SCALE: 1"=20'

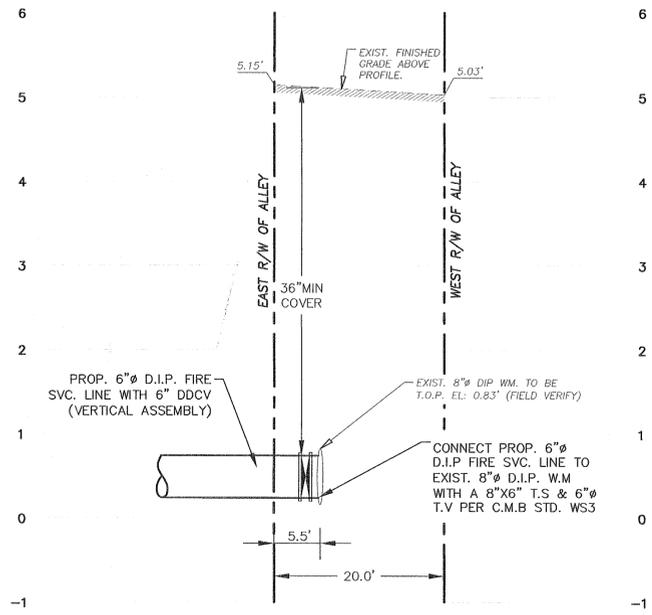
DATE OF FIELD WORK: 09-1-2016

DRAWN BY: A.J.R.

FIELD BOOK: SKETCH

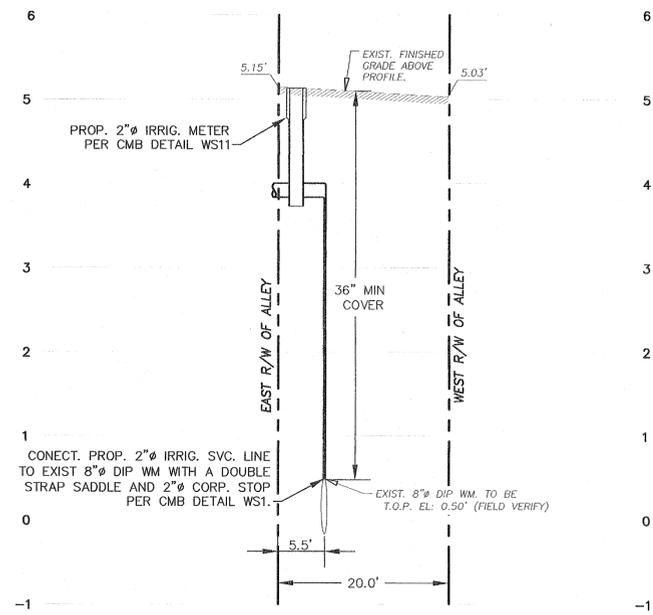
PROJECT No: 15-08-8182

SHEET: 1 OF 1 SHEETS



PROP. 6"Ø D.I.P. FIRE SVC. LINE PROFILE @ ALLEY

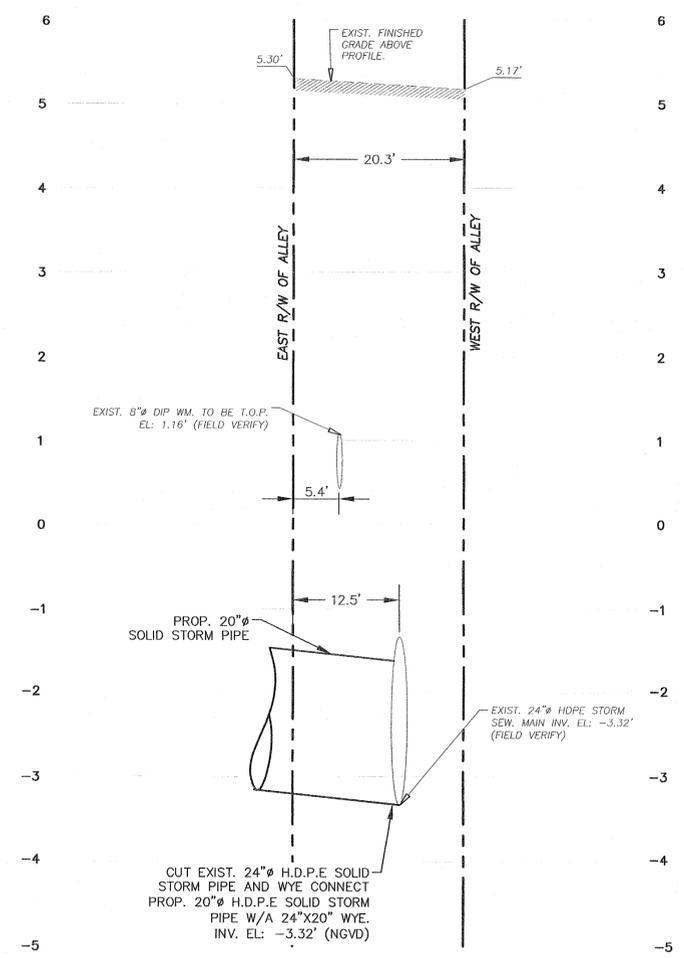
SCALE:
1"= 10' HORIZONTAL
1"= 1' VERTICAL



PROP. 2"Ø IRRIG. SVC. LINE PROFILE @ ALLEY

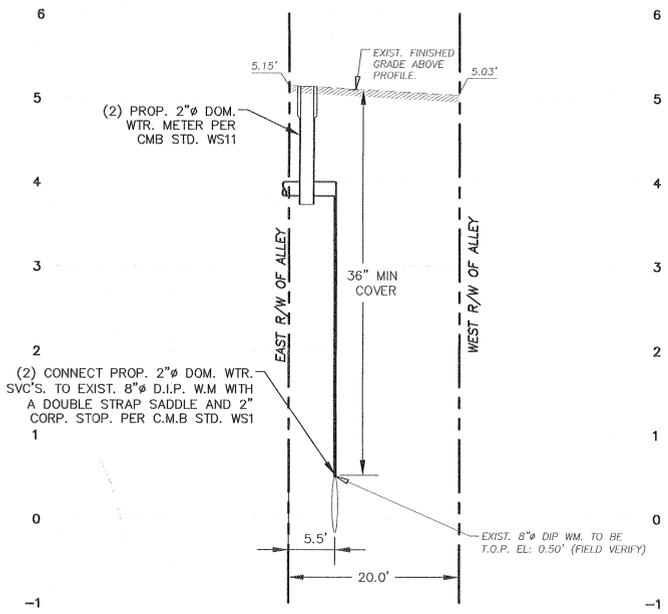
SCALE:
1"= 10' HORIZONTAL
1"= 1' VERTICAL

LEGEND:
----- R/W LINE
3.56' EXISTING ELEVATIONS (N.G.V.D)



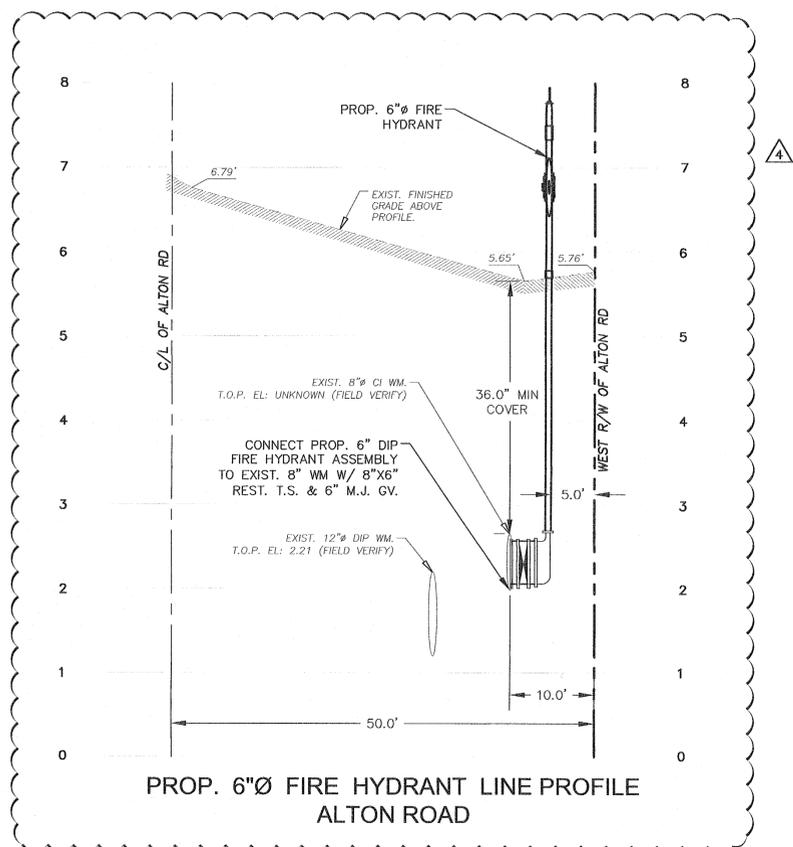
PROP. 20"Ø H.D.P.E. SOLID STORM LINE PROFILE @ ALLEY

SCALE:
1"= 10' HORIZONTAL
1"= 1' VERTICAL



(2) PROP. 2"Ø DOM. SVC. LINE PROFILE @ ALLEY

SCALE:
1"= 10' HORIZONTAL
1"= 1' VERTICAL

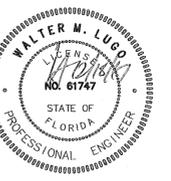


PROP. 6"Ø FIRE HYDRANT LINE PROFILE ALTON ROAD

City of Miami Beach
Fire Prevention Division
PLANS APPROVED

MTCI
PRIVATE PROVIDER SERVICES, LLC
Construction Plans Review, Inspections & Consulting
REVIEWED FOR CODE COMPLIANCE

REVIEWER INITIALS	DATE



WALTER M. LUGO P.E.
FL PE# 61747
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PALOMAR
KIMPTON HOTEL
SOUTH B.E.C.H.
1750 Alton Road, Miami Beach, FL 33139

FINVARB GROUP
1085 Kane Concourse, Suite 201, Bay Harbor Island, FL 33154

No.	DESCRIPTION	DATE
Δ	CITY COMMENTS	12/15/17

PROJECT NO. 1613
DATE: 2-17-17
SHEET NO.: WATER AND STORM PROFILES
SCALE:
SHEET NO.

PERMIT ISSUE

GENERAL NOTES

- Contractor shall comply with all applicable local, state and federal building codes. Permit shall be posted on a visible place at all times.
- All work, materials and equipment utilized in this Project shall be installed in strict accordance with the manufacturer's recommendations and specifications.
- All work for this Project shall conform to standards published by recognized professional and industry organizations.
- Contractor shall be responsible for visiting the site prior to bidding and familiarizing himself with all existing conditions affecting the work, including but not limited to private and public utilities, on and off site, access roads, and other support facilities.
- Contractor to remove, relocate or re-route as necessary electrical, water, gas or any other utility lines encountered during construction.
- Contractor must notify Architect immediately of any unexpected or unknown conditions, discrepancies in the drawings and contract documents, any errors or omissions on the drawings in the field prior to proceeding with work or shop fabrication.
- Contractor shall notify Architect for clarification prior to bidding of the discrepancies between, but not limited to the architectural, structural, mechanical and electrical drawings. Any discrepancies after bidding shall be interpreted as if it was bid based on the most expensive method or finish.
- Contractor to obtain written approval from Owner or Architect prior to any changes or deviation from Contract Documents.
- Under no circumstances will assumptions by the Contractor be considered the design intent or approval of the Architect or Engineer unless there is written approval by them.
- Contractor shall prepare and maintain all construction areas, as well as surrounding areas free of debris or hazardous equipment.
- Contractor shall be responsible for the repair and/or replacement of any equipment damaged during construction or clean-up. Construction personnel shall be confined to the limits of the construction area. All OSHA regulations for construction areas shall be strictly followed.
- Drawings are not to be scaled. Dimensions shall be followed.
- All dimensions are based on nominal sizes of members and are given to the outer face of such members, not to face of finish material unless otherwise noted on drawings.
- Contractor to submit shop drawings for approval before commencing fabrication and/or installation of all applicable items of construction. All shop drawing dimensions shall be field verified, reviewed and approved by Contractor before submittal. Incomplete Shop Drawings or lacking sufficient information will be returned without review.
- The Contractor shall be aware that specific fire rated separation within the building's construction are required by code. The use of specific materials and combinations of materials within fire rated assemblies as called for on the drawings and Specifications are for the purpose of achieving those required fire separation. It shall be the Contractor's responsibility to verify that change in material that are requested by or made by the Contractor and/or it's sub-contractors, from those materials drawn or specified, does not in any way affect or lessen the required fire rated construction or assembly.
- Where CMU is indicated to have a specific hourly fire rating, this shall be taken as the minimum allowed.
- All wood framing, including plywood, which is concealed within walls or ceilings or used for support of walls or ceilings must be fire retard and pressure treated wood must be used where in contact with concrete or masonry.
- All piping sleeved through slab. Contractor to fully seal space around pipes with a 2-hour UL approved fire resistive "Thermax" glass fiber soiling insulation as manufactured by U.S. Gypsum Co. complying with ASTM E-119 or approved similar. Penetrations through fire rated walls shall be protected as to maintain the fire rating of said wall.
- All shafts where applicable to be 2-hour rated without exception, UL Design No. U-500 or approved similar and shall continue as such to underside of roof or floor structural decking. See wall type details for wall design.
- Project to comply with applicable requirements of NFPA 101 5TH ED. CH28 (New hotel)
- Contractor to submit a minimum of five (5) sets of complete shop drawings or as submittals for approval before commencing fabrication and/or installation of all applicable items of construction. All shop drawing dimensions shall be field verified and reviewed and approved by the Contractor before submittal, and so noted. No review by architect or engineer required by submittal not evaluated and approved by Contractor shall be paid for by the Contractor on hourly rates established in Architects Contract for services for this Project.
- The underside of all exterior soffits and slabs exposed to weather shall receive a continuous drip strip without exception.
- All metal flashing, couplers, etc. to receive paint as recommended by manufacturer, unless otherwise noted on drawings or project manual.
- Contractor to furnish and install all metal and wood blocking and/or vertical or horizontal framing required for wall mounted or braced fixtures, millwork, shelves, bathroom fixtures, accessories tile and stone work or by other items described in Interior Design and Archt. drawings.
- THIS BUILDING IS TYPE 1-A CONSTRUCTION AND INCLUDES THE FOLLOWING OCCUPANCIES:
GROUP R-1 HOTEL
GROUP M MERCANTILE
GROUP S-2 STORAGE (PARKING)
GROUP A-B BUSINESS
GROUP A-ASSEMBLY
- ALL FINISH FLOOR ELEVATIONS SHOWN ON THESE SET OF DOCUMENTS WERE DETERMINED BASED ON ELEVATIONS IN NATIONAL GEODETIC VERTICAL DATUM PROVIDED BY THE SURVEY COMPANY FOR THE PROJECT.
- ALL ELEVATIONS SHOWN ON THE ARCHITECTURAL CONTRACT DOCUMENTS INCLUDING PLANS, SECTIONS, ELEVATIONS, & DETAILS ARE THE FINAL INTENDED ELEVATIONS AFTER SETTLEMENT ANTICIPATED IN ACCORDANCE WITH ENGINEERING COMPANY WORKING ON THE GEOTECHNICAL SOIL STUDY REPORT. THE CONTRACTOR PERFORMING THE WORK IS TO REFER TO STRUCTURAL PLANS FOR CONSTRUCTION ELEVATIONS. THE CONTRACTOR PERFORMING THE WORK TO COORDINATE UTILITY AND MEP TRADES TO ENSURE FINAL ELEVATIONS ARE MAINTAINED.
- TERMITE PROTECTION IS REQUIRED UNDER FBC SECTION 1816.1-ALL BUILDINGS SHALL HAVE FIRE CONSTRUCTION TREATMENT PROTECTION AGAINST SUBTERRANEAN TERMITES. THE RULES AND LAWS AS ESTABLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES SHALL BE DEEMED AS APPROVED WITH RESPECT TO THE CONSTRUCTION SOIL TREATMENT FOR PROTECTION AGAINST SUBTERRANEAN TERMITES. A CERTIFICATE OF COMPLIANCE SHALL BE ISSUED TO THE BUILDING DEPARTMENT BY THE LICENSED PEST CONTROL COMPANY THAT CONTAINS THE FOLLOWING STATEMENT: "THE BUILDING HAS RECEIVED A COMPLETE TREATMENT FOR THE PREVENTION OF SUBTERRANEAN TERMITES."
- All Exterior Aluminum will be Kynar based finish with a 20 year warranty. Coating Mullions, Sliding Doors, Doors, Handrails, Guardsails, Louvers Refer to project Manual.
- THE GENERAL CONTRACTOR IS RESPONSIBLE TO SUBMIT SHOP DRAWINGS FOR REVIEW AS THE PRIVATE PROVIDER/ LOCAL BUILDING DEPARTMENT.
- ALL INTERIOR FINISHES TO BE CLASS A, TO MEET STANDARDS: ASTM E84 OR UL 723
- ALL THERMAL OR SOUND INSULATING INSULATION TO MEET STANDARDS: ASTM E84 OR UL 723
- ALL ACUSTICAL CEILING FINISHES TO MEET STANDARDS: ASTM C635 OR ASTM C826. ALL ACUSTICAL CEILING SYSTEMS THAT ARE A PART OF FIRE RESISTIVE CONSTRUCTION SHALL BE INSTALLED IN THE SAME MANNER USED IN THE SAME TESTED AND SHALL COMPLY WITH THE PROVISIONS OF FBC CHAPTER 7, LD. 2014.
- ALL ROOF INSULATION SHALL HAVE A NOA PRODUCT APPROVAL AS AN APPROVED ROOFING COMPONENT FOR USE IN ROOFING ASSEMBLIES. ALL INSULATION SHALL BE TESTED FOR PHYSICAL PROPERTIES IN ACCORDANCE WITH TAS 110.
- PARTITION LOAD SHALL NOT BE LESS THAN A UNIFORMLY DISTRIBUTED LOAD OF 15 PSF
- FOR EXPOSURE CATEGORY INFORMATION AND FLOOD LOAD INFORMATION SEE CIVL DWGS
- FIRE DAMPERS SHALL BE PROVIDED WITH AN APPROVED MEANS OF ACCESS, WHICH IS LARGE ENOUGH TO PERMIT INSPECTION AND MAINTENANCE OF THE DAMPER AND ITS OPERATING PARTS. THE ACCESS SHALL NOT AFFECT THE INTEGRITY OF THE FIRE RESISTANCE RATED ASSEMBLY. ACCESS PANELS TO COMPLY WITH 2014 FBC 717.
- IN COMPLIANCE WITH CODE 2014 FBC 804 AND SECTIONS 804.2 THROUGH 804.4:
804.1 General.
Interior floor finish and floor covering materials shall comply with Sections 804.2 through 804.4.2.
Exception: Floor finishes and coverings of a traditional type, such as wood, vinyl, linoleum or terrazzo, and resilient floor covering materials that are not comprised of fibers.
804.2 CLASSIFICATION.
INTERIOR FLOOR FINISH AND FLOOR COVERING MATERIALS REQUIRED BY SECTION 804.2 TO BE OF CLASS I OR II MATERIALS SHALL BE CLASSIFIED IN ACCORDANCE WITH NFPA 253. THE CLASSIFICATION REFERRED TO HEREIN CORRESPONDS TO THE CLASSIFICATIONS DETERMINED BY NFPA 253 AS FOLLOWS: CLASS I, 0.45 WATTS/CM2 OR GREATER, CLASS II, 0.22 WATTS/CM2 OR GREATER.
804.3 TESTING AND IDENTIFICATION.
INTERIOR FLOOR FINISH AND FLOOR COVERING MATERIALS SHALL BE TESTED BY AN AGENCY IN ACCORDANCE WITH NFPA 253 AND IDENTIFIED BY A HANG TAG OR OTHER SUITABLE METHOD SO AS TO IDENTIFY THE MANUFACTURER OR SUPPLIER AND STYLE, AND SHALL INDICATE THE INTERIOR FLOOR FINISH OR FLOOR COVERING CLASSIFICATION ACCORDING TO SECTION 804.2. CRIPPER-TYPE FLOOR COVERINGS SHALL BE TESTED AS PROPOSED FOR USE, INCLUDING UNDERLAYMENT. TEST REPORTS CONFIRMING THE INFORMATION PROVIDED IN THE MANUFACTURER'S PRODUCT IDENTIFICATION SHALL BE FURNISHED TO THE BUILDING OFFICIAL UPON REQUEST.
804.4 INTERIOR FLOOR FINISH REQUIREMENTS.
INTERIOR FLOOR COVERING MATERIALS SHALL COMPLY WITH SECTIONS 804.4.1 AND 804.4.2 AND INTERIOR FLOOR FINISH MATERIALS SHALL COMPLY WITH SECTION 804.4.2.
804.4.1 TEST REQUIREMENT.
IN ALL OCCUPANCIES, INTERIOR FLOOR COVERING MATERIALS SHALL COMPLY WITH THE REQUIREMENTS OF THE DDC FT-1 "PILL TEST" (CPS 16 CFR PART 1630) OR WITH ASTM D 2859.
804.4.2 MINIMUM CRITICAL RADIANT FLUX.
IN ALL OCCUPANCIES, INTERIOR FLOOR FINISH AND FLOOR COVERING MATERIALS IN ENCLOSURES FOR STAIRWAYS AND RAMP, EXIT PASSAGEWAYS, CORRIDORS AND ROOMS OR SPACES NOT SEPARATED FROM CORRIDORS BY PARTITIONS EXTENDING FROM THE FLOOR TO THE UNDERSIDE OF THE CEILING SHALL WITHSTAND A MINIMUM CRITICAL RADIANT FLUX. THE MINIMUM CRITICAL RADIANT FLUX SHALL NOT BE LESS THAN CLASS I IN GROUPS 1-1, 1-2 and 1-3 and NOT LESS THAN CLASS II IN GROUPS A, B, E, H, I, 4, M, R-1, R-2 AND S.
EXCEPTION: WHERE A BUILDING IS EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION 903.3.1.1 OR 903.3.1.2, CLASS II MATERIALS ARE PERMITTED IN ANY AREA WHERE CLASS I MATERIALS ARE REQUIRED, AND MATERIALS COMPLYING WITH DDC FT-1 "PILL TEST" (CPS 16 CFR PART 1630) OR WITH ASTM D 2859 ARE PERMITTED IN ANY AREA WHERE CLASS II MATERIALS ARE REQUIRED.

