

HISTORIC RESOURCES REPORT



1810 Michigan Avenue, Miami Beach, FL 33139

Report prepared by:

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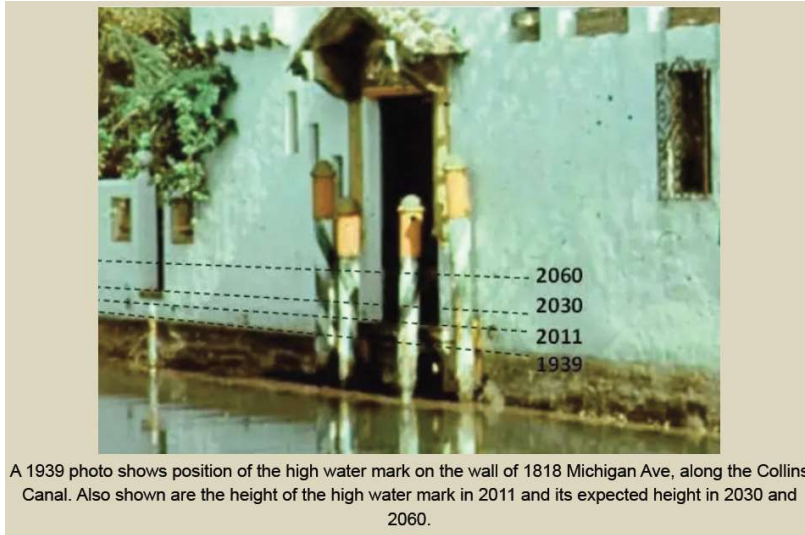
PRELIMINARY REMARKS:

The present report and attached documents comprise a survey of the property located at 1810 Michigan Avenue in Miami Beach, Florida. The project site is located in the Palm View Historic District. The subject building is surrounded by the contributing 1818 and 1800 Michigan Avenue houses, both two-stories high, as well as by the vacant land at 1039 18th Street. This report has been prepared in anticipation of the proposal for the design of the 1810 Michigan Avenue Residence. The attached study provides an overview of the existing structure based on photo surveys, historical documents and newspaper articles. The report includes, among other references, the City of Miami Beach Building Cards documenting the permit history of the property. The proposed modification is designed to reconstruct historical resources which are in current state of dilapidation, seasonal flooding and abandonment, in a manner consistent with the site's proposed development rights. The property, as well as the adjacent 1818 Michigan avenue house have been subjected to numerous non-permitted modifications carried over the span of years. A demolition permit has been recently issued by the city.

HISTORY:

The history of the site is closely related to Collins canal. The canal celebrated its 100th anniversary in 2012. Its history began when John Stiles Collins moved from New Jersey to South Florida. Collins founded the development Miami Beach Improvement Company in 1922. Construction of the canal required cutting westward through mangrove swampland. Towards Biscayne Bay. The canal is referred to as the oldest example of public development on the city. Even though Collins gave up farming on Miami Beach, he built the canal at age 75 so he could move his avocados north for shipping ¹.

Fish such as the White Grunt, Pinfish, Blue Grunt and Barracuda have been observed at the canal⁷. The canal and its neighboring Palm View Historic District has been subjected to increasingly high tides, this was even a concern as far back as 1926, as reported in a Miami Herald 10/24 article. "At no time within a long period of years has the water on the east loop of the canal been higher than a point of six inches below the top of the bulkhead. (...) it was unusually high at other points along its course." ³ A 2019 article in RE: Miami Beach addresses the resident's views on historic protections and imminent ocean level rise and cites Palm View resident Rita Starr, who owned 1810 Michigan before her passing with her husband Ivor Rose, stated that the area "floods more often and deeper than before." The article further states: "She pointed to the elevated seawall on the north side of Dade Boulevard with no openings to allow rising canal waters to run out onto the roadway. Instead, she said, there is 'flooding only on the south side' and into her property." ⁴



Record Tides Raise Collins Canal Waters

Old Residents Fail to Recall When Week's Level Exceeded

Collins canal was higher on Thursday and Friday following the storm than at any time during the last several years, the older residents averred. At no time within a long period of years has the water on the east loop of the canal been higher than a point six inches below the top of the bulkhead.

