

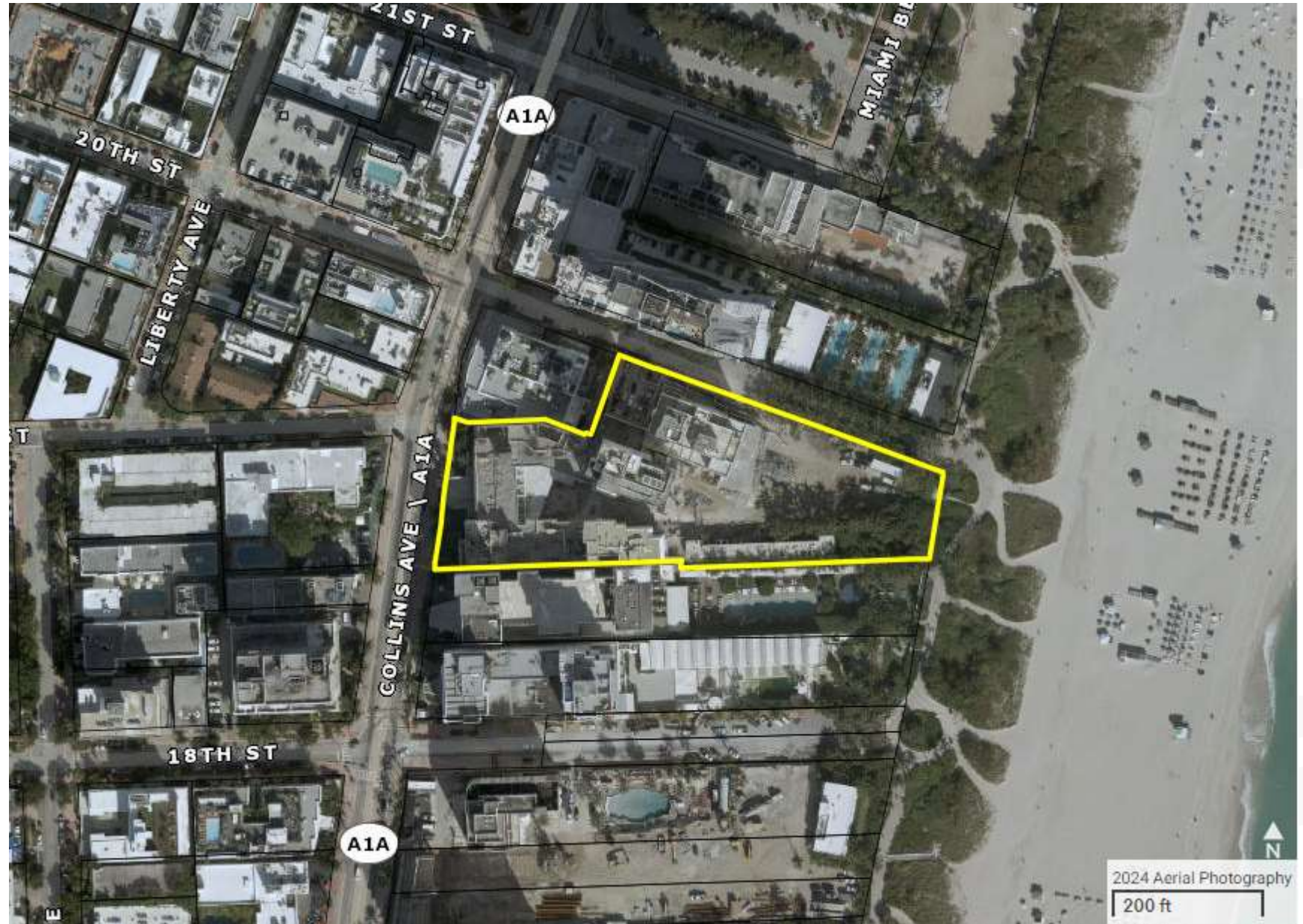
# PB24-0705 – 1901 Collins Avenue The Shore Club Hotel & Residences

