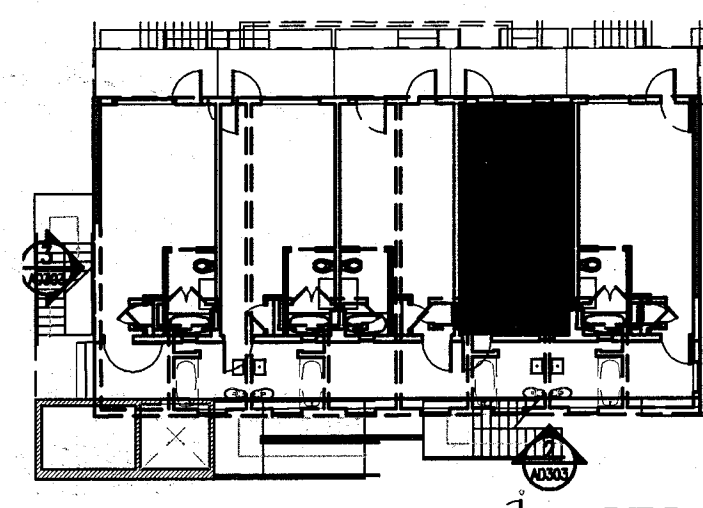


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## SEA

Jonathan Cardello  
Lic. # AR9339

Architecture Interiors Planning

One Biscayne Tower  
Suite 1670  
Two South  
Biscayne Boulevard  
Miami, FL 33131  
T. 305.482.8700  
F. 305.482.8770  
[www.addinc.com](http://www.addinc.com)  
Lic. # AA26001507

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Boston Miami

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ISSUE DATE:	FEBRUARY 18, 201
SCALE:	VARIE

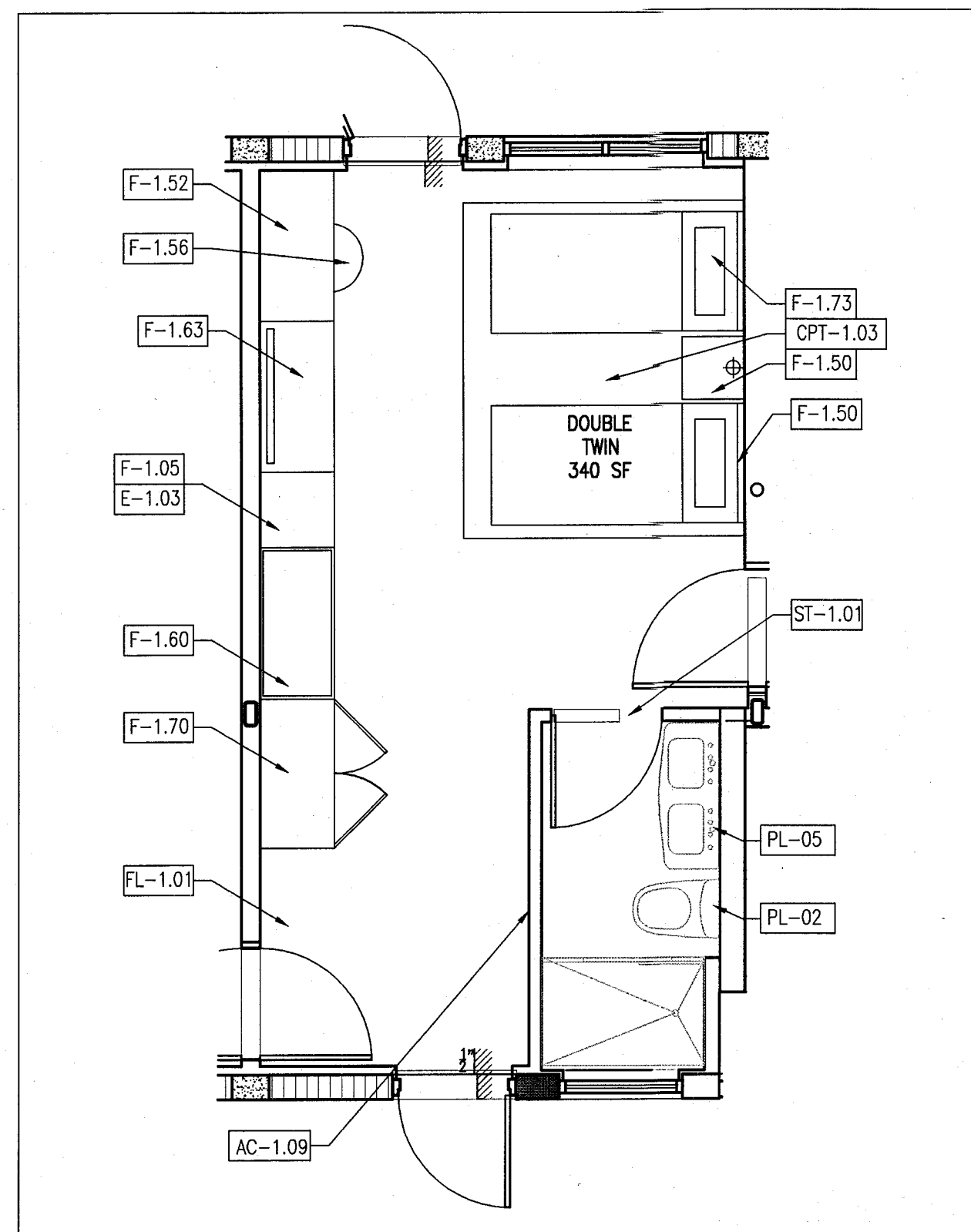
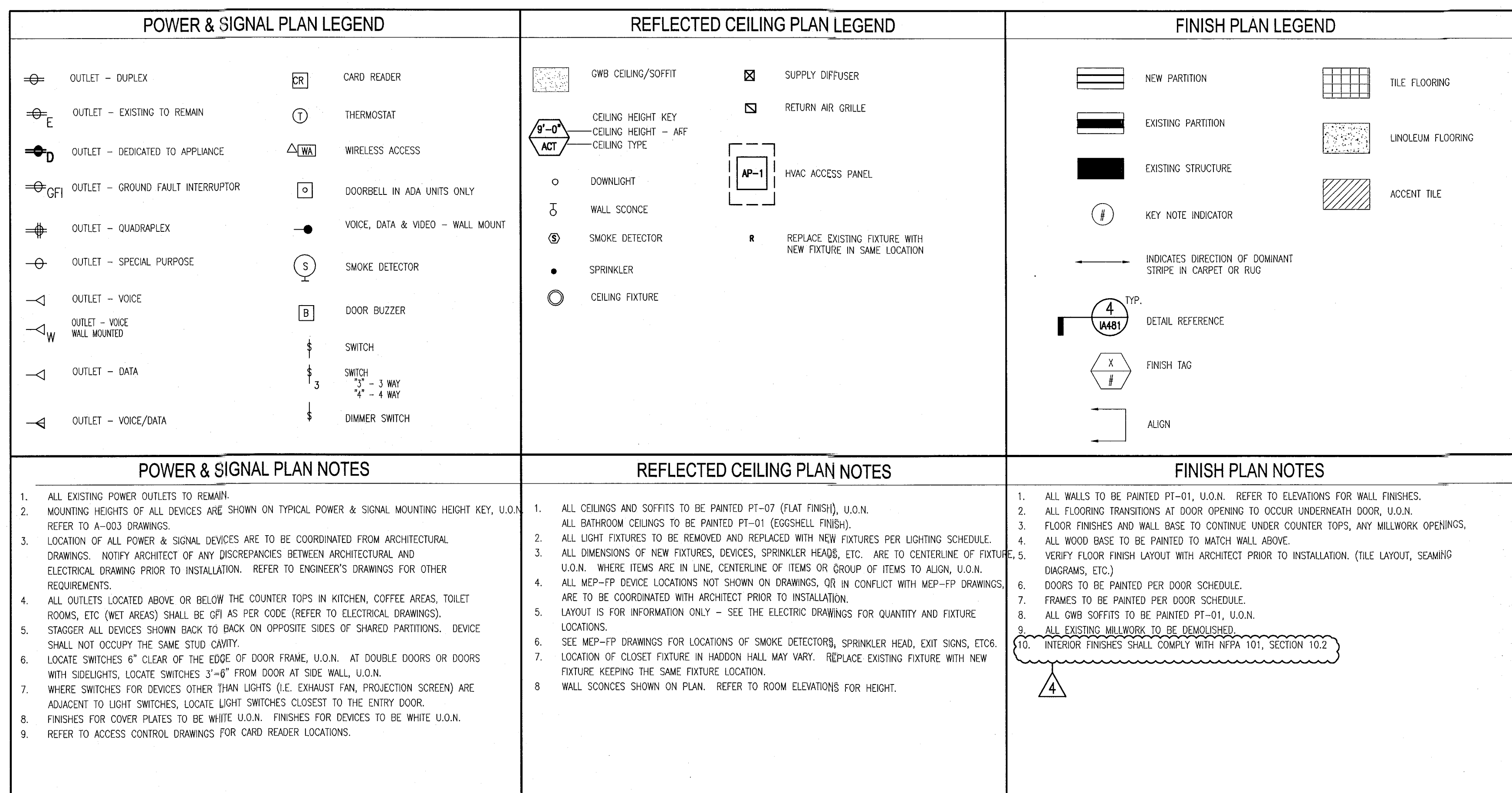
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TYPE C3

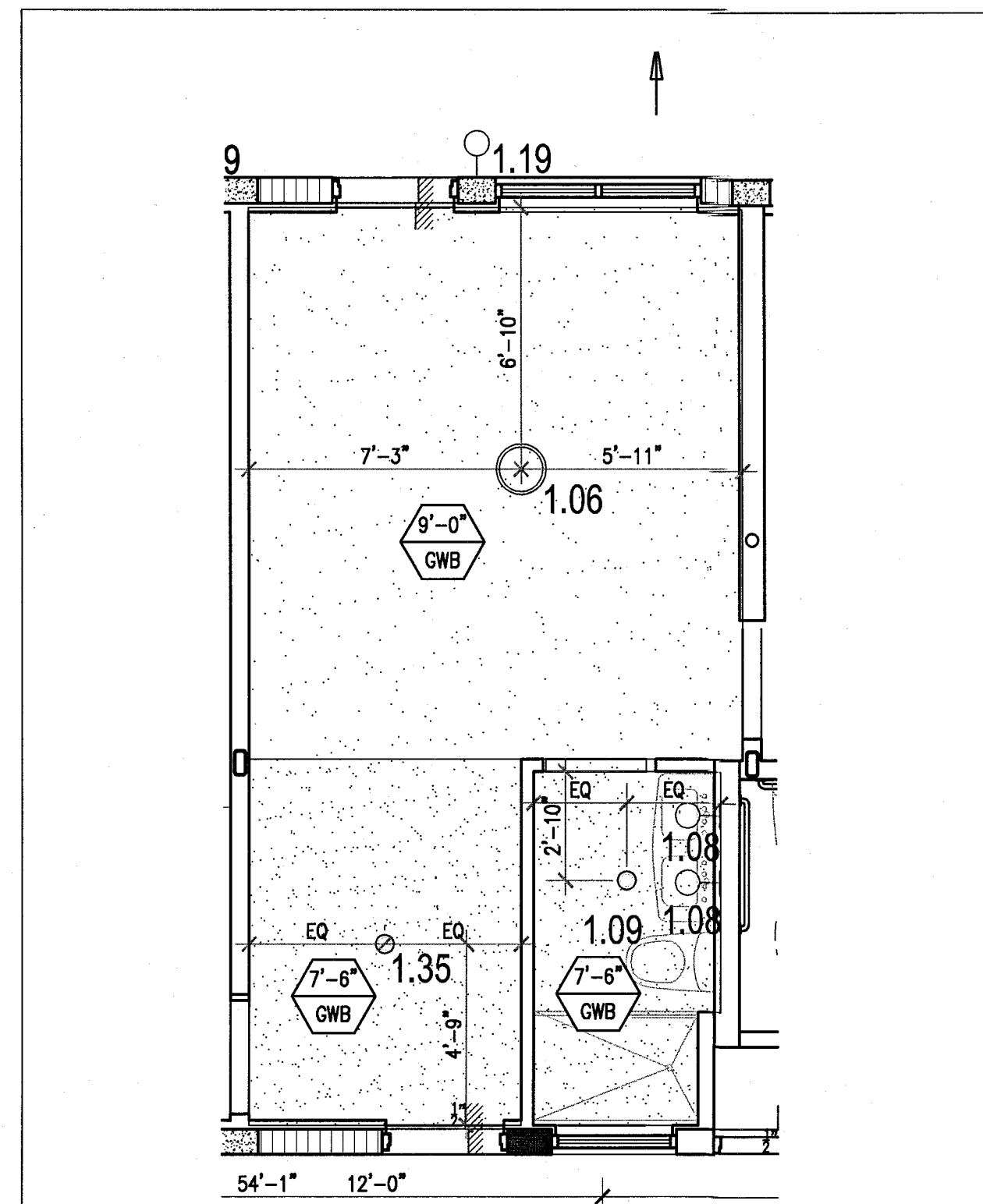
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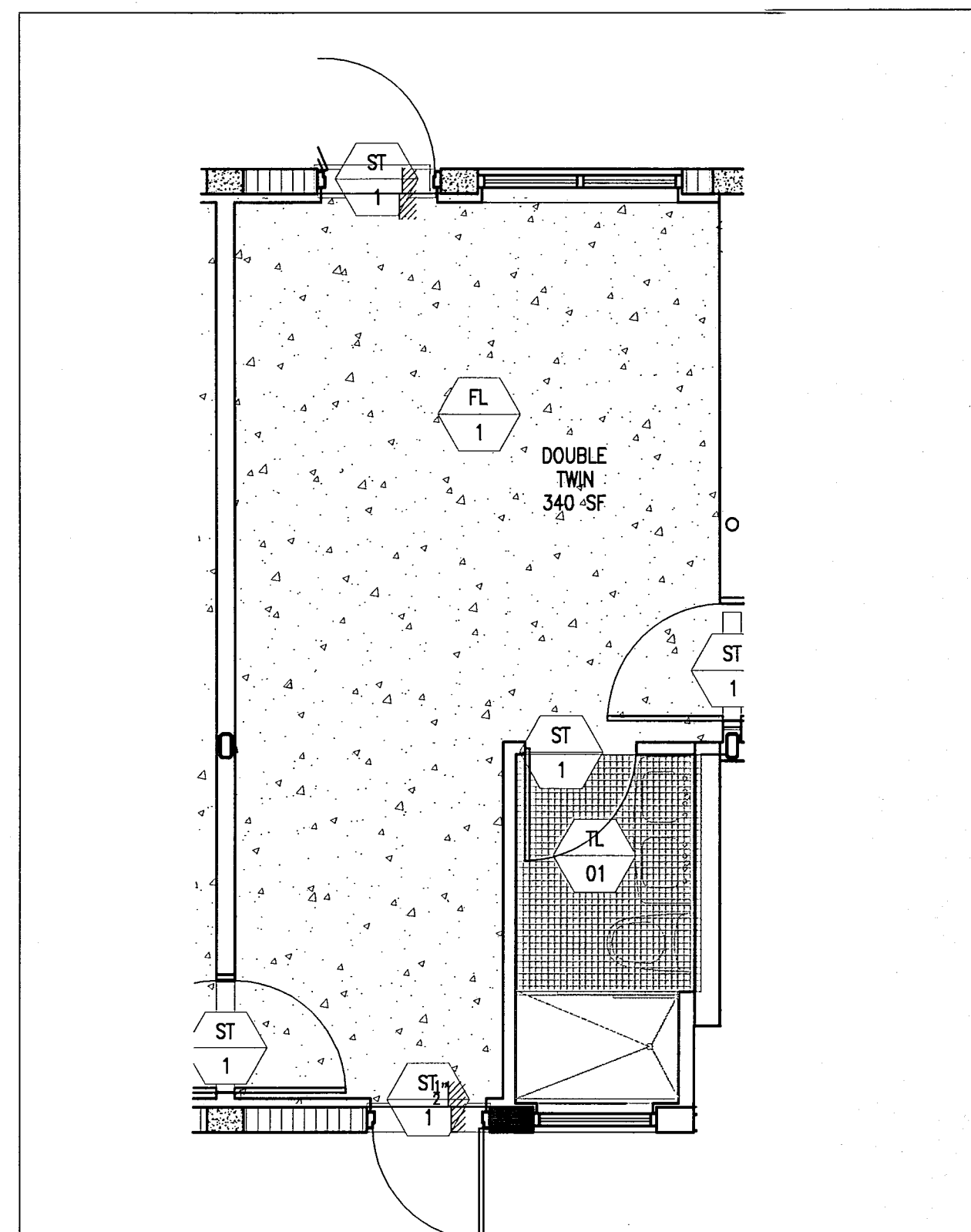
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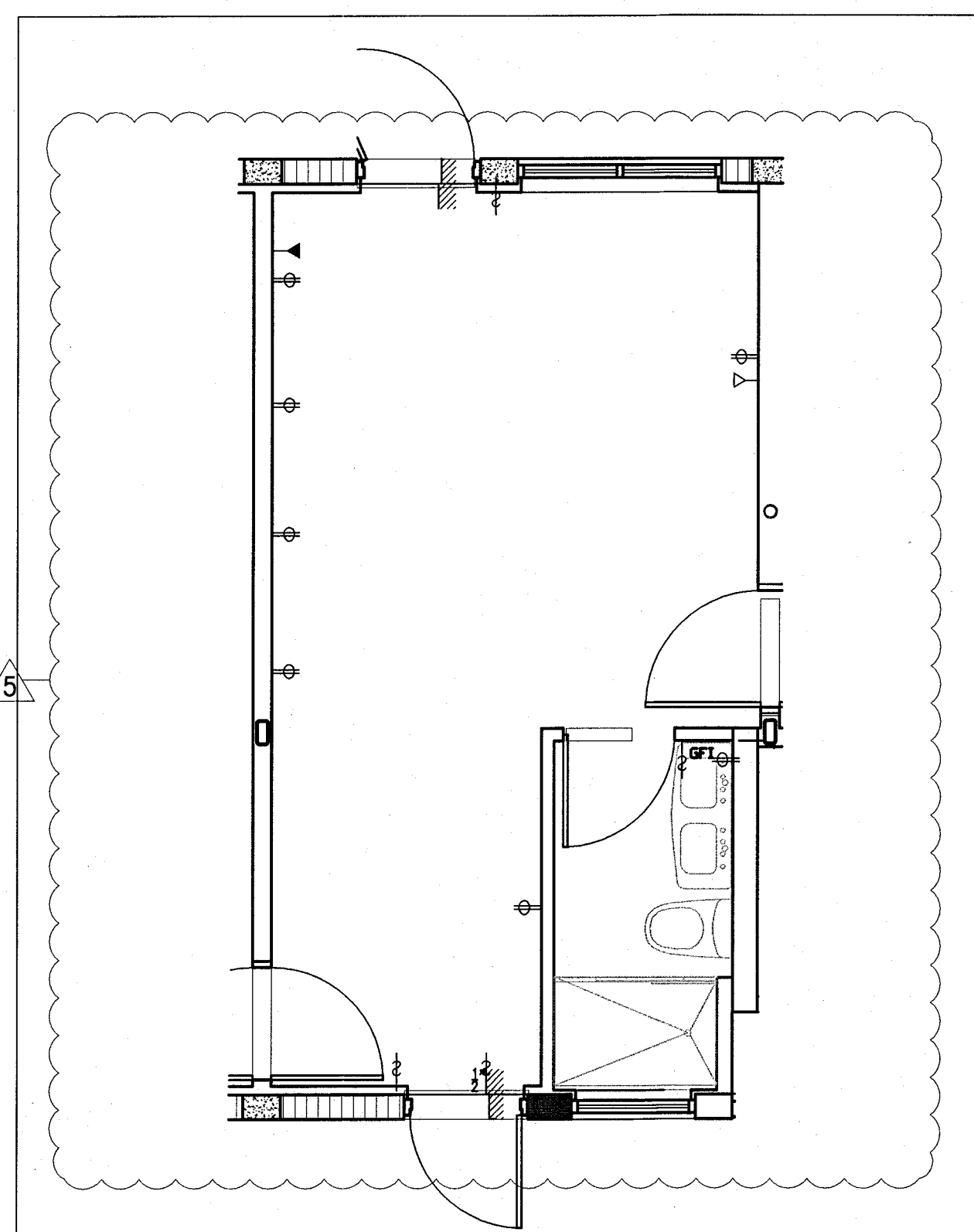
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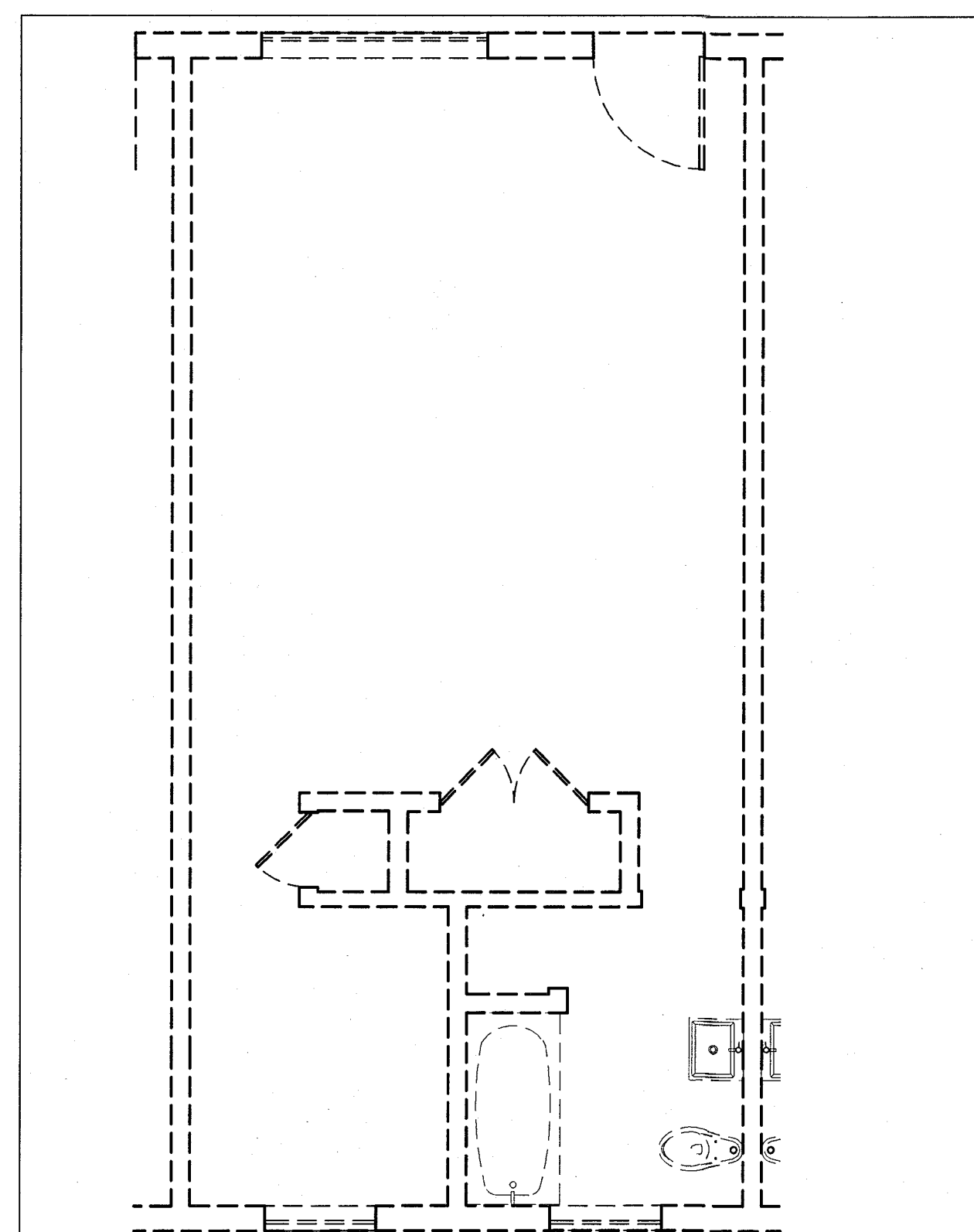
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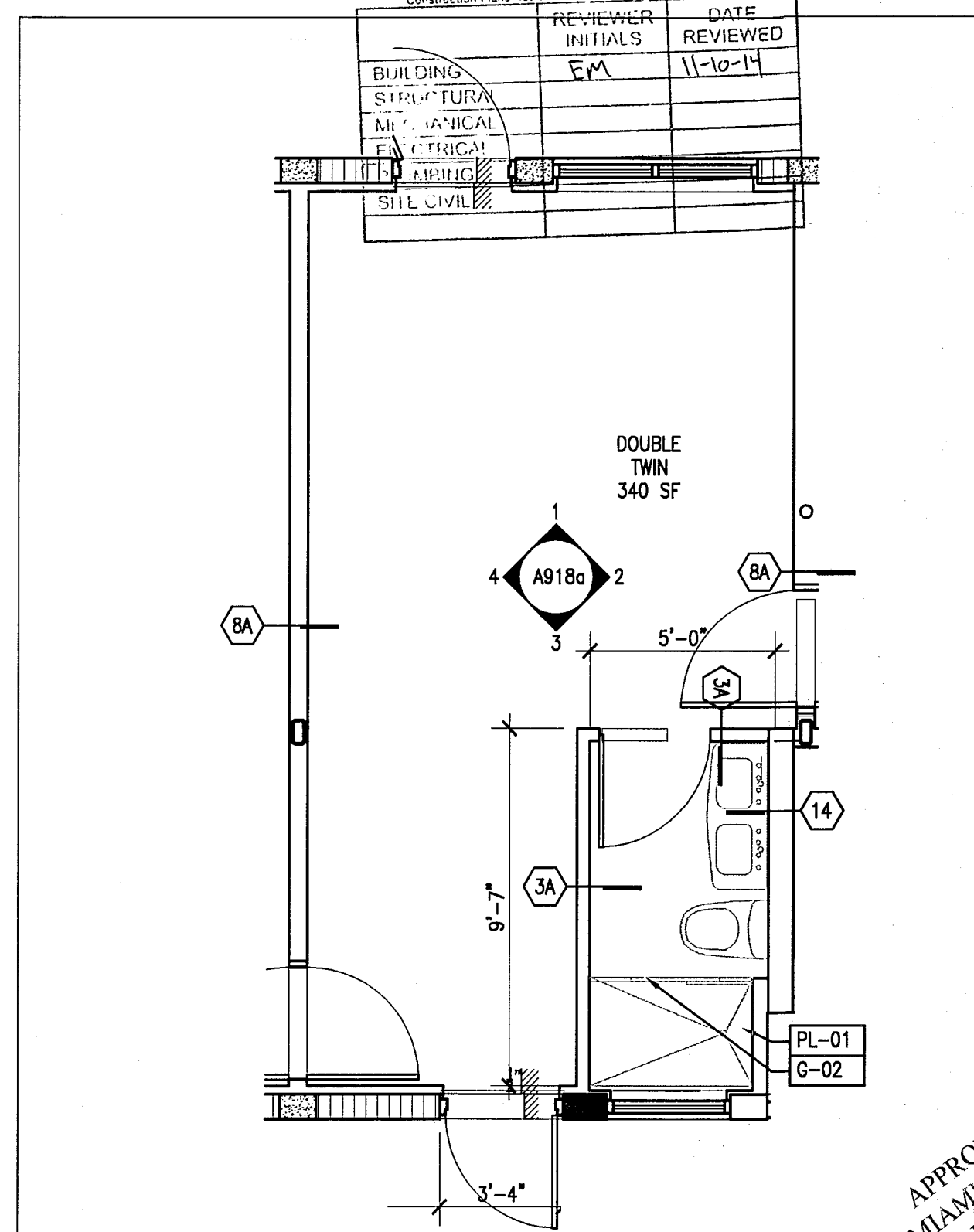
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SCALE: 1/4" = 1'-0"



2 TYPE C3 DEMO PLAN - REF. UNIT C103  
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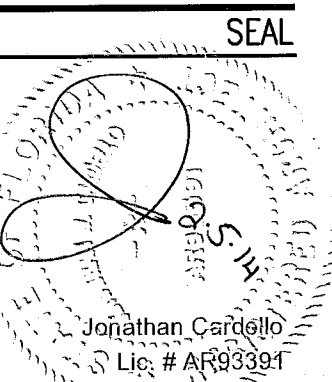
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APPROVED  
MIAMI BEACH  
FIRE DEPARTMENT

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One Biscayne Tower  
Suite 1670  
Two South  
Biscayne Boulevard  
Miami, FL 33131  
T. 305.482.8700  
F. 305.482.8770  
www.addinc.com  
Lic. # AA26001507

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ISSUE DATE: JANUARY 24, 2014

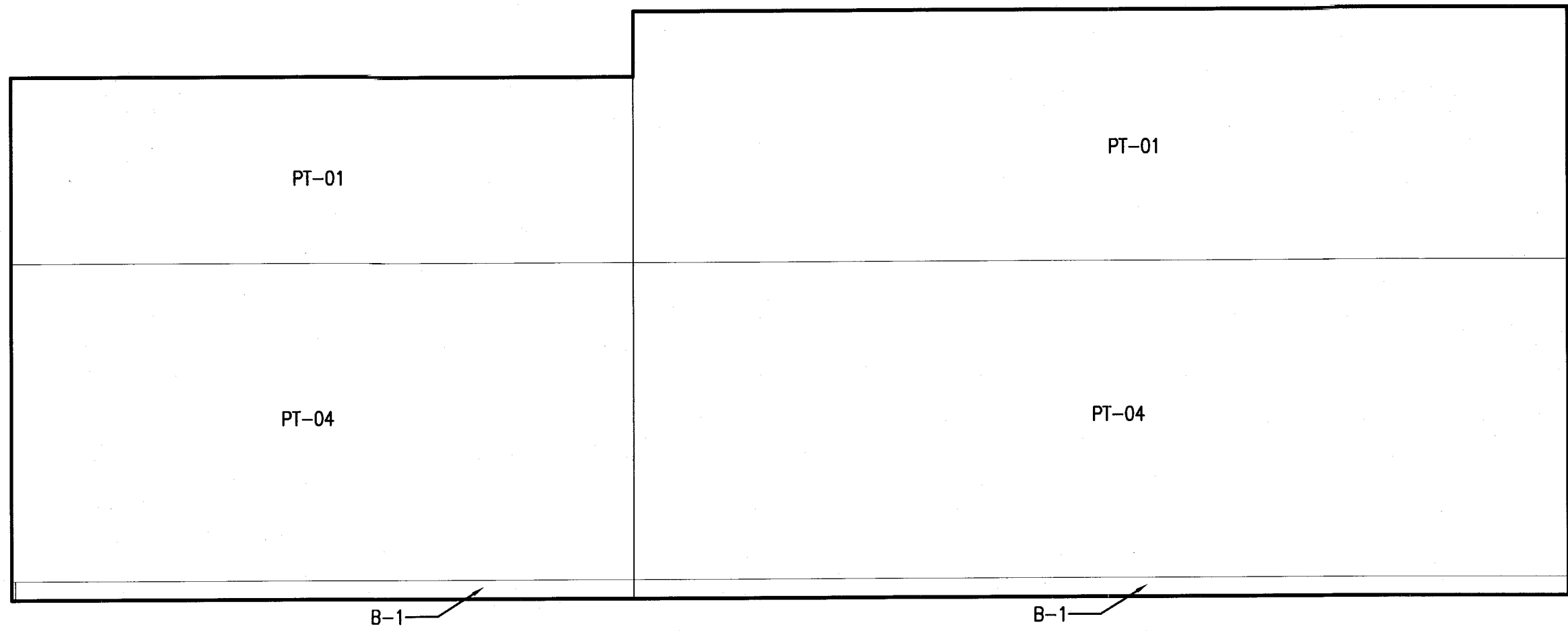
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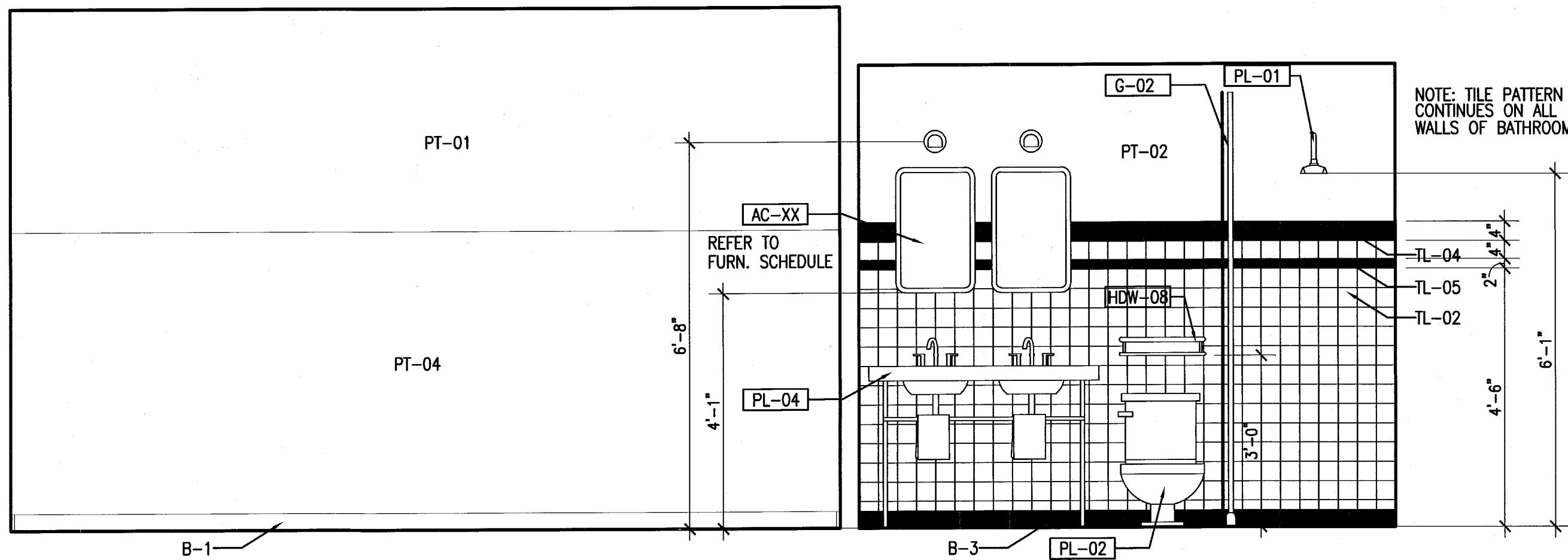
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ELEVATIONS -  
TYPE C3

SHEET NUMBER

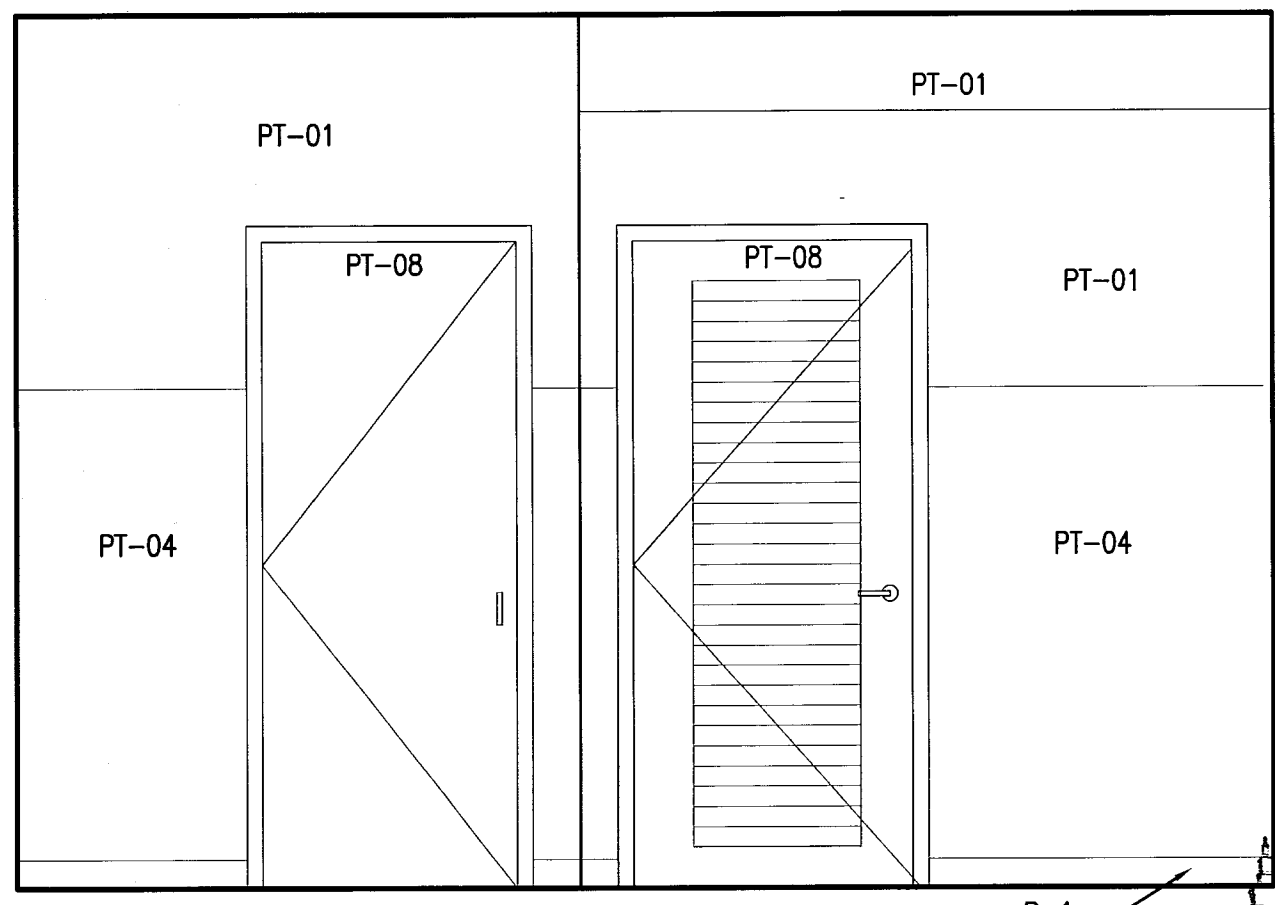
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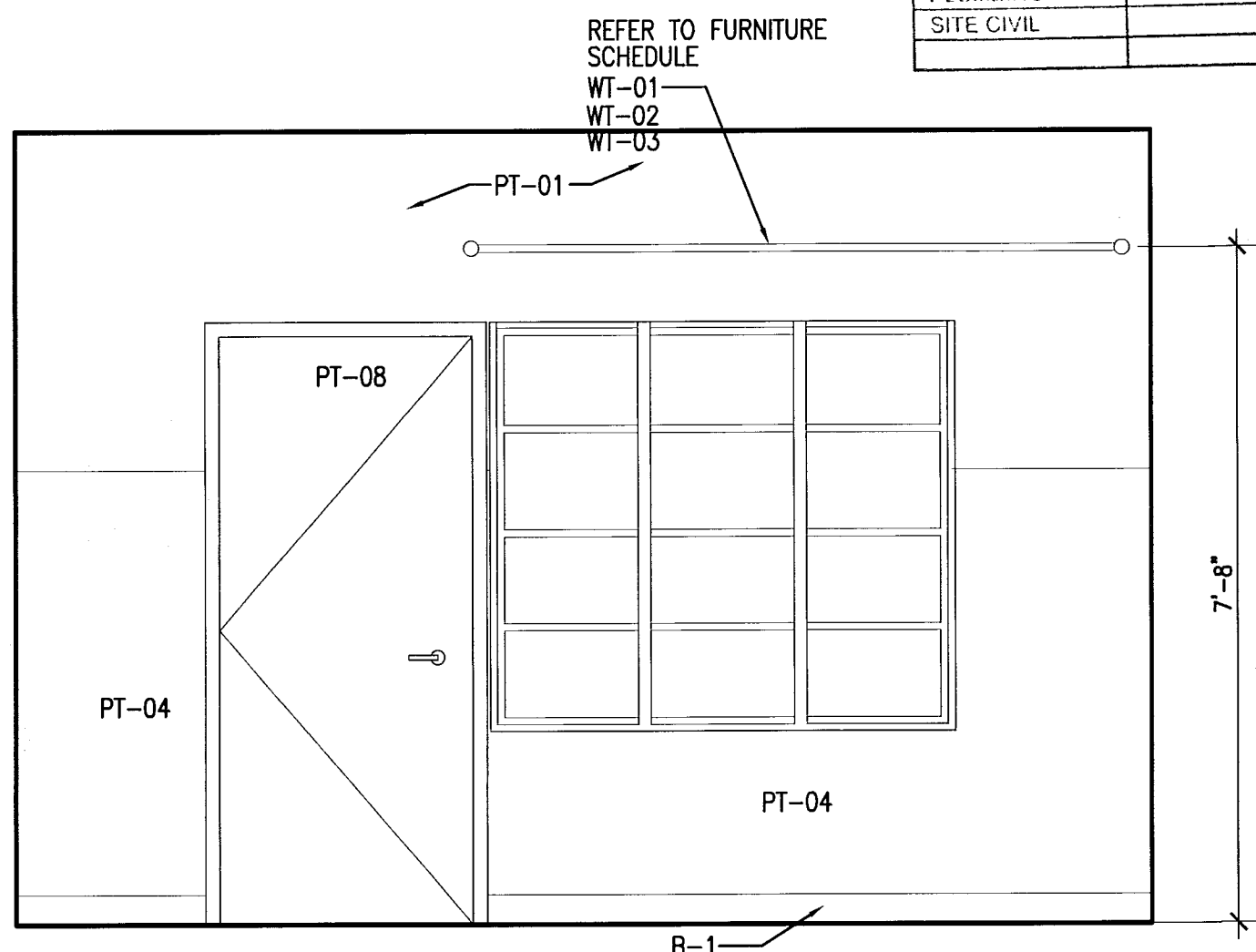


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SCALE: 1/2" = 1'-0"



3 TYPE C3 UNIT C103 - ELEVATION SOUTH  
SCALE: 1/2" = 1'-0"

REVIEWER	INITIALS	DATE REVIEWED
BUILDING	EM	11-10-14
STRUCTURAL		
MECHANICAL		
ELECTRICAL		
PLUMBING		
SITE CIVIL		



1 TYPE C3 UNIT C103 - ELEVATION NORTH  
SCALE: 1/2" = 1'-0"

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MIAMI BEACH  
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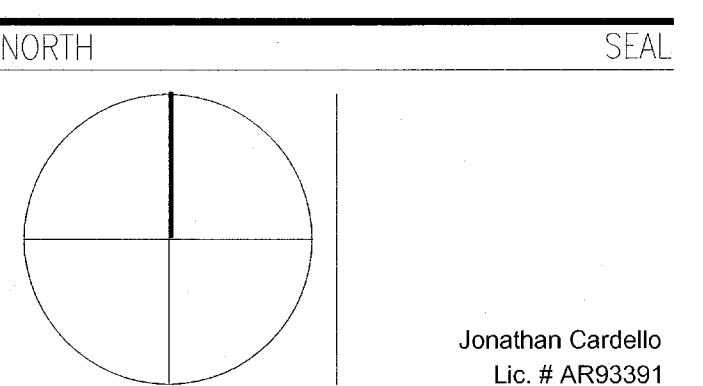


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1500 COLLINS AVE  
MIAMI BEACH, FL

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REVISIONS		
NO.	DESCRIPTION	ISSUE DATE
1	PROGRESS TO 100% CD	2/7/14
2	PERMIT REVIEW COMMENTS	3/14/14
3	POOL SUITES WALLS	4/4/14

PERMIT SET



ADD Inc Architecture Interiors Planning

One Biscayne Tower  
Suite 1670  
Two South  
Biscayne Boulevard  
Miami, FL 33131  
T. 305.482.8700  
F. 305.482.8770  
www.addinc.com  
Lic. # AA26001507

JOB NUMBER: 13036.00

CHECKED BY:

ISSUE DATE: JANUARY 24, 2014

SCALE: 3/32" = 1'-0"

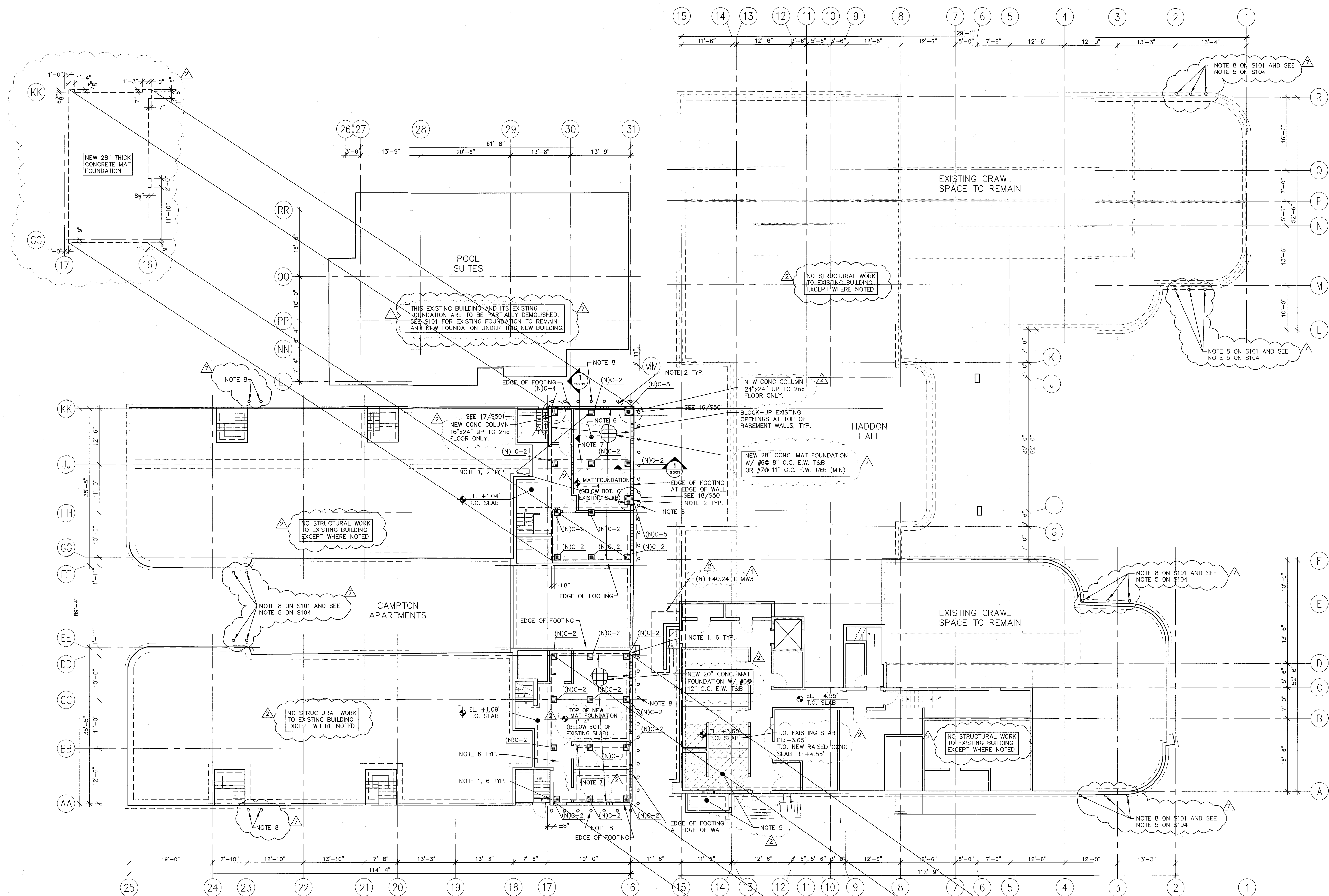
SHEET TITLE

BASEMENT  
FOUNDATION PLAN

SHEET NUMBER

S100

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1 BASEMENT FOUNDATION PLAN  
SCALE: 3/32" = 1'-0"

HELICAL PILE NOTES:

ALL HELICAL PILES SHOWN ARE HELICAL PILE SYSTEM INCLUDING 24" WIDE X 12" LONG MINIMUM BRACKETS BY MANUFACTURER RATED FOR 24 KIPS AXIAL COMPRESSION AND 8 KIPS AXIAL TENSION ALLOWABLE CAPACITY. HELICAL PILE MANUFACTURER TO PROVIDE DRAWINGS AND CALCULATIONS SIGNED AND SEALED BY A PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF FLORIDA FOR ALL HELICAL PILE SYSTEM USED ON THIS PROJECT.

ALL PILE CAP HAVE W/0.0.4. F<sub>u</sub> = 6,000 PSI @ 28 DAYS

NOTES:

- GC TO INSTALL NEW HELICAL PILE WITH BRACKETS CAPABLE OF SUSTAINING 24KIPS ALLOWABLE AXIAL COMPRESSION LOAD AT 3'-0" ON CENTER FROM EXTERIOR SIDE OF BASEMENT WALL FOUNDATION AND BRACE EXISTING BASEMENT WALL PRIOR TO CUTTING EXISTING SLAB TO INSTALL NEW FOUNDATION AND NEW COLUMNS.
- GC TO EXCAVATE DOWN TO EXISTING FOUNDATION LEVEL TO BUILD NEW COLUMNS. AFTER INSTALLING NEW HELICAL PILES W/ BRACKETS (HPS) AT EXTERIOR, CUT 8" OF WIDTH FROM EXISTING 24" WIDE X 12" DEEP X CONTINUOUS FOUNDATION UNDER BASEMENT WALLS WHERE SHOWN TO INSTALL NEW HELICAL PILE CAP (HPC) FLUSH WITH INTERIOR FACE OF BASEMENT WALLS. PROVIDE EARTH AND SHORING FLORIDA REGISTERED PROFESSIONAL ENGINEER (TYPICAL).
- NEW C-4 AND C-5 COLUMN FROM NEW FOUNDATION UP TO 2ND FLOOR.
- NEW C-2 COLUMN FROM NEW FOUNDATION UP TO GROUND FLOOR.
- NEW 4" RAISED CONCRETE SLAB-ON-GRADE WITH 6x6 W2.9xW2.9 WWF ON 10 MIL S BARRIER ON COMPACTED, TREATED SUB-SOIL ON TOP OF EXISTING SLAB TO REMAIN.
- NEW CONCRETE SLAB INFILL AT LOCATIONS OF REMOVED SLAB FOR NEW COLUMN AND FOUNDATION INSTALLATION TO MATCH EXISTING BASEMENT CONCRETE SLAB. DOWEL AND EPOXY NEW SLAB INFILL BARS #5 @ 12" O.C. EACH WAY TOP & BOTT MIN. TO SURROUNDING EXISTING SLAB AND WALLS WITH HILTY HIT HY50 ADHESIVE SYSTEM AND 7.5 MINIMUM EMBEDMENT.
- DEMOLISH INTERIOR CMU WALL AND ITS FOUNDATION ONLY AFTER SHORING BASEMENT WALLS AND REMOVING 1ST FLOOR FRAMING TO INSTALL NEW MAT FOUNDATION.
- NEW HELICAL PILE SYSTEM @ 3'-0" ON CENTER WITH BRACKET BY MANUFACTURER RATED FOR 24 KIPS ALLOWABLE AXIAL COMPRESSION LOAD ADDED UNDER EXISTING FOUNDATION TO REINFORCE EXISTING FOUNDATION BEARING CAPACITY.
- ALL ELEVATIONS ARE N.G.V.D. UNLESS OTHERWISE (U.N.O.)

PERMIT SET  
1/24/14

THESE ARE PROGRESS DRAWINGS, THEREFORE THEY ARE ISSUED PRIOR TO COMPLETION OF THE STRUCTURAL DESIGN, AND OTHER DESIGN DISCIPLINES INCLUDING BUT NOT LIMITED TO ARCHITECTURAL OR MECHANICAL DESIGNS, AND AS SUCH, ARE INCOMPLETE BY NATURE FOR THE COMPREHENSIVE SCOPE OF THE PROJECT. ALLOWANCES FOR STRUCTURAL ELEMENTS REQUIRED DUE TO THE COMPLETION AND CROSS-COORDINATION OF ALL OTHER DISCIPLINES SHOULD BE MADE.

ONM  
O'Donnell, Naccarato, Mignogna  
STRUCTURAL ENGINEERS  
321 15TH STREET, SUITE 200  
WEST PALM BEACH, FLORIDA 33411  
(561) 833-7994 FAX (561) 833-8255  
LIC. #0004386  
JOB # 665.073

Structural Drawing Updated 1-14-14  
Based on Architectural Backgrounds Dated 1-9-14



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REVISIONS

NO.	DESCRIPTION	ISSUE DATE
1	PROGRESS TO 100% CD	2/7/14
2	PERMIT REVIEW COMMENTS	3/14/14
3	POOL SUITES WALLS	4/4/14

PERMIT SET

NORTH SEAL

Jonathan Cardello  
Lic. # AR93391

ADD Inc Architecture Interiors Planning

One Biscayne Tower  
Suite 1670  
Two South  
Biscayne Boulevard  
Miami, FL 33133  
T. 305.482.8700  
F. 305.482.8770  
www.addinc.com  
Lic. # AA2601507

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ISSUE DATE: JANUARY 24, 2014

SCALE: 3/32" = 1'-0"

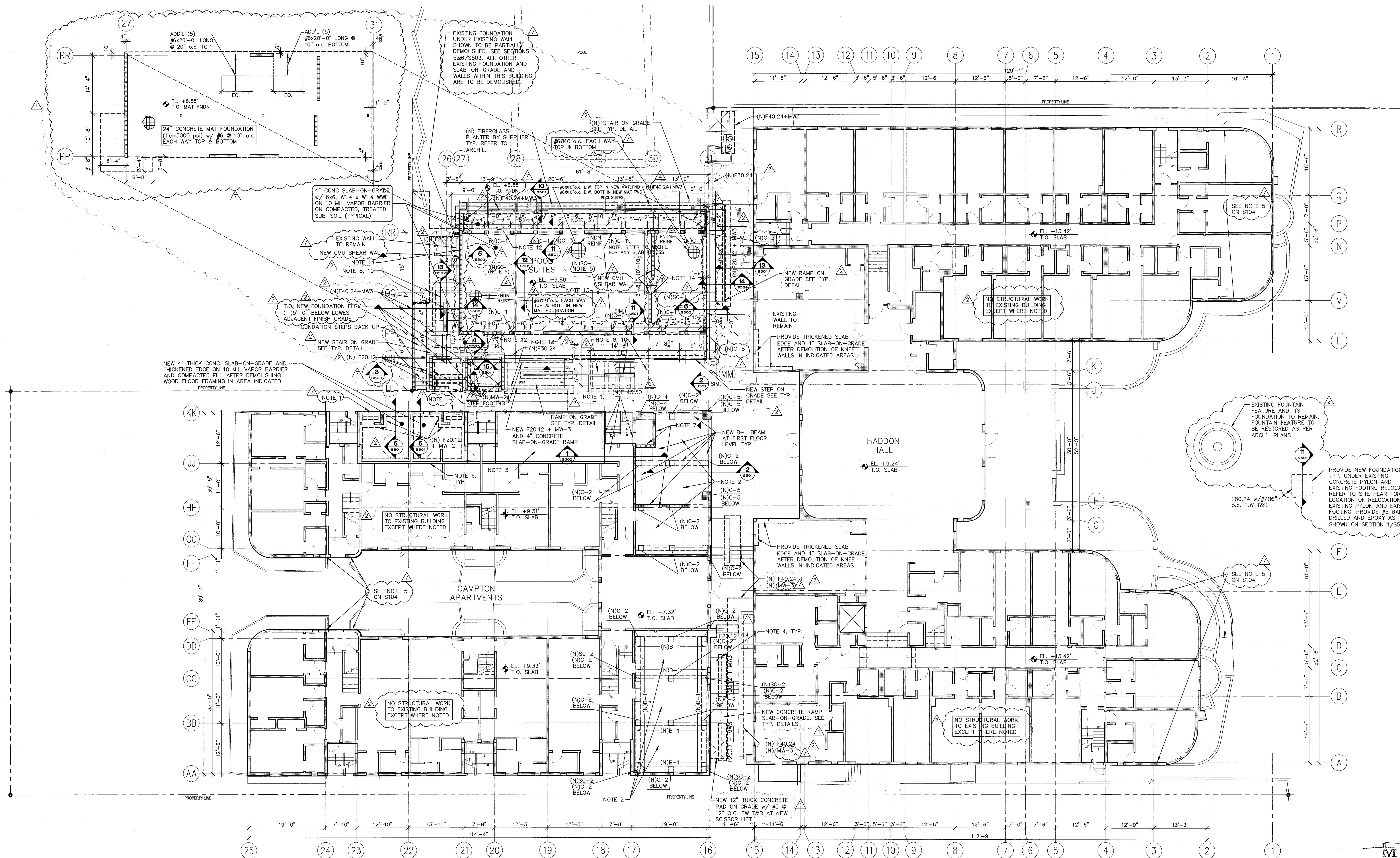
SHEET TITLE

FIRST FLOOR PLAN

SHEET NUMBER

S101

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1 FIRST FLOOR PLAN  
SCALE: 3/32" = 1'-0"

NOTES:

1. NEW OPENING IN EXISTING CMU LOAD BEARING WALL AT NEW DOOR. PROVIDE NEW STEEL DOUBLE CHANNEL PLATE AND BOLT SHORING SYSTEM PRIOR TO CUTTING OPENING. PROVIDE NEW CONCRETE LINTEL BEAM ABOVE NEW OPENING.
2. SHORE EXISTING BASEMENT RETAINING WALLS. THEN, REMOVE EXISTING WOOD FLOOR FRAMING. THEN PROVIDE NEW 6" THICK CONCRETE SLAB WITH #5 @ 12" O.C. E.W. T&B, W/C=0.4, F<sub>c</sub>=6,000 PSI @ 28 DAYS SPANNING BETWEEN NEW CONCRETE BEAMS. CANTILEVER SLAB OUT TO EXISTING BASEMENT WALLS WHERE REQUIRED WITH SAME REINFORCING SPECIFIED. DOWEL TOP AND BOTTOM BARS 6.75" INTO EXISTING WALLS WITH HILTI HIT HY150.
3. ADD NEW (2) 2X10 SP NO. 2 GRADE JOISTS @ 16" O.C. TO REINFORCE EXISTING FLOOR FRAMING UNDER NEW GYM ROOM AREA. PROVIDE (2) SIMPSON HGA10 CONNECTIONS AT EACH END TO EXISTING CMU BEARING WALLS/ BEARING STEM WALLS.
4. INFILL EXISTING BASEMENT WALL SIDEWALL OPENINGS WITH NEW MW-2 WALLS AND EPOXY WITH HILTI HIT HY 150 ADHESIVE SYSTEM WITH 8" MIN. EMBED TO EXISTING FILLED CELLS. IF ADJACENT SURROUNDING CELLS ARE NOT FILLED, GROUT FILL FIRST ROW/COLUMN CELLS ONLY.
5. PROVIDE NEW 12"x12"x1.25" THICK CAP AND BASE PLATE W/ (4) 1/2" X 5" LG H.S. AT ELEVATED SLABS PROVIDE NEW 12"x12"x1" BASE PLATE AT FOUNDATION W/ (4) 1" DIAMETER X 16" LG A307 THREADED BOLT W/ 2"x2"x3/4" PLATE AND DOUBLE NUTS AT END OF BOLTS.
6. EXISTING BEARING WALL/BEARING STEM WALLS TO REMAIN ON TOP OF EXISTING 24" WIDE X 12" THICK FOUNDATION TYPICAL U.N.O.
7. NEW CMU MW-1.
8. 8" THICK STAIR SLAB THICKNESS PLUS RISER W/ #4 @ 16" O.C. E.W. T&B AT STAIR SLAB AND LANDING. HOOK ALL STAIR STAIR SLAB AND LANDING REBAR INTO CONCRETE WALL AND CONCRETE BEAMS. PROVIDE 6" THICK CONCRETE WALLS AT EDGES W/ #4 @ 6" O.C. MID VERTICAL HOOKED INTO STAIR SLAB AND #4 @ 12" O.C. HORIZONTAL.
9. 10" THICK CONCRETE WALL W/ #5 @ 8" O.C. EACH FACE VERTICAL, #4 @ 16" O.C. EACH FACE HORIZONTAL.
10. PRIOR TO CUTTING HOLE IN EXISTING CMU, CUT CMU AT NEW JAMB ONLY FIRST AND PROVIDE NEW C-7 CONCRETE COU FROM FOUNDATION UP TO TOP OF NEW OPENING. THEN PROVIDE INFORMATION AS PER SECTION 2/5503.
11. PROVIDE NEW MW-3 WALLS AT ALL CMU NOT TAGGED ON PLAN. GROUT ALL CELLS SOLID BELOW GRADE.
12. PROVIDE NEW MW-3 TYPICAL ALONG THIS WALL U.N.O. FROM FNDN TO ROOF.
13. PROVIDE NEW 8" CONCRETE SHEARWALL (FNDN TO TOP OF ROOF) W/ #7 @ 6" O.C. VERTICAL E.F. AND #3 @ 8" O.C. HORIZONTAL E.F.
14. PROVIDE NEW MW-3 FOR 6 FEET FROM EACH END OF THIS WALL FROM FNDN TO ROOF AND PROVIDE NEW MW-5 AT BALANCE FROM FNDN TO ROOF.
15. ALL NEW FOUNDATIONS TO BE 1'-6" BELOW FINISHED GRADE UNLESS NOTED OTHERWISE.

