



PROPOSED APARTMENT AT:
321 JEFFERSON AVE.

FATHI ARCHITECTS, INC.

AA 0003068
IB 0001031
ARCHITECTS
INTERIORS
PLANNERS
4620 SW 55 AVENUE
DAVIE, FLORIDA 33328
TEL: (305) 439-3346
af@fathiarchitects.com

www.fathiarchitects.com



CONSULTANT:

PROJECT:

PROPOSED APARTMENT AT:
321 JEFFERSON
MIAMI BEACH, FLORIDA

OWNER:

ADDRESS:
321 JEFFERSON
MIAMI BEACH, FLORIDA

PHONE:

| REVISIONS | DATE | BY |
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DATE: 02/02/23

SCALE: AS SHOWN

DRAWN: R.R.

CHECKED: A.F.

COMMISSION NO.: 020223

SHEET

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SHEET

A-01

SHEET NO. OF



321 JEFFERSON'S PICTURES



301 JEFFERSON



361 JEFFERSON



401 JEFFERSON



828 3RD STREET



301 JEFFERSON



334 & 340 JEFFERSON



312 JEFFERSON



345 JEFFERSON



321 JEFFERSON



344 MERIDIAN AVE.



5 3RD STREET



310 MERIDIAN AVE.

JEFFERSON AVE. AND MERIDIAN PICTURES

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SHEET

A-02

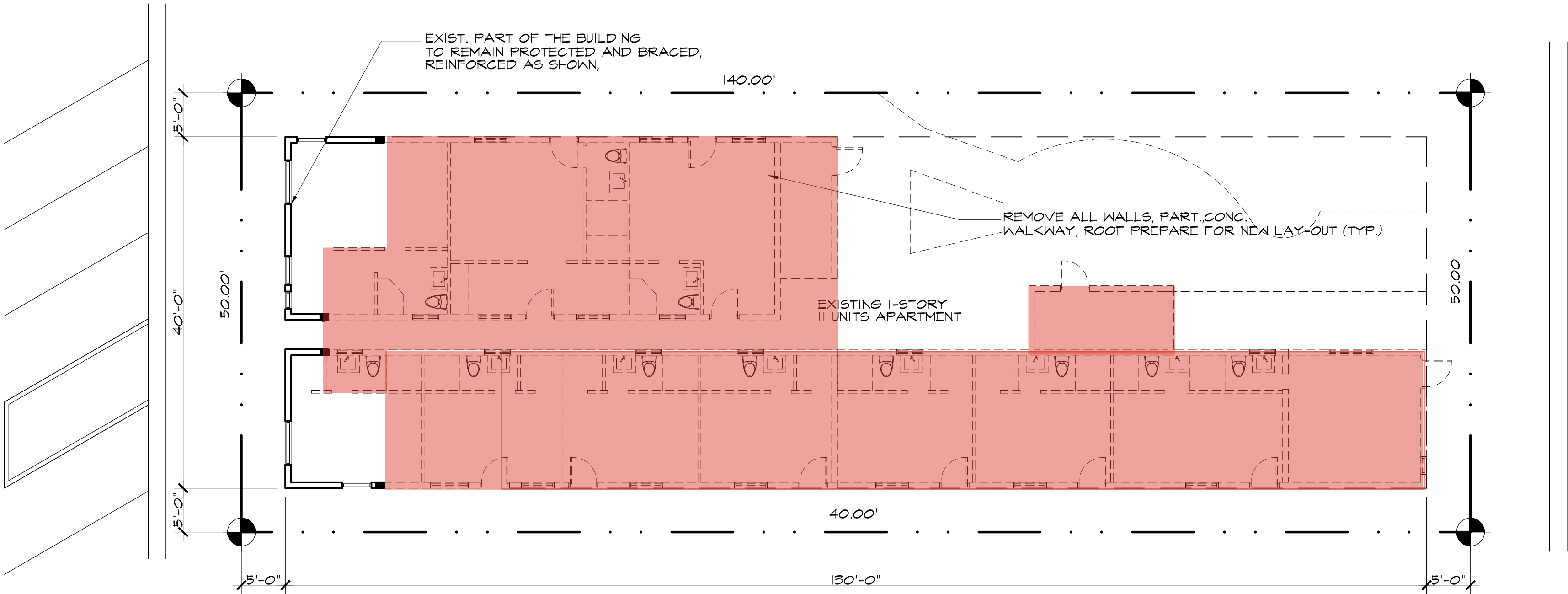
SHEET NO. OF

| SITE DATA | | | |
|--|---|---|--------------------|
| ZONING DISTRICT: | | R-PS2 | |
| SETBACKS : | ALLOWED | PROVIDED | |
| | FRONT | 28'-1" | |
| | REAR | 19'-1" | |
| | SIDE | 5'-0" | |
| LOT AREA : | MIN. 5,750 S.F. | PROVIDED 7,000 S.F. | |
| LOT WIDTH : | 50'-0" | 50'-0" | |
| LOT DEPTH : | 100'-0" | 140'-0" | |
| LOT COVERAGE : | MAXIMUM F.A.R. 1.5X7,000= 10,500 S.F. | PROPOSED 10,493 S.F. 3 LEVELS OF 3,421 S.F. GROUND LEVELS 230 S.F. = 10,493 S.F. | |
| EXISTING LOT COVERAGE 3,645 S.F. = .52 | | | |
| FLOOR AREA PER APART. : | MIN. 650 S.F. | PROVIDED 650 S.F. FOR 1 BED 853 S.F. FOR 2 BED 880 S.F. FOR 2 BED 1536 S.F. FOR 3 BED | |
| BUILDING HT. : | EXISTING 13'-6" | MAXIMUM 40'-0" | PROPOSED 34'-6" |
| PARKING: | REQUIRED 15X8=12 2X2=4 TOTAL OF 16 | PROPOSED 4 STANDARD 1 H.C. 10 TOTAL | |
| | PARKING SPACE DIMENSIONS 8'-6"X16'-0" FOR LOT 50' OR LESS | | |
| | | | |
| BICYCLE PARKING: | REQUIRED LONG TERM 1 PER UNIT=10 SHORT TERM 4 | PROPOSED 10 4 | |
| OPEN SPACE : | REQUIRED 65X7,000=4,550 | PROPOSED 1,583 S.F. AT GROUND 2,474 AT ROOF TERRACE 4,562 S.F. TOTAL OPEN SPACE | |
| FLOOD ZONE : AE BASE FLOOD ELEVATION : 8'-0" NGVD | | | |

| INDEX OF DRAWING: | |
|-------------------|---|
| ARCHITECTURAL | |
| A-0 | COVER SHEET PRELIMINARY SKETCHES. |
| A-01 | 321 JEFFERSON PICTURES |
| A-02 | JEFFERSON AND MERIDIAN PICTURES |
| A-1 | EXISTING SITE DEMOLITION PLAN, SITE DATA AND INDEX OF DRAWINGS |
| A-1.1 | EXISTING FLOOR PLAN AND EXISTING ELEVATIONS |
| A-1.2 | EXISTING DEMOLITION FLOOR PLAN AND ELEVATIONS |
| A-1.3 | PROPOSED SITE PLAN AND SITE DATA |
| A-2 | PROPOSED GROUND FLOOR PLAN PROPOSED GROUND FLOOR FAR |
| A-2.1 | PROPOSED SECOND FLOOR PLAN PROPOSED SECOND FLOOR FAR |
| A-2.2 | PROPOSED THIRD FLOOR PLAN PROPOSED THIRD FLOOR FAR |
| A-2.3 | PROPOSED FORTH FLOOR PLAN PROPOSED FORTH FLOOR FAR |
| A-3 | PROPOSED ROOF PLAN PLAN PROPOSED ROOF F.A.R. |
| A-4 | PROPOSED ROOF OPEN SPACE PLAN PROPOSED GROUND OPEN SPACE |
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| A-6 | PROPOSED EXTERIOR ELEVATIONS |
| A-7 | CONTEXT ELEVATION |
| A-8 | PROPOSED BUILDING SECTIONS |

JEFFERSON AVE.

JEFFERSON AVE.

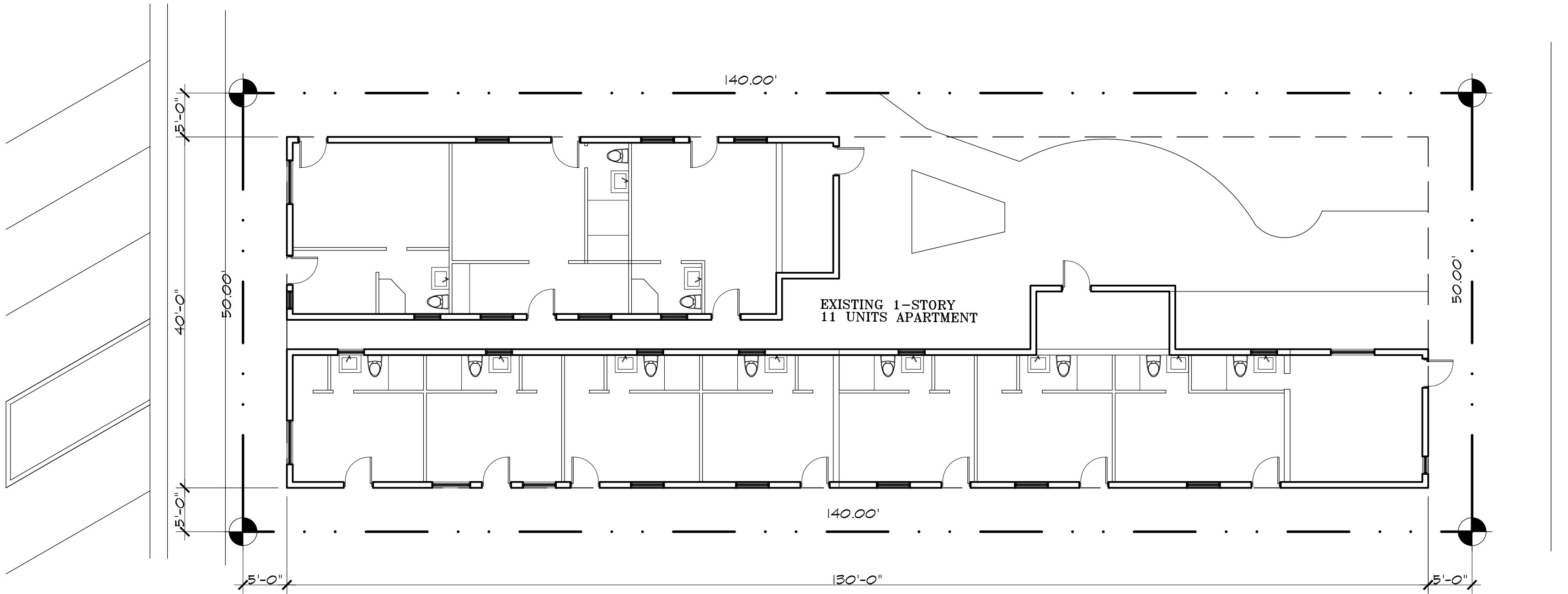


EXISTING SITE DEMOLITION PLAN

1"=10'

LEGAL DESCRIPTION:

LOT 11, OCEAN BEACH FLORIDA ADDITION NUMBER 3, PLAT BOOK 2, PAGE 81N OF THE PUBLIC RECORDS OF DADE COUNTY, FLORIDA.



EXISTING SITE PLAN

1"=10'

LEGAL DESCRIPTION:

LOT 11, OCEAN BEACH FLORIDA ADDITION NUMBER 3, PLAT BOOK 2, PAGE 81N OF THE PUBLIC RECORDS OF DADE COUNTY, FLORIDA.

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MERIDIAN CT.