September 24, 2024 Planning Board Meeting



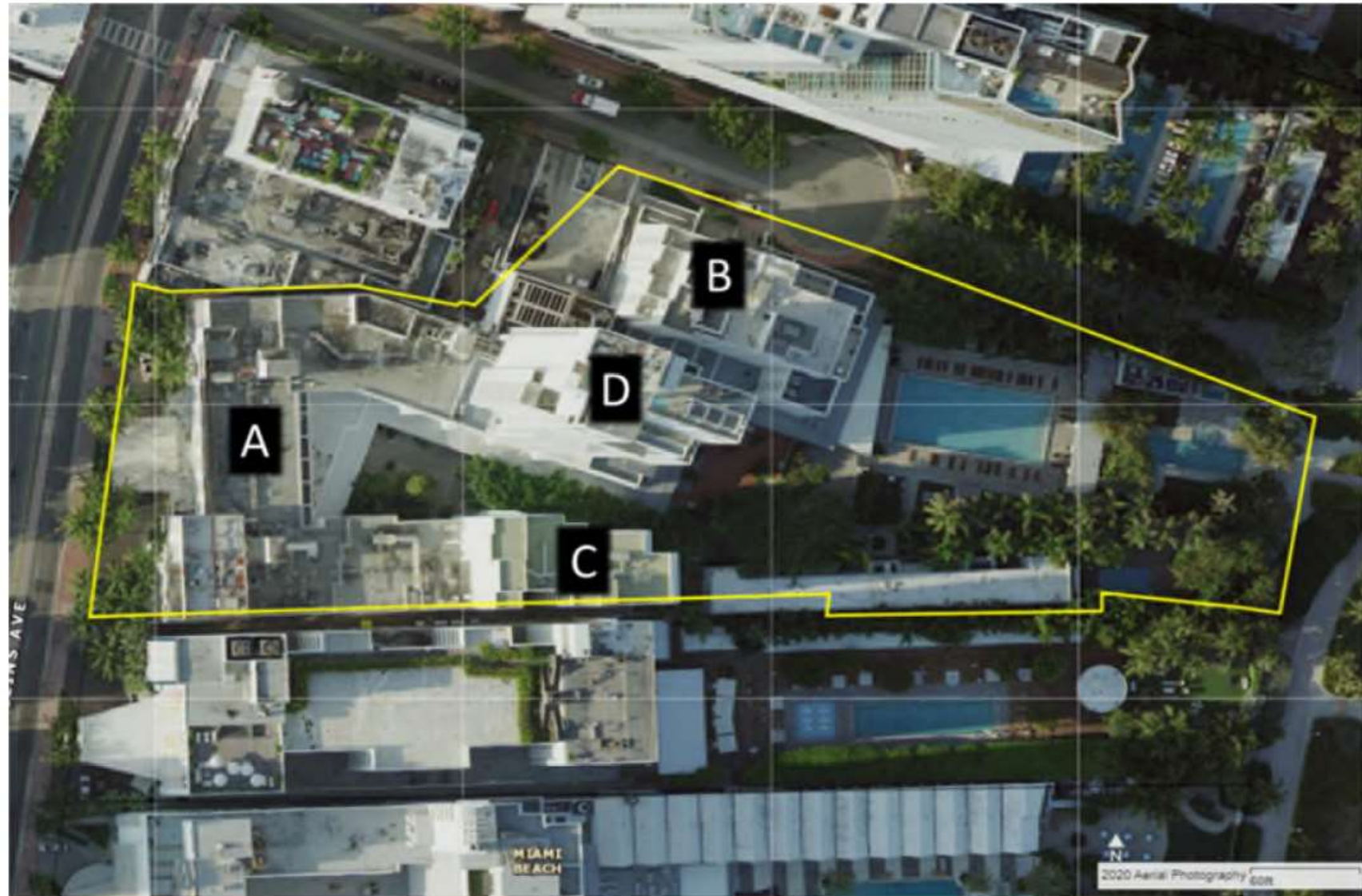


# Context





# Property





# Approved Project

80 residential units

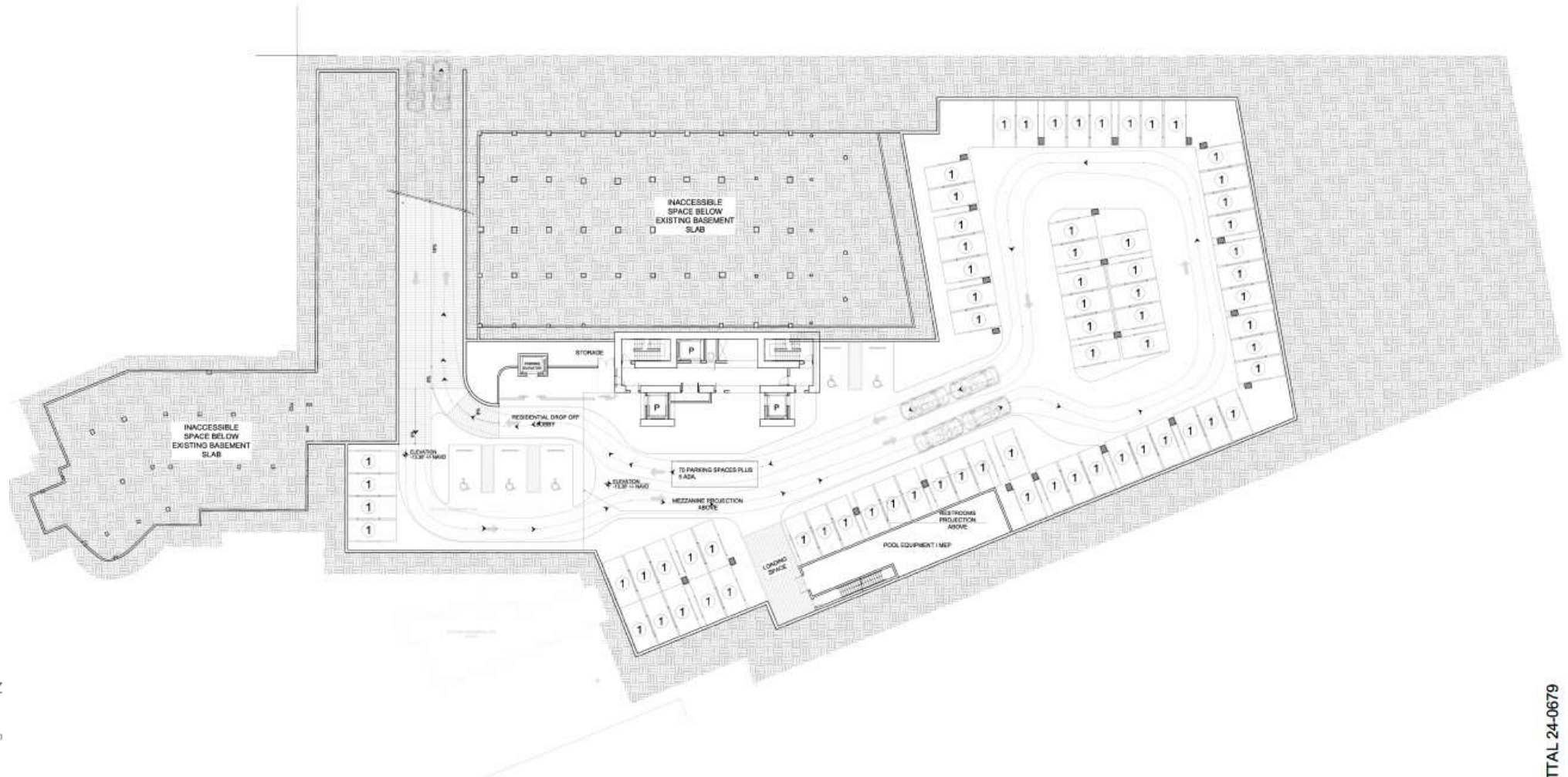
110 hotel keys



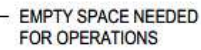




# Original Parking Layout

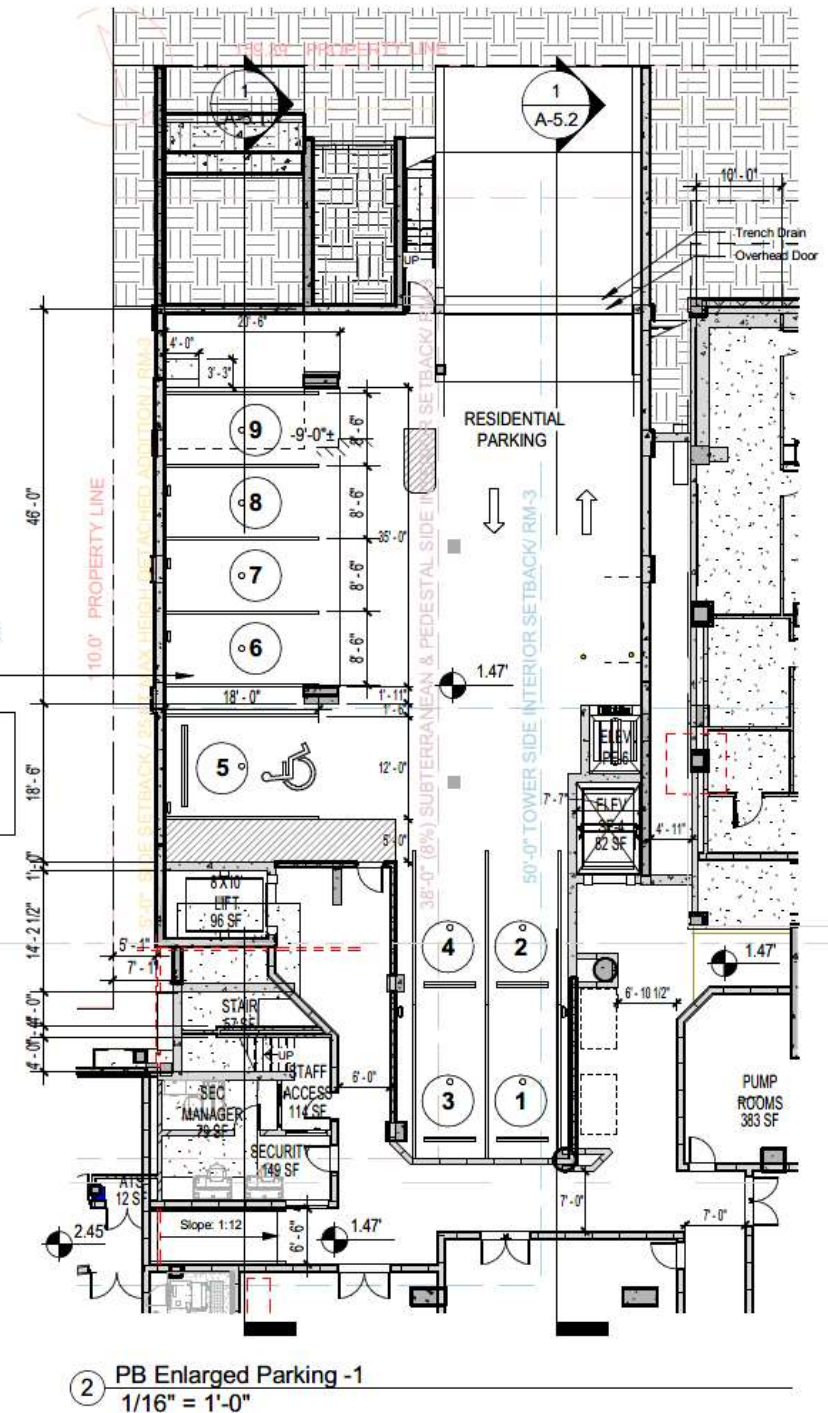


- 12 total parking spaces
  - 8 mechanical
  - 4 tandem



— PROPOSED LOCATION  
FOR AUTOMATED PUZZLE  
PARKING SYSTEM