Structural Drawing Updated 1-27-14  
Based on Architectural Backgrounds Dated 1-22-14

5-8-14  
FREDERICK CARRIE  
P.E. (00000000)  
REG. #00791

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1/24/14

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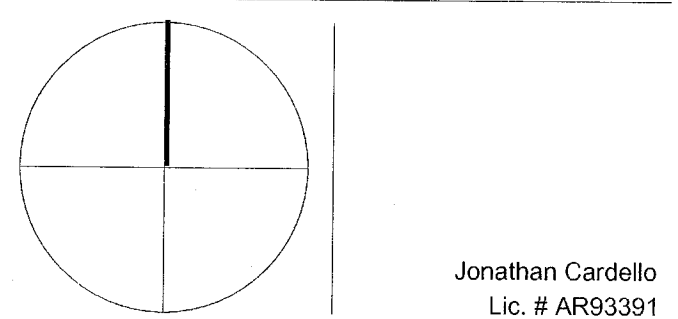
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O'Donnell, Naccarato, Mignogna  
STRUCTURAL ENGINEERS  
321 15TH STREET, SUITE 200  
WEST PALM BEACH, FLORIDA 33411  
(561) 855-1994 FAX (561) 855-8555  
LIC. #0004386  
JOB # 665.073



REVISIONS		
NO.	DESCRIPTION	ISSUE DATE
1	PROGRESS TO 100% CD	2/7/14
2	PERMIT REVIEW COMMENTS	3/14/14
3	POOL SUITES WALLS	4/4/14

PERMIT SET

NORTH SEAL



ADD Inc Architecture Interiors Planning

One Biscayne Tower  
Suite 1670  
Two South  
Biscayne Boulevard  
Miami, FL 33131  
T. 305.482.8700  
F. 305.482.8770  
www.addinc.com  
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ISSUE DATE: JANUARY 24, 2014  
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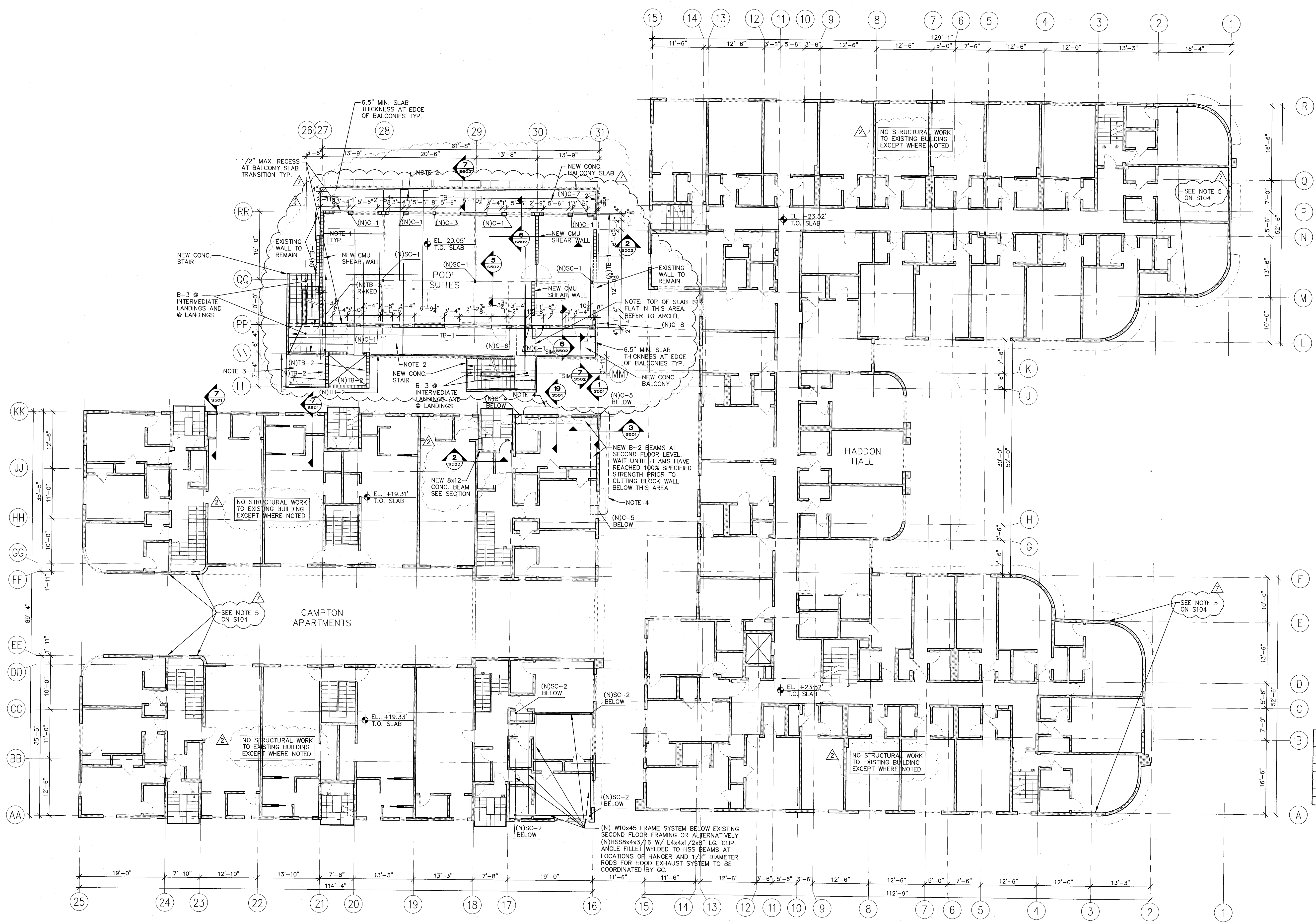
SHEET TITLE

SECOND FLOOR  
FRAMING PLAN

SHEET NUMBER

S102

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1 SECOND FLOOR FRAMING PLAN  
SCALE: 3/32" = 1'-0"

- NOTES:
1. NEW 8" THICK CONCRETE SLAB W/ #5@12" O.C. E.W. T&B. AT ALL BALCONIES, PROVIDE #5@12" O.C. TOP BARS RUNNING NORTH-SOUTH AND #4@8" O.C. TOP BARS RUNNING EAST-WEST AND #4@8" O.C. BOTTOM BARS EACH WAY. EXTEND ALL NORTH-SOUTH #5 TOP BARS OF BALCONIES 17" INTO INTERIOR SLAB. EXTEND BOTTOM BAR 4" INTO INTERIOR SLAB. REFER TO NOTE 2 FOR REINFORCING BAR PROTECTION IN BALCONIES.
  2. REFER TO ARCH. FOR SLOPING AT TOP OF SLAB AT BALCONIES/WALKWAYS TYP. ALL BALCONY AND EXPOSED SLABS SHALL HAVE GALVANIZED REINFORCING BARS AND CONCRETE PROTECTION AS PER CONCRETE STRUCTURAL NOTE 9D ON S401.
  3. NEW 6" THICK CONCRETE SLAB W/ #5 @ 12" O.C. E.W. T&B, WITH 8" THICK x 10" TALL CONCRETE CURB WITH 2#5 AT TOP AND MID.
  4. NEW 6" THICK CONCRETE EYEBROW W/ #4 @ 12" O.C. E.W. T&B.

Structural Drawing Updated 1-27-14  
Based on Architectural Backgrounds Dated 1-22-14



PERMIT SET  
1/24/14

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**ONM**  
O'Donnell, Naccarato, Mignogna & Jackson  
STRUCTURAL ENGINEERS  
201 15TH STREET, SUITE 200  
WEST PALM BEACH, FLORIDA 33411  
(561) 835-9994 FAX (561) 835-8255  
LIC. #0004386  
JOB # 665.073



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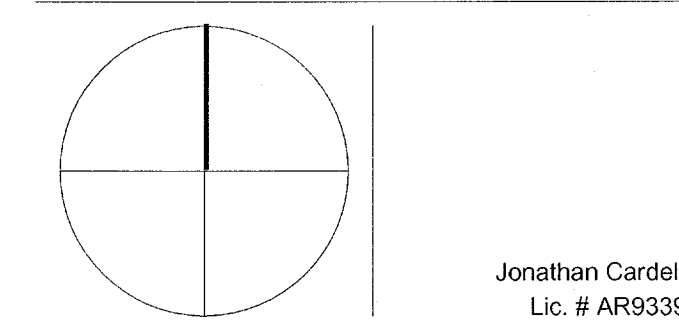
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REVISIONS		
NO.	DESCRIPTION	ISSUE DATE
1	PROGRESS TO 100% CD	2/7/14
2	PERMIT REVIEW COMMENTS	3/14/14
3	POOL SUITES WALLS	4/4/14

PERMIT SET

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One Biscayne Tower  
Suite 1670  
Two South  
Biscayne Boulevard  
Miami, FL 33131  
T. 305.482.8700  
F. 305.482.8770  
www.addinc.com  
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JOB NUMBER: 13036.00

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ISSUE DATE: JANUARY 24, 2014

SCALE: 3/32" = 1'-0"

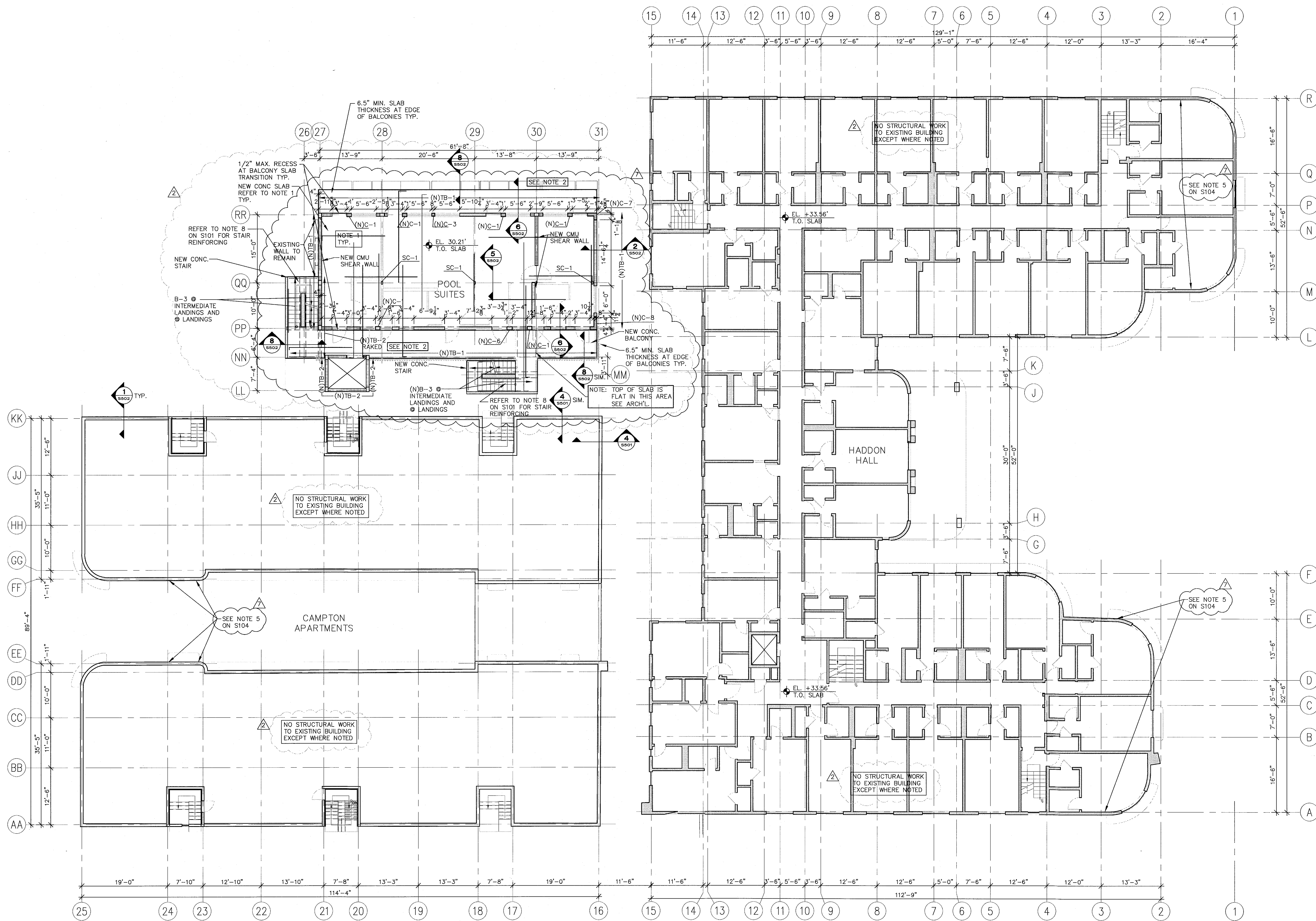
SHEET TITLE

THIRD FLOOR  
FRAMING PLAN

SHEET NUMBER

S103

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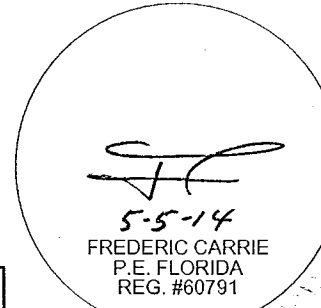


1 THIRD FLOOR FRAMING PLAN  
SCALE: 3/32" = 1'-0"

- NOTES:
1. NEW 8" THICK CONCRETE SLAB W/ #5@12" O.C. E.W. T&B. AT ALL BALCONIES, PROVIDE #5@12" O.C. TOP BARS RUNNING NORTH-SOUTH AND #4@8" O.C. TOP BARS RUNNING EAST-WEST AND #4@8" O.C. BOTTOM BARS EACH WAY. EXTEND ALL NORTH-SOUTH #5 TOP BARS OF BALCONIES 17' INTO INTERIOR SLAB. EXTEND BOTTOM BAR 4' INTO INTERIOR SLAB. REFER TO NOTE 2 FOR REINFORCING BAR PROTECTION IN BALCONIES.
  2. REFER TO ARCH. FOR SLOPING AT TOP OF SLAB AT BALCONIES/WALKWAYS TYP. ALL BALCONY AND EXPOSED SLABS SHALL HAVE GALVANIZED REINFORCING BARS AND CONCRETE PROTECTION AS PER CONCRETE STRUCTURAL NOTE 50 ON S401.

PERMIT SET  
1/24/14

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Structural Drawing Updated 1-27-14  
Based on Architectural Backgrounds Dated 1-22-14



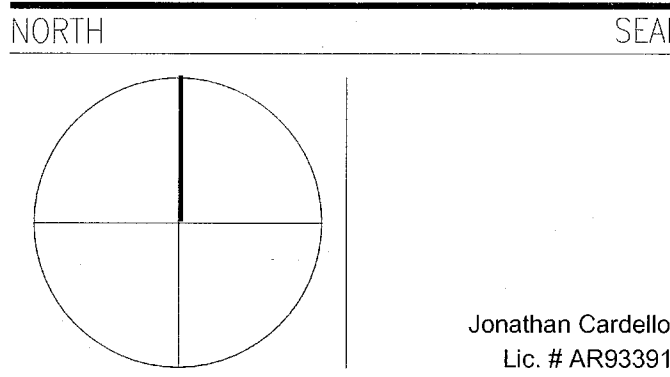
O'Donnell, Naccarato, Mignogna & Jackson  
STRUCTURAL ENGINEERS  
321 15TH STREET, SUITE 200  
WEST PALM BEACH, FLORIDA 33411  
(561) 855-1994 FAX (561) 855-4255

LIC. #0004886  
JOB # 665.073



REVISIONS		
NO.	DESCRIPTION	ISSUE DATE
1	PROGRESS TO 100% CD	2/7/14
2	PERMIT REVIEW COMMENTS	3/14/14
3	POOL SUITES WALLS	4/4/14

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One Biscayne Tower  
Suite 1670  
Two South  
Biscayne Boulevard  
Miami, FL 33131  
T. 305.482.8700  
F. 305.482.8770  
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Boston Miami

JOB NUMBER: 13036.00  
CHECKED BY:  
ISSUE DATE: JANUARY 24, 2014  
SCALE: 3/32" = 1'-0"

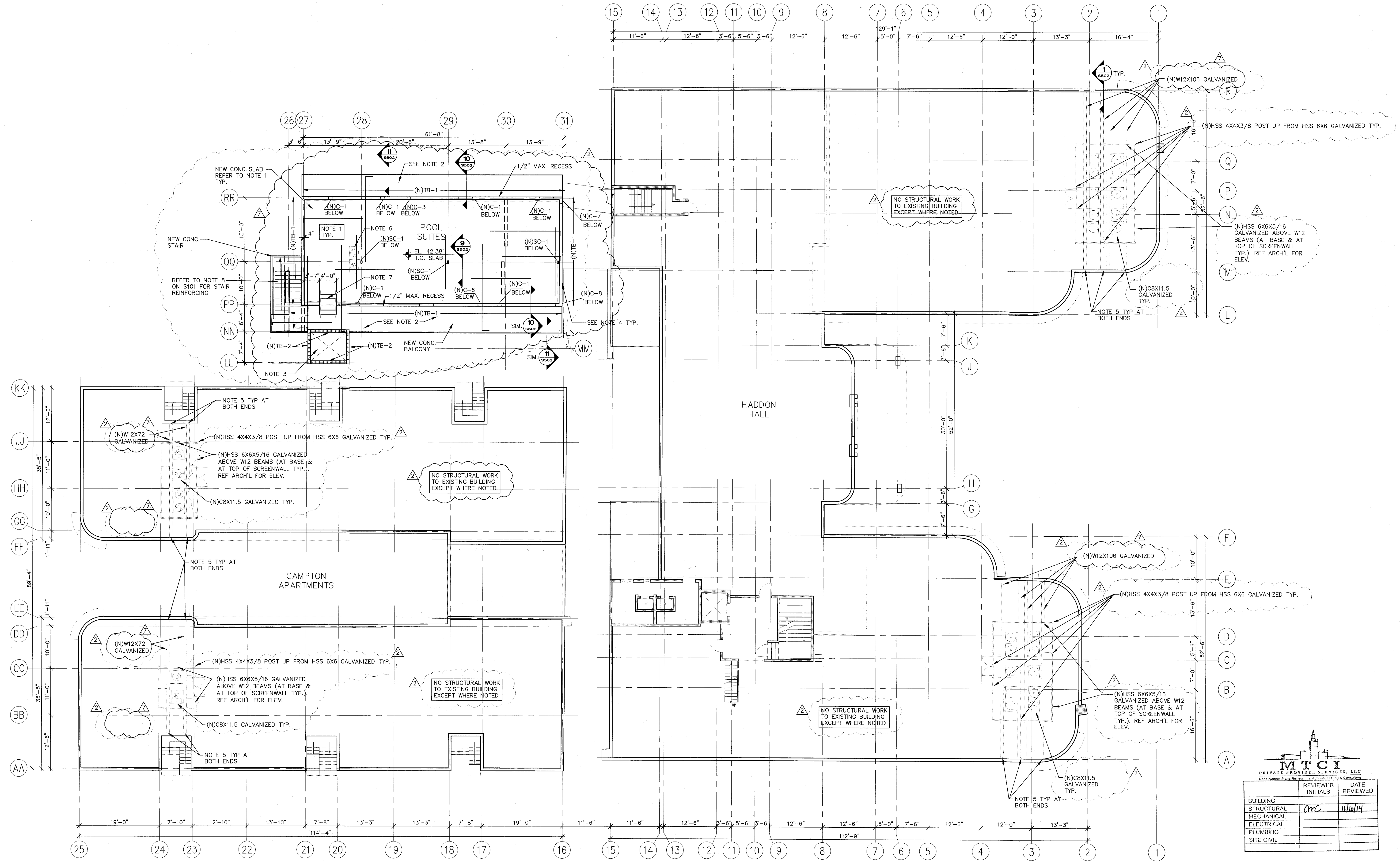
SHEET TITLE

ROOF  
FRAMING PLAN

SHEET NUMBER

S104

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1 ROOF FRAMING PLAN  
SCALE: 3/32" = 1'-0"

- NOTES:
1. NEW 8" THICK CONCRETE SLAB W/ #5@12" O.C. E.W. TAB. AT ALL BALCONIES, PROVIDE #5@12" O.C. TOP BARS RUNNING NORTH-SOUTH AND #4@8" O.C. TOP BARS RUNNING EAST-WEST AND #4@8" O.C. BOTTOM BARS EACH WAY. EXTEND ALL NORTH-SOUTH #7 TOP BARS OF BALCONIES 17" INTO INTERIOR SLAB. EXTEND BOTTOM BAR 4" INTO INTERIOR SLAB. REFER TO NOTE 3 FOR REINFORCING BAR PROTECTION IN BALCONIES.
  2. REFER TO ARCH'L FOR SLOPING AT TOP OF SLAB AT BALCONIES/WALKWAYS. ALL BALCONY AND EXPOSED SLABS SHALL HAVE GALVANIZED REINFORCING BARS AND CONCRETE PROTECTION AS PER CONCRETE STRUCTURAL NOTE 90 ON S401.
  3. NEW 6" THICK CONCRETE SLAB W/ #5 @ 12" O.C. E.W. TAB. AT TOP OF ELEVATOR.
  4. PROVIDE NEW MW-2 PARAPET WITH BB-2 AT TOP TYP.
  5. BREAK EXTERIOR FACE SHELL OF EXISTING CMU AND PROVIDE #5 VERTICAL DOWN TO TOP OF FOUNDATION UNDER EACH W12 BEAMS CONNECTION ANGLES. EMBED NEW #5 VERTICAL BARS 7" INTO EXISTING FOUNDATION WITH HLT HIT HY150 ADHESIVE SYSTEM. GROUT CELLS SOLID AND APPLY STUCCO AS SPECIFIED IN ARCH'L.
  6. NEW ROOF TOP UNIT WITH CURB BY SUPPLIER. PROVIDE AT 1 FOOT FROM EACH END OF EACH RTU (2) L4X4X1/4X12" LG CLIP (8 CLIPS PER RTU) EACH W/ (2) 3/4" DIAM. BOLT SPACED 10" APART W/ HLT HIT HY150 ADHESIVE SYSTEM W/ 6.75" EMBED INTO CONCRETE SLAB. PROVIDE (1) 4" WIDE 14GA METAL STRAP WELDED TO EACH CLIP ANGLES AND WRAPPING AROUND RTU (2 STRAPS PER RTU SIDES, 4 STRAPS TOTAL).
  7. NEW PREFABRICATED METAL STAIR BY SUPPLIER. REFER TO ARCH'L PLANS.

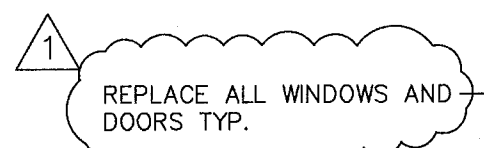
PERMIT SET  
1/24/14

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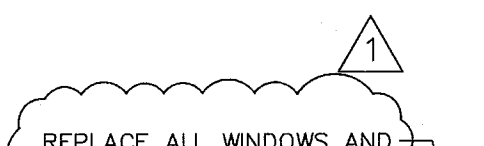
**ONM**  
O'Donnell, Naccorato, Mignogna & Jackson  
STRUCTURAL ENGINEERS  
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WEST PALM BEACH, FLORIDA 33411  
(561) 855-1994 FAX (561) 855-8255  
LIC. #0004386  
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## MIAMI BEACH, FL

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SCALE:  $1/8" = 1'-0"$

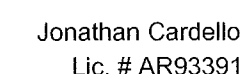


SCALE:  $1/8" = 1'-0"$

+ = ALLOWABLE PRESSURE IN PSI  
 - = ALLOWABLE SUCTION IN PSI  
 Kd = 0.85 INCLUDED  
 EXPOSURE D  
 Vasd = 139 MPH

## PERMIT SET

NORTH SEA



Architecture Interiors Planning

One Biscayne Tower  
Suite 1670  
Two South  
Biscayne Boulevard  
Miami, FL 33131  
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F. 305.482.8770  
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Lic. # AA26001507

Boston Miami

JOB NUMBER: 13036.0

CHECKED BY: \_\_\_\_\_

ISSUE DATE: JANUARY 24, 2015

SCALE:  $1/8" = 1'-0"$

SHEET TITLE

## EXTERIOR ELEVATIONS

SHEET NUMBER

S301

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Structural Drawing Updated 1-27-14  
Based on Architectural Backgrounds Dated 1-22

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1/24/14

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O'Donnell, Naccarato, Mignogna Jackson  
STRUCTURAL ENGINEERS

321 15TH STREET, SUITE 200  
WEST PALM BEACH, FLORIDA 33401  
(561) 835-9994 FAX (561) 835-8255

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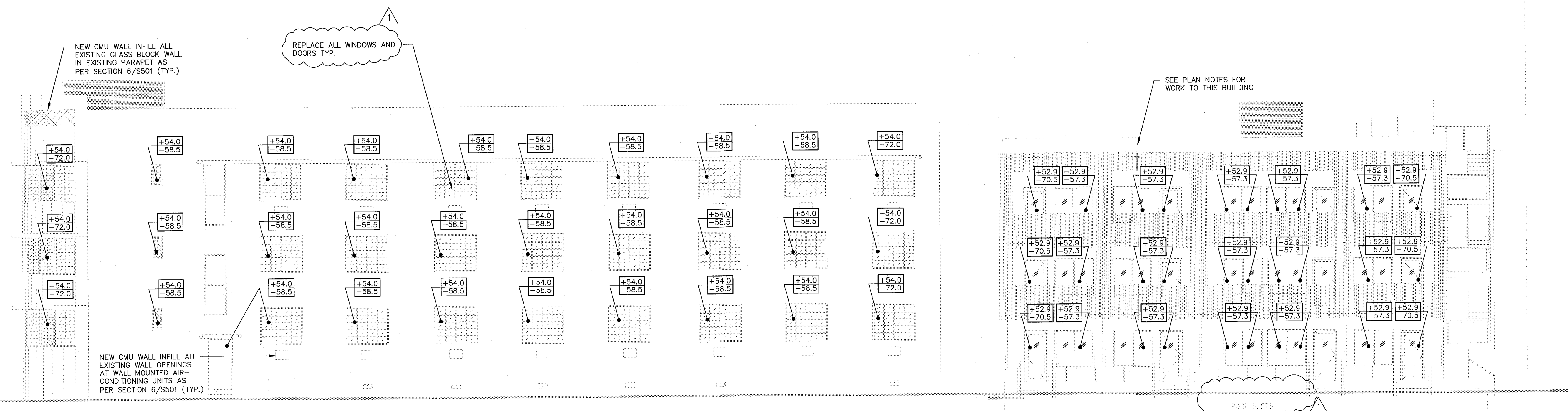
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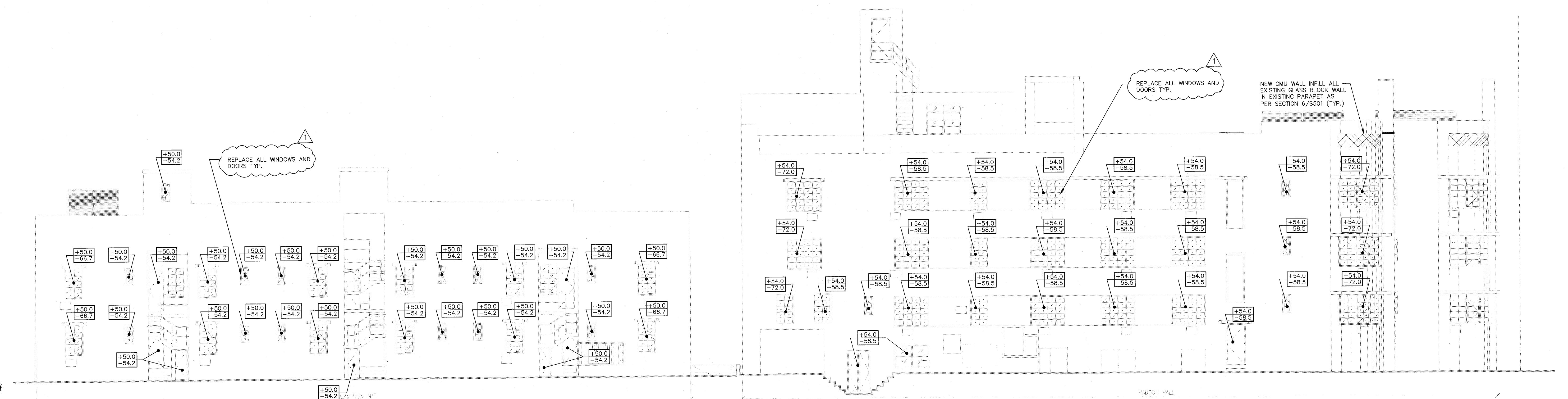
# HADDON HALL 1500 COLLINS AVE MIAMI BEACH, FL

KEYPLAN N.T.S.

REVISIONS		
NO.	DESCRIPTION	ISSUE DATE
1	PROGRESS TO 100% CD	2/7/14
2	PERMIT REVIEW COMMENTS	3/14/14



1 EXTERIOR NORTH HADDON HALL AND POOL SUITES ELEVATION  
SCALE: 1/8" = 1'-0"



2 EXTERIOR SOUTH CAMPTON AND HADDON HALL ELEVATION  
SCALE: 1/8" = 1'-0"



3 EXTERIOR SOUTH POOL SUITES ELEVATION  
SCALE: 1/8" = 1'-0"

+ = ALLOWABLE PRESSURE IN PSF  
- = ALLOWABLE SUCTION IN PSF  
Kd = 0.85 INCLUDED  
EXPOSURE D  
Vasd = 139 MPH

PRIVATE PROPERTY		DATE	
BUILDING	REVIEW	DATE	REVIEW
STRUCTURAL	OK	2/10/14	OK

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1/24/14

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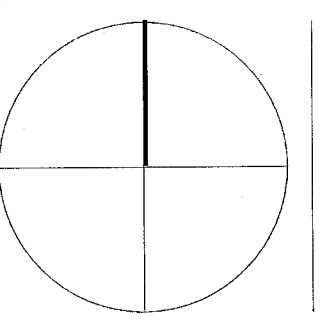
55-156  
FREDERICK DARRIE  
P.E. FLORIDA  
REG. 860791

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STRUCTURAL ENGINEERS  
201 15TH STREET, SUITE 200  
WEST PALM BEACH, FLORIDA 33411  
(561) 855-9994 FAX (561) 855-8255  
LIC. #0004386  
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## PERMIT SET

NORTH SEAL



Jonathan Cardello  
Lic. # AR6939

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One Biscayne Tower  
Suite 1670  
Two South  
Biscayne Boulevard  
Miami, FL 33131  
T. 305.482.8700  
F. 305.482.8770  
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Lic. # AA2001507  
Boston Miami

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SHEET TITLE

EXTERIOR ELEVATIONS

SHEET NUMBER

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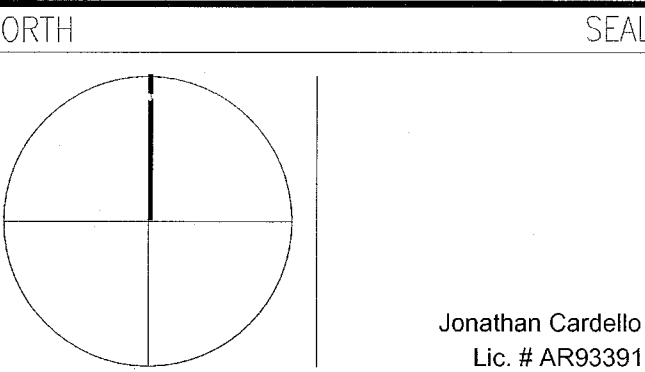


HADDON HALL  
1500 COLLINS AVE  
MIAMI BEACH, FL

KEYPLAN N.T.S.

REVISIONS		
NO.	DESCRIPTION	ISSUE DATE
1	PROGRESS TO 100% CD	2/7/14
2	PERMIT REVIEW COMMENTS	3/14/14

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One Biscayne Tower  
Suite 1670  
Two South  
Biscayne Boulevard  
Miami, FL 33131  
T. 305.482.8700  
F. 305.482.8770  
www.addinc.com  
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ISSUE DATE: JANUARY 24, 2014  
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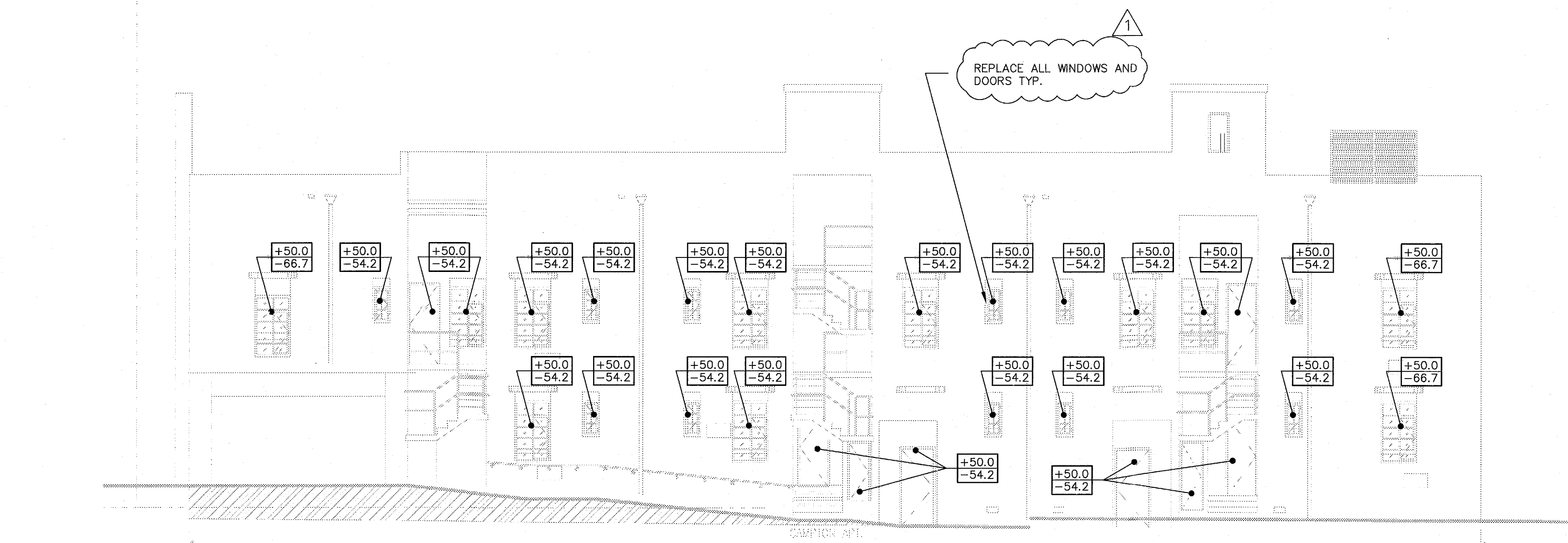
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EXTERIOR ELEVATIONS

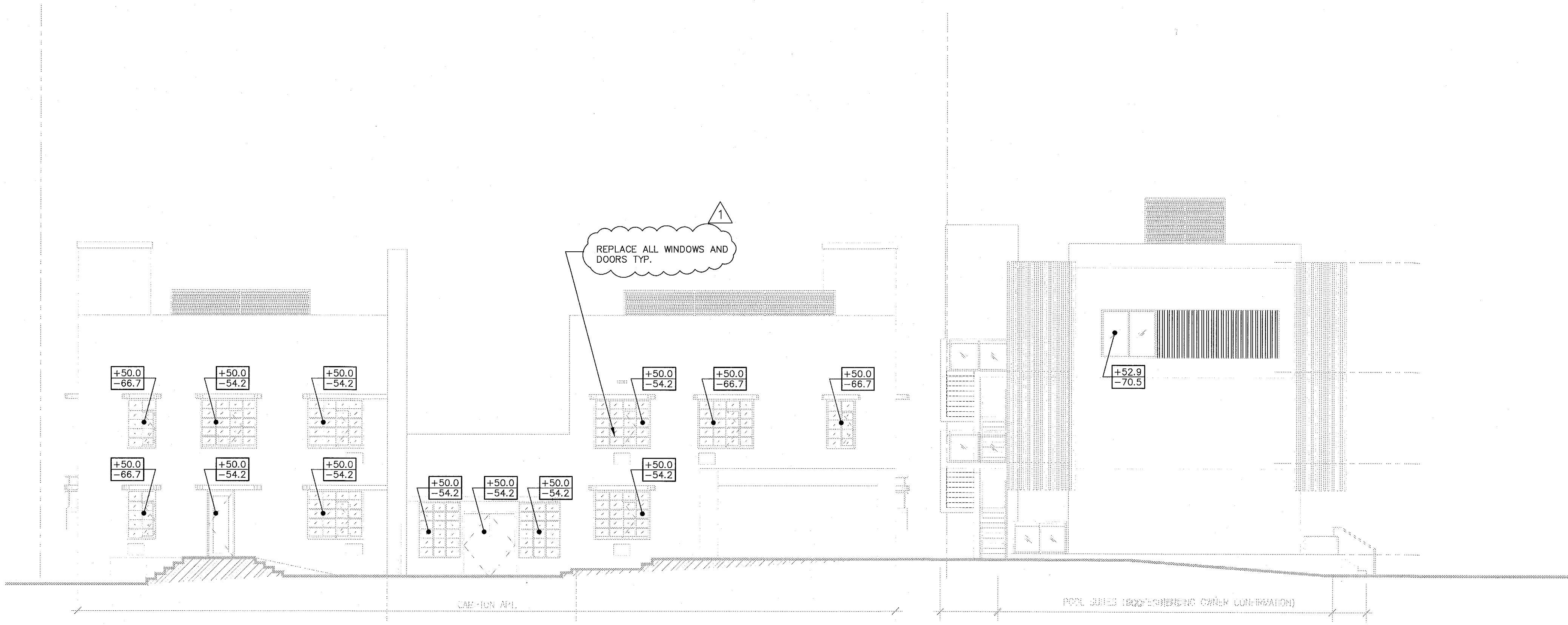
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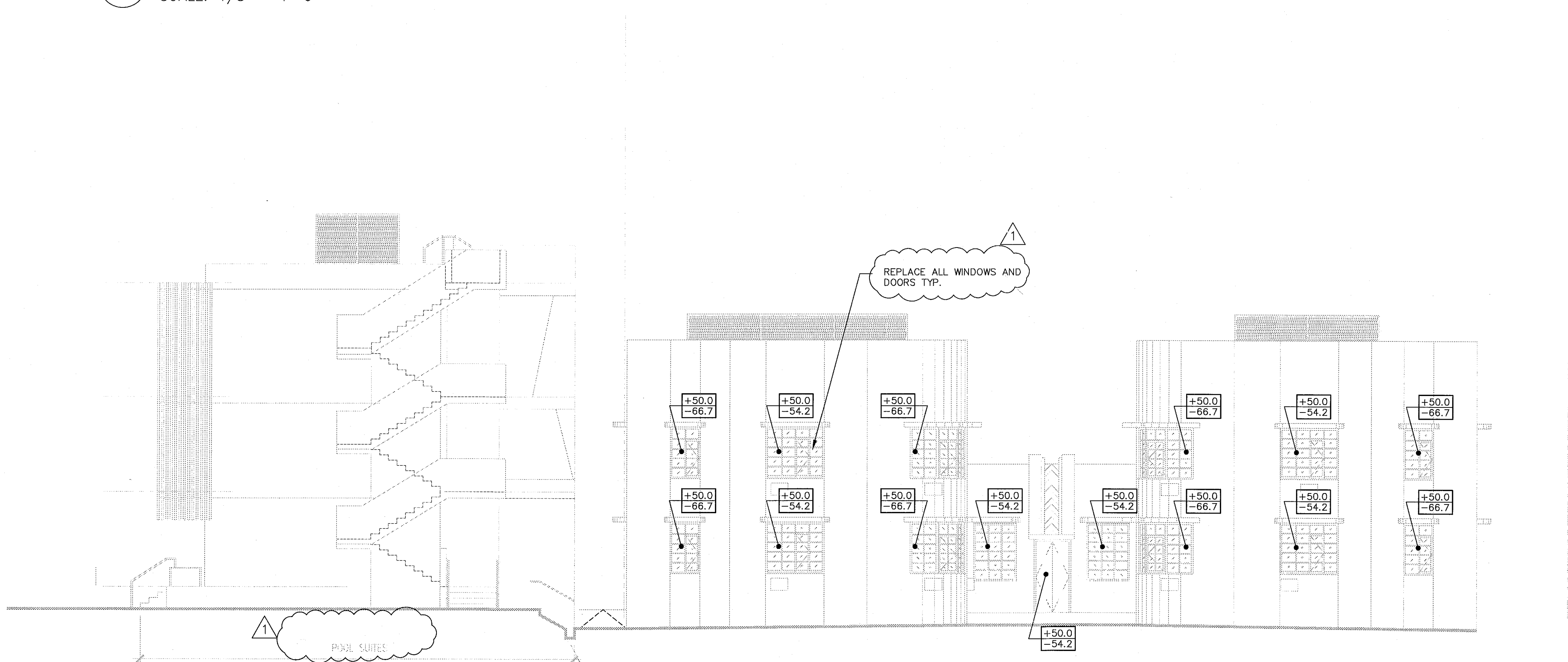
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1 EXTERIOR NORTH CAMPTON FACADE  
SCALE: 1/8" = 1'-0"

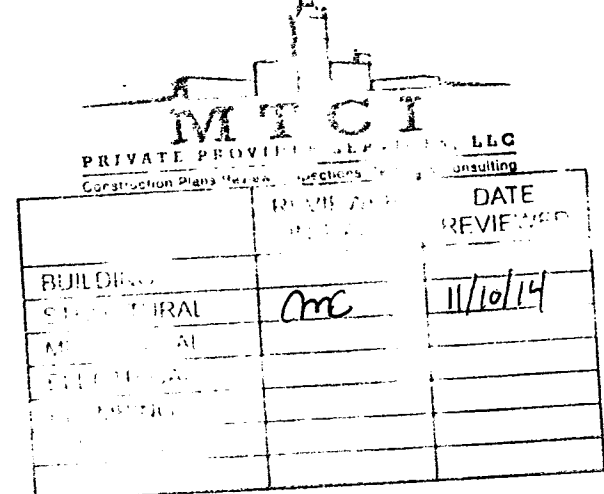


2 EXTERIOR EAST CAMPTON AND POOL SUITES FACADE  
SCALE: 1/8" = 1'-0"



3 EXTERIOR WEST CAMPTON AND POOL SUITES FACADE  
SCALE: 1/8" = 1'-0"

+ = ALLOWABLE PRESSURE IN PSF  
- = ALLOWABLE SUCTION IN PSF  
Kd = 0.85 INCLUDED  
EXPOSURE D  
Vasd = 139 MPH



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ONM & Jackson  
O'Donnell, Naccorato, Mignogna  
STRUCTURAL ENGINEERS  
221 15TH STREET, SUITE 200  
WEST PALM BEACH, FLORIDA 33411  
(561) 853-1994 FAX (561) 853-8255  
LIC. #0004386  
JOB # 665.073

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Based on Architectural Backgrounds Dated 1-22-14



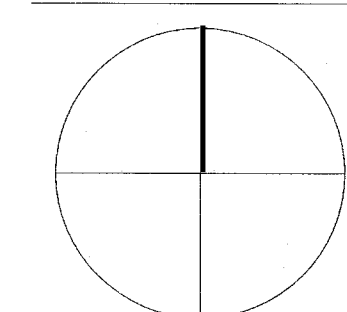




KEYPLAN N.T.S.

[illegible]

NORTH SEA



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Lic. # AR9339

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Two South  
Biscayne Boulevard  
Miami, FL 33131  
T. 305.482.8700  
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ISSUE DATE: JANUARY 24, 2014

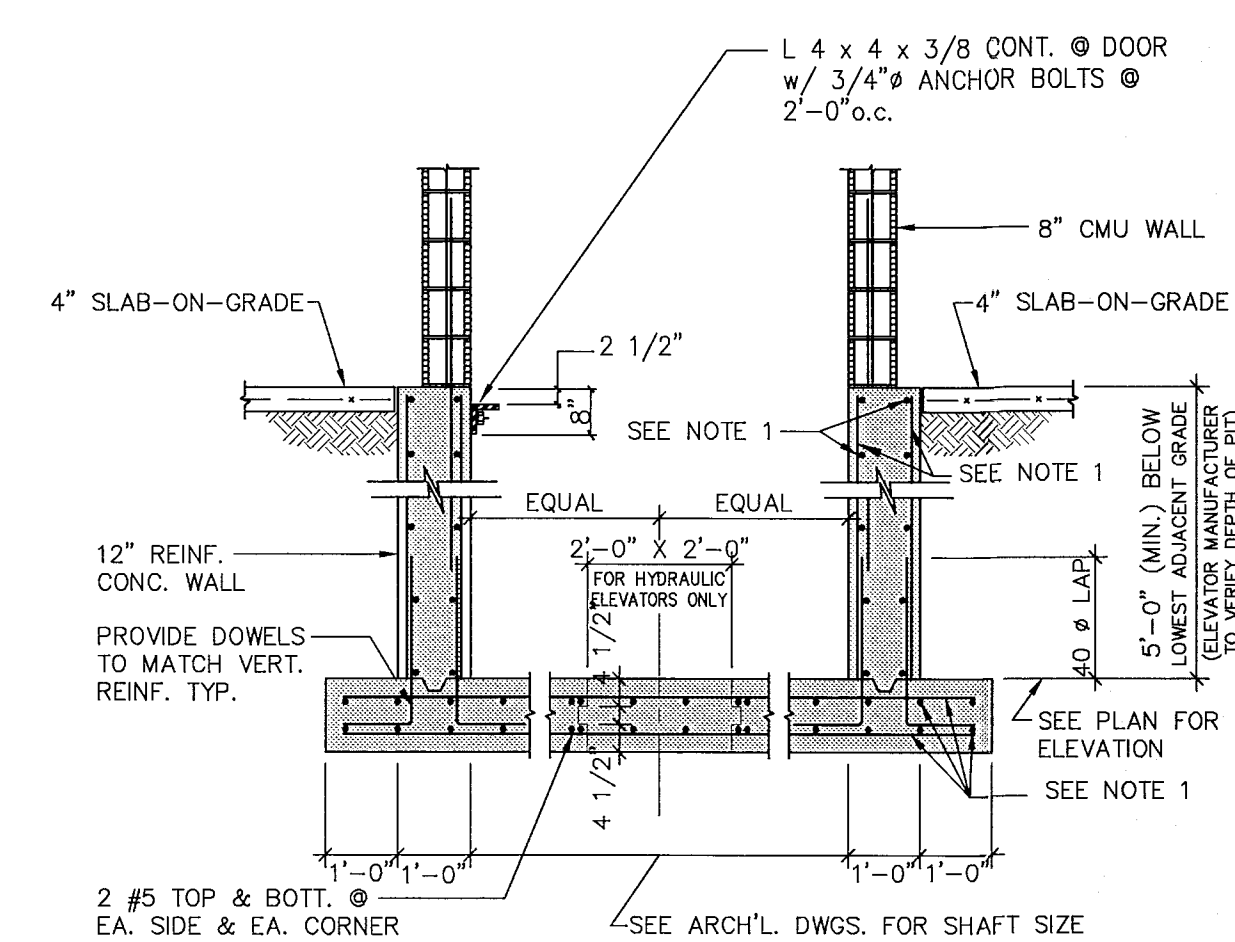
SCALE:

SHEET TITLE

## SHEET NUMBER 10

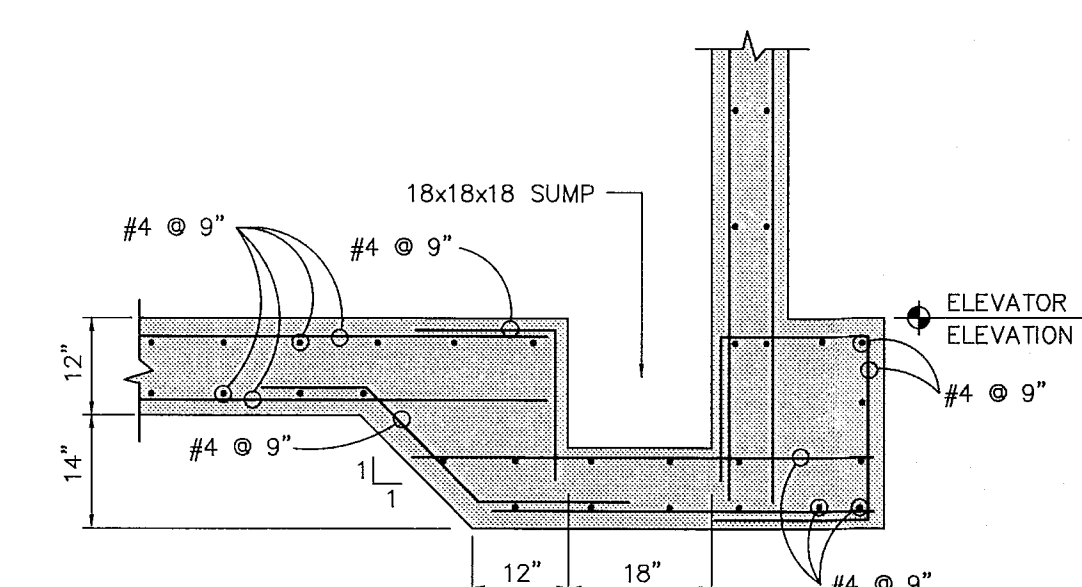
S402

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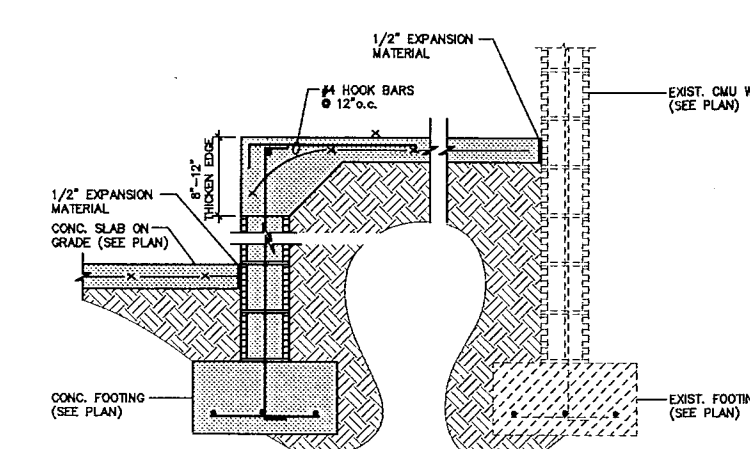


TYPICAL ELEVATOR PIT DETAIL

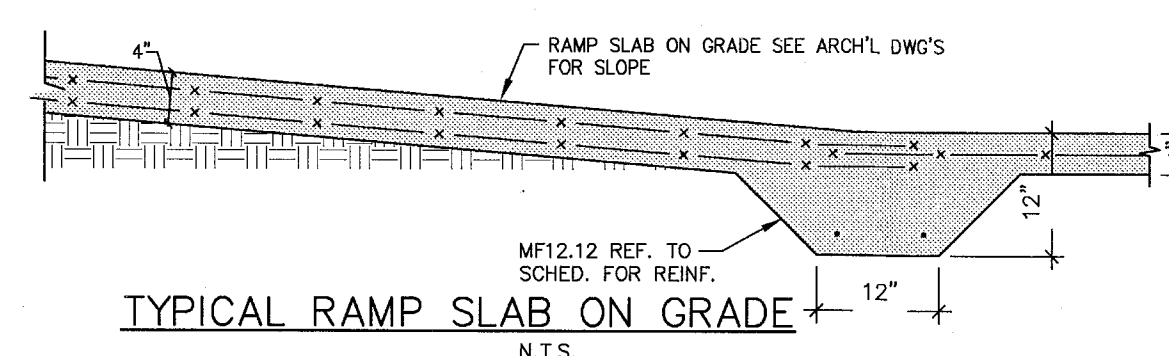
NOTE 1: REFER TO 3/S503 & 4/S503 FOR DETAILS



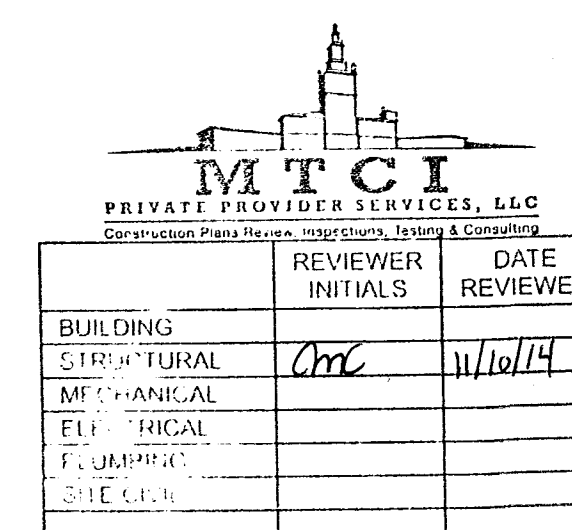
TYPICAL SUMP DETAIL  
(AT SIDE WALL)



TYPICAL RAMP ON GRADE DETAILS



SCHED. FOR REINF.  
TYPICAL RAMP SLAB ON GRADE  
NTS



*PERMIT SET*

1/24/14

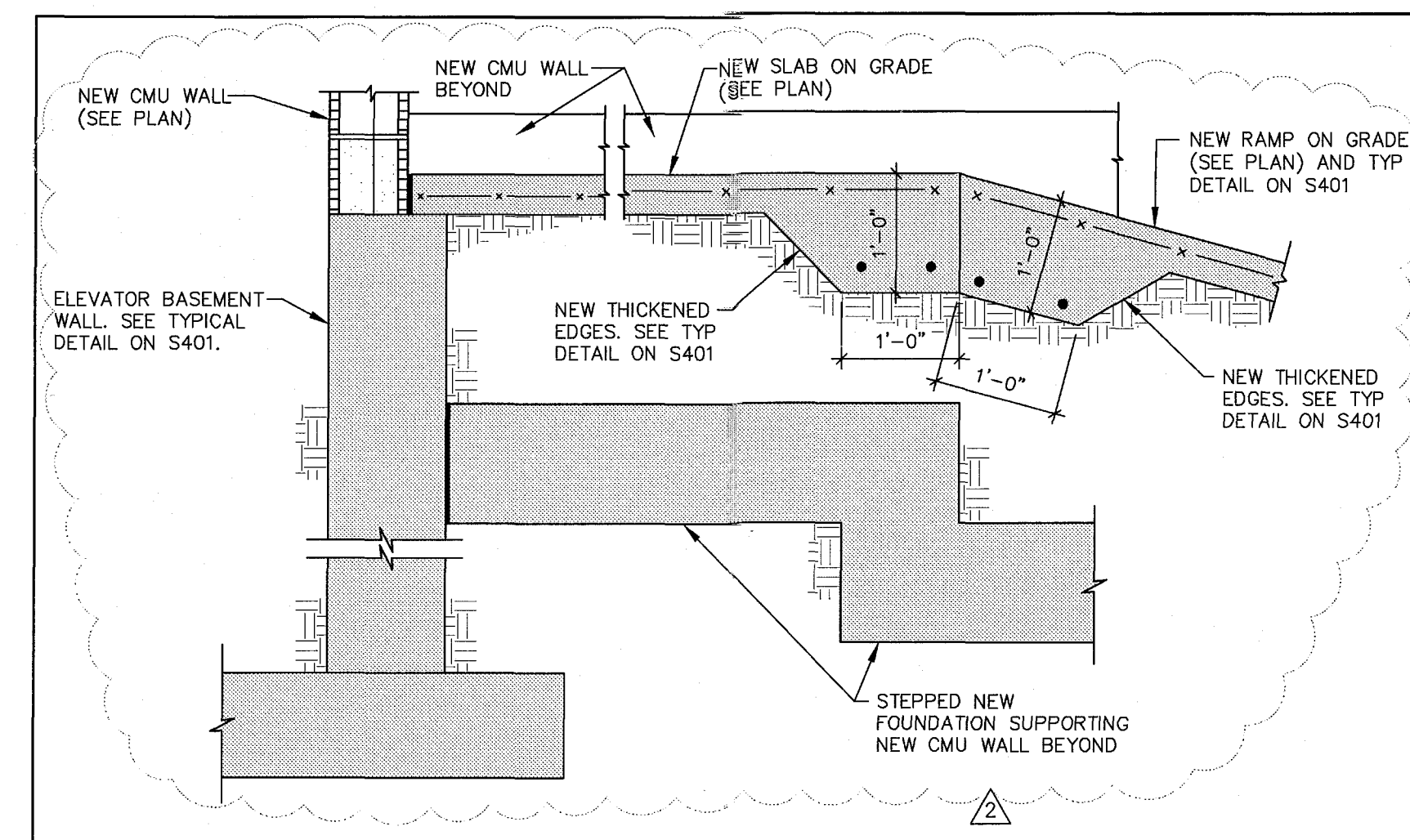
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STRUCTURAL ENGINEERS

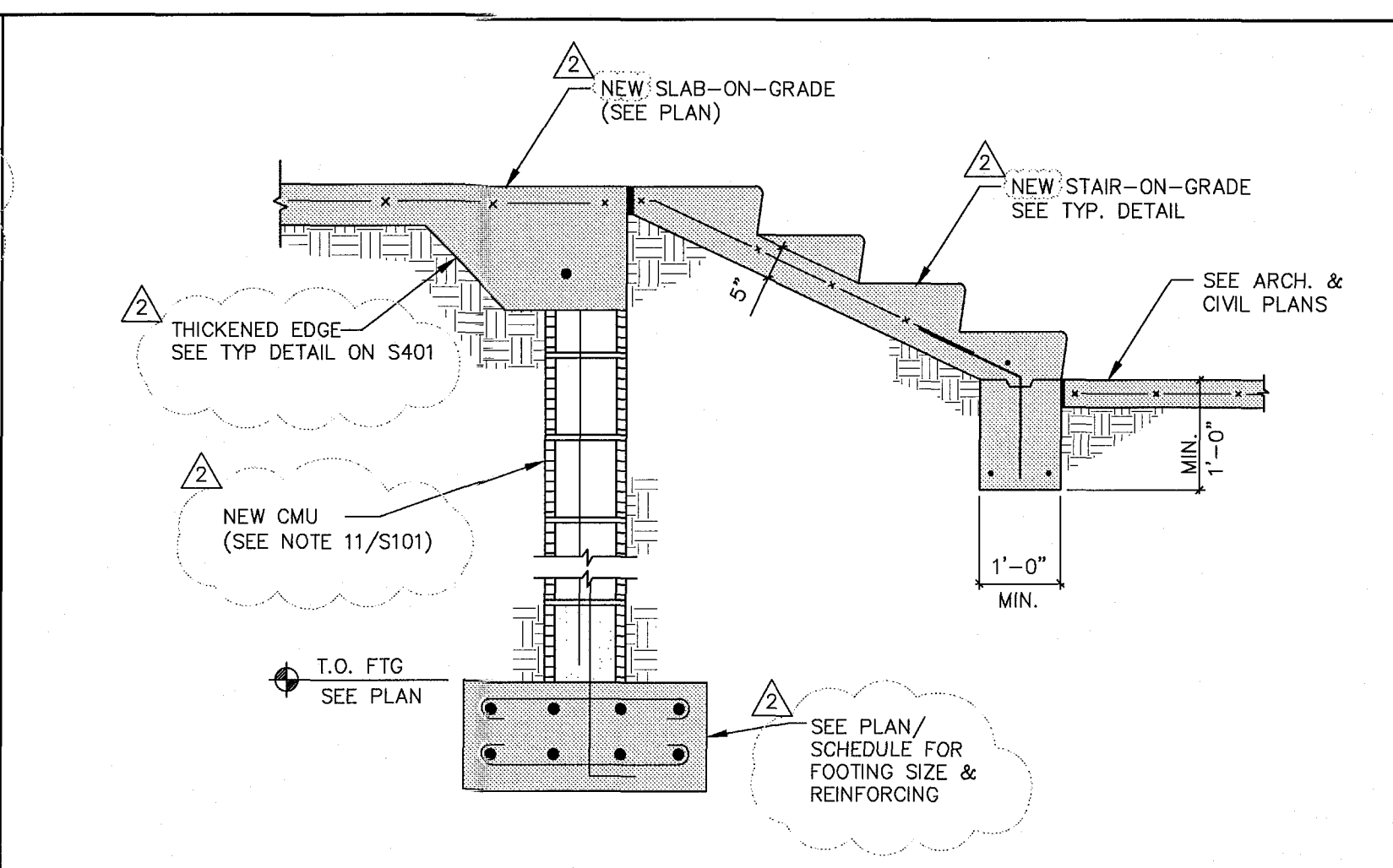
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WEST PALM BEACH, FLORIDA 33401  
(561) 835-9994 FAX (561) 835-8755