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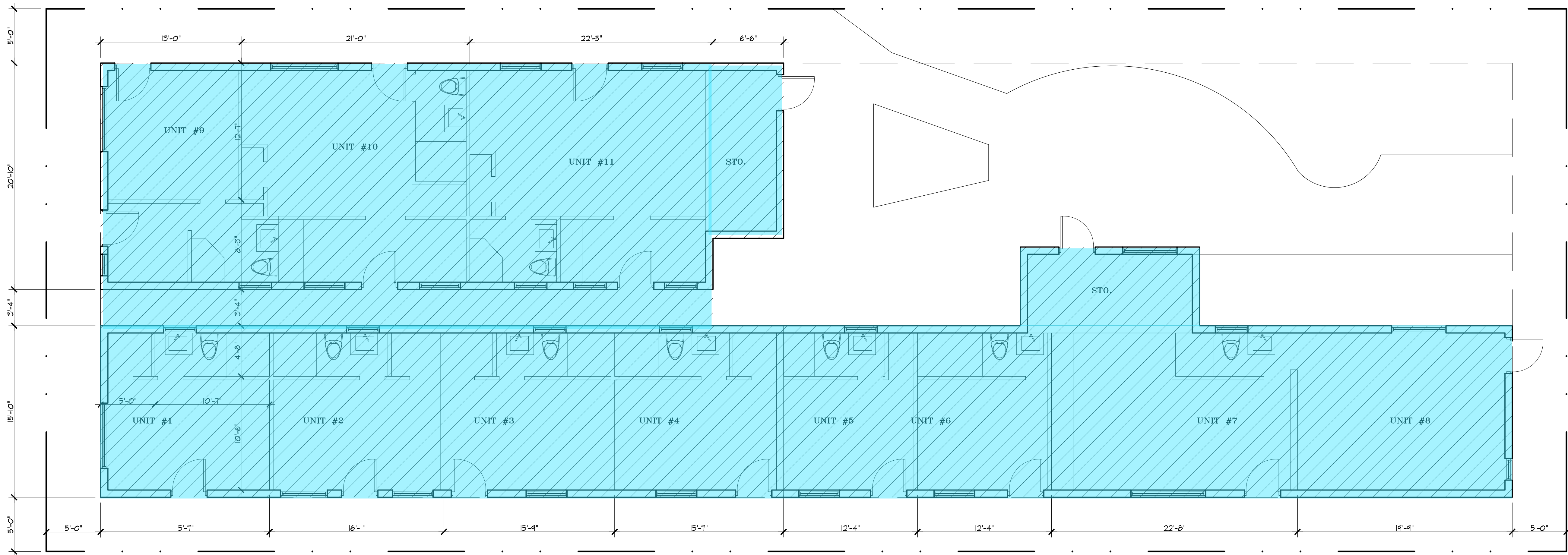
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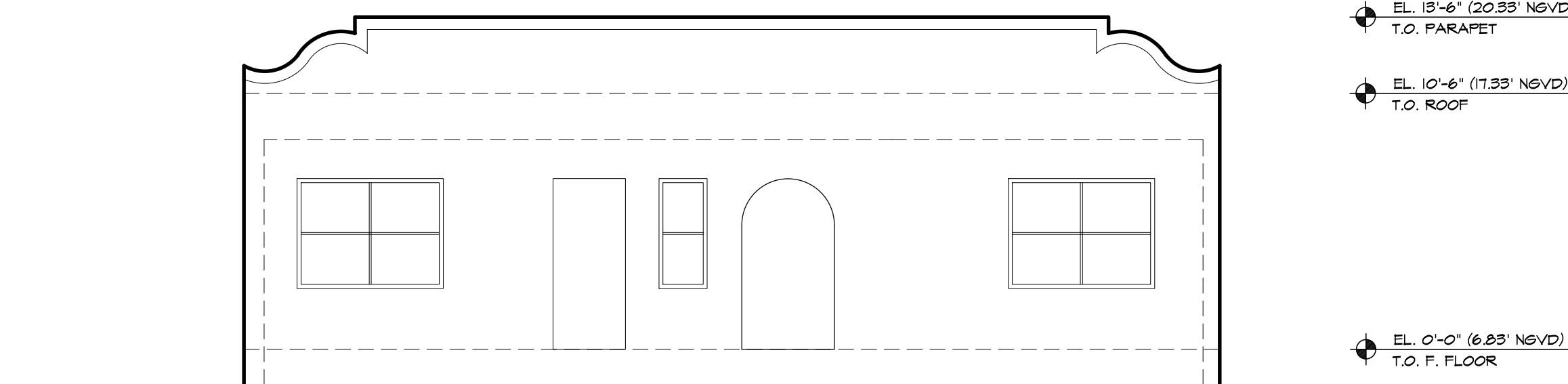
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EXISTING FLOOR PLAN

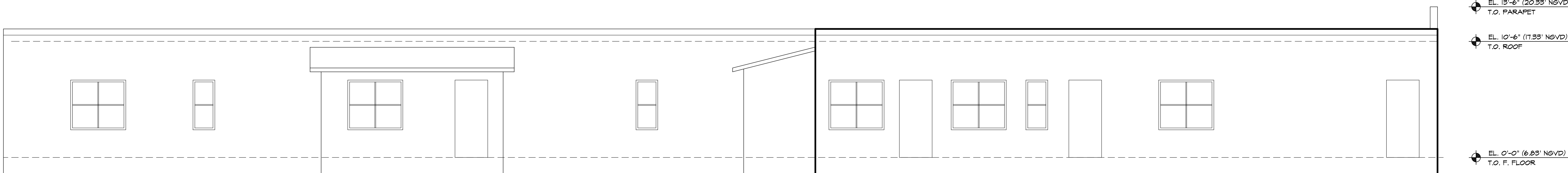
TOTAL EXISTING AREA= 3,695 S.F.
EXISTING F.A.R.= .52

3/16"



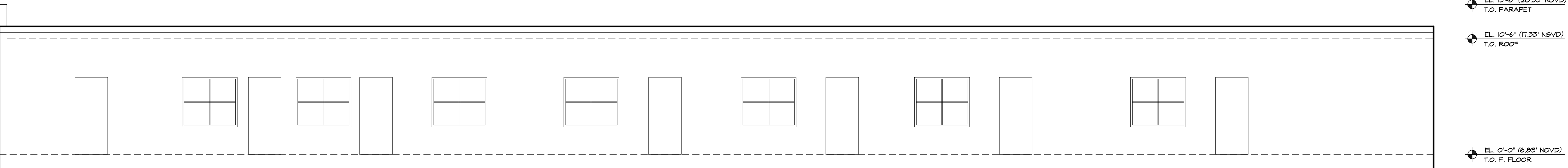
EXISTING WEST ELEVATION

3/16"



EXISTING NORTH ELEVATION

3/16"



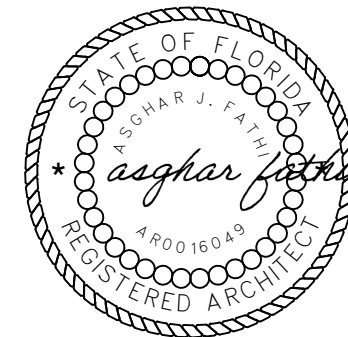
EXISTING SOUTH ELEVATION

3/16"

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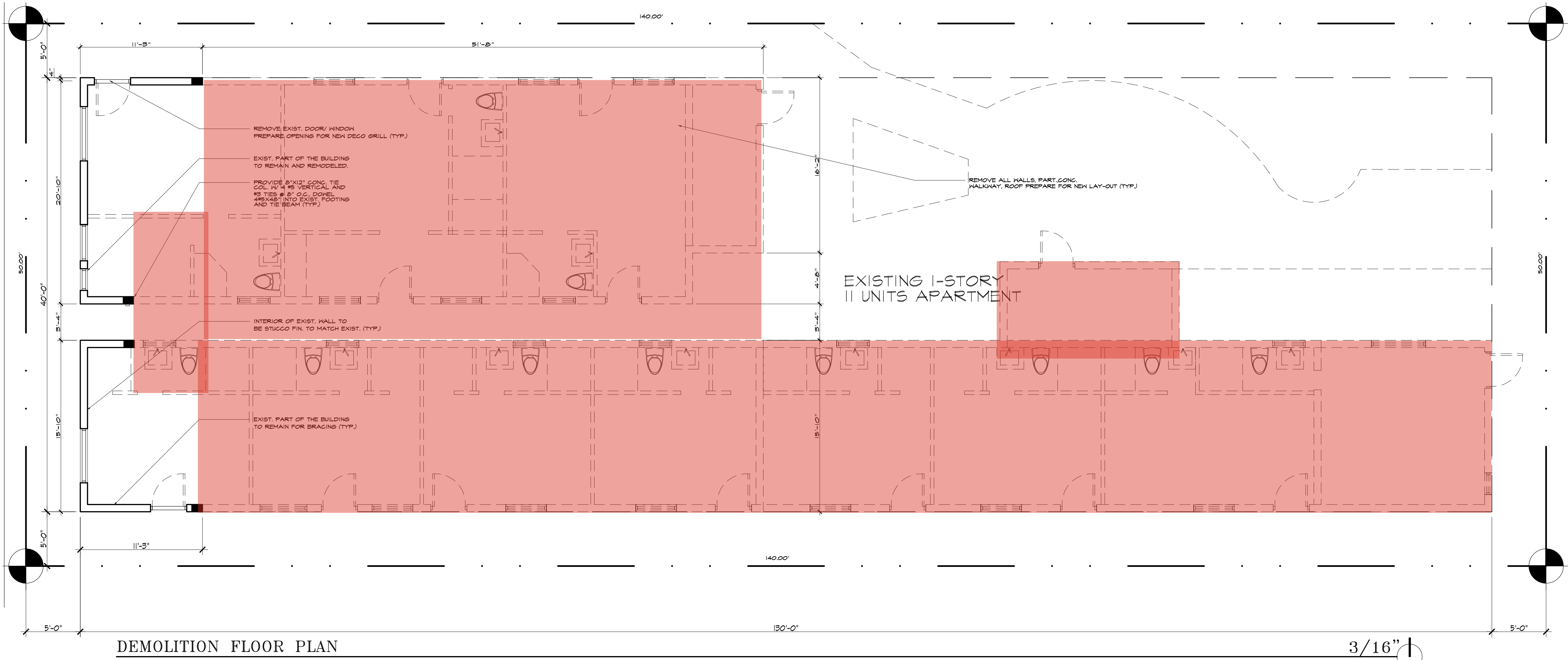
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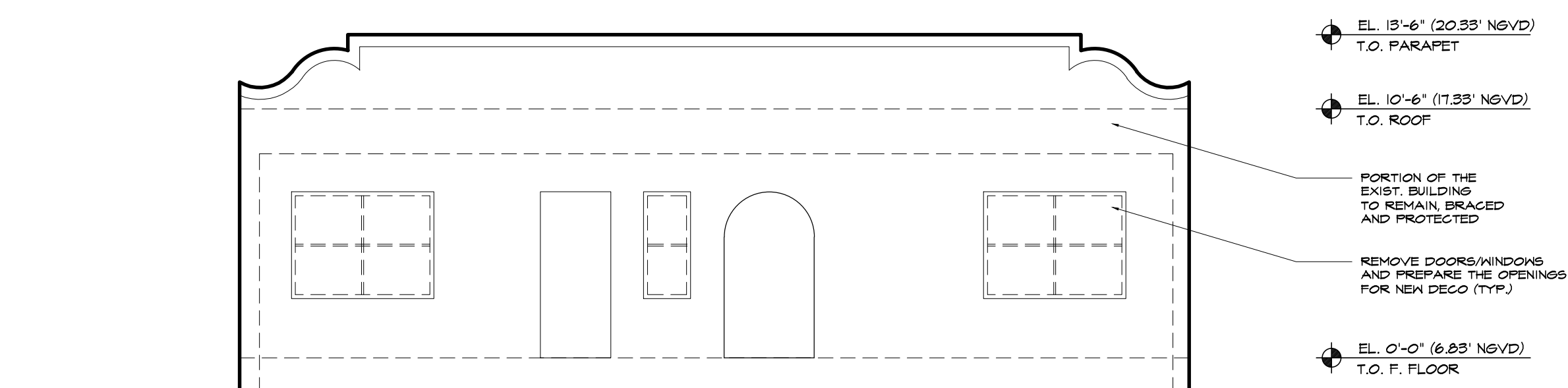
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SHEET
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SHEET NO. OF



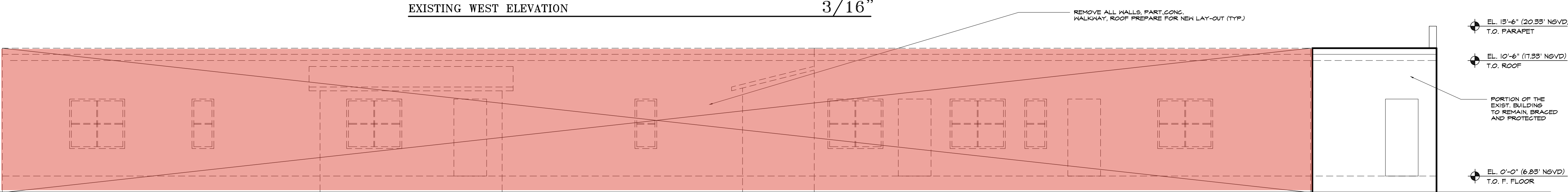
DEMOLITION FLOOR PLAN

3/16"