7 MECHANICAL SPACES  
4 TANDEM  
1 ADA  
**TOTAL+ 12 SPACES**





① HPB 3D Service Building Section

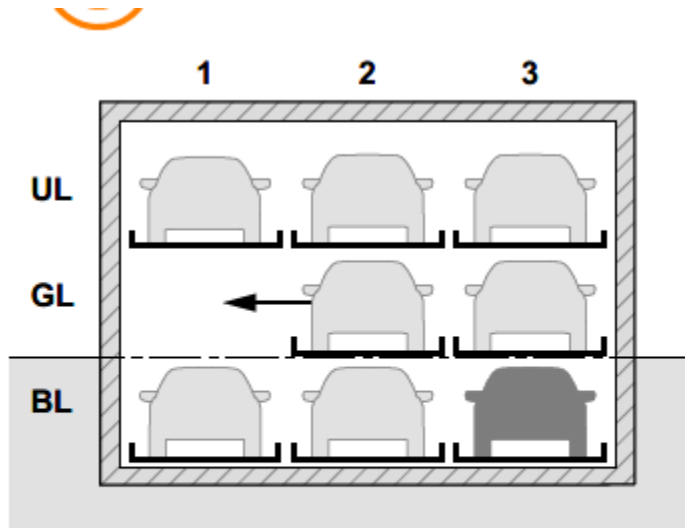
NEW PIT FOR  
AUTOMATED PARKING  
SYSTEM



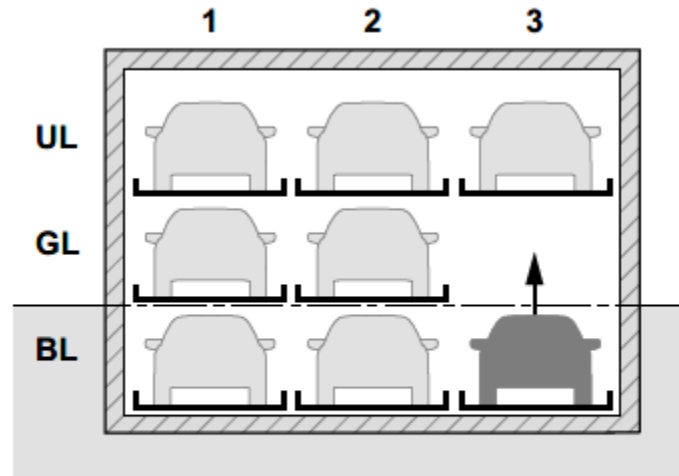
② PB 3D Service Building Volume 2



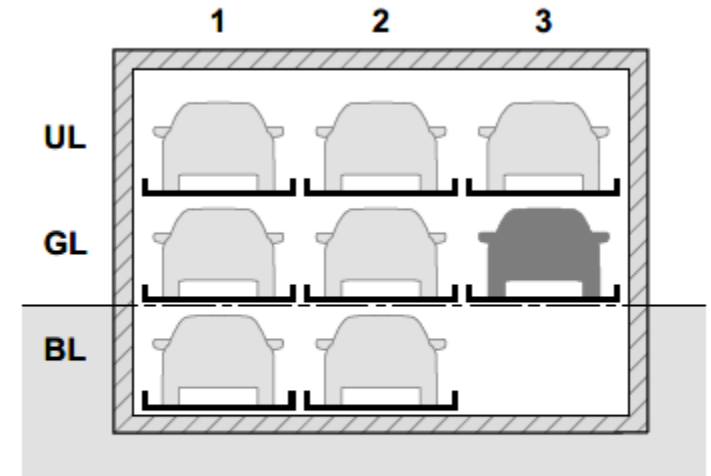
# Proposed “Puzzle” Parking System



To remove the vehicle from the space in **grid 3/BL**, the GL platforms are moved to the left.



The empty space is now located above the vehicle being removed. The parking space in **grid 3/BL** is raised.



The vehicle in the space in **grid 3/BL** can now be removed.



trendvario 6300



# On-Site Parking & Loading





# On-Site Parking & Loading





# Off-Site Parking



# Modified Conditions of Approval

**3.A.** ~~Deliveries and waste collection may only occur between 9:00 AM and 4:00 PM~~



# Modified Conditions of Approval

## From:

**10.b.** The applicant shall maintain one (1) dedicated parking space on the parking floor level of the project as permanently open and unoccupied, to function as temporary storage and staging for valet operations, and to prevent vehicles from entering City right-of-way to accommodate on-site maneuverability restrictions.

## To:

**10.b.** The applicant shall prevent vehicles from entering City right-of-way to accommodate on-site maneuverability restrictions.