5-5-14  
FREDERIC CARRIE  
P.E. FLORIDA  
REG. #60791

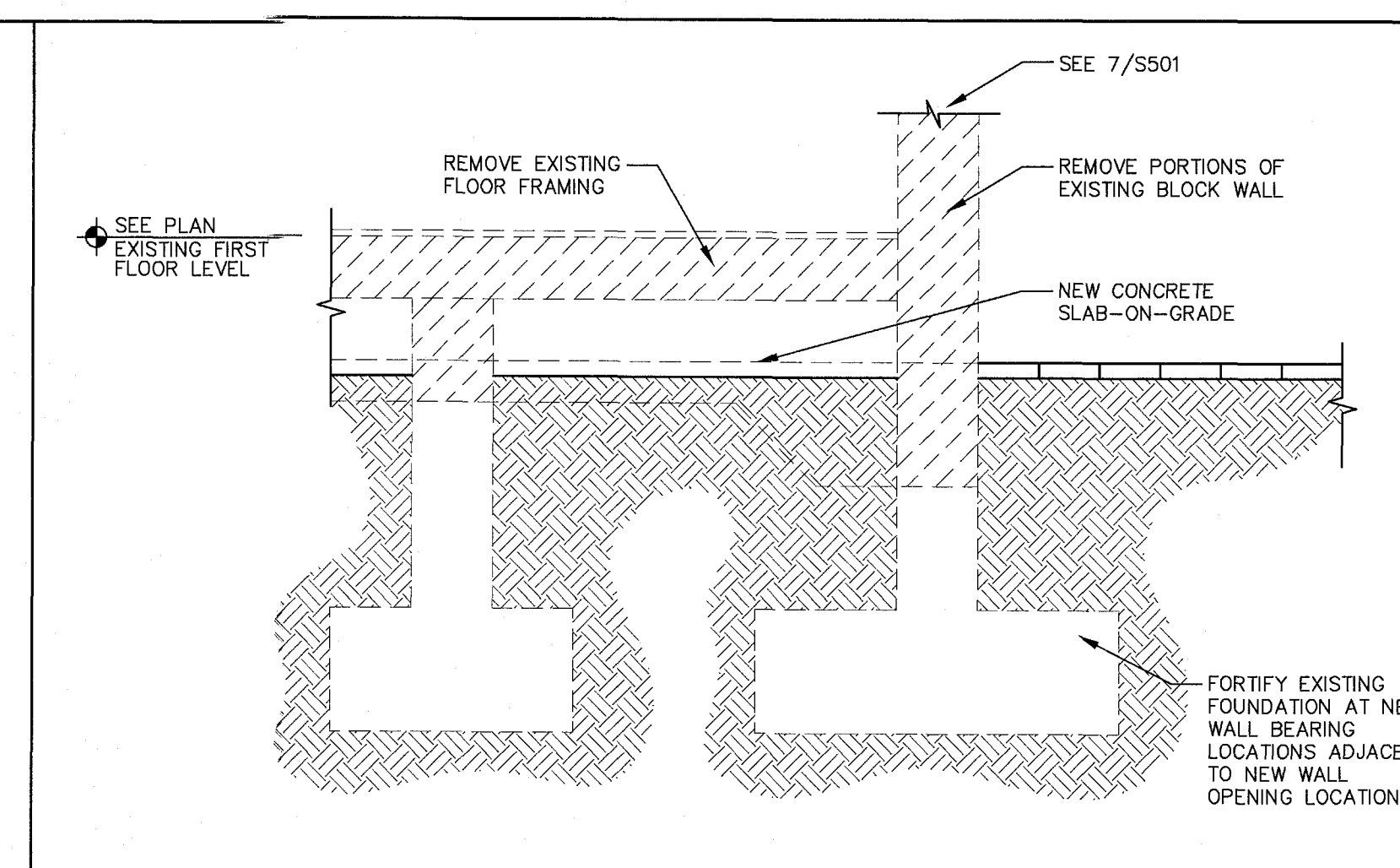




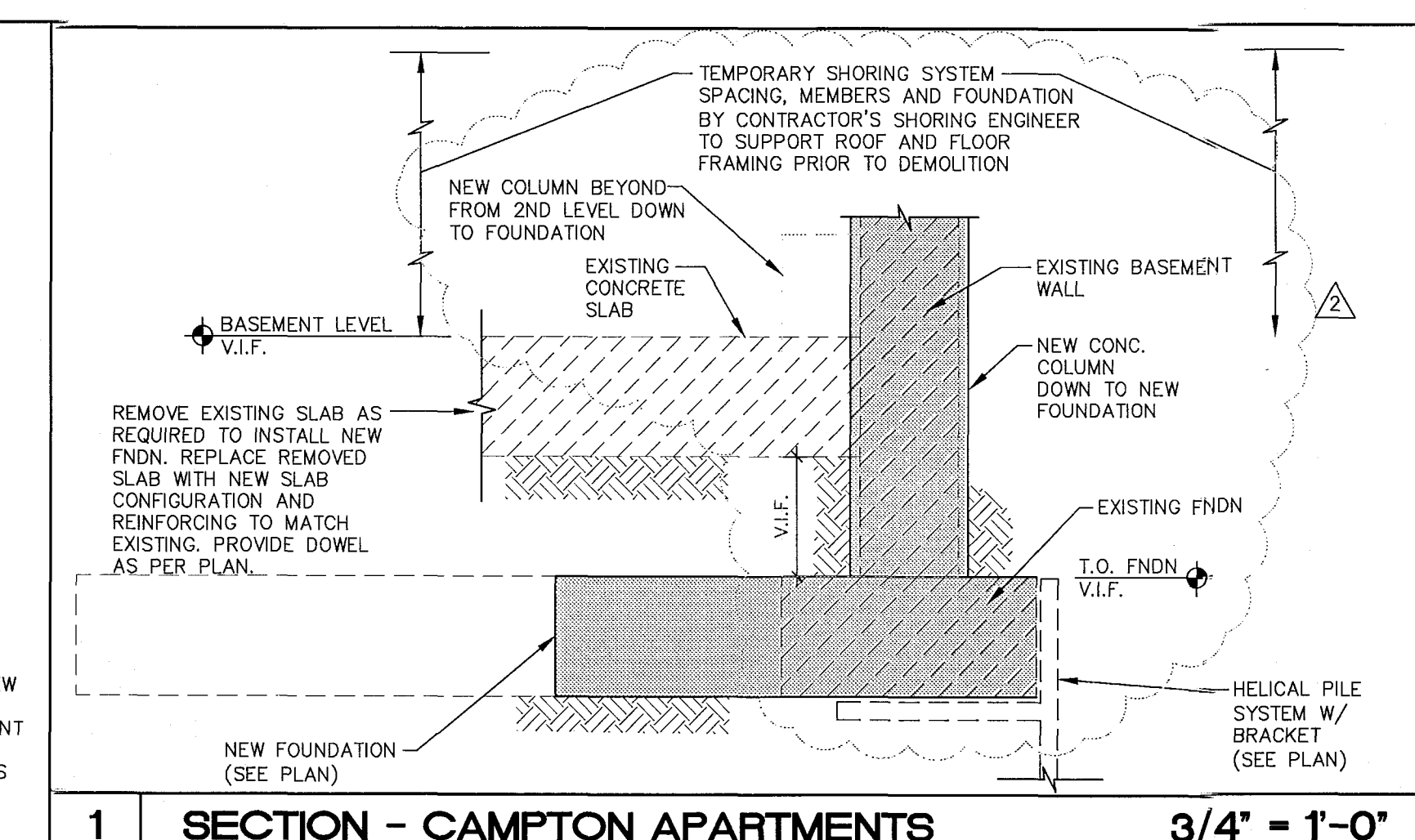
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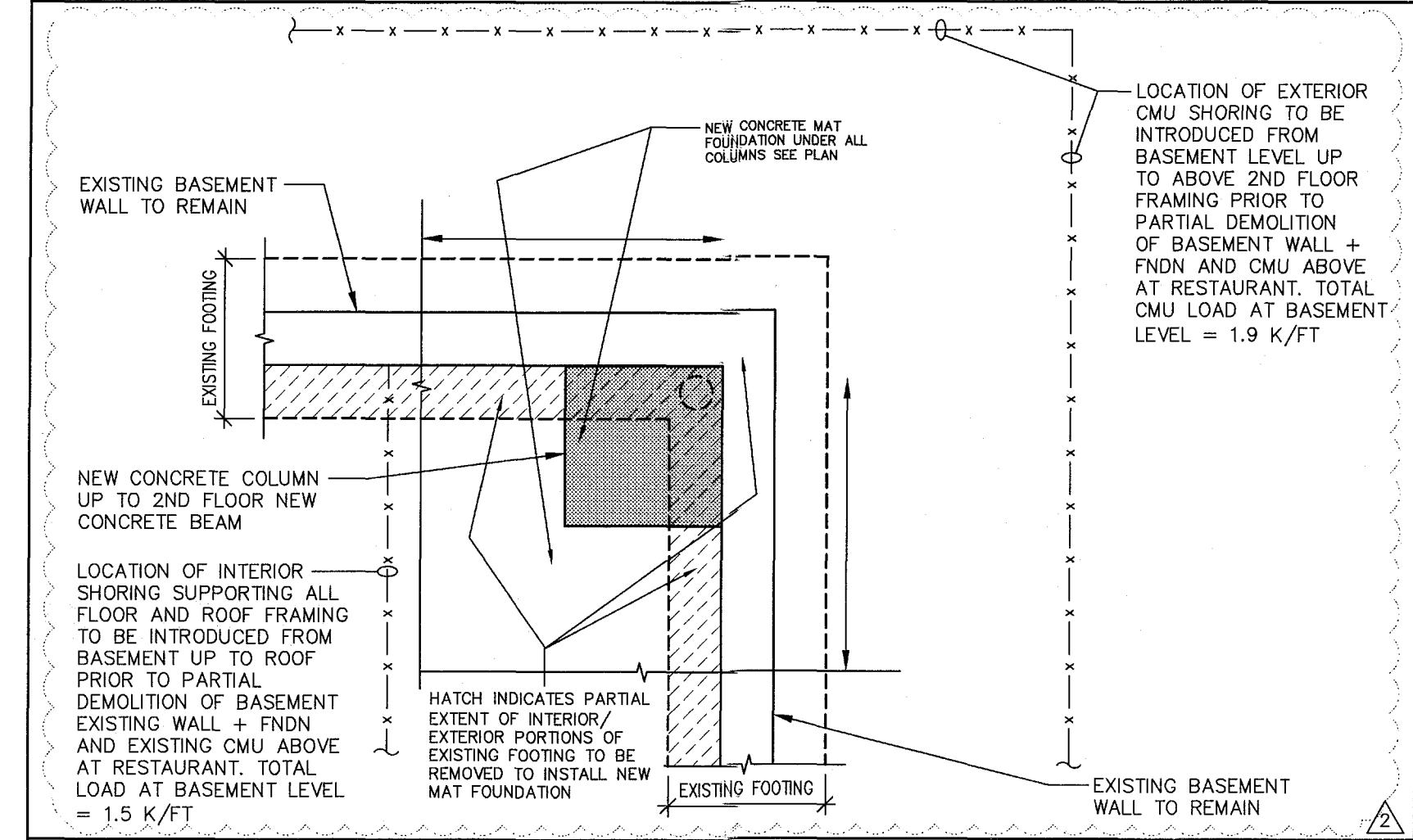
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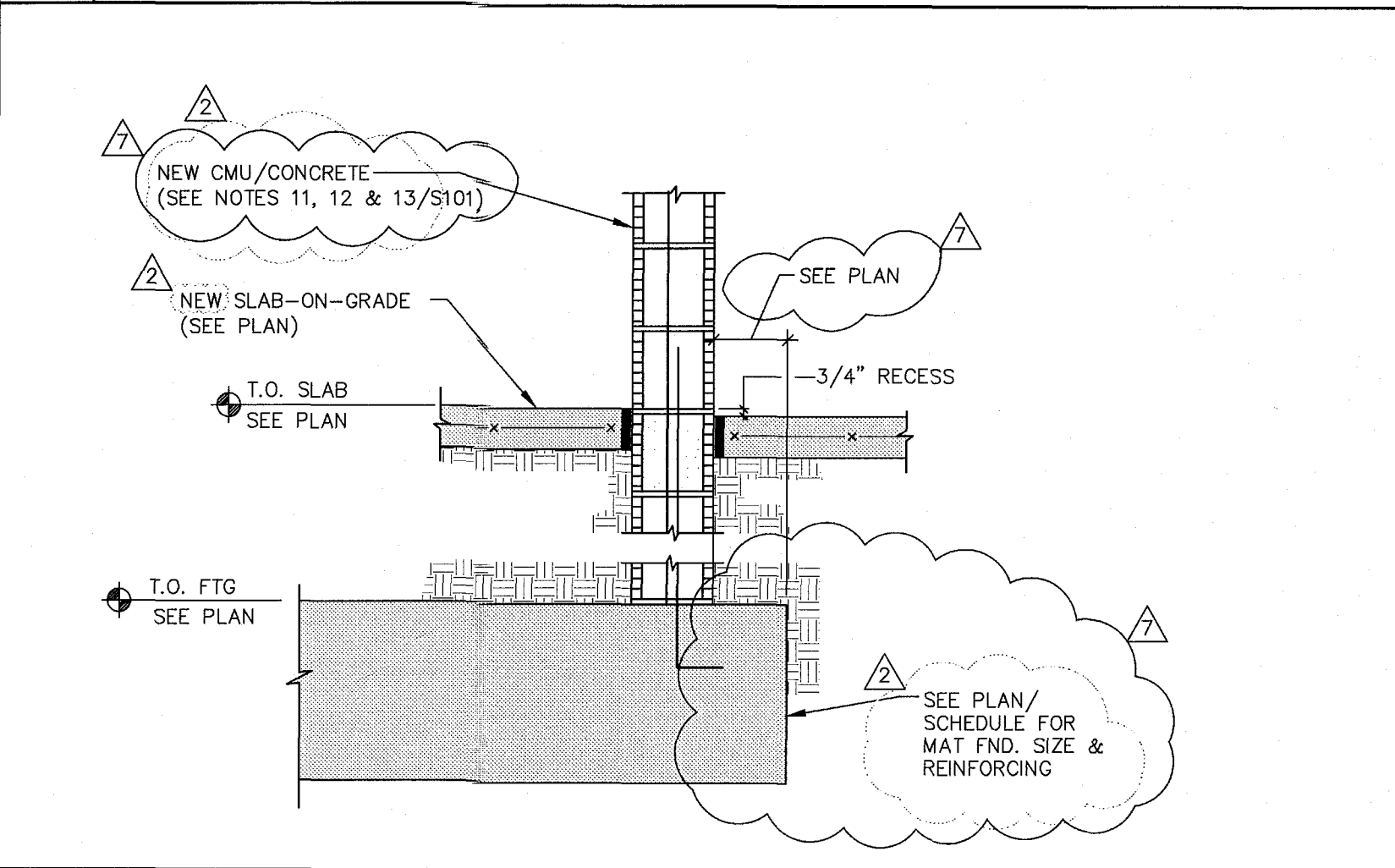
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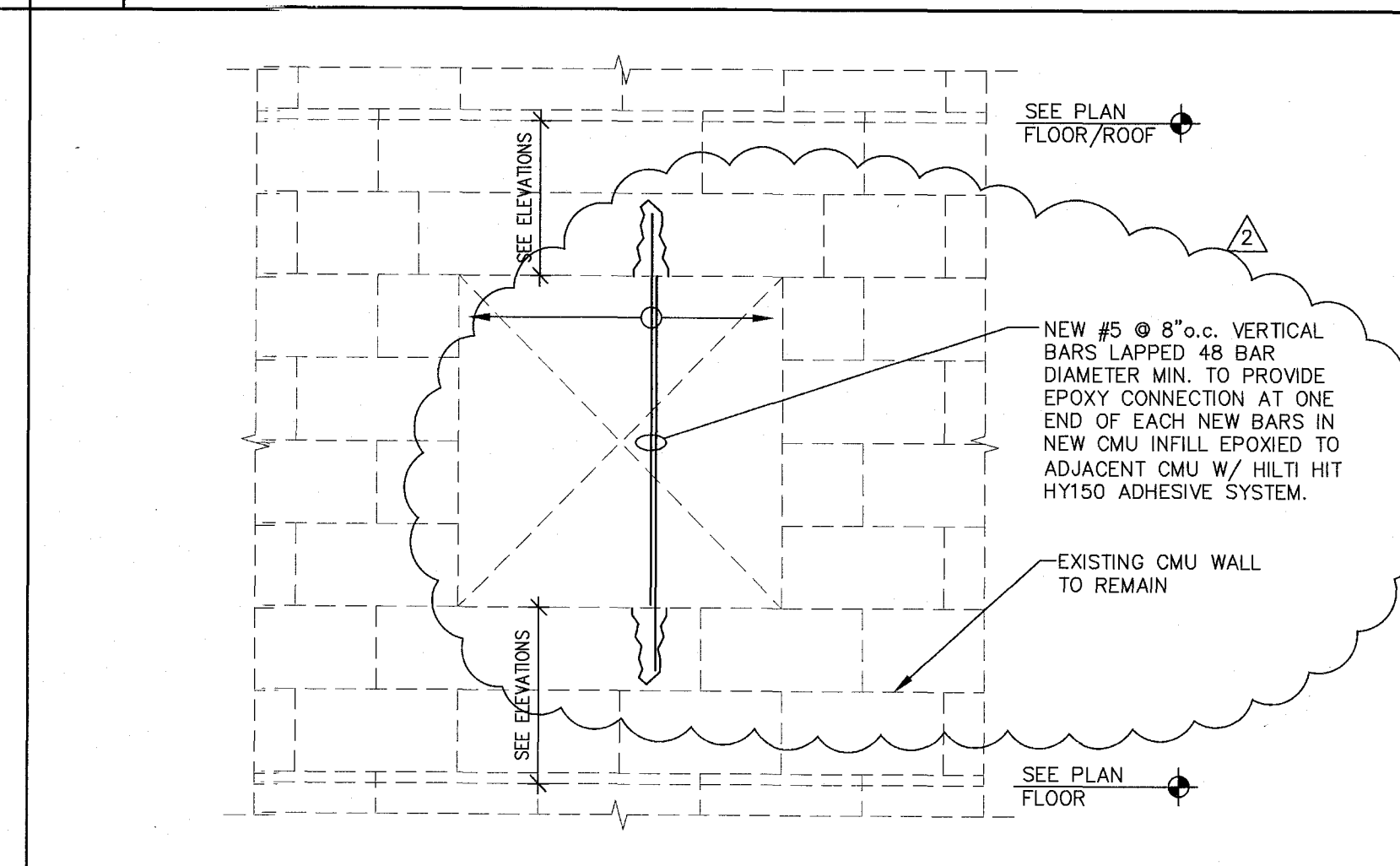
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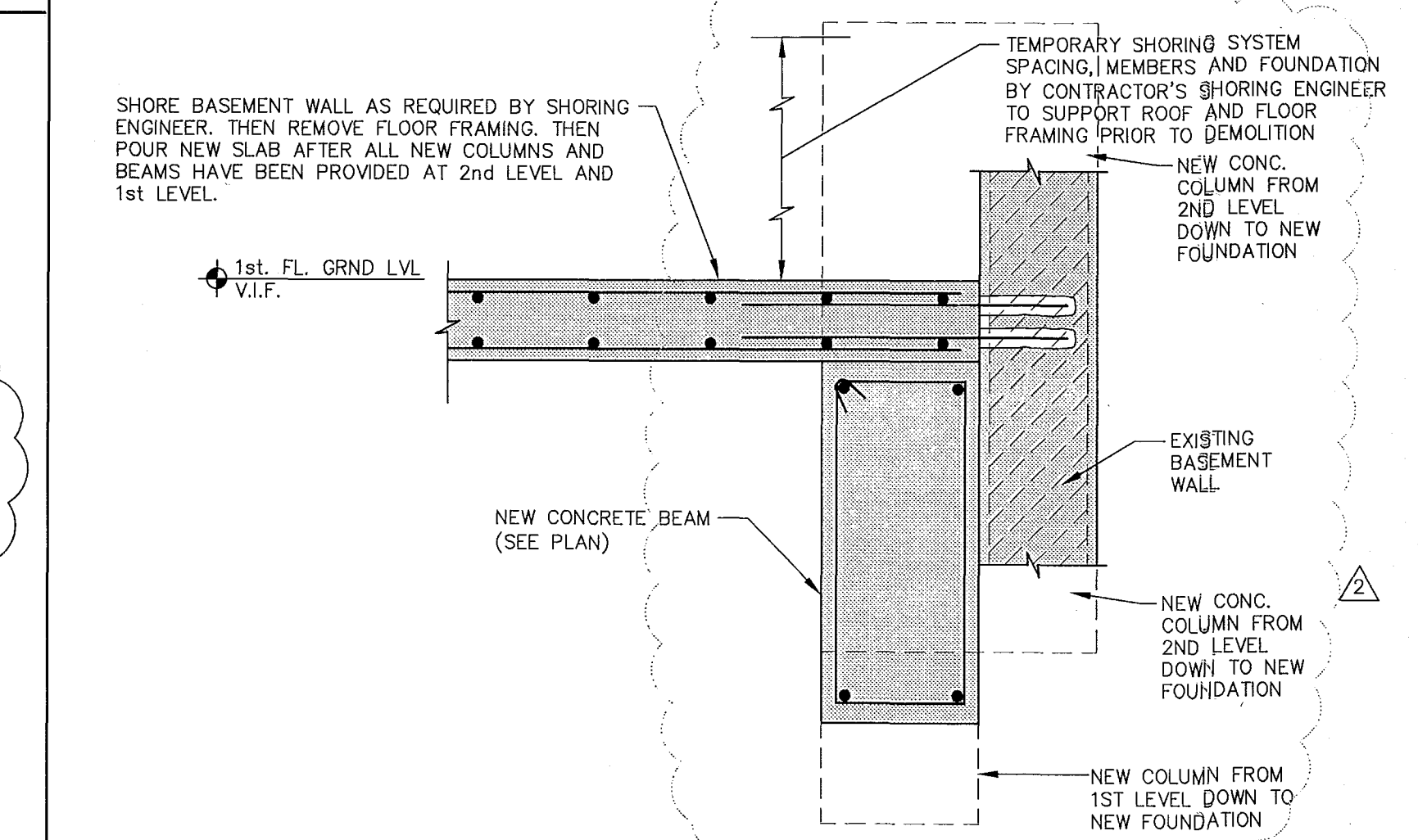
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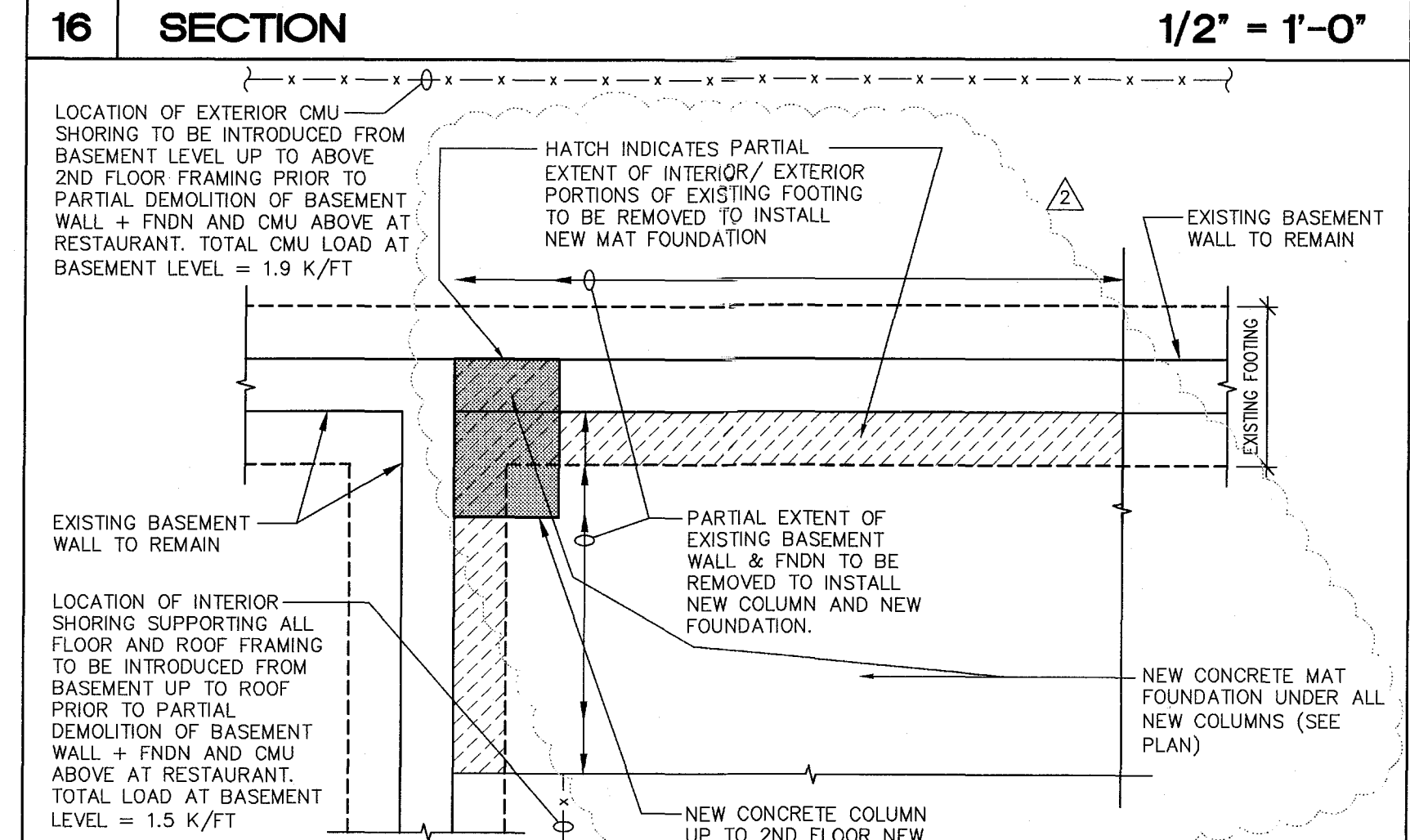
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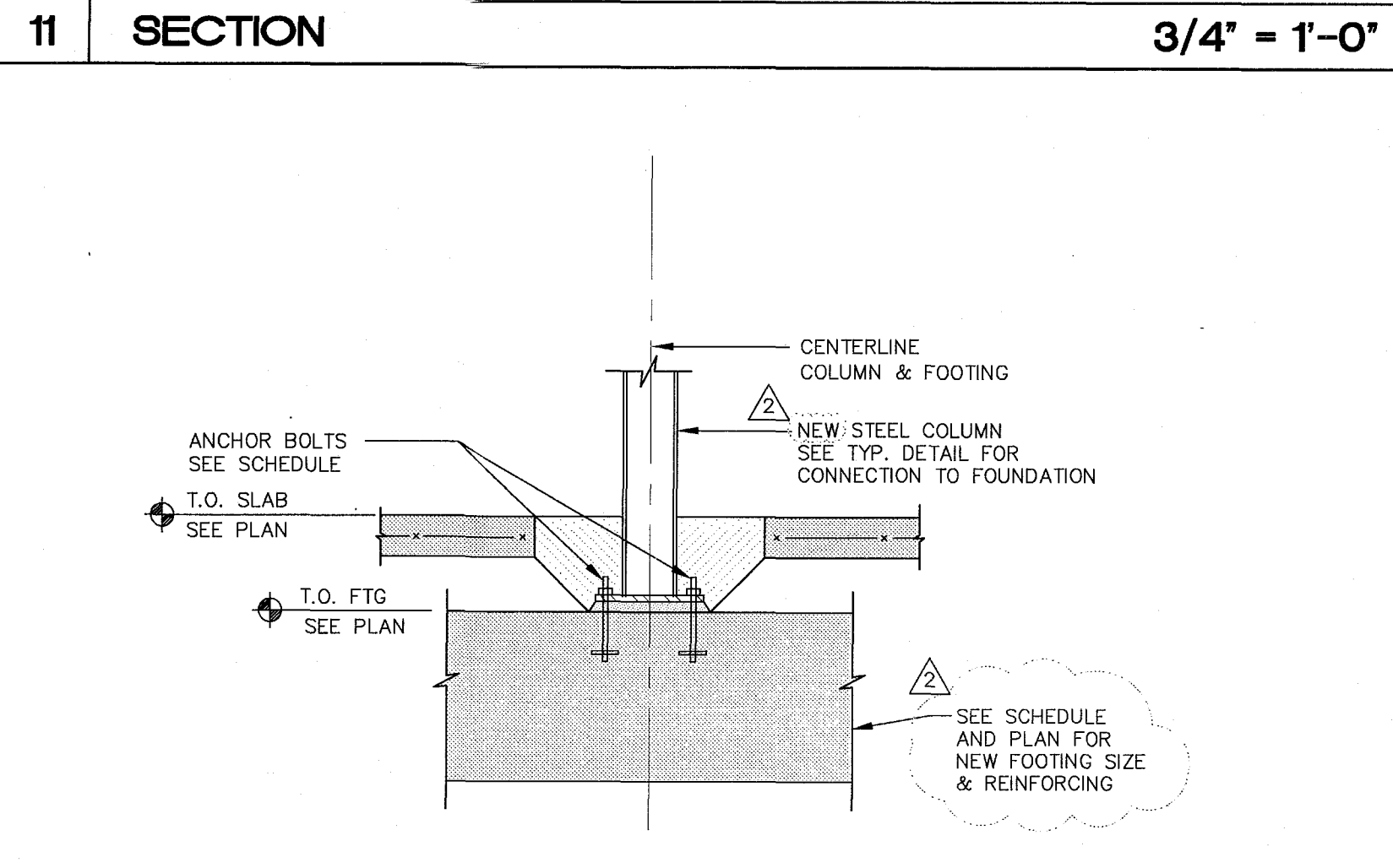
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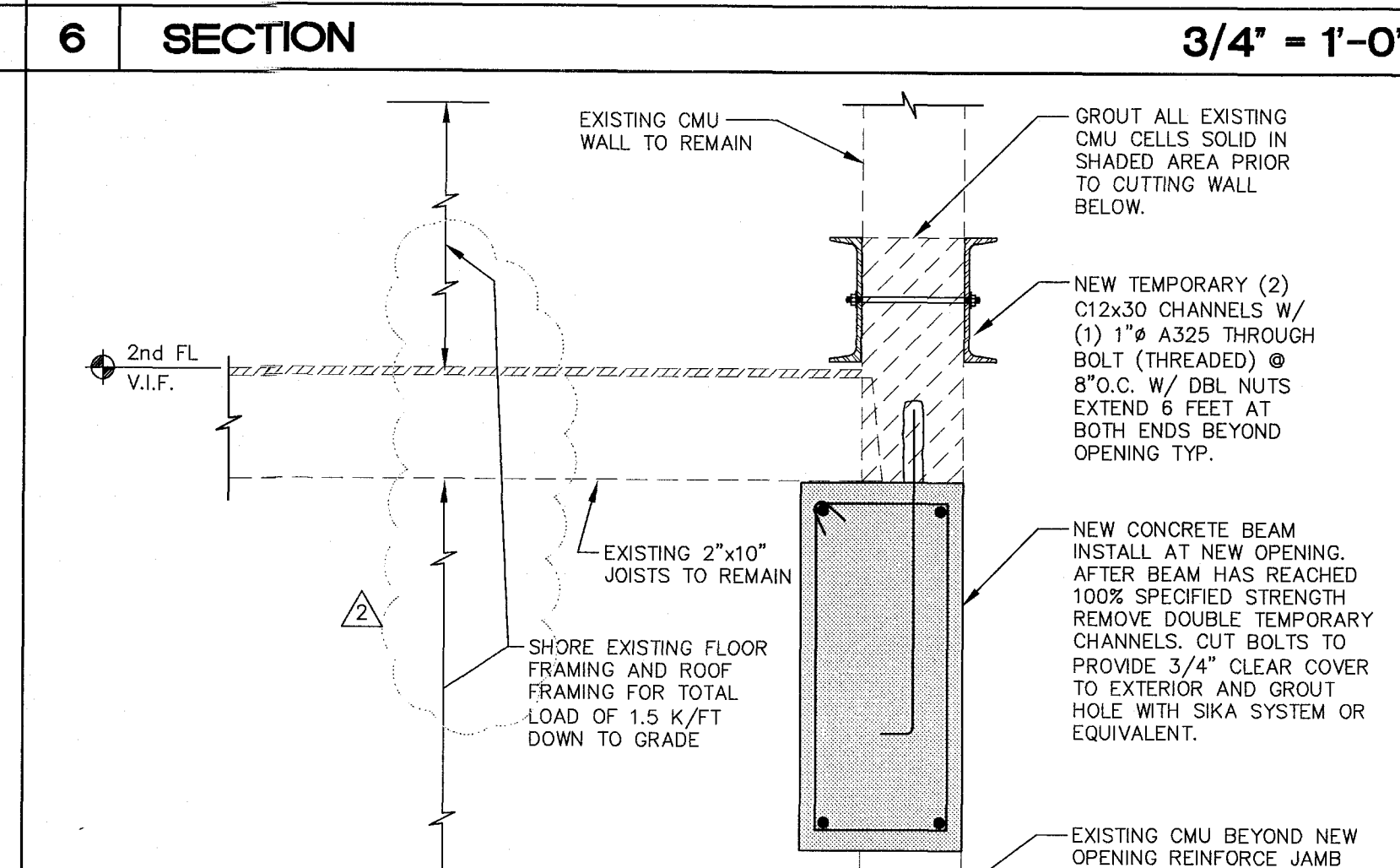
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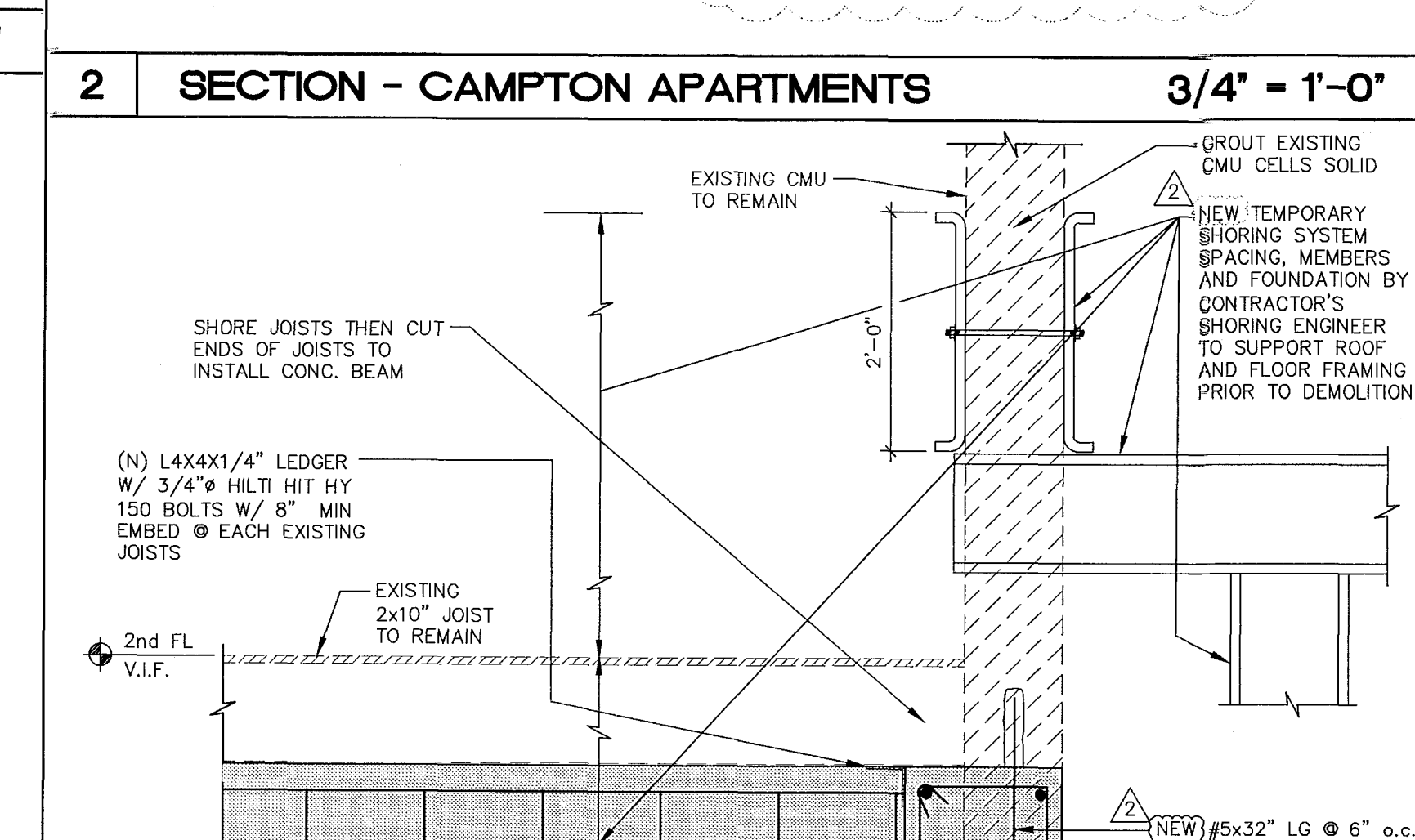
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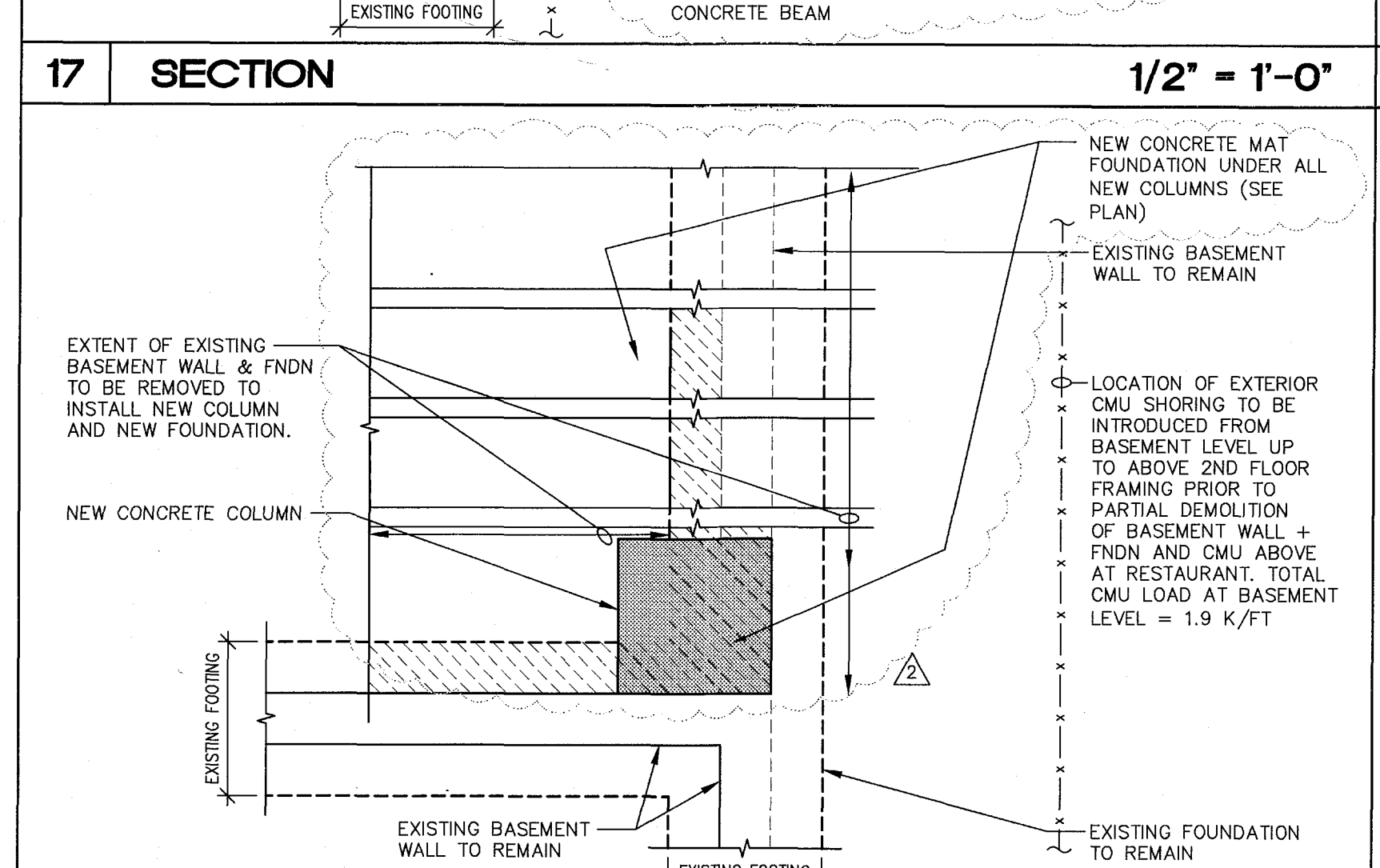
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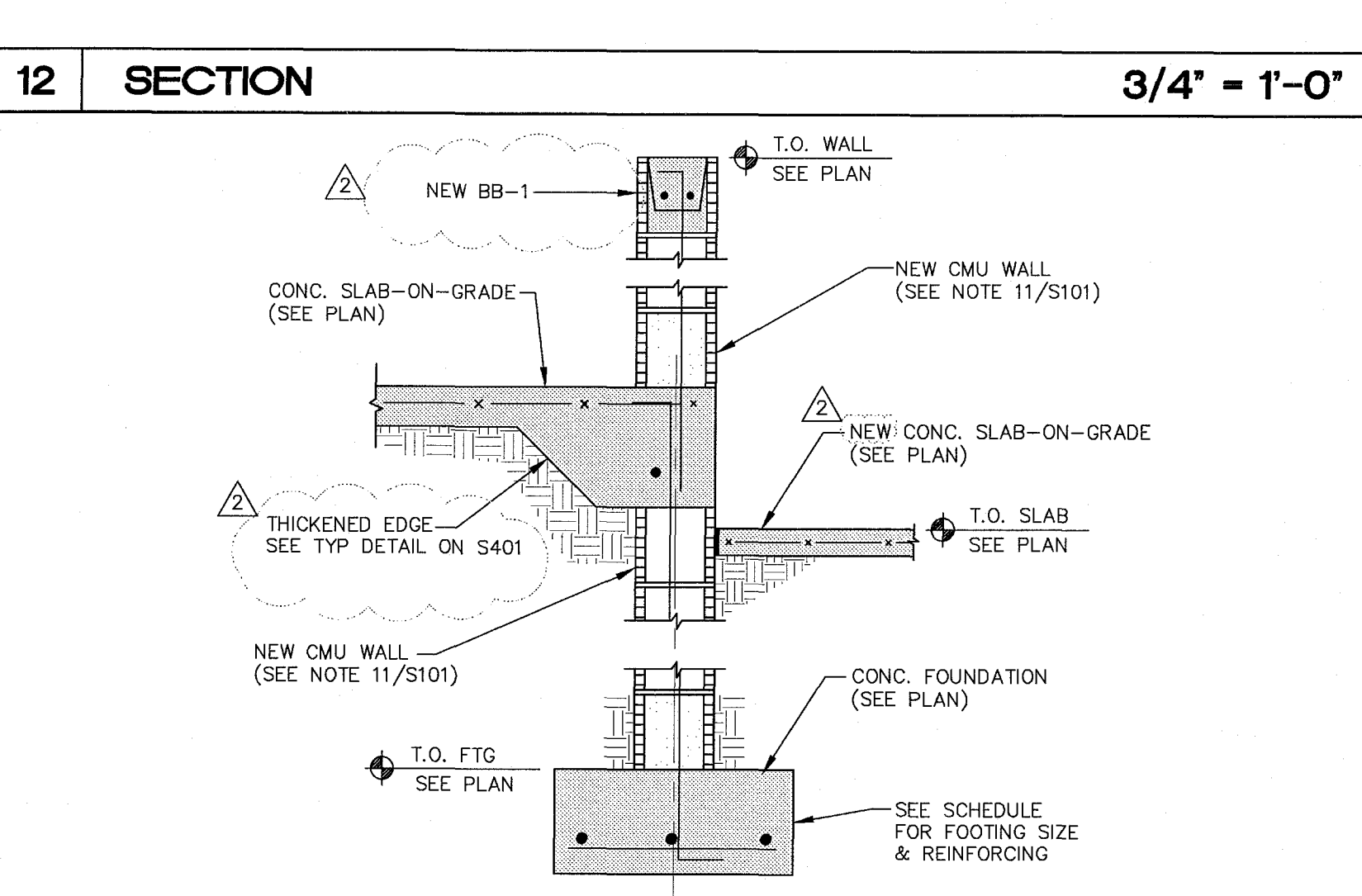
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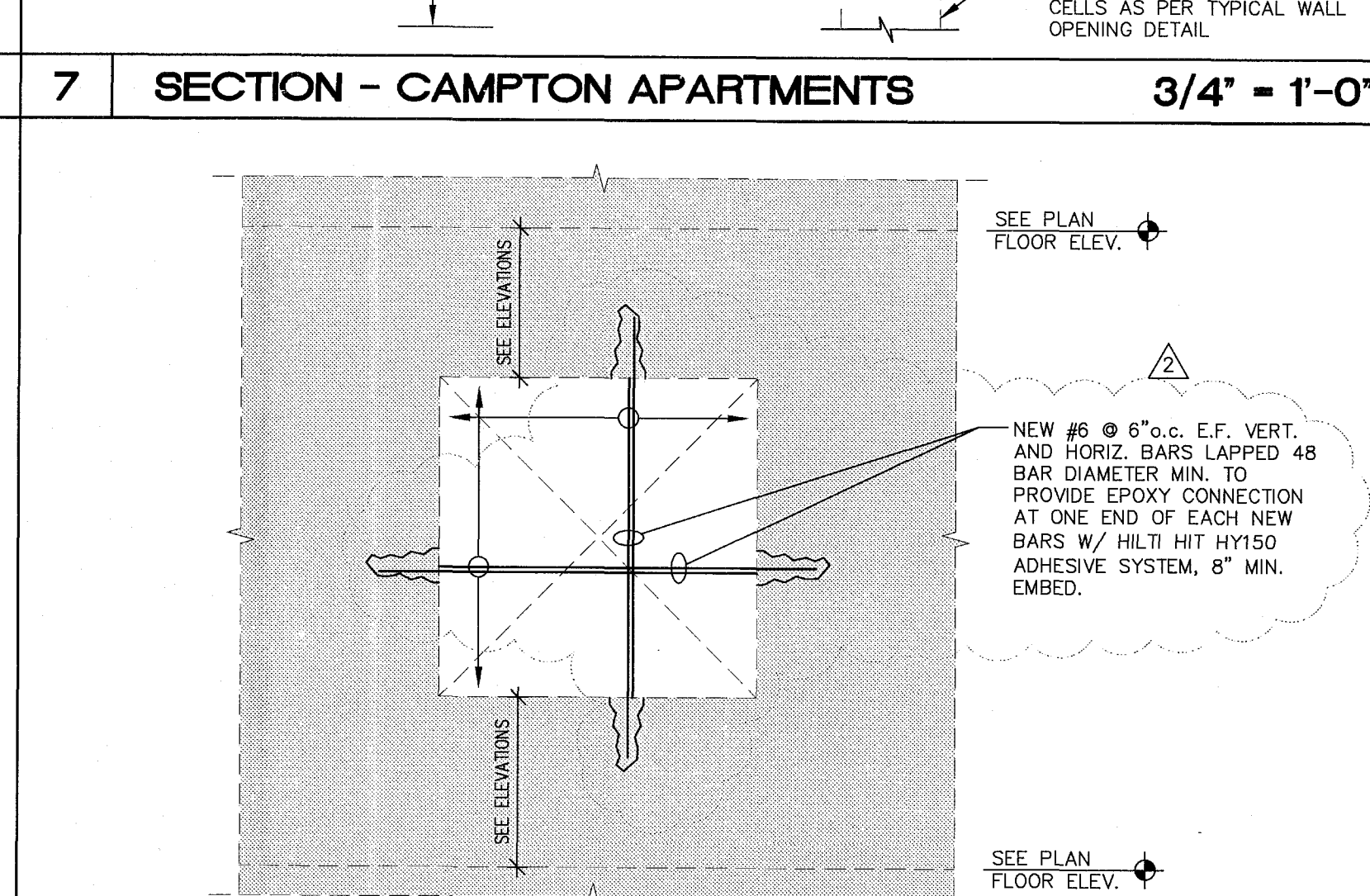
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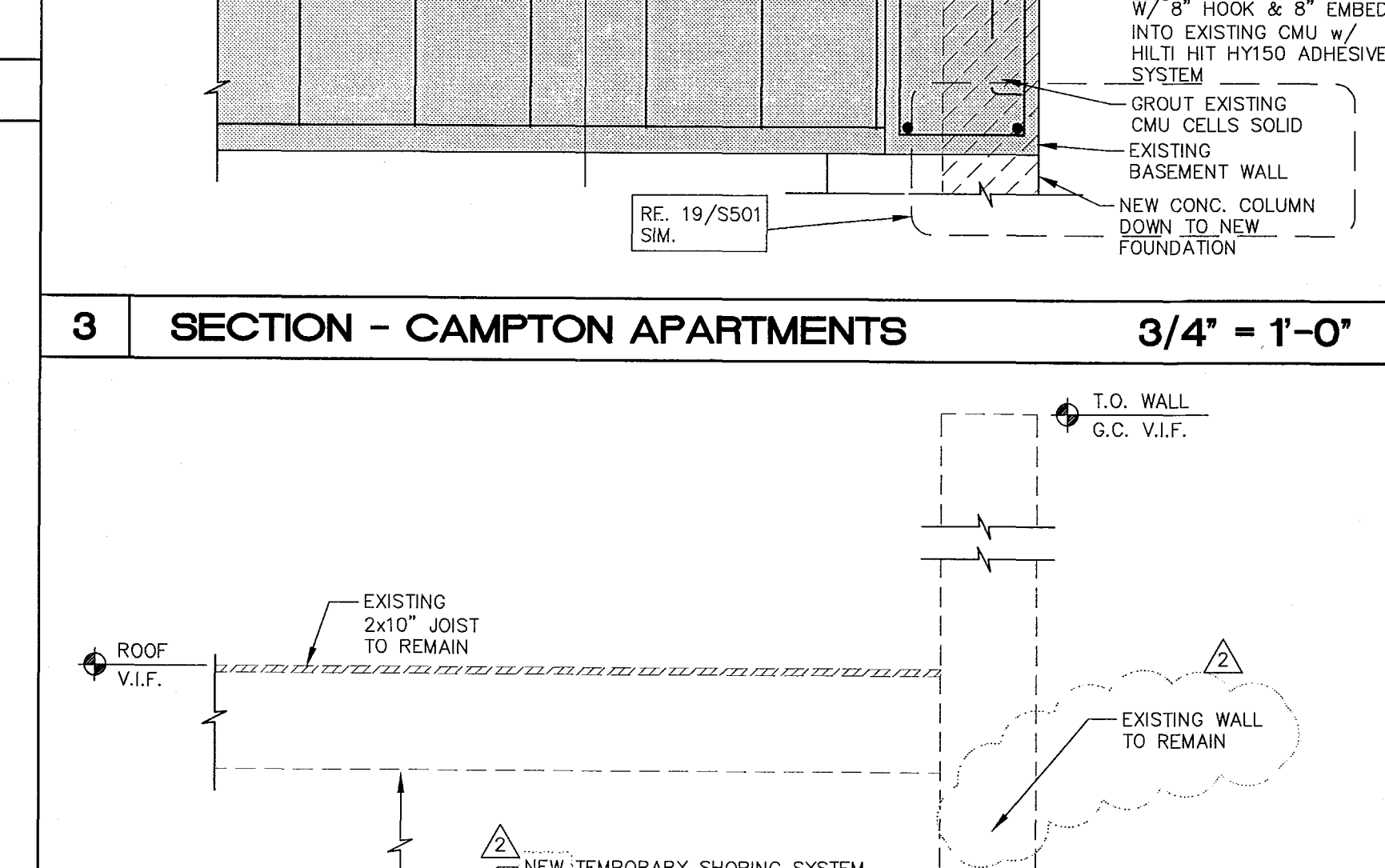
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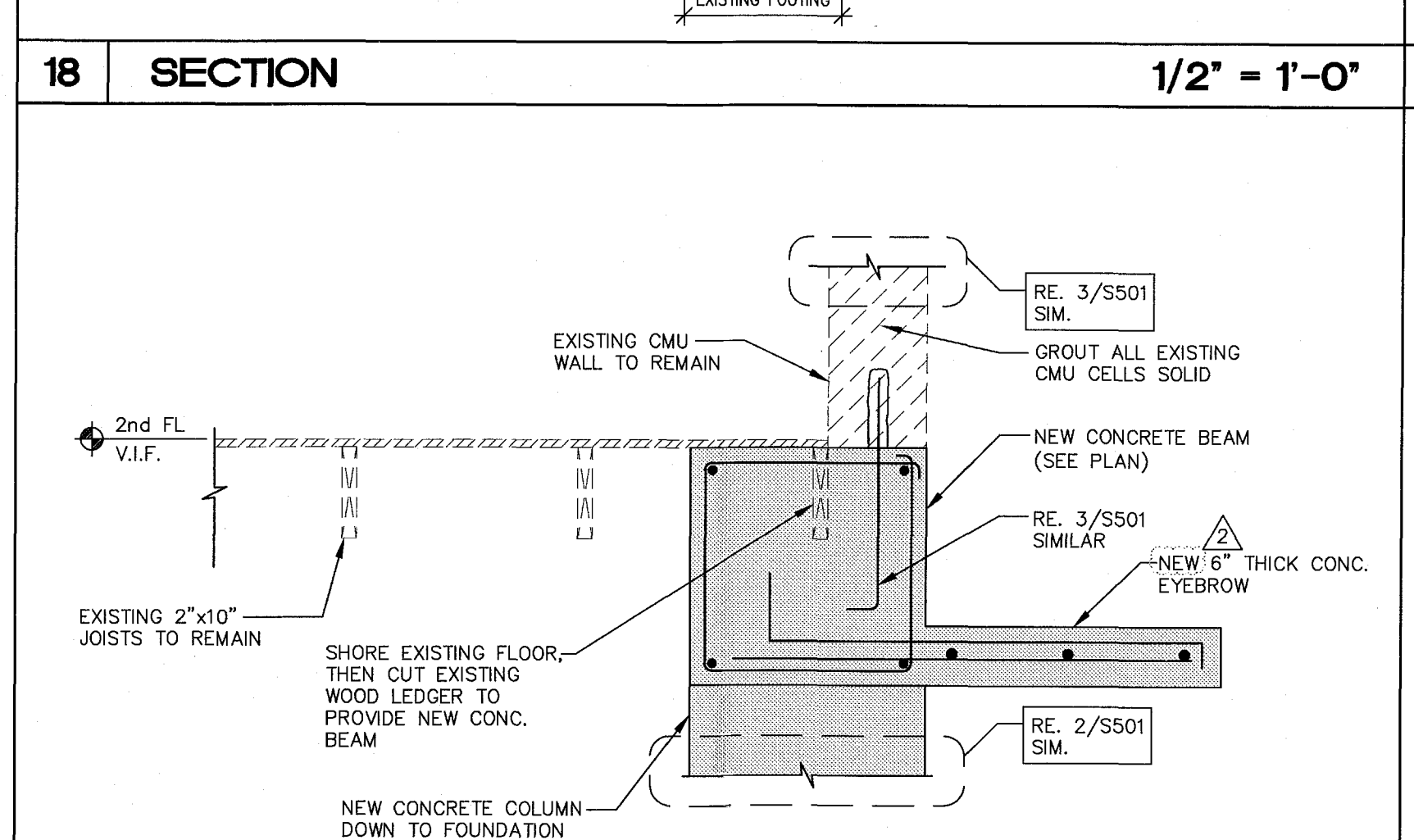
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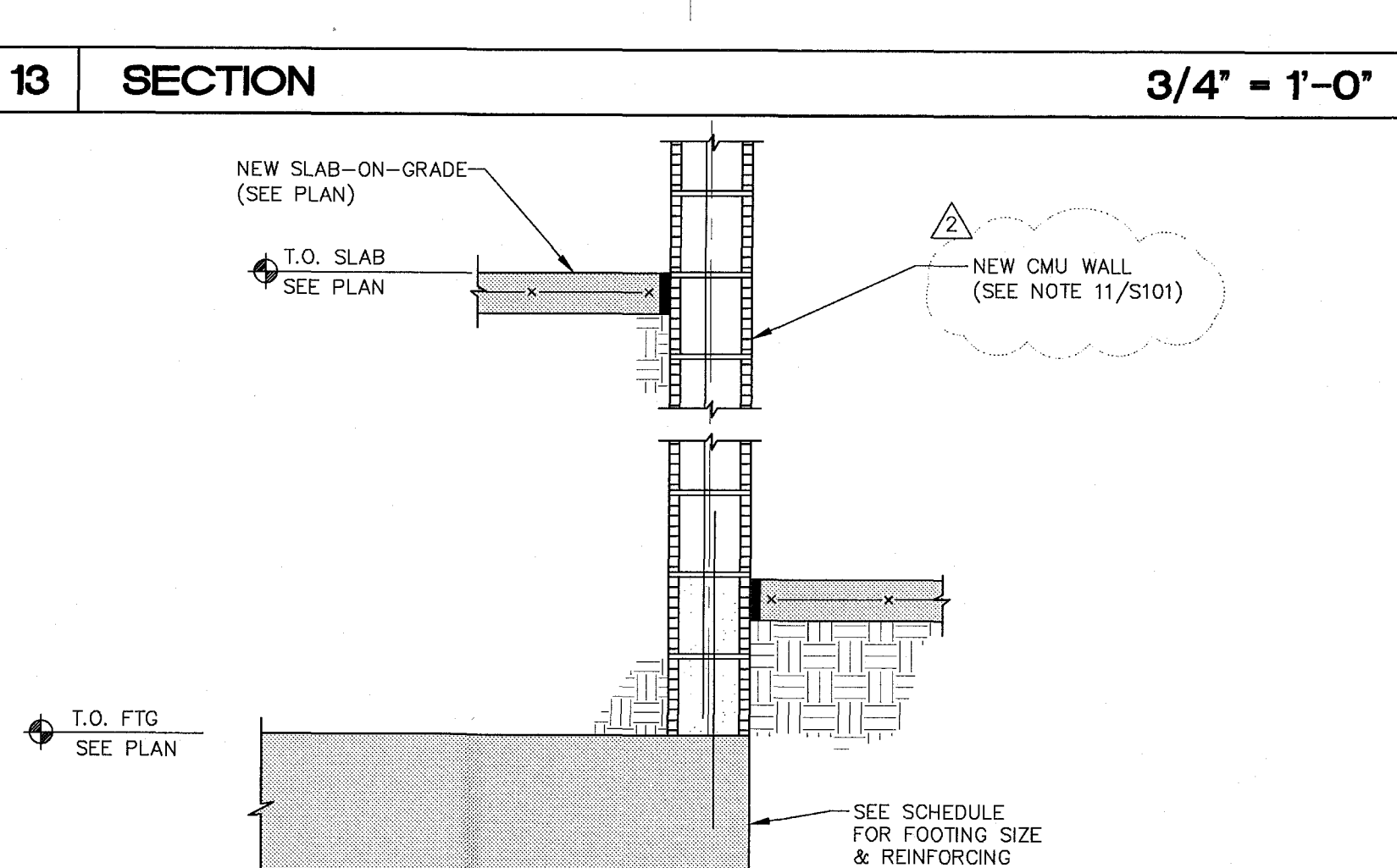
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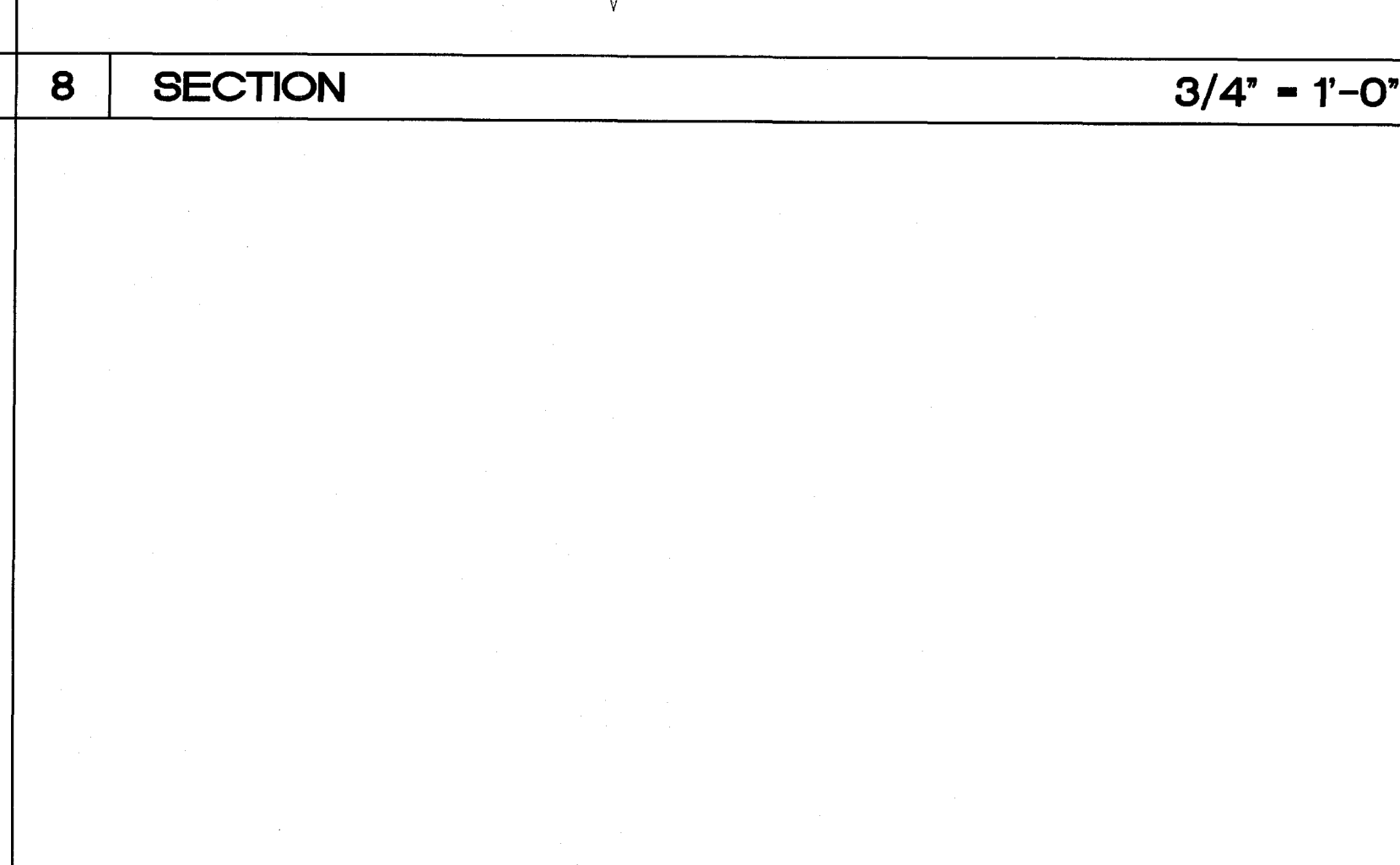
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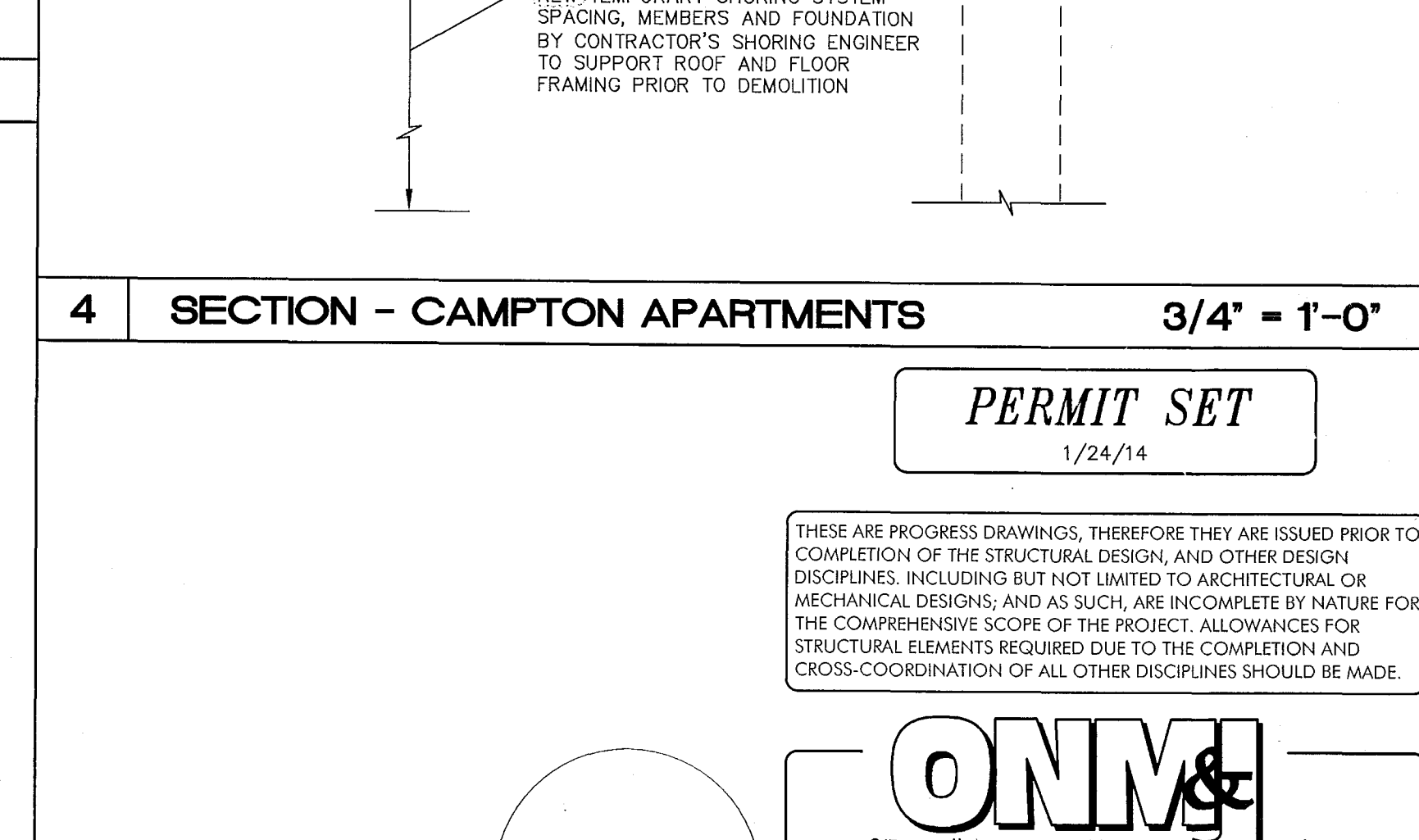
19 SECTION 3/4" = 1'-0"



14 SECTION 3/4" = 1'-0"



9 SECTION 3/4" = 1'-0"



1 SECTION - CAMPTON APARTMENTS 3/4" = 1'-0"

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KEYPLAN N.T.S.