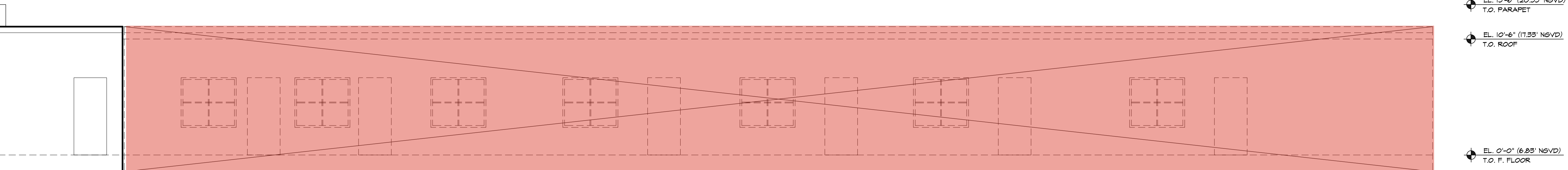
EXISTING WEST ELEVATION

3/16"



EXISTING NORTH ELEVATION

3/16"



EXISTING SOUTH ELEVATION

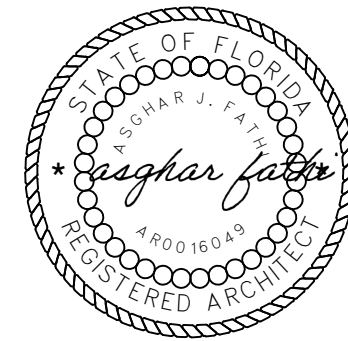
3/16"

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SHEET
A-1.2
SHEET NO. OF

MULTIFAMILY - COMMERCIAL - ZONING DATA SHEET

| ITEM # | Project Information | | | | |
|--------|---------------------------------|--------------------|----------------------|-------------|--|
| 1 | Address: | 321 JEFFERSON AVE. | | | |
| 2 | Board and file numbers : | HPB23-0571 | | | |
| 3 | Folio number(s): | 02-4203-009-5230 | | | |
| 4 | Year constructed: | 1936 | Zoning District: | R-PS2 | |
| 5 | Based Flood Elevation: | 8.0' NGVD | Grade value in NGVD: | 6.0' | |
| 6 | Adjusted grade (Flood+Grade/2): | | Lot Area: | 7000 S.F. | |
| 7 | Lot width: | 50'-0" | Lot Depth: | 140' 0" | |
| 8 | Minimum Unit Size | 650 S.F. | Average Unit Size | 943 S.F. | |
| 9 | Existing use: | MULTIFAMILY | Proposed use: | MULTIFAMILY | |

| Zoning Information / Calculations | Maximum | Existing | Proposed | Deficiencies |
|-----------------------------------|-------------|------------|-------------|--------------|
| 10 Height | 40'-0" | 13'-6" | 39'-6" | |
| 11 Number of Stories | 4 | 1 | 4 | |
| 12 FAR | 1.5 | 0.52 | 1.49 | |
| 13 Gross square footage | 10,500 S.F. | 3,695 S.F. | 10,493 S.F. | |
| 14 Square Footage by use | N/A | | | |
| 15 Number of units Residential | N/A | 11 UNITS | 9 UNITS | |
| 16 Number of units Hotel | N/A | | | |
| 17 Number of seats | N/A | | | |
| 18 Occupancy load | N/A | | | |

| Setbacks | Required | Existing | Proposed | Deficiencies |
|--------------------------------|----------|----------|----------|--------------|
| Subterranean: | | | | |
| 19 Front Setback: | 5'-0" | 5'-0" | 28'-1" | |
| 20 Side Setback: | 5'-0" | 5'-0" | 5'-0" | |
| 21 Side Setback: | 5'-0" | 5'-0" | 5'-0" | |
| 22 Side Setback facing street: | NA | | | |
| 23 Rear Setback: | 14'-0" | 5'-0" | 19'-1" | |
| At Grade Parking: | | | | |
| 24 Front Setback: | 5'-0" | NA | 14'-10" | |
| 25 Side Setback: | 5'-0" | NA | 6'-0" | |
| 26 Side Setback: | 5'-0" | NA | 6'-0" | |
| 27 Side Setback facing street: | NA | | | |
| 28 Rear Setback: | 5'-0" | NA | 5'-0" | |

| | | | | |
|--------------------------------|--------|-------|--------|--|
| Pedestal: | | | | |
| 29 Front Setback: | 5'-0" | 5'-0" | 28'-1" | |
| 30 Side Setback: | 5'-0" | 5'-0" | 5'-0" | |
| 31 Side Setback: | 5'-0" | 5'-0" | 5'-0" | |
| 32 Side Setback facing street: | NA | | | |
| 33 Rear Setback: | 14'-0" | 5'-0" | 19'-1" | |
| Tower: | | | | |
| 34 Front Setback: | | | | |
| 35 Side Setback: | | | | |

| ITEM # | Setbacks | Required | Existing | Proposed | Deficiencies |
|--------|-----------------------------|----------|----------|----------|--------------|
| 36 | Side Setback: | | | | |
| 37 | Side Setback facing street: | | | | |
| 38 | Rear Setback: | | | | |

| Parking | Required | Existing | Proposed | Deficiencies |
|---|---------------------------|----------|---------------------------|--------------|
| 39 Parking district | | NA | | |
| 40 Total # of parking spaces | 15 | NA | 10 | |
| 41 # of parking spaces per use (Provide a separate chart for a breakdown calculation) | 1.5 AND 2/UNIT | NA | 1.5 AND 2/UNIT | |
| 42 # of parking spaces per level (Provide a separate chart for a breakdown calculation) | 5 FOR 2, 6 FOR 3, 4 FOR 4 | NA | 3 PER LEVEL | |
| 43 Parking Space Dimensions | 8'-6" X 16'-0" | NA | 8'-6" X 16'-0" | |
| 44 Parking Space configuration (450, 600, 900, Parallel) | 90 | NA | 90 | |
| 45 ADA Spaces | 1 | NA | 1 | |
| 46 Tandem Spaces | | | | |
| 47 Drive aisle width | 22'-0" | NA | 22'-0" | |
| 48 Valet drop off and pick up | NA | | | |
| 49 Loading zones and Trash collection areas | SEE SITE PLAN | | SEE SITE PLAN | |
| 50 Bicycle parking, location and Number of racks | 9 L.T., 4 S.T. SITE PLAN | NA | 10 L.T., 4 S.T. SITE PLAN | |

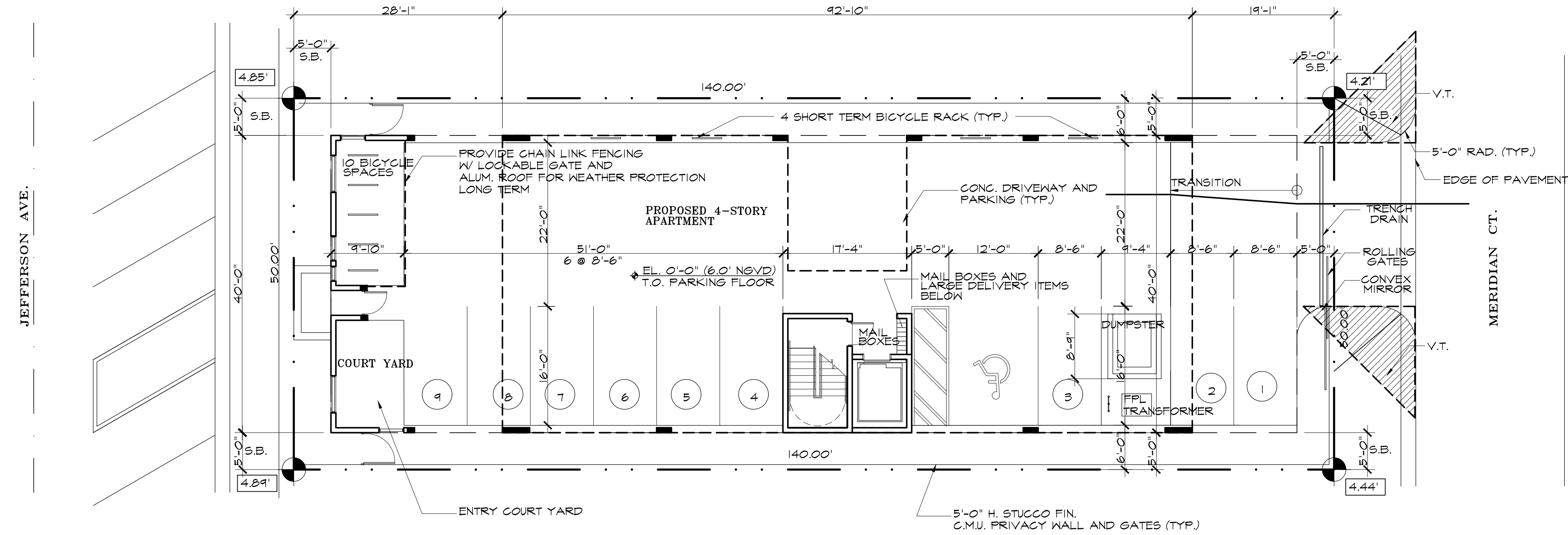
| Restaurants, Cafes, Bars, Lounges, Nightclubs | Required | Existing | Proposed | Deficiencies |
|---|----------|----------|----------|--------------|
| 51 Type of use | NA | | | |
| 52 Number of seats located outside on private property | NA | | | |
| 53 Number of seats inside | NA | | | |
| 54 Total number of seats | NA | | | |
| 55 Total number of seats per venue (Provide a separate chart for a breakdown calculation) | NA | | | |
| 56 Total occupant content | NA | | | |
| 57 Occupant content per venue (Provide a separate chart for a breakdown calculation) | NA | | | |

| | | | | |
|--|----|--|-----|--|
| 58 Proposed hours of operation | NA | | | |
| 59 Is this an NIE? (Neighborhood Impact Establishment, see CMB 141-1361) | NA | | | |
| 60 Is dancing and/or entertainment proposed ? (see CMB 141-1361) | NA | | | |
| 61 Is this a contributing building? | | | YES | |
| 62 Located within a Local Historic District? | | | YES | |

Additional data or information must be presented in the format outlined in this section