On Friday the water was lapping over the bulkheading at the Meridian ave. bridge, while it was unusually high at other points along its course.

The sea has been running high since Wednesday's storm and backs the water up into the canals and into Lake Pancoast. There is no danger of a large overflow, however, as the canal banks are sloped along the entire course.

The Collins canal increasingly made its place in the imagination of residents as evocative of Venice, and images found show gondolas navigating it. The canal saw public navigation events take place. Images from a 1925 Miami Herald article describe "a scene worthy of the artist's brush (...)" when a dozen fast racing cruisers and smaller craft were moored in the blue water" when vessels were moved temporarily from the bay dues to stormy weather.² A Miami News 1921 article described that for \$2.50 a visitor could ride gondolas⁶

NEW GONDOLA FLEET IS
GIVEN WARM WELCOME
BY WINTER VISITORS

Charming Craft Make Picturesque
Scene Gliding Up and Down
the Bay, and Through the
Collins Canal

Eventually, celebrated artist Henry Hubbell and his socialite wife found the canal ideal for his home, to be located at the adjacent Michigan Avenue.

The neighborhood was designated as a Historic District in 1999 for its embodiment of the distinctive characteristics of its historical period, architecture, design style and construction methods. The area is recognized for its association with events that have significantly contributed to the history of Miami Beach. The Palm view historic district stands as a testament to the rapid development of Miami Beach, particularly during the city's initial major land development period from 1915 to 1926. Moreover, the area holds significance in its connection to two of the city's earliest pioneers: John Collins, credited with the construction of the oldest structure within the vicinity, and Carl Fisher, renowned as the "father of Miami" for his extensive development of land across Miami Beach. The architectural styles prevalent in the neighborhood mirror those of the 1920s, encompassing ten distinct styles ranging from Mediterranean Revival to Med/Deco Transitional, Streamline Moderne, and eventually Post WWII Modern and Garden Apartment Styles. In essence, the neighborhood possesses high artistic value and historical significance, warranting its designation as a Historic District and the need for its preservation.

1810 Michigan Avenue

This contributing building, under legal description 34 53 42 PALM VIEW SUB PB 6-29 stands near the intersection of Michigan avenue and the historically significant Collins Canal.

Despite extensive research extending to local agencies and libraries, available imagery of the existing structure is limited to a few photographs of the façade and a few aerial photographs depicting the numerous unpermitted additions carried out over the span of decades, which cross setbacks and even property lines.



The proposed reconstruction is bound by setbacks imposed by current development regulations, and respects the design intent of the neighboring structures, while being significantly raised in elevation. The proposed design uses many elements of the historic design which make this property one of the most unique in Miami beach.



The existing building has morphed shape many times, our reconstruction tries to express the original positioning of the façade. Separating the front façade into thirds the middle portion is stepped back creating a landscaping feature.