NO.	DESCRIPTION	ISSUE DATE
1	PROGRESS TO 100% CD	2/7/14
2	PERMIT REVIEW COMMENTS	3/14/14
3	POOL SUITES WALLS	4/4/14

REVISOR		DATE
1	PROGRESS TO 100% CD	2/7/14
2	PERMIT REVIEW COMMENTS	3/14/14
3	POOL SUITES WALLS	4/4/14

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Two South  
Biscayne Boulevard  
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## SECTIONS

SHEET NUMBER

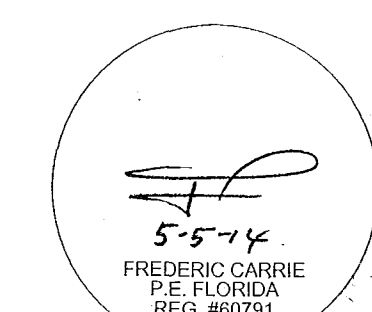
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O'Connell, Naccarato, Mignogna & Jackson  
STRUCTURAL ENGINEERS  
3211 15TH STREET, SUITE 200  
WEST PALM BEACH, FLORIDA 33411  
(800) 835-9994 FAX (561) 835-8255  
LIC. #0004386  
JOB # 665.073



15 SECTION 3/4" = 1'-0"

16 SECTION 3/4" = 1'-0"

17 SECTION 3/4" = 1'-0"

18 SECTION 3/4" = 1'-0"

19 SECTION 3/4" = 1'-0"

10 SECTION 3/4" = 1'-0"

11 SECTION 3/4" = 1'-0"

12 SECTION 3/4" = 1'-0"

13 SECTION 3/4" = 1'-0"

14 SECTION 3/4" = 1'-0"

5 SECTION 3/4" = 1'-0"

6 SECTION 3/4" = 1'-0"

7 SECTION - CAMPTON APARTMENTS 3/4" = 1'-0"

8 SECTION 3/4" = 1'-0"

9 SECTION 3/4" = 1'-0"

1 SECTION 3/4" = 1'-0"

2 SECTION 3/4" = 1'-0"

3 SECTION 3/4" = 1'-0"

4 SECTION 3/4" = 1'-0"

PERMIT SET  
1/24/14

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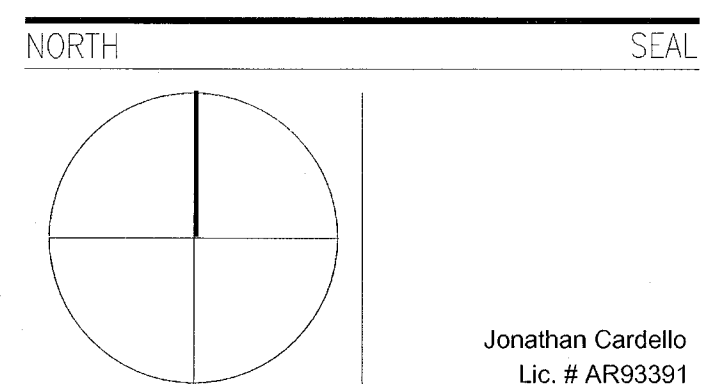
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O'Donnell, Naccarato, Mignogna  
STRUCTURAL ENGINEERS  
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WEST PALM BEACH, FLORIDA 33411  
(561) 835-7994 FAX (561) 835-8255  
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KEYPLAN N.T.S.

REVISIONS		
NO.	DESCRIPTION	ISSUE DATE
1	PROGRESS TO 100% CD	2/7/14
2	PERMIT REVIEW COMMENTS	3/14/14

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Suite 1670  
Two South  
Biscayne Boulevard  
Miami, FL 33131  
T. 305.482.8700  
F. 305.482.8770  
www.addinc.com  
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SECTIONS

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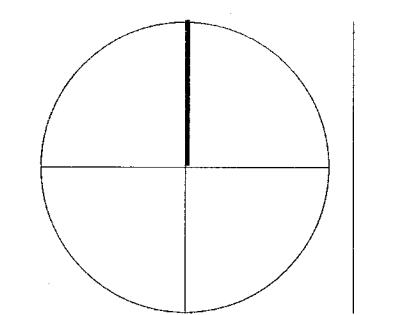
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REVISIONS		
NO.	DESCRIPTION	ISSUE DATE
1	PROGRESS TO 100% CD	2/7/14
2	PERMIT REVIEW COMMENTS	3/14/14
3	POOL SUITES WALLS	4/4/14

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BUILDING	REVIEWER	DATE
STRUCTURAL	INC	11/10/14
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SITE CIVIL		

PERMIT SET

NORTH SEAL



Jonathan Cardello  
Lic. # AR53391

ADD Inc Architecture Interiors Planning

One Biscayne Tower  
Suite 1670  
Two South  
Biscayne Boulevard  
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SCALE:

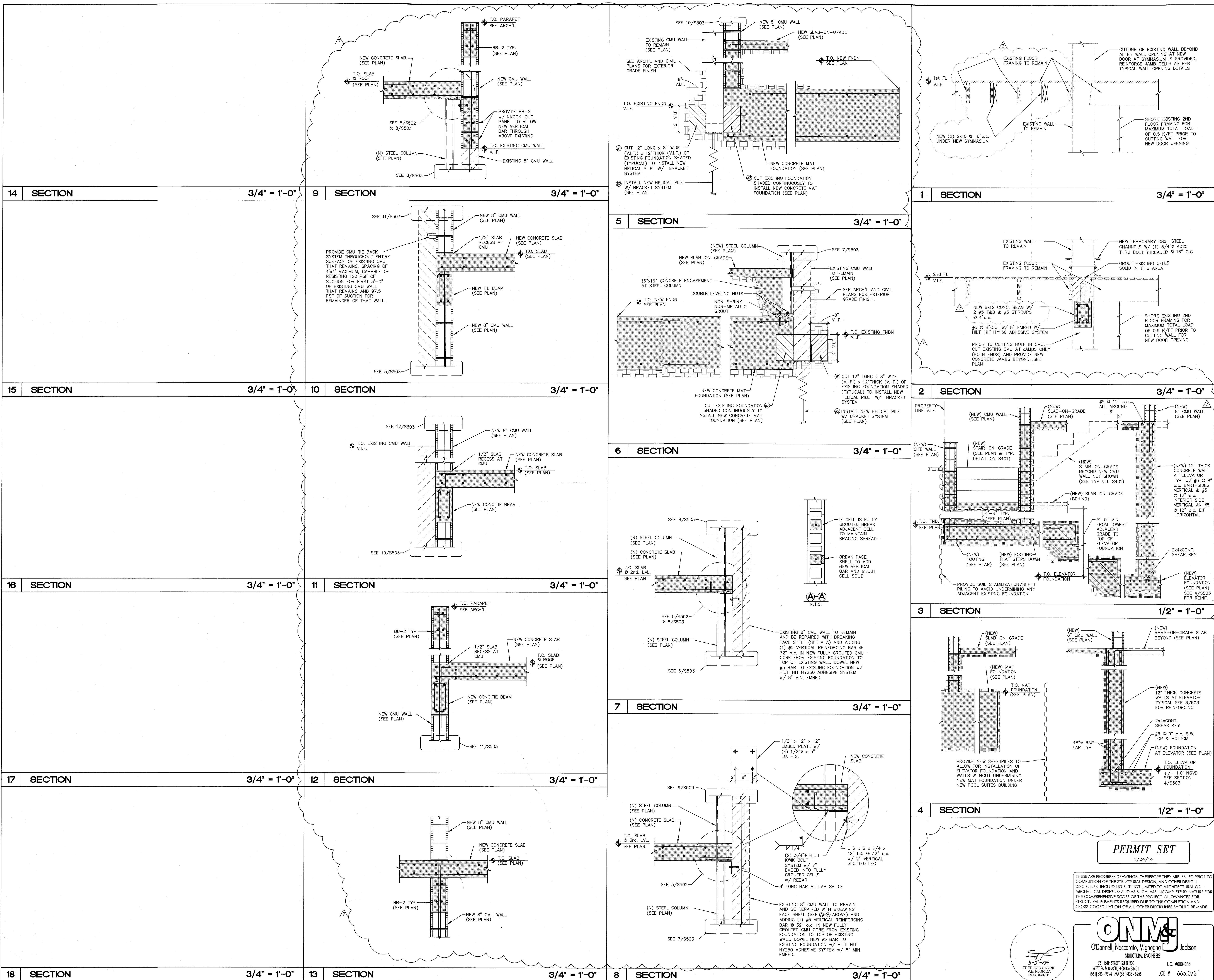
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SECTIONS

SHEET NUMBER

S503

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REVISIONS		
NO.	DESCRIPTION	ISSUE DATE
1	PROGRESS 100% CD SET	02-07-14
2	PERMIT REVIEW COMMENTS	03-14-14

100% CONSTRUCTION  
DOCUMENT SET

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Jonathan Cardello  
Lic. # AR93391

ADD Inc Architecture Interiors Planning

One Biscayne Tower  
Suite 1670  
Two South  
Biscayne Boulevard  
Miami, FL 33131  
T. 305.482.8700  
F. 305.482.8770  
www.addinc.com  
Lic. # AA2601507

Boston Miami

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SCALE: AS NOTED

SHEET TITLE

BASEMENT  
DEMOLITION PLAN

M0.00

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MECHANICAL DRAWING INDEX	
DWG. No.	DRAWING DESCRIPTION
MECHANICAL DEMOLITION PLANS - (SCALE: 3/32"=1'-0")	
M0.00	BASEMENT MECHANICAL DEMO PLAN - DRAWING INDEX
M0.01	GROUND FLOOR MECHANICAL DEMO PLAN
M0.02	SECOND FLOOR MECHANICAL DEMO PLAN
M0.03	THIRD FLOOR MECHANICAL DEMO PLAN
FLOOR PLANS - (SCALE: 3/32"=1'-0")	
M1.00	BASEMENT MECHANICAL PLAN - DRAWING INDEX
M1.01	GROUND FLOOR MECHANICAL PLAN
M1.02	SECOND FLOOR MECHANICAL PLAN
M1.03	THIRD FLOOR MECHANICAL PLAN
M1.04	ROOF MECHANICAL PLAN

MECHANICAL DRAWING INDEX	
DWG. No.	DRAWING DESCRIPTION
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M2.01	MECHANICAL PLAN
M2.02	MECHANICAL PLAN
M2.03	MECHANICAL PLAN
M2.04	MECHANICAL PLAN
M2.05	MECHANICAL PLAN
M2.06	MECHANICAL PLAN
M2.07	MECHANICAL PLAN
M2.08	MECHANICAL PLAN
M2.09	MECHANICAL PLAN
RISER DIAGRAMS - (SCALE: N.T.S.)	
M4.01	DX RISER SCHEMATIC DIAGRAM
MECHANICAL SCHEDULES - (SCALE: N.T.S.)	
M5.01	MECHANICAL SCHEDULES
M5.02	MECHANICAL SCHEDULES
DETAILS - (SCALE: N.T.S.)	
M6.01	MECHANICAL DETAILS

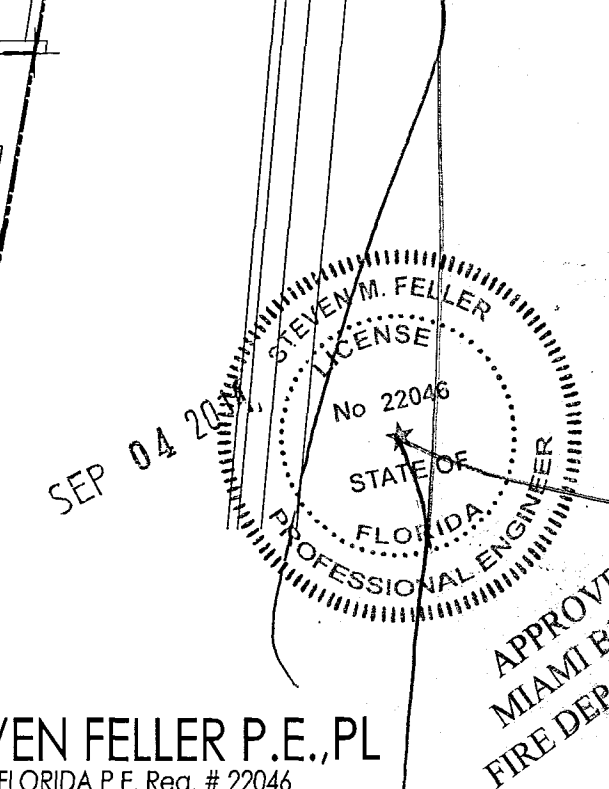
DEMOLITION DRAWING NOTES	
1	PHASE COORDINATION OF DEMOLITION TO BE DETERMINED BY SURVEY OR EXISTING EQUIPMENT TO REMAIN.
2	REMOVE AND COORDINATE DISPOSAL OF THE EXISTING HVAC EQUIPMENT TO BE DEMOLISHED WITH GENERAL CONTRACTOR.
3	EXISTING POOL SUITES BUILDING TO BE DEMOLISHED IN ITS ENTIRETY.

HVAC DESIGN REQUIREMENTS		
HVAC DESIGN REQUIRES	YES	NO
DUCT SMOKE DETECTOR	X	
FIRE DAMPER(S)		X
SMOKE DAMPER(S)		X
FIRE RATED ENCLOSURE		X
FIRE RATED ROOF/FLOOR CEILING ASSEMBLY		X
FIRE STOPPING		X
SMOKE CONTROL		X

BASEMENT MECHANICAL DEMOLITION PLAN  
SCALE: 3/32"=1'-0"

STEVEN FELLER P.E., PL  
FLORIDA P.E. Reg. # 22046  
Certificate of Authorization # 00003427  
500 N.E. THIRD AVENUE  
FORT LAUDERDALE, FLORIDA 33301  
PH: 954.467.1402 FAX: 954.467.3702  
e-mail: fellerpe@fellerpe.com  
JOB # 13133

REVIEWER INITIALS		DATE REVIEWED
BUILDING		
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MECHANICAL		
ELECTRICAL		
PLUMBING		
SITE CIVIL		





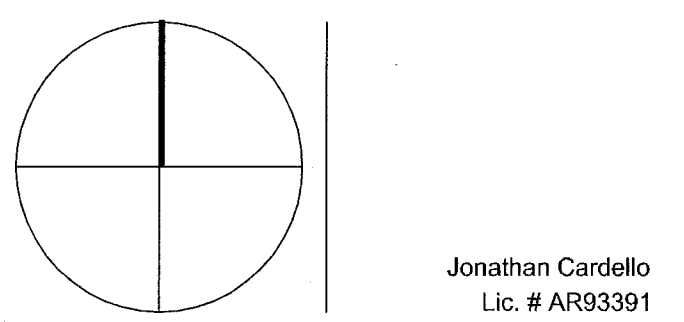
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1	PROGRESS 100% CD SET	02-07-14

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ADD Inc Architecture Interiors Planning

One Biscayne Tower  
Suite 1670  
Two South  
Biscayne Boulevard  
Miami, FL 33131  
T. 305.482.8700  
F. 305.482.8770  
www.addinc.com  
Lic. # AA2601507

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SHEET TITLE

GROUND FLOOR  
DEMOLITION PLAN

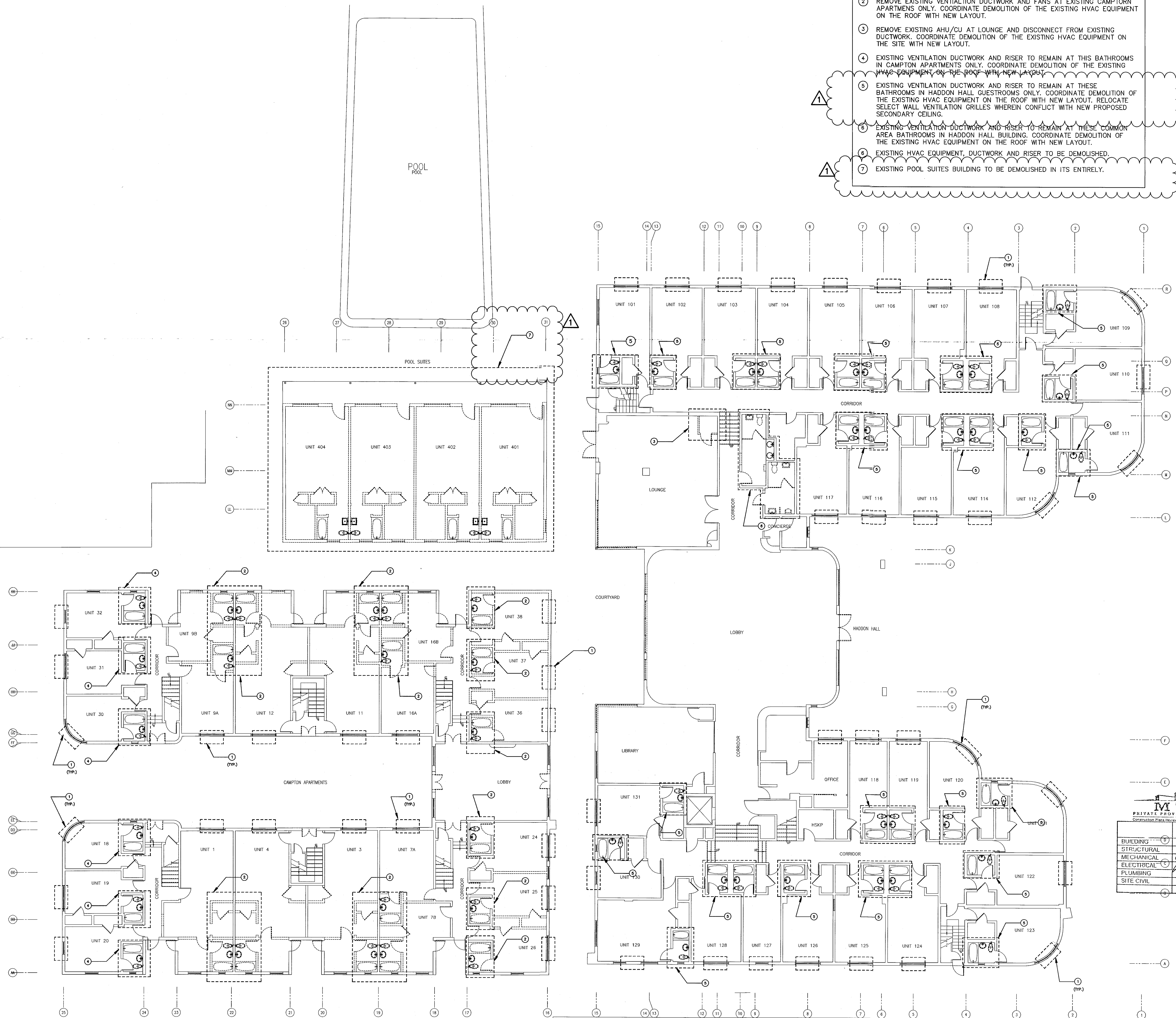
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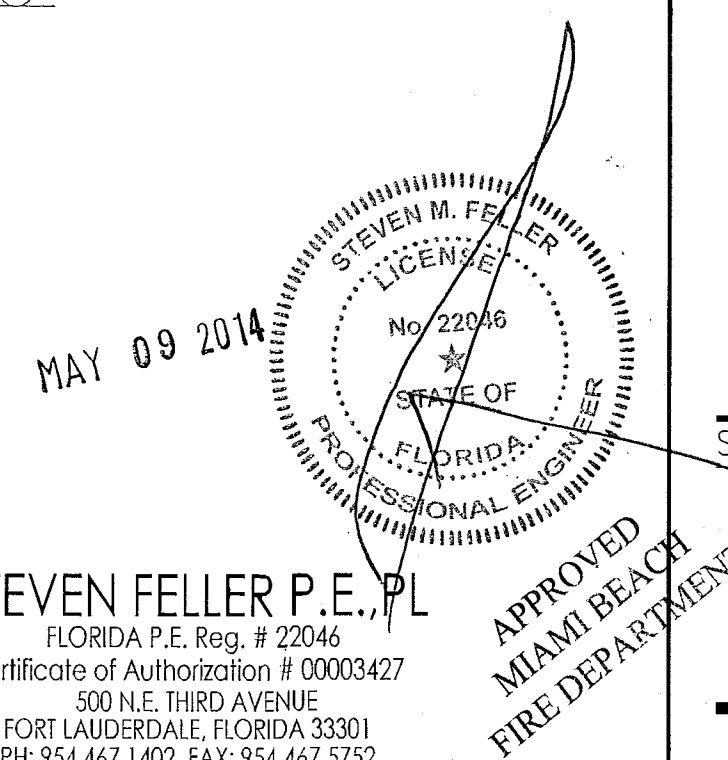
DEMOLITION DRAWING NOTES

- 1 REMOVE EXISTING WINDOW UNITS AND REMOVE FROM SITE. COORDINATE DISPOSAL OF THE EXISTING HVAC EQUIPMENT TO BE DEMOLISHED WITH GENERAL CONTRACTOR. (TYPICAL FOR ALL WINDOW UNITS)
- 2 REMOVE EXISTING VENTILATION DUCTWORK AND FANS AT EXISTING CAMPTON APARTMENTS ONLY. COORDINATE DEMOLITION OF THE EXISTING HVAC EQUIPMENT ON THE ROOF WITH NEW LAYOUT.
- 3 REMOVE EXISTING AHU/CU AT LOUNGE AND DISCONNECT FROM EXISTING DUCTWORK. COORDINATE DEMOLITION OF THE EXISTING HVAC EQUIPMENT ON THE SITE WITH NEW LAYOUT.
- 4 EXISTING VENTILATION DUCTWORK AND RISER TO REMAIN AT THIS BATHROOMS IN CAMPTON APARTMENTS ONLY. COORDINATE DEMOLITION OF THE EXISTING HVAC EQUIPMENT ON THE ROOF WITH NEW LAYOUT.
- 5 EXISTING VENTILATION DUCTWORK AND RISER TO REMAIN AT THESE BATHROOMS IN HADDON HALL GUESTROOMS ONLY. COORDINATE DEMOLITION OF THE EXISTING HVAC EQUIPMENT ON THE ROOF WITH NEW LAYOUT. RELOCATE SELECT WALL VENTILATION GRILLES WHEREIN CONFLICT WITH NEW PROPOSED SECONDARY CEILING.
- 6 EXISTING VENTILATION DUCTWORK AND RISER TO REMAIN AT THESE COMMON AREA BATHROOMS IN HADDON HALL BUILDING. COORDINATE DEMOLITION OF THE EXISTING HVAC EQUIPMENT ON THE ROOF WITH NEW LAYOUT.
- 7 EXISTING HVAC EQUIPMENT, DUCTWORK AND RISER TO BE DEMOLISHED.
- 8 EXISTING POOL SUITES BUILDING TO BE DEMOLISHED IN ITS ENTIRETY.



GROUND FLOOR MECHANICAL DEMOLITION PLAN

SCALE: 3/32" = 1'-0"



STEVEN FELLER P.E., P.L.  
FLORIDA P.E. Reg. # 22046  
Certificate of Authorization # 00003427  
300 N.E. THIRD AVENUE  
FORT LAUDERDALE, FLORIDA 33301  
PH: 954.467.1402 FAX: 954.467.3752  
e-mail: fellerpe@fellepe.com  
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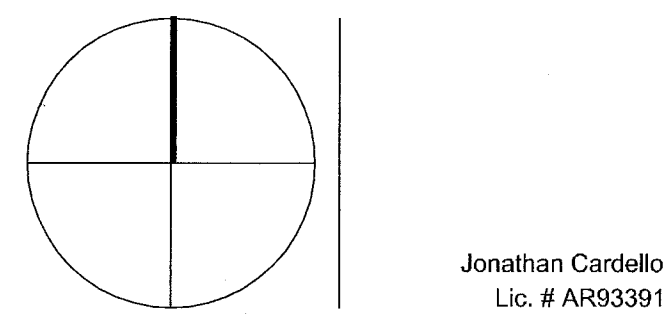
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One Biscayne Tower  
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Two South  
Biscayne Boulevard  
Miami, FL 33131  
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F. 305.482.8770  
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SHEET TITLE

THIRD FLOOR  
DEMOLITION PLAN

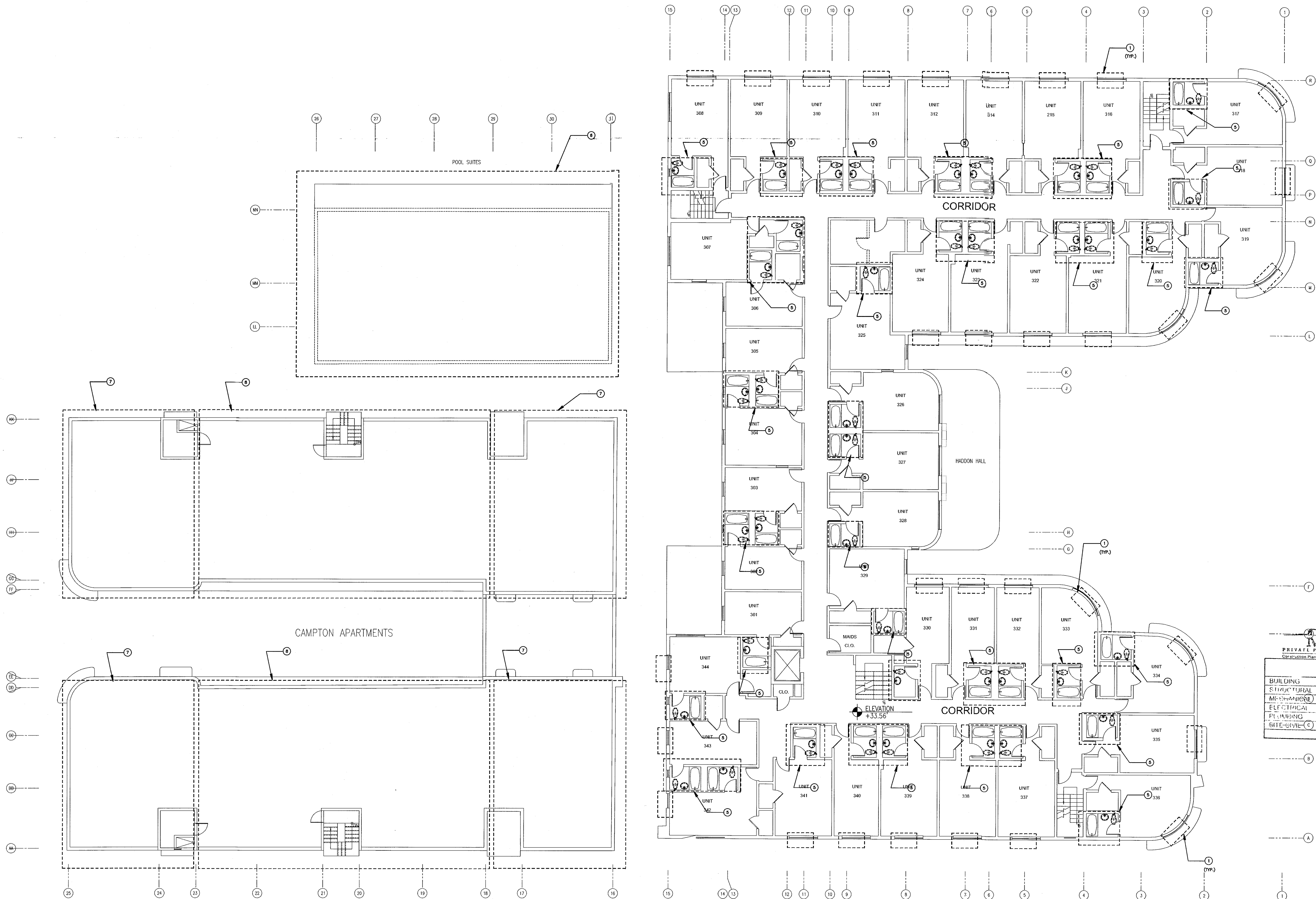
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DEMOLITION DRAWING NOTES

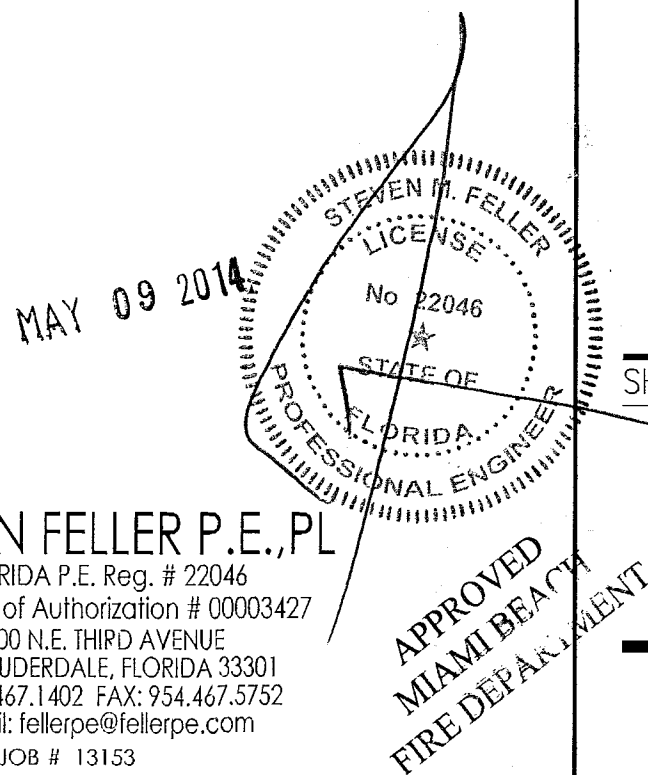
- 1 REMOVE EXISTING WINDOW UNITS AND REMOVE FROM SITE. COORDINATE DISPOSAL OF THE EXISTING HVAC EQUIPMENT TO BE DEMOLISHED WITH GENERAL CONTRACTOR. (TYPICAL FOR ALL WINDOW UNITS)
- 2 REMOVE EXISTING VENTILATION DUCTWORK AND FANS AT EXISTING CAMPTON APARTMENTS ONLY. COORDINATE DEMOLITION OF THE EXISTING HVAC EQUIPMENT ON THE ROOF WITH NEW LAYOUT.
- 3 REMOVE EXISTING AHU/CU AT LIBRARY AND LOUNGE AND DISCONNECT FROM EXISTING DUCTWORK TO REMAIN. COORDINATE DEMOLITION OF THE EXISTING HVAC EQUIPMENT ON THE SITE WITH NEW LAYOUT.
- 4 EXISTING VENTILATION DUCTWORK AND RISER TO REMAIN AT THIS BATHROOMS IN CAMPTON APARTMENTS ONLY. COORDINATE DEMOLITION OF THE EXISTING HVAC EQUIPMENT ON THE ROOF WITH NEW LAYOUT.
- 5 EXISTING VENTILATION DUCTWORK AND RISER TO REMAIN AT THESE BATHROOMS IN HADDON HALL GUESTROOMS ONLY. COORDINATE DEMOLITION OF THE EXISTING HVAC EQUIPMENT ON THE ROOF WITH NEW LAYOUT. RELOCATE SELECT WALL VENTILATION GRILLES WHEREIN CONFLICT WITH NEW PROPOSED SECONDARY CEILING.
- 6 EXISTING STRUCTURE TO REMAIN. EXISTING HVAC, VENTILATION DUCTWORK AND RISER TO BE DEMOLISHED.
- 7 EXISTING HVAC EQUIPMENT ON ROOF TO REMAIN. COORDINATE WITH HVAC CONTRACTOR AND NEW WORK.
- 8 EXISTING HVAC EQUIPMENT ON ROOF TO BE DEMOLISHED. COORDINATE DISPOSAL OF THE EXISTING HVAC EQUIPMENT TO BE DEMOLISHED WITH GENERAL CONTRACTOR.



MTCI PRIVATE PROVIDER SERVICES, LLC Construction Plans Review, Construction, Safety & Consulting			
BUILDING	DATE	INITIALS	REVIEWED
STRUCTURAL			
Mechanical	11/10/14		
Electrical			
Plumbing			
Site Service			

THIRD FLOOR MECHANICAL DEMOLITION PLAN  
SCALE: 3/32" = 1'-0"

STEVEN FELLER P.E., PL  
FLORIDA P.E. Reg. # 22046  
Certificate of Authorization # 00003427  
500 E. SHIP AVENUE  
FORT LAUDERDALE, FLORIDA 33301  
PH: 754.467.1402 FAX: 754.467.5752  
e-mail: sfeller@stefello.com  
JOB # 13153





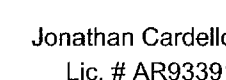
## MIAMI BEACH, FL

N.T.S.

- ① SET OF REF. LINES RISER UP TO CU-1 ON ROOF.
- ② SET OF REF. LINES RISER UP TO CU-2 ON ROOF.
- ③ SET OF REF. LINES RISER UP TO CU-3 ON ROOF.
- ④ SET OF REF. LINES @ CEILING

[illegible]

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One Biscayne Tower  
Suite 1670  
Two South  
Biscayne Boulevard  
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BASEMENT  
MECHANICAL PLAN

BASEMENT  
MECHANICAL PLAN

SHEET NUMBER \_\_\_\_\_

~~M1.00~~

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SCALE: 3/32" = 1'-0"

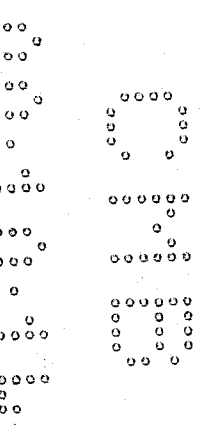
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## DRAWING NOTES:

- 1 SET OF REF. LINES RISER UP TO CU-6 ON ROOF.
- 2 SET OF REF. LINES RISER UP TO ACCU-21 ON ROOF.
- 3 NOT USED
- 4 SET OF REF. LINES RISER UP TO ACCU-18 ON ROOF.
- 5 SET OF REF. LINES RISER UP TO ACCU-16 ON ROOF.
- 6 SET OF REF. LINES RISER UP TO ACCU-19 ON ROOF.
- 7 SET OF REF. LINES RISER UP TO ACCU-20 ON ROOF.
- 8 SET OF REF. LINES RISER UP TO CU-2 ON ROOF.
- 9 SET OF REF. LINES RISER UP TO CU-1 ON ROOF.
- 10 SET OF REF. LINES RISER UP TO CU-3 ON ROOF.
- 11 SET OF REF. LINES RISER UP TO ACCU-1 ON ROOF.
- 12 SET OF REF. LINES RISER UP TO ACCU-4 ON ROOF.
- 13 SET OF REF. LINES RISER UP TO ACCU-7 ON ROOF.
- 14 SET OF REF. LINES RISER UP TO ACCU-10 ON ROOF.
- 15 SET OF REF. LINES RISER UP TO CU-5 ON LOW ROOF. FIELD VERIFY EXACT ROUTING.

## GENERAL NOTES:

OUTSIDE AIR FOR HABITABLE SPACES WILL BE PROVIDED BY OPERABLE WINDOWS TO COMPLY WITH THE NATURAL VENTILATION METHOD IN ACCORDANCE WITH FMC 2010 SECTION 402.2

THE EXISTING NATURAL VENTILATION AT THE GUESTROOM RESTROOMS IS TO REMAIN AT THE HADDON AND CAMPION BUILDINGS. IT OCCURS THROUGH A WALL VENT LEADING UP THE AIR TO THE ATTIC SPACES WHERE IS VENTED OUT. EXCEPT FOR UNITS B104, B105, B106 & B107 AS INDICATED

SEE M2.01 FOR 1/4"=1'-0" PLAN

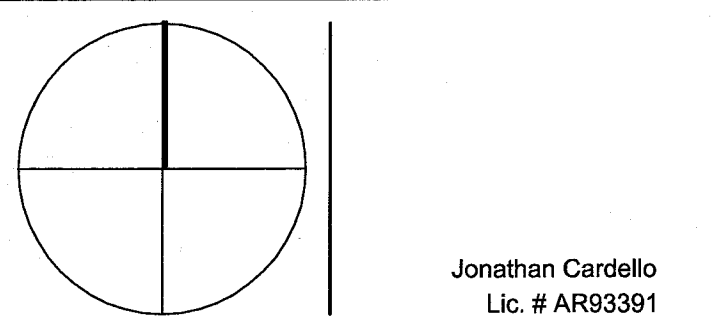
SEE M2.03 FOR 1/4"=1'-0" PLAN

SEE M2.04 FOR 1/4"=1'-0" PLAN

NO.	DESCRIPTION	ISSUE DATE
1	PROGRESS 100% CD SET	02-07-14
2	PERMIT REVIEW COMMENTS	03-14-14
3	COORDINATION REVISION	03-14-14
9	KITCHEN RELOCATION	05-30-14

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One Biscayne Tower  
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Biscayne Boulevard  
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SHEET TITLE

GROUND FLOOR MECHANICAL PLAN

SHEET NUMBER

M1.01

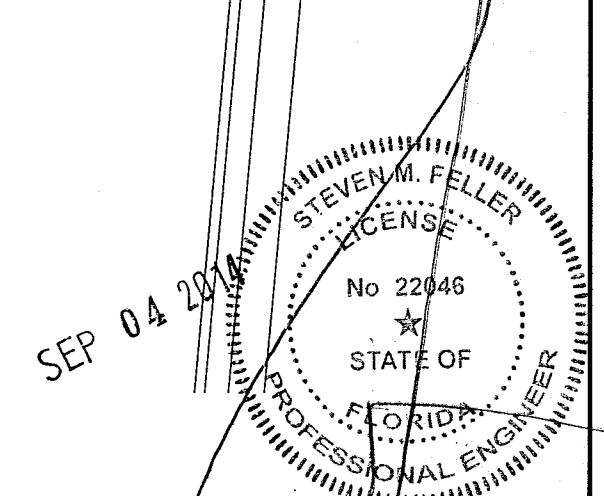
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## GROUND FLOOR MECHANICAL PLAN

SCALE: 3/32"=1'-0"

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Certificate of Authorization # 00003427  
901 NE THIRD AVENUE  
FORT LAUDERDALE, FLORIDA 33301  
PH: 954.467.1422 FAX: 954.467.5752  
e-mail: fellerse@fellerse.com  
JOB # 131153

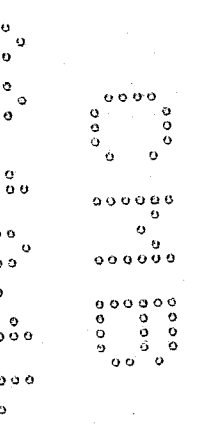
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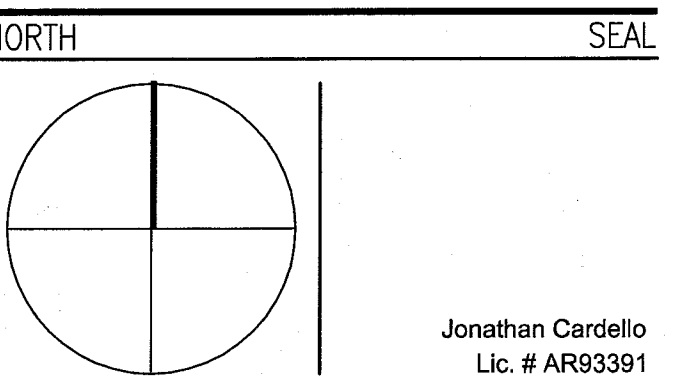
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REVISIONS		
NO.	DESCRIPTION	ISSUE DATE
1	PROGRESS 100% CD SET	02-07-14
2	PERMIT REVIEW COMMENTS	03-14-14
3	COORDINATION REVISION	03-14-14

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One Biscayne Tower  
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## SECOND FLOOR MECHANICAL PLAN

SHEET NUMBER

**M1.02**

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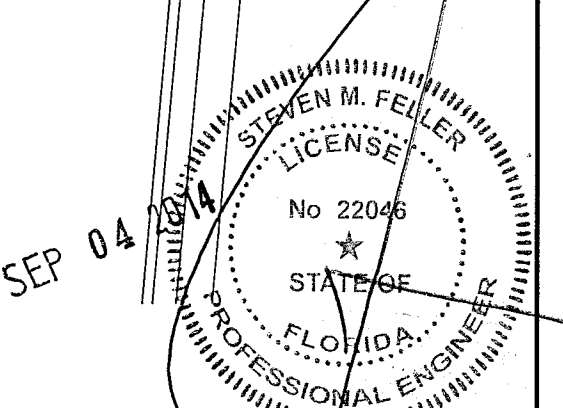
- DRAWING NOTES:**
- 1 SET OF REF. LINES RISER UP TO ACCU-21 ON ROOF.
  - 2 SET OF REF. LINES RISER UP TO ACCU-18 ON ROOF.
  - 3 NOT USED
  - 4 SET OF REF. LINES RISER UP TO ACCU-16 ON ROOF.
  - 5 SET OF REF. LINES RISER UP TO ACCU-20 ON ROOF.
  - 6 SET OF REF. LINES RISER UP TO ACCU-19 ON ROOF.
  - 7 SET OF REF. LINES RISER UP TO CU-2 ON ROOF.
  - 8 SET OF REF. LINES RISER UP TO CU-1 ON ROOF.
  - 9 SET OF REF. LINES RISER UP TO ACCU-14 ON ROOF.
  - 10 SET OF REF. LINES RISER UP TO ACCU-13 ON ROOF.
  - 11 SET OF REF. LINES RISER UP TO ACCU-15 ON ROOF.
  - 12 SET OF REF. LINES RISER UP TO CU-3 ON ROOF.
  - 13 SET OF REF. LINES RISER UP TO ACCU-2 ON ROOF.
  - 14 SET OF REF. LINES RISER UP TO ACCU-1 ON ROOF.
  - 15 SET OF REF. LINES RISER UP TO ACCU-4 ON ROOF.
  - 16 SET OF REF. LINES RISER UP TO ACCU-5 ON ROOF.
  - 17 SET OF REF. LINES RISER UP TO ACCU-8 ON ROOF.
  - 18 SET OF REF. LINES RISER UP TO ACCU-7 ON ROOF.
  - 19 SET OF REF. LINES RISER UP TO ACCU-10 ON ROOF.
  - 20 SET OF REF. LINES RISER UP TO ACCU-11 ON ROOF.
  - 21 SET OF REF. LINES DOWN TO 1ST FLOOR.

**GENERAL NOTES:**  
OUTSIDE AIR FOR HABITABLE SPACES WILL BE PROVIDED BY OPERABLE WINDOWS TO COMPLY WITH THE NATURAL VENTILATION METHOD IN ACCORDANCE WITH FMC 2010 SECTION 402 (402.2)  
THE EXISTING NATURAL VENTILATION AT THE GUESTROOM RESTROOMS IS TO REMAIN AT THE HADDON AND CAMPTON BUILDINGS.  
IT OCCURS THROUGH A WALL VENT LEADING UP THE AIR TO THE ATTIC SPACES WHERE IT IS VENTED OUT.  
EXCEPT FOR UNITS B104, B105, B106 & B107 AS INDICATED

## SECOND FLOOR MECHANICAL PLAN SCALE: 3/32" = 1'-0"

**STEVEN FELLER P.E., PL**  
FLORIDA P.E. Reg. # 22046  
Certificate of Authorization # 00003427  
3001 E. THIRD AVENUE  
FORT LAUDERDALE, FLORIDA 33301  
PH: 954.467.1402 FAX: 954.467.5752  
e-mail: stevenf@stevenfeller.com  
JOB # 13153

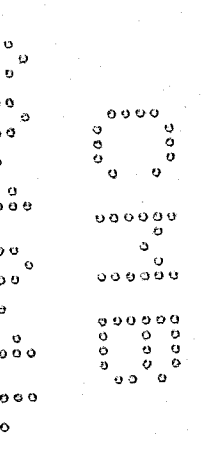
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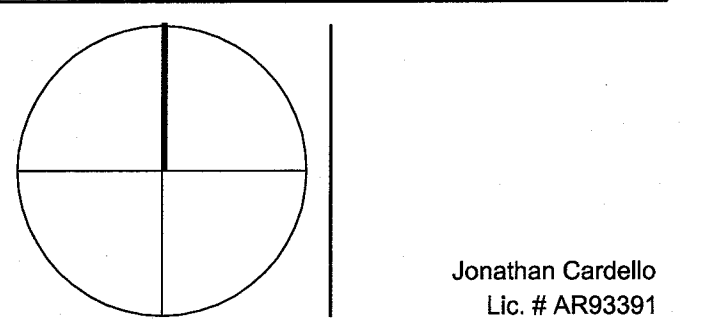
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1	PROGRESS 100% CD SET	02-07-14
2	PERMIT REVIEW COMMENTS	03-14-14
3	COORDINATION REVISION	03-14-14
4	FIRE REVIEW COMMENTS	04-07-14
9	KITCHEN RELOCATION	05-30-14

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### ADD Inc

Architecture Interiors Planning

One Biscayne Tower  
Suite 1670  
Two South  
Biscayne Boulevard  
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T. 305.482.8700  
F. 305.482.8770  
www.addinc.com  
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SCALE: AS NOTED

SHEET TITLE

THIRD FLOOR  
MECHANICAL PLAN

SHEET NUMBER

M1.03

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- 1 SET OF REF. LINES RISER UP TO ACCU-14 ON ROOF.
- 2 SET OF REF. LINES RISER UP TO ACCU-13 ON ROOF.
- 3 SET OF REF. LINES RISER UP TO ACCU-15 ON ROOF.
- 4 SET OF REF. LINES RISER UP TO CU-3 ON ROOF.
- 5 SET OF REF. LINES RISER UP TO ACCU-3 ON ROOF.
- 6 SET OF REF. LINES RISER UP TO ACCU-1 ON ROOF.
- 7 SET OF REF. LINES RISER UP TO ACCU-2 ON ROOF.
- 8 SET OF REF. LINES RISER UP TO ACCU-4 ON ROOF.
- 9 SET OF REF. LINES RISER UP TO ACCU-5 ON ROOF.
- 10 SET OF REF. LINES RISER UP TO ACCU-6 ON ROOF.
- 11 SET OF REF. LINES RISER UP TO ACCU-9 ON ROOF.
- 12 SET OF REF. LINES RISER UP TO ACCU-7 ON ROOF.
- 13 SET OF REF. LINES RISER UP TO ACCU-8 ON ROOF.
- 14 SET OF REF. LINES RISER UP TO ACCU-10 ON ROOF.
- 15 SET OF REF. LINES RISER UP TO ACCU-11 ON ROOF.
- 16 SET OF REF. LINES RISER UP TO ACCU-12 ON ROOF.
- 17 KITCHEN HOOD DUCT DOWN TO 1ST FLOOR
- 18 MAKE UP AIR DUCT DOWN TO 1ST FLOOR
- 19 NOT USED.
- 20 REF. LINES RISER DOWN TO 1ST & 2ND FLOOR
- 21 REF. LINES RISER DOWN TO 1ST & BASEMENT LEVEL

NOTE: VERIFY/COORDINATE EXACT LOCATION OF ALL MECHANICAL EQUIPMENT W/ARCHITECTURAL DRAWINGS

### GENERAL NOTES:

OUTSIDE AIR FOR HABITABLE SPACES WILL BE PROVIDED BY OPERABLE WINDOWS TO COMPLY WITH THE NATURAL VENTILATION METHOD IN ACCORDANCE WITH FMC 2010 SECTION 402 (402.2).  
THE EXISTING NATURAL VENTILATION AT THE GUESTROOM RESTROOMS IS TO REMAIN AT THE HADDON AND CAMPION BUILDINGS.  
IT OCCURS THROUGH A WALL VENT LEADING UP THE AIR TO THE ATTIC SPACES WHERE IS VENTED OUT.  
EXCEPT FOR UNITS B104, B105, B106 & B107 AS INDICATED

SEE M2.08 FOR 1/4"=1'-0" PLAN

SEE M2.06 FOR 1/4"=1'-0" PLAN

SEE M2.07 FOR 1/4"=1'-0" PLAN

SEE M2.09 FOR 1/4"=1'-0" PLAN

## THIRD FLOOR MECHANICAL PLAN

SCALE: 3/32"=1'-0"

STEVEN FELLER P.E., P.L.  
FLORIDA P.E. Reg. # 22046  
Certificate of Authorization # 00003427  
602 N.E. THIRD AVENUE  
FORT LAUDERDALE, FLORIDA 33301  
PH: 954.467.1402 FAX: 954.467.5752  
email: fellerpe@fellerpe.com  
JOB # 13113

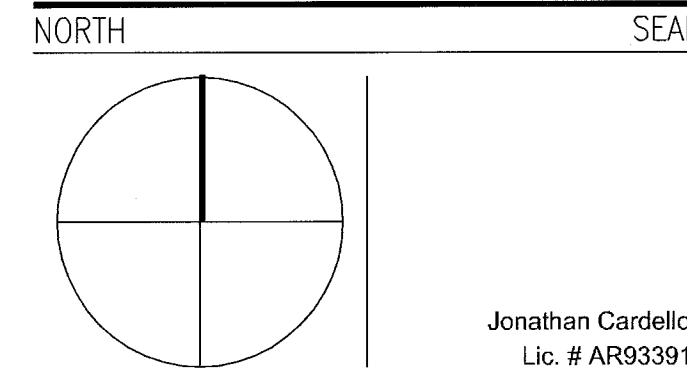
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One Biscayne Tower  
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Two South  
Biscayne Boulevard  
Miami, FL 33131  
T. 305.482.8700  
F. 305.482.8770  
www.addinc.com  
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SHEET TITLE

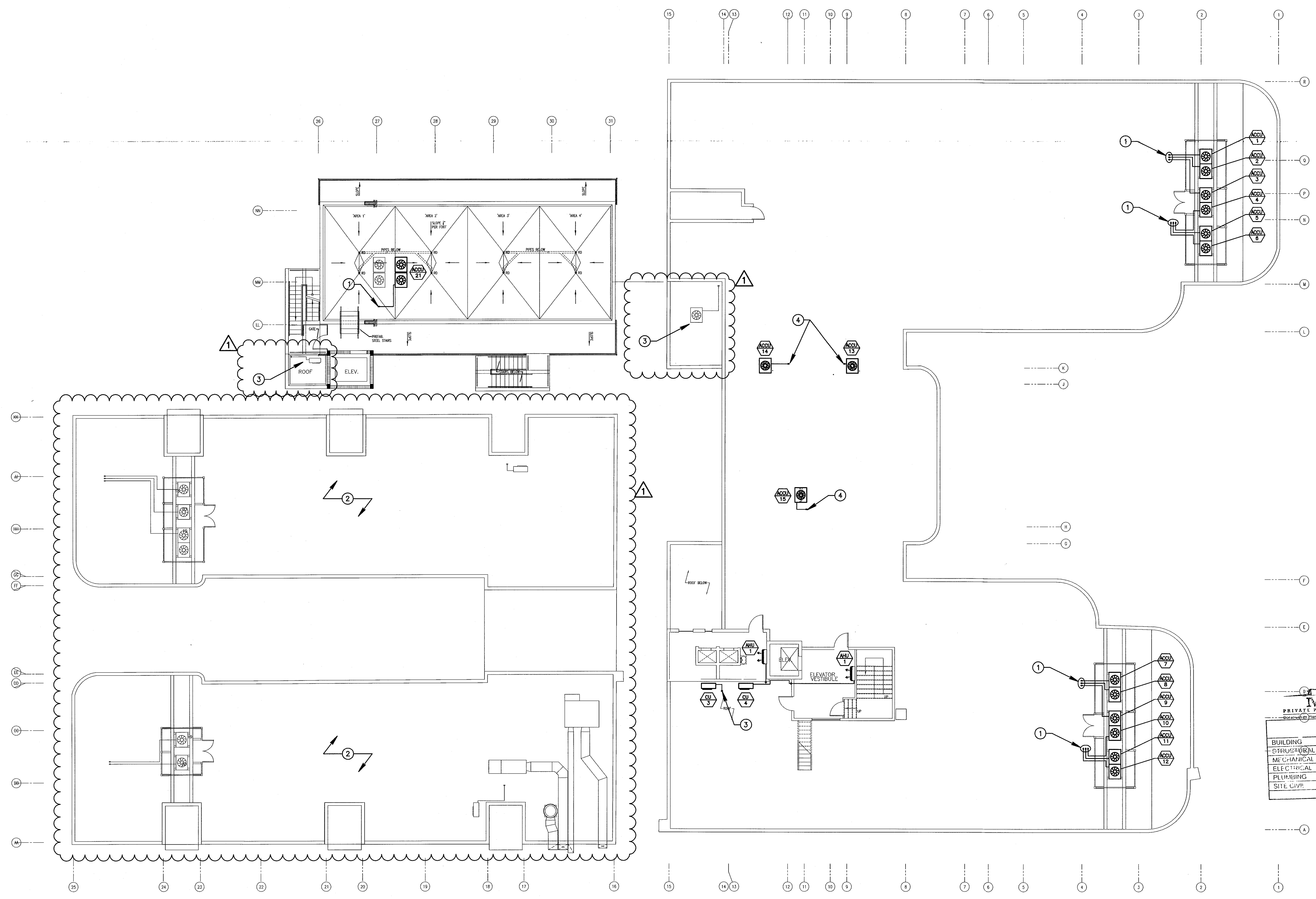
MECHANICAL  
ROOF PLAN

SHEET NUMBER

M1.04

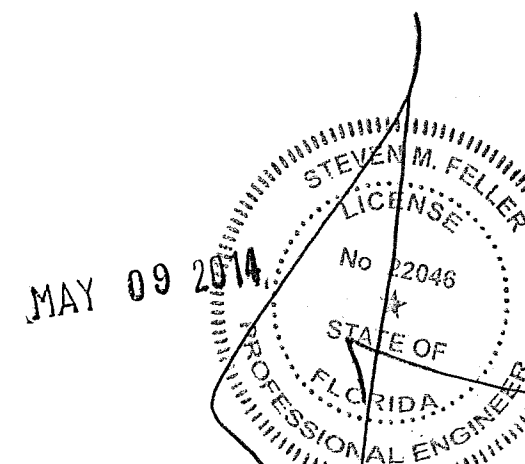
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- DRAWING NOTES:
- 1 REF. LINES RISE DOWN TO 1ST, 2ND & 3RD FLOOR
  - 2 SEE ROOF EQUIPMENT ON SHEET M1.03
  - 3 SEE ROOF EQUIPMENT ON SHEET M1.02
  - 4 REF. LINES RISE UP TO 2ND & 3RD LEVEL
  - 5 REF. LINES RISE DOWN TO 1ST LEVEL
  - 6 KITCHEN HOOD DUCT DOWN TO 1ST FLOOR
  - 7 MAKE UP AIR DUCT DOWN TO 1ST FLOOR
  - 8 KITCHEN S/R AIR CONDITIONING DUCT DOWN TO 1ST FLOOR
- NOTE: VERIFY/COORDINATE EXACT LOCATION OF ALL MECHANICAL EQUIPMENT W/ARCHITECTURAL DRAWINGS



MECHANICAL ROOF PLAN  
SCALE: 3/32" = 1' - 0"

STEVEN FELLER P.E., P.L.  
FLORIDA P.E. Reg. # 22346  
Certificate of Authorization # 00003427  
200 N.E. THIRD AVENUE  
FORT LAUDERDALE, FLORIDA 33301  
PH: 954.467.1402 FAX: 954.467.3732  
e-mail: fellerpe@fellerpe.com  
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REVISIONS		
NO.	DESCRIPTION	ISSUE DATE
1	PROGRESS 100% CD SET	02-07-14
2	COORDINATION REVISION	03-14-14
9	KITCHEN RELOCATION	05-30-14
12	FIRE & MTCI COMMENTS	08-21-14

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Suite 1670  
Two South  
Biscayne Boulevard  
Miami, FL 33131  
T. 305.482.8700  
F. 305.482.8770  
www.addinc.com  
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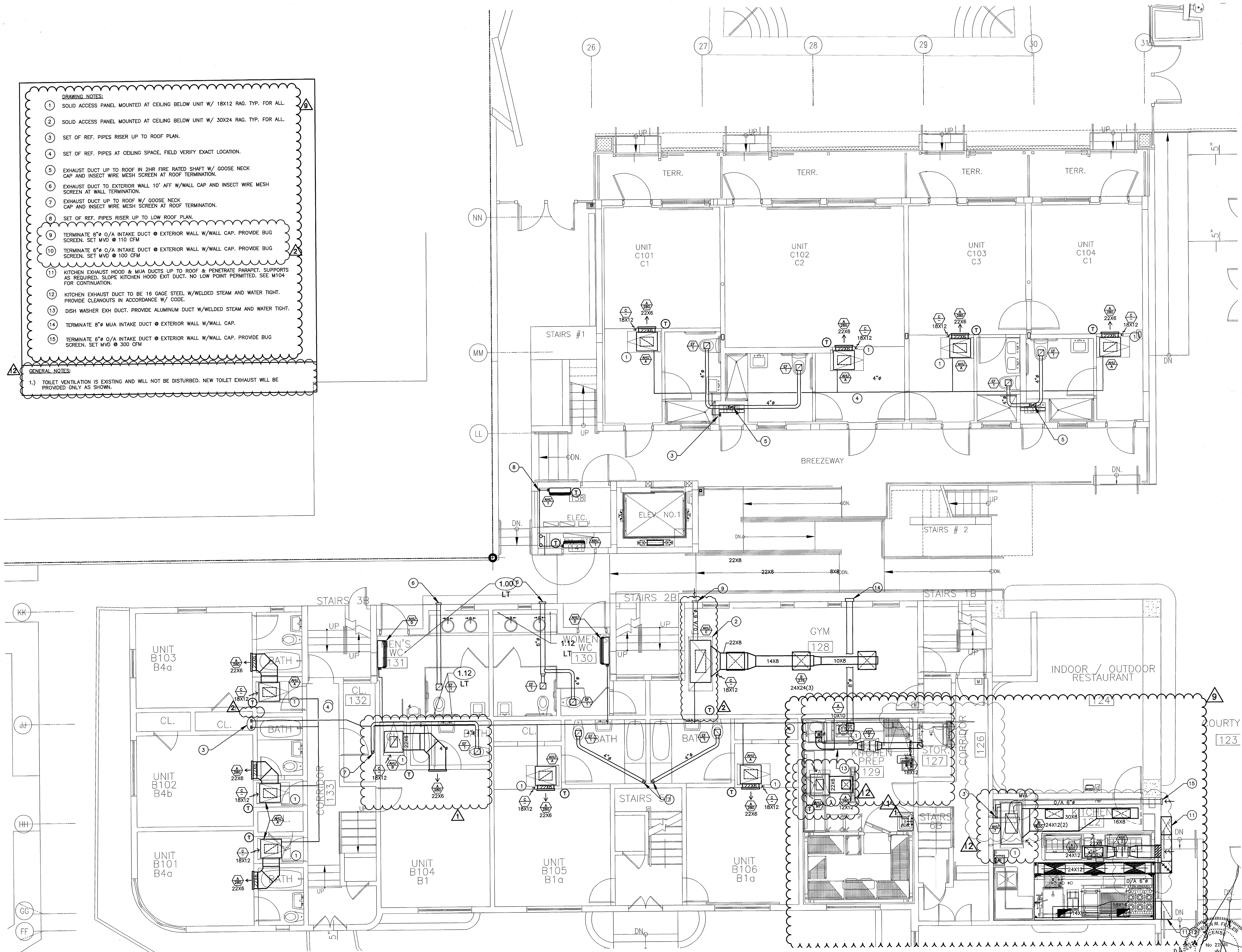
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SHEET TITLE  
ENLARGED UNITS  
MECHANICAL PLAN  
CAMPTON / POOL UNITS

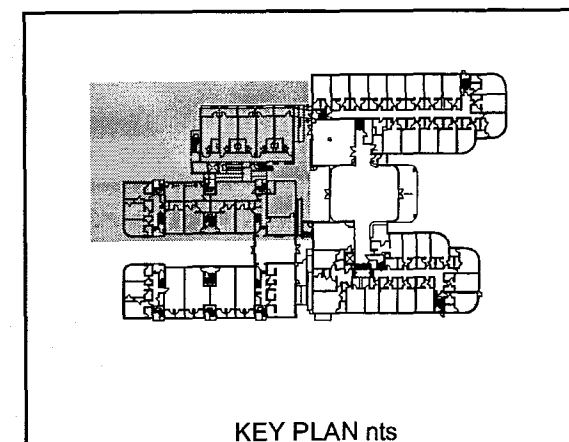
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P.E.  
FLORIDA  
PROFESSIONAL ENGINEER  
No. 2236  
STATE OF FLORIDA  
JOS # 13153

- DRAWING NOTES:**
- SOLID ACCESS PANEL MOUNTED AT CEILING BELOW UNIT W/ 18X12 RAG. TYP. FOR ALL.
  - SOLID ACCESS PANEL MOUNTED AT CEILING BELOW UNIT W/ 30X24 RAG. TYP. FOR ALL.
  - SET OF REF. PIPES RISER UP TO ROOF PLAN.
  - SET OF REF. PIPES AT CEILING SPACE, FIELD VERIFY EXACT LOCATION.
  - EXHAUST DUCT UP TO ROOF IN 2HR FIRE RATED SHAFT W/ GOOSE NECK CAP AND INSECT WIRE MESH SCREEN AT ROOF TERMINATION.
  - EXHAUST DUCT TO EXTERIOR WALL 10' AFF W/WALL CAP AND INSECT WIRE MESH SCREEN AT WALL TERMINATION.
  - EXHAUST DUCT UP TO ROOF W/ GOOSE NECK CAP AND INSECT WIRE MESH SCREEN AT ROOF TERMINATION.
  - SET OF REF. PIPES RISER UP TO LOW ROOF PLAN.
  - TERMINATE 8" O/A INTAKE DUCT @ EXTERIOR WALL W/WALL CAP. PROVIDE BUG SCREEN. SET MVD @ 110 CFM
  - TERMINATE 6" O/A INTAKE DUCT @ EXTERIOR WALL W/WALL CAP. PROVIDE BUG SCREEN. SET MVD @ 100 CFM
  - KITCHEN EXHAUST HOOD & MUA DUCTS UP TO ROOF & PENETRATE PARAPET. SUPPORTS AS REQUIRED. SLOPE KITCHEN HOOD EXH DUCT. NO LOW POINT PERMITTED. SEE M104 FOR CONTINUATION.
  - KITCHEN EXHAUST DUCT TO BE 16 GAGE STEEL W/WELDED STEAM AND WATER TIGHT. PROVIDE CLEANOUTS IN ACCORDANCE W/ CODE.
  - DISH WASHER EXH DUCT. PROVIDE ALUMINUM DUCT W/WELDED STEAM AND WATER TIGHT.
  - TERMINATE 8" MUA INTAKE DUCT @ EXTERIOR WALL W/WALL CAP.
  - TERMINATE 6" O/A INTAKE DUCT @ EXTERIOR WALL W/WALL CAP. PROVIDE BUG SCREEN. SET MVD @ 300 CFM
- GENERAL NOTES:**
- TOILET VENTILATION IS EXISTING AND WILL NOT BE DISTURBED. NEW TOILET EXHAUST WILL BE PROVIDED ONLY AS SHOWN.



