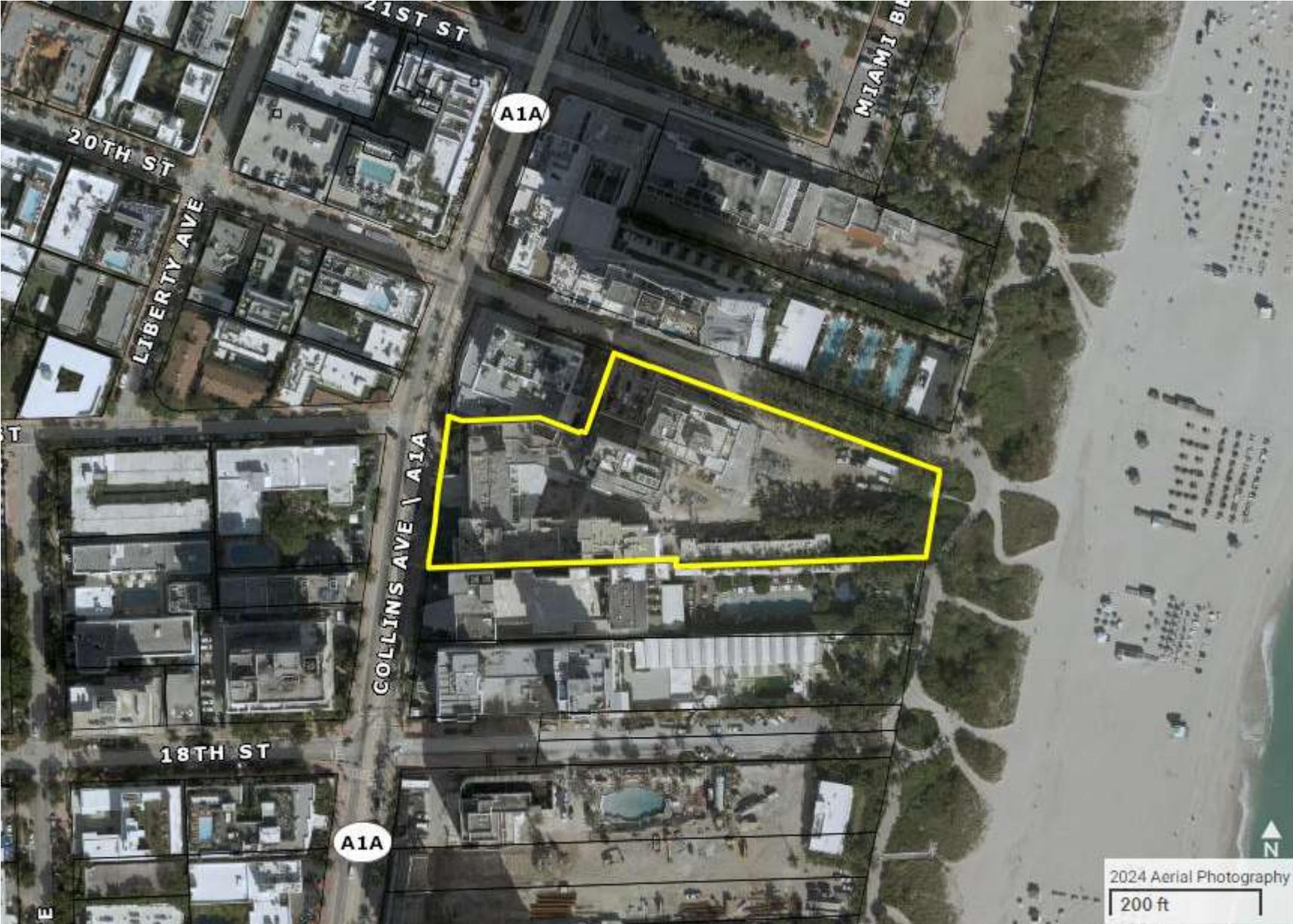


PB24-0705 – 1901 Collins Avenue The Shore Club Hotel & Residences