PROPOSAL

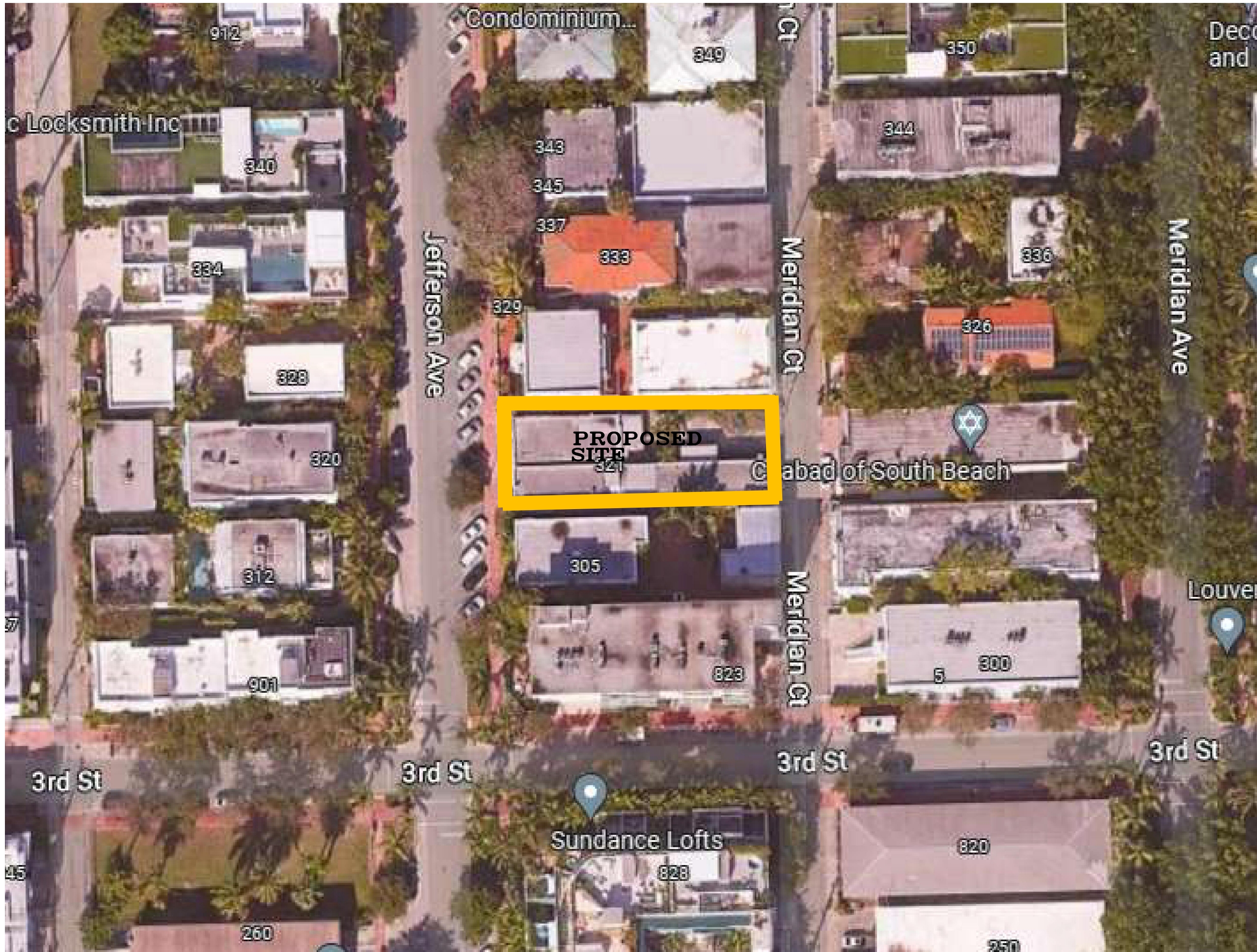
1. TO DEMOLISH THE EXISTING UNINHABITED AND UNSAFE BUILDING.
2. TO PREPARE THE SITE FOR THE NEW 4-STORY BUILDING
3. TO LEAVE AND PROTECT THE FRONT FACADE OF THE EXISTING BUILDING, FINISH TO MATCH THE ORIGINAL, AND PROVIDE COURT YARD ENTRY FOR PEDESTRIANS.
4. TO PROVIDE PARKING SPACES AT THE GROUND FLOOR FOR CARS, 10 LONG TERM AND 4 SHORT TERM BICYCLES SPACES, SCREEN FROM VIEW WITH LANDSCAPING AND PRIVACY WALL
5. PROPOSED (4) 2 BEDROOMS, (3) 1 BEDROOMS, (2) 3 BEDROOMS APARTMENTS, AND A GYM ON THE SECOND FLOOR.
6. PROPOSED ROOF WILL BE A ROOF TERRACE, WITH PLANTERS TO SCREEN THE ROOF TERRACE FOR PRIVACY.



PROPOSED SITE PLAN

LEGAL DESCRIPTION:

LOT 11, OCEAN BEACH FLORIDA ADDITION NUMBER 3, PLAT BOOK 2, PAGE 811 OF THE PUBLIC RECORDS OF DADE COUNTY, FLORIDA.



| UNIT SIZE CHART | | | |
|-----------------|---|--|--|
| UNITS | NUMBER OF BEDROOMS | AREA | PARKING REQUIREMENTS |
| UNIT 201 | ONE BEDROOM | 650 S.F. | 1 1/2 PARKING SPACES |
| UNIT 202 | TWO BEDROOM | 855 S.F. | 1 1/2 PARKING SPACES |
| UNIT 203 | TWO BEDROOM | 880 S.F. | 1 1/2 PARKING SPACES |
| ----- | GYM | 650 S.F. | ----- |
| UNIT 301 | ONE BEDROOM | 650 S.F. | 1 1/2 PARKING SPACES |
| UNIT 302 | TWO BEDROOM | 855 S.F. | 1 1/2 PARKING SPACES |
| UNIT 303 | TWO BEDROOM | 880 S.F. | 1 1/2 PARKING SPACES |
| UNIT 304 | ONE BEDROOM | 650 S.F. | 1 1/2 PARKING SPACES |
| UNIT 401 | THREE BEDROOM | 1536 S.F. | 2 PARKING SPACES |
| UNIT 402 | THREE BEDROOM | 1536 S.F. | 2 PARKING SPACES |
| | | | |
| | | | |
| | 3 ONE BEDROOMS 4 TWO BEDROOMS 2 THREE BEDROOMS TOTAL 9 UNITS | TOTAL 8,488 S.F. AV. UNIT SIZE=943 S.F. | TOTAL PARKING REQUIRED 7 X 1.5 = 11 PARKING SPACES 2 X 2 = 4 PARKING SPACES TOTAL 15 PARKING SPACES |

FATHI ARCHITECTS, INC.

AA 0003068
IB 0001031
ARCHITECTS
INTERIORS
PLANNERS
4620 SW 55 AVENUE
DAVE, FLORIDA 33328
TEL: (305) 439-3346
af@fathiarchitects.com

www.fathiarchitects.com



CONSULTANT:

PROJECT:
PROPOSED APARTMENT AT:
321 JEFFERSON
MIAMI BEACH, FLORIDA

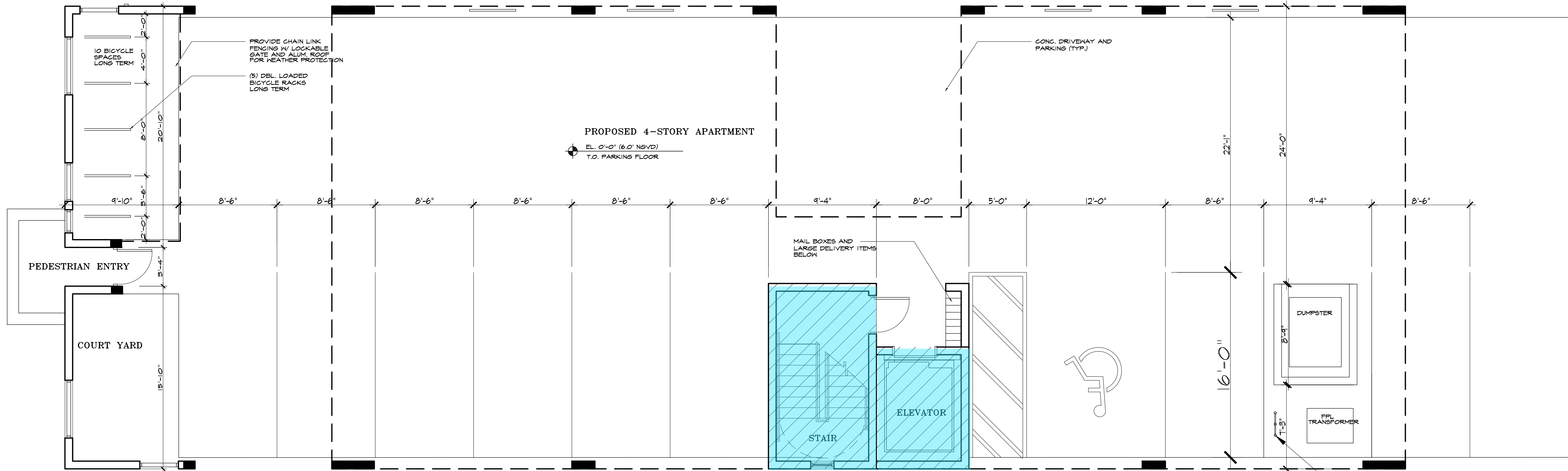
OWNER:
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ADDRESS:
321 JEFFERSON
MIAMI BEACH, FLORIDA
PHONE:
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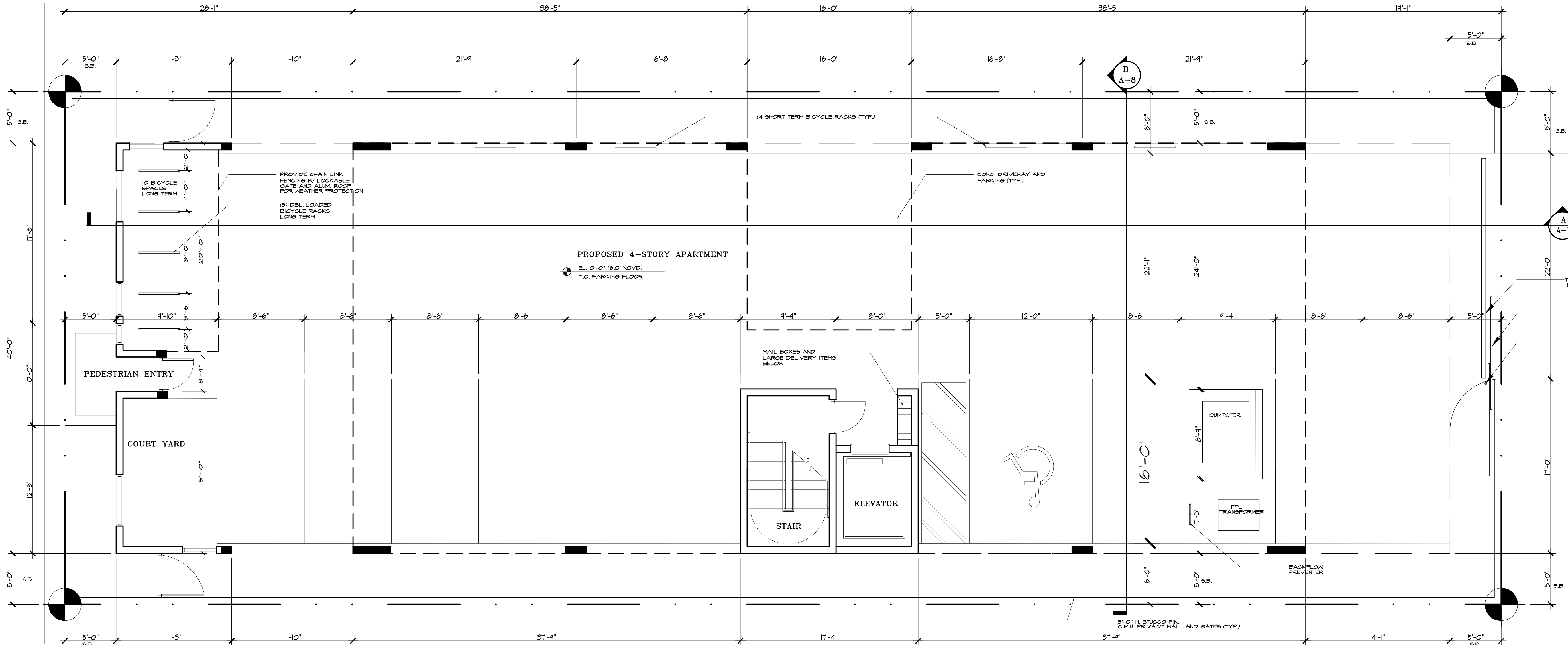
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| DATE: | 02/02/23 |
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| DRAWN: | R.R. |
| CHECKED: | A.F. |
| COMMISSION NO.: | 020223 |

SHEET
A-1.3
SHEET NO. OF



PROPOSED GROUND FLOOR PLAN
TOTAL F.A.R. = 2,30 S.F.

3/16"↑



PROPOSED GROUND FLOOR PLAN

3/16"↑

FATHI ARCHITECTS, INC.