CAMPTON / POOLS GROUND FLOOR TYPICAL ENLARGED UNITS MECHANICAL PLAN  
SCALE: 1/4"=1'-0"



STEVEN FELLER P.E.  
FLORIDA P.E. Reg. # 22046  
Certificate of Authorization # 00003427  
500 N.E. THIRD AVENUE  
FORT LAUDERDALE, FLORIDA 33301  
PH: 954.467.1402 FAX: 954.467.5702  
e-mail: fellerpe@fellerpe.com  
JOS # 13153

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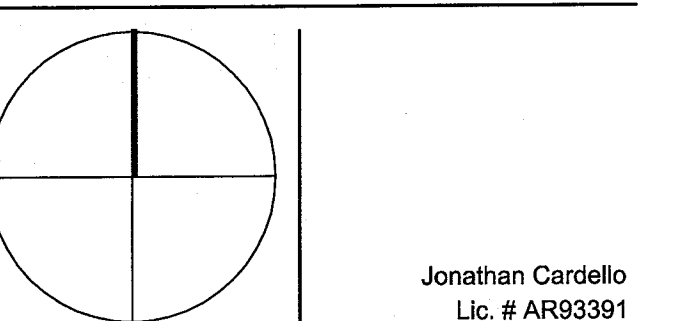
KEYPLAN N.T.S.

REVISIONS

NO.	DESCRIPTION	ISSUE DATE
1	KITCHEN RELOCATION	05-30-14

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ADD Inc Architecture Interiors Planning

One Biscayne Tower  
Suite 1670  
Two South  
Biscayne Boulevard  
Miami, FL 33131  
T. 305.482.8700  
F. 305.482.8710  
www.addinc.com  
Lic. # AA26001507

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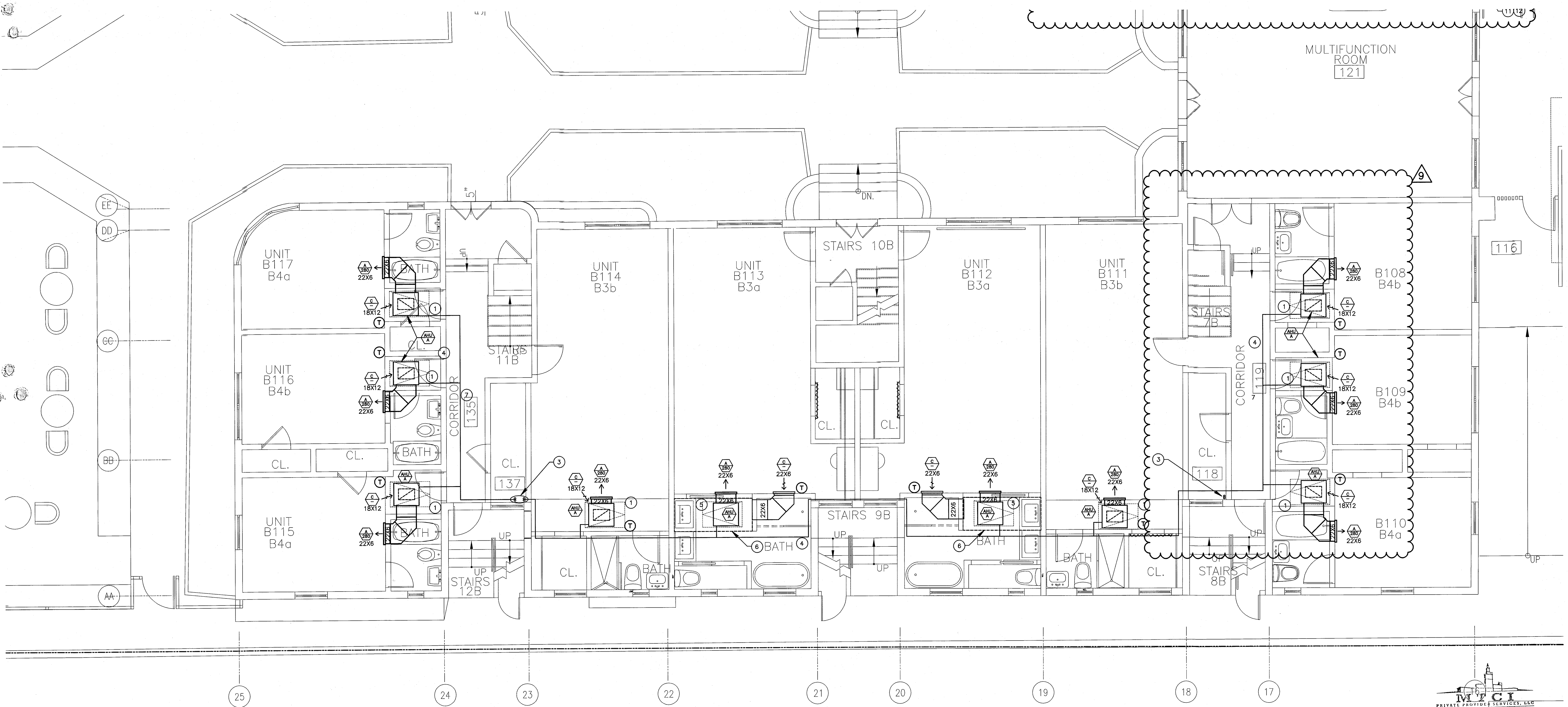
SHEET TITLE

ENLARGED UNITS  
MECHANICAL PLAN  
CAMPTON UNITS

SHEET NUMBER

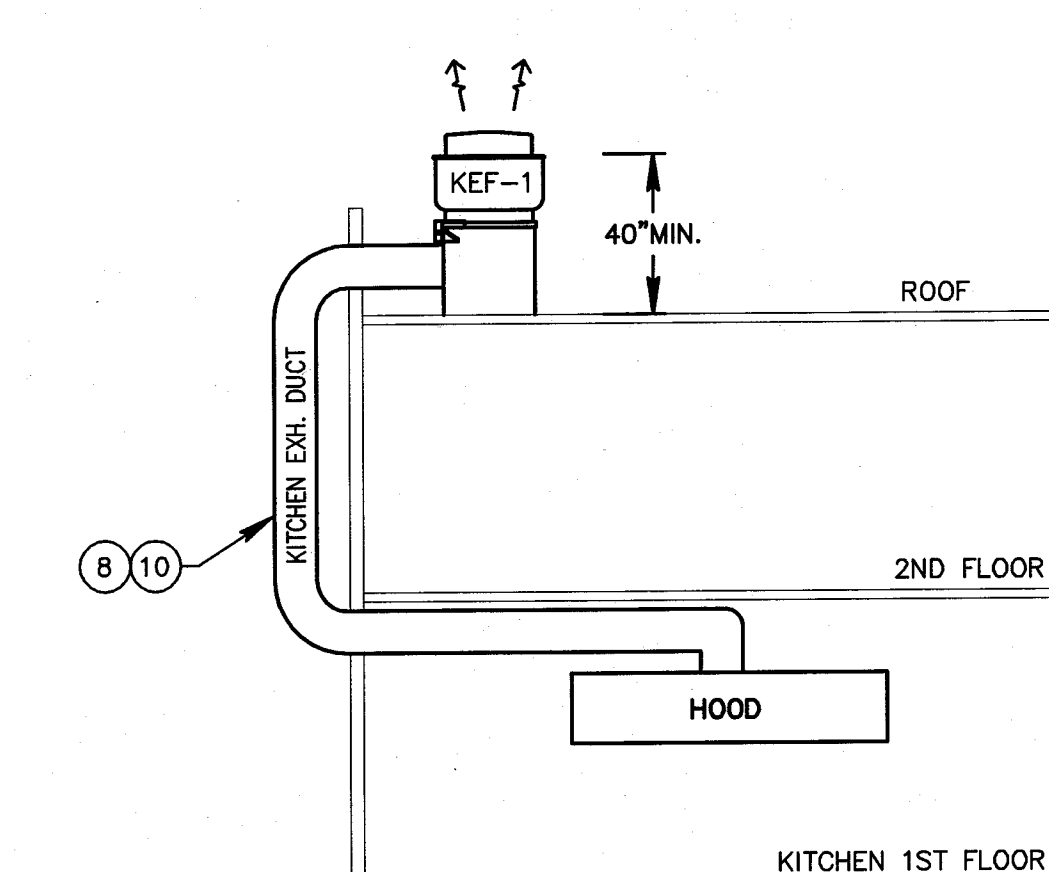
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- DRAWING NOTES:
- SOLID ACCESS PANEL MOUNTED AT CEILING BELOW UNIT W/ 18X12 RAG. TYP. FOR ALL.
  - SOLID ACCESS PANEL MOUNTED AT CEILING BELOW UNIT W/ 30X24 RAG. TYP. FOR ALL.
  - SET OF REF. PIPES RISER UP TO ROOF PLANT.
  - SET OF REF. PIPES AT CEILING SPACE, FIELD VERIFY EXACT LOCATION.
  - SOLID ACCESS PANEL MOUNTED AT CEILING BELOW UNIT.
  - R/A PLENUM ABOVE CEILING, ANY PENETRATIONS THRU PLENUM DUCTWORK, PIPING, CONDUIT, ETC. SHALL BE SEALED AIR TIGHT.
  - SET OF REF. PIPES BELOW EXISTING CEILING, ARCHITECT TO PROVIDE SOFFIT. COORDINATE W/ I D DWG.
  - NOT USED.
  - NOT USED.
  - NOT USED.
  - NOT USED.
  - DISH WASHER EXH DUCT. PROVIDE ALUMINUM DUCT W/WELDED STEAM AND WATER TIGHT.

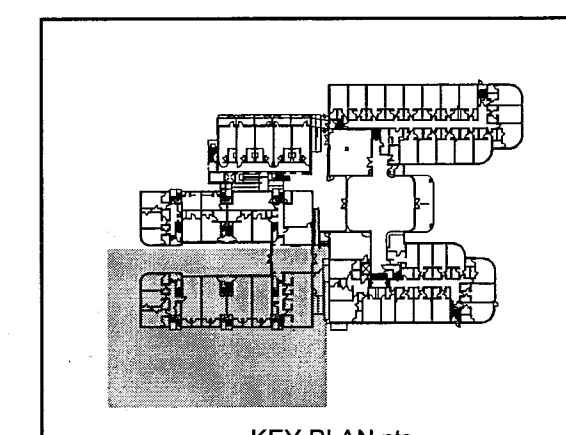


KITCHEN EXH DUCT RISER DIAGRAM

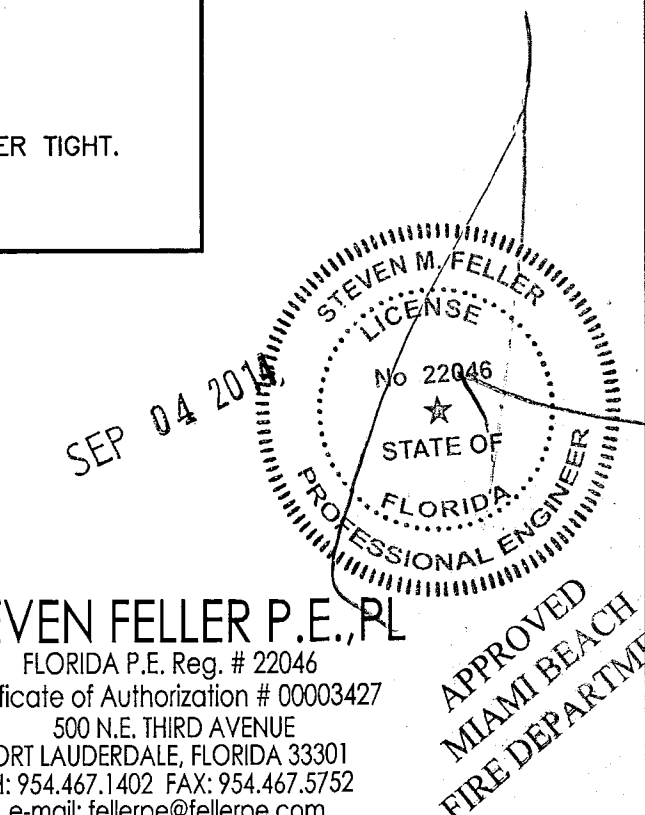
SCALE: NTS

CAMPTON GROUND FLOOR TYPICAL ENLARGED UNITS MECHANICAL PLAN

SCALE: 1/4"=1'-0"



STEVEN FELLER P.E., P.L.  
FLORIDA P.E. Reg. # 22046  
Certificate of Authorization # 00003427  
500 N.E. THIRD AVENUE  
FORT LAUDERDALE, FLORIDA 33301  
PH: 754.467.1400 FAX: 754.467.5752  
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1500 COLLINS AVE  
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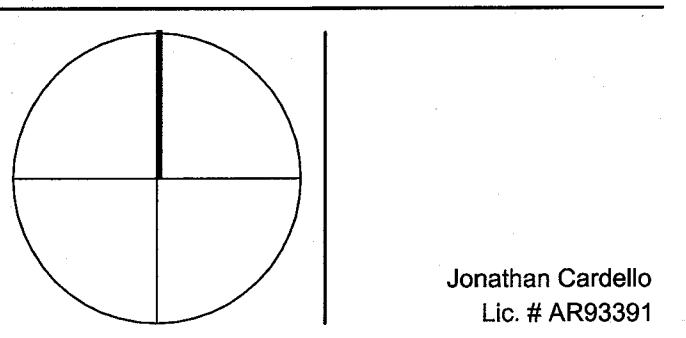
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3	COORDINATION REVISION	03-14-14

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ADD Inc Architecture Interiors Planning

One Biscayne Tower  
Suite 1670  
Two South  
Biscayne Boulevard  
Miami, FL 33131  
T: 305.482.8700  
F: 305.482.8770  
www.addinc.com  
Lic. # AA2601507  
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SHEET TITLE

ENLARGED UNITS  
MECHANICAL PLAN  
HADDON HALL NORTH WING

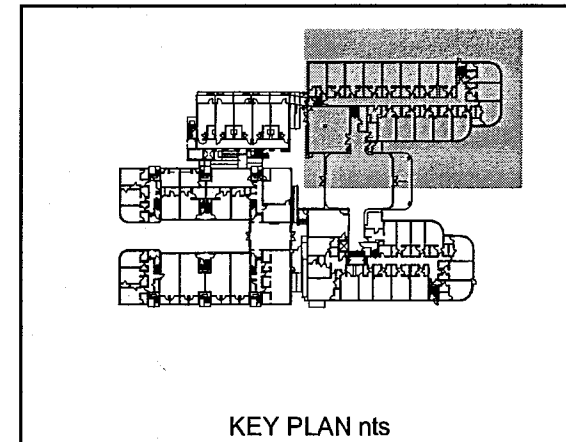
SHEET NUMBER

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HADDON HALL GROUND FLOOR TYPICAL ENLARGED UNITS MECHANICAL PLAN

SCALE: 1/4"=1'-0"



STEVEN FELLER P.E., PL  
FLORIDA P.E. Reg. # 22046  
Certificate of Authorization # 00003427  
300 N.E. THIRD AVENUE  
FORT LAUDERDALE, FLORIDA 33301  
PH: 954.467.1402 FAX: 954.467.5732  
e-mail: fellerpe@fellerpe.com  
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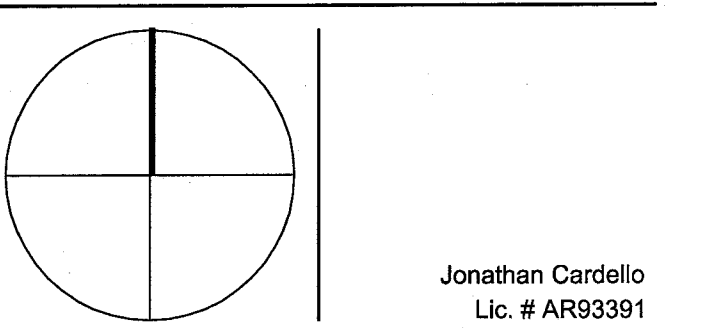


KEYPLAN	N.T.S.
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Biscayne Boulevard  
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T. 305.482.8700  
F. 305.482.8770  
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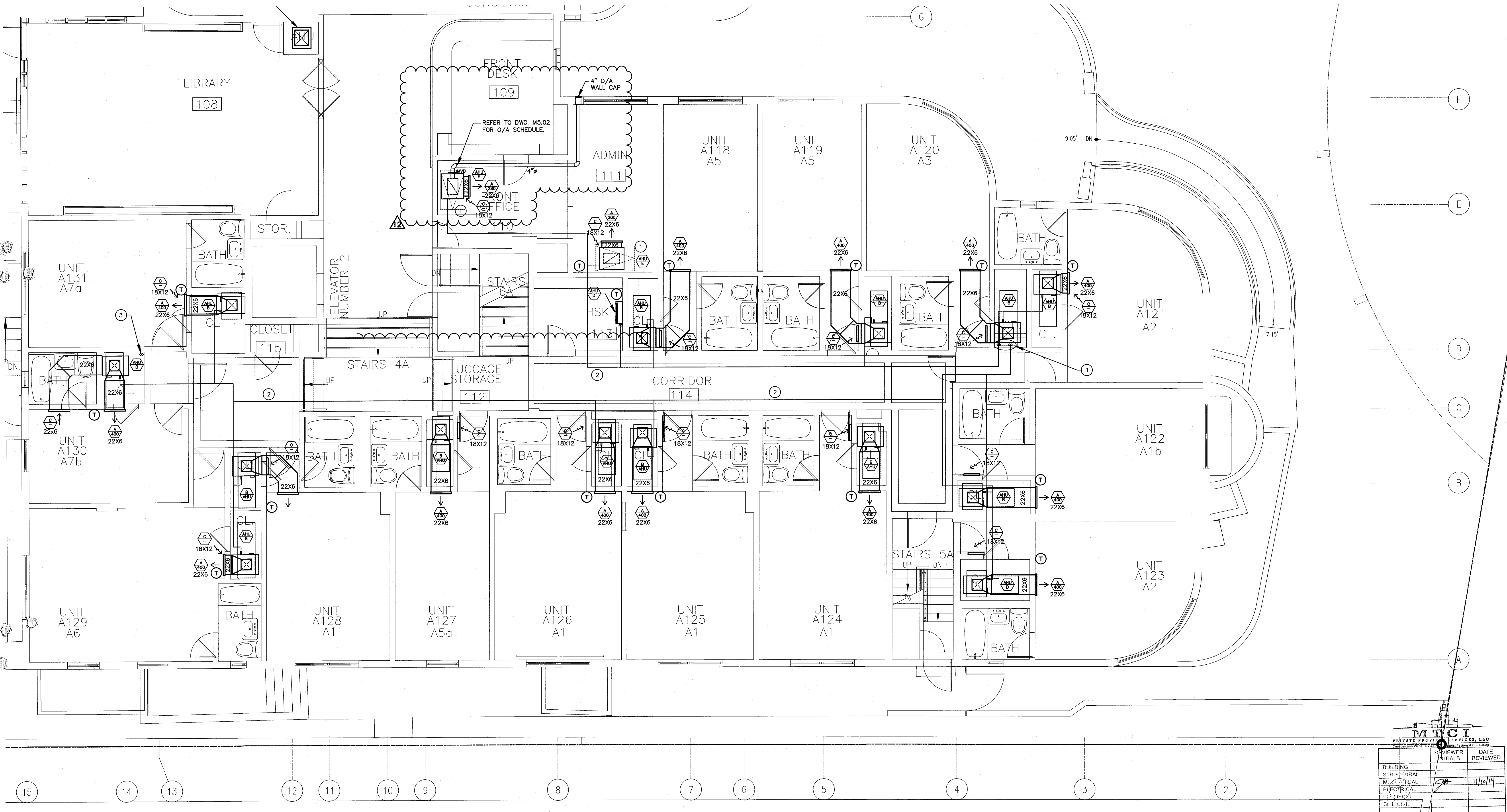
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MECHANICAL PLAN  
HADDON HALL SOUTH WING

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## M2.04

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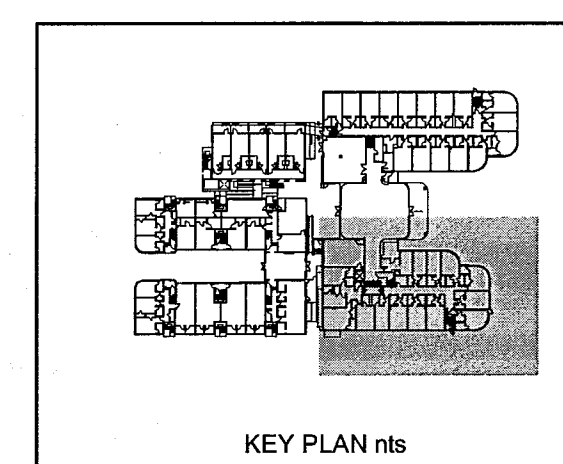


DRAWING NOTES:

- ① SOLID ACCESS PANEL MOUNTED AT CEILING BELOW UNIT W/ 18X12 RAG. TYP. FOR ALL.
- ② SET OF REF. PIPES BELOW EXISTING CEILING. ARCHITECT TO PROVIDE SOFFIT. COORDINATE W/ I D DWG.
- ③ SET OF REF. PIPES RISER UP TO ROOF PLAN.

4 EXISTING AHU TO REMAIN.

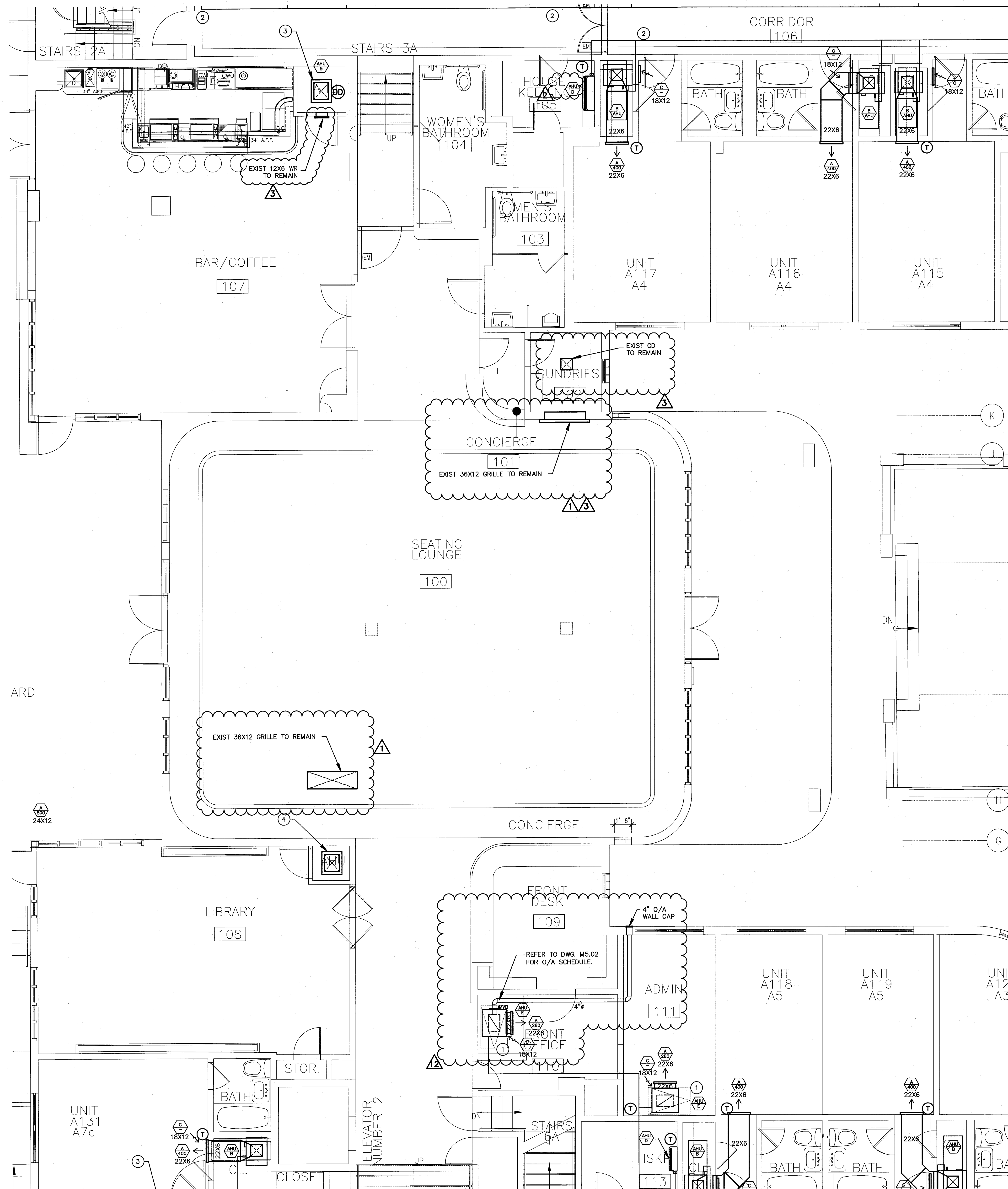
DUE TO SPACE CONSTRAINTS TO ACCOMMODATE VERTICAL UNITS SOME GUEST ROOMS MAY BE  
REQUIRE EQUIVALENT HORIZONTAL UNITS



**STEVEN FELLER P.E., PL**  
FLORIDA P.E. Reg. # 22046  
Certificate of Authorization # 00003427  
500 N.E. THIRD AVENUE  
FORT LAUDERDALE, FLORIDA 33301  
PH: 954.467.1402 FAX: 954.467.5752  
e-mail: fellerp@fellerpe.com  
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**HADDON HALL COMMON AREAS MECHANICAL PLAN**  
SCALE: 1/4"=1'-0"

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MIAMI BEACH, FL

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REVISIONS		
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3	COORDINATION REVISION	03-14-14
12	FIRE & MTCI COMMENTS	08-21-14

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Jonathan Cardello  
Lic. # AR9391

**ADD Inc** Architecture Interiors Planning

One Biscayne Tower  
Suite 1670  
Two South  
Biscayne Boulevard  
Miami, FL 33131  
T. 305.482.8700  
F. 305.482.8770  
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SHEET TITLE

**ENLARGED UNITS  
THIRD FLOOR  
MECHANICAL PLAN  
HADDON HALL COMMON AREA**

SHEET NUMBER

**M2.05**

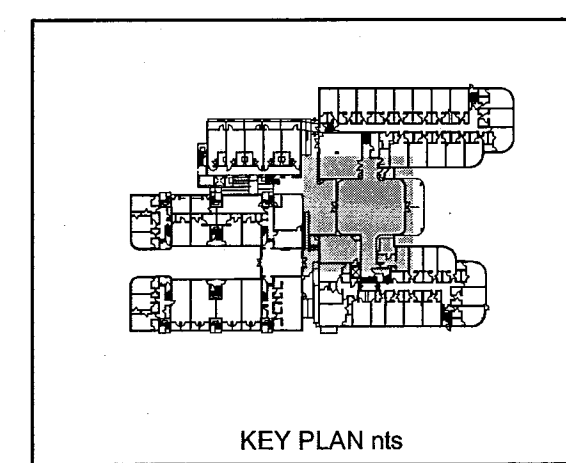
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BUILDING	REVIEWER INITIALS	DATE REVIEWED
STRUCTURAL		
MECHANICAL		
ELECTRICAL		
PLUMBING		
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**DRAWING NOTES:**

- SOLID ACCESS PANEL MOUNTED AT CEILING BELOW UNIT W/ 18X12 RAG. TYP. FOR ALL.
- SET OF REF. PIPES BELOW EXISTING CEILING. ARCHITECT TO PROVIDE SOFFIT.
- COORDINATE WITH DWG. RECONNECT NEW AHU-5 TO EXIST DUCTWORK. RECONNECT NEW AHU-5 TO EXIST O/A INTAKE, SET MVD @ 525 CFM. PROVIDE SMOKE DUCT DETECTOR.
- EXISTING AHU TO REMAIN.

DUE TO SPACE CONSTRAINTS TO ACCOMMODATE VERTICAL UNITS SOME GUEST ROOMS MAY BE



**STEVEN FELLER P.E., PL**  
FLORIDA P.E. Reg. # 22046  
Certificate of Authorization # 00003427  
800 N.E. THIRD AVENUE  
FORT LAUDERDALE, FLORIDA 33301  
PH: 754.467.1402 FAX: 754.467.3732  
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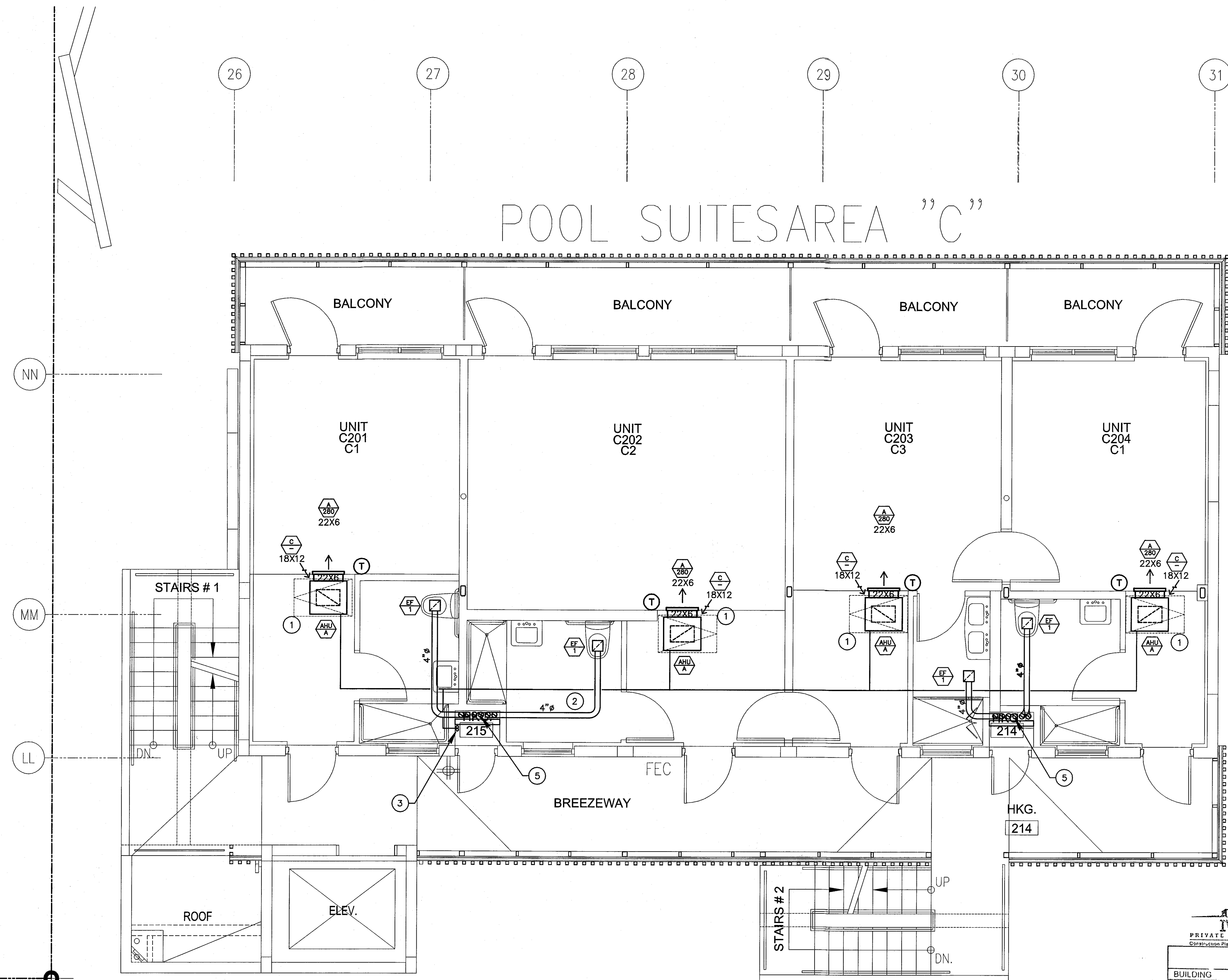


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REVISIONS		
NO.	DESCRIPTION	ISSUE DATE
1	BLDG DEPARTMENT COMMENT	03-18-13
2	PERMIT REVIEW COMMENTS	03-14-14
3	COORDINATION REVISION	03-14-14

- DRAWING NOTES:**
- SOLID ACCESS PANEL MOUNTED AT CEILING BELOW UNIT W/ 18X12 RAG. TYP. FOR ALL.
  - SET OF REF. PIPES AT CEILING SPACE, FIELD VERIFY EXACT LOCATION.
  - SET OF REF. PIPES RISER UP TO ROOF PLAN.
  - SET OF REF. PIPES BELOW CEILING, ARCHITECT TO PROVIDE SOFFIT. COORDINATE W/ I D DWG.
  - EXHAUST DUCT UP TO ROOF IN 2HR FIRE RATED SHAFT W/ GOOSE NECK CAP AND INSECT WIRE MESH SCREEN AT ROOF TERMINATION.
  - 4" EXHAUST DUCT FROM FLOOR BELOW UP TO ROOF W/ GOOSE NECK CAP AND INSECT WIRE MESH SCREEN AT ROOF TERMINATION.



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STRUCTURAL	
MECHANICAL	11/14/14
ELECTRICAL	
PLUMBING	
SITE CIVIL	

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Jonathan Cardello  
Lic. # AR93391

**ADD Inc** Architecture Interiors Planning

One Biscayne Tower  
Suite 1670  
Two South  
Biscayne Boulevard  
Miami, FL 33131  
T. 305.482.8700  
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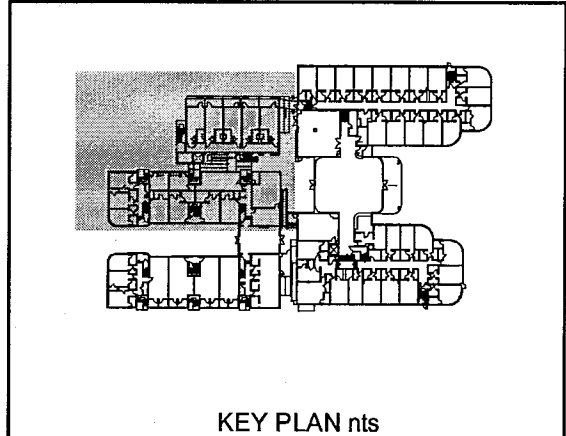
ENLARGED UNITS  
MECHANICAL PLAN  
CAMPTON 2FL & 3FL  
POOL 2FL & 3FL  
UNITS

SHEET NUMBER

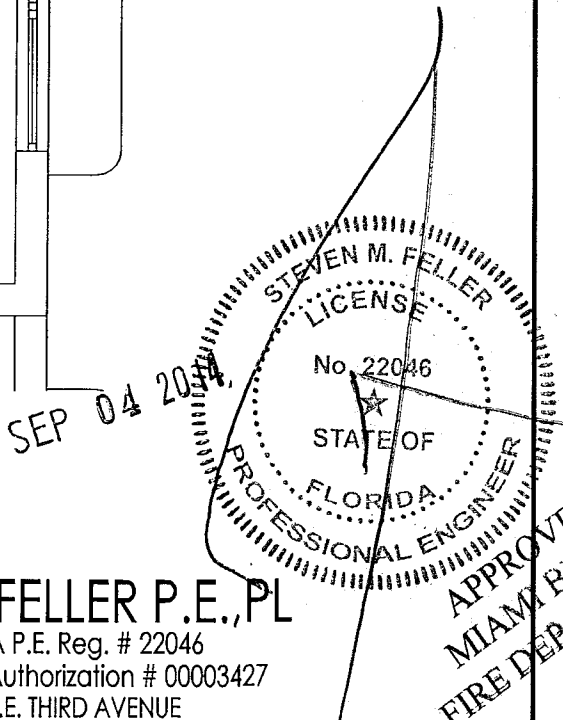
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CAMPTON 2FL / POOL 2FL & 3FL ENLARGED UNITS MECHANICAL PLAN  
SCALE: 1/4"=1'-0"



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FLORIDA P.E. Reg. # 22046  
Certificate of Authorization # 00003427  
500 N.E. THIRD AVENUE  
FORT LAUDERDALE, FLORIDA 33301  
PH: 954.467.1402 FAX: 954.467.3752  
e-mail: fellerpe@fellerpe.com  
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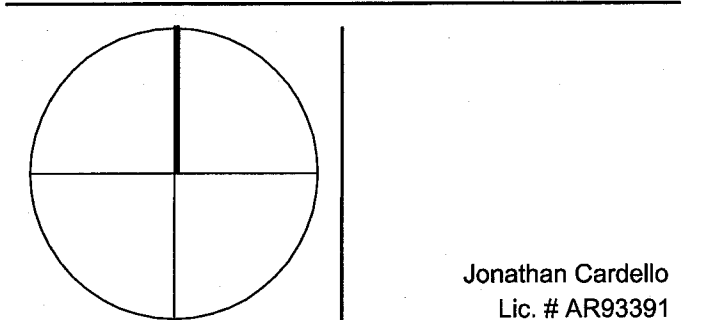


KEYPLAN N.T.S.

KEYPLAN	N.T.S.

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**ADD Inc** Architecture Interiors Planning

One Biscayne Tower  
Suite 1670  
Two South  
Biscayne Boulevard  
Miami, FL 33131  
T. 305.482.8700  
F. 305.482.8770  
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SCALE: \_\_\_\_\_ AS NOTED

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ENLARGED UNITS  
MECHANICAL PLAN  
CAMPTON 2FL

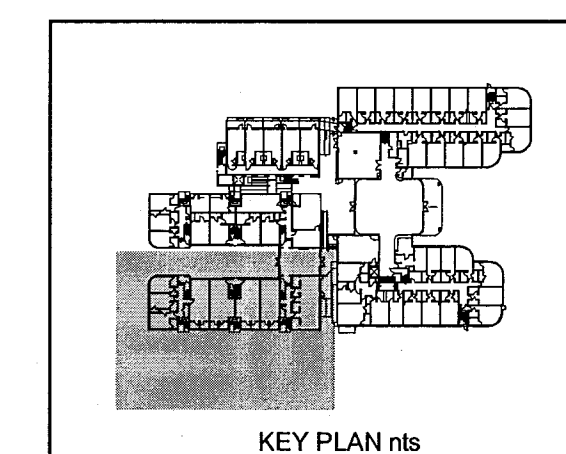
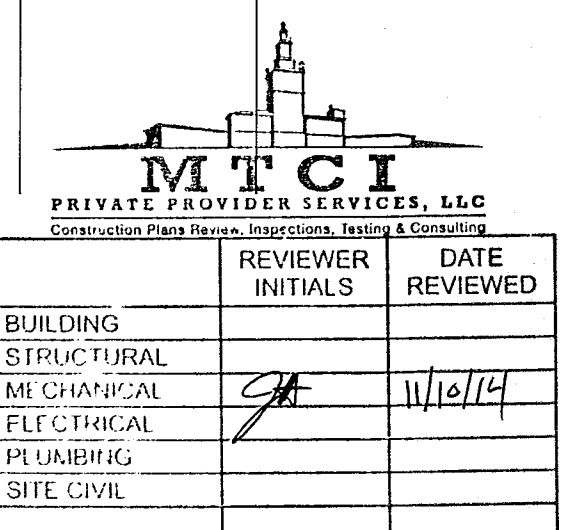
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- ① SOLID ACCESS PANEL MOUNTED AT CEILING BELOW UNIT W/ 18X12 RAG. TYP. FOR ALL.
- ② SET OF REF. PIPES AT CEILING SPACE, FIELD VERIFY EXACT LOCATION.
- ③ SET OF REF. PIPES RISER UP TO ROOF PLAN.
- ④ SET OF REF. PIPES BELOW CEILING, ARCHITECT TO PROVIDE SOFFIT. COORDINATE W/ I D DWG.



**STEVEN FELLER P.E., P.L.**  
FLORIDA P.E. Reg. # 22046  
Certificate of Authorization # 00003427  
500 N.E. THIRD AVENUE  
FORT LAUDERDALE, FLORIDA 33301  
PH: 954.467.1402 FAX: 954.467.5752  
e-mail: fellerpe@fellerpe.com  
JOB # 13153

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STEVEN M. FELLER  
LICENSE  
No. 27046  
STATE OF  
FLORIDA  
PROFESSIONAL ENGINEERING  
APPROVED  
MIAMI BEACH  
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FELLER P.E., P.L.  
A.P.E. Reg. # 22046  
Authorization # 00003427  
I.E. THIRD AVENUE



**HADDON HALL**  
1500 COLLINS AVE  
MIAMI BEACH, FL

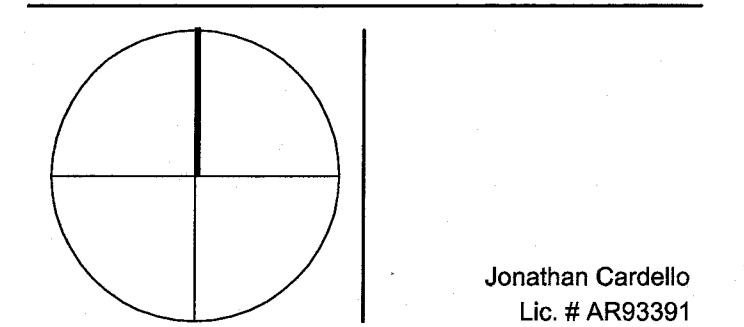
KEYPLAN N.T.S.

REVISIONS

NO.	DESCRIPTION	ISSUE DATE
1	PROGRESS 100% CD SET	02-07-14
2	COORDINATION REVISION	03-14-14

**100% CONSTRUCTION DOCUMENT SET**

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**ADD Inc** Architecture Interiors Planning

One Biscayne Tower  
Suite 1670  
Two South  
Biscayne Boulevard  
Miami, FL 33131  
T. 305.482.8700  
F. 305.482.8770  
www.addinc.com  
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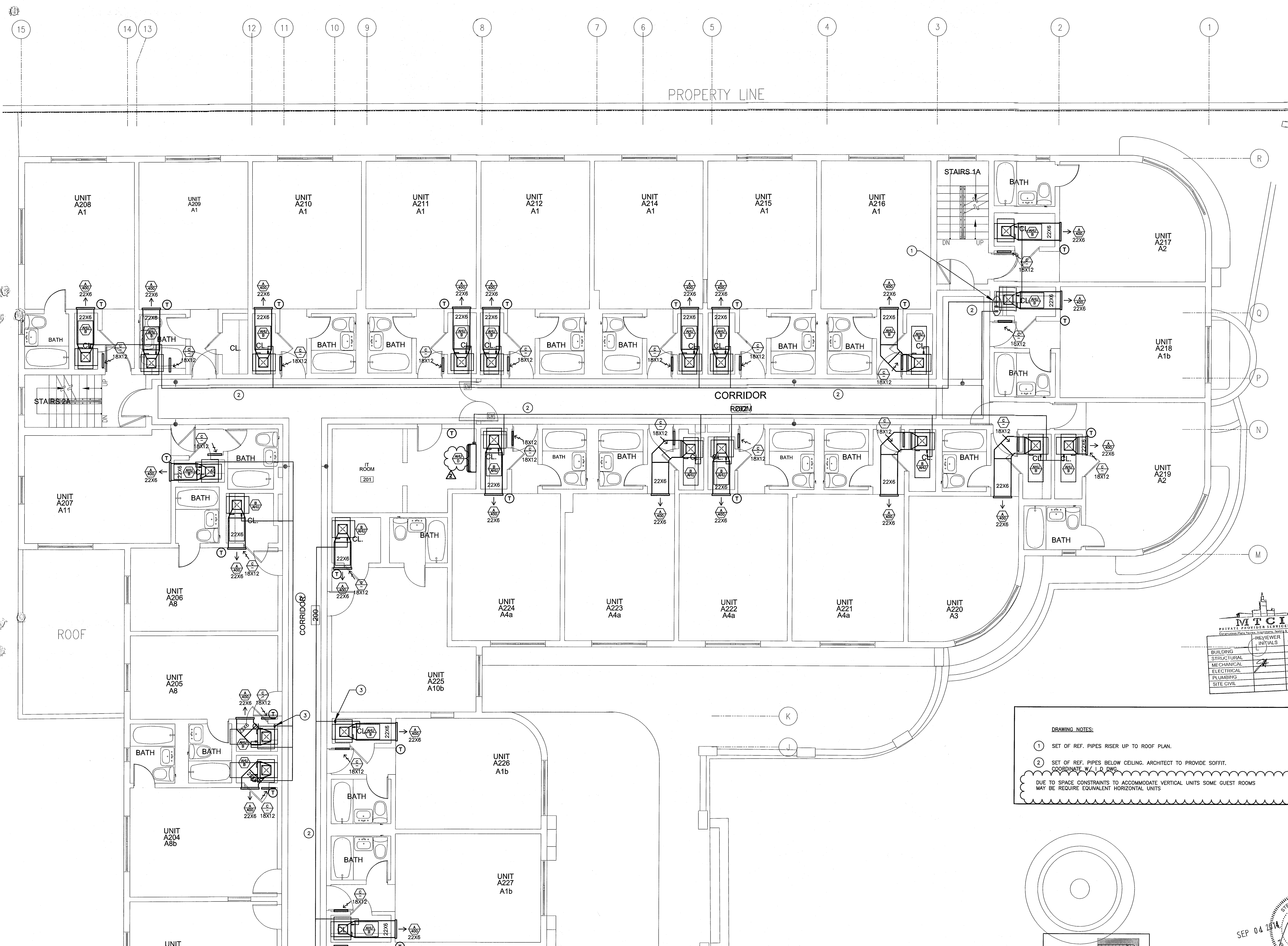
SHEET TITLE

**ENLARGED UNITS  
MECHANICAL PLAN  
HADDON HALL  
2FL & 3FL**

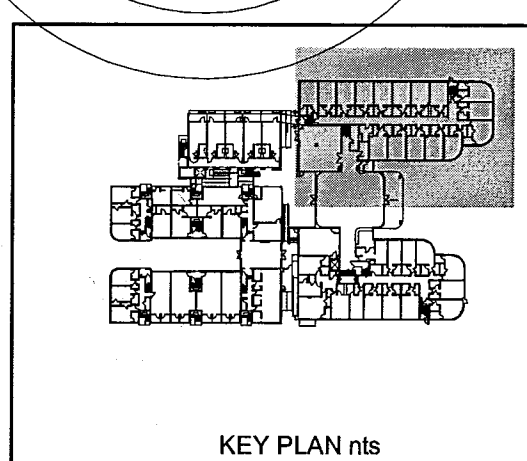
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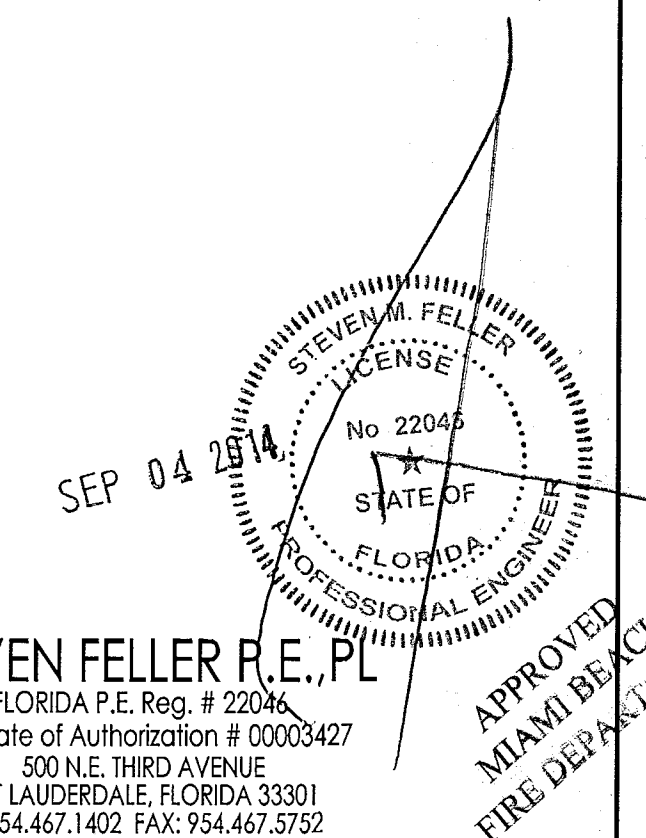
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**HADDON HALL 2FL & 3FL FLOOR ENLARGED UNITS MECHANICAL PLAN**  
SCALE: 1/4"=1'-0"



**STEVEN FELLER P.E., P.L.**  
FLORIDA P.E. Reg. # 22046  
Certificate of Authorization # 00003427  
301 N.E. THIRD AVENUE  
FORT LAUDERDALE, FLORIDA 33301  
PH: 954.467.1402 FAX: 954.467.3732  
e-mail: fellerpe@fellerpe.com  
JOB # 13153





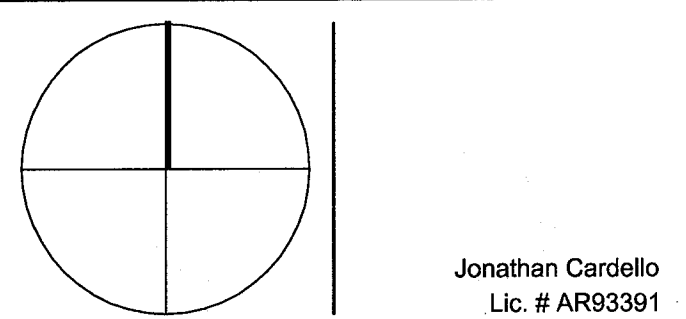
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ADD Inc Architecture Interiors Planning

One Biscayne Tower  
Suite 1670  
Two South  
Biscayne Boulevard  
Miami, FL 33131  
T. 305.482.8700  
F. 305.482.8770  
www.addinc.com  
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SHEET TITLE

ENLARGED UNITS  
MECHANICAL PLAN  
HADDON HALL  
2FL & 3FL

SHEET NUMBER

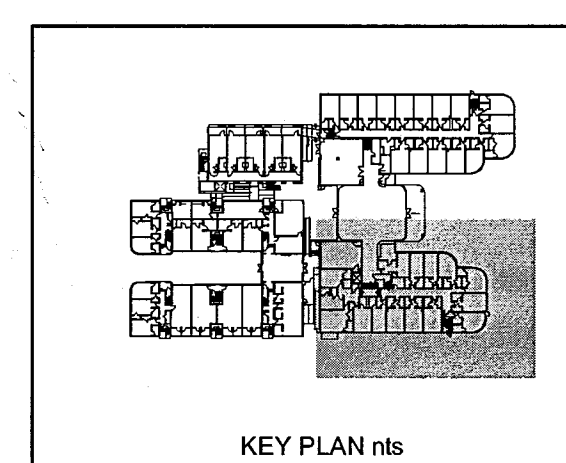
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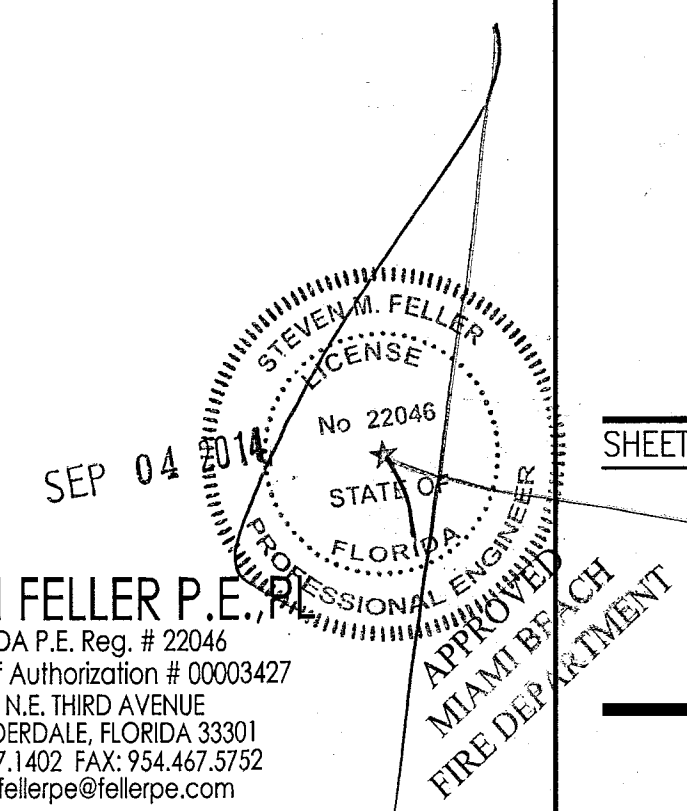
DRAWING NOTES:

- SET OF REF. PIPES RISER UP TO ROOF PLAN.
  - SET OF REF. PIPES BELOW CEILING. ARCHITECT TO PROVIDE SOFFIT.
- COOPERATE WITH PIPES  
DUE TO SPACE CONSTRAINTS TO ACCOMMODATE VERTICAL UNITS SOME GUEST ROOMS  
MAY BE REQUIRE EQUIVALENT HORIZONTAL UNITS