TO THE BEST OF MY KNOWLEDGE THESE PLANS COMPLY WITH THE MINIMUM STANDARDS OF THE FLORIDA BUILDING CODE, 2014 EDITION

PERMUY ARCHITECTURE, INTERIOR & PLANNING

- IN COMPLIANCE WITH CODE 2014 FBC 1607.8.2 GRAB BARS, SHOWER SEATS AND DRESSING ROOM BENCH SEATS SHALL BE DESIGNED TO RESIST A SINGLE CONCENTRATED LOAD OF 250 POUNDS (111 KN) APPLIED IN ANY DIRECTION AT ANY POINT ON THE GRAB BAR OR SEAT SO AS TO PRODUCE THE MAXIMUM LOAD EFFECTS.
- SHOP DRAWINGS / N.O.A. AND / OR PRODUCT DATA NEED TO BE STAMPED-APPROVED / SIGNED AND DATED (EACH PAGE) BY A PROFESSIONAL DESIGNER OF RECORDS REGISTERED IN THE STATE OF FLORIDA. COMPANY NAME AND SIGNATURE NAME MUST BE IDENTIFIED WITH PRINT WRITTEN. ALSO, APPROPRIATE ASSEMBLIES, AND DETAILS MUST BE SELECTED (HIGHLIGHT) FROM EACH PRODUCT APPROVAL AND ALSO EACH PRODUCT MUST BE IDENTIFIED IN THE DRAWINGS (TAG & LABEL). 2014 FBC & 107.3.5
- IN COMPLIANCE WITH CODE 2014 1516, ROOF ASSEMBLIES SHALL BE DIVIDED INTO THE CLASSES DEFINED BELOW. CLASS A, B AND C ROOF ASSEMBLIES AND ROOF COVERINGS REQUIRED TO BE LISTED BY THIS SECTION SHALL BE TESTED IN ACCORDANCE WITH ASTM E 108 OR UL 790. IN ADDITION FIRE-RETARDANT TREATED WOOD ROOF COVERINGS SHALL BE TESTED IN ACCORDANCE WITH ASTM D 2898.
1516.2 FIRE-RESISTANT ROOFING ASSEMBLIES AND COVERINGS SHALL BE PROVIDED ON ALL STRUCTURES. FIRE CLASSIFICATION OF ROOFING ASSEMBLIES AND COVERINGS SHALL BE BASED ON THE EXPOSURE HAZARD AS FOLLOWS.
1516.2.1 CLASS A.
ZERO FEET TO 20 FEET (0 TO 6.1 M) DISTANCE SEPARATION MEASURED HORIZONTALLY FROM THE CLOSEST POINT OF ANY BUILDING EDGE TO THE NEAREST POINT TO AN ADJOINING STRUCTURE, AND ALL BUILDINGS WITH OCCUPATION GREATER THAN 300 PERSONS.
EXCEPTION: BRICK, MASONRY, SLATE, CLAY OR CONCRETE ROOF CLASS AND EXPOSED CONCRETE ROOF DECK ARE CONSIDERED TO MEET CLASS A ROOF COVERING PROVISIONS WITHOUT TESTING.
1516.2.2 CLASS B.
ALL OTHER STRUCTURES, EXCEPT AS NOTED BELOW.
1516.2.3 CLASS C.
STRUCTURES NOT OCCUPIED BY HUMANS.
1516.2.4 ALL ROOFING ASSEMBLIES SHALL BE INSTALLED AT A SLOPE NO GREATER THAN THE MAXIMUM ALLOWED FOR THE REQUIRED FIRE CLASSIFICATION.
1516.2.5 WATERPROOFING ASSEMBLY MUST POSSESS A CLASS A, CLASS B OR CLASS C FIRE RATING AS REQUIRED.
- IN COMPLIANCE WITH CODE 2014 FBC [F] 501.2 NEW AND EXISTING BUILDINGS SHALL BE PROVIDED WITH APPROVED ADDRESS NUMBERS OR LETTERS. EACH CHARACTER SHALL BE NOT LESS THAN 4 INCHES (102 MM) IN HEIGHT AND NOT LESS THAN 0.5 INCH (12.7 MM) IN WIDTH. THEY SHALL BE INSTALLED ON A CONTRASTING BACKGROUND AND BE PLAINLY VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. WHEN REQUIRED BY THE FIRE CODE OFFICIAL, ADDRESS NUMBERS SHALL BE PROVIDED IN ADDITIONAL APPROVED LOCATIONS TO FACILITATE EMERGENCY RESPONSE. WHERE ACCESS IS BY MEANS OF A PRIVATE ROAD AND THE BUILDING ADDRESS CANNOT BE VIEWED FROM THE PUBLIC WAY, A MONUMENT, POLE OR OTHER APPROVED SIGN OR MEANS SHALL BE USED TO IDENTIFY THE STRUCTURE. ADDRESS NUMBERS SHALL BE MAINTAINED.
- INTEGRATED MOSQUITO MANAGEMENT PROGRAM UTILIZING BEST MANAGEMENT PRACTICES DURING THE ENTIRE TIME THE PERMIT IS IN EFFECT.
- FDC SHALL BE CHROME PLATED.
- ELECTRICAL VEHICLE REQUIREMENT. A MINIMUM OF TWO PERCENT OF THE REQUIRED OFF-STREET PARKING SPACES, WITH A MINIMUM OF ONE PARKING SPACE SHALL CONTAIN ELECTRIC VEHICLE PARKING SPACES, WHICH ARE STRICTLY RESERVED FOR THE EXCLUSIVE USE OF ELECTRIC VEHICLES (SEC. 130-39). ELECTRIC VEHICLE PARKING SPACES SHALL MEET THE STANDARDS SET FORTH IN SEC. 130-72. ELECTRIC VEHICLE PARKING SPACES SHALL BE PAINTED GREEN, OR SHALL BE MARKED BY GREEN PAINTED LINES OR CURBS. EACH ELECTRIC VEHICLE PARKING SPACE SHALL BE MARKED BY A SIGN DESIGNATING THE PARKING SPACE AS AN ELECTRIC VEHICLE PARKING SPACE, IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) OF THE FEDERAL HIGHWAY ADMINISTRATION. EACH ELECTRIC VEHICLE CHARGING STATION SHALL BE EQUIPPED WITH A SIGN THAT INCLUDES THE FOLLOWING INFORMATION: (I) CONTACT AND AMPERAGE LEVELS; (II) ANY APPLICABLE USAGE FEES; (III) SAFETY INFORMATION; AND (IV) CONTACT INFORMATION FOR THE OWNER OF THE CHARGING STATION, TO ALLOW A CONSUMER TO REPORT ISSUES RELATING TO THE CHARGING STATION. ELECTRIC VEHICLE CHARGING STATIONS SHALL CONTAIN A RETRACTION DEVICE, COOLED COORD, OR A FIXTURE TO HANG CORDS AND CONNECTORS ABOVE THE GROUND SURFACE. ELECTRIC VEHICLE CHARGING STATIONS SHALL BE SCREENED FROM VIEW FROM THE RIGHT OF WAY, WITH THE EXCEPTION OF ALLEY.
- ALL INTERIOR FIXTURES, INCLUDING, BUT NOT LIMITED TO, SHELVING, PARTITIONS, AND CHECKOUT COUNTERS, IF PARALLEL TO THE EXTERIOR WALL, SHALL BE SETBACK A MINIMUM OF TEN (10) FEET FROM THE EXTERIOR WALLS OF THE BUILDING, IN A MANNER TO BE REVIEWED AND APPROVED BY STAFF CONSISTENT WITH THE DESIGN REVIEW CRITERIA AND/OR THE DIRECTIONS FROM THE BOARD. THIS SHALL NOT PROHIBIT SUBSTANTIALLY TRANSPARENT FIXTURES FOR DISPLAY PURPOSES, HOWEVER, SHELVING, PARTITIONS, AND CHECKOUT COUNTERS OR SIMILAR OBJECTS, SHALL NOT BE PERMITTED TO BE FLUSH TO THE EXTERIOR WALLS OF THE BUILDING FACING ALTON ROAD AND THE CANAL WALK.
- Chapter 130 - OFF-STREET PARKING[1]
ARTICLE 1. - IN GENERAL
Sec. 130-33. - Off-street parking requirements for parking districts nos. 2, 3, 4, 5, 6, and 7 (7)
A. Bicycle parking: Short-term and long-term bicycle parking shall be provided for new construction or substantial rehabilitation over 1,000 square feet, according to the minimum standards in the table below and the "Guidelines for the Design and Management of Bicycle Parking Facilities" available from the planning department.
B. Short-term bicycle parking (bicycle racks) serves people who leave their bicycles for relatively short periods of time, typically for shopping, recreation, eating or errands. Bicycle racks should be located in a highly visible location near the main entrance to the use.
C. Long-term bicycle parking includes facilities that provide a high level of security such as bicycle lockers, bicycle cages and bicycle stations. These facilities serve people who frequently leave their bicycles at the same location for the day or overnight.

Item No.	Description	Quantity	Unit	Notes
1	Interior Floor Finish	1 per 100 sq ft	sq ft	See Section 804.2
2	Interior Floor Covering	1 per 100 sq ft	sq ft	See Section 804.2
3	Interior Wall Finish	1 per 100 sq ft	sq ft	See Section 804.2
4	Interior Ceiling Finish	1 per 100 sq ft	sq ft	See Section 804.2
5	Interior Door	1 per 100 sq ft	sq ft	See Section 804.2
6	Interior Window	1 per 100 sq ft	sq ft	See Section 804.2

LIST OF DRAWINGS

ARCHITECTURAL DRAWINGS

- A-000 COVER SHEET
- A-001 DRAWING LIST
- A-002 ZONING DATA
- A-003 ZONING MAP
- A-004 PLANNING BOARD
- A-005 LIGHTING SCHEDULE
- A-006 DOOR SCHEDULE
- A-007 DOOR SCHEDULE
- A-008 LIFE SAFETY PLAN - GENERAL COMMENTS
- A-009 LIFE SAFETY PLAN - 1ST FLOOR
- A-010 LIFE SAFETY PLAN - 2ND FLOOR
- A-011 LIFE SAFETY PLAN - 3-5TH FLOORS
- A-012 LIFE SAFETY PLAN - ROOF/POOL DECK
- A-013 ADA NOTES AND DETAILS
- A-014 ADA NOTES AND DETAILS
- A-015 ADA NOTES AND DETAILS
- A-016 ADA NOTES AND DETAILS
- A-017 ADA NOTES AND DETAILS
- A-018 ADA NOTES AND DETAILS
- A-019 ADA NOTES AND DETAILS
- A-020 ADA NOTES AND DETAILS
- A-100 COLUMN GRID LAYOUT PLAN
- A-101 1ST FLOOR PLAN - FLOOD PROOFING SHEET / FLOOD BARRIER PLAN
- A-102 2ND FLOOR PLAN
- A-103 3RD FLOOR PLAN
- A-104 4TH FLOOR PLAN
- A-105 5TH FLOOR PLAN
- A-106 6TH FLOOR PLAN - ROOF / POOL
- A-107 HIGH ROOF PLAN
- A-201 1ST FLOOR REFLECTED CEILING PLAN
- A-202 2ND FLOOR REFLECTED CEILING PLAN
- A-203 3RD FLOOR REFLECTED CEILING PLAN
- A-204 4TH FLOOR REFLECTED CEILING PLAN
- A-205 5TH FLOOR REFLECTED CEILING PLAN
- A-206 6TH FLOOR / ROOF REFLECTED CEILING PLAN
- A-301 ROOM TYPE A - PLAN & RCP
- A-302 ROOM TYPE A1 - PLAN & RCP
- A-303 ROOM TYPE A2 - PLAN & RCP
- A-304 ROOM TYPE A3 - PLAN & RCP
- A-305 ROOM TYPE A4 - PLAN & RCP
- A-306 ROOM TYPE A5 - PLAN & RCP
- A-307 ROOM TYPE A-C1 - PLAN & RCP
- A-308 ROOM TYPE A-C2 - PLAN & RCP
- A-309 ROOM TYPE A-C3 - PLAN & RCP
- A-310 ROOM TYPE A-C4 - PLAN & RCP
- A-311 ROOM TYPE A-R1 - PLAN & RCP
- A-312 ROOM TYPE A-R2 - PLAN & RCP
- A-313 ROOM TYPE A-R3 - PLAN & RCP
- A-314 ROOM TYPE A-R4 - PLAN & RCP
- A-315 ROOM TYPE B1 - PLAN & RCP
- A-316 ROOM TYPE B2 - PLAN & RCP
- A-317 ROOM TYPE B3 - PLAN & RCP
- A-318 ROOM TYPE B-C1 - PLAN & RCP
- A-319 ROOM TYPE B-C2 - PLAN & RCP
- A-320 ROOM TYPE B-C - PLAN & RCP
- A-401 BUILDING ELEVATIONS - EAST
- A-402 BUILDING ELEVATIONS - NORTH
- A-403 BUILDING ELEVATIONS - WEST
- A-404 BUILDING ELEVATIONS - SOUTH
- A-405 BUILDING SECTION 1 & 2 - NORTH/SOUTH
- A-406 BUILDING SECTION 3 & 4 - EAST/WEST
- A-407 ELEVATOR SECTION
- A-408 LINEN CHUTE PLAN & SECTION
- A-409 STAIR #1 SECTION & PLANS
- A-410 STAIR #2 SECTION & PLANS
- A-411 POOL DECK ELEVATIONS
- A-412 POOL DECK ELEVATIONS
- A-501 TYP. WALL SECTIONS
- A-502 WALL SECTIONS
- A-503 WALL SECTIONS
- A-504 ENTRY CANOPY PLAN & SECTION
- A-801 WALL TYPE DETAILS
- A-802 UL DETAILS
- A-803 UL DETAILS
- A-804 DOOR JAMB DETAILS
- A-805 STOREFRONT DETAILS
- A-806 SLIDING GLASS DOOR & BALC DETAILS
- A-807 STAIR & RAILING DETAILS
- A-808 ROOF DETAILS
- A-809 PARKING DETAILS
- A-810 FIRE SAFE DETAILS
- A-811 WATERPROOFING DETAILS
- A-812 STUCCO JOINT / SOFFIT DETAILS
- A-901 WINDOW SCHEDULE - 4TH, 5TH & 6TH FLRS
- A-902 WINDOW SCHEDULE - 4TH, 5TH FLRS
- A-903 WINDOW SCHEDULE - 3RD FLR
- A-904 WINDOW SCHEDULE
- A-905 WINDOW SCHEDULE
- A-906 LOUVER SCHEDULE

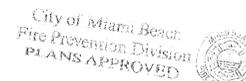


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KIAMPTON HOTEL
PALOMAR
8 SOUTH BEACH
1750 Alton Road, Miami Beach, FL 33139
FINVARB GROUP
1065 Kane Concourse, Suite 801, Bay Harbor Islands, FL 33154



BUILDING	REVIEWER	DATE
STRUCTURAL		
MECHANICAL		
ELECTRICAL		
PLUMBING		
SITE CIVIL		

NO.	DESCRIPTION	DATE
1	PERMIT SET	02.28.17
2	REV. 2	04.28.17
3	PLUG, MTCI	08.01.17
4	COMMENTS	
5	FIRE COMMENT	11.22.17
6		
7		
8		
9		
10		

PROJECT NO. 1613
DATE: 02.28.17
SHEET INDEX:
SCALE: As Noted
SHEET NO. A-001

NATIONAL GEODETIC VERTICAL DATUM OF 1929 (NGVD 1929):
 DESIGN FLOOD ELEVATION (DFE): +9'-0" NGVD
 PROPOSED TO LOWEST FLOOR: +5'-0" NGVD
 PROPOSED TO TOP OF NEXT HIGHER FLOOR: +5'-2.5" NGVD
 ADJUSTED GRADE ELEVATION: +6.6' NGVD
 PROPOSED LOWEST ADJACENT GRADE NEXT TO BUILDING: +5'-0.5" NGVD
 PROPOSED HIGHEST ADJACENT GRADE NEXT TO BUILDING: +6.33' NGVD
 LOWEST ELEVATION OF MACHINERY OR EQUIPMENT SERVICING THE BUILDING: +9'-0" NGVD
 CLASSIFICATION OF STRUCTURE FOR FLOOD-RESISTANT DESIGN AND CONSTRUCTION PER ASCE/SEI 24-05 TABLE 1-1 CATEGORY II
 FIRM MAP: 12086C0317L
 ELEVATOR REQUIREMENTS (7-10) (SEE FEMA TECHNICAL BULLETIN 4)