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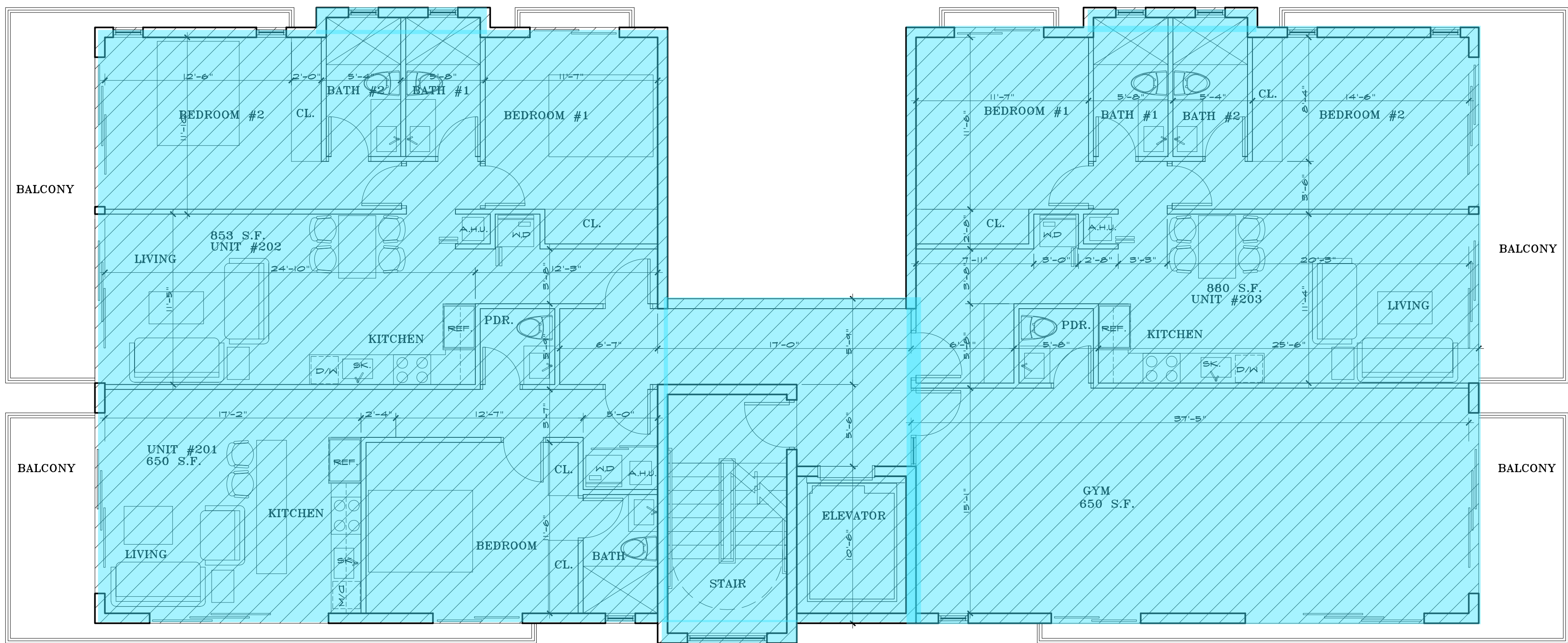
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| SCALE: | AS SHOWN |
| DRAWN: | R.R. |
| CHECKED: | A.F. |
| COMMISSION NO.: | 020223 |

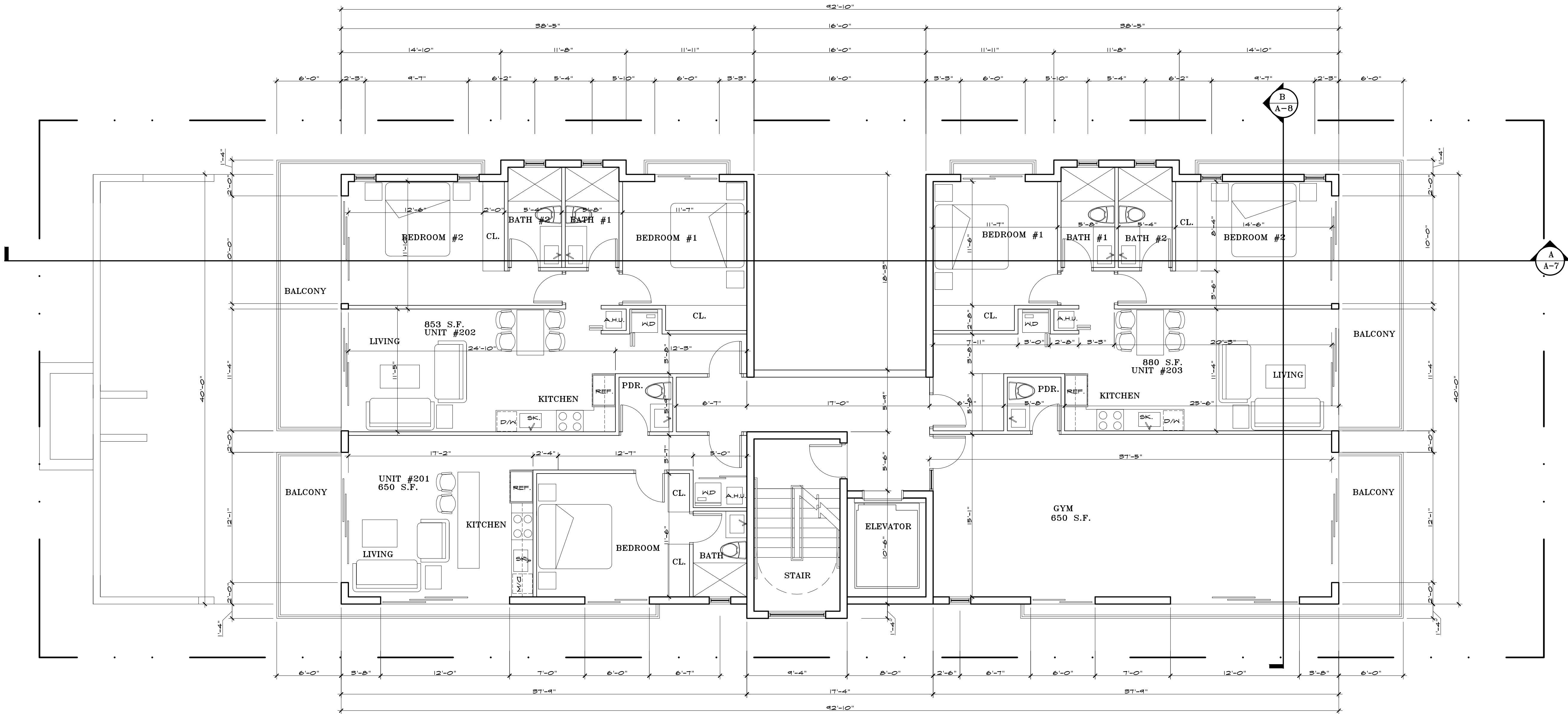
SHEET
A-2
SHEET NO. OF



PROPOSED SECOND FLOOR PLAN

TOTAL F.A.R. = 3,421 S.F.

3/16"



PROPOSED SECOND FLOOR PLAN

3/16"

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PROJECT:
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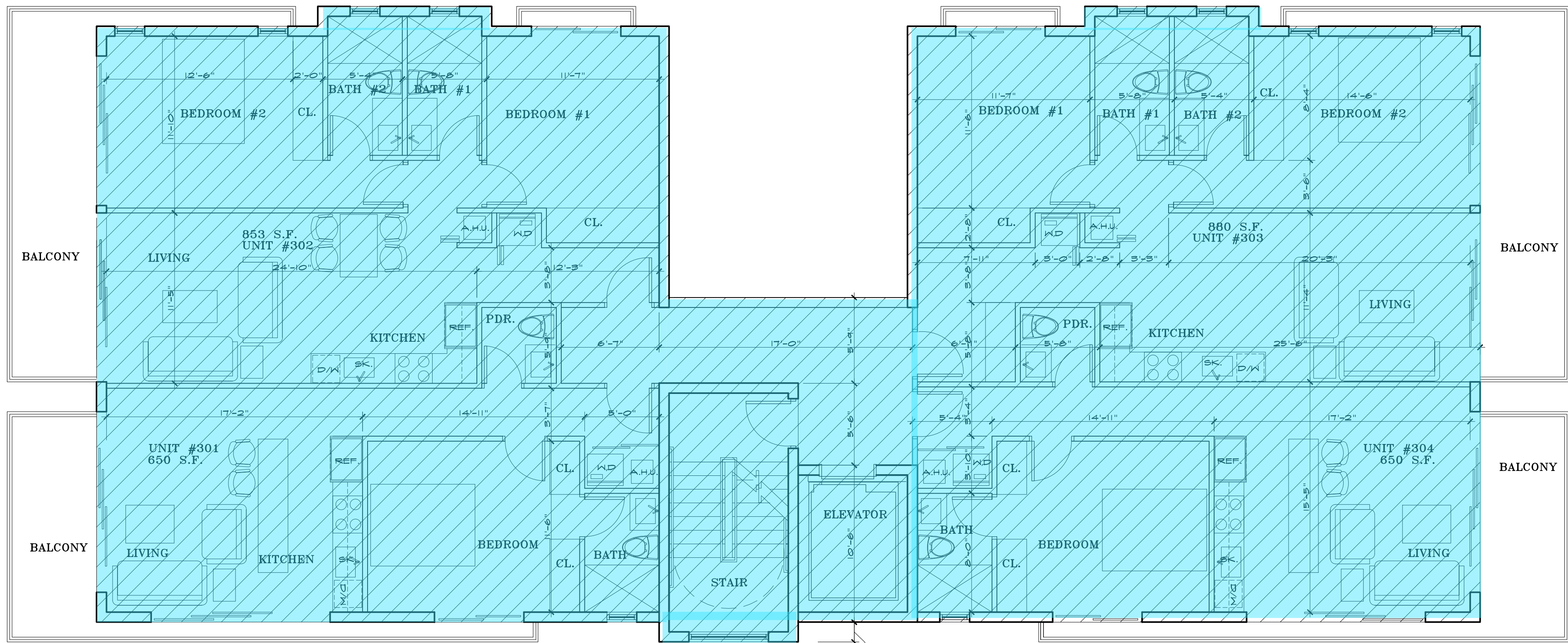
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SHEET

A-2.1

SHEET NO.

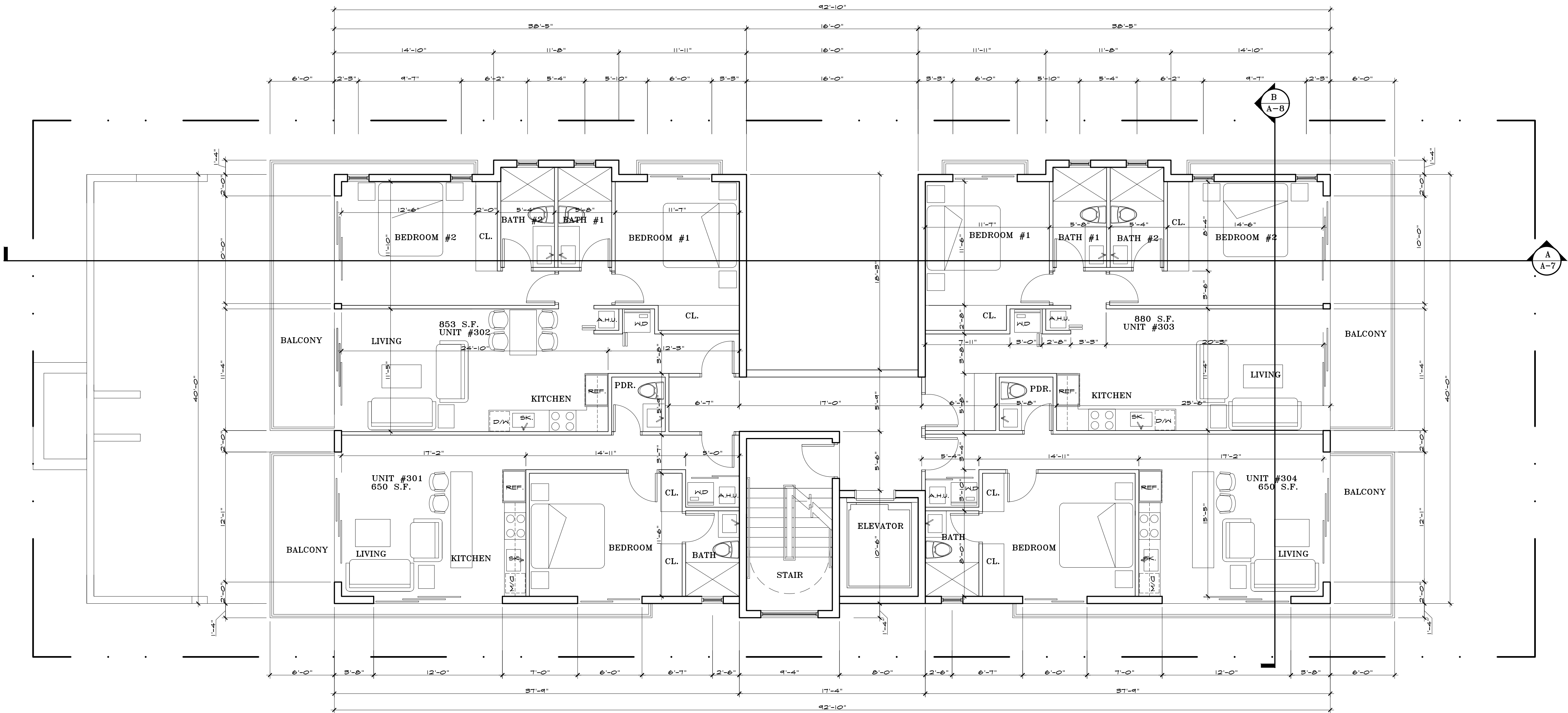
OF



PROPOSED THIRD FLOOR PLAN

TOTAL F.A.R. = 3,421 S.F.