# Modified Conditions of Approval

## From:

**10.c.** A loading dockmaster shall be provided, to oversee movements into and out of the loading dock and to ensure vehicular conflicts along 20th Street are limited. The dockmaster shall also manage pedestrians crossing the loading driveway during loading operations, as needed, and work to minimize the daily impact of loading and trash removal and other required trips to fulfill the operational needs of the hotel and condominium. In addition to providing a loading dockmaster, as proposed by the applicant, ~~loading and unloading operations shall be restricted to non-peak periods to limit vehicular conflicts along 20<sup>th</sup> Street.~~

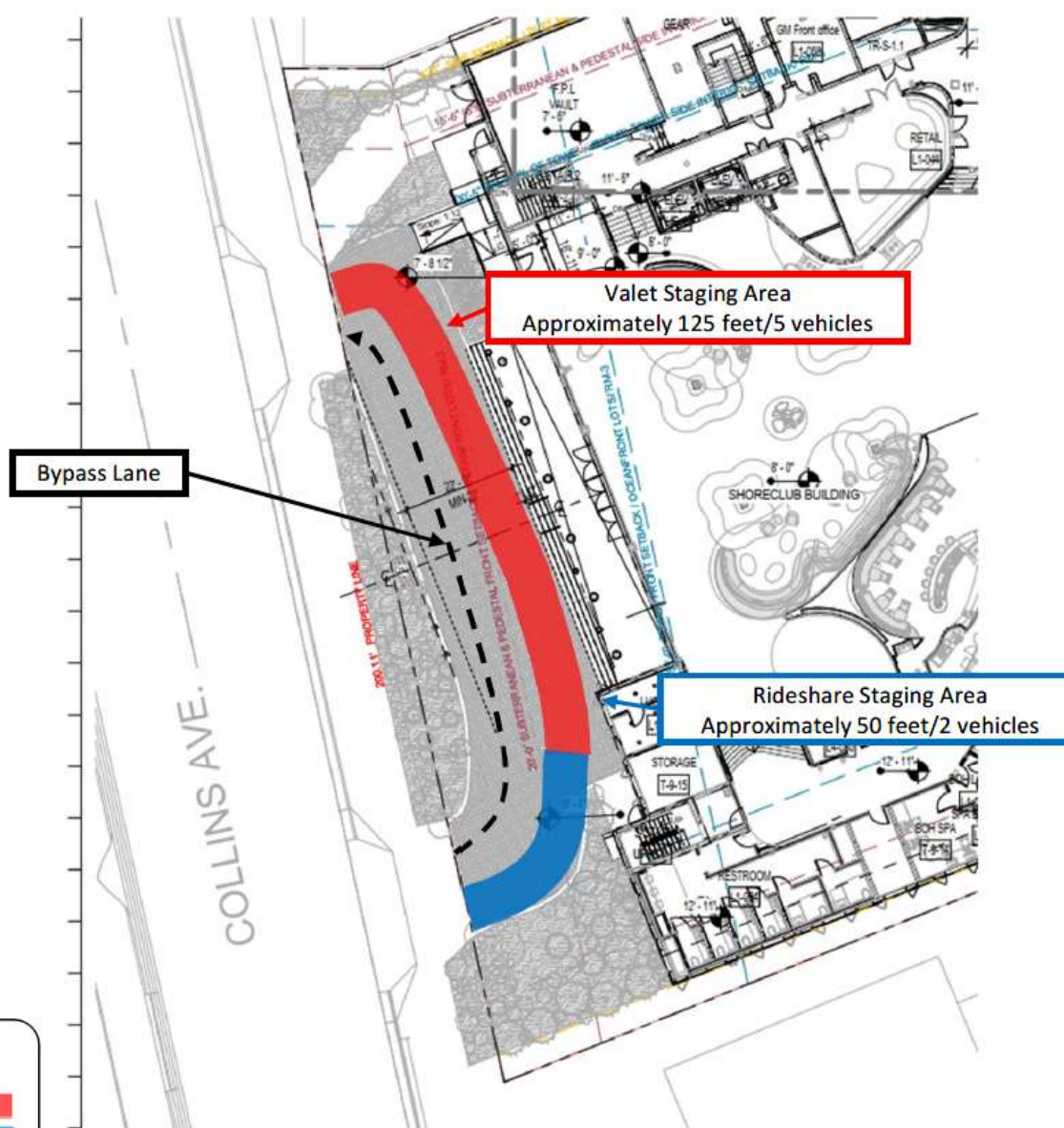


# Thank You

200 S. Biscayne Boulevard  
Suite 300, Miami, FL 33131

[www.brzoninglaw.com](http://www.brzoninglaw.com)