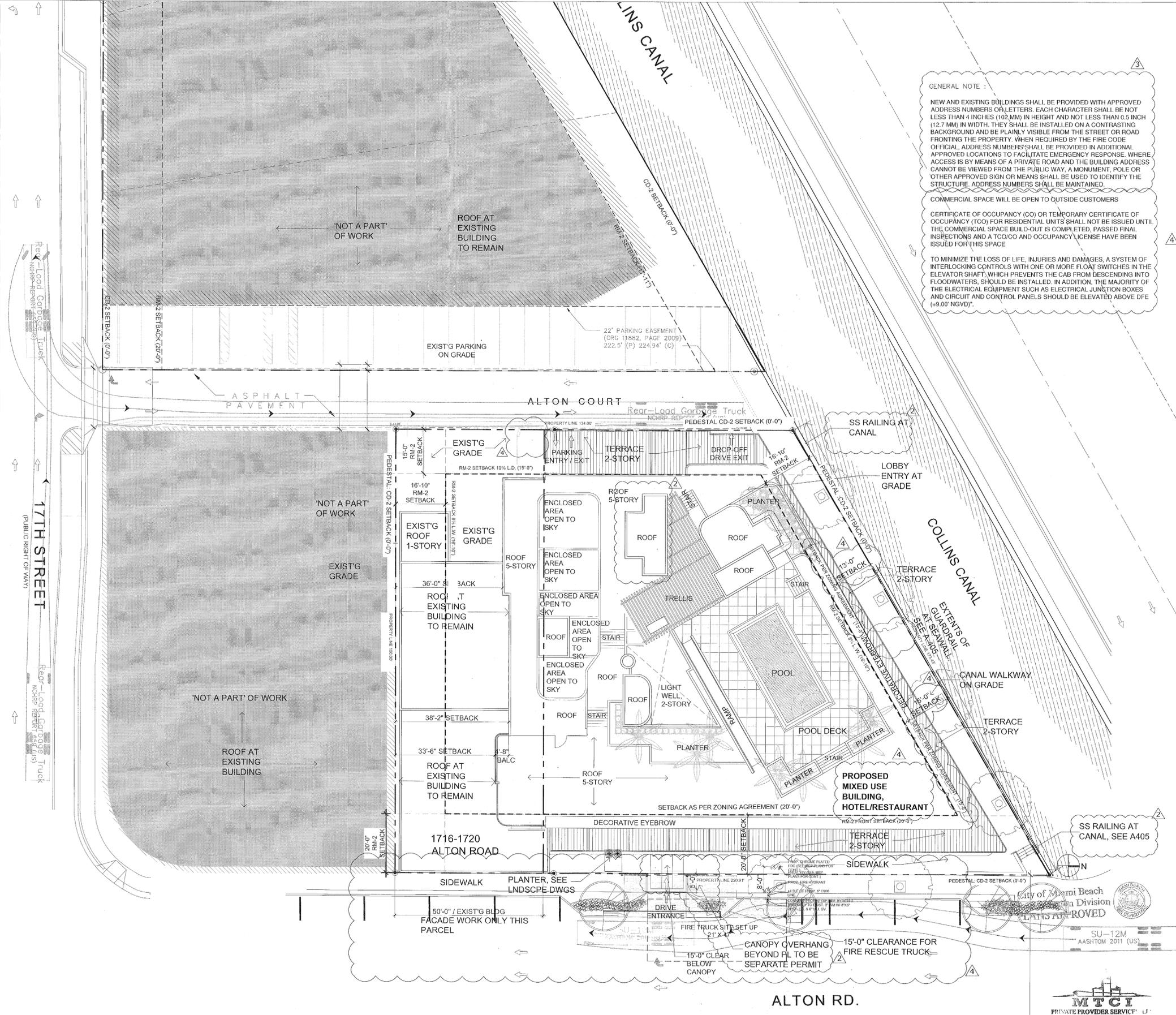
GENERAL NOTE:
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 COMMERCIAL SPACE WILL BE OPEN TO OUTSIDE CUSTOMERS
 CERTIFICATE OF OCCUPANCY (CO) OR TEMPORARY CERTIFICATE OF OCCUPANCY (TCO) FOR RESIDENTIAL UNITS SHALL NOT BE ISSUED UNTIL THE COMMERCIAL SPACE BUILD-OUT IS COMPLETED, PASSED FINAL INSPECTIONS AND A TCO/CO AND OCCUPANCY LICENSE HAVE BEEN ISSUED FOR THIS SPACE
 TO MINIMIZE THE LOSS OF LIFE, INJURIES AND DAMAGES, A SYSTEM OF INTERLOCKING CONTROLS WITH ONE OR MORE FLOAT SWITCHES IN THE ELEVATOR SHAFT, WHICH PREVENTS THE CAB FROM DESCENDING INTO FLOODWATERS, SHOULD BE INSTALLED. IN ADDITION, THE MAJORITY OF THE ELECTRICAL EQUIPMENT SUCH AS ELECTRICAL JUNCTION BOXES AND CIRCUIT AND CONTROL PANELS SHOULD BE ELEVATED ABOVE DFE (+9.00' NGVD).

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Walter Miller
 1.22.18

STATE OF FLORIDA
 FIELD OFFICE ARCHITECT
 REGISTRATION #AR0004953

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No.	DESCRIPTION	DATE
	PERMIT SET	02.28.17
1	DERM CMHMS	04.13.17
2	REV. 2	05.31.17
3	REV. 3	08.01.17
4	REV. 4	11.22.17

PROJECT NO. 1613
 DATE: 02.28.17
 SHEET INDEX:

SCALE: As Noted
 SHEET NO. A-002

MTCI
 PRIVATE PROVIDER SERVICE, INC.
 City Section Plans Review, Inspection
 REVIEWED FOR CODE COMPLY

REVIEWED BY: [Signature]
 DATE: 2-28-17



NOTE:
LINE DESCRIBES
905'-0"
FROM SITE TO
EXISTING PARKING
GARAGE.



20 % PARKING REDUCTION DIAGRAM

Scale: N.T.S.

UNIT MATRIX					
FLOOR	300 SF # OF UNITS	336 SF AND ABOVE # OF UNITS	UNIT/FLOOR		NUMBER OF FLOORS
1	0	0	0		3
2	0	0	0		
3	4	28	32		
4	4	28	32		
5	4	28	32		
TOTAL	12	84	96		3
PERCENTAGE	13%	88%	100%		

AREA CALCULATIONS (SF)					
FLOOR	F.A.R.		GROSS	CIRCULATION	LEASABLE
	PROPOSED	EXISTING			
1	8,195 SF	5,114 SF	13,309 SF	975 SF	8,889 SF
2	2,163 SF	2,408 SF	4,571 SF	379 SF	0 SF
3	13,120 SF	0 SF	13,120 SF	1,989 SF	0 SF
4	13,120 SF	0 SF	13,120 SF	1,989 SF	0 SF
5	13,120 SF	0 SF	13,120 SF	1,989 SF	0 SF
ROOF TOP	1,209 SF	0 SF	1,209 SF	1,018 SF	0 SF
	50,927 SF	7,522 SF	58,449 SF	8,339 SF	8,889 SF
	58,449 SF				

PARKING PROVIDED			PARKING REQUIRED		
FLOOR	TOTAL	DESCRIPTION	FLOOR	USE	AMOUNT
1	2	8.5 X 20' SPACES	1	RETAIL	0 SPACES
	1	8.5 X 21' HC SPACE		RESTAURANT	92 seats = 23 SPACES
2	24	6 TANDEM LIFTS	3-5	HOTEL	96 keys = 48 SPACES
2	30	CAR LIFTS	TOTAL		73 SPACES
2	2	CARS ELECTRIC, LOWER PORTION OF LIFT.			-17.6 SPACES
1ST & 2ND FLOORS	59	TOTAL			-6 SPACES
				2 CAR POOL SPACES PROVIDED (reduction of 3 spaces per Car pool space)	
				20 Long TERM BIKE RACKS (reduction of 1 space per 5 long term parking)	-4 SPACES
				20 SHORT TERM BIKE RACKS (reduction of 1 space per 10 long term bike space)	-2 SPACES
				TOTAL PARKING REQ'D AFTER REDUCTIONS =	59 SPACES
				*VARIANCE FOR 1 SPACE ON STREET 10'X20'	

LOADING PROVIDED		LOADING REQUIRED	
FLOOR	SPACES*	FLOOR	SPACES
1	3	1	3
	3	TOTAL	3

Zoning Information				
Address:	1750 - 1716 ALTON RD, Miami Beach, FL 33139-2412			
Board and File numbers:				
Folio number(s):	02-3234-017-0030 02-3234-017-0020			
Year constructed:	1995	Zoning District:	CD-2 : GROUND/PEDESTAL RM-2 : TOWER	
Base Flood Elevation:	8'-0" NGVD	Grade Value in NGVD:	6.15 NGVD 6'-1-13/16" Exist'g Structure "Boston Market"	
Adjusted grade (Flood+Grade/2)	N/A	Lot Area:	1750 = 21,343 1716 = 7,500 TOTAL = 28,843 S.F.	
Lot Width	150'-0"	Lot Depth:	209'-4"	
Minimum Unit Size	300 SF	Average Unit Size:	N/A	
Existing User	RETAIL	Proposed Use:	HOTEL / RETAIL / RESTAURANT	
	Maximum	Existing	Proposed	Deficiencies
Height	60'-0"	19'-0"	56'-0"	-
Number of Stories	5 STORIES	1	5 STORIES	-
FAR	2	N/A	2	-
Gross Square Footage	N/A	7,522 SF	58,794 SF	-
Square Footage by use	N/A	N/A	58,794 SF	-
Number of Units Residential	N/A	N/A	N/A	-
Number of Units Hotel	N/A	0	96	-
Number of Seats	N/A	0	160	-
Occupancy Load	N/A	N/A	203	-
	Required	Existing	Proposed	Deficiencies
Subterranean:				
Front Setback:	N/A	N/A	N/A	-
Side Setback:	N/A	N/A	N/A	-
Side Setback:	N/A	N/A	N/A	-
Side Setback facing Street:	N/A	N/A	N/A	-
Rear Setback:	N/A	N/A	N/A	-
(CD-2): 1-2nd floors				
Front Setback (East):	0'-0"	N/A	0'-0"	-
Side Setback (South):	0'-0"	N/A	0'-0"	-
Rear Setback facing Street (Alley):	0'-0"	N/A	0'-0"	-
Side Setback (Canal):	0'-0"	N/A	13'-0"	-
as				
Pedestal 3-5th floors (RM-2 Setbacks)				
Front Setback (East):	20'-0"	N/A	20'-0"	-
Side Setback (South):	16'-10"	N/A	16'-10"	-
Rear Setback facing Street (West):	15'-0"	N/A	15'-0"	-
Side Setback (Canal):	16'-10"	N/A	36'-0"	-
	Parking	Required	Existing	Proposed
Parking District	6	6	6	-
Total # of parking spaces	88	18	59	-
PARKING REDUCTION	-22	-	SEE CHART PROVIDED	-
# of parking spaces per use (Provide a separate chart for a breakdown calculation)	SEE CHART PROVIDED	N/A	SEE CHART PROVIDED	-
# of parking spaces per level (Provide a separate chart for a breakdown calculation)	SEE CHART PROVIDED	N/A	SEE CHART PROVIDED	-

FBC 1620.2 RISK CATEGORY
MIAMI-DADE COUNTY
RISK CATEGORY I: BUILDING AND STURTURES: 165 MPH

Parking Space Dimensions	8.5'X16' VALET 8.5'X18' SELF		8.5'X18'	
Parking Space Configurations (45o,60o,90o,Parallel)	SEE CHART PROVIDED	N/A	SEE CHART PROVIDED	-
ADA Spaces	1 (VALET ONLY GARAGE)	N/A	1	-
Tandem Spaces (LIFTS)	N/A	N/A	6	-
Drive Aisle Width	22'	N/A	22' (11' ONE WAY)	-
Valet Drop off and pick up	11'	N/A	11'	-
Loading zones and Trash collection areas	3	N/A	2 ONSITE / 1 ONSTREET VARIANCE REC'D FOR ON STREET LOADING	-
Racks	25	N/A	40	-
Restaurants, Cafes, Bars, Lounges, Nightclubs	Required	Existing	Proposed	Deficiencies
Type of use	N/A	RESTAURANT	RESTAURANT	-
Total # of Seats	N/A	N/A	160	-
Total # of Seats per venue (Provide a separate chart for a breakdown calculation)	N/A	N/A	SEE CHART PROVIDED	-
Total Occupant Content	N/A	N/A	160	-
Occupant content per venue (Provide a separate chart for a breakdown calculation)	N/A	N/A	160	-
Is this a contributing building?				NO
Located within a Local Historic District?				NO
MAX AREA OF EXT. WALL OPENINGS, TABLE 705.8, BLDG IS FULLY SPRINKLERED				
SEPARATION DISTANCE, FT.	DEGREE OF OPENING PROTECTION	ALLOWABLE AREA		
0 TO 3 FT.	UNPROTECTED, SPRINKLERED	NOT PERMITTED		
3 TO 5 FT.	UNPROTECTED, SPRINKLERED	15%		
5 TO 10 FT.	UNPROTECTED, SPRINKLERED	25%		
10 TO 15 FT.	UNPROTECTED, SPRINKLERED	45%		
15 TO 20 FT.	UNPROTECTED, SPRINKLERED	75%		
GREATER THAN 20 FT.	UNPROTECTED, SPRINKLERED	NO LIMIT		



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Handwritten signature and date: 2.22.18

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No.	DESCRIPTION	DATE
1	PERMIT SET	02.28.17
2	REV. 2	04.28.17
4	REV. 4	11.22.17

REVIEWER	DATE
<i>(Signature)</i>	11.22.17

PROJECT NO. 1613
DATE: 02.28.17
ZONING DATA
SCALE: As Noted
SHEET NO. A-003

Handwritten: 02-28-17

STATE OF FLORIDA
REGULATORY BOARD
REGISTRATION #A0004963

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DESIGN REVIEW BOARD
City of Miami Beach, Florida

MEETING DATE: March 1, 2016
FILE NO: 23213
PROPERTY: 1750 Alton Road
APPLICANT: SOBE Alton LLC

LEGAL: Lots 3 and 4, less the South one inch (0.09') and all of Lot 5 of Block 17 of the "First Addition to Commercial Subdivision", according to Plat thereof as recorded in Plat Book 6, Page 115, of the Public Records of Miami-Dade County.

IN RE: The Application for Design Review Board approval for the construction of a new five-story hotel including variances to exceed the maximum building height, a variance to reduce the number of required loading spaces, a variance to eliminate the residential or commercial use requirement for all floors of a building containing parking spaces at the ground level along every facade facing a street, and to reduce the required rear setback for residential use.

CORRECTED ORDER

The City of Miami Beach Design Review Board makes the following FINDINGS OF FACT based upon the evidence, information, testimony and materials presented at the public hearing and which are part of the record for this matter:

- I. Design Review**
- A. The Board has jurisdiction pursuant to Section 118-252(a) of the Miami Beach Code. The property is not located within a designated local historic district and is not an individually designated historic site.
- B. Based on the plans and documents submitted with the application, testimony and information provided by the applicant, and the reasons set forth in the Planning Department Staff Report, the project as submitted is inconsistent with Design Review Criteria 1-10, 13, and 17 contained in Section 118-251 of the Miami Beach Code.
- C. The project would be consistent with the criteria and requirements contained in section 118-251 if the following conditions are met:
- Revised elevation, site plan and floor plan drawings for the proposed commercial building at 1750 Alton Road shall be submitted to and approved by staff; at a minimum, such drawings shall incorporate the following:
 - The first level facing Alton Road shall be modified in a manner that incorporates a more architecturally-distinguished prominent vehicular

- entrance further differentiated from the rest of the facade along the entire East elevation.
- The north setback shall be increased to 13'-0" for that portion of the building presented as the hotel lobby when measured from the north property line and increased to 15'-0" from the north property line eastward of the lobby for the restaurant portion of the site plan in order to provide a more uniform Canal Walk, in a manner to be reviewed and approved by staff consistent with the Design Review Criteria and/or the directions from the Board. The lobby area shall not be increased in frontage or area along the Canal.
- Projections into the north setback shall be reduced to be no greater than 25% of the required setback provided, in a manner to be reviewed and approved by staff consistent with the Design Review Criteria and/or the directions from the Board.
- The ground floor shall be raised and the entrance shall be redesigned in a manner that allows for the changes in elevation along the north property line, in a manner to be reviewed and approved by staff consistent with the Design Review Criteria and/or the directions from the Board.
- All window frames shall be composed of brushed anodized aluminum frames. All windows shall consist of clear glass and meet the minimum tint required by the energy code, in a manner to be reviewed and approved by staff consistent with the Design Review Criteria and/or the directions from the Board.
- Final details of all exterior surface finishes and materials shall be required, including the aluminum cladding on the architectural frame, Proforma wood cladding and architectural ceramic tile wall finishes, in a manner to be reviewed and approved by staff consistent with the Design Review Criteria and/or the directions from the Board.
- All interior fixtures, including, but not limited to, shelving, partitions, and checkout counters, if parallel to the exterior wall, shall be setback a minimum of ten (10) feet from the exterior walls of the building, in a manner to be reviewed and approved by staff consistent with the Design Review Criteria and/or the directions from the Board. This shall not prohibit substantially transparent fixtures for display purposes; however, shelving, partitions, and checkout counters, or similar objects, shall not be permitted to be flush to the exterior walls of the building facing Alton Road and the Canal Walk.
- The final design and details of all exterior and interior lighting shall be provided, in a manner to be reviewed and approved by staff consistent with the Design Review Criteria and/or the directions from the Board. Interior lighting shall be designed in a manner to not have an adverse overwhelming impact upon the surrounding area. No fluorescent or intensive 'white' lighting (or similar intensive lighting) visible from the adjacent public rights of way or adjacent properties shall be permitted.

- Any future kitchen ventilation shall be chased through the interior of the building to the roof. No exhaust ducts or vents shall be permitted on any building elevations.
- All internal garage lighting shall be shielded to buffer views of all direct light sources from outside of the structure, as well as on the roof deck, in a manner to be reviewed and approved by staff consistent with the Design Review Criteria and/or the directions from the Board.
- All rooftop lighting shall consist of a lighting fixture that is affixed to, and no higher than, the rooftop parapet wall. All roof-top lighting fixtures shall be designed to preclude light from spilling over to adjacent properties, in a manner to be reviewed and approved by staff consistent with the Design Review Criteria and/or the directions from the Board.
- All exterior handrails and support posts shall incorporate a flat profile. The final design details, dimensions material and color of all exterior handrails shall be made part of the building permit plans and shall be subject to the review and approval of staff.
- The interior walls of the first level of the parking garage entrance, ramps and loading areas, shall be fully detailed on revised plans. Such interior areas shall consist of high quality, non-stucco surface materials which have a well finished appearance commensurate with the primary facade of the building, in a manner to be reviewed and approved by staff consistent with the Design Review Criteria and/or the directions from the Board.
- All building signage shall require a separate permit. A uniform sign plan for the new building shall be required. Such sign plan shall be consistent in materials, method of illumination and sign location, in a manner to be reviewed and approved by staff consistent with the Design Review Criteria and/or the directions from the Board.
- Final details of all proposed storefront systems and associated details shall be provided for all of the structures on the project site, in a manner to be reviewed and approved by staff consistent with the Design Review Criteria and/or the directions from the Board.
- A fully enclosed, air-conditioned trash room shall be provided, which is sufficient to handle the maximum uses intended for the proposed structure. External dumpsters shall not be permitted.
- A copy of all pages of the recorded Final Order shall be scanned into the plans submitted for building permit, and shall be located immediately after the front cover page of the permit plans.
- Prior to the issuance of a Certificate of Occupancy, the project Architect shall verify, in writing, that the subject project has been constructed in accordance with the plans approved by the Planning Department for Building Permit.

- A revised landscape plan, prepared by a Professional Landscape Architect, registered in the State of Florida, and corresponding site plan, shall be submitted to and approved by staff. The species type, quantity, dimensions, spacing, location and overall height of all plant material shall be clearly delineated and subject to the review and approval of staff. At a minimum, such plan shall incorporate the following:
 - In order to identify, protect and preserve mature trees on site, which are suitable for retention and relocation, a Tree Report prepared by a Certified Tree Arborist shall be submitted for the mature trees on site.
 - The proposed "Gumbo Limbo" trees along the Collins Canal Walk shall be replaced by "Green Buttonwood" trees to provide a continuous and consistent tree canopy along this stretch of the Canal, in a manner to be reviewed and approved by staff consistent with the Design Review Criteria and/or the directions from the Board.
 - All proposed planters shall be built-in planters with irrigation systems in a manner to be reviewed and approved by staff consistent with the Design Review Criteria and/or the directions from the Board.
 - Pavers and concrete banding shall be utilized for the entire entry drive and loading zone area, including alternate colors of concrete banding in place of painted striping, in a manner to be reviewed and approved by staff consistent with the Design Review Criteria and/or the directions from the Board.
 - The applicant shall install an additional six (6) bicycle racks to be distributed along Alton Road subject to review and approval of FDOT and the Public Works and Planning Department, in a manner to be reviewed and approved by staff consistent with the Design Review Criteria and/or the directions from the Board.
 - The applicant shall install an additional six bicycle racks on the ground floor at the northeast portion of the site, proximate to the entry vestibule and northernmost elevator, in a manner to be reviewed and approved by staff consistent with the Design Review Criteria and/or the directions from the Board.
 - Street trees shall be required within the swale at the front of the property if not in conflict with existing utilities, in a manner to be reviewed and approved by the Public Works Department.
 - A fully automatic irrigation system with 100% coverage and an automatic rain sensor in order to render the system inoperative in the event of rain. Right-of-way areas shall also be incorporated as part of the irrigation system.