3/16"



PROPOSED THIRD FLOOR PLAN

3/16"

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CONSULTANT:

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MIAMI BEACH, FLORIDA

OWNER:

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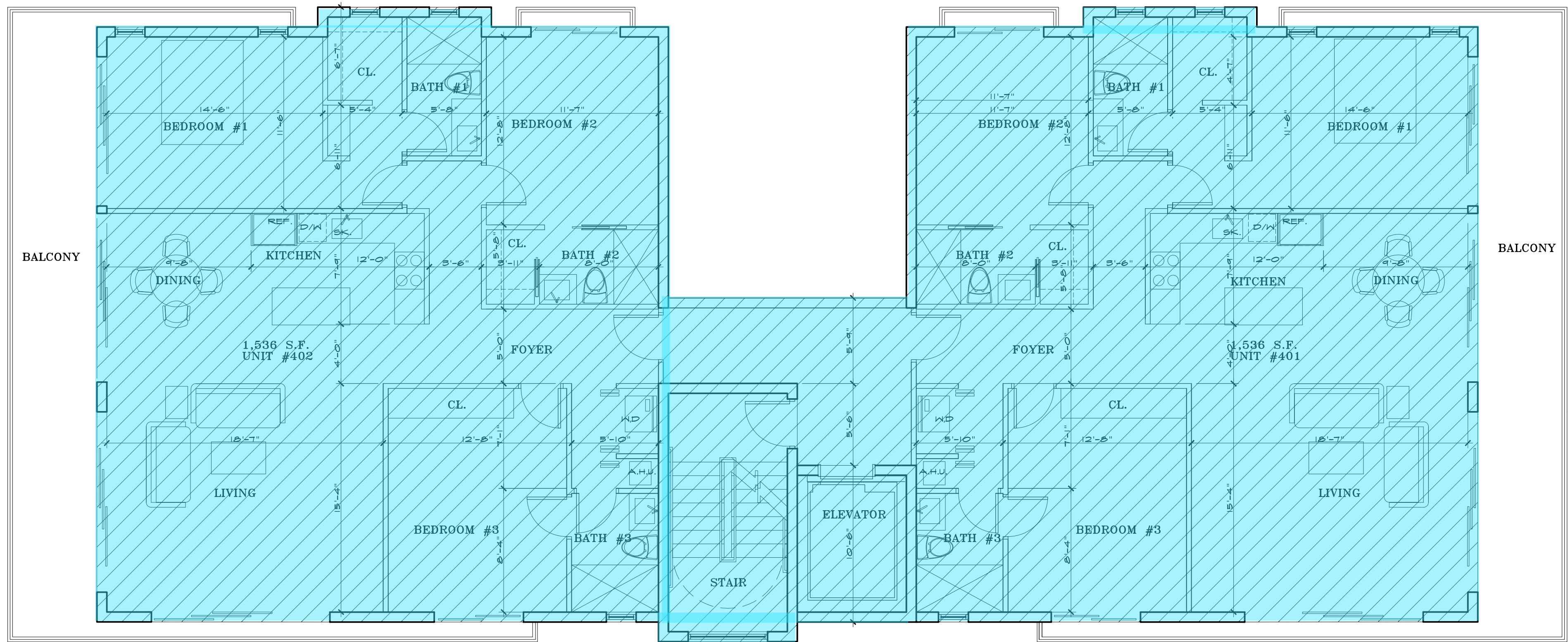
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SHEET

A-2.2

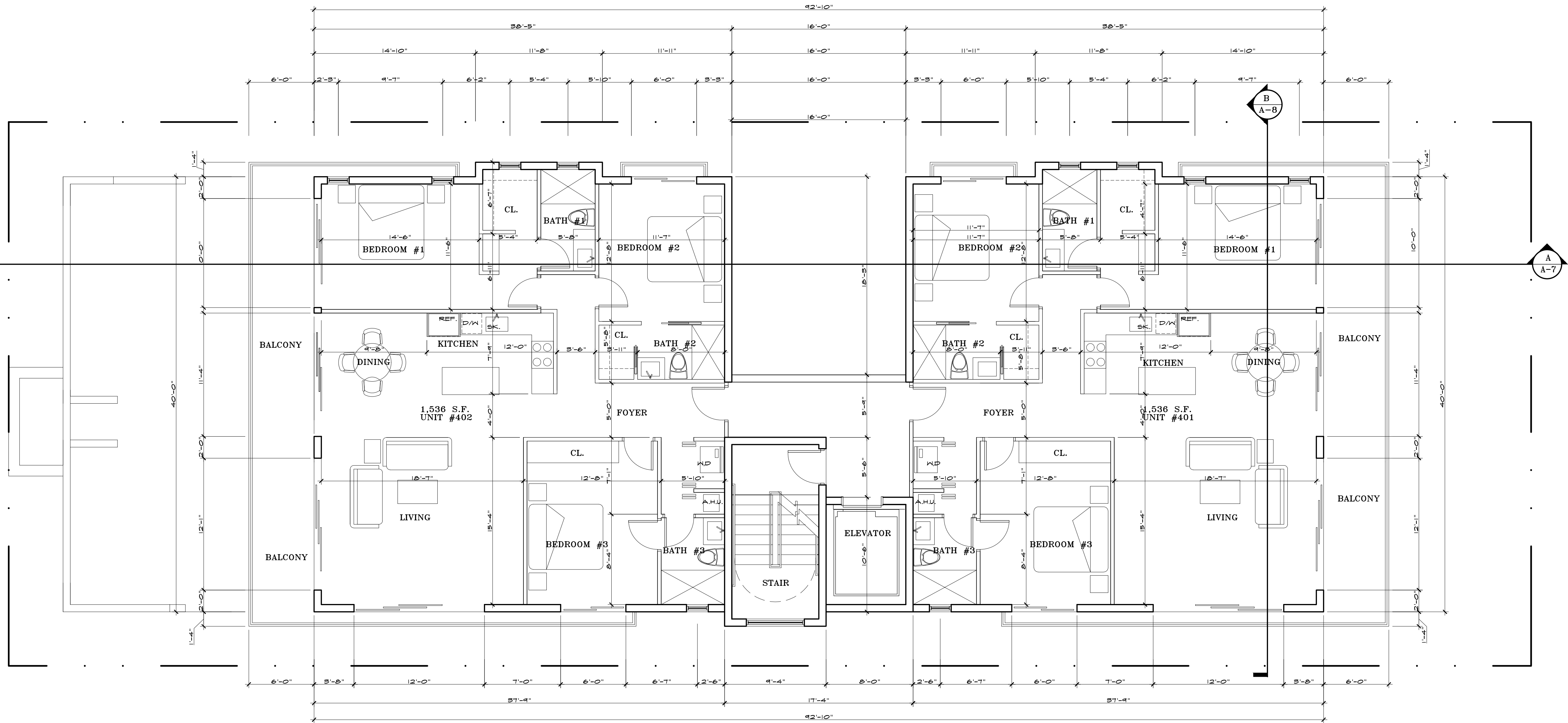
SHEET NO. OF



PROPOSED FORTH FLOOR PLAN

TOTAL F.A.R. = 3,421 S.F.

3/16"



PROPOSED FORTH FLOOR PLAN

3/16"

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AA 0003068

IB 0001031

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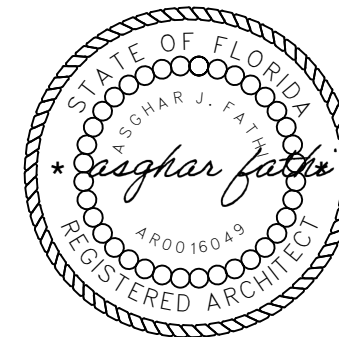
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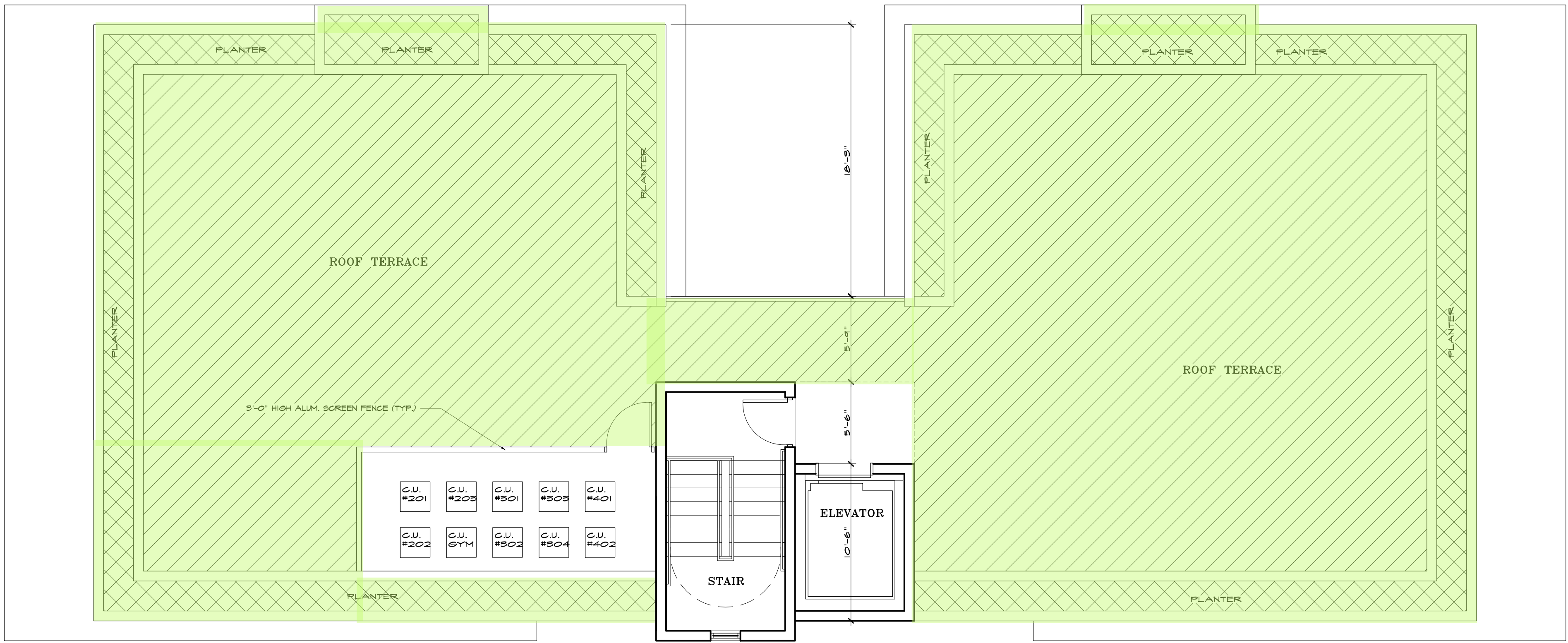
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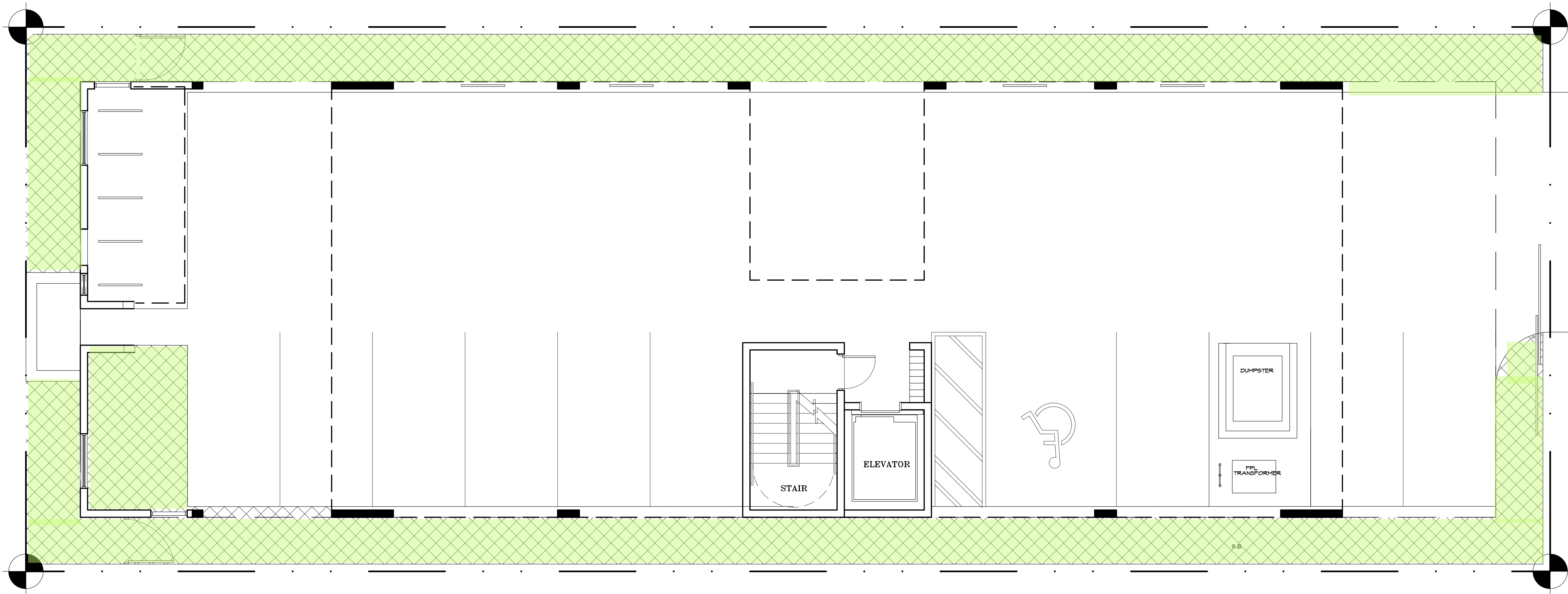
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| COMMISSION NO.: | 020223 |