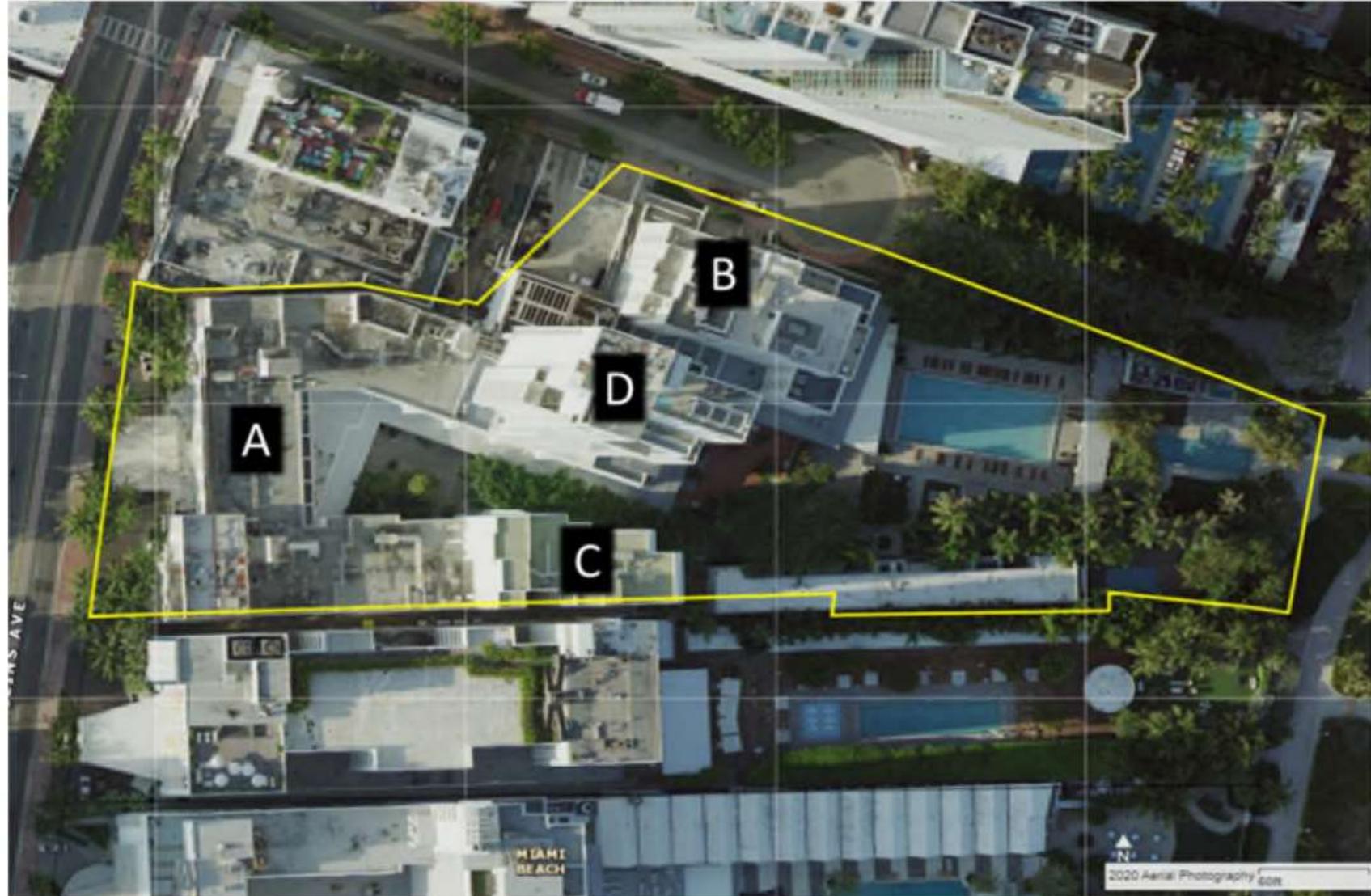
September 24, 2024 Planning Board Meeting