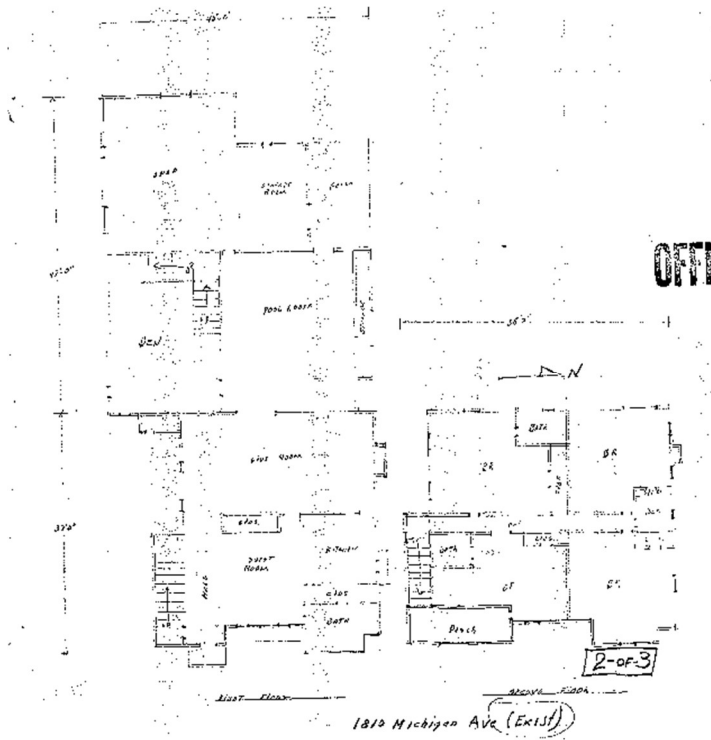
3D VIEW OF PROPOSED HOME

To recall and accentuate the original entrance, the awning is pulled forward and creates a shaded porch. The aperture into the porch is an arched opening, recalling the curved corners of the original entrance in a more pronounced manner.



HISTORIC IMAGE SHOWING THE FACADE

One of the notable features of the site of 1810 Michigan is how far back the setback for the building is. Originally a long sprawling yard giving significant distance from the house and the street. In our reconstruction the building is imagined following the same setback distance as the original house. Leaving significant space between it and the road. In addition, this new space includes the addition of an auxiliary parking garage, breaking up the expanse of lawn with a necessary function. Keeping the future residents from using the front lawn as a parking lot as we see became its' function over time.