305.374.5300 office  
305.377.6222 fax  
[Info@brzoninglaw.com](mailto:Info@brzoninglaw.com)



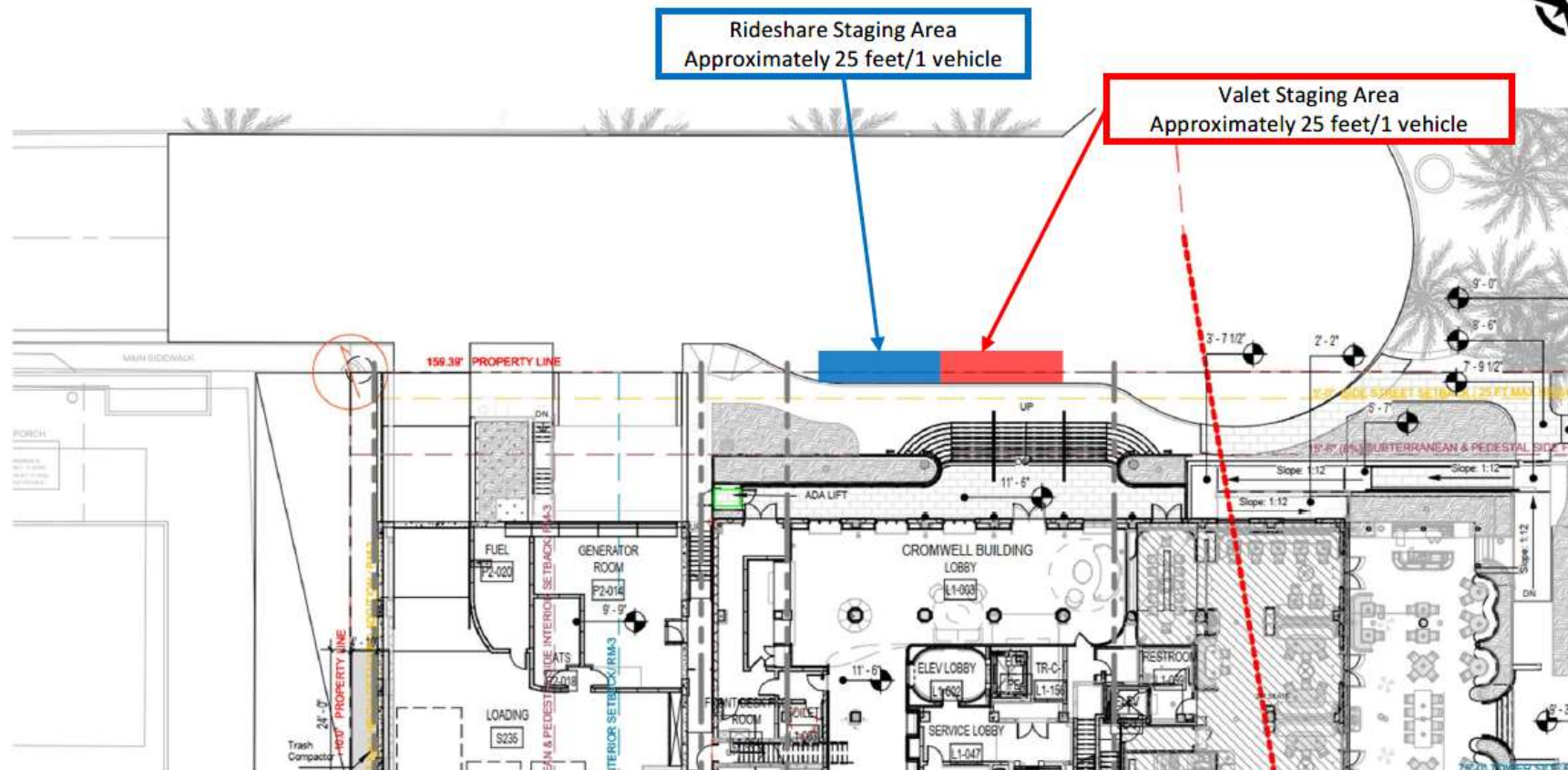
**Legend**

Valet Staging Area

Rideshare Staging Area