- Silva Collis, if technically feasible, shall be used along Alton Road and the Canal Walk for all plantings and clearly delineated on a revised landscape plan.
- The applicant shall install street trees on all sides of the project consistent with the City's Street Tree Master Plan, in a manner to be reviewed and approved by staff consistent with the Design Review Criteria and/or the directions from the Board, and root barriers shall be installed along the sidewalk in conjunction with structural soils.
- The applicant shall verify, prior to the issuance of a Building Permit, the exact location of all backflow preventors and all other related devices and fixtures. The location of backflow preventors, sump pumps or other related devices and fixtures, if any, and how they are screened with landscape material from the right-of-way, shall be clearly indicated on the site and landscape plans and shall be subject to the review and approval of staff.
- The applicant shall verify, prior to the issuance of a Building Permit, the exact location of all applicable FPL transformers or vault rooms. The location of any exterior transformers, and how they are screened with landscape material from the right-of-way, shall be clearly indicated on the site and landscape plans and shall be subject to the review and approval of staff.
- Prior to the issuance of a Certificate of Occupancy, the Landscape Architect or the project architect shall verify, in writing, that the project is consistent with the site and landscape plans approved by the Planning Department for Building Permit.

In accordance with Section 118-262, the applicant, or the city manager on behalf of the city administration, or an affected person, Miami Design Preservation League or Dade Heritage Trust may seek review of any order of the Design Review Board by the City Commission, except that orders granting or denying a request for rehearing shall not be reviewed by the Commission.

- II. Variance(s)**
- A. The applicant filed an application with the Planning Department for the following variance(s):
- A variance to exceed by 3'-0" the maximum permitted height of 60'-0" as measured from the finish floor in order to construct a new five-story hotel to measure up to 63'-0" in height when measured from the finish floor (7-25-NCGV).
 - A variance to reduce by 7'-5" the minimum required rear lower setback of 22'-8" in order to construct a five-story residential building at 15'-0" from the rear (west) property line.

- A variance to eliminate the residential or commercial use requirement for all floors of a building containing parking spaces at every level along every facade facing a street.
 - A variance to reduce by one (1) the minimum required off-street loading spaces of three (3), in order to construct a new 5-story mixed-use building with two (2) loading spaces on the premises.
 - The applicant has submitted plans and documents with the application that satisfy Article 1, Section 2 of the Related Special Acts, allowing the granting of a variance if the Board finds that practical difficulties exist with respect to implementing the proposed project at the subject property.
- The applicant has submitted plans and documents with the application that also include the following, as they relate to the requirements of Section 118-353(d), Miami Beach City Code:
- That special conditions and circumstances exist which are peculiar to the land, structure, or building involved and which are not applicable to other lands, structures, or buildings in the same zoning district;
- That the special conditions and circumstances do not result from the action of the applicant;
- That granting the variance requested will not confer on the applicant any special privilege that is denied by this Ordinance to other lands, buildings, or structures in the same zoning district;
- That literal interpretation of the provisions of this Ordinance would deprive the applicant of rights commonly enjoyed by other properties in the same zoning district under the terms of this Ordinance and would work unnecessary and undue hardship on the applicant;
- That the variance granted is the minimum variance that will make possible the reasonable use of the land, building or structure;
- That the granting of the variance will be in harmony with the general intent and purpose of this Ordinance and that such variance will not be injurious to the area involved or otherwise detrimental to the public welfare; and
- That the granting of this request is consistent with the comprehensive plan and does not reduce the levels of service as set forth in the plan.
- C. The Board hereby grants the requested variance and imposes the following conditions based on its authority in Section 118-354 of the Miami Beach City Code:
- Substantial modifications to the plans submitted and approved as part of the application, as determined by the Planning Director or designee, may require the applicant to return to the Board for approval of the modified plans, even if the modifications do not affect variances approved by the Board.

- Revised plans shall be submitted to clearly indicate the area counted in the required parking calculations.
 - If the street loading space cannot be approved due to conflict with Fire the application will be required to come back to the Board for a modification of the variance request and/or provide the loading on site.
- The decision of the Board regarding variances shall be final and there shall be no further review thereof except by resort to a court of competent jurisdiction by petition for writ of certiorari.
- III. General Terms and Conditions applying to both 'I. Design Review Approval' and 'II. Variances' noted above.**
- Where one or more parcels are unified for a single development, the property owner shall execute and record a unity of title or a covenant in lieu of unity of title, as may be applicable, in a form acceptable to the City Attorney.
 - Site plan approval is contingent upon meeting Public School Concurrency requirements. Applicant shall obtain a valid School Concurrency Determination Certificate (Certificate) issued by the Miami-Dade County Public Schools. The Certificate shall state the number of seats reserved at each school level. In the event sufficient seats are not available, a proportionate share mitigation plan shall be incorporated into a tri-party development agreement and duly executed prior to the issuance of a Building Permit.
 - In the event Code Compliance receives complaints of unreasonably loud noise from mechanical and/or electrical equipment, and determines the complaints to be valid, even if the equipment is operating pursuant to manufacturer specifications, the applicant shall take such steps to mitigate the noise with noise attenuating materials as reviewed and verified by an acoustic engineer, subject to the review and approval of staff based upon the design review or appropriateness criteria, and/or directions received from the Board.
 - Vacant or unoccupied structures shall provide recent photographic evidence that the site and structure are secured and maintained. The applicant shall obtain and post a No Trespassing Sign obtained from the City's Police Department.
 - A Construction Parking and Traffic Management Plan (CPTMP) shall be approved by the Planning Director pursuant to Chapter 106, Article II, Division 3 of the City Code, prior to the issuance of a Building Permit.
 - The final building plans shall meet all other requirements of the Land Development Regulations of the City Code.
 - The Final Order shall be recorded in the Public Records of Miami-Dade County, prior to the issuance of a Building Permit.
 - Satisfaction of all conditions is required for the Planning Department to give its approval on a Certificate of Occupancy; a Temporary Certificate of Occupancy or Partial Certificate of Occupancy.

- Certificate of Occupancy may also be conditionally granted Planning Department approval.
- The Final Order is not severable, and if any provision or condition hereof is held void or unconstitutional in a final decision by a court of competent jurisdiction, the order shall be returned to the Board for reconsideration as to whether the order meets the criteria for approval absent the stricken provision or condition, and/or it is appropriate to modify the remaining conditions or impose new conditions.
 - The conditions of approval herein are binding on the applicant, the property's owners, operators, and all successors in interest and assigns.
 - Nothing in this order authorizes a violation of the City Code or other applicable law, nor allows a relaxation of any requirement or standard set forth in the City Code.
- IT IS HEREBY ORDERED, based upon the foregoing findings of fact, the evidence, information, testimony and materials presented at the public hearing, which are part of the record for this matter, and the staff report and analysis, which are adopted herein, including the staff recommendations, which were amended and adopted by the Board, that the application is GRANTED for the above-referenced project subject to those certain conditions specified in Paragraph 1, III of the Findings of Fact, to which the applicant has agreed.
- PROVIDED, the applicant shall build substantially in accordance with the plans, entitled "1750 Alton Hotel", as prepared by Kobi Karp Architecture, signed, sealed and dated January 05, 2016, and as approved by this Design Review Board, as determined by staff.
- When requesting a building permit, the plans submitted to the Building Department for permit shall be consistent with the plans approved by the Board, modified in accordance with the conditions set forth in this Order. No building permit may be issued unless and until all conditions of approval that must be satisfied prior to permit issuance, as set forth in this Order, have been met.
- The issuance of the approval does not relieve the applicant from obtaining all other required Municipal, County and/or State reviews and permits, including final zoning approval. If adequate handicapped access is not provided on the Board-approved plans, this approval does not mean that such handicapped access is not required. When requesting a building permit, the plans submitted to the Building Department for permit shall be consistent with the plans approved by the Board, modified in accordance with the conditions set forth in this Order.
- If the Full Building Permit for the project is not issued within eighteen (18) months of the meeting date at which the original approval was granted, the application will expire and become null and void, unless the applicant makes an application to the Board for an extension of time, in accordance with the requirements and procedures of Chapter 116 of the City Code, the granting of any such extension of time shall be at the discretion of the Board. If the Full Building Permit for the project should expire for any reason (including but not limited to construction not commencing and continuing, with required inspections, in accordance with the applicable Building Code), the application will expire and become null and void.
- In accordance with Chapter 116 of the City Code, the violation of any conditions and safeguards that are a part of this Order shall be deemed a violation of the land development regulations of

the City Code. Failure to comply with this Order shall subject the application to Chapter 116 of the City Code, for revocation or modification of the application.

Dated this 6th day of June, 2016.

DESIGN REVIEW BOARD
THE CITY OF MIAMI BEACH, FLORIDA

Signature: Deborah J. Tackett
DEBORAH J. TACKETT
DESIGN AND PRESERVATION MANAGER
FOR THE CHAIR

STATE OF FLORIDA)
COUNTY OF MIAMI-DADE)
I, _____, Notary Public for the State of Florida, do hereby certify that the foregoing instrument was acknowledged before me this 6th day of June, 2016, by Deborah J. Tackett, Design and Preservation Manager, Planning Department, City of Miami Beach, Florida, a Florida Municipal Corporation, on behalf of the Corporation. He is personally known to me.

Signature: [Notary Signature]
NOTARY PUBLIC City of Miami Beach
Miami-Dade County, Florida
My commission expires: [Date]

PLANS APPROVED
6/6/16

Approved As To Form:
City Attorney's Office: *Signature*

Filed with the Clerk of the Design Review Board on *Signature* 6/6/16

FILED IN THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA
DATE: 6/6/16
BY: [Signature]

PRIVATE PROVIDER SEI
Construction Plans Review, Inspection and Code Enforcement
REVIEWED FOR CODE

BUILDING	REVIEWED	<i>Signature</i>
STRUCTURAL	REVIEWED	<i>Signature</i>
MECHANICAL	REVIEWED	<i>Signature</i>
ELECTRICAL	REVIEWED	<i>Signature</i>
PLUMBING	REVIEWED	<i>Signature</i>
SITE CIVIL	REVIEWED	<i>Signature</i>

KIMTOWN HOTEL
PALOMAR
SOUTH BEACH
1750 Alton Road, Miami Beach, FL 33139

FINVARB GROUP
1065 Kane Concourse, Suite 201, Bay Harbor Islands, FL 33154

NO.	DESCRIPTION	DATE
1	PERMIT SET	02.28.17
PROJECT NO.	1613	
DATE:	02.28.17	
SHEET NO.:		
SCALE:	As Noted	
SHEET NO.	A-004	

Adrian Mula
5-31-17

STATE OF FLORIDA
REGULATORY ARCHITECT
REGISTRATION #A0000983

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NOTE: "L" FIXTURES - SEE I.D. DWG'S FOR SPEC'S

LIGHTING FIXTURE SCHEDULE

TYPE	LOCATION	DESCRIPTION	MFR	CATALOG NUMBER	VOLTS	LAMPS	INPUT WATTS	MOUNTING	FINISH	REMARKS
1ST FLOOR										
F101	STAIR 1 & 2	EMERG STAIR LIGHTING	METALUX	4SWLED-LD4-72HL-LW-UNV-L835-CD2-SVPD2-U	120-277	3500K LED	69	SURFACE	WHITE	
F102	EXIT CORRIDOR	EGRESS LIGHTING	METALUX	4WSNLED-LD4-44SL-F-UNV-L835-CD1-U	120-277	3500K LED	44	SURFACE	WHITE	
F103	ENTRY DRIVE	EXT. RECESSED LINEAR COVE	SELF ELECTRONICS	CROWN-70-30K-110-S-S	120-277	3000K LED	10W PER FOOT	COVE	SILVER	
F104	MECH ROOMS	INT. MECH ROOMS	METALUX	4VT2-LD4-6-DR-UNV-L835-CD1-W-L-U	120-277	3500K LED	57.3	SURFACE	WHITE	
F105	HOTEL OFFICE	INT. OFFICE	METALUX	4WSL-LD2-40-SRS-UNV-L835-CD1-U	120-277	3500K LED	35.1	SURFACE	WHITE	
F106	ELEV LOBBY	SCONCE, SEE I.D. DWGS								
F107	LINEAR	SEE I.D. DWGS								
F110	LOBBY	SEE I.D. DWGS								
2ND FLOOR										
F201	STAIR 1 & 2	EMERG STAIR LIGHTING	METALUX	4SWLED-LD4-72HL-LW-UNV-L835-CD2-SVPD2-U	120-277	3500K LED	69	SURFACE	WHITE	
F202	PARKING GARAGE	CODE MIN. LIGHTING	MCGRAW EDISON	TT-C2-LED-E1-WQ-8030	120-277	3000K LED	34	SURFACE	WHITE	
F203	ELEV LOBBY	LINEAR SURFACE	CORELITE	QS-RZL-W-B-3-L30-1-D-UNV-AC48-XX-4-STD-W	120-277	3000K LED	50	PENDANT	WHITE	
F204	GYM	LINEAR SURFACE	CORELITE	QS-J2-WL-3L30-1D-UNV-AC48-XX-4-STD	120-277	3000K LED	50	PENDANT	WHITE	
F205	EMPLOYEE LOUNGE	LINEAR SURFACE	METALUX	4WSNLED-LD4-44SL-F-UNV-L835-CD1-U	120-277	3500K LED	44	SURFACE	WHITE	
F206	BATHROOM	SURFACE	METALUX	2WSNLED-LD4-28SL-F-UNV-L835-CD1-U	120-277	3500K LED	31	SURFACE	WHITE	
F207	STORAGE/LOCKER	SURFACE	METALUX	2WSNLED-LD4-28SL-F-UNV-L835-CD1-U	120-277	3500K LED	31	SURFACE	WHITE	
HOTEL FLOORS 3RD-5TH LEVELS										
F301	STAIR 1 & 2 / HSKP	EMERG STAIR LIGHTING	METALUX	4SWLED-LD4-72HL-LW-UNV-L835-CD2-SVPD2-U	120-277	3500K LED	69	SURFACE	WHITE	
F302	ELEV LOBBY	RECESSED LINEAR COVE	SELF ELECTRONICS	CREST-XX-30K-110-S-S	120	3000K LED	5	COVE	SILVER	
F303	CORRIDOR	SURFACE MOUNTED	HALO	ML4D09NFL930ETIR50WFL55-TL4S2GMWBB HS4S	120-277	3000K LED	12	RECESSED	WHITE FLANGE WITH BLACK TRIM	
F304	VESTIBULES	SURFACE MOUNTED	HALO	ML4D09NFL930ETIR50WFL55-TL4S2GMWBB HS4S	120-277	3000K LED	12	RECESSED	WHITE FLANGE WITH BLACK TRIM	
F305	HOTEL RM ENTRY	PENDANT LIGHTING, SEE I.D. DWGS	HALO	ML4D09NFL930ETIR50WFL55-TL4S2GMWBB HS4S	120-277	3000K LED	12	RECESSED	WHITE FLANGE WITH BLACK TRIM	
F306	BATH SCONCE	SEE I.D. DWGS	HALO	ML4D09NFL930ETIR50WFL55-TL4S2GMWBB H999ICAT	120-277	3000K LED	12	RECESSED	WHITE FLANGE WITH BLACK TRIM	
F307	BATH CLNG LIGHT	SEE I.D. DWGS	HALO	ML4D09NFL930ETIR50WFL55-TL4S2GMWBB HS4S	120-277	3000K LED	12	RECESSED	WHITE FLANGE WITH BLACK TRIM	
F308	EXT TERRACE	WALL UPLIGHT	CSL	LWD3-30-GWT-4-DIM	120-277	3000K LED	24	WALL SURFACE	WHITE	
ROOF / POOL DECK										
F601	STAIR 1 & 2 / HSKP	EMERG STAIR LIGHTING	METALUX	4SWLED-LD4-72HL-LW-UNV-L835-CD2-SVPD2-U	120-277	3500K LED	69	SURFACE	WHITE	
F602	ELEC. ROOM	CODE MIN. LIGHTING	METALUX	4VT2-LD4-6-DR-UNV-L835-CD1-W-L-U	120-277	3500K LED	57.3	SURFACE	WHITE	
F603	ELEV. LOBBY	SURFACE	HALO	ML4D09NFL930ETIR50WFL55-TL4S2GMWBB HS4S	120-277	3000K LED	12	RECESSED	WHITE FLANGE WITH BLACK TRIM	WET LOCATION LISTED
F604	WC LAV'S EXTERIOR	PENDANT EXT.	CSL	SLP3-30-WT-4	120-277	3000K LED	24	PENDANT	WHITE	WET LOCATION LISTED
F605	WC TOILETS EXTERIOR	SURFACE EXT.	HALO	ML4D09NFL930ETIR50WFL55-TL4S2GMWBB HS4S	120-277	3000K LED	12	RECESSED	WHITE FLANGE WITH BLACK TRIM	WET LOCATION LISTED
F606	EXT. STEP LIGHTS	SEE I.D. DWGS	LUCIFER LIGHTING	ISL-2-ALED-3K-W-L-UBB-SL-2	120-277	3000K LED	4.7	RECESSED	WHITE	WET LOCATION LISTED
F607	EXT. LINEAR, AT BAR & LAV'S	SEE I.D. DWGS								WET LOCATION LISTED
F608	EXT. WALL SCONCE	SEE I.D. DWGS								WET LOCATION LISTED
F609	EXT. DOWNLIGHT	SEE I.D. DWGS								WET LOCATION LISTED
F610	INT. SCONCE @ ELEV. LOBBY	SEE I.D. DWGS								WET LOCATION LISTED
F611	EXT. LINEAR AT EYEBROW	SURFACE								WET LOCATION LISTED

City of Miami Beach
Fire Prevention Division
PLANS APPROVED

BUILDING	DATE REVIEWED	DATE REVIEWED
STRUCTURAL	INITIALS	DATE
MECHANICAL		
ELECTRICAL		
PLUMBING		
SITE CIVIL		

No.	DESCRIPTION	DATE
1	PERMIT SET	02.28.17
2	REV. 2	05.31.17

PROJECT NO: 1613
DATE: 02.28.17
SHEET NO: A-005

DOOR SCHEDULE - 1ST LEVEL

DOOR #	DOOR		TYPE	MATERIAL	SIZE			LABEL	FIRE RATING	FRAME - SEE A-803				REMARKS
	FROM	TO			PANEL WIDTH	HEIGHT	THICKNESS			MATERIAL	HEAD	JAMB	THRESHOLD	
	ROOM NAME	ROOM NAME												
101	STAIR 1	ELEV LOBBY	B	HM	3'-0"	7'-0"	1-3/4"	B	2 HOUR	HM				7
102	EXIT CORRIDOR	SIDEWALK	B	HM	3'-0"	7'-0"	1-3/4"	B	2 HOUR	HM				7
103	LOBBY	DROP OFF	L	AL/GL	6'-0"	8'-0"				AL/GL				3, 6, 9
104	ELEV LOBBY	ENTRY DRIVE	L	AL/GL	3'-0"	8'-0"				AL/GL				3, 6, 9
105	TRASH ROOM	ENTRY DRIVE	J	SS	5'-0"	8'-0"	1-3/4"	B	2 HOUR	SS				7
106	LINEN ROOM	ENTRY DRIVE	J	SS	5'-0"	8'-0"	1-3/4"	B	2 HOUR	SS				7
107	FIRE PUMP	ENTRY DRIVE	A	HM	3'-0"	7'-0"	1-3/4"	B	2 HOUR	HM				7
108	DOM WATER RM	ENTRY DRIVE	A	HM	3'-0"	7'-0"	1-3/4"	B	2 HOUR	HM				7
109	LOBBY	CANAL WALK	L	AL/GL	3'-0"	8'-0"				AL/GL				3, 6, 9
110	RESTAURANT	CANAL WALK	L	AL/GL	3'-0"	8'-0"				AL/GL				3, 6, 9
111	RESTAURANT	CANAL WALK	L	AL/GL	3'-0"	8'-0"				AL/GL				3, 6, 9
112	RESTAURANT	CANAL WALK	L	AL/GL	3'-0"	8'-0"				AL/GL				3, 6, 9
113	ENTRY DRIVE	WINDOW DISPLAY	A	HM	3'-0"	7'-0"	1-3/4"			HM				7
114	ENTRY DRIVE	WINDOW DISPLAY	A	HM	3'-0"	7'-0"	1-3/4"			HM				7
115	HOTEL ADMIN	SIDEWALK	L	AL/GL	3'-0"	8'-0"				AL/GL				3, 6, 9
116	RESTAURANT	ENTRY DRIVE	L	AL/GL	3'-0"	8'-0"				AL/GL				3, 6, 9
117	RESTAURANT	ENTRY DRIVE	A	HM	3'-0"	7'-0"	1-3/4"	B	2 HOUR	HM				7
118	ELEC RM	ENTRY DRIVE	A	HM	3'-0"	7'-0"	1-3/4"	B	2 HOUR	HM				7, 20
119	BAGGAGE RM	ENTRY DRIVE	A	HM	3'-0"	7'-0"	1-3/4"	B	2 HOUR	HM				7, 20
120	FRONT OFFICE	ENTRY DRIVE	A	HM	3'-0"	7'-0"	1-3/4"	B	2 HOUR	HM				7, 20
121	DESK	FRONT OFFICE	A	HM	3'-0"	7'-0"	1-3/4"	B	2 HOUR	HM				1, 20 4
122	DESK	BAGGAGE RM	A	HM	3'-0"	7'-0"	1-3/4"	B	2 HOUR	HM				1
123	MDF CLOSET	BAGGAGE RM	M	WD	5'-4"	7'-0"	1-3/4"	B	2 HOUR	WD				1
124	MDF CLOSET	BAGGAGE RM	M	WD	5'-4"	7'-0"	1-3/4"			WD				1
125	TOILET	WC CORRIDOR	A	WD	3'-0"	7'-0"	1-3/4"			WD				1
126	TOILET	WC CORRIDOR	A	WD	3'-0"	7'-0"	1-3/4"			WD				1
127	TOILET	WC CORRIDOR	A	WD	3'-0"	7'-0"	1-3/4"			WD				1
128	TOILET	WC CORRIDOR	A	WD	3'-0"	7'-0"	1-3/4"			WD				1
129	TOILET	WC CORRIDOR	A	WD	3'-0"	7'-0"	1-3/4"			WD				1
130	JANITOR CL	WC CORRIDOR	A	WD	3'-0"	7'-0"	1-3/4"			WD				1
131	OFFICE 3	HOTEL ADMIN	A	WD	3'-0"	7'-0"	1-3/4"			WD				
132	OFFICE 2	HOTEL ADMIN	A	WD	3'-0"	7'-0"	1-3/4"			WD				
133	OFFICE 1	HOTEL ADMIN	A	WD	3'-0"	7'-0"	1-3/4"			WD				