SHEET
A-2.3
SHEET NO. OF



PROPOSED ROOF PLAN OPEN SPACE
TOTAL OPEN SPACE AREA = 2,979 S.F.
REQUIRED GREEN AREA = 2,979X.25=744 S.F.
PROVIDED GREEN AREA (PLANTER AREA) = 832 S.F.
TOTAL OPEN SPACE AREA PROVIDED = 2,979 S.F. ROOF + 1,583 S.F. AT GROUND = 4,562 S.F.
TOTAL OPEN SPACE REQUIRED = .65X7000=4,550 S.F.<4,562 S.F.

3/16"



PROPOSED GROUND FLOOR PLAN OPEN SPACE
OPEN SPACE AREA= 1,583 S.F.

3/16"

FATHI ARCHITECTS, INC.

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DATE: 02/02/23
SCALE: AS SHOWN
DRAWN: R.R.
CHECKED: A.F.
COMMISSION NO.: 020223

SHEET
A - 4
SHEET NO. OF



balcony railing type



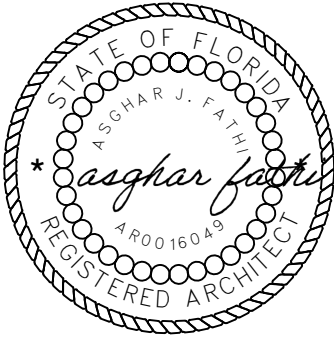
composite wood cladding

FATHI ARCHITECTS, INC.

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CONSULTANT:

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DATE: 02/02/23

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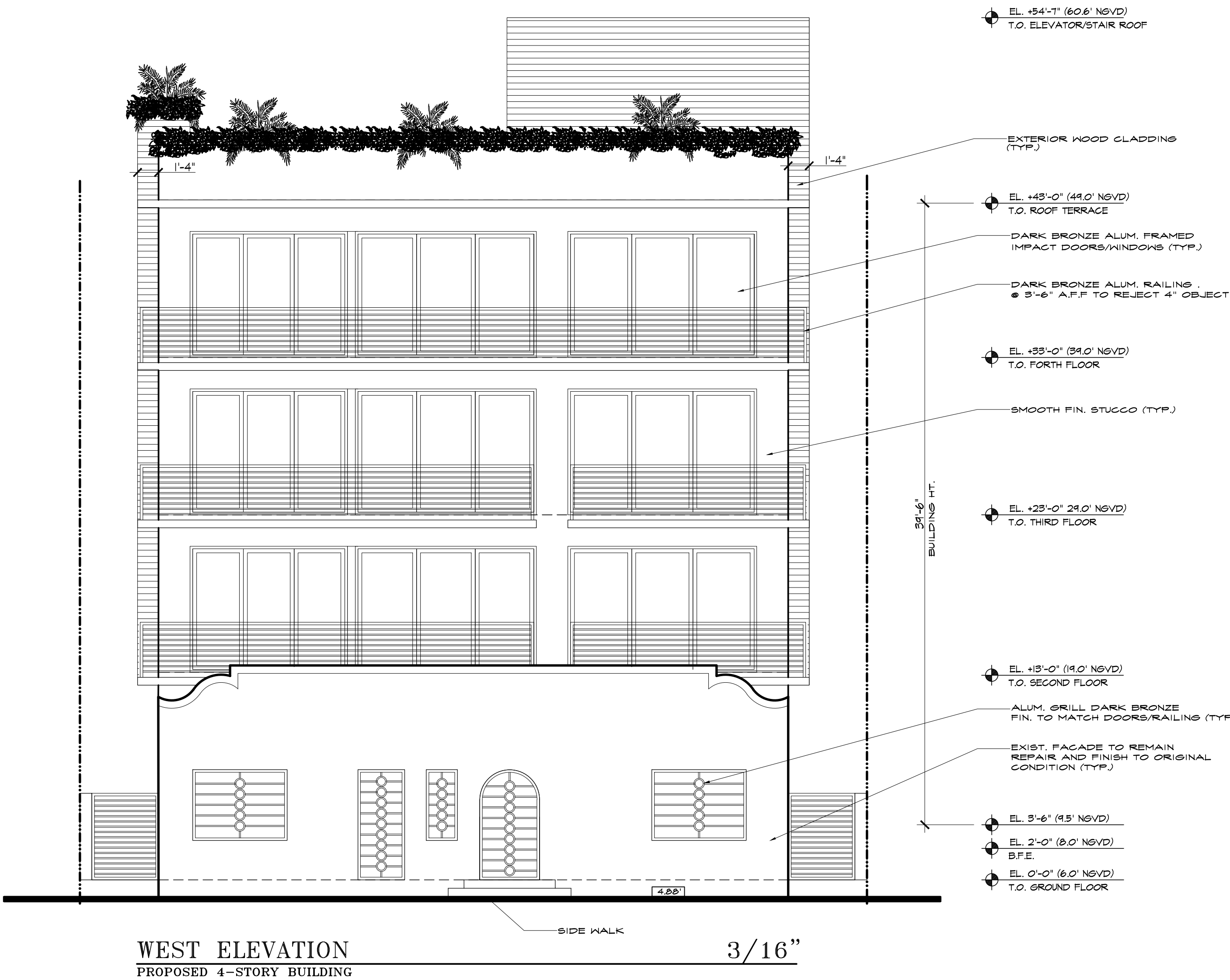
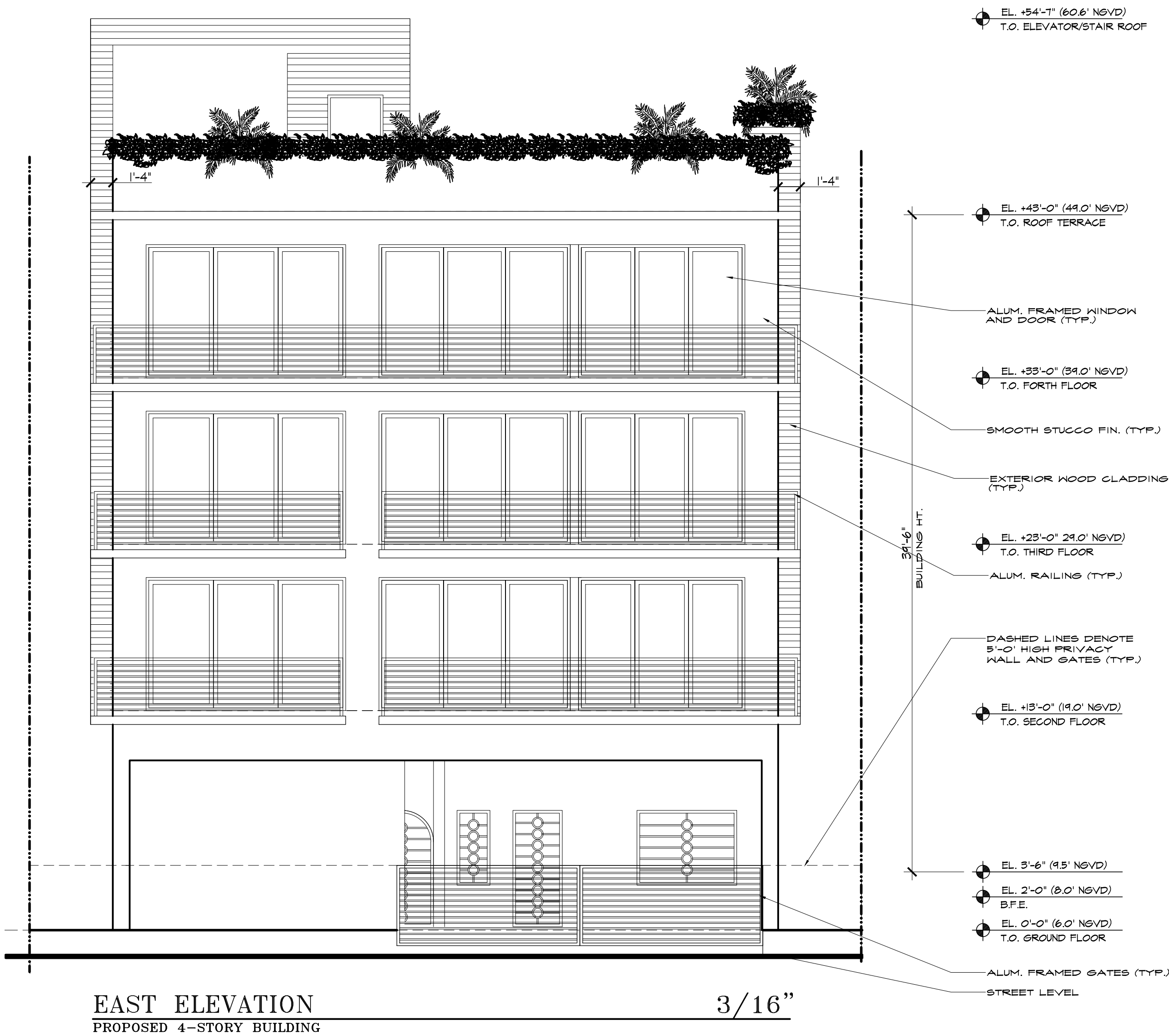
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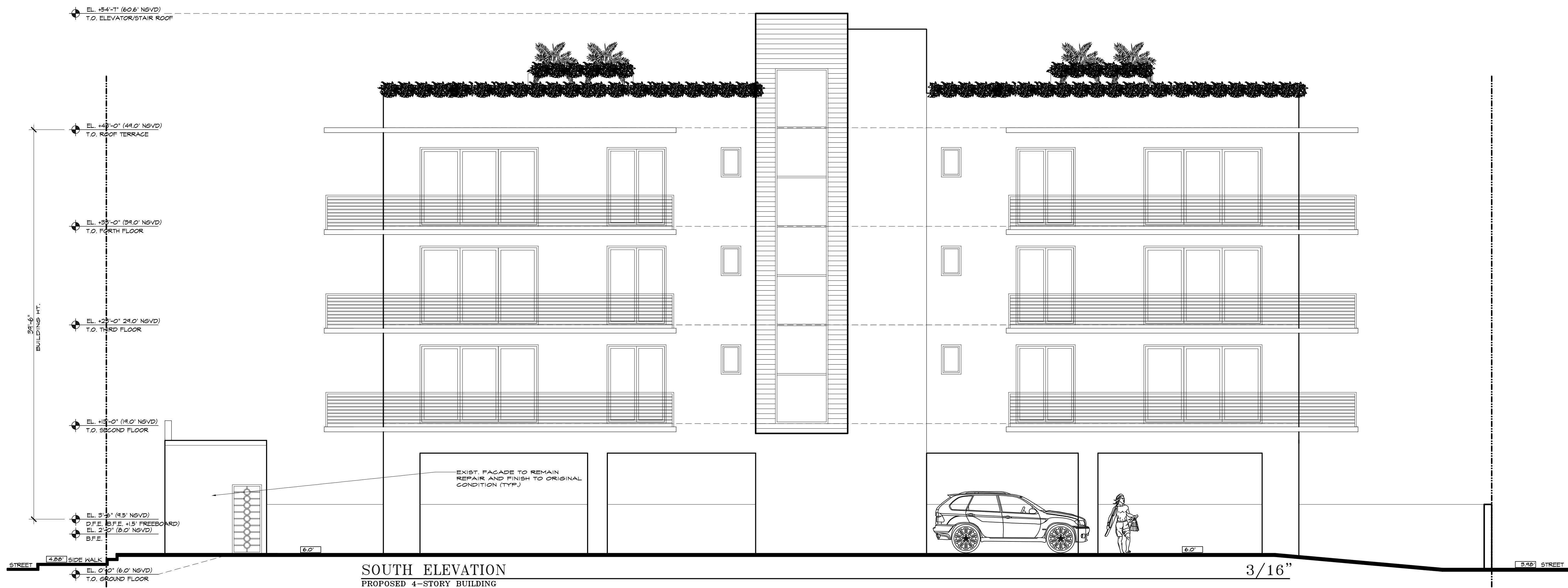
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SHEET