PLAN OF HISTORIC HOME

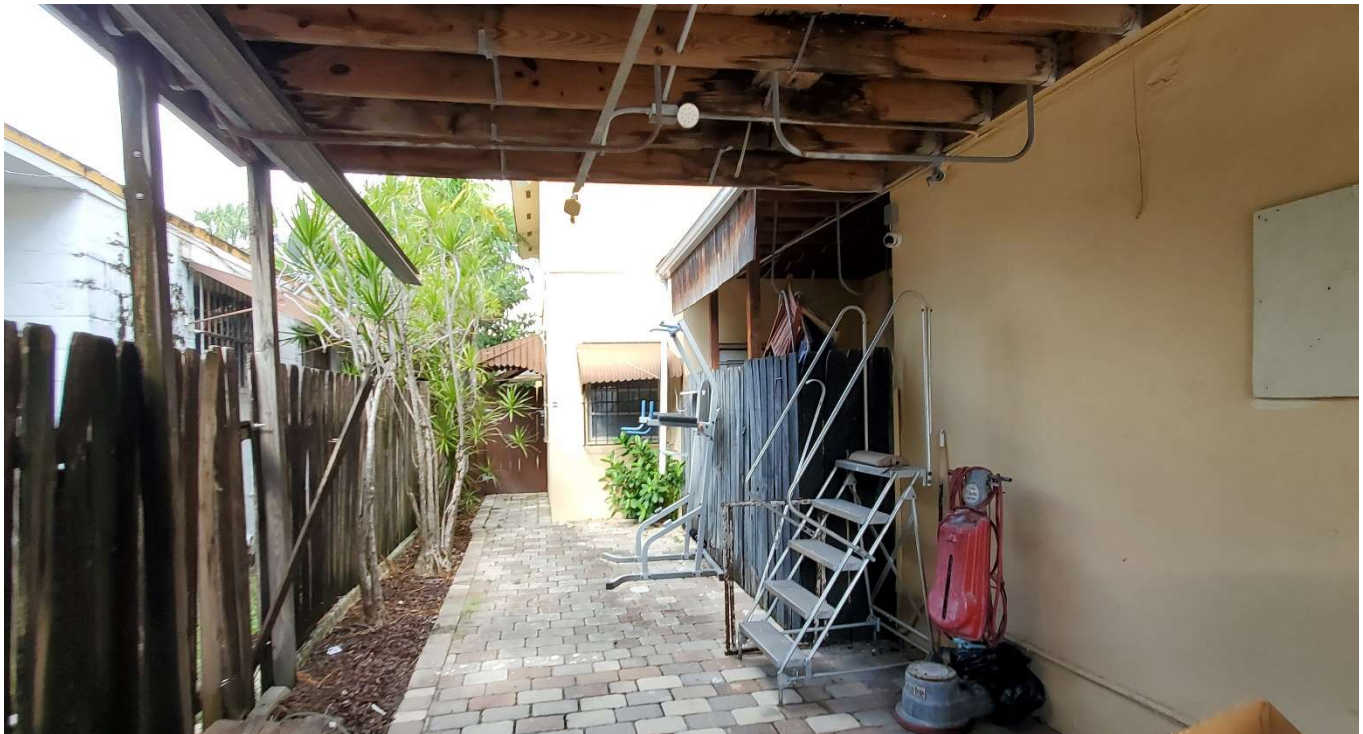


FLOOR 1

FLOOR 2

PLAN OF PROPOSED RECONSTRUCTION HOME

PHOTO SURVEY:



EXISTING CONDITION – SOUTH ELEVATION



EXISTING CONDITION - EAST ELEVATION



EXISTING CONDITION – NORTH ELEVATION



EXISTING CONDITION – WEST ELEVATION

BUILDING CARD:

Owner H. S. HUBBELL **Mailing Address** **Permit No.** 1103 **Date** Feb. 24-1925

Lot 2 **Block** 10 **Subdivision** PALM VIEW **Address** 1810 Michigan avenue

General Contractor Hubbell & Hubbell **Address**

Architect Owners- **Bond** 29 **Address**

Front 33'-0 **Depth** 40'-8 **Height** 24'-0 **Stories** 2 **Use** Residence & Garage

Type of construction Ordinary **Cost** \$ 14,500.00 **Foundation** Reinf. concrete **Roof**

Plumbing Contractor Dulbs & Company **Address** **Date** Mar. 17-1925

Plumbing Fixtures 13 **Rough approved by** H. Scheibll **Date**

Gas Stoves

Gas Heaters **Address** **Date**

March 27-1925 **Final approved by** **Date**

Sewer connection 1 **Septic tank** **Make** **Date**

Electrical Contractor Causeway Electric Co. **Address** **Date** Mar. 23-1925

Switch **Range** 1 **Motors** **Fans** **Temporary service**

OUTLETS Light 48 **HEATERS** Water 1 **Centers of Distribution**

Receptacles **Space**

Electrical Contractor Dade Electric Co. **Address** **Date** May 14-1926

No. fixtures set 24 **Final approved by** **Date**

Date of service

Alterations or repairs **Date**

ELECTRICAL # 39503 Lyon Electric: 1 Motor, May 26, 1953 Page 6/4/53 ok

Over

ALTERATIONS & ADDITIONS

Building Permits:

XXXXXXXXXXXXXXXXXXXXXX XXXXXX XXXXXXXX

#00361 - owner - davit and support pad \$100.00 1/7/72

#00360-Owner-Pour slab replace bricks, removed wood floor pave slab-\$1000-1-5-72

#03945-Owner-Repair and alterations-\$2000-8-31-73

#0860 7-Owner-Minor repairs, patching, painting-\$900-2-13-76

#90959 6/6/83 owner replace roof \$2,600.

#91001 7/5/83 Ivor Hano Rose wood frame addition 1360 sq.ft. (2nd fl) to a single fam house as per plans \$6,500.

#27656 11/18/85 Termite & Fumigation - tent fumigation \$500.

#MO7881 2/3/86 Rose, Ivor Johnson - 2-1 ton air cond wind replacement only

Plumbing Permits:

#53537 Astor Elec: 1 Motor (LHP) - April 21, 1959

Electrical Permits: #69061 - Ocean Elect. - 1 violations 8/27/71

#69203 - E & E Elect. - 2 center of distribution - violations - service 200A 10/22/71
(Permit of Ocean Elect. voided as elect. requested by Ocean Elect. 10/4/71)