F.F.P.C. (NFPA 101) 7.2.1.6.2

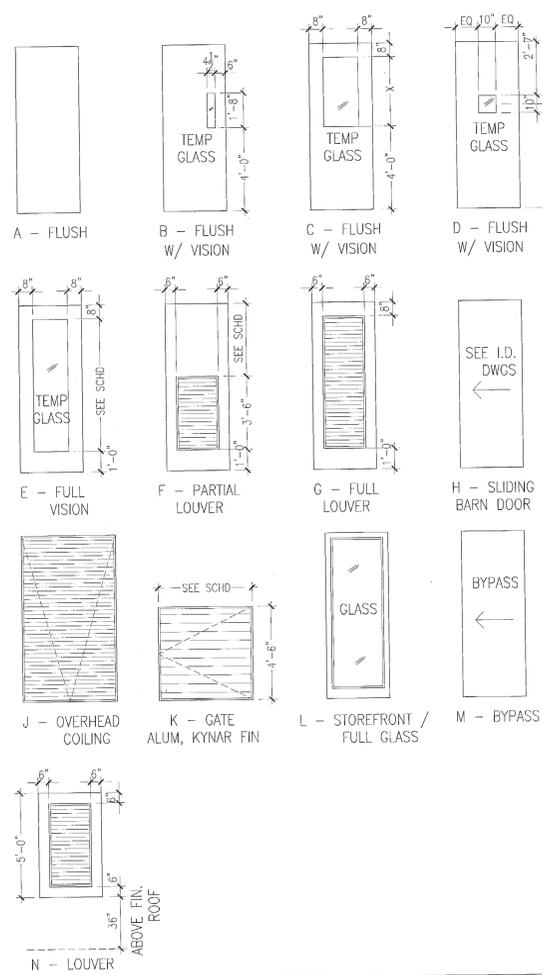
ACCESS CONTROLLED EGRESS DOOR ASSEMBLIES (CARD KEY)

DOOR ASSEMBLIES IN THE MEANS OF EGRESS SHALL BE PERMITTED TO BE EQUIPPED WITH AN APPROVED ENTRANCE AND EGRESS ACCESS CONTROL SYSTEM, PROVIDED THAT ALL THE FOLLOWING CRITERIA ARE MET:

7.2.1.6.2* Access-Controlled Egress Door Assemblies. Where permitted in Chapters 11 through 43, door assemblies in the means of egress shall be permitted to be equipped with electrical lock hardware that prevents egress, provided that all of the following criteria are met:

- A sensor shall be provided on the egress side, arranged to unlock the door leaf in the direction of egress upon detection of an approaching occupant.
- Door leaves shall automatically unlock in the direction of egress upon loss of power to the sensor or to the part of the access control system that locks the door leaves.
- Door locks shall be arranged to unlock in the direction of egress from a manual release device complying with all of the following criteria:
 - The manual release device shall be located on the egress side, 40 in. to 48 in. (1015 mm to 1220 mm) vertically above the floor, and within 60 in. (1525 mm) of the secured door openings.
 - The manual release device shall be readily accessible and clearly identified by a sign that reads as follows: PUSH TO EXIT.
 - When operated, the manual release device shall result in direct interruption of power to the lock, independent of the locking system electronics, and the lock shall remain unlocked for not less than 30 seconds.
- Activation of the building fire-protective signaling system, if provided, shall automatically unlock the door leaves in the direction of egress, and the door leaves shall remain unlocked until the fire-protective signaling system has been manually reset.
- The activation of manual fire alarm boxes that activate the building fire-protective signaling system specified in 7.2.1.6.2(4) shall not be required to unlock the door leaves.
- Activation of the building automatic sprinkler or fire detection system, if provided, shall automatically unlock the door leaves in the direction of egress, and the door leaves shall remain unlocked until the fire-protective signaling system has been manually reset.
- The egress side of access-controlled egress doors, other than existing access-controlled egress doors, shall be provided with emergency lighting in accordance with Section 7.9.

DOOR TYPE ELEVATIONS



DOOR CLASSIFICATION

FIRE DOOR LEGEND
 4 HOUR WALL - 4 HOUR DOOR - A LABEL
 3 HOUR WALL - 3 HOUR DOOR - A LABEL
 2 HOUR WALL - 1-1/2 HOUR DOOR - B LABEL
 1 HOUR WALL - 45 MINUTE DOOR - C LABEL
 1/2 HOUR WALL - 20 MINUTE DOOR - C LABEL

MATERIAL LEGEND

AL ALUMINIUM
 AL/GL ALUMINIUM W/ GLASS
 GL GLASS
 HM HOLLOW METAL
 WD WOOD SOLID CORE
 WD/GL WOOD W/ GLASS
 STL STEEL
 SS STAINLESS STEEL

DOOR NOTES

- NOTE 1 FOR HEAD, JAMB & THRESHOLD DETAILS REFER TO SHEET A803
- NOTE 2 ALL DOORS NOT TO EXCEED A MAX UNDERCUT OF 3/8" TO CONC SLAB, OR LESS FOR APPLIED FINISH PER NFPA 80 TABLE 1-11.4 COORDINATE CLEARANCE OF UNDERCUT WITH FLOOR FINISH SPECIFIED ON I.D. DWGS
- NOTE 3 CARD READERS AT FIRE RATED DOORS TO BE FIRE RATED
- NOTE 4 ALL FIRE RATED DOORS TO HAVE FIRE RATED HARDWARE
- NOTE 5 DOORS EXITING INTO STAIRWELLS SHALL NOT HAVE LOCKING DEVICES
- NOTE 6 INSULATED COREFILL AT ALL HM DOORS PER FBC 13-403.1 (SEE SPECS)
- NOTE 7 REFER TO F.F.P.C. 7.2.1.6 SELF CLOSING DEVICES
- NOTE 8 ALL DOORS SERVING MORE THAN 100 PEOPLE SHALL HAVE PANIC HARDWARE
- NOTE 9 ALL FIRE RATED DOORS TO HAVE SELF CLOSING AND LATCHING HARDWARE
- NOTE 10 ALL FIRE RATED DOUBLE LEAF DOORS WITH ASTRAGALS SHALL HAVE DOOR COORDINATORS TO ENSURE PROPER OPERATION
- NOTE 11 ALL EXIT DOORS SHALL BE SINGLE MOTION RELEASE AND REOPERABLE IN THE DIRECTION OF EGRESS WITHOUT ANY SPECIAL KNOWLEDGE, KEY OR TOOL

ADA ACCESSIBLE DOOR NOTES

DOOR HARDWARE: HANDLES, LATCHES, PULLS, LOCKS AND OTHER OPERATING DEVICES MUST HAVE A SHAPE THAT IS EASY TO GRASP WITH ONE HAND AND DOES NOT REQUIRE TIGHT GRASPING, TIGHT PINCHING OR TWISTING OF THE WRIST TO OPERATE, LEVER OPERATED MECHANISM AND U-SHAPED HANDLES ARE ACCEPTABLE DESIGNS, HARDWARE REQUIRED FOR PASSAGE MUST BE MOUNTED NO HIGHER THAN 48" AFF.

DOOR CLOSERS: IF A DOOR HAS A CLOSER THEN THE SWEEP PERIOD OF THE CLOSER MUST BE ADJUSTED SO THAT FROM AN OPEN POSITION OF 70 DEGREES, THE DOOR WILL TAKE AT LEAST 3 SECONDS TO MOVE TO A POINT 3" FROM THE LATCH, MEASURED FROM THE LEADING EDGE OF THE DOOR.

DOOR OPENING FORCE: THE MAXIMUM FORCE FOR PUSHING OR PULLING OPEN A DOOR MUST BE AS FOLLOWS:
 EXTERIOR HINGED DOORS - ADAAG PROVIDED NO REQUIREMENTS AT THIS TIME
 INTERIOR HINGED DOORS - 5 LBF
 SLIDING OR FOLDING DOORS - 5 LBF

DOOR NOTES: ANY WALK THROUGH OPENING TO BE 32" CLEAR WIDTH
 ANY DOUBLE DOOR TO HAVE AT LEAST ONE LEAF 36" WIDE
 PUSH LOCKS SHALL BE USED

DOOR SCHEDULE REMARKS CODE

- SEE INTERIOR DESIGN DOCUMENTS
- FF&E SPECIALITY DOOR, SEE I.D. DOCS
- DOOR AND FRAME PROVIDED BY STOREFRONT / WINDOW WALL MANUFACTURER
- CONCEALED OVERHEAD DOOR CLOSER
- DESIGNED TO RESIST A 4" DIA OBJECT THROUGHOUT
- SELF CLOSING DEVICE
- OVERHEAD DOOR CLOSER
- MAGNETIC HOLD OPEN DEVICE
- PANIC HARDWARE
- FUSIBLE LINK
- MOTORIZED
- TEMPERED GLASS PANEL
- WIRED GLASS - INSTALL WIRE IN HORIZ. & VERT. POSITIONS
- GATE LATCH TO BE MOUNTED AT 54" AFF MIN.
- DOUBLE ACTING
- MOTORIZED
- ACOUSTIC SEALS FOR HEAD, JAMBS AND THRESHOLD
- AUTOMATIC LOCKING DEVICE CONNECTED TO FIRE ALARM SYSTEM
- CARD KEY - ELECTRONIC LOCKING
- ELECTRONIC RELEASE HARDWARE
- 180 DEGREE SWING
- OFFSET HINGES
- CATEGORY II SAFETY GLASS CAPABLE OF WITHSTANDING A 400 LB IMPACT TEST
- DOOR AND FRAME TO MEET WIND LOADS AS DEFINED BY STRUCT DWGS
- DOOR TO HAVE ADJUSTABLE SWEEP AND MAX 3/8" UNDERCUT
- FIRE RATED GLASS
- EMERGENCY BREAKAWAY CAPABILITY
- DOOR PROTECTED BY REMOVABLE PANEL SYSTEM MEETING WIND LOADS AS DEFINED BY STRUCTURAL DWGS
- 2 (3'-0" X 7'-0") INTERCONNECTING DOORS (ONE PANEL EACH SIDE)
- WITH 1/8" LAMINATED GLASS
- WIDTH TO BE 32" MIN. CLEAR IN OPEN POSITION

REVISIONS

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	02.28.17
2	REVISED PER COMMENTS	02.28.17
3	REVISED PER COMMENTS	02.28.17
4	REVISED PER COMMENTS	02.28.17

City of Miami Beach
 The Prevention Division
 PLANS APPROVED

2717 Ponce de Leon Blvd.
 Coral Gables, FL 33134
 Phone: 305.200.5302
 www.PermuyArchitecture.com

STATE OF FLORIDA
 REGISTERED PROFESSIONAL ARCHITECT
 REGISTRATION NO. 1122017

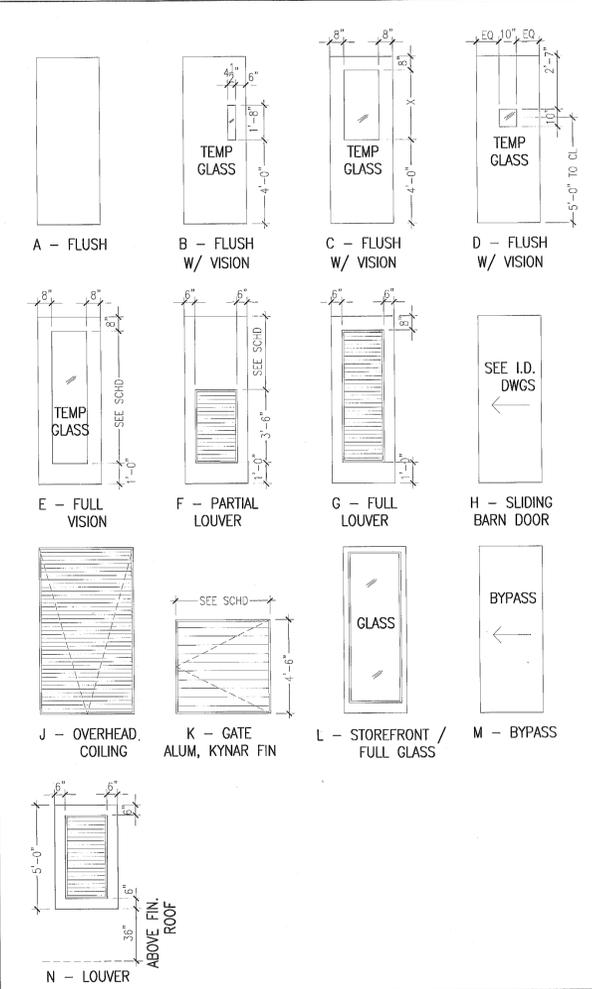
KIMPTON HOTEL
PALOMAR
 SOUTH BEACH
 1750 Alton Road, Miami Beach, FL 33139
FINVARB GROUP
 1005 Kane Concourse, Suite 201, Bay Harbor Islands, FL 33154

PROJECT NO: 1613
 DATE: 02.28.17
 SHEET NO: A-006

DOOR SCHEDULE -- 1ST LEVEL

DOOR #	DOOR		TYPE	MATERIAL	SIZE			LABEL	FIRE RATING	FRAME - SEE A-803				REMARKS
	FROM	TO			PANEL WIDTH	HEIGHT	THICKNESS			MATERIAL	HEAD	JAMB	THRESHOLD	
	ROOM NAME	ROOM NAME												
101	STAIR 1	ELEV LOBBY	B	HM	3'-0"	7'-0"	1-3/4"	B	2 HOUR	HM				7
102	EXIT CORRIDOR	SIDEWALK	B	HM	3'-0"	7'-0"	1-3/4"	B	2 HOUR	HM				7
103	LOBBY	DROP OFF	L	AL/GL	6'-0"	8'-0"				AL/GL				3, 6, 9
104	ELEV LOBBY	ENTRY DRIVE	L	AL/GL	3'-0"	8'-0"				AL/GL				3, 6, 9
105	TRASH ROOM	ENTRY DRIVE	J	SS	5'-0"	8'-0"	1-3/4"	B	2 HOUR	SS				7
106	LINEN ROOM	ENTRY DRIVE	J	SS	5'-0"	8'-0"	1-3/4"	B	2 HOUR	SS				7
107	FIRE/WATER PUMP	ENTRY DRIVE	A	HM	6'-0"	7'-0"	1-3/4"	B	2 HOUR	HM				7
108	NOT USED													
109	LOBBY	CANAL WALK	L	AL/GL	3'-0"	8'-0"				AL/GL				3, 6, 9
110	RESTAURANT	CANAL WALK	L	AL/GL	3'-0"	8'-0"				AL/GL				3, 6, 9
111	RESTAURANT	CANAL WALK	L	AL/GL	3'-0"	8'-0"				AL/GL				3, 6, 9
112	RESTAURANT	CANAL WALK	L	AL/GL	3'-0"	8'-0"				AL/GL				3, 6, 9
113	ENTRY DRIVE	WINDOW DISPLAY	A	HM	3'-0"	7'-0"	1-3/4"			HM				7
114	ENTRY DRIVE	WINDOW DISPLAY	A	HM	3'-0"	7'-0"	1-3/4"			HM				7
115	HOTEL ADMIN	SIDEWALK	L	AL/GL	3'-0"	8'-0"				AL/GL				3, 6, 9
116	RESTAURANT	ENTRY DRIVE	L	AL/GL	3'-0"	8'-0"				AL/GL				3, 6, 9
117	RESTAURANT	ENTRY DRIVE	A	HM	3'-0"	7'-0"	1-3/4"	B	2 HOUR	HM				7
118	ELEC RM	ENTRY DRIVE	A	HM	3'-0"	7'-0"	1-3/4"	B	2 HOUR	HM				7
119	MDF RM	ENTRY DRIVE	A	HM	3'-0"	7'-0"	1-3/4"	B	2 HOUR	HM				7
120	BAGGAGE OFFICE	ENTRY DRIVE	A	HM	3'-0"	7'-0"	1-3/4"	B	2 HOUR	HM				7
121	FRONT OFFICE	ENTRY DRIVE	A	HM	3'-0"	7'-0"	1-3/4"	B	2 HOUR	HM				7
122	FRONT OFFICE	BOH HALL	A	WD	3'-0"	7'-0"	1-3/4"			WD				7
123	BOH HALL	BAGGAGE RM	A	WD	3'-0"	7'-0"	1-3/4"			WD				7
124	JAN	WC VEST	A	WD	3'-0"	7'-0"	1-3/4"			WD				1, 7
125	TOILET	WC CORRIDOR	A	WD	3'-0"	7'-0"	1-3/4"			WD				1
126	TOILET	WC CORRIDOR	A	WD	3'-0"	7'-0"	1-3/4"			WD				1
127	TOILET	WC CORRIDOR	A	WD	3'-0"	7'-0"	1-3/4"			WD				1
128	TOILET	WC CORRIDOR	A	WD	3'-0"	7'-0"	1-3/4"			WD				1
129	TOILET	WC CORRIDOR	A	WD	3'-0"	7'-0"	1-3/4"			WD				1
130	WC VEST	WC CORRIDOR	A	WD	3'-0"	7'-0"	1-3/4"			WD				1, 7
131	OFFICE 3	HOTEL ADMIN	A	WD	3'-0"	7'-0"	1-3/4"			WD				
132	OFFICE 2	HOTEL ADMIN	A	WD	3'-0"	7'-0"	1-3/4"			WD				
133	OFFICE 1	HOTEL ADMIN	A	WD	3'-0"	7'-0"	1-3/4"			WD				

DOOR TYPE ELEVATIONS



DOOR CLASSIFICATION	MATERIAL LEGEND
FIRE DOOR LEGEND	AL ALUMINIUM
4 HOUR WALL - 4 HOUR DOOR - A LABEL	AL/GL ALUMINIUM W/ GLASS
3 HOUR WALL - 3 HOUR DOOR - A LABEL	GL GLASS
2 HOUR WALL - 1-1/2 HOUR DOOR - B LABEL	HM HOLLOW METAL
1 HOUR WALL - 45 MINUTE DOOR - C LABEL	WD WOOD SOLID CORE
1/2 HOUR WALL - 20 MINUTE DOOR - C LABEL	WD/GL WOOD W/ GLASS
	STL STEEL
	SS STAINLESS STEEL

DOOR NOTES

NOTE 1	FOR HEAD, JAMB & THRESHOLD DETAILS REFER TO SHEET A803
NOTE 2	ALL DOORS NOT TO EXCEED A MAX UNDERCUT OF 3/8" TO CONC SLAB, OR LESS FOR APPLIED FINISH PER NFPA 80 TABLE 1-11.4 COORDINATE CLEARANCE OF UNDERCUT WITH FLOOR FINISH SPECIFIED ON I.D. DWGS
NOTE 3	CARD READERS AT FIRE RATED DOORS TO BE FIRE RATED
NOTE 4	ALL FIRE RATED DOORS TO HAVE FIRE RATED HARDWARE
NOTE 5	DOORS EXITING INTO STAIRWELLS SHALL NOT HAVE LOCKING DEVICES
NOTE 6	INSULATED COREFILL AT ALL HM DOORS PER FBC 13-403.1 (SEE SPECS)
NOTE 7	REFER TO F.F.P.C. 7.2.1.6 SELF CLOSING DEVICES
NOTE 8	ALL DOORS SERVING MORE THAN 100 PEOPLE SHALL HAVE PANIC HARDWARE
NOTE 9	ALL FIRE RATED DOORS TO HAVE SELF CLOSING AND LATCHING HARDWARE
NOTE 10	ALL FIRE RATED DOUBLE LEAF DOORS WITH ASTRAGALS SHALL HAVE DOOR COORDINATORS TO ENSURE PROPER OPERATION
NOTE 11	ALL EXIT DOORS SHALL BE SINGLE MOTION RELEASE AND REOPERABLE IN THE DIRECTION OF EGRESS WITHOUT ANY SPECIAL KNOWLEDGE, KEY OR TOOL

ADA ACCESSIBLE DOOR NOTES

DOOR HARDWARE: HANDLES, LATCHES, PULLS, LOCKS AND OTHER OPERATING DEVICES MUST HAVE A SHAPE THAT IS EASY TO GRASP WITH ONE HAND AND DOES NOT REQUIRE TIGHT GRASPING, TIGHT PINCHING OR TWISTING OF THE WRIST TO OPERATE, LEVER OPERATED MECHANISM AND U-SHAPED HANDLES ARE ACCEPTABLE DESIGNS, HARDWARE REQUIRED FOR PASSAGE MUST BE MOUNTED NO HIGHER THAN 48" AFF.