Context



Property



Approved Project

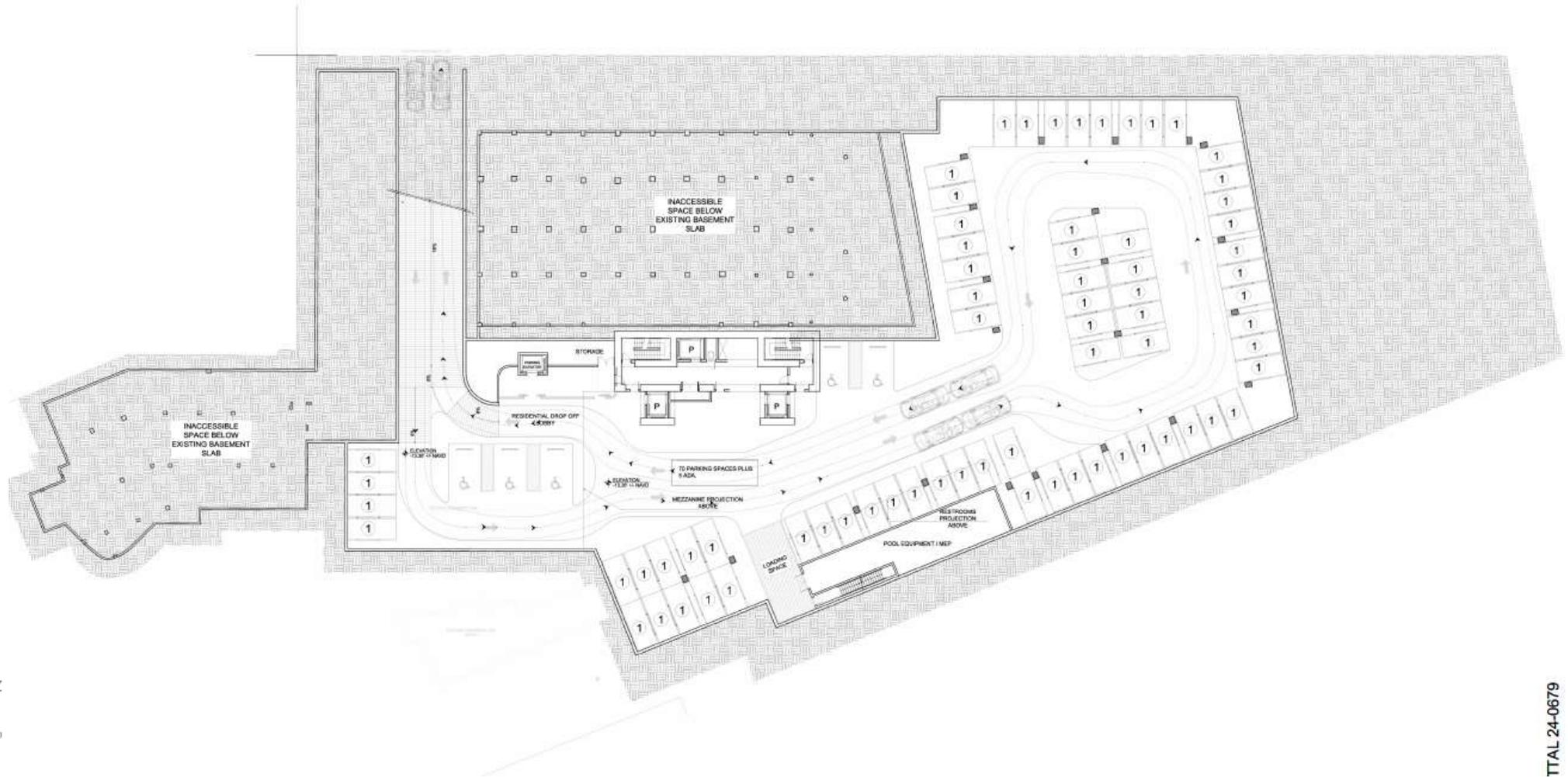
80 residential units

110 hotel keys



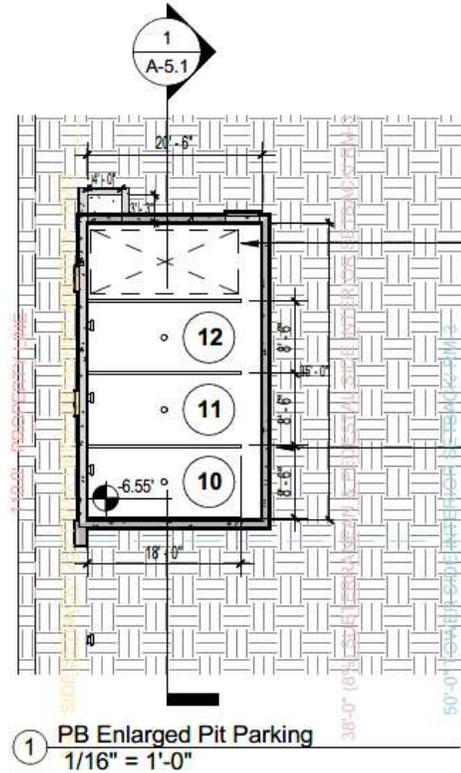


Original Parking Layout



Proposed Garage Plan

- 12 total parking spaces
- 8 mechanical
- 4 tandem

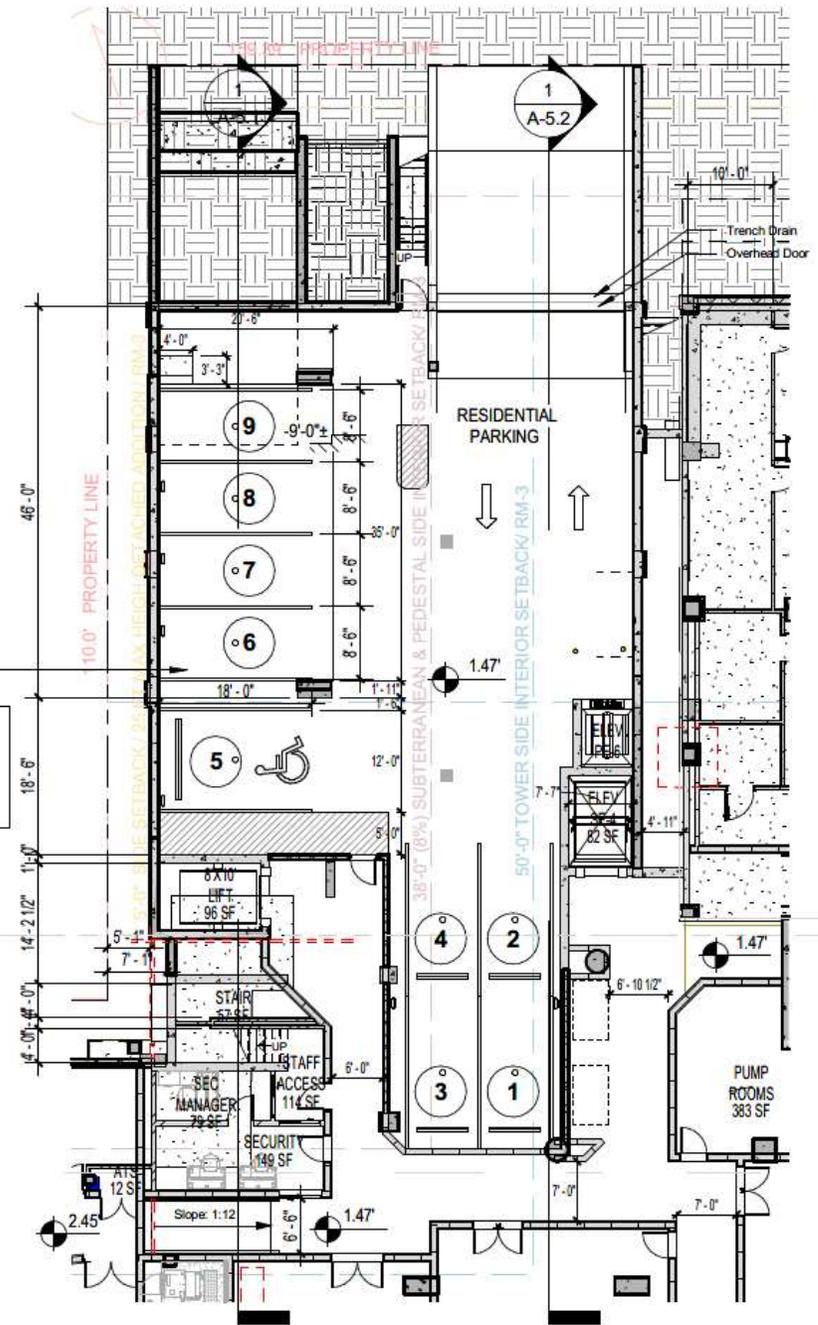


EMPTY SPACE NEEDED FOR OPERATIONS

PROPOSED LOCATION FOR AUTOMATED PUZZLE PARKING SYSTEM

7 MECHANICAL SPACES
4 TANDEM
1 ADA
TOTAL+ 12 SPACES

1 PB Enlarged Pit Parking
1/16" = 1'-0"



2 PB Enlarged Parking -1
1/16" = 1'-0"



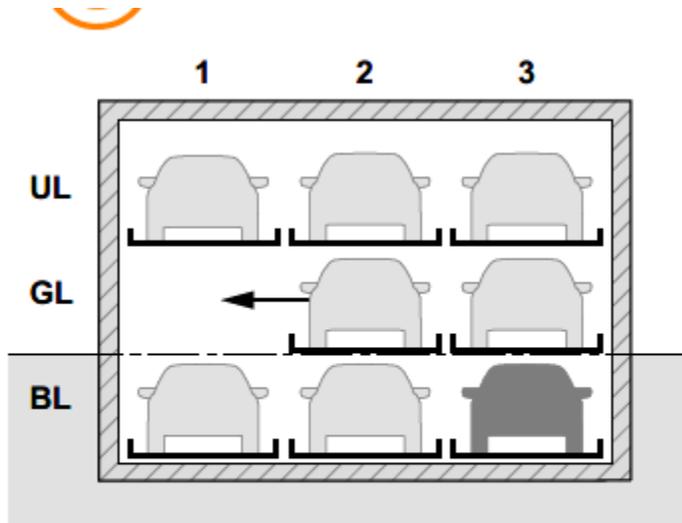
① HPB 3D Service Building Section