**\*Not to Scale**





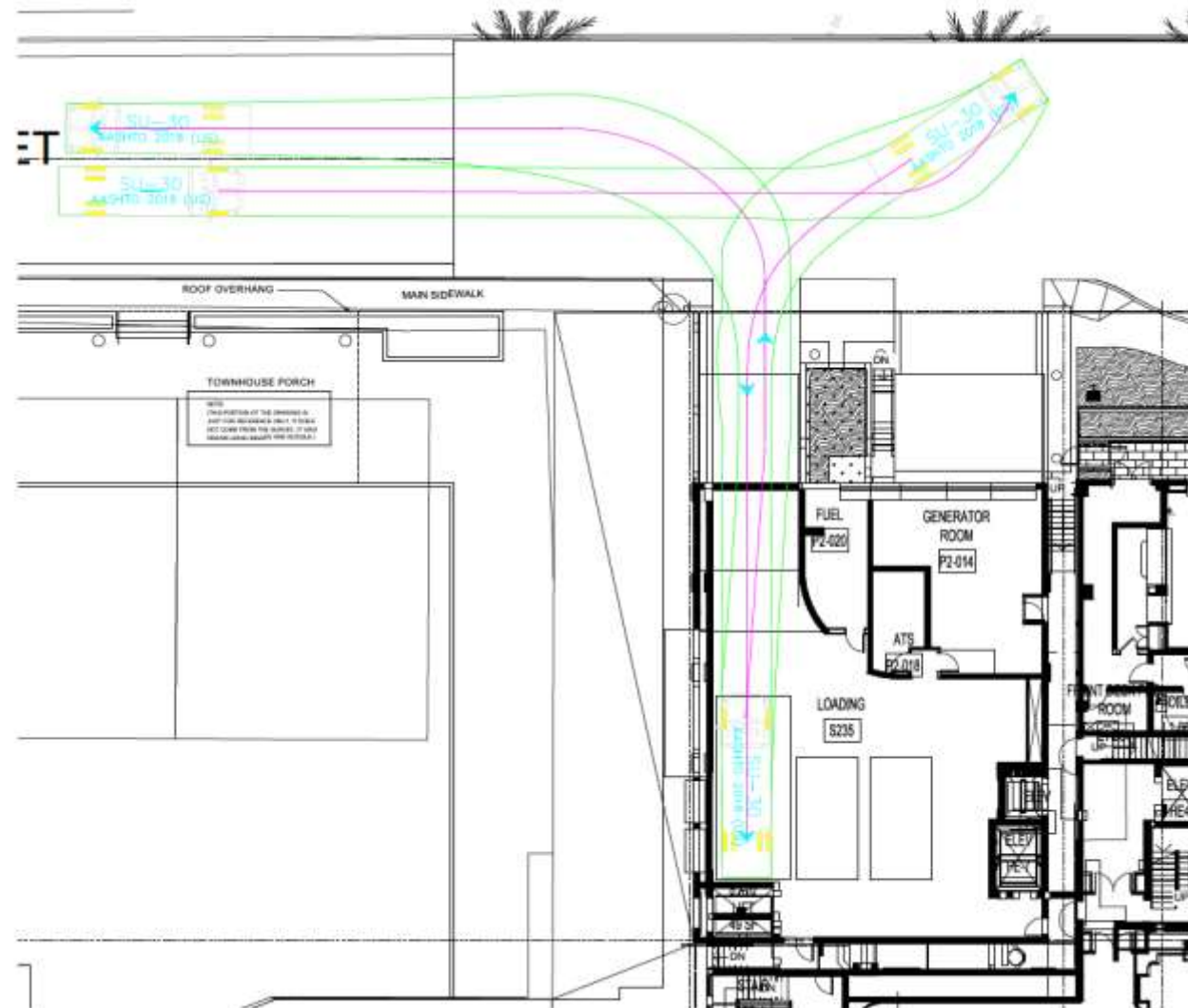
### Legend

Valet Staging Area  
Rideshare Staging Area



**\*Not to Scale**

# SU-30 Ingress and Egress



ET