A-5

SHEET NO. OF





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CONSULTANT:

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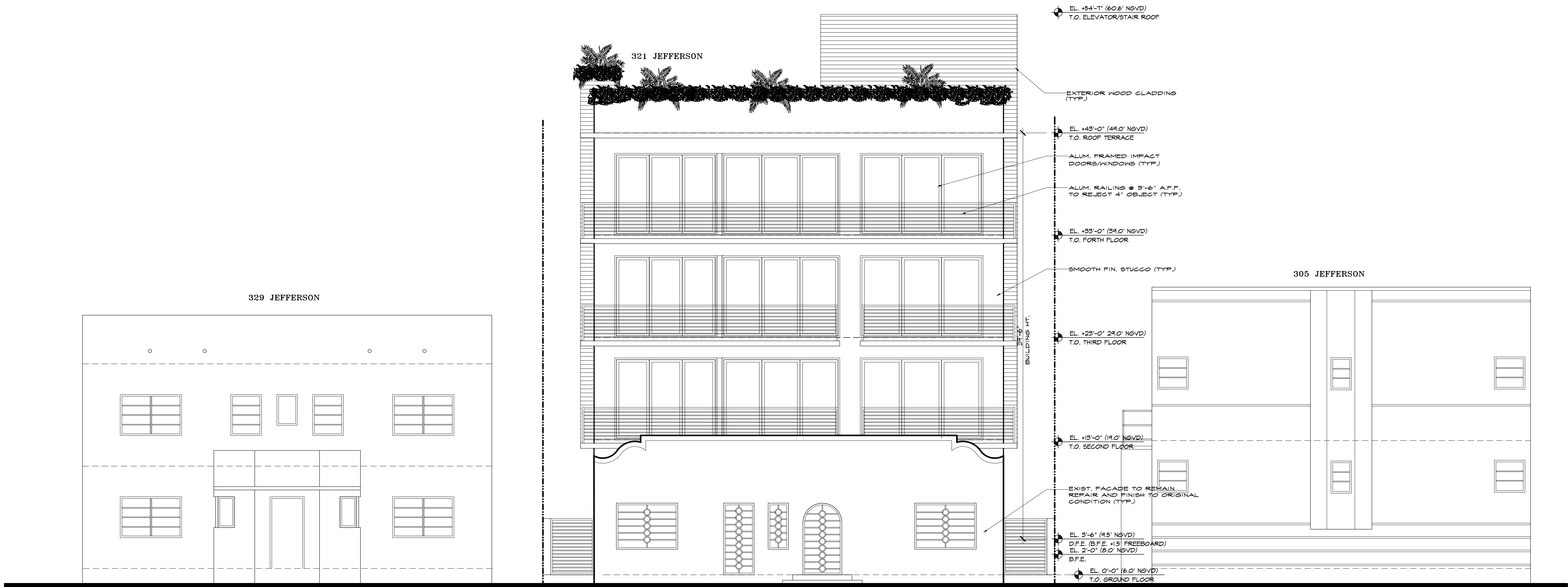
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SHEET
A-6
SHEET NO. OF



WEST ELEVATION
PROPOSED 4-STORY BUILDING

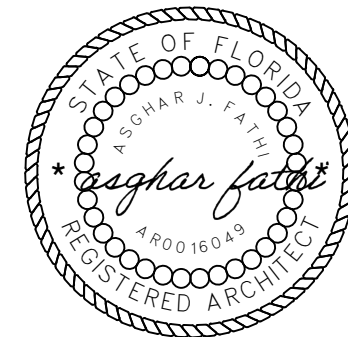
3/16"

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CONSULTANT:

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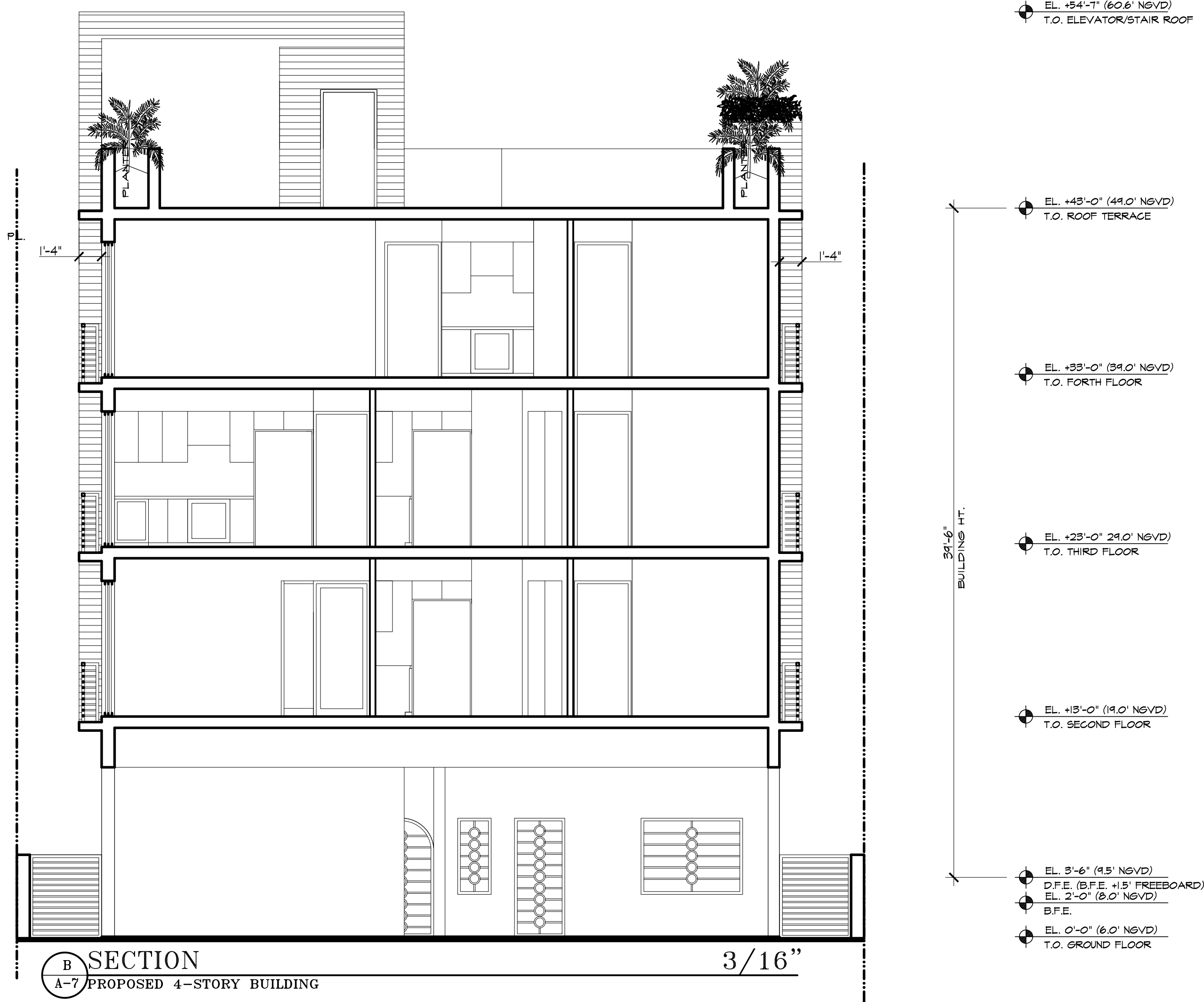
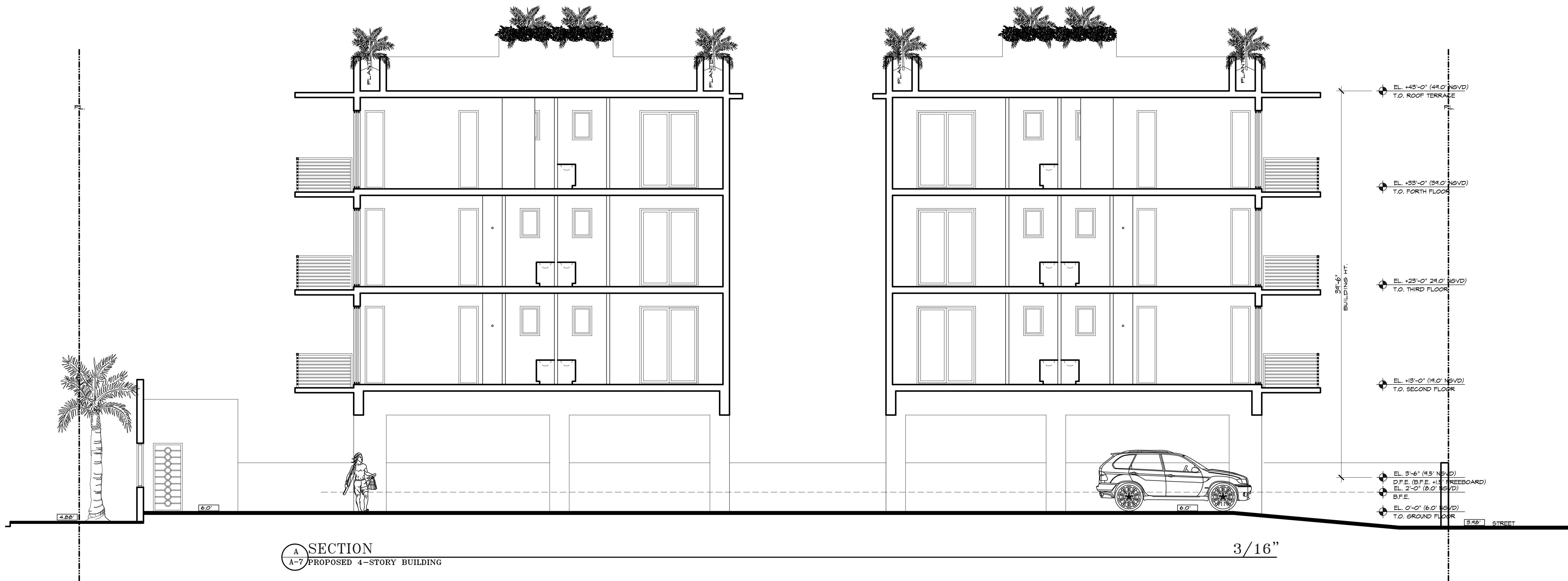
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SHEET

A - 7

SHEET NO. OF



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| SHEET | A-8 |
| SHEET NO. | OF |