DOOR CLOSERS: IF A DOOR HAS A CLOSER THEN THE SWEEP PERIOD OF THE CLOSER MUST BE ADJUSTED SO THAT FROM AN OPEN POSITION OF 70 DEGREES, THE DOOR WILL TAKE AT LEAST 3 SECONDS TO MOVE TO A POINT 3" FROM THE LATCH, MEASURED FROM THE LEADING EDGE OF THE DOOR.

DOOR OPENING FORCE: THE MAXIMUM FORCE FOR PUSHING OR PULLING OPEN A DOOR MUST BE AS FOLLOWS:
 EXTERIOR HINGED DOORS - ADAAG PROVIDED NO REQUIREMENTS AT THIS TIME
 INTERIOR HINGED DOORS - 5 LBF
 SLIDING OR FOLDING DOORS - 5 LBF

DOOR NOTES: ANY WALK THROUGH OPENING TO BE 32" CLEAR WIDTH
 ANY DOUBLE DOOR TO HAVE AT LEAST ONE LEAF 36" WIDE
 PUSH LOCKS SHALL BE USED

DOOR SCHEDULE REMARKS CODE

1	SEE INTERIOR DESIGN DOCUMENTS
2	FF&E SPECIALTY DOOR, SEE I.D. DOCS
3	DOOR AND FRAME PROVIDED BY STOREFRONT / WINDOW WALL MANUFACTURER
4	CONCEALED OVERHEAD DOOR CLOSER
5	DESIGNED TO RESIST A 4" DIA OBJECT THROUGHOUT
6	SELF CLOSING DEVICE
7	OVERHEAD DOOR CLOSER
8	MAGNETIC HOLD OPEN DEVICE
9	PANIC HARDWARE
10	FUSIBLE LINK
11	TEMPERED GLASS PANEL
12	WIRED GLASS - INSTALL WIRE IN HORIZ. & VERT. POSITIONS
13	GATE LATCH TO BE MOUNTED AT 54" AFF MIN.
14	DOUBLE ACTING
15	MOTORIZED
16	ACOUSTIC SEALS FOR HEAD, JAMBS AND THRESHOLD
17	AUTOMATIC LOCKING DEVICE CONNECTED TO FIRE ALARM SYSTEM
18	CARD KEY - ELECTRONIC LOCKING
19	ELECTRONIC RELEASE HARDWARE
20	180 DEGREE SWING
21	OFFSET HINGES
22	CATEGORY II SAFETY GLASS CAPABLE OF WITHSTANDING A 400 LB IMPACT TEST
23	DOOR AND FRAME TO MEET WIND LOADS AS DEFINED BY STRUCT DWGS
24	DOOR TO HAVE ADJUSTABLE SWEEP AND MAX 3/8" UNDERCUT
25	FIRE RATED GLASS
26	EMERGENCY BREAKAWAY CAPABILITY
27	DOOR PROTECTED BY REMOVABLE PANEL SYSTEM MEETING WIND LOADS AS DEFINED BY STRUCTURAL DWGS
28	2 (3'-0" X 7'-0") INTERCONNECTING DOORS (ONE PANEL EACH SIDE)
29	WITH 3/8" LAMINATED GLASS
30	WIDTH TO BE 32" MIN. CLEAR IN OPEN POSITION
31	
32	
33	
34	
35	

F.F.P.C. (NFPA 101) 7.2.1.6.2

ACCESS CONTROLLED EGRESS DOOR ASSEMBLIES (CARD KEY)

DOOR ASSEMBLIES IN THE MEANS OF EGRESS SHALL BE PERMITTED TO BE EQUIPPED WITH AN APPROVED ENTRANCE AND EGRESS ACCESS CONTROL SYSTEM, PROVIDED THAT ALL THE FOLLOWING CRITERIA ARE MET:

- A SENSOR SHALL BE PROVIDED ON THE EGRESS SIDE, ARRANGED TO DETECT AN OCCUPANT APPROACHING THE DOOR LEAVES THAT ARE ARRANGED TO UNLOCK IN THE DIRECTION OF EGRESS UPON DETECTION OF AN APPROACHING OCCUPANT OR LOSS OF POWER TO THE SENSOR
- LOSS OF POWER TO THE PART OF THE ACCESS CONTROL SYSTEM THAT LOCKS THE DOOR LEAVES SHALL AUTOMATICALLY UNLOCK THE DOOR LEAVES IN THE DIRECTION OF EGRESS
- DOOR LEAVES SHALL BE ARRANGED TO UNLOCK IN THE DIRECTION OF EGRESS FROM A MANUAL RELEASE DEVICE LOCATED 40 IN. TO 48 IN. (1015MM TO 1220MM) VERTICALLY ABOVE THE FLOOR AND WITHIN 60 IN. (1525MM) OF THE SECURED DOOR OPENINGS.
- THE MANUAL RELEASE DEVICE SPECIFIED IN 7.2.1.6.2 (3) SHALL BE READILY ACCESSIBLE AND CLEARLY IDENTIFIED BY A SIGN THAT READS AS FOLLOWS: PUSH TO EXIT
- WHEN OPERATED, THE MANUAL RELEASE DEVICE SHALL RESULT IN DIRECT INTERRUPTION OF POWER TO THE LOCK - INDEPENDENT OF THE ACCESS CONTROL SYSTEM ELECTRONICS - AND THE DOOR LEAVES SHALL REMAIN UNLOCKED FOR NOT LESS THAN 30 SECONDS
- ACTIVATION OF THE BLDG FIRE PROTECTIVE SIGNALING SYSTEM, IF PROVIDED, SHALL AUTOMATICALLY UNLOCK THE DOOR LEAVES IN THE DIRECTION OF EGRESS, AND SHALL REMAIN UNLOCKED UNTIL THE FIRE PROTECTIVE SIGNALING SYSTEM HAS BEEN MANUALLY RESET
- THE ACTIVATION OF MANUAL FIRE ALARM BOXES THAT ACTIVATE THE BLDG FIRE PROTECTIVE SIGNALING SYSTEM SPECIFIED IN 7.2.1.6.2 (6) SHALL NOT BE REQUIRED TO UNLOCK THE DOOR LEAVES
- ACTIVATION OF THE BLDG AUTOMATIC SPRINKLER OF FIRE DETECTION SYSTEM, IF PROVIDED, SHALL AUTOMATICALLY UNLOCK THE DOOR LEAVES IN THE DIRECTION OF EGRESS, AND THEY SHALL REMAIN UNLOCKED UNTIL THE FIRE PROTECTIVE SYSTEM HAS BEEN MANUALLY RESET

City of Miami Beach
 Fire Prevention Division
 PLANS APPROVED

REVIEWER	DATE
STRUCTURAL	02.28.17
MECHANICAL	
ELECTRICAL	
PLUMBING	
SITE CIVIL	

No.	DESCRIPTION	DATE
PERMIT SET		02.28.17
REV. 2		05.31.17
PROJECT NO.	1613	
DATE:	02.28.17	
SHEET INDEX:		
SCALE:	As Noted	
SHEET NO.	A-006	

DOOR SCHEDULE - 2ND LEVEL

DOOR		FRAME - SEE A-803								SEE A-006				
DOOR #	FROM	TO	TYPE	MATERIAL	SIZE			LABEL	FIRE RATING	MATERIAL	HEAD	JAMB	THRESHOLD	REMARKS
	ROOM NAME	ROOM NAME			PANEL WIDTH	HEIGHT	THICKNESS							
201	STAIR 1	ELEV LOBBY	B	HM	3'-0"	7'-0"	1-3/4"	B	2 HOUR	HM				6
202	STAIR 2	GARAGE	B	HM	3'-0"	7'-0"	1-3/4"	B	2 HOUR	HM				6
203	GARAGE	ELEV LOBBY	C	HM	3'-0"	7'-0"		B	2 HOUR	HM				6, 9, 12
204	ELEV LOBBY	HSKP BREAK	A	HM	3'-0"	7'-0"		C	1 HOUR	HM				6
205	ELEV LOBBY	GYM	E	AL/GL	3'-0"	7'-0"		C	1 HOUR	HM				6, 12
206	UNIFORM STOR	HSKP BREAK	A	HM	3'-0"	7'-0"				HM				6
207	LINEN CL	HSKP BREAK	A	HM	3'-0"	7'-0"				HM				6
208	LOCKERS	HSKP BREAK	A	HM	3'-0"	7'-0"				HM				6
209	WC	HSKP BREAK	A	HM	3'-0"	7'-0"				HM				6
210	HSKP OFFICE	HSKP BREAK	A	HM	3'-0"	7'-0"				HM				6
211	MINI BAR STOR	HSKP BREAK	A	HM	3'-0"	7'-0"				HM				6

DOOR SCHEDULE - 3RD-5TH LEVELS

T01	STAIR 1	ELEV LOBBY	B	HM	3'-0"	7'-0"	1-3/4"	B	2 HOUR	HM				6, 11
T02	STAIR 2	CORRIDOR	B	HM	3'-0"	7'-0"	1-3/4"	B	2 HOUR	HM				6, 11
T03	ELEC RM	CORRIDOR	A	HM	3'-0"	7'-0"	1-3/4"	B	2 HOUR	HM				6
T04	LINEN RM	CORRIDOR	A	HM	3'-0"	7'-0"	1-3/4"	B	2 HOUR	HM				6, 20
T05	HSK	CORRIDOR	A	HM	3'-0"	7'-0"	1-3/4"	B	2 HOUR	HM				6
T06	IT ROOM	CORRIDOR	A	HM	3'-0"	7'-0"	1-3/4"	B	2 HOUR	HM				6
T07	ICE MACHINE	CORRIDOR	H	WD	5'-0"	7'-0"	1-3/4"	B	20 MINUTE	HM				1
T10	HOTEL ENTRY	CORRIDOR	A	HM	3'-0"	7'-0"	1-3/4"	B	20 MINUTE	HM				1, 4, 18
T11	HOTEL RM	HOTEL RM	A	WD	3'-0"	7'-0"	1-3/4"	B	20 MINUTE	HM				20, 28
T12	HOTEL RM	BATH	H	WD	3'-0"	7'-0"	1-3/4"	B	20 MINUTE	HM				1, 24, 30
T13	HOTEL RM	BATH	A	WD	3'-0"	7'-0"	1-3/4"	B	20 MINUTE	HM				1, 24

DOOR SCHEDULE - POOL DECK / ROOF LEVEL

R01	STAIR 1	ELEV LOBBY	B	HM	3'-0"	7'-0"	1-3/4"	B	2 HOUR	HM				
R02	STAIR 2	ROOF	B	HM	3'-0"	7'-0"	1-3/4"	B	2 HOUR	HM				
R03	ELEV LOBBY	MACH RM	A	HM	3'-0"	7'-0"	1-3/4"	B	2 HOUR	HM				
R04	WOMEN T.2. MEN 3.4.	ROOF	A	HM	3'-0"	7'-0"	1-3/4"	B	2 HOUR	HM				
R05	ELEC RM	ROOF	A	HM	3'-0"	7'-0"	1-3/4"	B	2 HOUR	HM				
R06	ROOF	ROOF	K	AL	3'-0"	4'-6"				AL				
R07	POOL PUMP RM	ROOF	N	AL	3'-0"	7'-0"				AL				BOT 36" ABOVE FIN. ROOF
R08	MECH RMS	ROOF	N	AL	(2)3'-0"	5'-0"				AL				BOT 36" ABOVE FIN. ROOF

F.F.P.C. (NFPA 101) 7.2.1.6.2

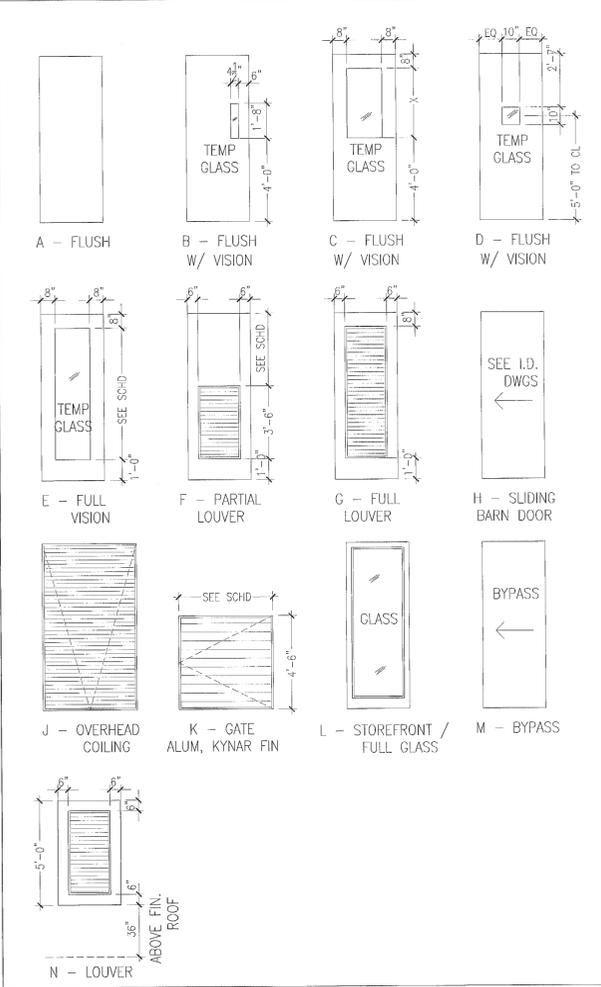
ACCESS CONTROLLED EGRESS DOOR ASSEMBLIES (CARD KEY)

DOOR ASSEMBLIES IN THE MEANS OF EGRESS SHALL BE PERMITTED TO BE EQUIPPED WITH AN APPROVED ENTRANCE AND EGRESS ACCESS CONTROL SYSTEM, PROVIDED THAT ALL THE FOLLOWING CRITERIA ARE MET:

7.2.1.6.2* Access-Controlled Egress Door Assemblies. Where permitted in Chapters 11 through 43, door assemblies in the means of egress shall be permitted to be equipped with electrical lock hardware that prevents egress, provided that all of the following criteria are met:

- (1) A sensor shall be provided on the egress side, arranged to unlock the door leaf in the direction of egress upon detection of an approaching occupant.
- (2) Door leaves shall automatically unlock in the direction of egress upon loss of power to the sensor or to the part of the access control system that locks the door leaves.
- (3) Door locks shall be arranged to unlock in the direction of egress from a manual release device complying with all of the following criteria:
 - (a) The manual release device shall be located on the egress side, 40 in. to 48 in. (1015 mm to 1220 mm) vertically above the floor, and within 60 in. (1525 mm) of the secured door openings.
 - (b) The manual release device shall be readily accessible and clearly identified by a sign that reads as follows: PUSH TO EXIT.
 - (c) When operated, the manual release device shall result in direct interruption of power to the lock, independent of the locking system electronics, and the lock shall remain unlocked for not less than 30 seconds.
- (4) Activation of the building fire-protective signaling system, if provided, shall automatically unlock the door leaves in the direction of egress, and the door leaves shall remain unlocked until the fire-protective signaling system has been manually reset.
- (5) The activation of manual fire alarm boxes that activate the building fire-protective signaling system specified in 7.2.1.6.2(4) shall not be required to unlock the door leaves.
- (6) Activation of the building automatic sprinkler or fire detection system, if provided, shall automatically unlock the door leaves in the direction of egress, and the door leaves shall remain unlocked until the fire-protective signaling system has been manually reset.
- (7) The egress side of access-controlled egress doors, other than existing access-controlled egress doors, shall be provided with emergency lighting in accordance with Section 7.9.

DOOR TYPE ELEVATIONS



DOOR CLASSIFICATION

FIRE DOOR LEGEND

4 HOUR WALL - 4 HOUR DOOR - A LABEL
 3 HOUR WALL - 3 HOUR DOOR - A LABEL
 2 HOUR WALL - 1-1/2 HOUR DOOR - B LABEL
 1 HOUR WALL - 45 MINUTE DOOR - C LABEL
 1/2 HOUR WALL - 20 MINUTE DOOR - C LABEL

MATERIAL LEGEND

AL ALUMINIUM
 AL/GL ALUMINIUM W/ GLASS
 GL GLASS
 HM HOLLOW METAL
 WD WOOD SOLID CORE
 WD/GL WOOD W/ GLASS
 STL STEEL
 SS STAINLESS STEEL

DOOR NOTES

- NOTE 1 FOR HEAD, JAMB & THRESHOLD DETAILS REFER TO SHEET A803
- NOTE 2 ALL DOORS NOT TO EXCEED A MAX UNDERCUT OF 3/4" TO CONC SLAB, OR LESS FOR APPLIED FINISH PER NFPA 80 TABLE 1-11.4 COORDINATE CLEARANCE OF UNDERCUT WITH FLOOR FINISH SPECIFIED ON I.D. DWGS
- NOTE 3 CARD READERS AT FIRE RATED DOORS TO BE FIRE RATED
- NOTE 4 ALL FIRE RATED DOORS TO HAVE FIRE RATED HARDWARE
- NOTE 5 DOORS EXITING INTO STAIRWELLS SHALL NOT HAVE LOCKING DEVICES
- NOTE 6 INSULATED COREFILL AT ALL HM DOORS PER FBC 13-403.1 (SEE SPECS)
- NOTE 7 REFER TO F.F.P.C. 7.2.1.6 SELF CLOSING DEVICES
- NOTE 8 ALL DOORS SERVING MORE THAN 100 PEOPLE SHALL HAVE PANIC HARDWARE
- NOTE 9 ALL FIRE RATED DOORS TO HAVE SELF CLOSING AND LATCHING HARDWARE
- NOTE 10 ALL FIRE RATED DOUBLE LEAF DOORS WITH ASTRAGALS SHALL HAVE DOOR COORDINATORS TO ENSURE PROPER OPERATION
- NOTE 11 ALL EXIT DOORS SHALL BE SINGLE MOTION RELEASE AND REOPERABLE IN THE DIRECTION OF EGRESS WITHOUT ANY SPECIAL KNOWLEDGE, KEY OR TOOL

ADA ACCESSIBLE DOOR NOTES

DOOR HARDWARE: HANDLES, LATCHES, PULLS, LOCKS AND OTHER OPERATING DEVICES MUST HAVE A SHAPE THAT IS EASY TO GRASP WITH ONE HAND AND DOES NOT REQUIRE TIGHT GRASPING, TIGHT PINCHING OR TWISTING OF THE WRIST TO OPERATE, LEVER OPERATED MECHANISM AND U-SHAPED HANDLES ARE ACCEPTABLE DESIGNS, HARDWARE REQUIRED FOR PASSAGE MUST BE MOUNTED NO HIGHER THAN 48" AFF.