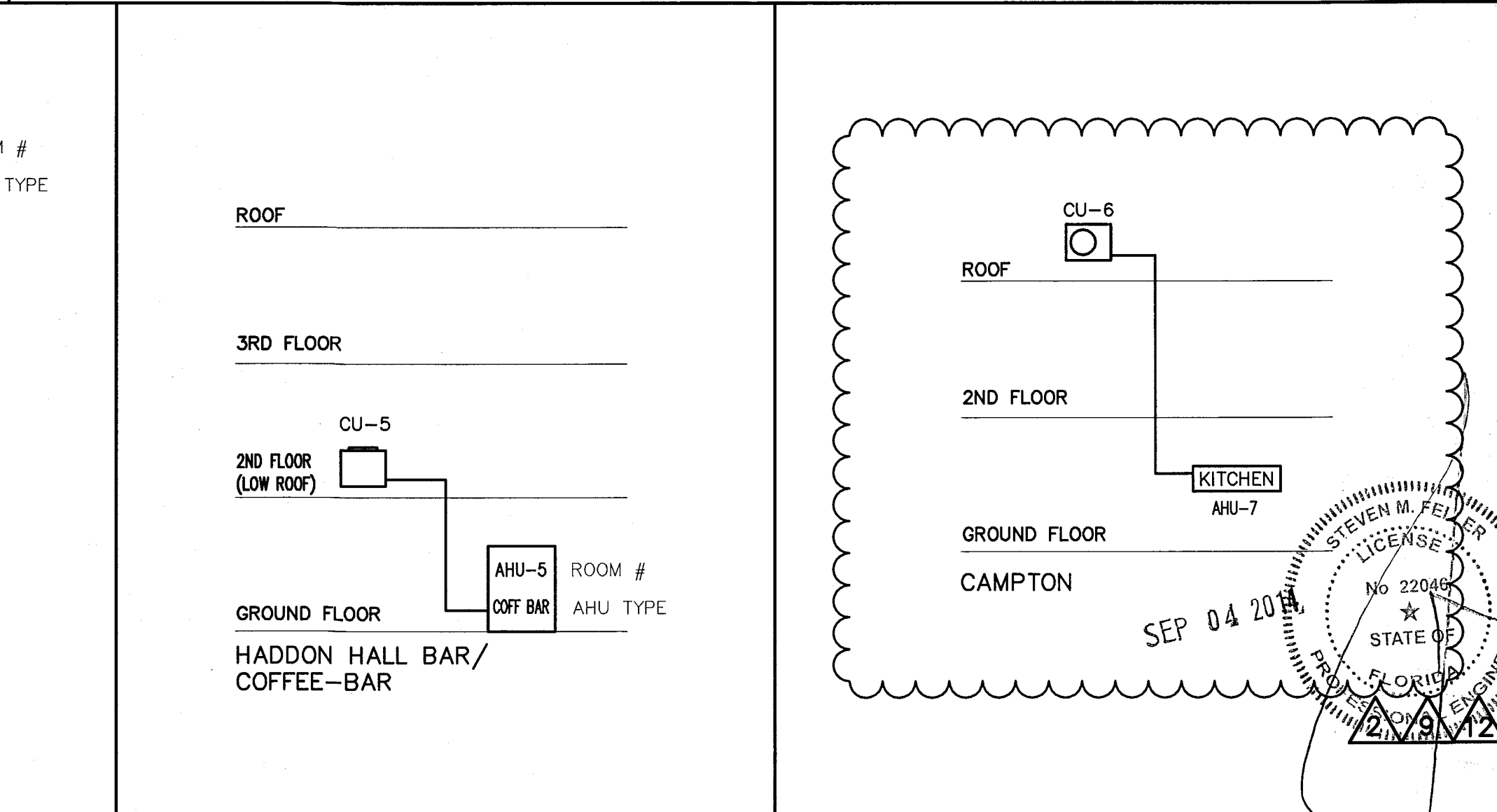
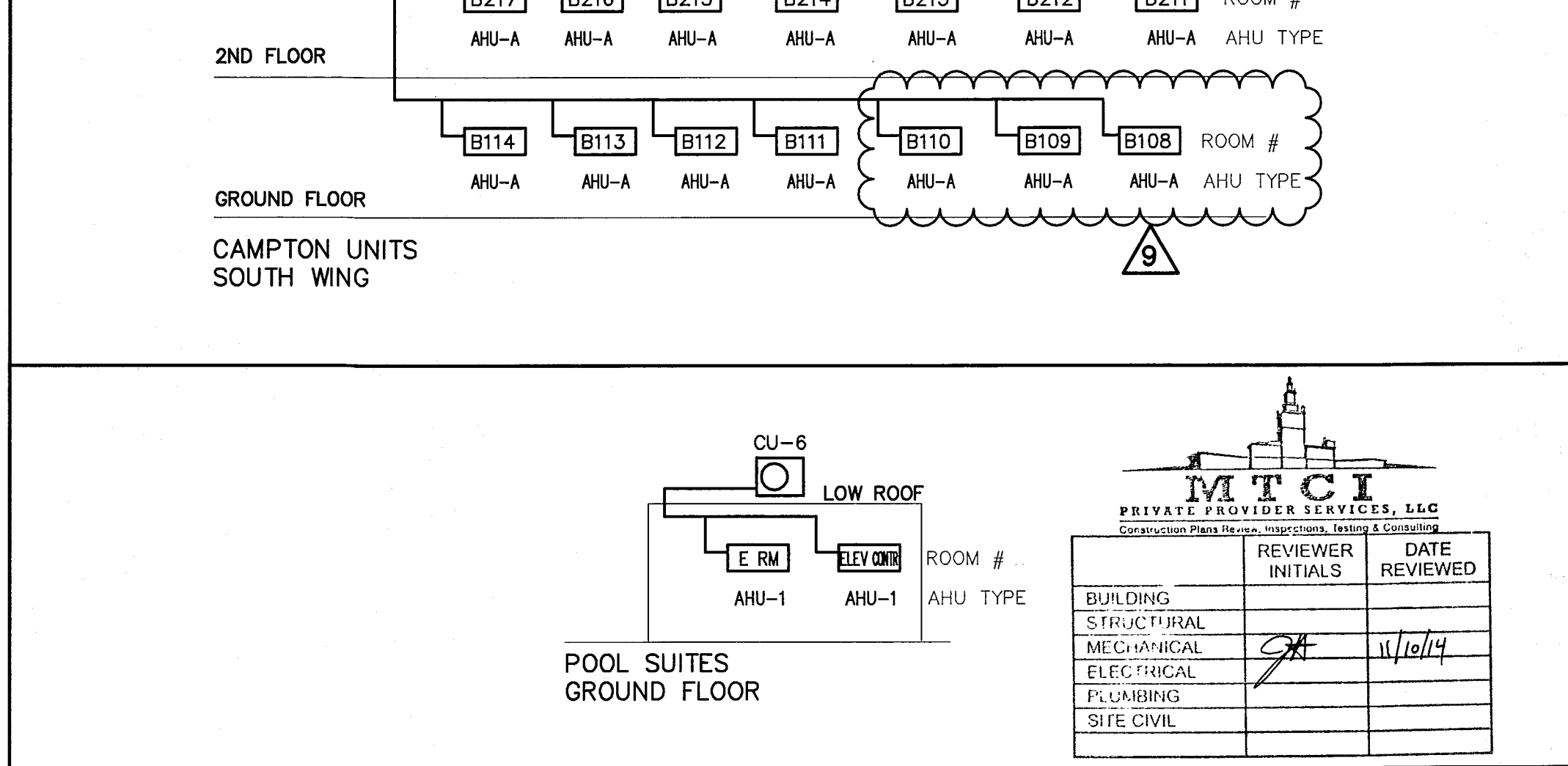
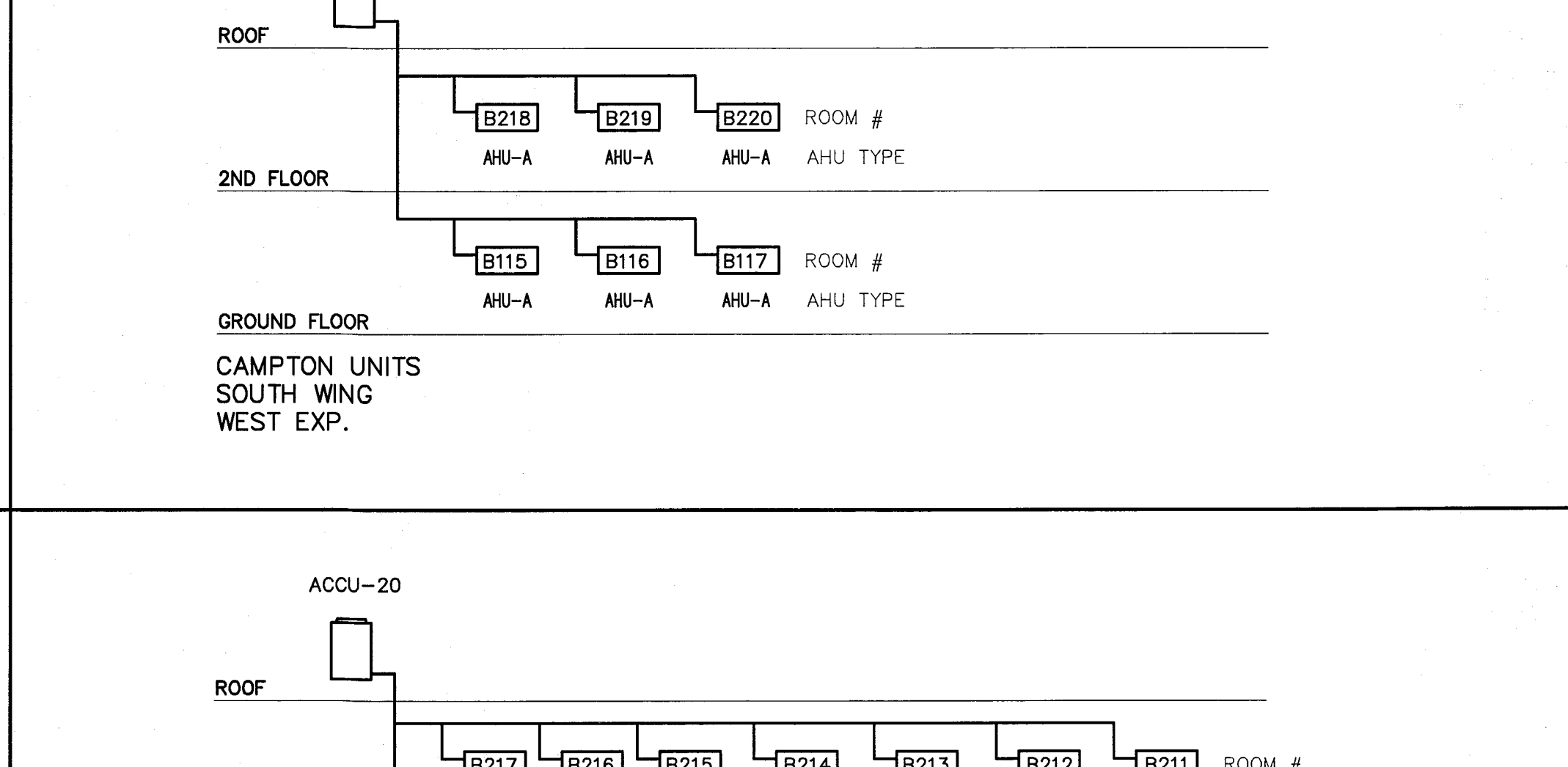
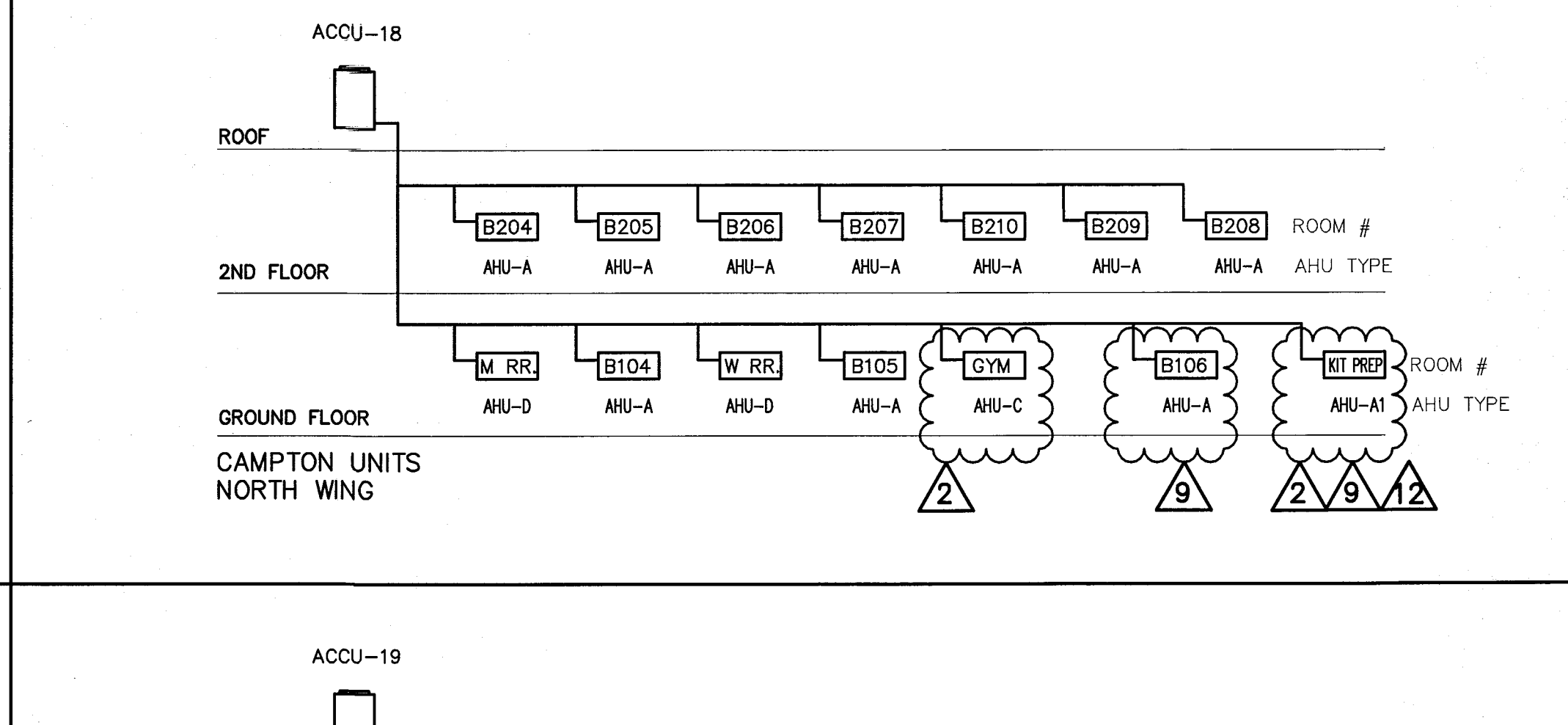
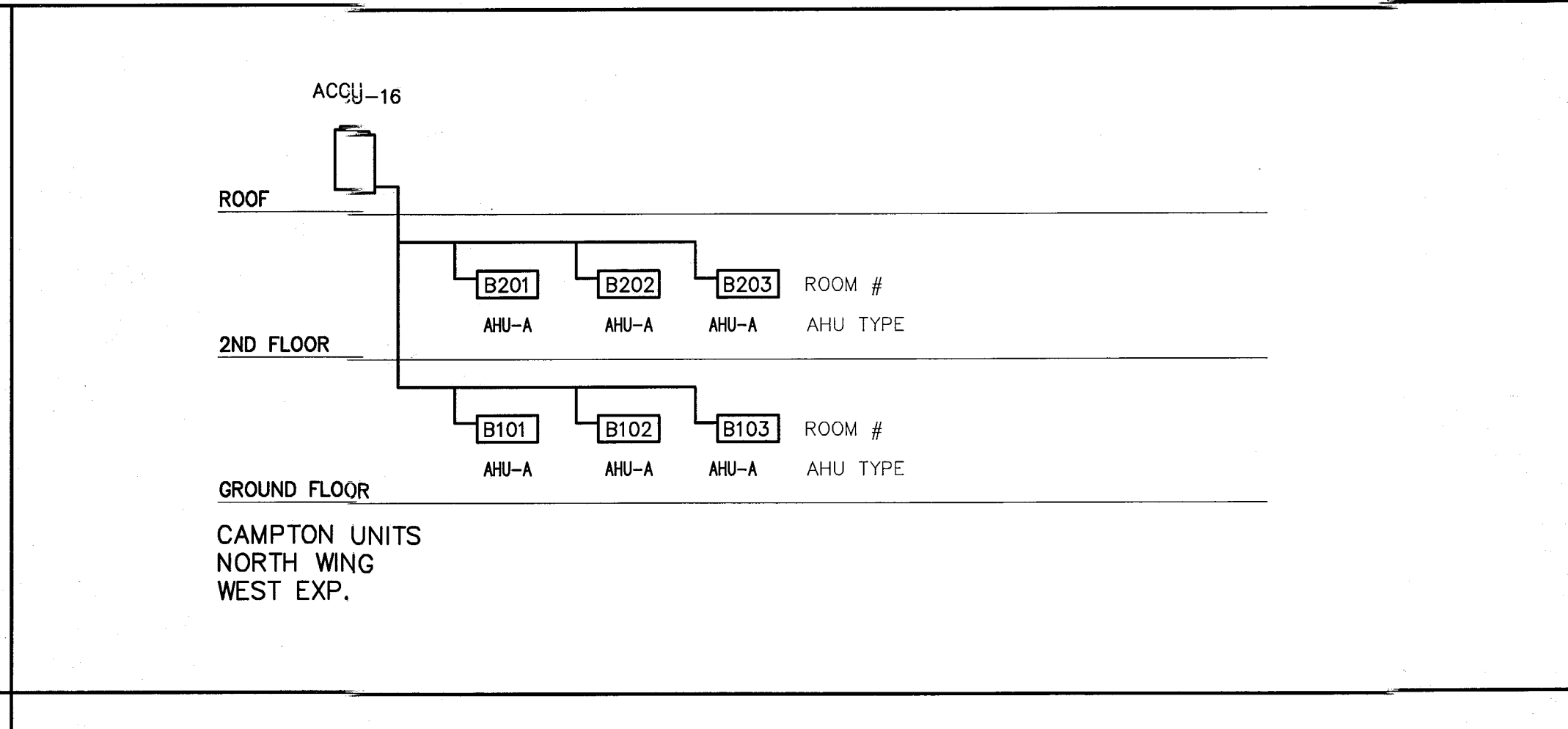
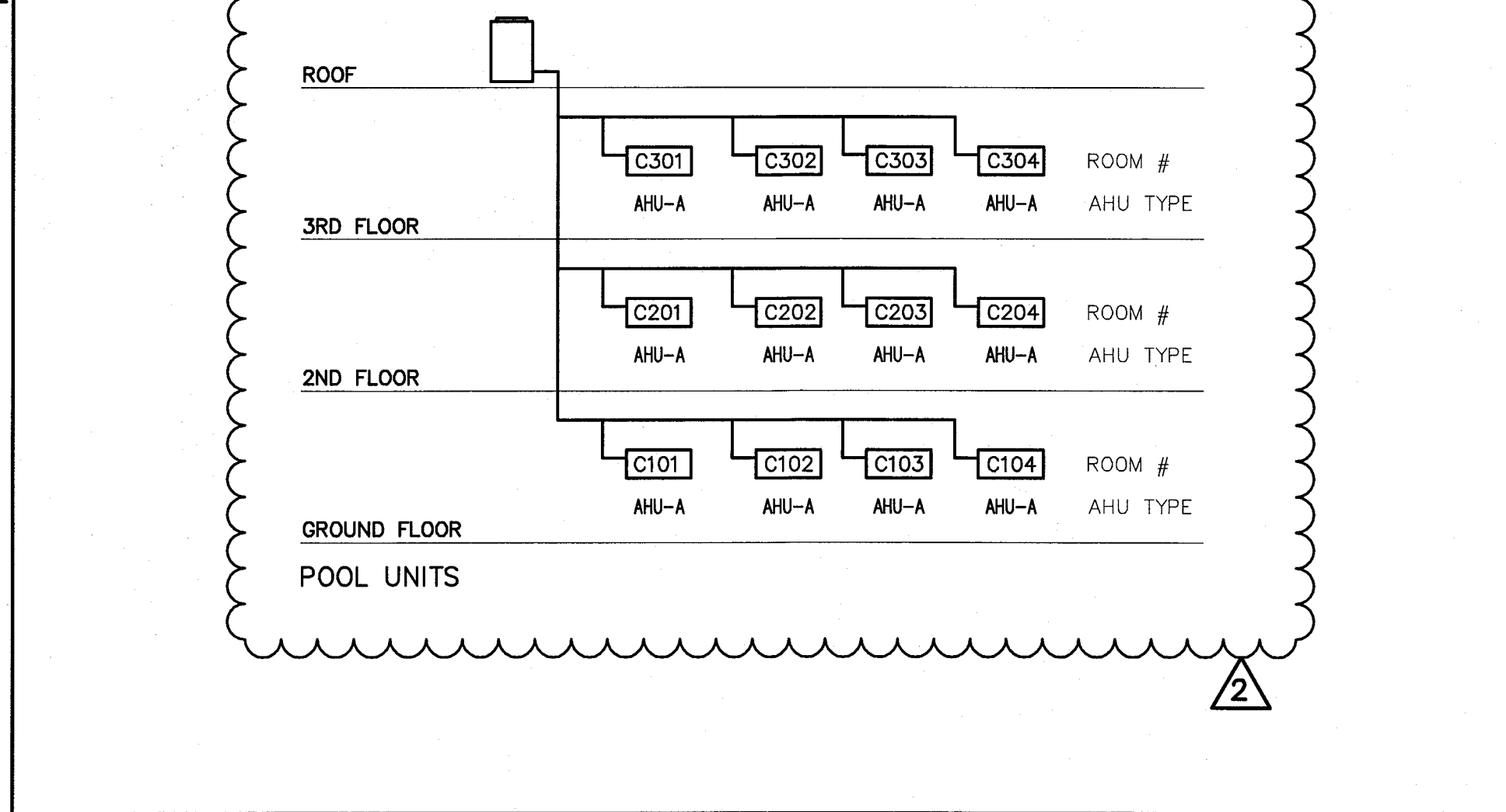
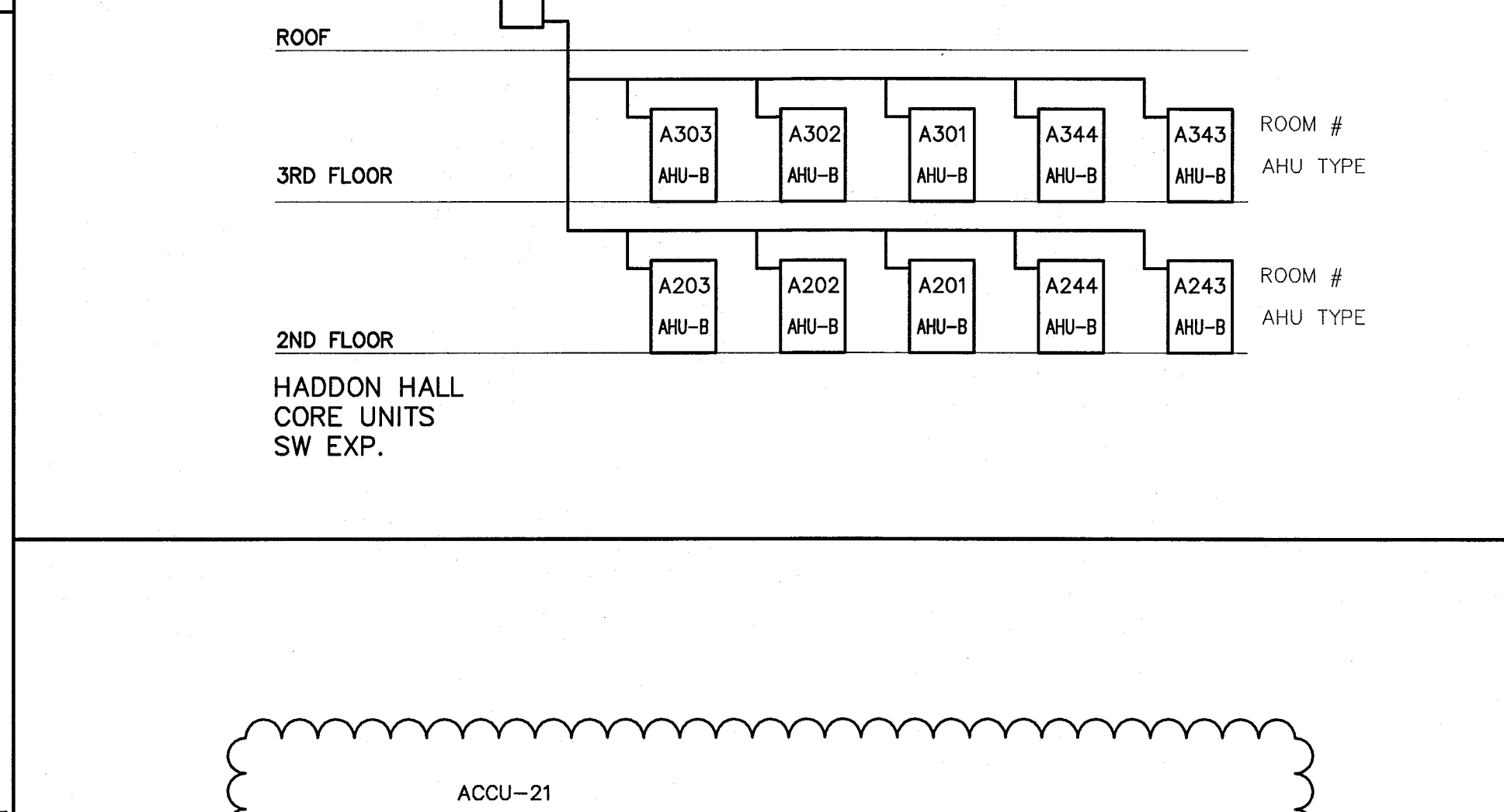
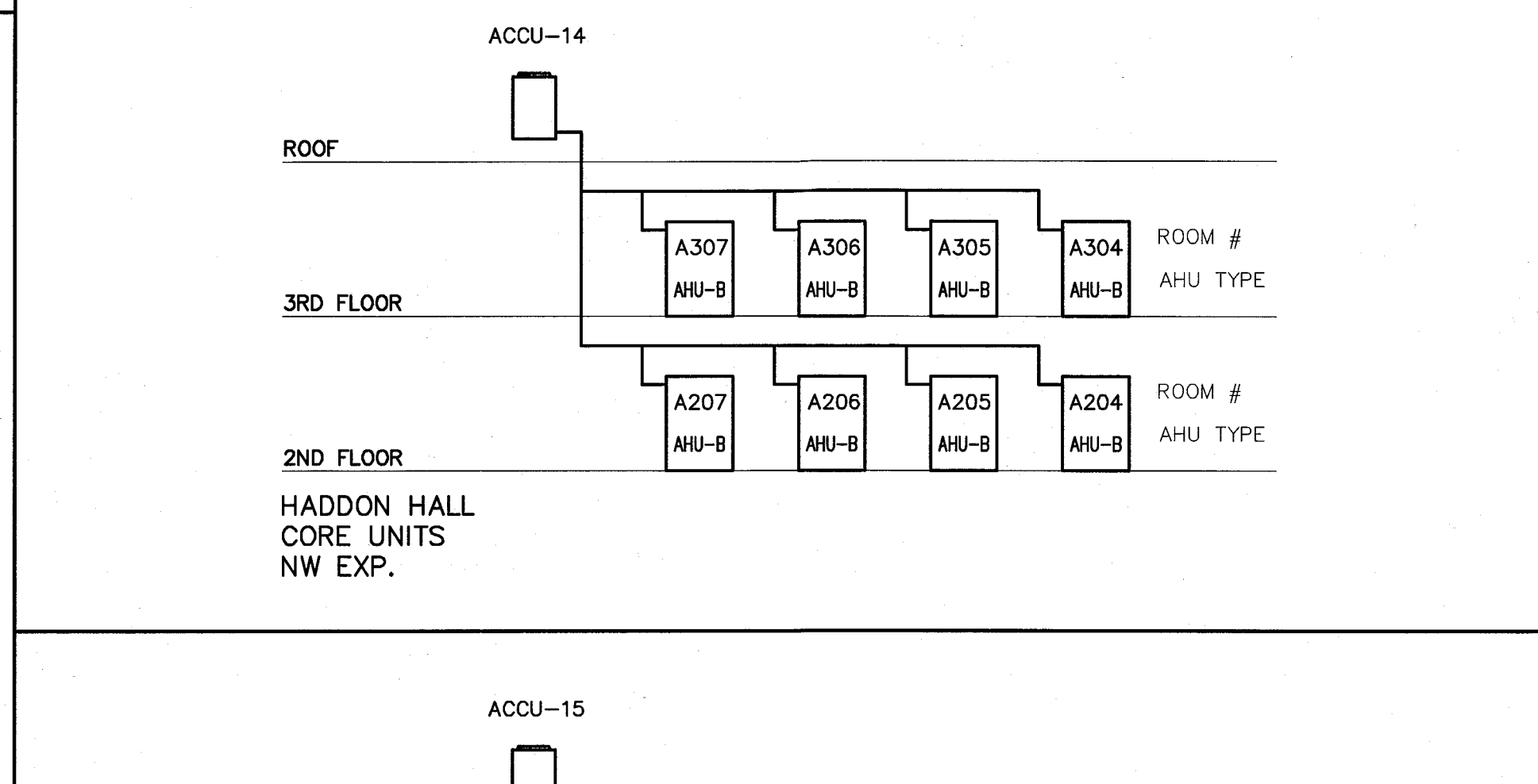
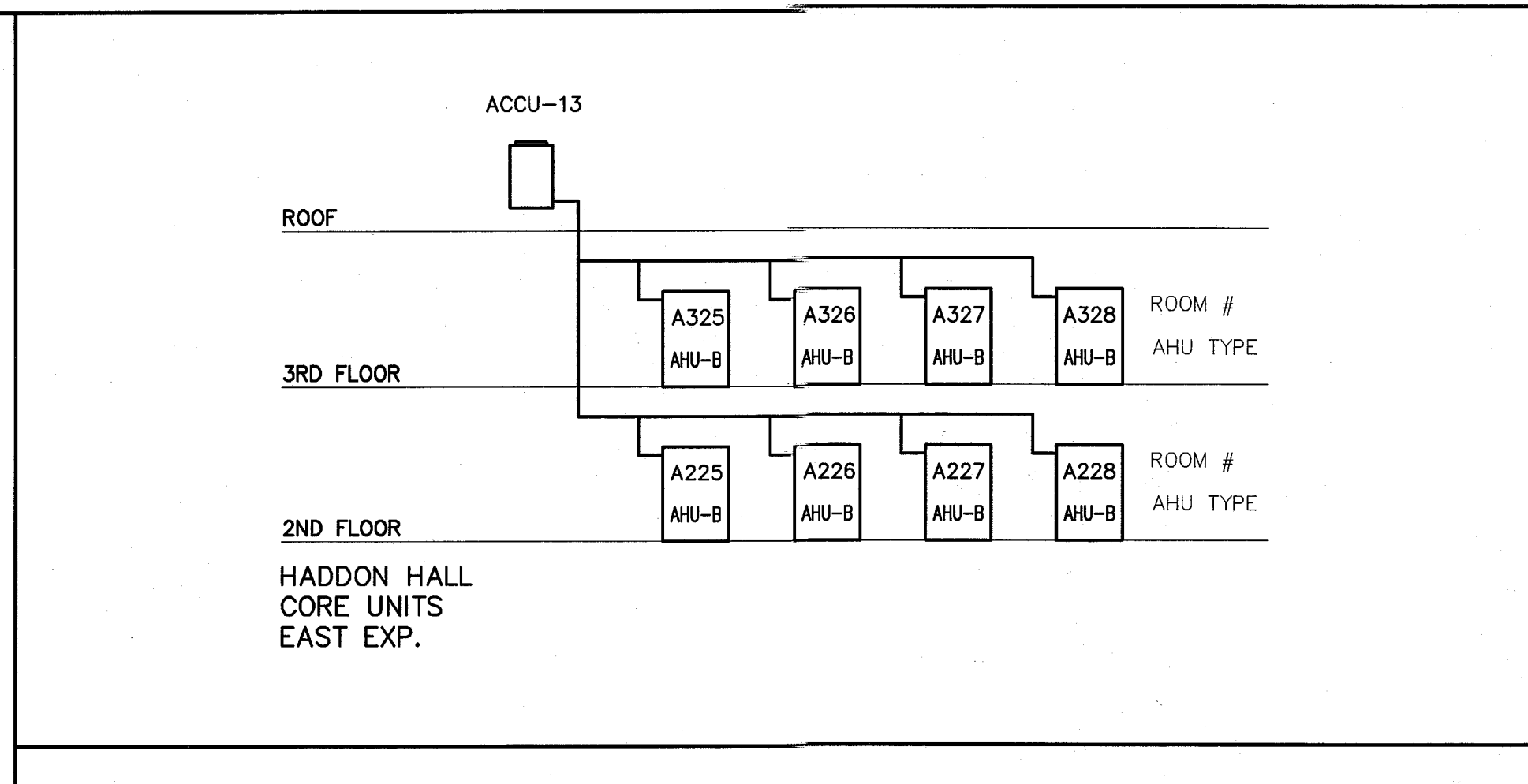
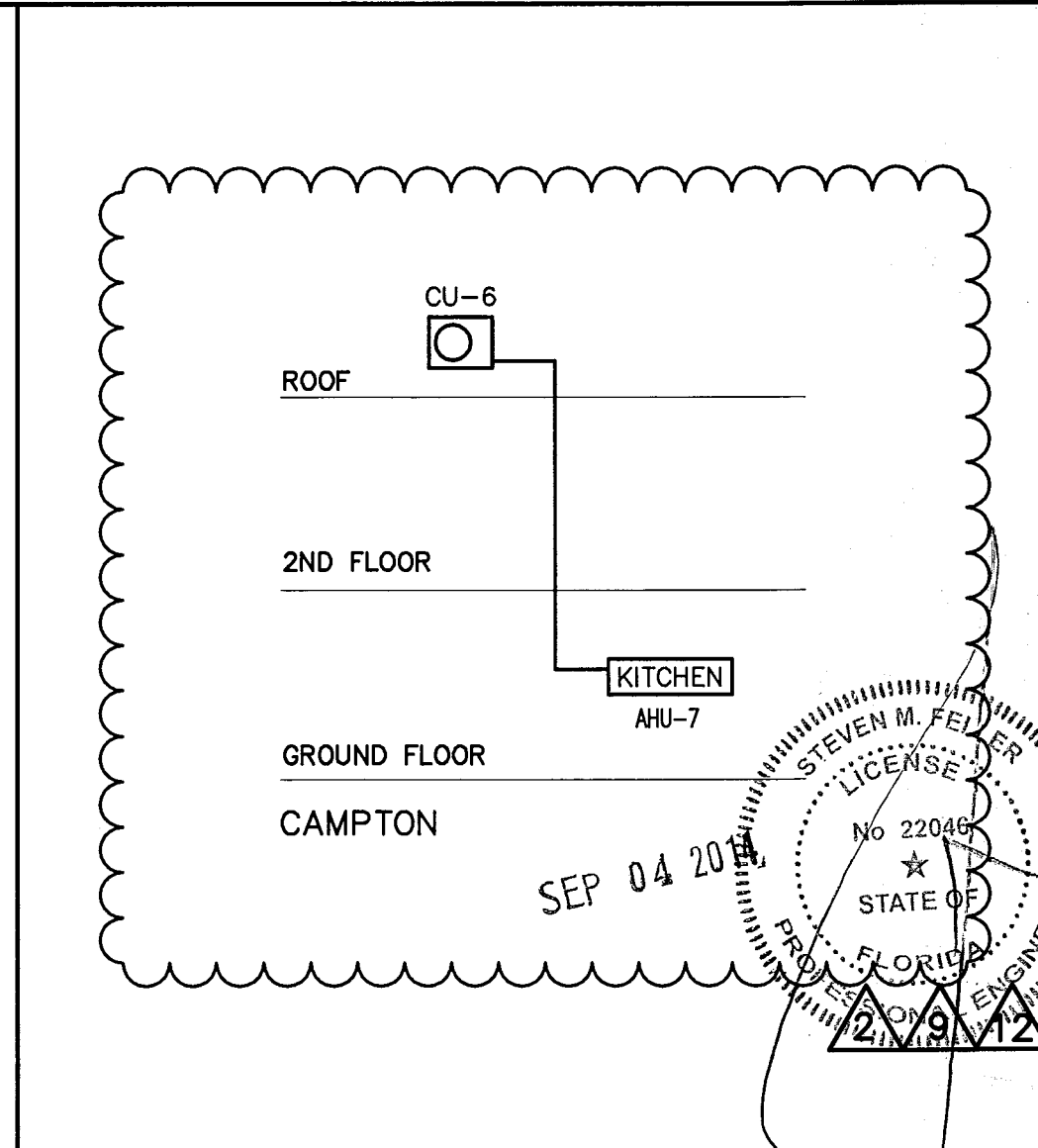
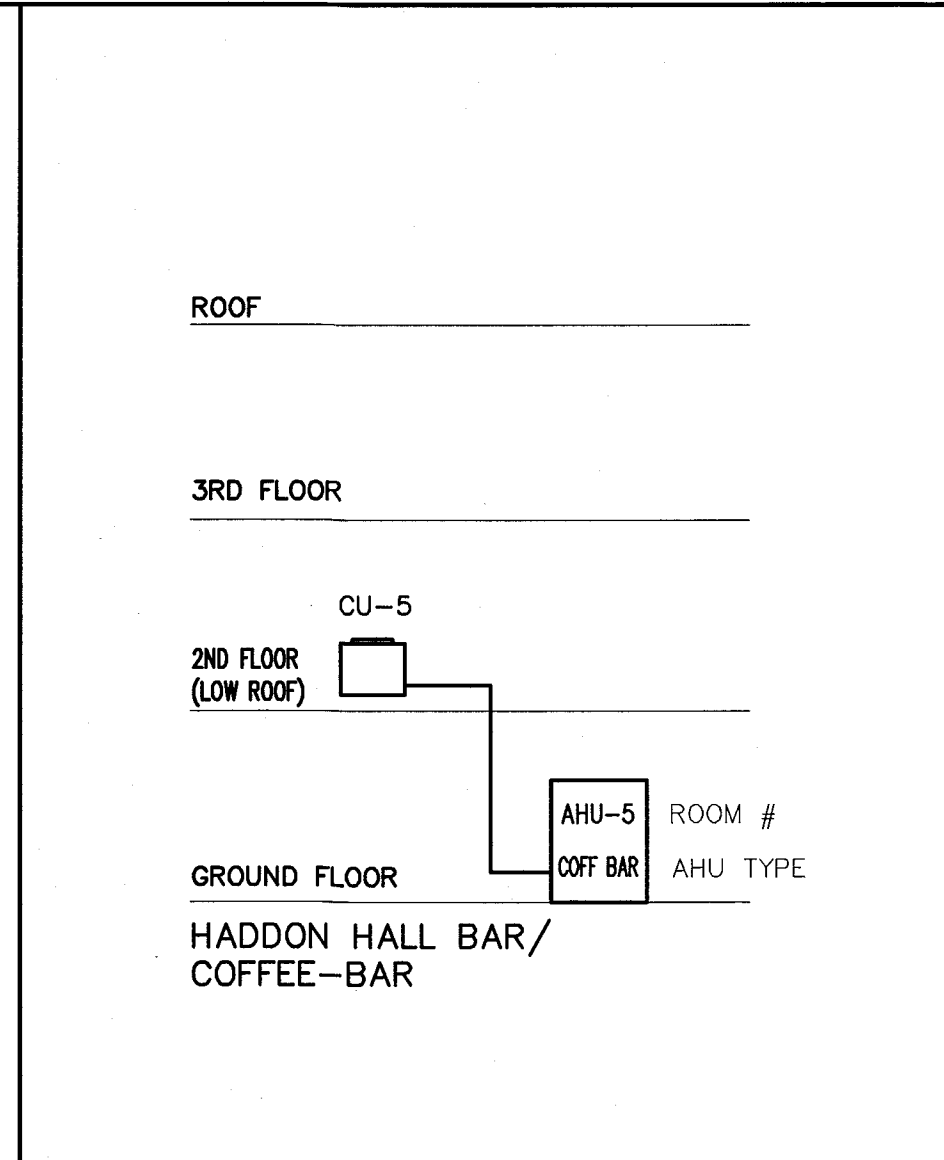
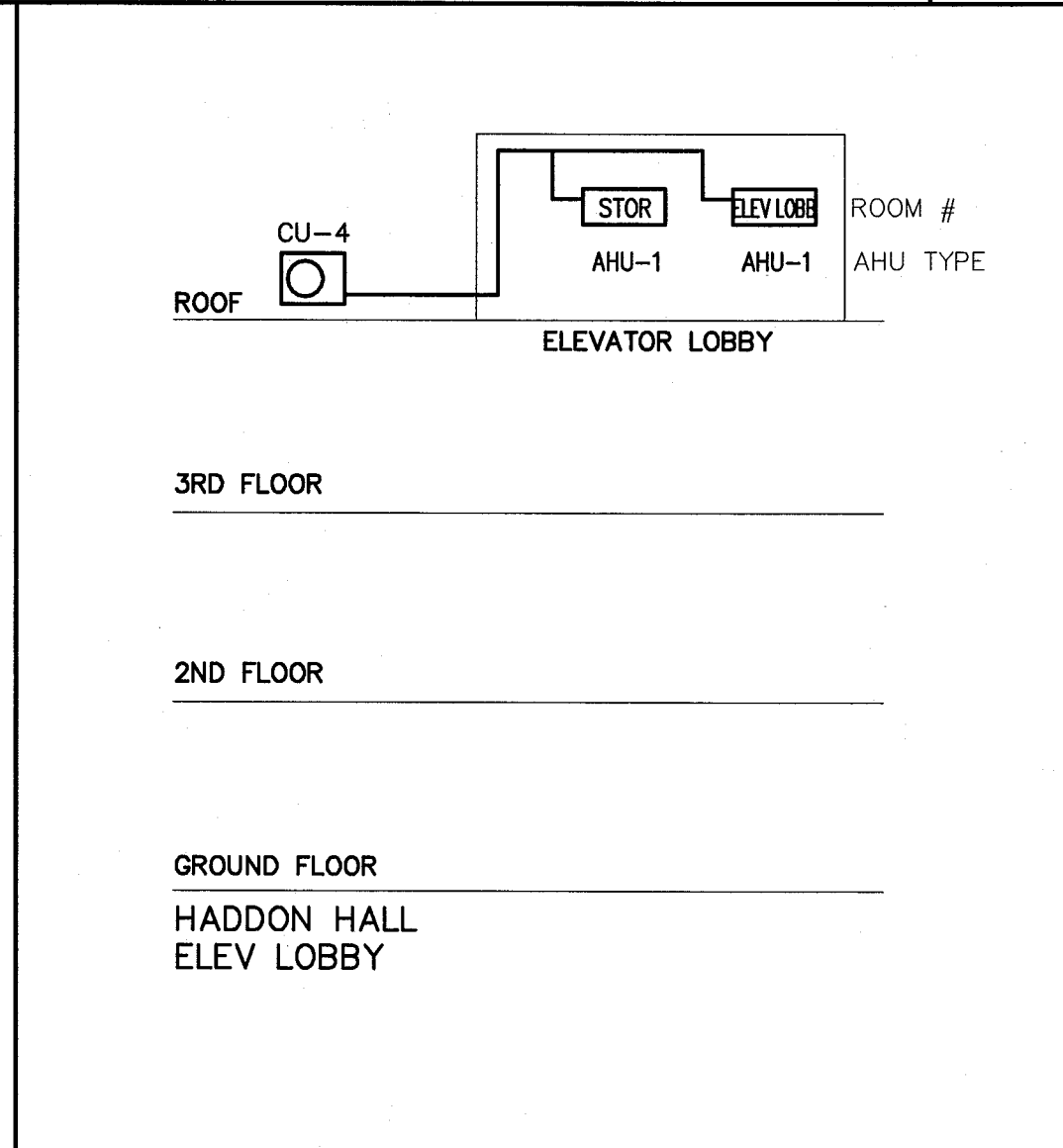
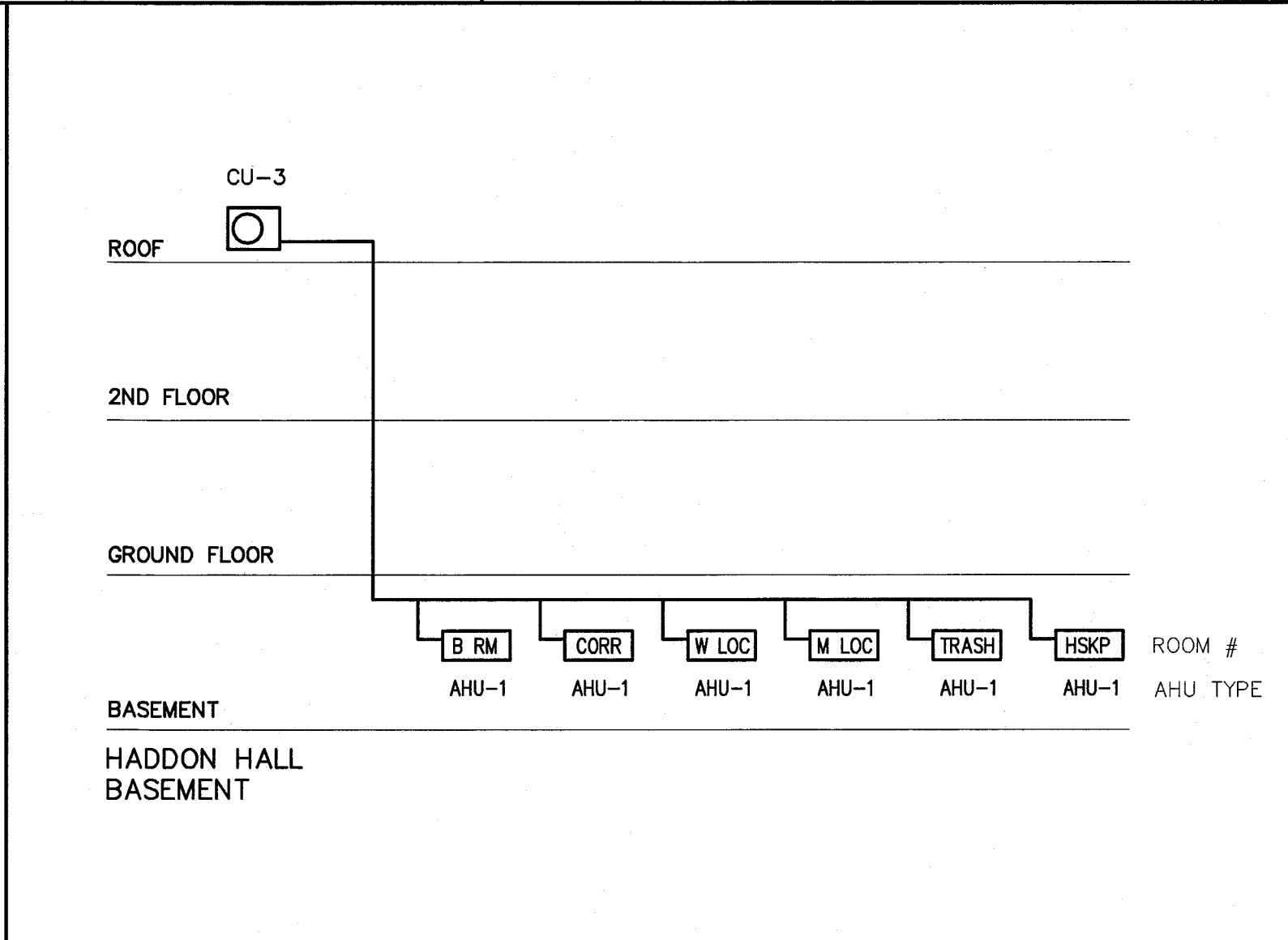
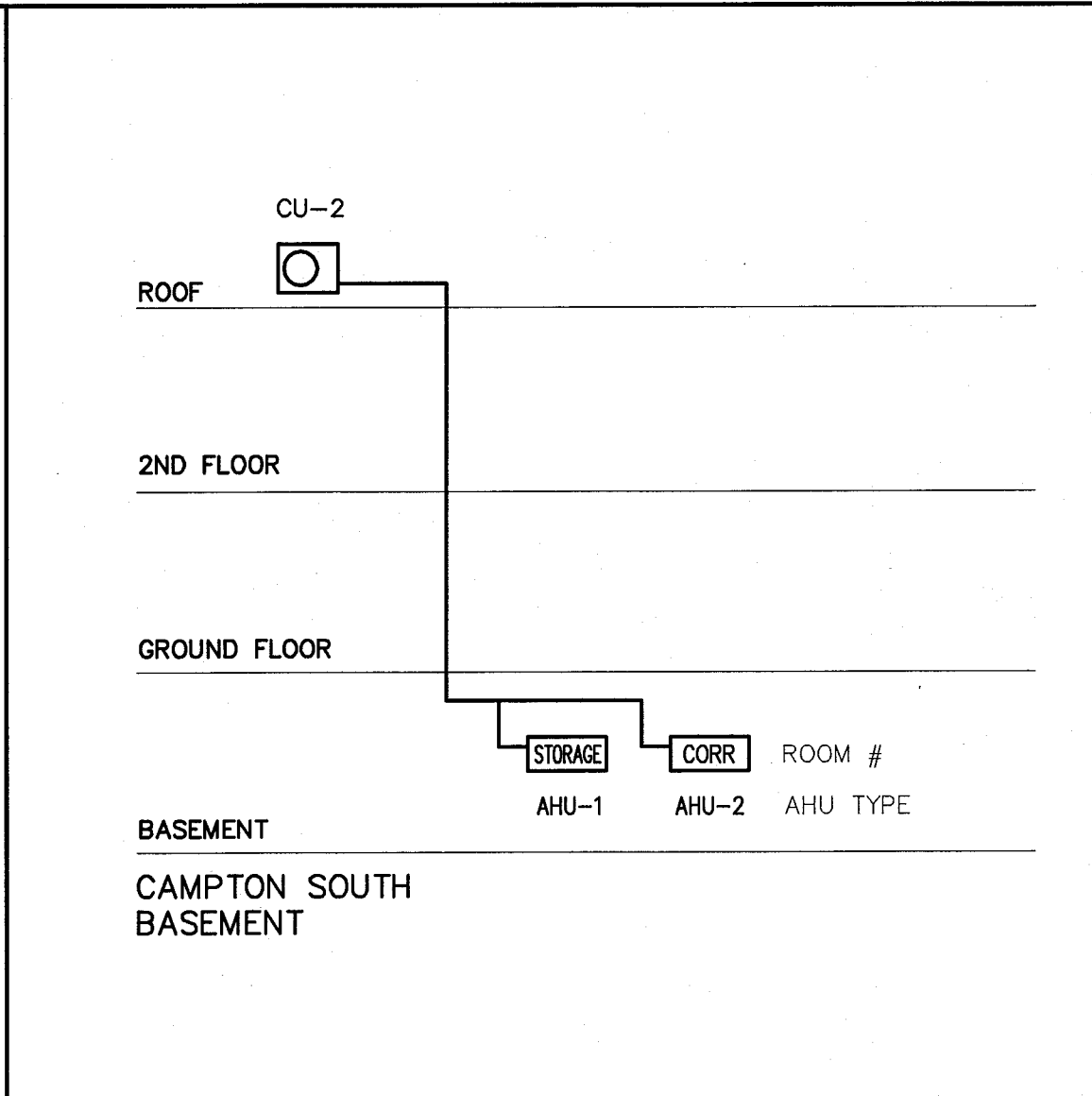
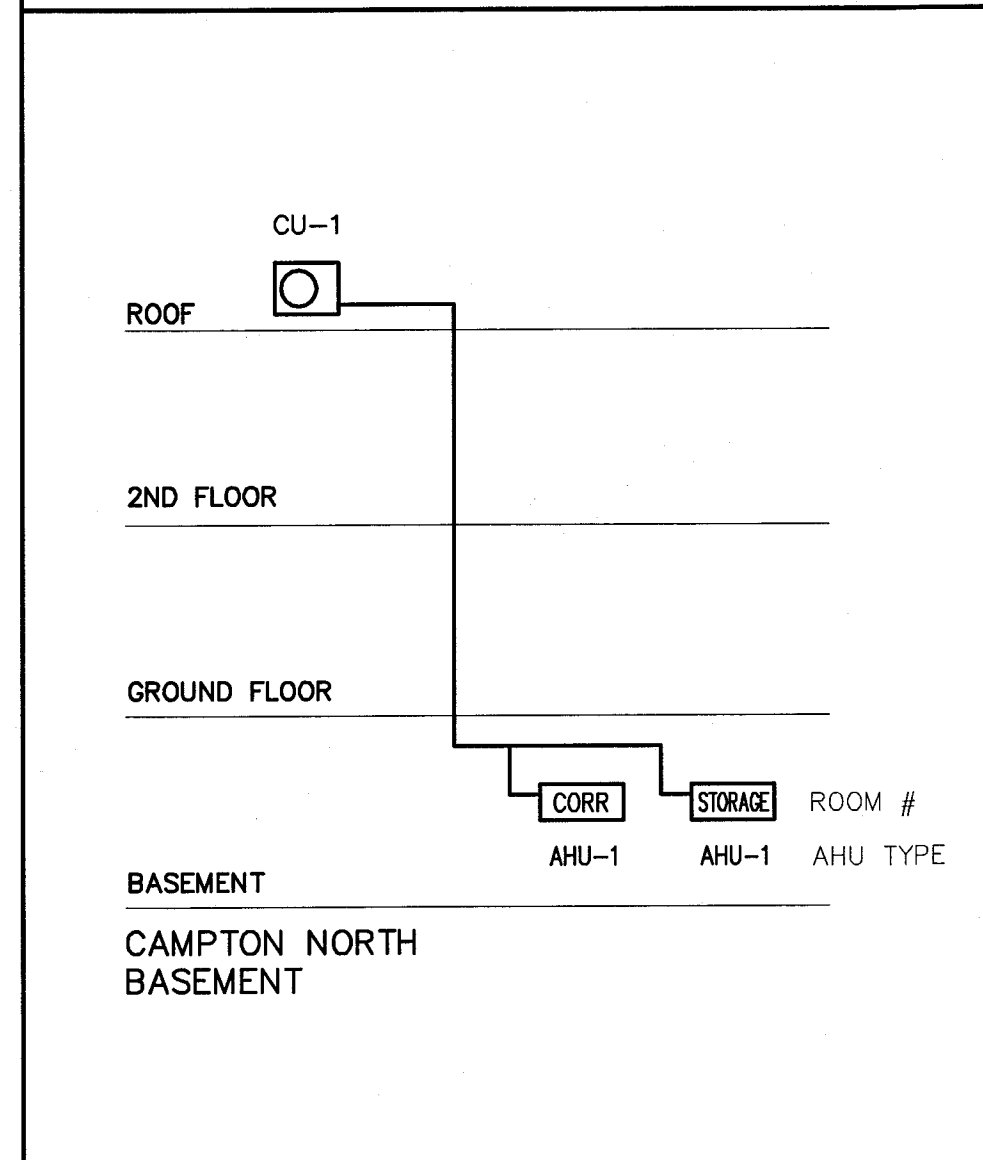
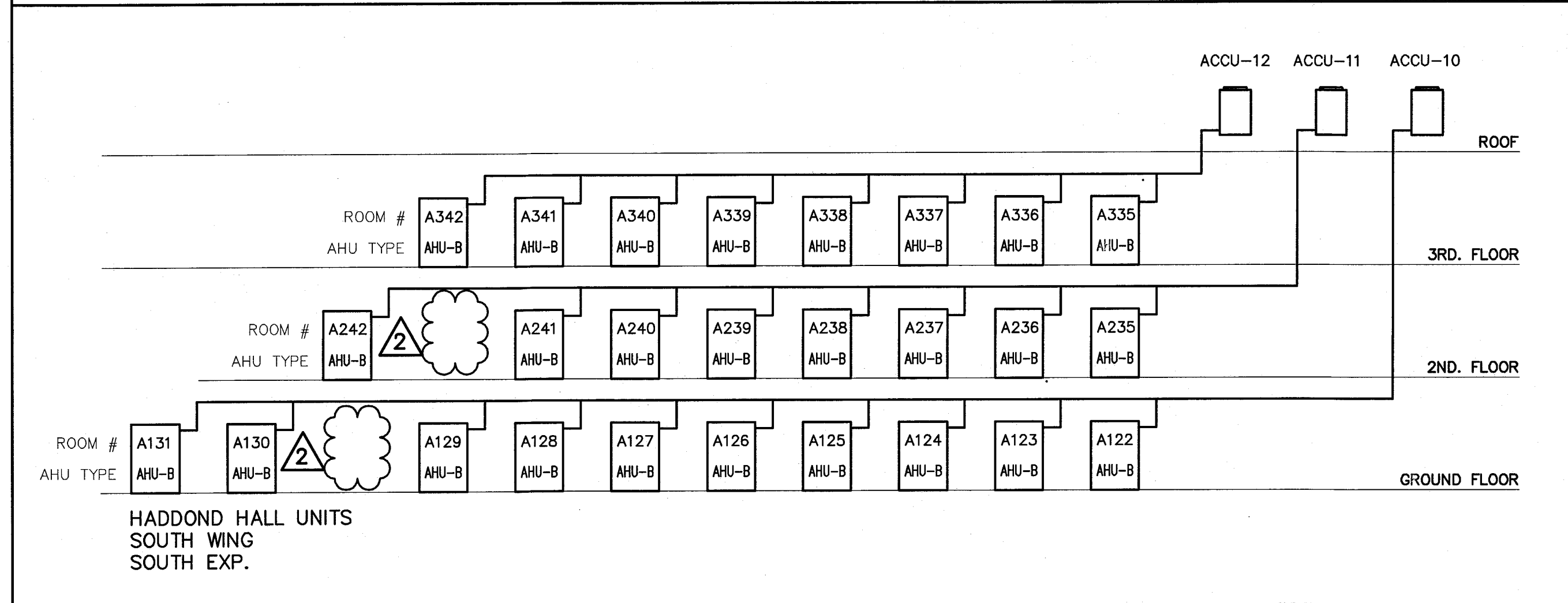
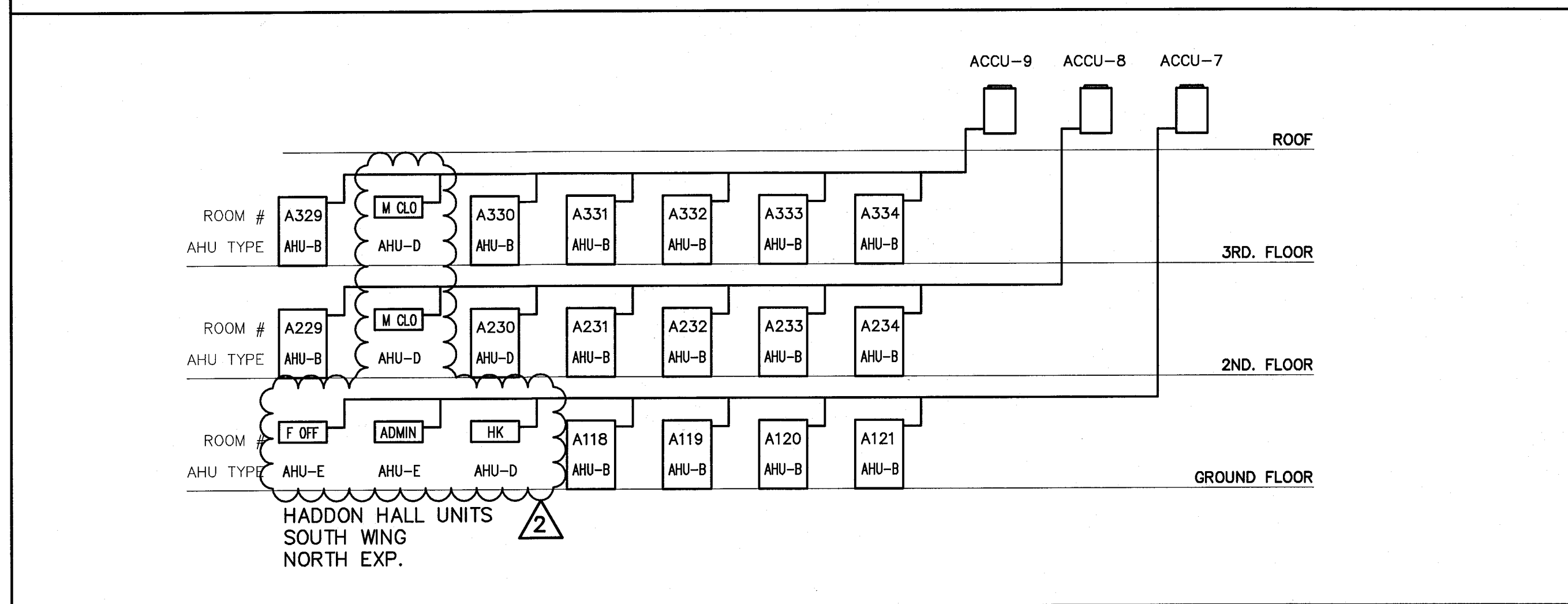
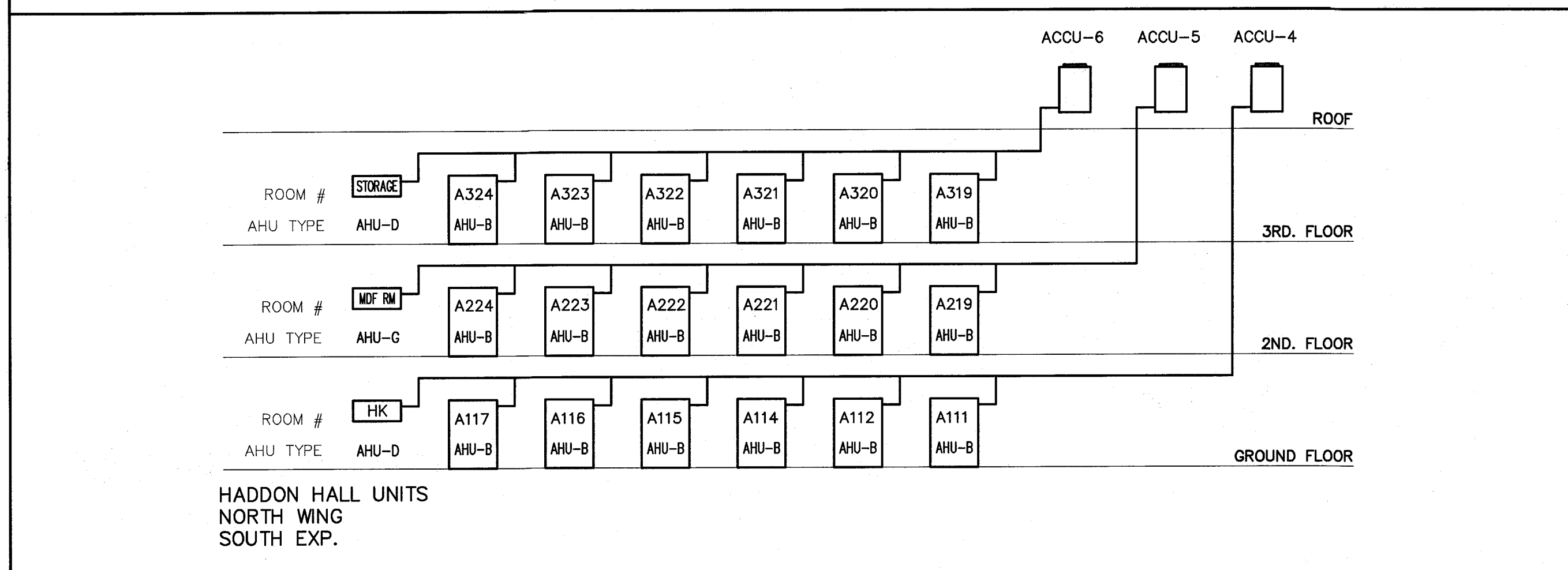
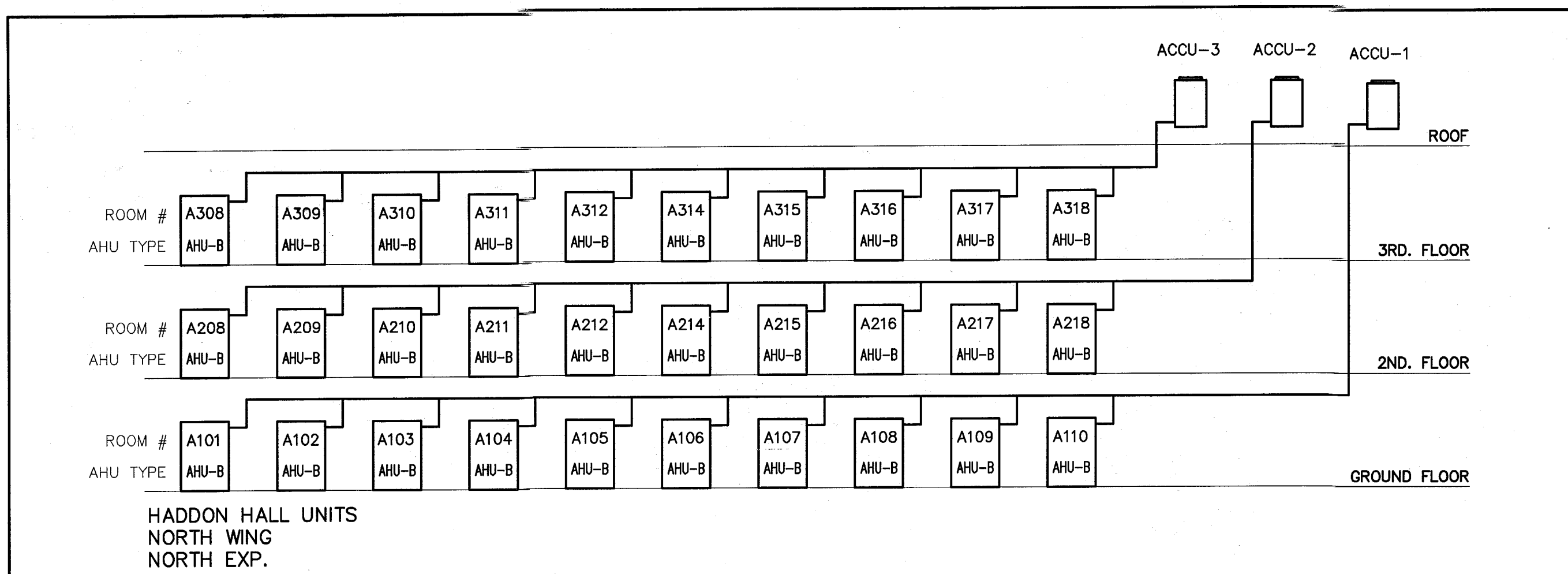
HADDON HALL 2FL & 3FL ENLARGED UNITS MECHANICAL PLAN  
SCALE: 1/4"=1'-0"