NEW PIT FOR
AUTOMATED PARKING
SYSTEM

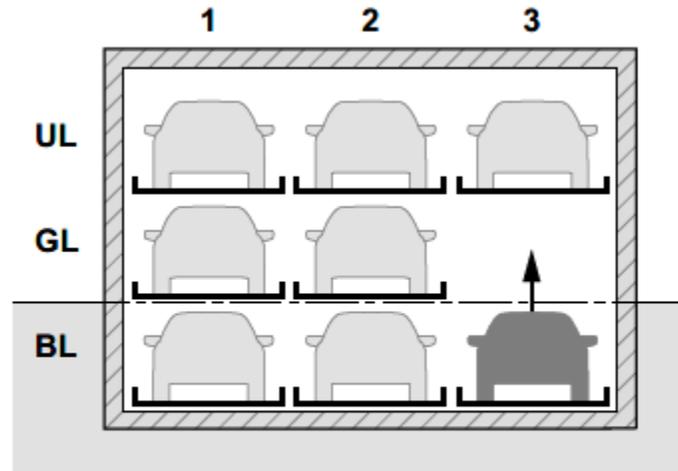


② PB 3D Service Building Volume 2

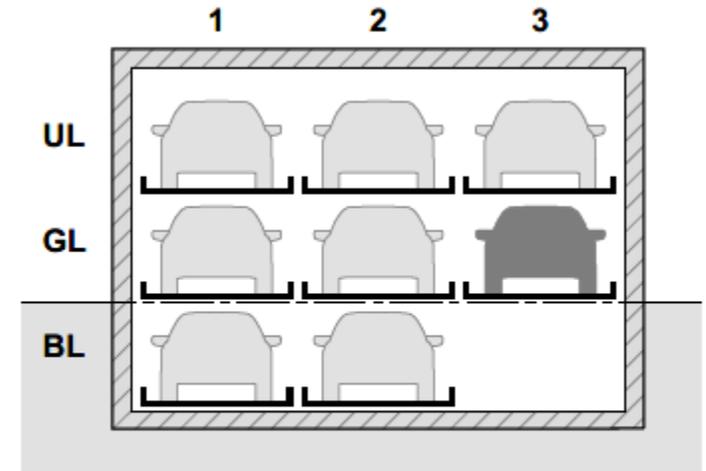
Proposed “Puzzle” Parking System



To remove the vehicle from the space in **grid 3/BL**, the GL platforms are moved to the left.



The empty space is now located above the vehicle being removed. The parking space in **grid 3/BL** is raised.



The vehicle in the space in **grid 3/BL** can now be removed.



trendvario 6300

On-Site Parking & Loading



On-Site Parking & Loading



Off-Site Parking



Modified Conditions of Approval

~~3.A. Deliveries and waste collection may only occur between 9:00 AM and 4:00 PM~~

Modified Conditions of Approval

From:

10.b. The applicant shall maintain one (1) dedicated parking space on the parking floor level of the project as permanently open and unoccupied, to function as temporary storage and staging for valet operations, and to prevent vehicles from entering City right-of-way to accommodate on-site maneuverability restrictions.

To:

10.b. The applicant shall prevent vehicles from entering City right-of-way to accommodate on-site maneuverability restrictions.