PERMIT #69203 OF E & E ELECTRIC VOIDED BY REQUEST OF E & E ELECTRIC DECEMBER 29, 1971 by LETTER

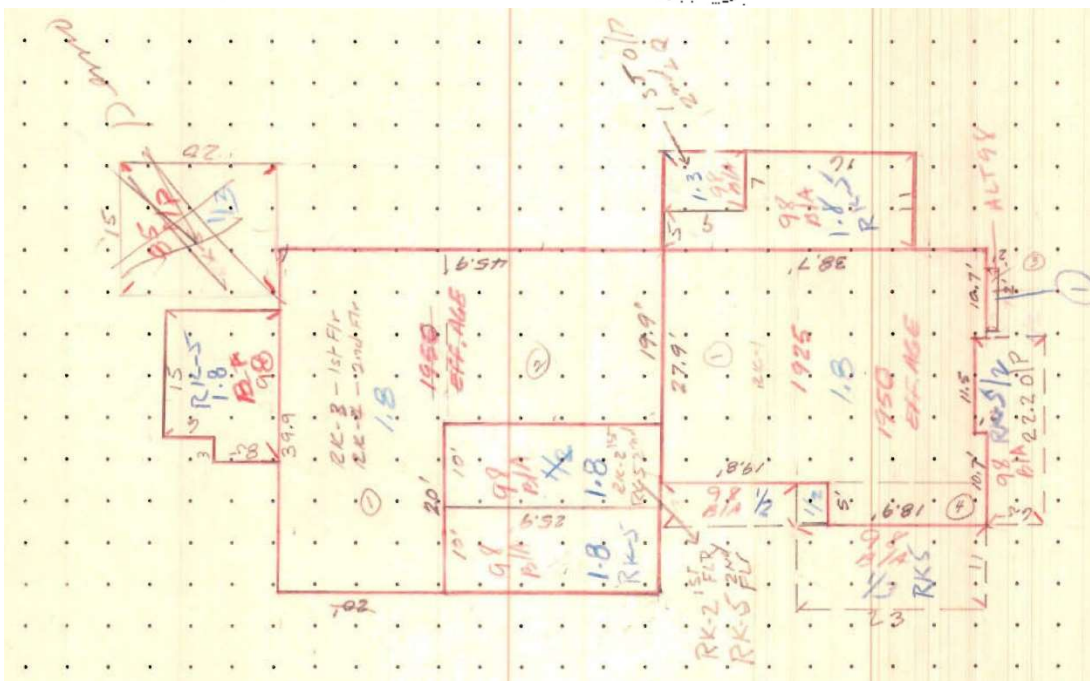
#69480-Dade Electric, Inc.-Correct violations.-2-28-72

#78807 8/22/83 JAC Elect - 400A service temp

DATE PERMIT	AMT. PERMIT	PERMIT NO.	DATE CK'D	DEPUTY
FOLIO	3234-04-013	NAME		
LEGAL DESC'PT.	1924	ADDRESS OF PROP.	1810 Michigan Ave	
SCHOOL DIST.	PB	MAIL ADDRESS		

BUILDINGS	A	B	C	OPERATORS		YR.	LAND	IMPR.	TOTAL	REMARKS
				FOLIO	PLATES					
		85								
		+12						7720		9/5/00 723 Calc
		97-776								Adams 7-5-73
TYPE BLDG.	RES									R/WK-15% DBS-At.
MATERIAL	CEB	31								B/A-C/S-UG
STORIES	2									CL LATE 74
FOUND.	CONC									10070-14 & 9074
FLOORS	WOOD	12								CEB
BED ROOMS	4									R/WK-BA, ELEC. UG.
BATHS	2						74	P	14623	9070-10074 74
ROOF	F-B4	10								C/S 75
SASH										
PLUMBING	019	5								01 4/2
ELECTRIC	019	3								2032 1
A/C-HEAT										10-12-72 02
PROJ./CUST.										
MISC'L		24								

Hand-drawn floor plan of the 1st floor of a building. The plan shows a large central area with a staircase, several rooms labeled "DATA ROOM", and a "POST ROOM". A north arrow points towards the top right. The plan is labeled "1st Floor" and "2nd Floor".



14-April-2024



- Page 13 of 13