STEVEN FELLER  
FLORIDA P.E. Reg. # 22046  
Certificate of Authorization # 00003427  
300 N.E. THIRD AVENUE  
FORT LAUDERDALE, FLORIDA 33301  
PH: 954.467.1402 FAX: 954.467.5752  
e-mail: sfeller@fellerpe.com  
JOB # 13153





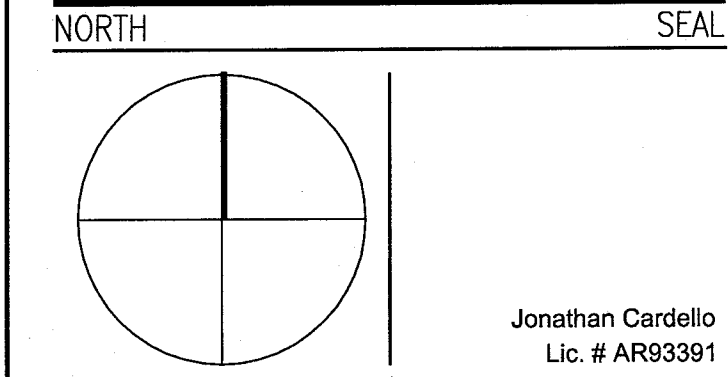


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1	PROGRESS 100% CD SET	02-18-14
2	COORDINATION REVISION	03-14-14
9	KITCHEN RELOCATION	05-30-14
12	FIRE & MTCI COMMENTS	08-21-14

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**ADD Inc** Architecture Interiors Planning

One Biscayne Tower  
Suite 1670  
Two South  
Biscayne Boulevard  
Miami, FL 33131  
T. 305.482.8700  
F. 305.482.8770  
www.addinc.com  
Lic. # AA26001507

Boston Miami

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ISSUE DATE: MARCH 14, 2014  
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SHEET TITLE

## MECHANICAL SYSTEM DX RISER SCHEMATIC DIAGRAM

SHEET NUMBER

## DX RISER SCHEMATIC DIAGRAM SCALE: N.T.S.

**STEVEN FELLER P.E., PL**  
FLORIDA P.E. Reg. # 22046  
Certificate of Authorization # 00003427  
3001E THIRD AVENUE  
FORT LAUDERDALE, FLORIDA 33301  
PH: 954.467.1402 FAX: 954.467.5752  
e-mail: feller@fellerpe.com  
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## VRV AIR HANDLING UNIT SCHEDULE (HEAT PUMP)

MARK (MOUNTING)	SELECTION BASED ON:		ELECTRICAL	COOLING CAPACITY BTU/H	HEATING CAPACITY BTU/H	MCA A	MOP A	REFRIGERANT	REFRIGERANT CONTROL	AIRFLOW RATE H/L	WEIGHT	HEIGHT	WIDTH	DEPTH	SOUND DB	S.P.	LIQUID LINE	GAS LINE	
	MAKE	MODEL NO.																	
AHU-A (1 TON) HORIZ. SLIM	DAIKIN	FXDQ12MVJU	208-230/1/60	12,000	13,500	0.9	15	R-410A	ELECTRONIC EXPANSION VALVE	280	51	11-13/16	21-5/8	27-9/16	33	0.40	1/4	1/2	
AHU-B (1 TON) VERTICAL	DAIKIN	FXTQ12PAVJU	208-230/1/60	12,000	13,500	1.1	15	R-410A	EXPANSION	400	119	46-3/4	19-1/2	27-9/16	22	0.50	1/4	1/2	
AHU-C (2.5 TON) HORIZ. DUCTED	DAIKIN	FXMQ30PVJU	208-230/1/60	30,000	34,000	2.3	15	R-410A	ELECTRONIC EXPANSION VALVE	883	80	11-13/16	39-3/8	27-9/16	43	0.80	3/8	5/8	
AHU-D (0.6 TON) HIGH WALL	DAIKIN	FXAQ07PVJU	208-230/1/60	7,500	8,500	0.4	15	R-410A	ELECTRONIC EXPANSION VALVE	260	26	11-3/8	31-1/4	9-1/4	36	-	1/4	1/2	
AHU-E (0.6 TON) HORIZ. SLIM	DAIKIN	FXDQ07MVJU	208-230/1/60	7,500	8,500	0.9	15	R-410A	ELECTRONIC EXPANSION VALVE	280	51	7-7/8	27-9/16	24-7/16	33	0.12	1/4	1/2	
AHU-F (1.0 TON) CEILING SUSPENDED	DAIKIN	FXHQ12MVJU	208-230/1/60	12,000	13,500	0.8	15	R-410A	ELECTRONIC EXPANSION VALVE	410	53	7-11/16	37-13/16	26-3/4	38	-	1/4	1/2	
AHU-A1 (1.5 TON) HORIZ. SLIM	DAIKIN	FXDQ18MVJU	208-230/1/60	18,000	20,000	1.3	15	R-410A	ELECTRONIC EXPANSION VALVE	440	63	7-7/8	35-7/16	24-7/16	33	0.17	1/4	1/2	

### VRV-III HEAT PUMPS & MULTISPLIT SYSTEM

- 1- DAIKIN BASIS OF DESIGN, PANASONIC, SAMSUNG, MITSUBISHI, WILL BE CONSIDERED PER APPROVED, EQUALS.
- 2- PROVIDE 7 YEARS COMPRESSOR WARRANTY, 1 YEAR PARTS IN CONDENSING UNITS & FAN COIL INVERTER TYPE COMPRESSION WITH.
- 3- PROVIDE INTELLIGENT TOUCH MANAGER COMPLETE W/D JULIUS ADAPTER.
- 4- FURNISH AND INSTALL ALL AHU'S W/ FACTORY MOUNTED CONDENSATE PUMP W/ DISCHARGE CHECK VALVE AND FLOAT SWITCH TO AUTOMATICALLY SHUT DOWN UNIT IF FAILURE. REFER TO RISER DIAGRAM FOR CONDENSING UNITS TYPES & LOCATION.
- 5- MAINTAIN REFRIGERANT PIPING WITHIN MANUFACTURER'S RECOMMENDED LENGTHS. DO NOT EXCEED LIMITATIONS.
- 6- PROVIDE REFRIGERANT PIPE DIAMETERS PER MANUFACTURER'S RECOMMENDATIONS & CALCULATIONS. COORDINATE W/ MANUFACTURER FOR ALL PIPE SIZING CALCULATIONS.
- 7- PROVIDE REFRIGERANT PIPE JOINTS IN ACCORDANCE W/ MANUFACTURER'S REQUIREMENTS AND APPROVED MANUFACTURER'S METHODS.

## VRV CONDENSER UNIT SCHEDULE (HEAT PUMP)

PERFORMANCE														FAN		REFRIGERANT PIPING					UNIT	
MARK (AHU)	SELECTION BASED ON:		ELECTRICAL	COOLING CAPACITY BTU/H	HEATING CAPACITY BTU/H	OPERATING RATING COOLING	OPERATING RATING HEATING	IEER	MCA A	MOP A	RLA A	SOUND DB	AIRFLOW CFM	VERTICAL PIPE LENGTH ABOVE	VERTICAL PIPE LENGTH BELOW	ACTUAL PIPE LENGTH	EQUIVALENT PIPE LENGTH	WEIGHT LBS.	DIMENSIONS (HxWxD)			
	MAKE	MODEL NO.												164 (295 WITH OPTION)	295	540	620					
ACCU-4,6,7,8,9,16,17,19 (6 TON)	DAIKIN	RXYQ72PBTJ	208-230/3/60	72,000	77,000	23-110	0-77	25.8/21.5	30	35	14.2	57	8,230	164 (295 WITH OPTION)	295	540	620	420	66-1/8"x36-5/8"x30-1/8"			
ACCU-11,12,13,14 (8 TON)	DAIKIN	RXYQ96PBTJ	208-230/3/60	96,000	108,000	23-110	0-77	23.0/18.0	43	50	7.8+16.8	60	8,300	164 (295 WITH OPTION)	295	540	620	620	66-1/8"x48-7/8"x30-1/8"			
ACCU-1,2,3,10,15 (10 TON)	DAIKIN	RXYQ120PBTJ	208-230/3/60	120,000	135,000	23-110	0-77	20.4/17.2	43	50	10.6+16.8	60	8,230+8,230	164 (295 WITH OPTION)	295	540	620	620	66-1/8"x48-7/8"x30-1/8"			
ACCU-18, 20 (15 TON)	DAIKIN	RXYQ192PBTJ	208-230/3/60	184,000	206,000	23-110	0-77	19.9/19.1	43+30	50+35	(10.8+16.8)+14.2	62	8,230+6,350	164 (295 WITH OPTION)	295	540	620	1040	66-1/8"x48-7/8"x30-1/8" +66-1/8"x36-5/8"x30-1/8"			
ACCU-21 (14 TON)	DAIKIN	RXYQ168PBTJ	208-230/3/60	160,000	180,000	23-110	0-77	22.2/20.2	43+30	50+35	(7.8+16.8)+14.2	62	8,230+8,230	164 (295 WITH OPTION)	295	540	620	860	66-1/8"x36-5/8"x30-1/8" +66-1/8"x48-7/8"x30-1/8"			

## SPLIT DUCTED INDOOR UNIT SCHEDULE (HEAT PUMP)

MARK (MOUNTING)	SELECTION BASED ON:		ELECTRICAL	COOLING CAPACITY BTU/H	HEATING CAPACITY BTU/H	AIRFLOW CFM	WEIGHT	SUCTION LINE	LIQUID LINE	SOUND DB	SEER
	MAKE	MODEL NO.									
AHU-7 (3.0 TON) DCUT CONCEALED	DAIKIN	FBQ36PVJU	208-230/1/60	36000	27200	1130	102	5/8"	3/8"	39	17.5

## SPLIT CONDENSER UNIT SCHEDULE (HEAT PUMP)

MARK (AHU)	SELECTION BASED ON:		ELECTRICAL	COOLING CAPACITY BTU/H	HEATING CAPACITY BTU/H	SEER/EER	MCA A	MOP A	SUCTION LINE	LIQUID LINE	DIMENSIONS (HxWxD)	WEIGHT
	MAKE	MODEL NO.										
CU-7	DAIKIN	RZQ36PVJU9	208-230/1/60	36000	27500	16.3/10.8	27	30	5/8"	3/8"	53X17X17	283

## FAN SCHEDULE

MARK	SELECTION BASED ON:			CFM	STATIC PRESSURE	VOLT/Ø/HZ	SPEED CONTROLLER UNIT MOUNTED	WATTS	CONTROL	SERVICE	SONES
	MAKE	MODEL NO.	TYPE								
EF-1	GREENHECK	SP-A50	CABINET	50	0.1	120/1/60	YES	18.3	MOTION SENSOR	TOILETS	0.8

## MULTISPLIT WALL MOUNTED INDOOR UNIT SCHEDULE (HEAT PUMP)

MARK (MOUNTING)	SELECTION BASED ON:		ELECTRICAL	COOLING CAPACITY BTU/H	HEATING CAPACITY BTU/H	AIRFLOW CFM	WEIGHT	SUCTION LINE	LIQUID LINE	SOUND DB
	MAKE	MODEL NO.								
AHU-1 (0.6 TON) HIGH WALL	DAIKIN	CTXS07LVJU	208-230/1/60	7000	850	350	20	3/8"	1/4"	38
AHU-2 (1 TON) HIGH WALL	DAIKIN	CTXS12LVJU	208-230/1/60	11500	11500	400	20	3/8"	1/4"	45

## MULTISPLIT CONDENSER UNIT SCHEDULE (HEAT PUMP)

MARK (AHU)	SELECTION BASED ON:		ELECTRICAL	COOLING CAPACITY BTU/H	HEATING CAPACITY BTU/H	SEER/EER	MCA A	MOP A	SUCTION LINE	LIQUID LINE	DIMENSIONS (HxWxD)	WEIGHT
	MAKE	MODEL NO.										
CU-1,4&6	DAIKIN	2MXS18GVJU	208-230/1/60	18,000	22,000	16.3/10.8	11.1	20	3/8"	1/4"	29X33X12	139
CU-2	DAIKIN	3MXS24GVJU	208-230/1/60	24,000	30,000	16.3/12.5	17.8	20	3/8"	1/4"	31X17X13	168
CU-3	DAIKIN	RMXS48LVJU	208-230/1/60	48,000	54,000	16.3/10.8	27	30	3/4"	3/8"	53X17X13	283

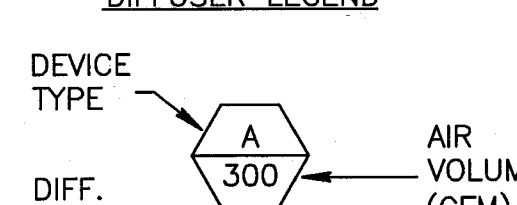
## AIR DISTRIBUTION SCHEDULE

MARK	USE	MATERIAL	FRAME	ACCESSORIES	FINISH	MAKE AND MODEL NO.	REMARKS
A	SUPPLY	ALUMINUM	*	OBD	**	TITUS 272 FS	1
B	SUPPLY	ALUMINUM	*	OBD	**	TITUS TDC-AA	1
C	RETURN/ EXHAUST	ALUMINUM	*	OBD	**	TITUS 4FL	1

### GENERAL NOTE:

1. TITUS IS THE BASIS OF DESIGN AND THE STANDARD FOR COMPARISON.
2. PROVIDE LOCKABLE TYPE O.B.O.
3. PROVIDE 24X24" PANEL.
4. COORDINATE CEILING MOUNTING APPROACH AND PROVIDE REQUIRED HARDWARE FOR DIFFERENT CEILING TYPES WITH MANUFACTURER'S RECOMMENDATIONS.

### DIFFUSER LEGEND



- \* REFER TO ARCH'S PLANS FOR CEILING/WALL TYPE.
- \*\* OFF WHITE FINISH (SUBJECT TO ARCHITECTS APPROVAL).

## SPLIT SYSTEM VERTICAL INDOOR UNIT SCHEDULE

MARK (MOUNTING)	SELECTION BASED ON:		ELECTRICAL	COOLING CAPACITY BTU/H	HEATER KW MOP	AIRFLOW CFM	MOTOR HP	MOTOR RPM	MOTOR FLA	MOTOR LRA	MOTOR MCA	MOP A	WEIGHT	REFRIG.	SUCTION LINE	LIQUID LINE
	MAKE	MODEL NO.														
AHU-5 (7.5 TON) VERTICAL	DAIKIN	DAR0904A	208-230/3/60	90,000	15 50	3000	1.5	-	5.2	35	6.5	15	405	R-410A	1-1/8"	5/8"

## SPLIT SYSTEM CONDENSER UNIT SCHEDULE

MARK (AHU)	SELECTION BASED ON:		ELECTRICAL	EER SEER	COOLING CAPACITY BTU/H	HEATING CAPACITY BTU/H	COMPRESSOR RLA A	FAN FLA A	FAN HP	REFRIG.	SUCTION LINE	LIQUID LINE	DIMENSIONS (HxWxD)	WEIGHT	MCA A	MOP A
	MAKE	MODEL NO.														
CU-5	DAIKIN	DX115A	208-230/3/60	11.2 11.5	90,000		25.0	5.6	1.0	R-410A	1-3/8"	5/8"	36X36X37	315	36.9	60

## MECHANICAL SCHEDULES

SCALE: NTS

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1500 COLLINS AVE  
MIAMI BEACH, FL

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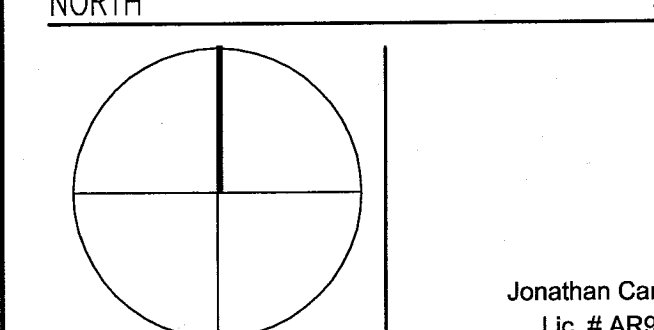
### REVISIONS

NO.	DESCRIPTION	ISSUE DATE
1	PROGRESS 100% CD SET	02-18-14
2	COORDINATION REVISION	03-14-14
9	KITCHEN RELOCATION	05-30-14
12	FIRE & MTCI COMMENTS	08-21-14

MTCI PRIVATE PROVIDER SERVICES, LLC Construction Data Services, Inspection, Testing & Consulting		
BUILDING	REVIEWER	DATE
STRUCTURAL	INITIALS	REVIEWED
MECHANICAL		
ELECTRICAL		
PLUMBING		
SITE CIVIL		

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ADD Inc Architecture Interiors Planning

One Blacayne Tower  
Suite 1670  
Two South  
Blacayne Boulevard  
Miami, FL 33131  
T. 305.482.8700  
F. 305.482.8770  
www.addinc.com  
Lic. # AA26001507

JOB NUMBER: 13036.00

CHECKED BY:

ISSUE DATE: MARCH 14, 2014

SCALE: AS NOTED

SHEET TITLE

MECHANICAL SCHEDULES

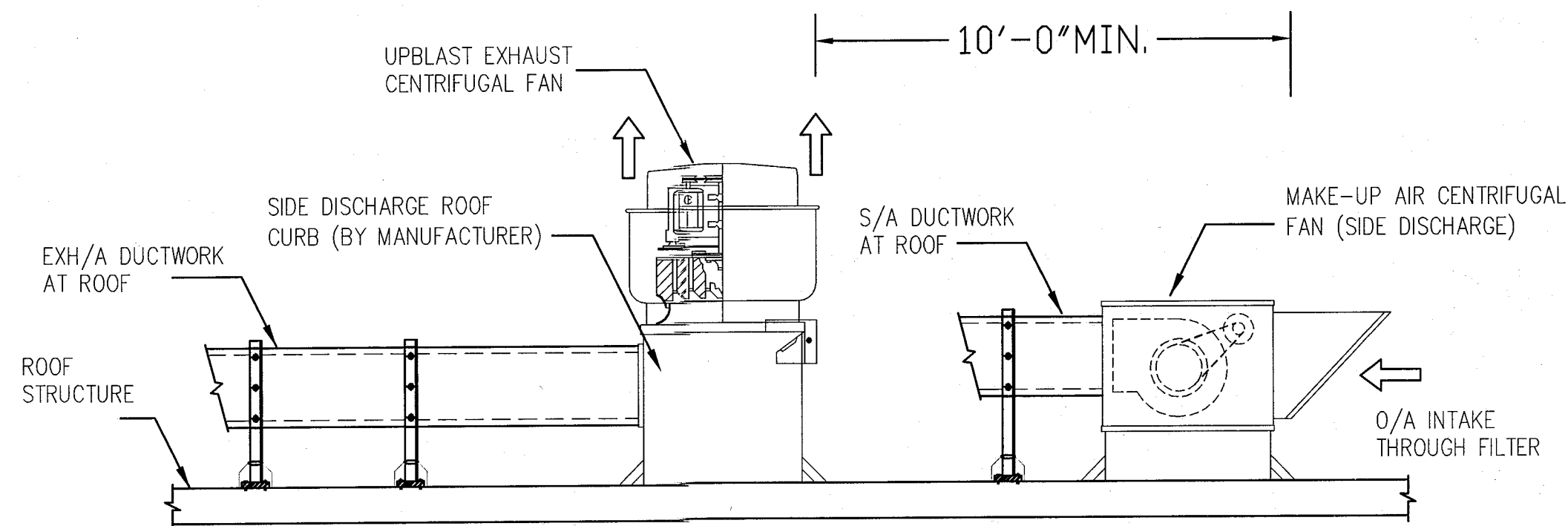
SHEET NUMBER

SEP 04 2014  
No. 22046  
STATE OF FLORIDA  
STEVEN FELLER P.E. P.L.  
FLORIDA P.E. Reg. # 22046  
Certificate of Authorization # 000034  
301 E. THIRD AVENUE  
FORT LAUDERDALE, FLORIDA 33301  
PH: 954.467.1402 FAX: 954.467.3752  
e-mail: stefeller@stefeller.com  
JOB # 13153

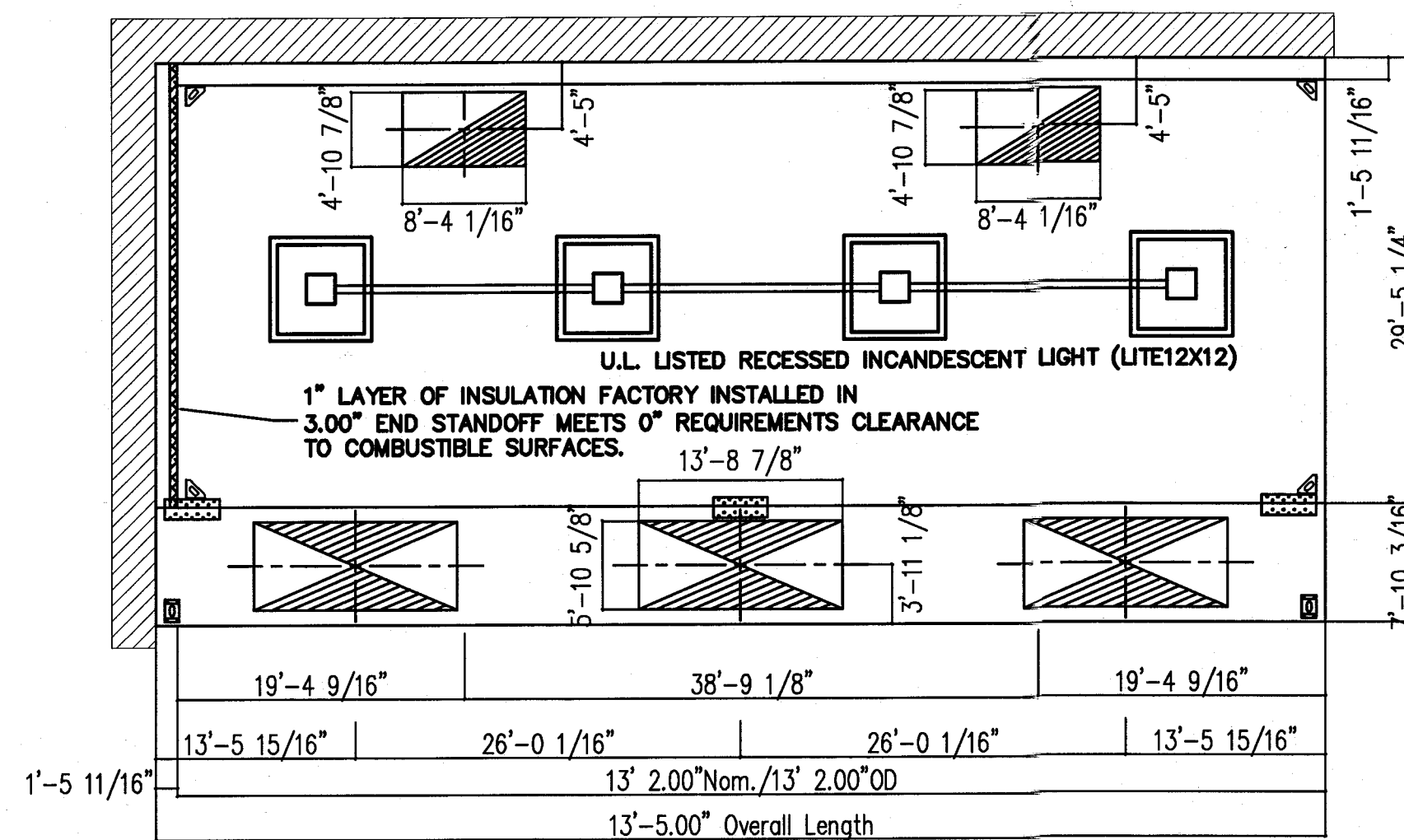
M5.01

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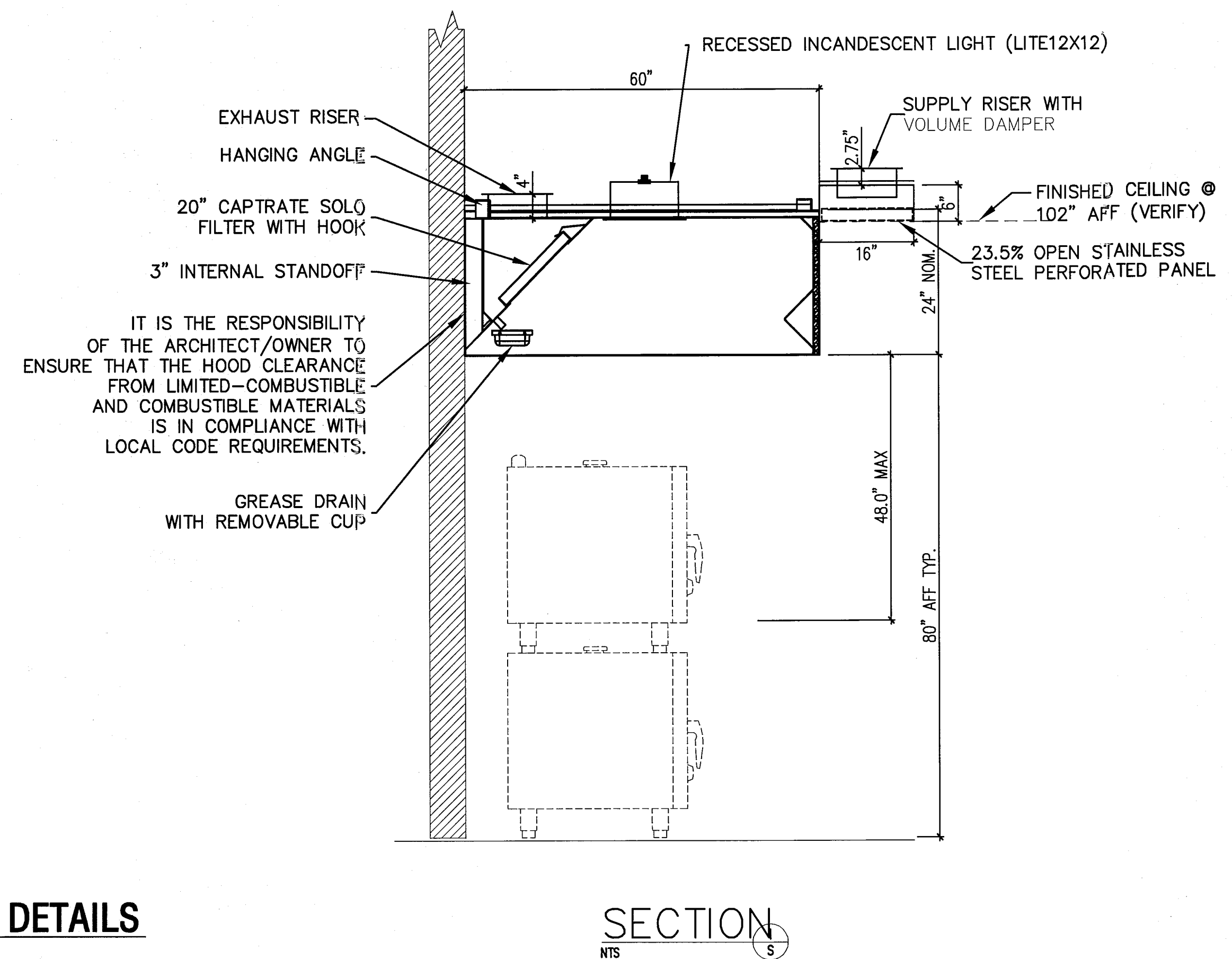




KITCHEN EXHAUST / SUPPLY FAN DETAIL



PLAN VIEW - Hood



HOOD VENTILATION DETAILS

SECTION S

KITCHEN AIR BALANCE SCHEDULE

DESCRIPTION	EXHAUST AIR CFM	SUPPLY AIR CFM	RETURN AIR CFM	O/A AIR CFM	PRESS DIFF CFM
HEAT / COOL AC UNIT	-	+1200	-900	+300	+300
HOOD EXHAUST FAN	-3896	-	-	-	-3896
MUA SUPPLY FAN	-	-	-	+2532	+2532
DISHWASHER EXHAUST	-	-	-	-	-
VENTILATION	-	-	-	+800	+800
TOTAL					-264

KITCHEN AREA IS 264 CFM UNDER NEGATIVE PRESSURE

PERFORATED SUPPLY PLENUM(S)											
HOOD NO.	TAG	POS.	LENGTH	WIDTH	HEIGHT	TYPE	RISER(S)				
							WIDTH	LENG.	DIA.	CFM	S.P.
2	122	FRONT	161"	16"	6"	MUA	12"	28"		784	0.229"
						MUA	12"	28"		784	0.229"
						MUA	12"	28"		784	0.229"

HOOD OPTIONS										
HOOD NO.	TAG	OPTION								
2	122	LEFT END STANDOFF (FINISHED) 3" WIDE 60" LONG INSULATED								
		STRUCTURAL FRONT PANEL								

HOOD INFORMATION										
HOOD NO.	TAG	TYPE	FILTER(S)			QTY.	LIGHT(S)			FIRE SYSTEM PIPING
			QTY.	HEIGHT	LENGTH		QTY.	TYPE	WIRE GUARD	
1	109					0		RECESSED		NO
2	122	CAPTRATE SOLO FILTER	9	20"	16"	4			NO	YES

HOOD INFORMATION										
HOOD NO.	TAG	MODEL	LENGTH	MAX. COOKING TEMP.	TOTAL EXH. CFM	EXHAUST PLENUM RISER(S)				
						WIDTH	LENG.	DIA.	CFM	S.P.
1	109	4224 VHB-G	3' 6.00"	700 Deg.	525	9"	9"		525	-0.068"
2	122	6024 ND-2-PSP-F	13' 2.00"	600 Deg.	3621	10"	17"		1810	-0.677"
						10"	17"		1810	-0.677"

KITCHEN FAN SCHEDULE

MARK	SELECTION BASED ON:			EXT. STATIC PRESSURE	CFM	HP	VOLT/ø/HZ	RPM	DRIVE	CONTROL	WEIGHT	SONES	SERVICE AREA	WALL OPENING	EMER. POWER	REMARKS
	MAKE	MODEL NO.	TYPE													
KEF-1	GREENHECK	CUBE 180-15	UPBLAST CENTRIFUGAL	1.0	3621	1-1/2	208/3/60	1725	BELT	-	197	18.4	CAMPTON KITCHEN	-	NO	1, 2, 3
KSF-1	GREENHECK	MSX-109-H12	CENTRIFUGAL	0.5	2352	1-1/2	208/3/60	1725	BELT	-	528	23	CAMPTON KITCHEN	-	NO	1, 2, 3
KSF-2	GREENHECK	SQ 95	IN-LINE	0.2	800	1/8	120/1/60	1550	DIRECT	-	41	23	CAMPTON KITCHEN	-	NO	1, 2, 3
KEF-2	GREENHECK	SQ 90	IN-LINE	0.4	579	1/10	120/1/60	1550	DIRECT	-	41	23	CAMPTON KITCHEN PREP.	-	NO	1, 2, 3

SPECIFIC FAN NOTES: (APPLIES TO INDIVIDUAL FANS) 1. PROVIDE WALL SWITCH. 2. PROVIDE WIRE GUARD - MOTOR SIDE. 3. PROVIDE SIDE DISCHARGE CURB.

ASHRAE STANDARD 62.1-2004 OUTSIDE AIR CALCULATION

$$Voz = [(Rp \times Pz) + (Ra \times Az)] / Ez$$

VENTILATION ZONE	UNIT #	Rp OUTDOOR AIR RATE PER PERSON	Pz QUANTITY AIR RATE PEOPLE	Vbzp VENTILATION BASED ON PEOPLE	Ra OUTDOOR AIR RATE BASED ON AREA	Az AREA	Vbza VENTILATION BASED ON AREA	Vbz TOTAL VENTILATION RATE	Ez ZONE AIR DISTRIBUTION EFF	Voz ZONE O/A=Vbz/Ez	PROVIDED CFM
BAR/COFFEE & SEAT LOUNGE (A/2)	AHU-5	7.5	22	165	0.18	1993	358.74	523.74	1	523.74	525
GYM	AHU-C	0	6	0	0.3	335	106.5	106.5	1	106.5	110
KITCHEN	RTU-1	7.5	4	30	0.12	250	106.5	106.5	1	106.5	300
FRONT OFFICE	AHU-E	5	1	5	0.06	160	10	15	1	15	15

MECHANICAL SCHEDULES

SCALE: NTS

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1500 COLLINS AVE  
MIAMI BEACH, FL

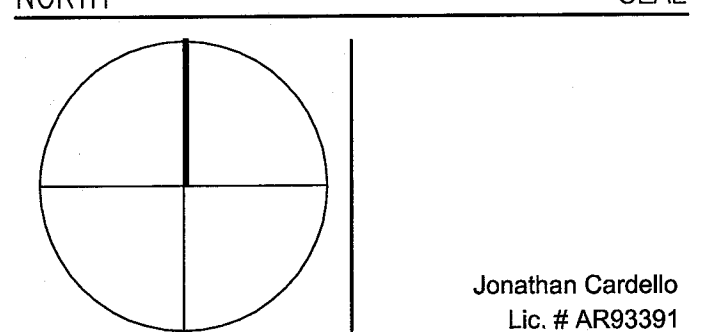
KEYPLAN

REVISIONS		
NO.	DESCRIPTION	ISSUE DATE
1	PROGRESS 100% CD SET	02-18-14
2	PERMIT REVIEW COMMENTS	03-14-14
3	KITCHEN RELOCATION	05-30-14
4	FIRE & MTCI COMMENTS	08-21-14

MTCI		
PRIVATE PROVIDER SERVICES, LLC		
Construction Project Services, Inspection, Testing & Consulting		
BUILDING	REVIEWER	DATE
STRUCTURAL		
MECHANICAL		
ELECTRICAL		
PLUMBING		
SITE CIVIL		

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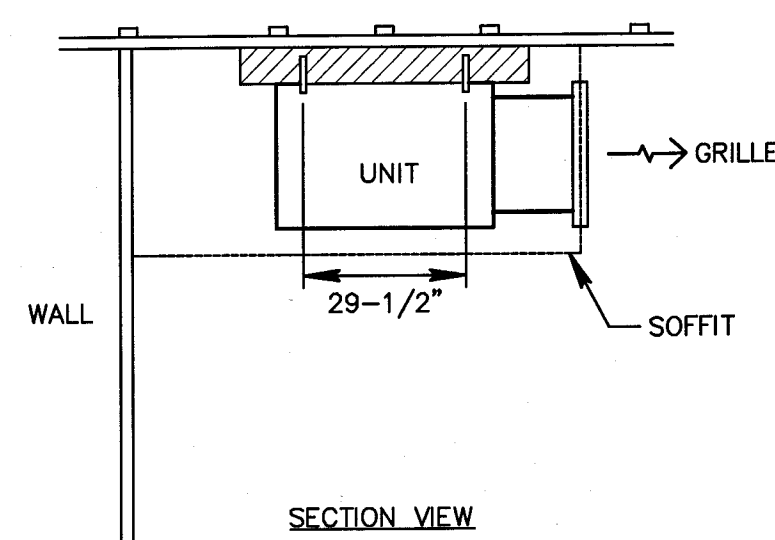
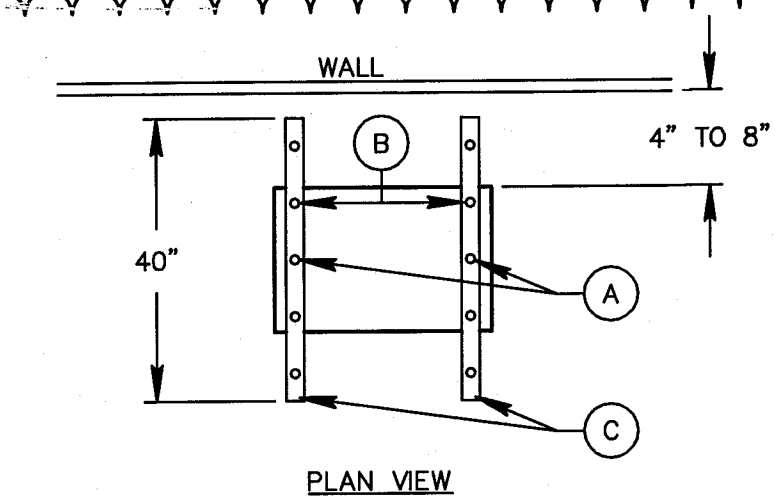
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SEP 04 2014  
STEVEN FELLER P.E., P.  
FLORIDA P.E. Reg. # 22062  
Certificate of Authorization # 0000000000  
500 N.E. THIRD AVENUE, SUITE 300  
FORT LAUDERDALE, FLORIDA 33301  
PH: 954.467.1402 FAX: 954.467.5752  
e-mail: feller@stefeller.com  
JOB # 13153

M5.02

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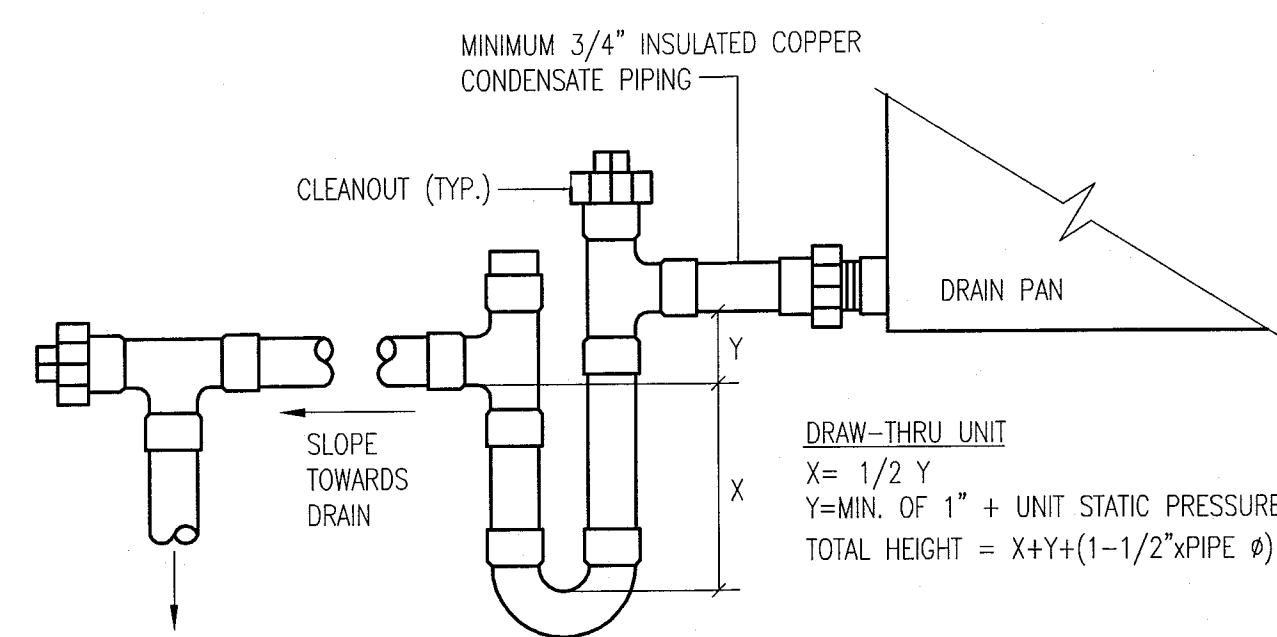




- NOTES -
- 1) DENOTES #8x2-1/2" LONG WOOD SCREWS - HEX HEAD SCREWS WILL BE USED TO ATTACH 2" SLOTTED UNISTRUT PIECES OF 40" LENGTH EACH TO EXISTING WOOD TRUSSES PM 16" CL TO CL.
  - 2) DENOTES 3/8" ALL THREAD ROD PIECES TO ANCHOR DRAIN UNIT TO STEEL STRUT PIECES THRU FACTORY HOLES 29-1/2" APART. DRAIN UNIT WILL BE HELD WITH 1/4" THICK RUBBER GROMMET AS ISOLATORS.
  - 3) 40" LONG STRUT PIECE.

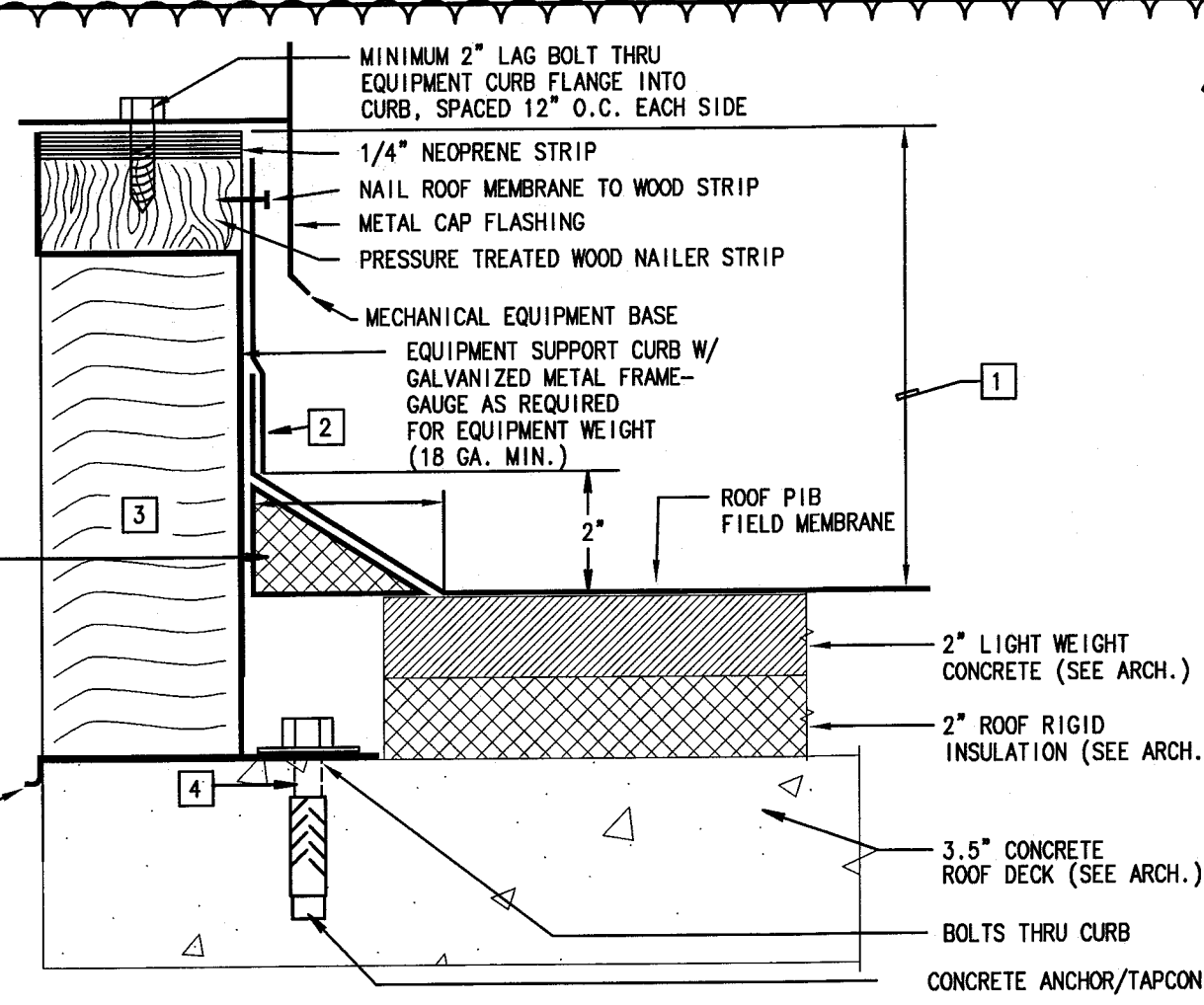
## MINI-SPLIT FSN COIL ANCHORING DETAIL

N.T.S.



## CONDENSATE DRAIN TRAP DETAIL

N.T.S.



- 1) ROOF CURB SHALL BE MIN. 12" ABOVE FINISHED ROOF IF NOT OTHERWISE SPECIFIED ON PLANS.
- 2) REINFORCED P/B FLASHING APPLIED WITH CONTACT ADHESIVE-START 4" ABOVE ROOF DECK.
- 3) 1-1/2" DENSITY ACoustical INSULATION WITH NEOPRENE COATING ON ALL EXPOSED SURFACES.
- 4) FOR FAN ROOFCURB, PROVIDE 1 1/4"x1/4" TAPCON SECURED THRU CURB FLANGE TO ROOF DECK. TYP. EACH SIDE. FOR LARGER CURBS PROVIDE ANCHORING AT 18" O.C. OR AS RECOMMENDED BY REGISTERED PROFESSIONAL STRUCTURAL ENGINEER FOR A/C UNIT ROOFCURB. PROVIDE 3/8"x5/16" RED HEAD WEDGE TYPE ANCHOR WITH MIN. EMBEDMENT AS RECOMMENDED BY MANUFACTURER. FOR LARGER CURBS PROVIDE ANCHORING AT 18" O.C. OR AS RECOMMENDED BY STRUCTURAL ENGINEER.

## EQUIPMENT SUPPORT CURB DETAIL

N.T.S.

## ABBREVIATIONS

AFB	ABOVE FINISHED FLOOR
BDD	BACK DRAFT DAMPER
BTU	BRITISH THERMAL UNIT
CFM	CUBIC FEET PER MINUTE
CG	CEILING GRILLE
CR	CEILING REGISTER
DB	DRY BULB
DN	DOWN
DR	DROP
EAT	ENTERING AIR TEMPERATURE
EF	EXHAUSTING AIR
EWI	ENTERING WATER TEMPERATURE
FD	FUSIBLE LINK FIRE DAMPER W/ DUCT ACCESS DOOR
FLA	FULL LOAD AMPS
GPM	GALLONS PER MINUTE
HP	HORSE POWER
KWH	KILOWATT
LAT	LEAVING AIR TEMPERATURE
LRA	LOOK ROTOR AMPS
LWT	LEAVING WATER TEMPERATURE
MAT	MIXED AIR TEMPERATURE
MBH	THOUSAND BTU PER HOUR
MIN	MINIMUM
NFA	NET FREE AREA
NTS	NOT TO SCALE
OW	OUTSIDE AIR INTAKE
PSI (G)	POUNDS PER SQUARE INCH (GAUGE)
RA	RETURN AIR
RPM	REVOLUTIONS PER MINUTE
SMK	SMOKE EXHAUST
TG	TRANSFER GRILLE
VD	VOLUME DAMPER
WB	WET BULB
WMS	WIRE MESH SCREEN
(300)	300 CUBIC FEET OF AIR PER MINUTE

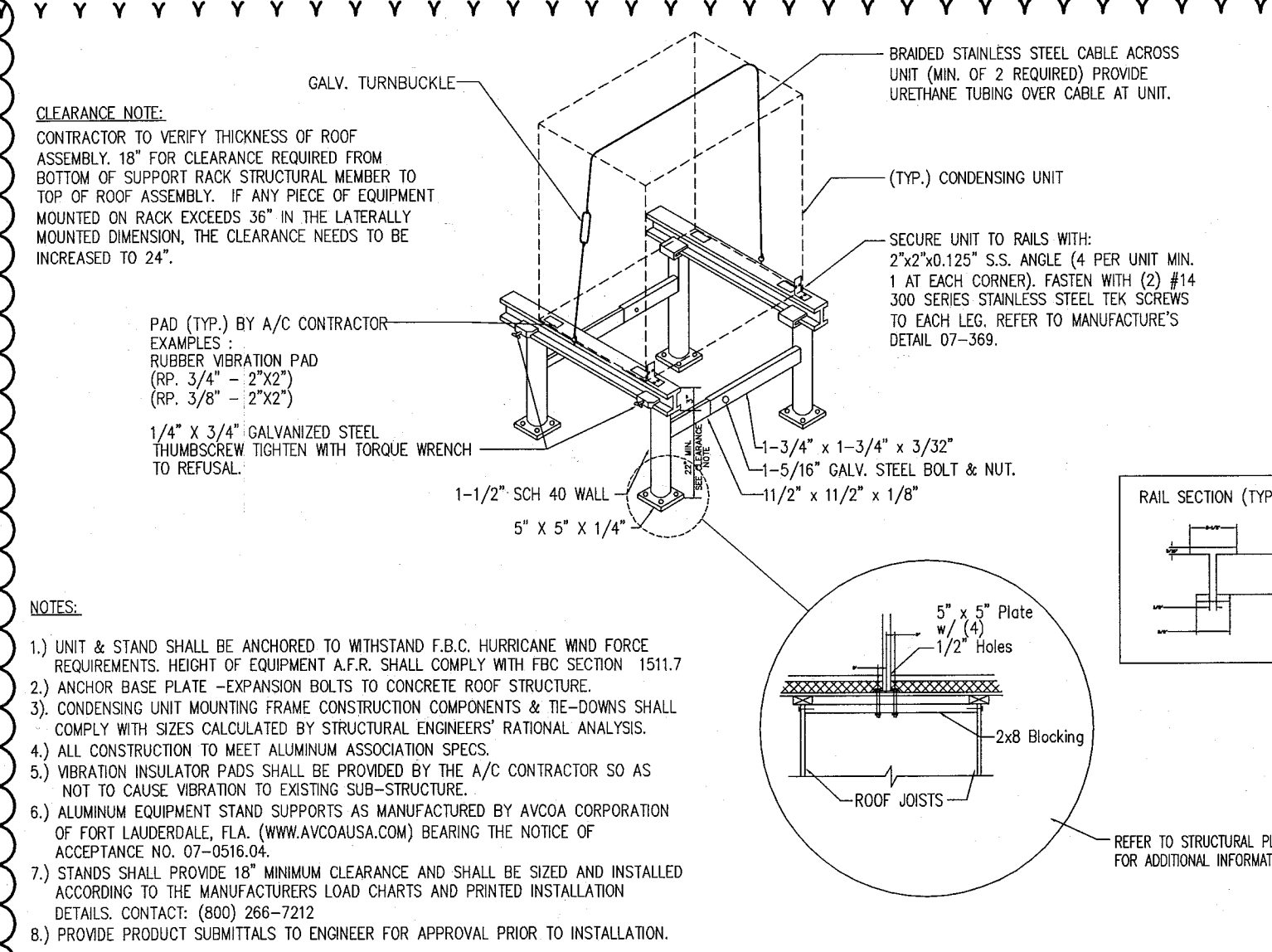
## PIPING LEGEND:

R	REFRIGERANT LINE
→	ARROW INDICATES DIRECTION OF FLOW
↪	ELBOW TURNED UP
↩	ELBOW TURNED DOWN

NOTE: ALL SYMBOLS MAY NOT NECESSARILY APPLY TO THESE PLANS

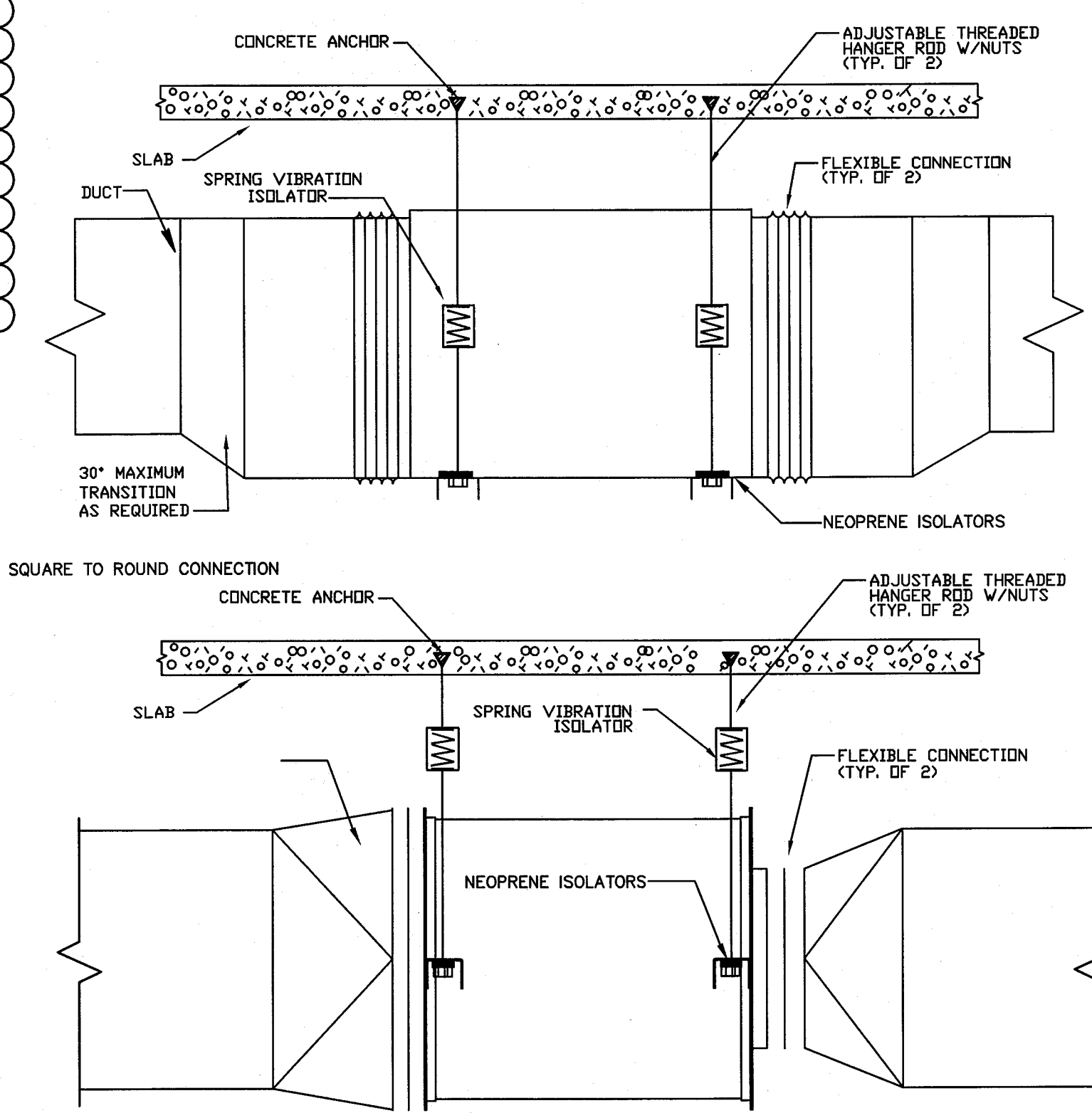
## DUCTWORK LEGEND:

[Symbol]	SUPPLY DUCT UP
[Symbol]	SUPPLY DUCT DOWN
[Symbol]	RETURN OR EXHAUST DUCT UP
[Symbol]	RETURN OR EXHAUST DUCT DOWN
[Symbol]	DUCT SIZE (CLEAR INSIDE DIMENSION) FIRST
[Symbol]	FIGURE INDICATES PLAN SIZE
[Symbol]	ROUND DUCT DIAMETER SIZE
[Symbol]	FLEXIBLE CONNECTION
[Symbol]	VOLUME DAMPER
[Symbol]	ELBOW WITH TURNING VANES
[Symbol]	RECTANGULAR DUCT CAPPED & SEALED W/ VOLUME DAMPER
[Symbol]	NEW DUCTWORK
[Symbol]	EXISTING DUCTWORK TO REMAIN
[Symbol]	CEILING DUCTWORK TO BE REMOVED
[Symbol]	CEILING DIFFUSER (4-WAY)
[Symbol]	CEILING DIFFUSER (3-WAY)
[Symbol]	CEILING DIFFUSER (2-WAY)
[Symbol]	CEILING DIFFUSER (1-WAY)
[Symbol]	RETURN REGISTER OR GRILLE
[Symbol]	TRANSFER GRILLE ON BOTH SIDES OF PARTITION WALL
[Symbol]	SUPPLY REGISTER
[Symbol]	RETURN REGISTER OR GRILLE
[Symbol]	LOUVER DOOR (SQUARE FEET)
[Symbol]	UNDERCUT DOOR
[Symbol]	EQUIPMENT SYMBOL AND NUMBER
[Symbol]	MOTORIZED DAMPER WITH AIRFOIL BLADES AND OBD
[Symbol]	FIRE DAMPER W/ ACCESS PANEL
[Symbol]	AUTOMATIC COMBINATION FIRE SMOKE DAMPER WITH AIRFOIL BLADES AND OBD. RUSKIN FSD-80.
[Symbol]	MANUAL VOLUME DAMPER
[Symbol]	PROVIDE DIGITAL PROGRAMMABLE THERMOSTAT FOR ALL HP IN APARTMENTS AND COMMERCIAL HEAT PUMPS. LOCKING COVER TO BE PROVIDED FOR ALL COMMERCIAL HEAT PUMP UNITS.