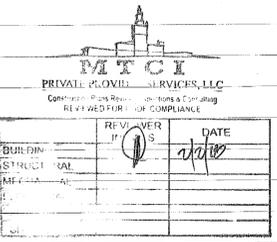
DOOR CLOSERS: IF A DOOR HAS A CLOSER THEN THE SWEEP PERIOD OF THE CLOSER MUST BE ADJUSTED SO THAT FROM AN OPEN POSITION OF 70 DEGREES, THE DOOR WILL TAKE AT LEAST 3 SECONDS TO MOVE TO A POINT 3" FROM THE LATCH, MEASURED FROM THE LEADING EDGE OF THE DOOR.

DOOR OPENING FORCE: THE MAXIMUM FORCE FOR PUSHING OR PULLING OPEN A DOOR MUST BE AS FOLLOWS:
 EXTERIOR HINGED DOORS - ADAAG PROVIDED NO REQUIREMENTS AT THIS TIME
 INTERIOR HINGED DOORS - 5 LBF
 SLIDING OR FOLDING DOORS - 5 LBF

DOOR NOTES: ANY WALK THROUGH OPENING TO BE 32" CLEAR WIDTH
 ANY DOUBLE DOOR TO HAVE AT LEAST ONE LEAF 36" WIDE
 PUSH LOCKS SHALL BE USED

DOOR SCHEDULE REMARKS CODE

- 1 SEE INTERIOR DESIGN DOCUMENTS
- 2 FF&E SPECIALTY DOOR, SEE I.D. DOCS
- 3 DOOR AND FRAME PROVIDED BY STOREFRONT / WINDOW WALL MANUFACTURER
- 4 CONCEALED OVERHEAD DOOR CLOSER
- 5 DESIGNED TO RESIST A 4" DIA OBJECT THROUGHOUT
- 6 SELF CLOSING DEVICE
- 7 OVERHEAD DOOR CLOSER
- 8 MAGNETIC HOLD OPEN DEVICE
- 9 PANIC HARDWARE
- 10 FUSIBLE LINK
- 11 TEMPERED GLASS PANEL
- 12 WIRED GLASS - INSTALL WIRE IN HORIZ. & VERT. POSITIONS
- 13 GATE LATCH TO BE MOUNTED AT 54" AFF MIN.
- 14 DOUBLE ACTING
- 15 MOTORIZED
- 16 ACOUSTIC SEALS FOR HEAD, JAMBS AND THRESHOLD
- 17 AUTOMATIC LOCKING DEVICE CONNECTED TO FIRE ALARM SYSTEM
- 18 CARD KEY - ELECTRONIC LOCKING
- 19 ELECTRONIC RELEASE HARDWARE
- 20 180 DEGREE SWING
- 21 OFFSET HINGES
- 22 CATEGORY II SAFETY GLASS CAPABLE OF WITHSTANDING A 400 LB IMPACT TEST
- 23 DOOR AND FRAME TO MEET WIND LOADS AS DEFINED BY STRUCT DWGS
- 24 DOOR TO HAVE ADJUSTABLE SWEEP AND MAX 3/4" UNDERCUT
- 25 FIRE RATED GLASS
- 26 EMERGENCY BREAKAWAY CAPABILITY
- 27 DOOR PROTECTED BY REMOVABLE PANEL SYSTEM MEETING WIND LOADS AS DEFINED BY STRUCTURAL DWGS
- 28 2 (3'-0" X 7'-0") INTERCONNECTING DOORS (ONE PANEL EACH SIDE)
- 29 WITH 3/8" LAMINATED GLASS
- 30 WIDTH TO BE 32" MIN. CLEAR IN OPEN POSITION
- 31
- 32
- 33
- 34
- 35



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STATE OF FLORIDA
 HELD IN FULL ARCHITECT
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NO.	DESCRIPTION	DATE
1	PERMIT SET	02.28.17
2	BLDG. MTCI COMMENTS	08.01.17
3	REV 4	11.22.17

PROJECT NO: 1613
 DATE: 02.28.17
 SHEET NO: As Noted
A-007

Handwritten signature
1.6.18

STATE OF FLORIDA
REGISTERED ARCHITECT
REGISTRATION MARCO 9592

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MAX AREA OF EXT. WALL OPENINGS, TABLE 705.8, BLDG IS FULLY SPRINKLERED

SEPARATION DISTANCE, FT.	DEGREE OF OPENING PROTECTION	ALLOWABLE AREA
0 TO 3 FT.	UNPROTECTED, SPRINKLERED	NOT PERMITTED
3 TO 5 FT.	UNPROTECTED, SPRINKLERED	15%
5 TO 10 FT.	UNPROTECTED, SPRINKLERED	25%
10 TO 15 FT.	UNPROTECTED, SPRINKLERED	45%
15 TO 20 FT.	UNPROTECTED, SPRINKLERED	75%
GREATER THAN 20 FT.	UNPROTECTED, SPRINKLERED	NO LIMIT

**OCCUPANT LOAD FACTOR
MAX. FLOOR AREA ALLOWANCES PER OCCUPANT F.B.C. TABLE 1004.1.2, FFPC TABLE 7.3.1.2**

USE	AREA PER OCCUPANT
EXERCISE ROOM W/ EQUIP.	50 GROSS
BUSINESS	100 GROSS
MECH. & STORAGE ROOMS	300 GROSS
ASSEMBLY A2 (UNCONCENTRATED)	15 NET
HOTEL/DORMITORY	200 GROSS
KITCHEN	100 GROSS
SWIMMING POOL (WATER SURF)	50 GROSS
EXERCISE ROOMS DECK	30 GROSS
LOCKER ROOM	50 GROSS
PARKING GARAGE	200 GROSS

STAIR IDENTIFICATION AS PER FFPC 5TH ED. 7.2.2.5.4.1 & 7.2.2.5.4.2

New enclosed stairs serving three or more stories and existing enclosed stairs serving five or more stories shall comply with 7.2.2.5.4.1(A) through 7.2.2.5.4.1(M).

(A) The stairs shall be provided with special signage within enclosure at each floor landing.
(B) The signage shall indicate the floor level.
(C) The signage shall indicate the terminus of the top and bottom of the stair enclosure.
(D) The signage shall indicate the identification of the stair enclosure.
(E) The signage shall indicate the floor level of, and the direction to, exit discharge.
(F) The signage shall be located inside the enclosure approximately 60 in. (1525 mm) above the floor landing in a position that is visible when the door is in the open or close position.
(G) The signage shall comply with 7.10.8.1 and 7.10.8.2 of this Code.
(H) The floor level designation shall also be tactile in accordance with ICC/ANSI A117.1, American National Standard for Accessible and Usable Buildings and Facilities.
(I) The signage shall be painted or stenciled on the wall or on a separate sign securely attached to the wall.
(J) The stairway identification letter shall be located at the top of the sign in minimum 1 in. (25 mm) high lettering and shall be in accordance with 7.10.8.2.
(K) Signage that reads NO ROOF ACCESS and is located under the stairway identification letter shall designate stairways that do not provide roof access. Lettering shall be a minimum of 1 inch (25 mm) high and shall be in accordance with 7.10.8.2.
(L) The floor level number shall be located in the middle of the sign in minimum 5 in. (125 mm) high numbers and shall be in accordance with 7.10.8.2. Mezzanine levels shall have the letter M. or other appropriate identification letter preceding the floor level number.
(M) Identification of the lower and upper terminus of the stairway shall be located at the bottom of the sign in minimum 1 inch (25 mm) high letters or numbers and shall be in accordance with 7.10.8.2.

MIN. INTERIOR FIN. CLASSIFICATION, TABEL 803.9

GROUP	EXITS	CORRIDORS	OTHER SPACES
A-3	CLASS B	CLASS B	CLASS C
S	CLASS C	CLASS C	CLASS C

LIFE SAFETY GENERAL NOTES

LEGEND

NOTE: PLANS INDICATE MIN. RATING REQUIRED. ACTUAL WALL MAY HAVE A HIGHER RATING.

4-4-4 4 HOUR RATED WALL
3-3-3 3 HOUR RATED WALL
2-2-2 2 HOUR RATED WALL
1-1-1 1 HOUR RATED WALL
S-S-S SMOKE BARRIER

→ → → COMMON PATH OF TRAVEL
→ → → TRAVEL DISTANCE

EXIT LIGHT FIXTURE CEILING MOUNTED, DIRECTION ARROWS AS SHOWN (SHADED QUADRANT INDICATES FACES OF FIXTURE)

EXIT LIGHT FIXTURE WALL MOUNTED, DIRECTION ARROWS AS SHOWN (SHADED QUADRANT INDICATES FACES OF FIXTURE)

STRUCTURAL ELEMENT FIRE RESISTANCE RATING

PER F.B.C. TABLE 601

TYPE I-A CONSTRUCTION THROUGHOUT - FULLY SPRINKLERED

STRUCTURAL ELEMENT	FIRE RESISTANCE IN HOURS
COLUMNS	3 HR
SUPPORTING MORE THAN ONE FLOOR OR OTHER COLUMNS	2 HR
SUPPORTING ONE FLOOR ONLY	2 HR
BEAMS	3 HR
SUPPORTING MORE THAN ONE FLOOR OR OTHER COLUMNS	3 HR
SUPPORTING ONE FLOOR ONLY	2 HR
BEARING WALLS - INTERIOR	3 HR
SUPPORTING MORE THAN ONE FLOOR OR OTHER COLUMNS	3 HR
SUPPORTING ONE FLOOR ONLY	2 HR
BEARING WALLS - EXTERIOR	3 HR / TABLE 601
NON-BEARING WALLS, SEPARATION 0-5 FT.	3 HR / TABLE 602
NON-BEARING WALLS, SEPARATION 5-20 FT.	2 HR / TABLE 602
NON-BEARING WALLS, SEPARATION 20-30 FT.	1 HR / TABLE 602
NON-BEARING WALLS, SEPARATION > 30 FT.	0 HR / TABLE 602
FLOOR CONSTRUCTION	2 HR
ROOF CONSTRUCTION	1 HR

WALL RATING-SEPARATION-SCHEDULE, 100% SPRKD AS PER FFPC TABLE 6.1.14.1 (A and B)

LOCATION	MIN RATING
EXERCISE RMS & LOBBY	1 HOUR
STORAGE RMS	1 HOUR
MECH & ELEC RMS	1 HOUR
STAIRS #1 & #2	2 HOURS
ELEVATOR HOISTWAYS	2 HOURS
TRASH ROOM	2 HOURS

MEANS OF EGRESS

101-46 LIFE SAFETY CODE

Table 6.1.14.4.1(a) Required Separation of Occupancies (hours)¹ Part 1

Occupancy	Assembly <200	Assembly >200	Assembly >1000	Educational	Day-Care	Day-Care Homes	Health Care	Ambulatory Health Care	Detention & Correctional	One- & Two-Family Dwellings	Lodging	Hotels & Dormitories
Assembly <200	0	0	2	2	2	2	2	2	2	2	2	2
Assembly >200	0	0	2	2	2	2	2	2	2	2	2	2
Assembly >1000	0	0	2	2	2	2	2	2	2	2	2	2
Educational	2	2	2	2	2	2	2	2	2	2	2	2
Day-Care	2	2	2	2	2	2	2	2	2	2	2	2
Day-Care Homes	2	2	2	2	2	2	2	2	2	2	2	2
Health Care	2	2	2	2	2	2	2	2	2	2	2	2
Ambulatory Health Care	2	2	2	2	2	2	2	2	2	2	2	2
Detention & Correctional	2	2	2	2	2	2	2	2	2	2	2	2
One- & Two-Family Dwellings	2	2	2	2	2	2	2	2	2	2	2	2
Lodging	2	2	2	2	2	2	2	2	2	2	2	2
Hotels & Dormitories	2	2	2	2	2	2	2	2	2	2	2	2

Table 6.1.14.4.1(b) Required Separation of Occupancies (hours)¹ Part 2

Occupancy	Apartment Buildings	Board & Care	Board & Care, Small	Board & Care, Large	Mercantile, Mail	Mercantile, Retail	Business	Industrial, General Purpose	Industrial, Special Purpose	Industrial, High Hazard	Storage, Low & Ordinary Hazard	Storage, High Hazard
Apartment Buildings	2	2	2	2	2	2	2	2	2	2	2	2
Board & Care	2	2	2	2	2	2	2	2	2	2	2	2
Board & Care, Small	2	2	2	2	2	2	2	2	2	2	2	2
Board & Care, Large	2	2	2	2	2	2	2	2	2	2	2	2
Mercantile, Mail	2	2	2	2	2	2	2	2	2	2	2	2
Mercantile, Retail	2	2	2	2	2	2	2	2	2	2	2	2
Business	2	2	2	2	2	2	2	2	2	2	2	2
Industrial, General Purpose	2	2	2	2	2	2	2	2	2	2	2	2
Industrial, Special Purpose	2	2	2	2	2	2	2	2	2	2	2	2
Industrial, High Hazard	2	2	2	2	2	2	2	2	2	2	2	2
Storage, Low & Ordinary Hazard	2	2	2	2	2	2	2	2	2	2	2	2
Storage, High Hazard	2	2	2	2	2	2	2	2	2	2	2	2

DESIGN REVIEW BOARD:

f. Final details of all exterior surface finishes and materials shall be required, including the aluminum cladding on the architectural frame, Prodena wood cladding and architectural ceramic tile wall finishes, in a manner to be reviewed and approved by staff consistent with the Design Review Criteria and/or the directions from the Board.

g. All interior fixtures, including but not limited to shelving, partitions, and checkout counters, if parallel to the exterior wall, shall be setback a minimum of ten (10) feet from the exterior walls of the building, in a manner to be reviewed and approved by staff consistent with the Design Review Criteria and/or the directions from the Board. This shall not prohibit substantially transparent fixtures for display purposes; however, shelving, partitions, and checkout counters, or similar objects, shall not be permitted to be flush to the exterior walls of the building facing Allen Road and the Canal Walk.

h. The final design and details of all exterior and interior lighting shall be provided, in a manner to be reviewed and approved by staff consistent with the Design Review Criteria and/or the directions from the Board. Interior lighting shall be designed in a manner to not have an adverse overwhelming impact upon the surrounding area. No fluorescent or intensive 'white' lighting (or similar intensive lighting) visible from the adjacent public rights of way or adjacent properties shall be permitted.

i. All interior garage lighting shall be shielded to buffer views of all direct light sources from outside of the structure, as well as on the roof deck, in a manner to be reviewed and approved by staff consistent with the Design Review Criteria and/or the directions from the Board.

k. All rooftop lighting shall consist of a lighting fixture that is affixed to, and no higher than, the rooftop parapet wall. All rooftop lighting fixtures shall be designed to preclude light from spilling over to adjacent properties, in a manner to be reviewed and approved by staff consistent with the Design Review Criteria and/or the directions from the Board.

n. All building signage shall require a separate permit. A uniform sign plan for the new building shall be required. Such sign plan shall be consistent in materials, method of illumination and sign location, in a manner to be reviewed and approved by staff consistent with the Design Review Criteria and/or the directions from the Board.

d. Pavers and concrete banding shall be utilized for the entire entry drive and painted striping, in a manner to be reviewed and approved by staff consistent with the Design Review Criteria and/or the directions from the Board.

NOTE

PER FBC 713.6 CORRIDOR PARTITIONS, SMOKE STOP PARTITIONS, HORIZONTAL EXIT PARTITIONS, EXIT ENCLOSURES AND FIRE RATED WALL REQUIRED TO HAVE PROTECTED OPENINGS SHALL BE EFFECTIVELY AND PERMANENTLY IDENTIFIED WITH SIGNS OF STENCILING IN A MANNER ACCEPTABLE TO THE AUTHORITY HAVING JURISDICTION SUCH IDENTIFICATION SHALL BE ABOVE ANY DECORATIVE CEILING AND IN CONCEALED SPACE SUGGESTED WORDING:

"FIRE AND SMOKE BARRIER PROTECT ALL OPENINGS"

FIRE DOOR LEGEND AND LABEL

(A) 180 MINUTES (3) HOUR FIRE LABEL DOOR
(B) 90 MINUTES (1-1/2) HOUR FIRE LABEL DOOR
(C) 45 MINUTES FIRE LABEL DOOR
(D) 20 MINUTES FIRE LABEL DOOR

1. DOORS AND FRAMES IN (3) THREE HOURS WALLS SHALL BE 'A' LABEL, 180 MIN. RATED (SEE DOOR SCHEDULE)
2. DOORS AND FRAMES IN (2) TWO HOURS WALLS SHALL BE 'B' LABEL, 90 MIN. RATED (SEE DOOR SCHEDULE)
3. DOORS AND FRAMES IN (1) ONE HOUR WALLS SHALL BE 'C' LABEL, 45 MIN. RATED (SEE DOOR SCHEDULE)
4. DOORS AND FRAMES IN 30 MIN. WALLS SHALL BE 'D' MIN. RATED (SEE DOOR SCHEDULE)

TWO-WAY COMMUNICATION ENHANCEMENT SYSTEM

(FFPC) Provide proof of compliance with NFPA 1, Chapter 11/ Section 11.0 "Two-Way Radio Communication Enhancement Systems". Proof of compliance shall include an affidavit prepared by the Owner, Owner's Authorized Representative, or the General Contractor, stating that a Two-Way Radio Communications Enhancement System has been installed in the building in accordance with NFPA 72. Such affidavit shall be prepared in a form acceptable to the City of Miami Fire Prevention Bureau, and shall be submitted prior to the final fire inspection. All documentation and final fire inspection(s) must be approved before the issuance of a TCO/CO.

FIRE EXTINGUISHER LEGEND, TABLE 906.3 (1)

OCCUPANCY	MIN. RATING	AREA / UNIT OF RATING, TRAVEL DIST.
MACH. & ELEC LOW	2-A	3,000 SF / 75 FT
PUBLIC AREAS MOD.	2-A	1,500 SF / 75 FT

FIRE EXTINGUISHER CALCS, CLASS A, SPRK BLDG

ASSEMBLY GROUP A-3, GYMNASIUM

CLASSIFICATION OF HAZARD CONTENTS NFPA 101-30 LIGHT HAZARD MODERATE OCCUPANCY

FIRE EXTINGUISHER SIZE AND PLACEMENT FOR CLASS 'A' HAZARDS

MIN. RATED SINGLE EXTINGUISHER 2-A
MAX. FLOOR AREA PER UNIT 3,000 SF
MAX. TRAVEL DIST. TO EXTINGUISHER 75 FT.

TOTAL F.E. REQUIRED 14,875 SF / 3000 = 5 F.E.

LIGHT HAZARD AREAS - MIN. ONE (1) EXTINGUISHER PROVIDED FLAMMABLE STORAGE
FOR OTHER AREAS F.E. CALCS SEE LIFE SAFETY PLAN CALCS.