Modified Conditions of Approval

From:

10.c. A loading dockmaster shall be provided, to oversee movements into and out of the loading dock and to ensure vehicular conflicts along 20th Street are limited. The dockmaster shall also manage pedestrians crossing the loading driveway during loading operations, as needed, and work to minimize the daily impact of loading and trash removal and other required trips to fulfill the operational needs of the hotel and condominium. In addition to providing a loading dockmaster, as proposed by the applicant, ~~loading and unloading operations shall be restricted to non-peak periods to limit vehicular conflicts along 20th Street.~~

Thank You

200 S. Biscayne Boulevard
Suite 300, Miami, FL 33131

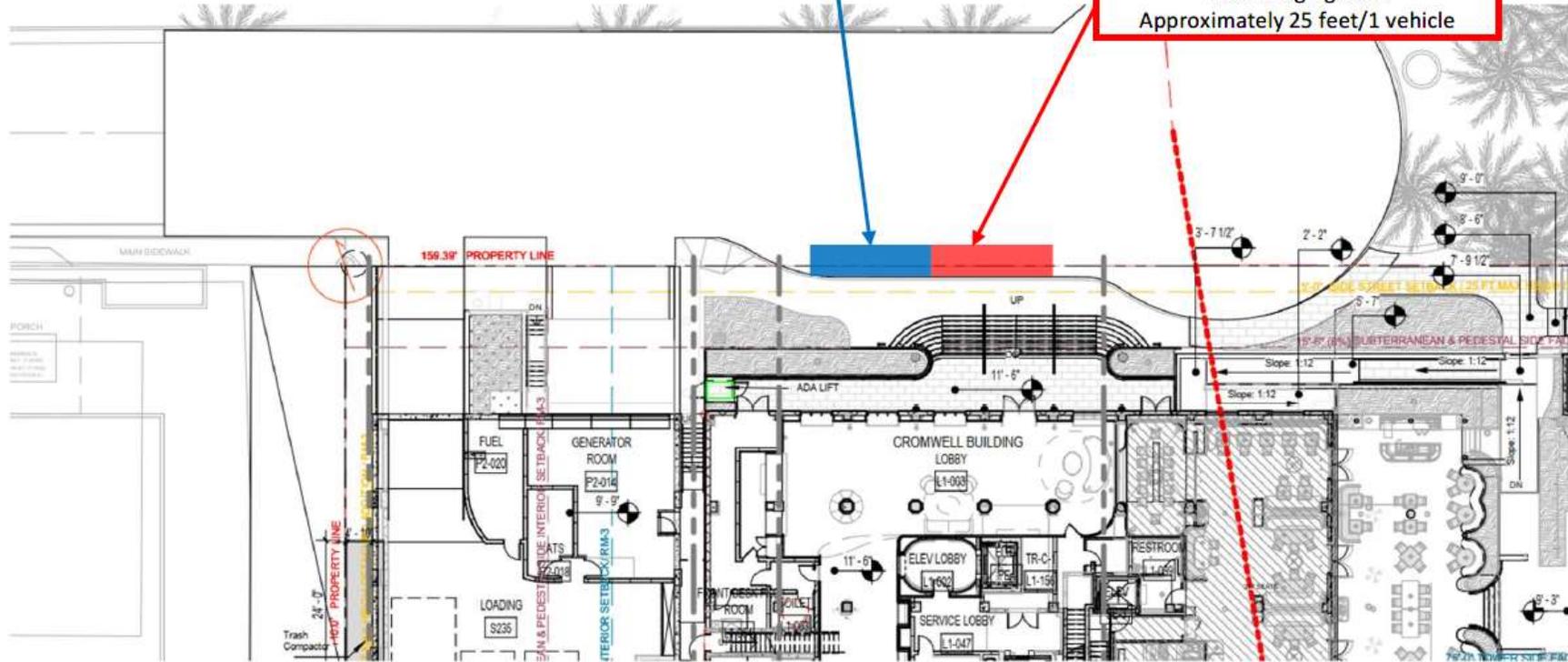
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Info@brzoninglaw.com



Rideshare Staging Area
Approximately 25 feet/1 vehicle

Valet Staging Area
Approximately 25 feet/1 vehicle



Legend

Valet Staging Area

Rideshare Staging Area

***Not to Scale**

SU-30 Ingress and Egress