## CONDENSING UNIT SUPPORT DETAIL

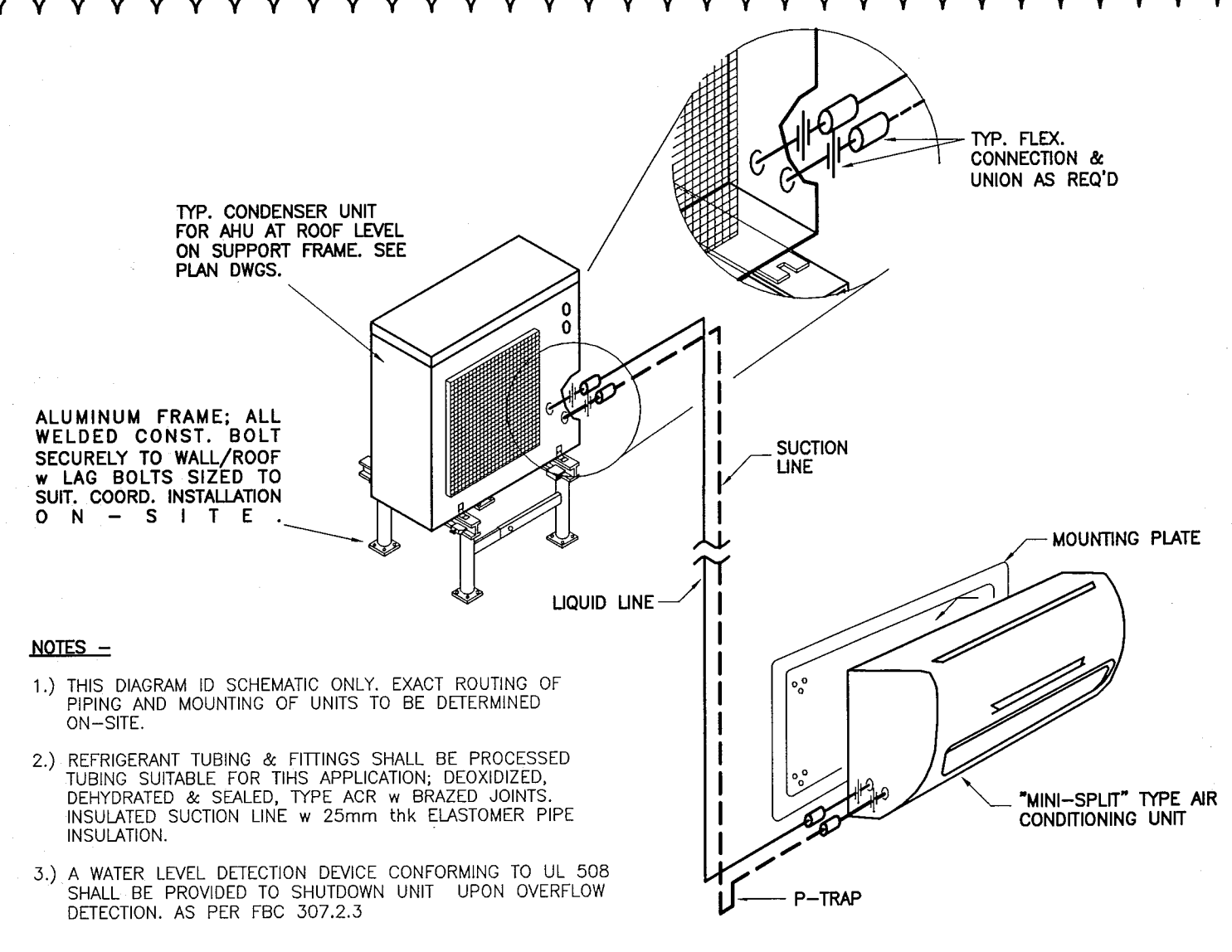
N.T.S.



## INLINE FAN DETAIL

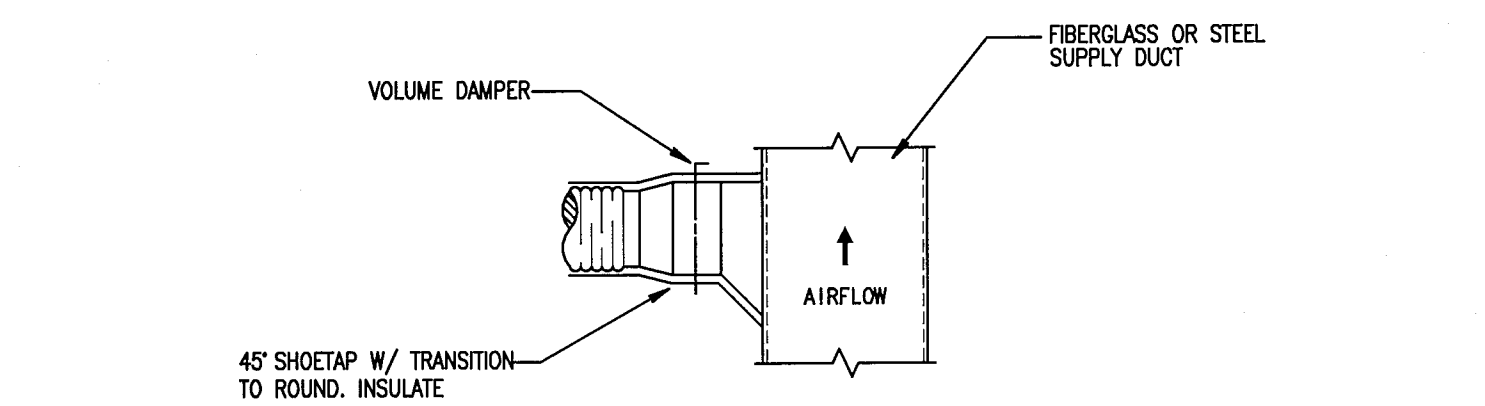
N.T.S.

ALL INLINE FANS MOUNTED ABOVE FINISHED CEILINGS SHALL BE PROVIDED WITH MOTORS MOUNTED ON THE SIDE OF THE FAN (POSITIONS 3 & 9) UNLESS NOTED OTHERWISE ON FLOOR PLANS. ACCESS PANELS SHALL BE PROVIDED IN FINISHED CEILING LARGE ENOUGH TO ACCESS FAN FOR MAINTENANCE AND REMOVAL IF REQUIRED. COORDINATE PANEL TYPE WITH ARCH/INTERIOR DESIGNER. WHENEVER POSSIBLE FAN SHALL BE MOUNTED A MAX. OF 12" ABOVE FINISHED CEILING FOR EASE OF ACCESSIBILITY.



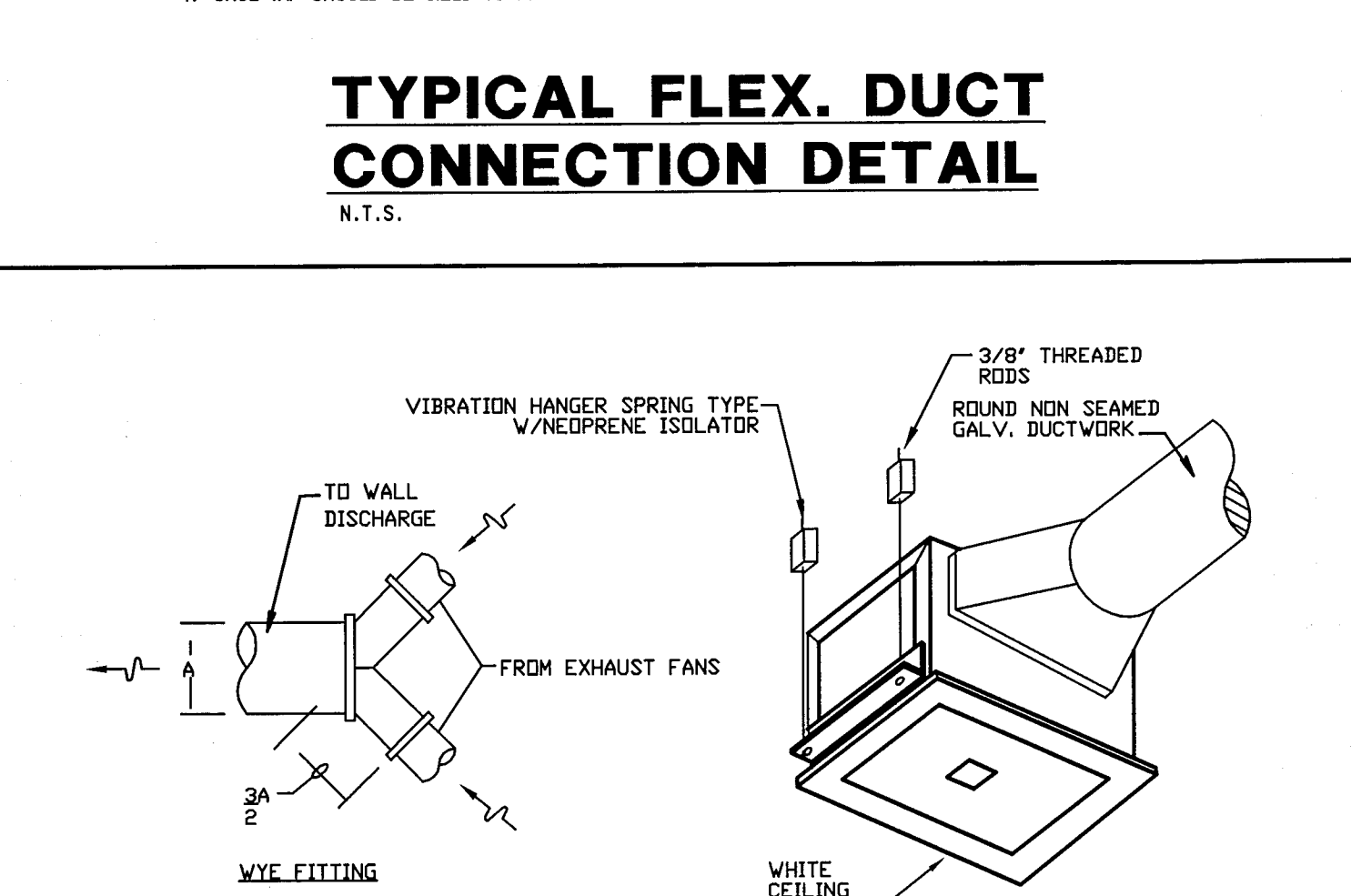
## MINI-SPLIT HANGING/SUPPORT DETAIL

N.T.S.



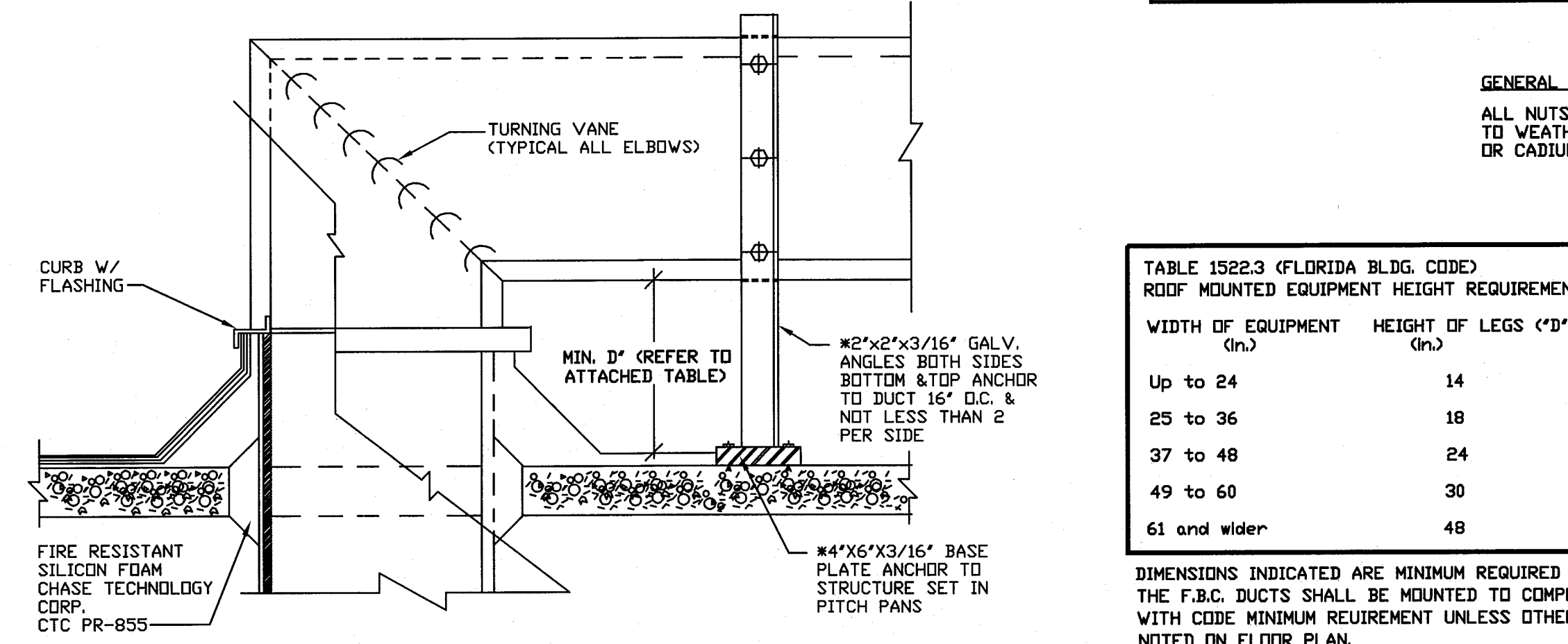
## TYPICAL FLEX. DUCT CONNECTION DETAIL

N.T.S.



## CEILING MOUNTED FAN DETAIL

N.T.S.



## ROOF MOUNTED DUCT SUPPORT & PENETRATION DETAILS

N.T.S.

VERIFY SIZES WITH STRUCTURAL ENGINEER

TABLE 1522.3 (FLORIDA BLDG. CODE) ROOF MOUNTED EQUIPMENT HEIGHT REQUIREMENTS

WIDTH OF EQUIPMENT (in.)	HEIGHT OF LEGS (ft.)
Up to 24	14
25 to 36	18
37 to 48	24
49 to 60	30
61 and wider	48

DIMENSIONS INDICATED ARE MINIMUM REQUIRED BY THE F.B.C. DUCTS SHALL BE MOUNTED TO COMPLY WITH CODE MINIMUM REQUIREMENT UNLESS OTHERWISE NOTED ON FLOOR PLAN.

GENERAL NOTE: ALL NUTS, BOLTS, AND SCREWS EXPOSED TO WEATHER SHALL BE STAINLESS STEEL OR CADMIUM PLATED.

STAIR PRESSURIZATION DUCT WORK SHALL BE GALV. SHEET METAL. PAINT DUCTWORK WITH 2 COATS OF A RUST INHIBITING PAINT, TYPE ZRC OR EQUAL.

CONDITIONED SUPPLY AIR DUCTWORK SHALL BE DOUBLE WALL INSULATED DUCT, UNITEED SHEET METAL, K-27, R-8 MINIMUM INSULATION OR EQUAL. PAINT DUCTWORK WITH 2 COATS OF A RUST INHIBITING PAINT, TYPE ZRC OR EQUAL.

HADDON HALL  
1500 COLLINS AVE  
MIAMI BEACH, FL

KEYPLAN

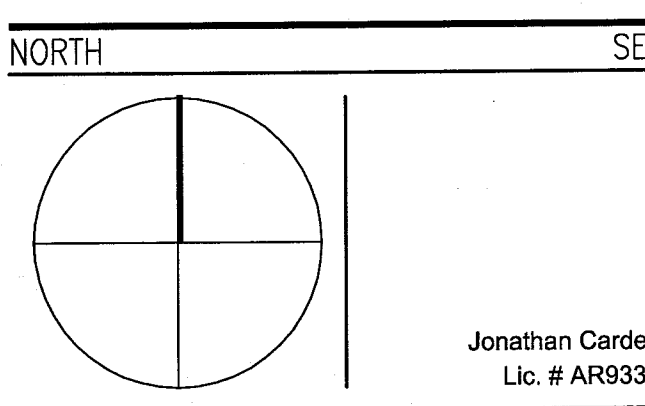
NO.	DESCRIPTION	ISSUE DATE
1	PROGRESS 100% CD SET	02-18-14
2	PERMIT REVIEW COMMENTS	03-14-14
3	COORDINATION REVISION	03-14-14
12	FIRE & MTCI COMMENTS	08-21-14

## REVISIONS

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BUILDING	REVIEWER	DATE
STRUCTURAL	INITIALS	REVIEWED
MECHANICAL		
ELECTRICAL		
PLUMBING		
SITE CIVIL		

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## ADD Inc

Architecture Interiors Planning  
One Biscayne Tower  
Suite 1670  
Two South  
Biscayne Boulevard  
Miami, FL 33131  
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F. 305.482.8770  
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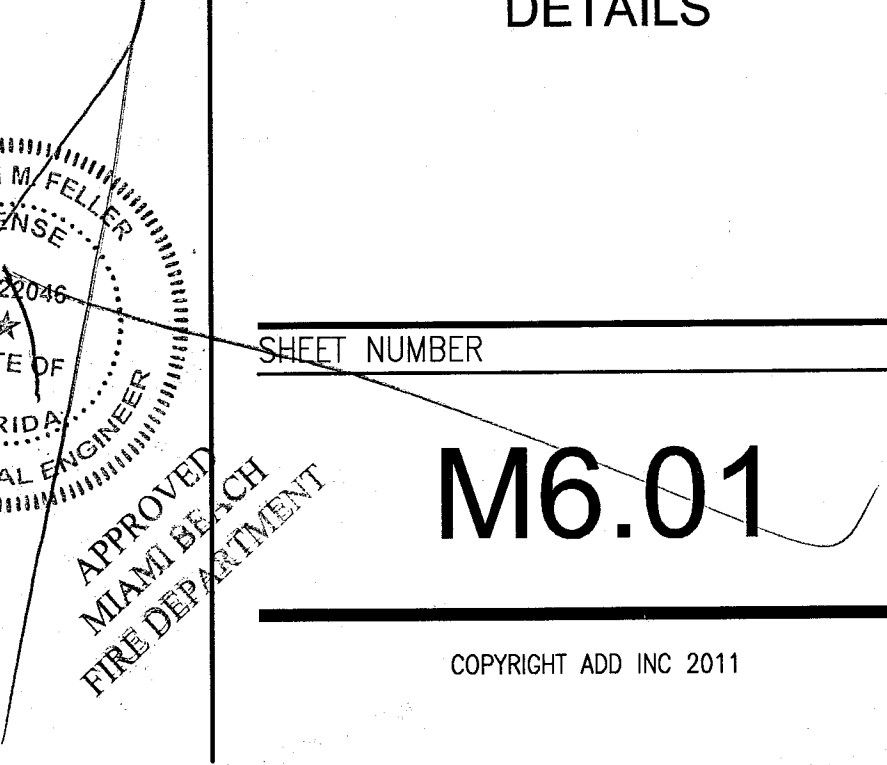
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MECHANICAL DETAILS

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FLORIDA P.E. Reg. # 22046  
Certificate of Authorization # 0003427  
300 N.E. THIRD AVENUE  
FORT LAUDERDALE, FLORIDA 33301  
PH: 954.407.1402 FAX: 954.407.5752  
e-mail: feller@fellerpe.com  
JOB # 13153





PLUMBING DRAWING INDEX	
DWG. No.	DRAWING DESCRIPTION
	FLOOR PLANS - (SCALE: 3/32"=1'-0")
P0.00	BASEMENT DEMOLITION PLUMBING FLOOR PLAN.
P0.01	GROUND FLOOR DEMOLITION PLUMBING PLAN.
P0.02	SECOND FLOOR DEMOLITION PLUMBING PLAN.
P0.03	THIRD FLOOR DEMOLITION PLUMBING PLAN.
P1.01	BASEMENT PLUMBING FLOOR PLAN.
P1.02	GROUND FLOOR PLUMBING PLAN (PIPING BELOW SLAB).
P1.02a	GROUND FLOOR PLUMBING PLAN (PIPING AT CEILING).
P1.03	SECOND FLOOR PLUMBING PLAN.
P1.04	THIRD FLOOR PLUMBING PLAN.
P1.05	PLUMBING ROOF PLAN.
	ENLARGED UNIT PLANS - (SCALE: 1/4"=1'-0")
P2.01	ENLARGED TYPICAL UNITS.
P2.02	ENLARGED TYPICAL UNITS.
P2.03	ENLARGED TYPICAL UNITS.
P2.04	ENLARGED TYPICAL UNITS.
P2.05	ENLARGED TYPICAL UNITS.
P2.06	ENLARGED 2ND FLOOR UNITS.
P2.07	ENLARGED 2ND FLOOR UNITS.
P2.08	ENLARGED 2ND & 3RD FLOOR UNITS.
P2.09	ENLARGED 2ND & 3RD FLOOR UNITS.
P2.10	ENLARGED BASEMENT FLOOR PLAN.
P2.11	ENLARGED FOOD SERVICE PLUMBING PLAN.
	ISOMETRICS & RISERS - (SCALE: N.T.S.)
P3.01	ISOMETRICS.
P3.02	ISOMETRICS.
P3.03	ISOMETRICS.
P3.04	ISOMETRICS.
	DETAILS, NOTES & SCHEDULES - (SCALE: N.T.S.)
P4.01	PLUMBING NOTES & SCHEDULES.
P4.02	PLUMBING DETAILS.

- KEY NOTES:**
- EXISTING SANITARY MANHOLE.
  - EXISTING WATER SERVICE AND METER TO REMAIN.
  - EXISTING GAS SERVICE TO REMAIN.
  - EXISTING GAS METER BANK TO REMAIN.
  - EXISTING GAS WATER HEATER TO BE RELOCATED.
  - EXISTING GAS WATER HEATERS FOR HADDON HALL TO BE RELOCATED.
  - EXISTING GAS PIPE TO WATER HEATER TO REMAIN. REMOVE AND CAP BACK TO MAIN UNUSED PORTION OF EXISTING GAS PIPE NO LONGER NEEDED.
  - EXISTING COLD WATER PIPE TO WATER HEATER TO REMAIN. REMOVE AND CAP BACK TO MAIN UNUSED PORTION OF EXISTING WATER PIPE NO LONGER NEEDED.
  - EXISTING SANITARY LIFT STATION TO BE REMOVED AND SLAB PATCH TO MATCH EXISTING.

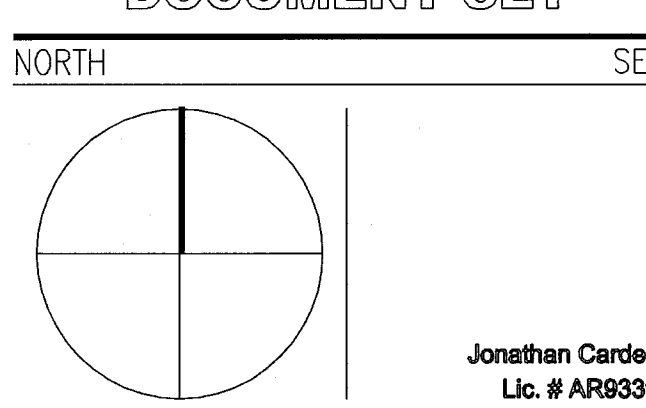
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MIAMI BEACH, FL

KEYPLAN N.T.S.

REVISIONS		
NO.	DESCRIPTION	ISSUE DATE
1	PROGRESS TO 100% CD SET	02/07/2014
2		
3	COORDINATION REVISION	03/25/14

REVIEWER INITIALS		
BUILDING	REVIEWER INITIALS	DATE REVIEWED
STRUCTURAL		
M/CANICAL		
ELECTRICAL		
PLUMBING		
SITE CIVIL		

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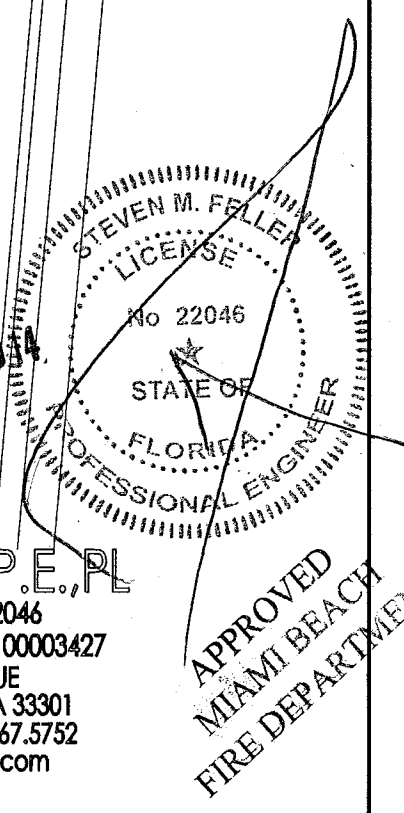
BASEMENT DEMOLITION PLAN

SHEET NUMBER

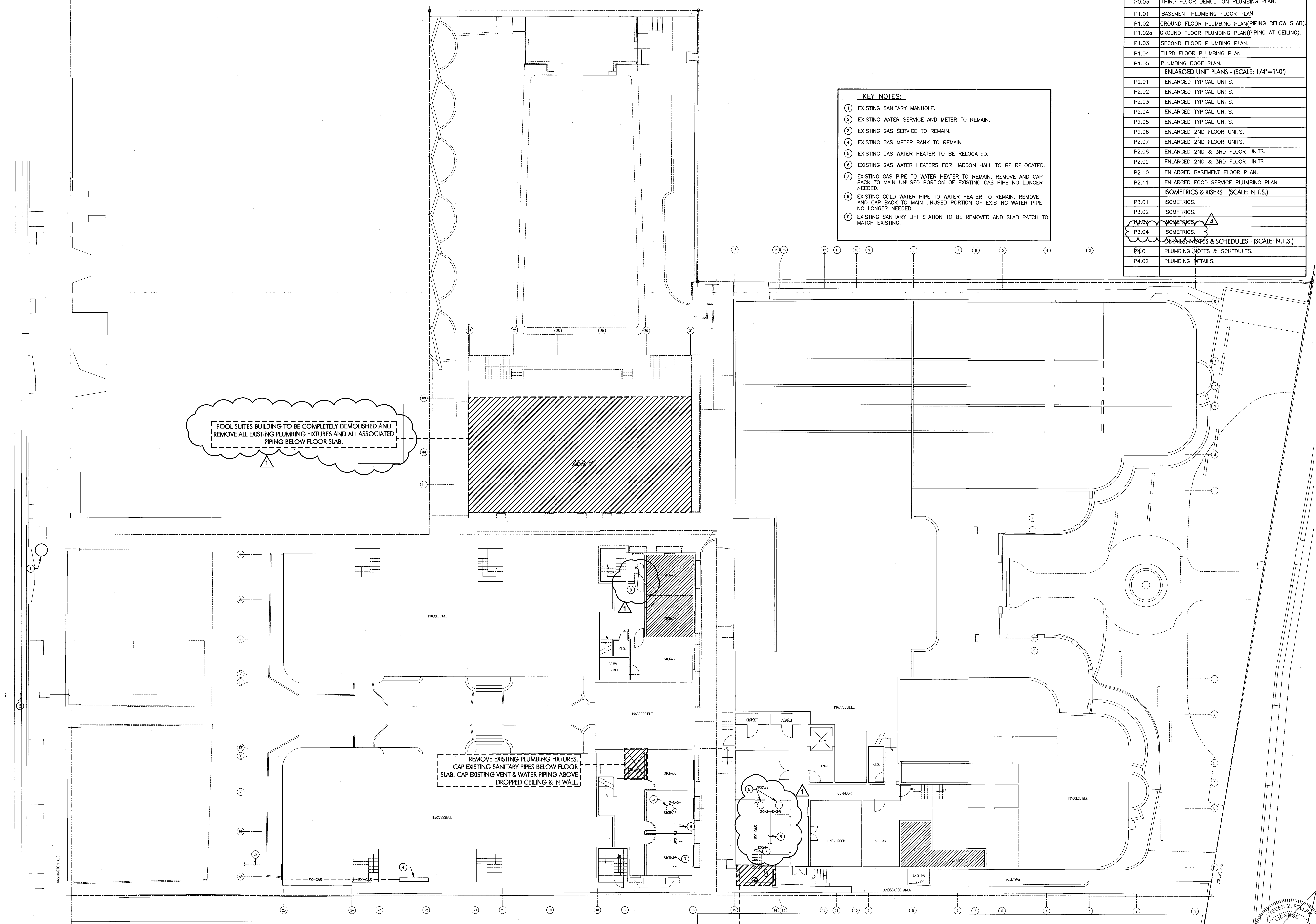
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FLORIDA P.E. Reg. # 22046  
Certificate of Authorization # 0003427  
500 N.E. THIRD AVENUE  
FORT LAUDERDALE, FLORIDA 33301  
PH: 954.447.1402 FAX: 954.447.5752  
e-mail: fellerpe@fellerpe.com  
JOB # 13153



BASEMENT DEMOLITION PLUMBING FLOOR PLAN  
SCALE: 3/32"=1'-0"

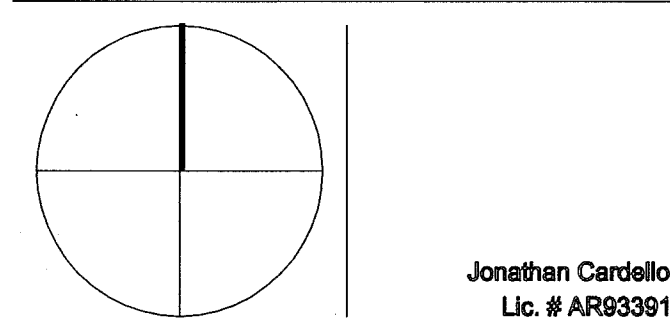




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Suite 1670  
Two South  
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ISSUE DATE: MARCH 14, 2014

SCALE: AS NOTED

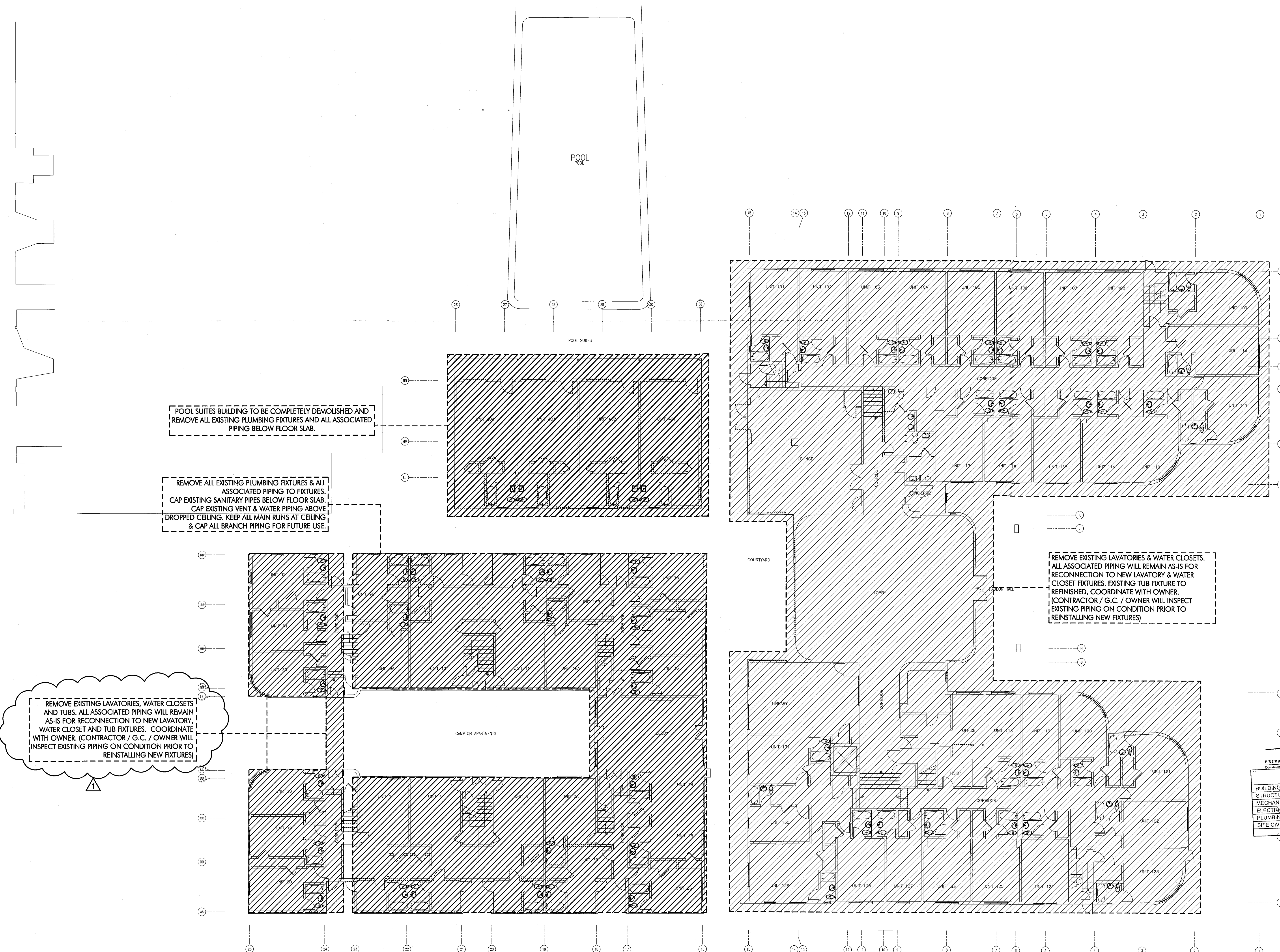
SHEET TITLE

GROUND FLOOR  
DEMOLITION PLAN

SHEET NUMBER

P0.01

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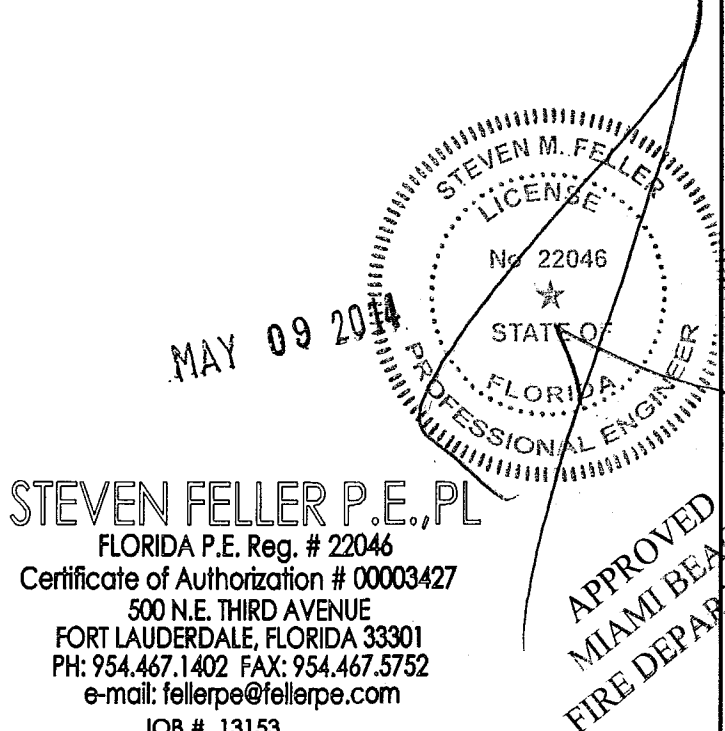
POOL SUITES BUILDING TO BE COMPLETELY DEMOLISHED AND REMOVE ALL EXISTING PLUMBING FIXTURES AND ALL ASSOCIATED PIPING BELOW FLOOR SLAB.

REMOVE ALL EXISTING PLUMBING FIXTURES & ALL ASSOCIATED PIPING TO FIXTURES. CAP EXISTING SANITARY PIPES BELOW FLOOR SLAB. CAP EXISTING VENT & WATER PIPING ABOVE DROPPED CEILING. KEEP ALL MAIN RUNS AT CEILING & CAP ALL BRANCH PIPING FOR FUTURE USE.

REMOVE EXISTING LAVATORIES, WATER CLOSETS AND TUBS. ALL ASSOCIATED PIPING WILL REMAIN AS-IS FOR RECONNECTION TO NEW LAVATORY, WATER CLOSET AND TUB FIXTURES. COORDINATE WITH OWNER. (CONTRACTOR / G.C. / OWNER WILL INSPECT EXISTING PIPING ON CONDITION PRIOR TO REINSTALLING NEW FIXTURES)

REMOVE EXISTING LAVATORIES & WATER CLOSETS. ALL ASSOCIATED PIPING WILL REMAIN AS-IS FOR RECONNECTION TO NEW LAVATORY & WATER CLOSET FIXTURES. EXISTING TUB FIXTURE TO BE REFINISHED. COORDINATE WITH OWNER. (CONTRACTOR / G.C. / OWNER WILL INSPECT EXISTING PIPING ON CONDITION PRIOR TO REINSTALLING NEW FIXTURES)

REVIEWER		
DATE	INITIALS	REVIEWED



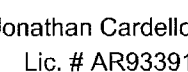
GROUND FLOOR DEMOLITION PLUMBING PLAN  
SCALE: 3/32"=1'-0"

STEVEN FELLER P.E., PL  
FLORIDA P.E. Reg. # 22045  
Certificate of Authorization # 00003427  
500 N.E. THIRD AVENUE  
FORT LAUDERDALE, FLORIDA 33301  
PH: 754.407.1402 FAX: 754.407.5752  
e-mail: fellerpe@fellerpe.com  
JOB # 13153



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**ADD Inc** Architecture Interiors Planning

One Biscayne Tower  
Suite 1670  
Two South  
Biscayne Boulevard  
Miami, FL 33131  
T. 305.482.8700  
F. 305.482.8770  
[www.addinc.com](http://www.addinc.com)  
Lic. # AA26001507

JOB NUMBER: 13036.0

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ISSUE DATE: JANUARY 24, 201

SCALE: AS NOTE

SHEET TITLE \_\_\_\_\_

## SECOND FLOOR DEMOLITION PLAN

SHEET NUMBER \_\_\_\_\_

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SCALE:  $3/32"=1'-0"$

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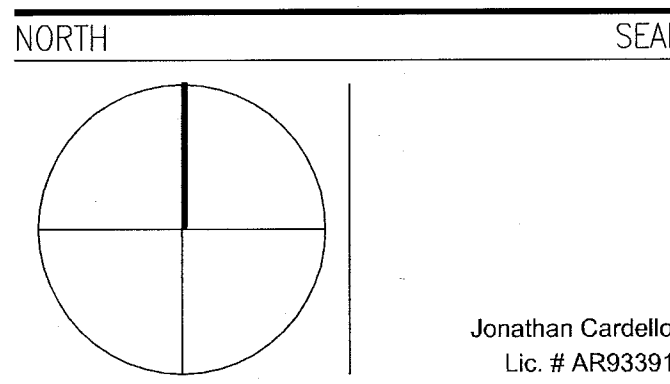
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JOB # 13153



KEYPLAN N.T.S.

REVISIONS		
NO.	DESCRIPTION	ISSUE DATE

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**ADD Inc** Architecture Interiors Planning

One Biscayne Tower  
Suite 1670  
Two South  
Biscayne Boulevard  
Miami, FL 33131  
T. 305.482.8700  
F. 305.482.8770  
www.addinc.com  
Lic. # AA26001507

JOB NUMBER: 13036.00

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ISSUE DATE: JANUARY 24, 2014

SCALE: AS NOTED

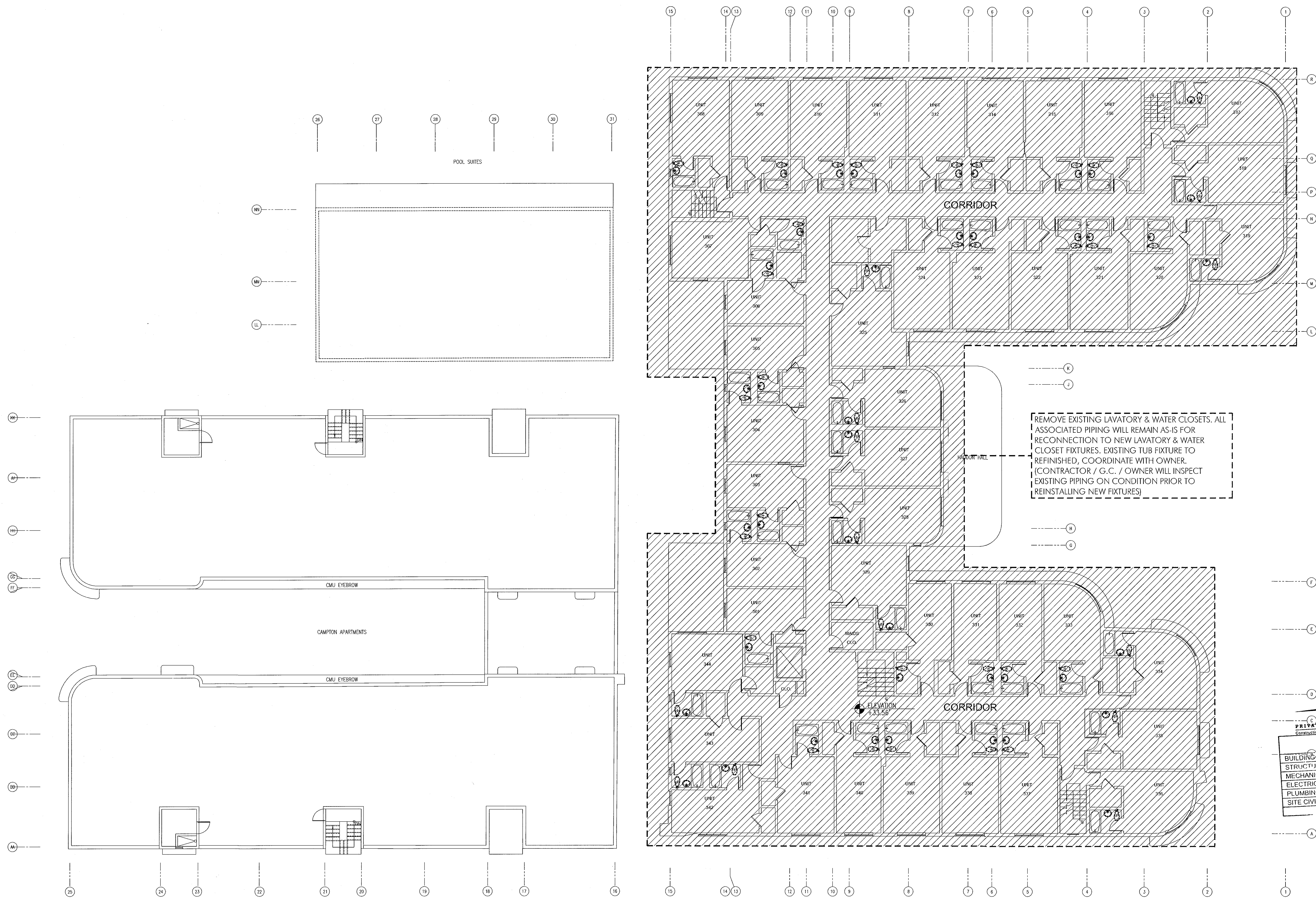
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THIRD FLOOR  
DEMOLITION PLAN

SHEET NUMBER

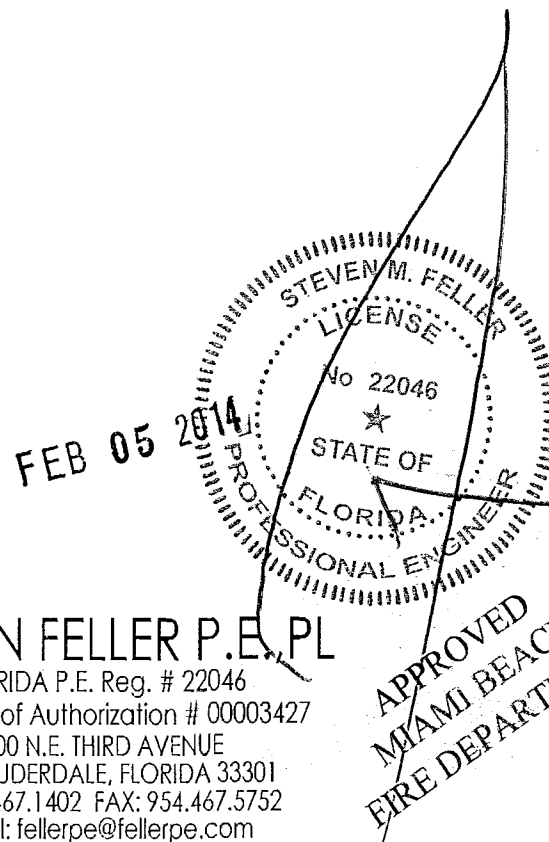
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THIRD FLOOR DEMOLITION PLUMBING PLAN  
SCALE: 3/32"=1'-0"

STEVEN FELLER P.E., P.L.  
FLORIDA P.E. Reg. # 22046  
Certificate of Authorization # 00003427  
300 N.E. THIRD AVENUE  
FORT LAUDERDALE, FLORIDA 33301  
PH: 354.467.1402 FAX: 354.467.5732  
e-mail: fellerpe@fellerpe.com  
JOB # 13153















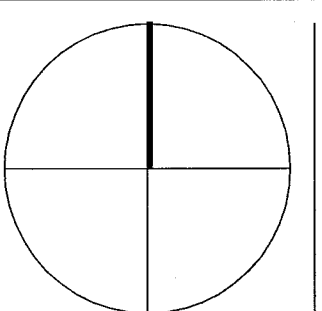


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Nathan Cardello  
Lic. # AR93391

**ADD Inc** | Architecture Interiors Planning

One Biscayne Tower  
Suite 1670  
Two South  
Biscayne Boulevard  
Miami, FL 33131  
T. 305.482.8700  
F. 305.482.8770  
www.addinc.com  
Lic. # AA26001507

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SHEET TITLE

## SECOND FLOOR LUMBING PLAN

SHEET NUMBER

P1.03

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## SECOND FLOOR PLUMBING PLAN

SCALE: 3/32"=1'-0"

KEY NOTES:

- ① EXISTING TUB TO BE REFURNISHED, WITH NEW DRAIN, SHOWER VALVES AND HEAD. TYPICAL UNLESS OTHERWISE NOTED.
- ② EXISTING TUB TO BE REMOVED AND REPLACED WITH NEW LAVATORY, WITH NEW FAUCET, SUPPLY PIPES, P-TRAP AND ANGLE STOPS. TYPICAL UNLESS OTHERWISE NOTED.
- ③ EXISTING WATER CLOSET TO BE REMOVED AND REPLACED WITH NEW, WITH NEW SUPPLY PIPES, P-TRAP AND ANGLE STOP. TYPICAL UNLESS OTHERWISE NOTED.
- ④ NEW BAR AND BATHROOMS, PROVIDE NEW FIXTURES WITH NEW SANITARY, VENT, HOT AND COLD WATER PIPING SYSTEMS.
- ⑤ NEW KITCHEN BATHROOM, PROVIDE NEW FIXTURES WITH NEW SANITARY, VENT, HOT AND COLD WATER PIPING SYSTEMS. (CONNECT TO EXISTING SYSTEMS)
- ⑥ NEW TANKLESS GAS WATER HEATER.

FEB 05 2014

**STEVEN FELLER P.E., P.L.**  
FLORIDA P.E. Reg. # 22046  
Certificate of Authorization # 00003427  
500 N.E. THIRD AVENUE  
FORT LAUDERDALE, FLORIDA 33301  
PH: 954.467.1402 FAX: 954.467.5752  
e-mail: fellerpe@fellerpe.com  
JOB # 13153

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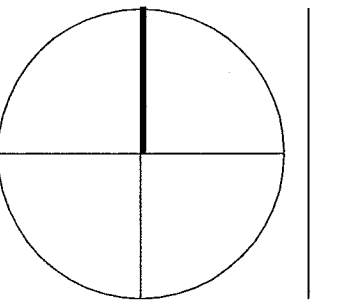
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Nathan Cardello  
Lic. # AR93391

**ADD Inc** | Architecture Interiors Planning

One Biscayne Tower  
Suite 1670  
Two South  
Biscayne Boulevard  
Miami, FL 33131  
T. 305.482.8700  
F. 305.482.8770  
[www.addinc.com](http://www.addinc.com)  
Lic. # AA26001507

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DOB NUMBER:	13036.00
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SUE DATE: JANUARY 24, 2014

SHEET TITLE \_\_\_\_\_

### THIRD FLOOR PLUMBING PLAN

SHEET NUMBER \_\_\_\_\_

~~P1.04~~

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KEY NOTES:

- 1 EXISTING TUB TO BE REFURNISHED, WITH NEW DRAIN, SHOWER VALVES AND HEAD. TYPICAL UNLESS OTHERWISE NOTED.
- 2 EXISTING LAVATORY TO BE REMOVED AND REPLACED WITH NEW LAVATORY, WITH NEW FAUCET, PIPE, SHOWER AND ANGLE STOPS, TYPICAL UNLESS OTHERWISE NOTED.
- 3 EXISTING WATER CLOSET TO BE REMOVED AND REPLACED WITH NEW, WITH NEW SUPPLY PIPE, ANGLE STOP AND WAX RING. TYPICAL UNLESS OTHERWISE NOTED.
- 4 NEW UNITS BATHROOM, PROVIDE NEW FIXTURES WITH NEW SANITARY , VENT, HOT AND COLD WATER PIPING SYSTEMS.
- 5 NEW TANKLESS WATER HEATER.

SCALE:  $3/32"=1'-0"$

PRIVATE PROVIDER		
Corruption Plans Review, Inspection, Testing & Consulting		
	REVIEWER INITIALS	DATE REVIEWED
BUILDING		
STRUCTURAL		
MECHANICAL		
ELECTRICAL		
PLUMBING	Dg	11/10/14
SITE CIVIL		

FEB 05 2014

**STEVEN FELLER P.E., PL**  
FLORIDA P.E. Reg. # 22046  
Certificate of Authorization # 00003427  
500 N.E. THIRD AVENUE  
FORT LAUDERDALE, FLORIDA 33301  
PH: 954.467.1402 FAX: 954.467.5752  
e-mail: fellerpe@fellerpe.com  
JOB # 13153

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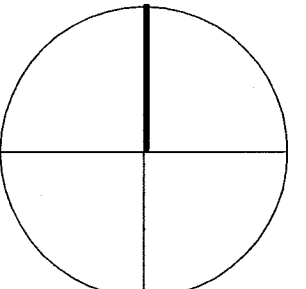
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NORTH



nathan Cardello  
Lic. # AP93391

**ADD Inc** Architecture Interiors Planning

One Biscayne Tower  
Suite 1670  
Two South  
Biscayne Boulevard  
Miami, FL 33131  
T. 305.482.8700  
F. 305.482.8770  
[www.addinc.com](http://www.addinc.com)  
Lic. # AA26001507

Boston Miami

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ISSUE DATE: JANUARY 24, 2014

SCALE: \_\_\_\_\_ AS NOTED

SHEET TITLE \_\_\_\_\_

## PLUMBING ROOF PLAN

SHEET NUMBER \_\_\_\_\_

~~P1.05~~

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## KEY NOTES

- ① NEW ROOF DECK AND SINK, PROVIDE DECK DRAINS FOR DECK, HOSE BIB, NEW SINK AND SANITARY, VENT, HOT AND COLD WATER PIPING SYSTEMS.
- ② NEW ROOF DECK, PROVIDE NEW DECK DRAINS AND HOSE BIB.
- ③ 2" SANITARY PIPE DOWN FROM NEW SINK. CONNECT TO EXISTING SANITARY SYSTEM.

## PLUMBING ROOF PLAN

SCALE:  $3/32"=1'-0"$

**STEVEN FELLER P.E., PL**  
FLORIDA P.E. Reg. # 22046  
Certificate of Authorization # 00003427  
500 N.E. THIRD AVENUE  
FORT LAUDERDALE, FLORIDA 33301  
PH: 954.467.1402 FAX: 954.467.5752  
e-mail: fellerpe@fellerpe.com  
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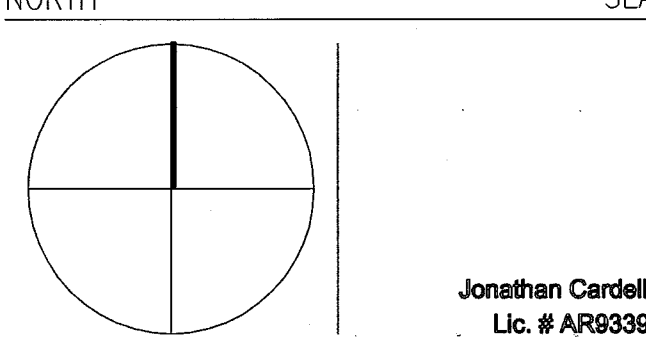


- KEY NOTES:**
- 1 NEW GAS PIPE WITH SHUT OFF VALVE AND REGULATOR CONNECT TO EXISTING GAS SYSTEM.
  - 2 NEW 2" COLD WATER PIPE CONNECT TO EXISTING COLD WATER SYSTEM.
  - 3 NEW 1/2" HOT AND COLD WATER PIPES CONNECT TO EXISTING HOT AND COLD WATER SYSTEM AT FLOOR ABOVE.
  - 4 (2) DISCHARGE PIPES ON WALL, CONNECT INTO ONE AND TIE TO EXISTING SANITARY SYSTEM AT CEILING.
  - 5 NEW SANITARY LIFT STATION.
  - 6 1" DISCHARGE PIPE UP TO SANITARY SYSTEM AT CEILING.
  - 7 NEW LOCATION OF EXISTING HADDON HALL WATER HEATERS.
  - 8 NEW HOT WATER PIPE FROM HADDON HALL WATER HEATERS RECONNECT TO EXISTING HOT WATER SYSTEM.
  - 9 NEW LOCATION OF EXISTING GAS WATER HEATER.
  - 10 NEW GAS WATER HEATER FOR NEW KITCHEN AT FLOOR ABOVE.
  - 11 NEW HOT WATER PIPE FROM EXISTING WATER HEATER RECONNECT TO EXISTING HOT WATER SYSTEM.
  - 12 NEW HOT AND COLD WATER PIPES UP TO NEW KITCHEN ABOVE.
  - 13 WATER HEATER FLUES UP AND TERMINATE OUTSIDE AT EXTERIOR WALL.
  - 14 SCHEIR GREASE TRAP # GB-20 WITH AIR TIGHT MANHOLE AND ADAPTER
  - 15 SANIFLOW, SANIBEST PRO WITH ELONGATED REAR DISCHARGE, ADA WATER CLOSET WITH PUMPING SYSTEM.

REVISIONS		
NO.	DESCRIPTION	ISSUE DATE
1	PROGRESS TO 100% CD SET	02/07/2014

100% CONSTRUCTION  
DOCUMENT SET

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ADD Inc Architecture Interiors Planning

One Biscayne Tower  
Suite 1670  
Two South  
Biscayne Boulevard  
Miami, FL 33131  
T. 305.482.8700  
F. 305.482.8770  
www.addinc.com  
Lic. # AA2601507

Boston Miami

JOB NUMBER: 13036.00

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ISSUE DATE: MARCH 14, 2014

SCALE: AS NOTED

SHEET TITLE

BASEMENT  
PLUMBING PLAN

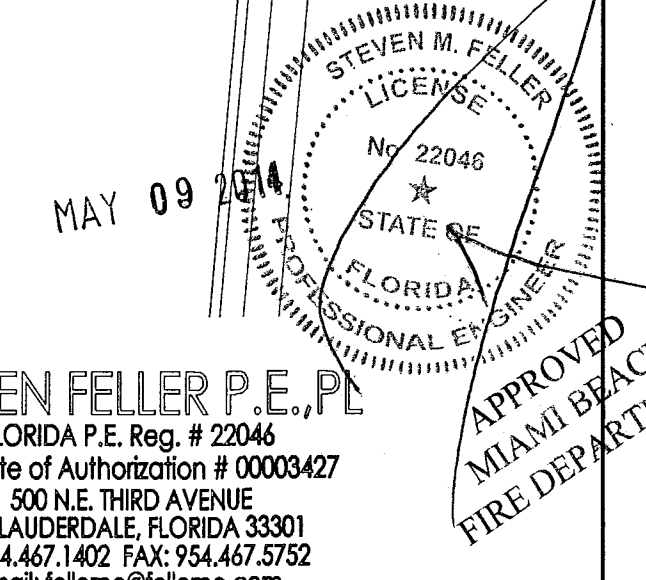
SHEET NUMBER

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BASEMENT PLUMBING FLOOR PLAN  
SCALE: 3/32"=1'-0"

STEVEN FELLER P.E., P.  
FLORIDA P.E. Reg. # 22045  
Certificate of Authorization # 00003427  
500 N.E. THIRD AVENUE  
FORT LAUDERDALE, FLORIDA 33301  
PH: 954.467.1402 FAX: 954.467.5752  
e-mail: fellerpe@fellerpe.com  
JOB # 13153



APPROVED  
MIAMI BEACH  
FIRE DEPARTMENT



HADDON HALL  
1500 COLLINS AVE  
MIAMI BEACH, FL

KEYPLAN N.T.S.

KEY NOTES:

- EXISTING TUB TO BE REFURNISHED, WITH NEW DRAIN, SHOWER VALVES AND HEAD. TYPICAL UNLESS OTHERWISE NOTED.
- EXISTING LAVATORY TO BE REMOVED AND REPLACED WITH NEW LAVATORY, WITH NEW FAUCET, SUPPLY PIPES, P-TRAP AND ANGLE STOPS. TYPICAL UNLESS OTHERWISE NOTED.
- EXISTING WATER CLOSET TO BE REMOVED AND REPLACED WITH NEW, WITH NEW SUPPLY PIPE, ANGLE STOP AND WAX RING. TYPICAL UNLESS OTHERWISE NOTED.
- NEW BAR AREA, PROVIDE NEW FIXTURES WITH NEW SANITARY, VENT, HOT AND COLD WATER PIPING SYSTEMS. (CONNECT TO EXISTING SYSTEMS)
- NEW UNITS BATHROOM, PROVIDE NEW FIXTURES WITH NEW SANITARY, VENT, HOT AND COLD WATER PIPING SYSTEMS. (CONNECT TO EXISTING SYSTEMS)
- NEW UNITS BATHROOMS AND PROVIDE NEW FIXTURES WITH NEW SANITARY, VENT, HOT AND COLD WATER PIPING SYSTEMS. (CONNECT TO EXISTING SYSTEMS)
- NEW SEATING AREA AND JUICE BAR, PROVIDE DECK DRAINS AND HOSE BIB IN SEATING AREA AND SANITARY, VENT, HOT AND COLD WATER PIPING SYSTEM IN JUICE BAR AREA.
- NEW KITCHEN AREA, PROVIDE SANITARY, GREASE, HOT AND COLD WATER PIPING SYSTEM AND 1,250 GALLON GREASE TRAP.
- 4" SANITARY PIPE FOR NEW BAR. REFER TO SHEET P2.10 FOR CONTINUATION.
- REFER TO SHEET P2.11 FOR CONTINUATION.
- NEW GAS PIPE CONNECT TO EXISTING METER.
- ELEVATOR SUMP PIT W/PUMP.
- NEW GAS PIPE SLEEVE THROUGH WALL AND TURN UP.
- 4" GREASE WASTE PIPE FROM NEW KITCHEN.
- 1,250 GALLON GREASE TRAP.
- 3" CONDENSATE PIPE @ 1/8" / FT CONNECT TO STORMDRAIN SYSTEM. REFER TO CIVIL DWGS FOR CONTINUATION.
- 4" SANITARY PIPE @ 1/8" / FT CONNECT TO SANITARY SYSTEM. REFER TO CIVIL DWGS FOR CONTINUATION.
- 6" STORMDRAIN PIPE @ 1/8" / FT CONNECT TO STORMDRAIN SYSTEM. REFER TO CIVIL DWGS FOR CONTINUATION.
- NEW GAS PIPE RUNS BELOW GRADE WITH NO JOINT IN SLEEVE.
- NEW WATER PIPE RUNS BELOW GRADE WITH NO JOINT IN SLEEVE.
- NEW 2" CONDENSATE RISER.
- CONNECT NEW 3" SANITARY PIPE TO EXISTING SANITARY SYSTEM.
- NEW GAS RISER UP FOR TANKLESS GAS WATER HEATERS.
- NEW GAS AND COLD WATER RISERS.
- NEW COLD WATER PIPE UP.
- NEW GAS, 120" HWR, 120" HOT, 140" HOT AND COLD WATER PIPES UP. REFER TO SHEET P2.11 FOR CONTINUATION.
- 3" FIRE SPRINKLER DRAIN RISER.
- FROM 3" FIRE SPRINKLER DRAIN PIPE AT BASEMENT LEVEL. REFER TO SHEET P2.10 FOR CONTINUATION.
- 3/4" HOSE BIBB WITH SHUT OFF VALVE AND VACUUM BREAKER.
- REFER TO CIVIL DWGS FOR POOL SHOWER DRAINAGE.

REVISIONS		
NO.	DESCRIPTION	ISSUE DATE
1	PROGRESS TO 100% CD SET	02/07/2014
2	DERM COMMENTS	04-23-14
3	KITCHEN RELOCATION	05-30-14
4	FIRE DEP'T. COMM.	09-29-14

MTCI PRIVATE PROVIDER SERVICES, LLC Construction Plans, Specifications, Surveying & Engineering		
BUILDING	REVIEWER INITIALS	DATE REVIEWED
STRUCTURAL		
MECHANICAL		
ELECTRICAL		
PLUMBING		
SITE CIVIL		

100% CONSTRUCTION DOCUMENT SET

NORTH SEAL

Jonathan Cardello  
Lic. # AR93391

ADD Inc Architecture Interiors Planning

One Biscayne Tower  
Suite 1670  
Two South  
Biscayne Boulevard  
Miami, FL 33131  
T. 305.482.8700  
F. 305.482.8770  
www.addinc.com  
Lic. # AA26001507 Boston Miami

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ISSUE DATE: MARCH 14, 2014  
SCALE: AS NOTED

SHEET TITLE

GROUND FLOOR  
PLUMBING PLAN  
(PIPE BELOW SLAB)

SHEET NUMBER

P1.02

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GROUND FLOOR PLUMBING PLAN

SCALE: 3/32"=1'-0"

STEVEN FELLER P.E.  
FLORIDA P.E. Reg. # 22046  
Certificate of Authorization # 00003427  
300 N.E. THIRD AVENUE  
FORT LAUDERDALE, FLORIDA 33301  
PH: 954.467.1402 FAX: 954.467.5752  
e-mail: fellerpe@fellerpe.com  
JOB # 13153

SEP 29 2014  
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FIRE DEPARTMENT