EXIT CALCULATIONS

ALL SPACES SHALL BE PROTECTED WITH AN AUTOMATIC FIRE SPRINKLER SYSTEM

STAIR #1 = 56' CLEAR WIDTH / 0.3 = 186 PERSONS
STAIR #2 = 44' CLEAR WIDTH / 0.3 = 146 PERSONS
OTHER COMPONENTS = WIDTH / 0.2

STAIR DOOR CLEARANCE / SIGNAGE

36" DOOR WIDTH
N OF OCCUPANTS = 34" CLEAR WIDTH / 0.2" = 170 PERSONS

PROVIDE SIGNAGE PER F.B.C. 1009.6.4

FIRE RATING ASSEMBLY LEGEND

ASSEMBLY	FIRE RATING REQ'D	CONCRETE OR MATERIAL TYPE	MIN. DIMENSION OR THICKNESS	TESTING REFERENCE AND RATING
COLUMNS	3 HRS	"CARBONATE" CONC	12"	TABLE 709.2.4
FLOOR ASSEMBLY	2 HRS	"CARBONATE" CONC	5"	TABLE 709.2.2
ROOF ASSEMBLY	1 HRS	"CARBONATE" CONC	5"	TABLE 709.2.1.1
BEAMS	3 HRS	"CARBONATE" CONC	16" X 8"	TABLE 709.2.3C

TRAVEL DISTANCE, TABLE 1016.2

OCCUPANCY A-3
MAX. TRAVEL DISTANCE TO EXIT (FT) = 200 FT. SPRINKLERED
MAX. COMMON PATH OF TRAVEL SHALL NOT EXCEED 75 FEET

TRAVEL DISTANCE, DEAD END LENGTH, EXIT AND MEANS OF EGRESS WIDTH

OCCUPANCY	MAX. TRAVEL DIST. TO EXIT (FT.)		MAX. DEAD END CORRIDOR LENGTH (FT.)		EGRESS WIDTH PER PERSON SERVED (IN.)		MIN. CORRIDOR ASILE WIDTH (IN.)	MIN. CLEAR OP'NG EXIT DOORS (IN.)	MIN. STAIR WIDTH (IN.)
	UNSPRK	SPRK	TABLE 1016.2	TABLE 1016.4	LEVEL	STAIRS			
GROUP A-3	200	250	20	20	0.2	0.3	44"	32"	44"

FIRE ALARM AND DETECTION SYSTEMS / OCCUPANCY A-3

AN APPROVED FIRE ALARM AND OCCUPANT NOTIFICATION SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH F.B.C. 903.2.1.3 AND NFPA 72. AND AN AUTOMATIC SMOKE DETECTION SYSTEM IS REQUIRED.

MAXIMUM TRAVEL DISTANCE AS PER FFPC A7.6

USER GROUP	LOCATION (SPRINKLED)
BUSINESS FFPC TABLE A-76	MAXIMUM COMMON PATH: 100' MAXIMUM DEAD END: 50' MAXIMUM TRAVEL DIS: 300'
HOTEL & DORMITORIES FFPC TABLE A-76	MAXIMUM COMMON PATH: 50' MAXIMUM DEAD END: 50' MAXIMUM TRAVEL DIS: 325'
PARKING STRUCTURE ENCLOSED FFPC TABLE A-76	MAXIMUM COMMON PATH: 50' MAXIMUM DEAD END: 50' MAXIMUM TRAVEL DIS: 200'
ASSEMBLY FFPC TABLE A-76	MAXIMUM COMMON PATH: 75' MAXIMUM DEAD END: 20' MAXIMUM TRAVEL DIS: 250'
MERCANTILE FFPC TABLE A-76	MAXIMUM COMMON PATH: 100' MAXIMUM DEAD END: 50' MAXIMUM TRAVEL DIS: 250'

STRUCTURAL FIRE RESISTANCE REQUIREMENTS FOR TYPE I-A CONSTRUCTION - FULLY SPRINKLED

PRIMARY STRUCTURAL FRAME	MINIMAL FIRE RESISTANCE	CODE REFERENCE
1. SUPPORTING ONE ROOF	2 HOURS	2 HOURS
2. SUPPORTING ONE FLOOR	2 HOURS	2 HOURS
3. SUPPORTING MORE THAN ONE FLOOR OR ROOF	2 HOURS	2 HOURS
FLOOR CONSTRUCTION AND SECONDARY MEMBERS	2 HOURS	2 HOURS
ROOF CONSTRUCTION AND SECONDARY MEMBERS	1 HOURS	1 HOURS

A0 LIFE SAFETY PLAN - GENERAL NOTES

SCALE: NTS

MEANS OF EGRESS 101-47

Table 6.1.14.4.1(b) Required Separation of Occupancies (hours)¹ Part 2

Occupancy	Apartment Buildings	Board & Care	Board & Care, Small	Board & Care, Large	Mercantile, Mail	Mercantile, Retail	Business	Industrial, General Purpose	Industrial, Special Purpose	Industrial, High Hazard	Storage, Low & Ordinary Hazard	Storage, High Hazard
Apartment Buildings	2	2	2	2	2	2	2	2	2	2	2	2
Board & Care	2	2	2	2	2	2	2	2	2	2	2	2
Board & Care, Small	2	2	2	2	2	2	2	2	2	2	2	2
Board & Care, Large	2	2	2	2	2	2	2	2	2	2	2	2
Mercantile, Mail	2	2	2	2	2	2	2	2	2	2	2	2
Mercantile, Retail	2	2	2	2	2	2	2	2	2	2	2	2
Business	2	2	2	2	2	2	2	2	2	2	2	2
Industrial, General Purpose	2	2	2	2	2	2	2	2	2	2	2	2
Industrial, Special Purpose	2	2	2	2	2	2	2	2	2	2	2	2
Industrial, High Hazard	2	2	2	2	2	2	2	2	2	2	2	2
Storage, Low & Ordinary Hazard	2	2	2	2	2	2	2	2	2	2	2	2
Storage, High Hazard	2	2	2	2	2	2	2	2	2	2	2	2

NP: Not permitted.
Minimum Fire Resistance Rating: The fire resistance rating is permitted to be reduced by 1 hour, but in no case to less than 1 hour, where the building is protected throughout by an approved automatic sprinkler system in accordance with 9.7.1.1(1) and supervised in accordance with 9.7.2.
*The 1-hour reduction due to the presence of sprinklers in accordance with the single-dagger footnote is not permitted.
*Where the building is two stories or less in height and the total building square footage is less than 10,000 square feet, no separation is required.

2012 Edition

2012 Edition

101-394 LIFE SAFETY CODE

Table A.10.2.2 Interior Finish Classification Limitations

Occupancy	Exits	Exit Access Corridors	Other Spaces
Assembly - New >500 occupant load	A I or II	A or B I or II	A or B NA A, B, or C
>500 occupant load	I or II	A or B I or II	A or B NA A, B, or C
Assembly - Existing >500 occupant load	A I or II	A or B I or II	A or B A, B, or C A or B, C on low partitions
Educational - New	A I or II	A I or II	A A, B, or C A, B, or C
Educational - Existing	A I or II	A I or II	A A, B, or C A, B, or C
Day-Care Centers - New	A I or II	A I or II	A A, B, or C A, B, or C
Day-Care Centers - Existing	A I or II	A I or II	A A, B, or C A, B, or C
Day-Care Homes - New	A I or II	A, B, or C I or II	A A, B, or C A, B, or C
Day-Care Homes - Existing	A I or II	A I or II	A

Handwritten signature and date: 1.16.15

STATE OF FLORIDA
HELIO MELAN ARCHITECT
REGISTRATION #20000663

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KIMTOWN HOTEL
PALOMAR
SOUTH BEACH
1750 Alton Road, Miami Beach, FL 33139

FINVARB GROUP
1005 Kane Concourse, Suite 201, Bay Harbor Island, FL 33154

NOTES:
1 - ALL EGRESS DOORS WITH 2" MAX ELEVATION. TYPICAL
2 - THERE IS NO OPEN TO SKY WITHIN BUILDING FOOTPRINT.

NOTE: TRASH PICK UP SHALL BE COORDINATED ON DAY OF PICK UP. DUMPSTER IS NOT PLACED IN THE ALLEY RIGHT OF WAY. ROLLING DUMPSTER SHALL BE DESIGNED WITH TRUCK AND RETURNED TO TRASH STORAGE AFTER TRASH PICK UP.

PLUMBING FIXTURE CALCULATION - POOL DECK FLOOR - FBC, TABLE 403.6

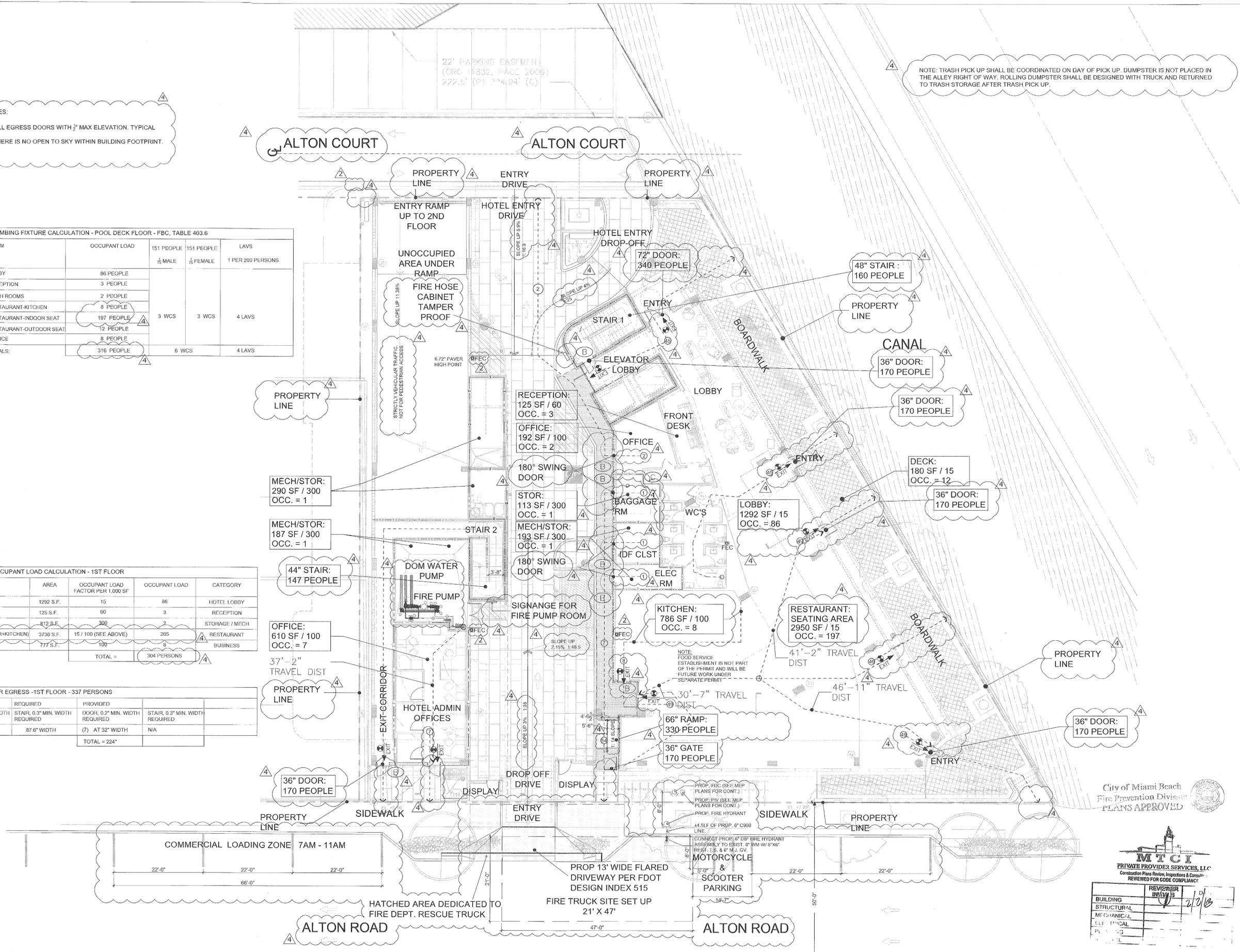
ROOM	OCCUPANT LOAD	151 PEOPLE 1/2 MALE	151 PEOPLE 1/2 FEMALE	LAVS 1 PER 200 PERSONS
LOBBY	86 PEOPLE			
RECEPTION	3 PEOPLE			
MECH ROOMS	2 PEOPLE			
RESTAURANT-KITCHEN	8 PEOPLE			
RESTAURANT-INDOOR SEAT	197 PEOPLE	3 WCS	3 WCS	4 LAVS
RESTAURANT-OUTDOOR SEAT	12 PEOPLE			
OFFICE	8 PEOPLE			
TOTALS:	316 PEOPLE	6 WCS		4 LAVS

LIFE SAFETY OCCUPANT LOAD CALCULATION - 1ST FLOOR

ROOM	AREA	OCCUPANT LOAD FACTOR PER 1,000 SF	OCCUPANT LOAD	CATEGORY
LOBBY	1292 S.F.	15	86	HOTEL LOBBY
RECEPTION	125 S.F.	60	3	RECEPTION
MECH/STOR ROOMS	812 S.F.	300	2	STORAGE / MECH
RESTAURANT (INDOOR+KITCHEN)	3736 S.F.	15 / 100 (SEE ABOVE)	205	RESTAURANT
OFFICES	717 S.F.	100	8	BUSINESS
TOTAL =			304 PERSONS	

DOOR AND STAIR EGRESS - 1ST FLOOR - 337 PERSONS

REQUIRED	REQUIRED	PROVIDED	STAIR, 0.3" MIN. WIDTH REQUIRED
DOOR, 0.2" MIN. WIDTH REQUIRED	STAIR, 0.3" MIN. WIDTH REQUIRED	DOOR, 0.2" MIN. WIDTH REQUIRED	STAIR, 0.3" MIN. WIDTH REQUIRED
58.4" WIDTH	87.6" WIDTH	(7) AT 32" WIDTH	N/A
		TOTAL = 224"	



City of Miami Beach
Fire Prevention Division
PLANS APPROVED

MTCI
PRIVATE PROVIDER SERVICES, LLC
Consulting Plans Review, Inspections & Compliance
RENEWED FOR CODE COMPLIANCE

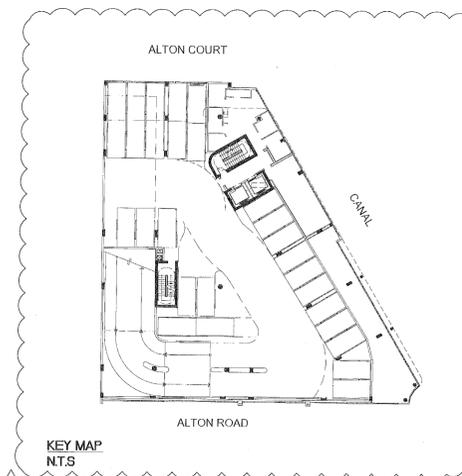
REVISION	DATE
1	2/10/15

NO.	DESCRIPTION	DATE
1	PERMIT SET	02.28.17
2	REV. 2	05.31.17
3	BLDG. MTCI COMMENTS	08.01.17
4	REV. 4	11.22.17

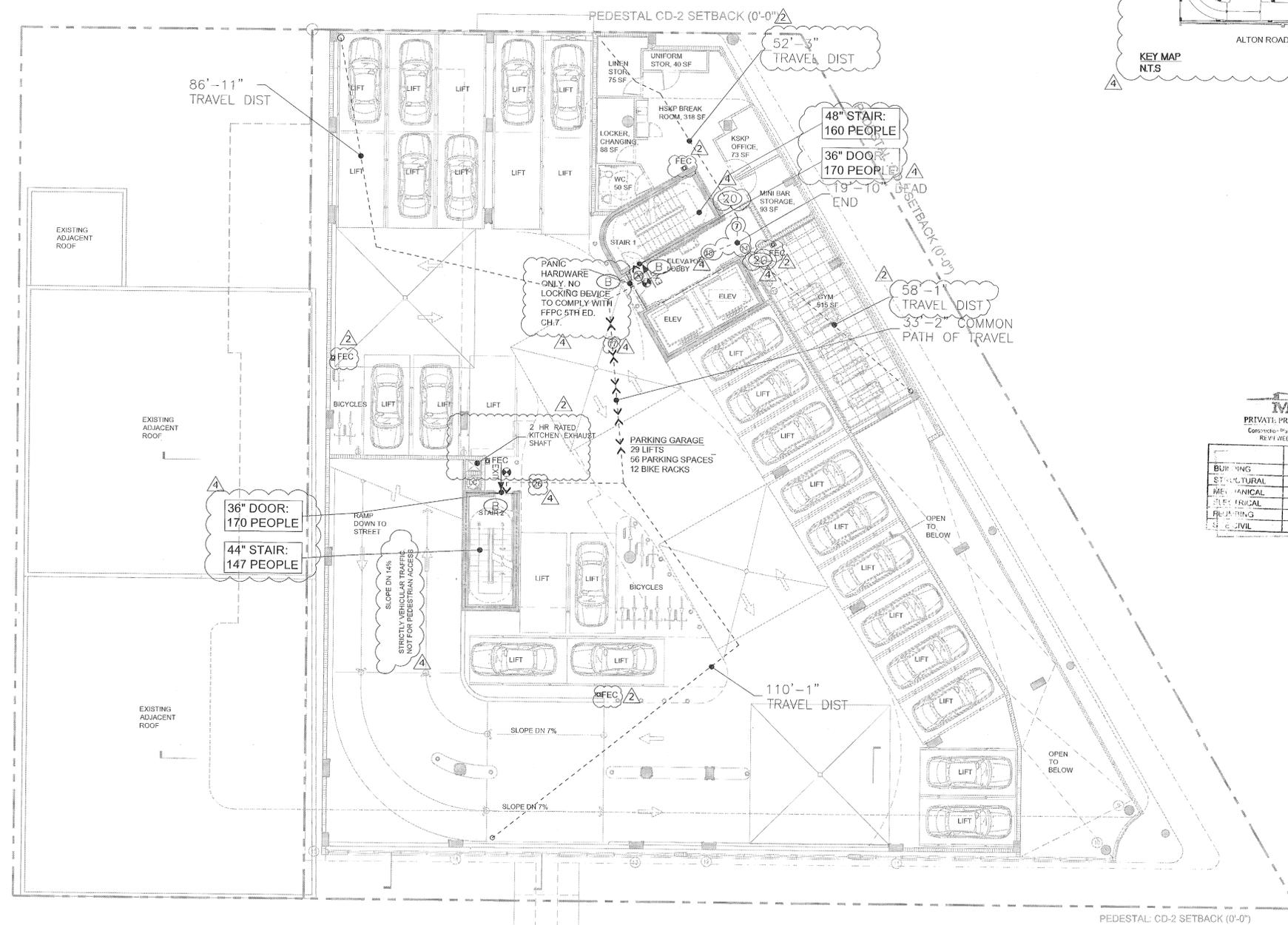
PROJECT NO. 1613
DATE: 02.28.17
SHEET INDEX:
SCALE: As Noted
SHEET NO.

Heidi Miller
11.22.17

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DRAWINGS ARE NOT TO BE SCALED.



NOTES:
1 - ALL EGRESS DOORS WITH 1/2" MAX ELEVATION. TYPICAL
2 - THERE IS NO OPEN TO SKY WITHIN BUILDING FOOTPRINT



LIFE SAFETY OCCUPANT LOAD CALCULATION - 3RD-4TH-5TH FLOORS - FBC, TABLE 1004.12

ROOM	FLOOR AREA	OCCUPANT LOAD FACTOR PER 1000 SF	OCCUPANT LOAD	CATEGORY
PARKING (GARAGE)	9,836 SF.	300 GROSS	33	GARAGE
BUS/HEKP ROOMS	644 SF.	100 GROSS	7	BUSINESS
GYM ROOM	515 SF.	50 GROSS	11	ASSEMBLY
TOTAL -			51 PERSONS	

DOOR AND STAIR EGRESS - 2ND FLOOR - 74 PERSONS

REQUIRED	REQUIRED	PROVIDED	STAIR, 0.3' MIN. WIDTH REQUIRED
DOOR, 0.2' MIN. WIDTH REQUIRED	STAIR, 0.3' MIN. WIDTH REQUIRED	DOOR, 0.2' MIN. WIDTH REQUIRED	STAIR, 0.3' MIN. WIDTH REQUIRED
14.8' WIDTH	22.2' WIDTH	(2) AT 32' WIDTH	(2) AT 44' WIDTH
		TOTAL -	74 PERSONS

MTCI
PRIVATE PROVIDER SERVICES, LLC
Contractor Plans Review - Performance Consulting
REVIEWED FOR CODE COMPLIANCE

REVISION	DATE
1	11/22/17

KIMPTON HOTEL
PALOMAR
SOUTH BEACH
1750 Alton Road, Miami Beach, FL 33139
FINVARB GROUP
1005 Kane Concourse, Suite 201, Bay Harbor Islands, FL 33154

No.	DESCRIPTION	DATE
	PERMIT SET	02.28.17
REV. 2		05.31.17
REV. 4		11.22.17

City of Miami Beach
Fire Prevention Division
PLANS APPROVED

PROJECT NO: 1613
DATE: 02.28.17
SHEET INDEX:
SCALE: As Noted
SHEET NO: