

SELECTIVE RENOVATION  
DESIGN REVIEW BOARD FILE DRB23-0958  
MODIFICATION OF DRB 22964

**MADISON WORTH  
ARCHITECTURE, P.C.**  
485 Madison Avenue, Suite 200, New York, NY 10022 • Tel. 212.355.3261  
125 Worth Avenue, Suite 306, Palm Beach, FL 33480 • Tel. 561.833.3242

NOTES:

- RENOVATE EXISTING STUDY INTO A BEDROOM WITH A FULL BATHROOM AND ENCLOSE ATTACHED BALCONY
- PROTECTION AND PRESERVATION OF ALL EXISTING EXTERIOR DOORS AND PENETRATION
- PROTECTION AND PRESERVATION OF ALL EXISTING STRUCTURAL ELEMENTS
- CAPPING OF ALL MECHANICAL, ELECTRICAL AND SYSTEMS PRIOR TO ANY DEMOLITION
- NEW CASEWORK, PLASTER, STONE WORK AND WOOD FLOORING.
- NEW INTERIOR PAINTING

- A-0.00 COVER SHEET
- A-0.01 SITE LOCATION MAP
- A-0.10a PHOTOS OF EXISTING CONDITIONS
- A-0.10b PHOTOS OF EXISTING CONDITIONS
- A-0.10c PHOTOS OF EXISTING CONDITIONS
- A-0.02 EXISTING SITE PLAN AND AREA OF WORK
- A-0.04 ZONING DATA SHEET
- A-0.05 LOT AREA DIAGRAM
- A-0.50 EXISTING OVERALL PLAN - 2ND FLOOR
- A-0.50a SITE AREAS - CURRENT
- A-0.50b PROPERTY AREAS - ORIGINAL, CURRENT, PROPOSED
- A-0.50c PROPERTY AREAS - ORIGINAL, CURRENT, PROPOSED
- A-0.50d BUILDING AREAS - ORIGINAL, CURRENT, PROPOSED
- A-0.50e BUILDING AREAS - ORIGINAL, CURRENT, PROPOSED
- A-0.50f BUILDING AREAS - ORIGINAL, CURRENT, PROPOSED
- A-0.50g BUILDING AREAS - ORIGINAL, CURRENT, PROPOSED
- A-1.00 EXISTING FLOOR PLAN - 2ND FLOOR
- A-1.01 DEMOLITION PLAN - 2ND FLOOR
- A-1.02 PROPOSED FLOOR PLAN - 2ND FLOOR
- A-1.03a EXISTING ROOF PLAN
- A-1.03b PROPOSED ROOF PLAN
- A-2.00 EXISTING AND PROPOSED ELEVATIONS
- A-5.00 RENDERING
- A-5.01 RENDERING

## An aerial photograph of the Palm Jumeirah artificial island in Dubai, United Arab Emirates. The island is shaped like a palm tree and is divided into several sections. A red dashed line outlines the main trunk and fronds of the palm. A scale bar labeled '1 MILE' is positioned horizontally across the middle of the image. Text labels are overlaid on the image: 'STAR, PALM AND HIBISCUS ISLANDS' is located in the upper right section, and 'Dodge Island' is located in the lower left section. The surrounding water is a deep blue-green color.

AREA OF WORK:  
428 S HIBISCUS DRIVE  
MIAMI BEACH, FL 33139

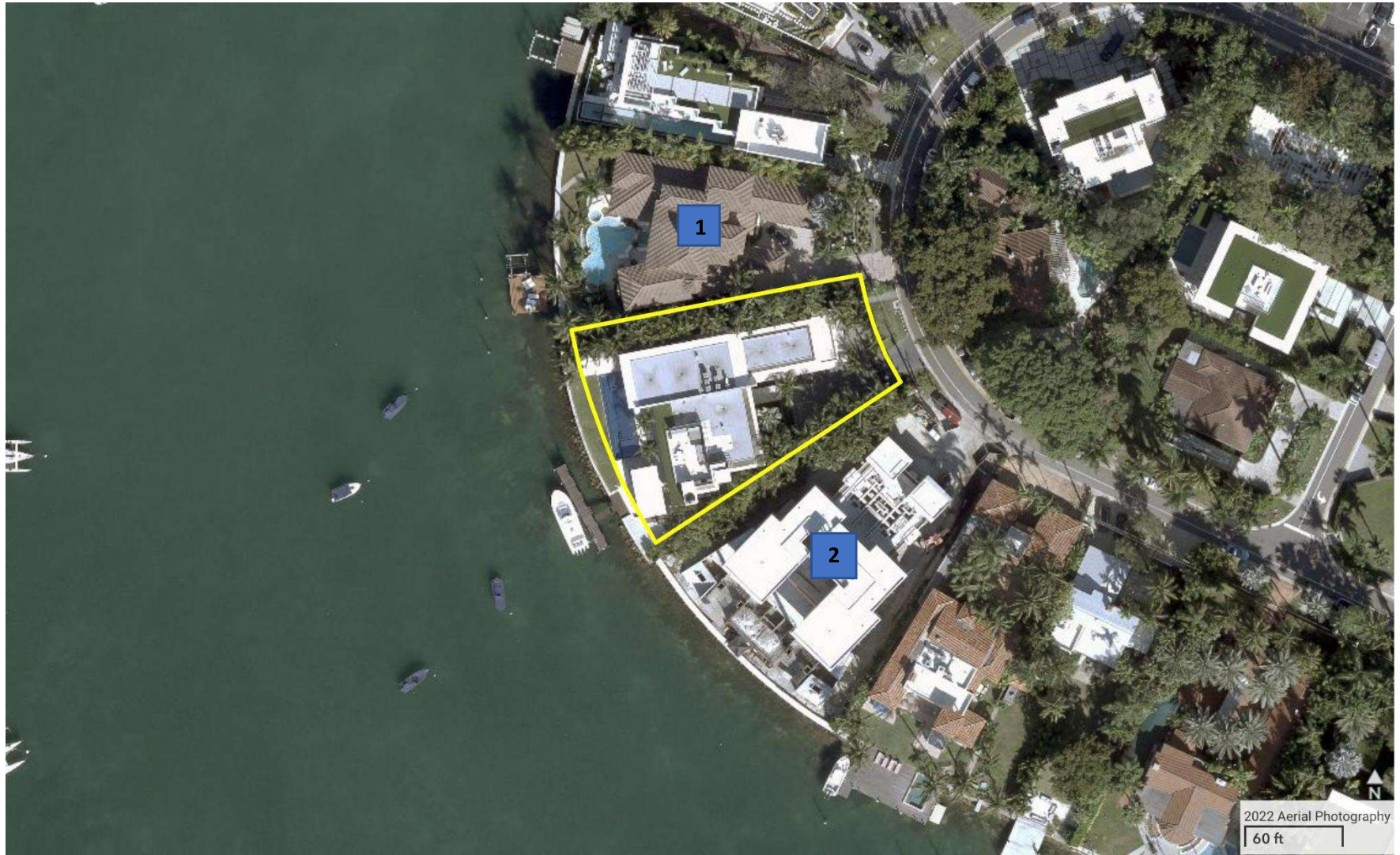
2	FINAL SUBMITTAL	10/11/2023
1	FIRST SUBMITTAL	09/18/2023
NO.	ISSUE DESCRIPTION	DATE

PROJECT: PRIVATE RESIDENCE  
428 S HIBISCUS DRIVE  
MIAMI BEACH, FL 33139

SHEET TITLE:

COVER SHEET

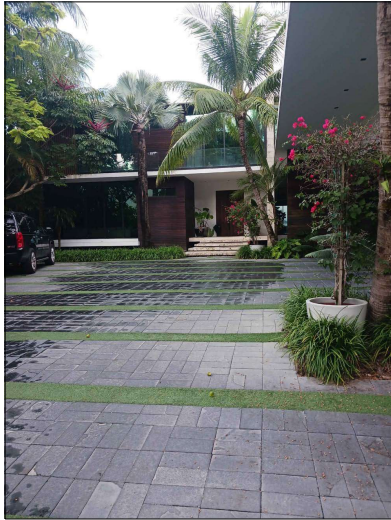
DATE: AUGUST 21, 2023	
PROJECT No.:	
SCALE: AS NOTED	
CHK BY:	
DWG. No.:	
A-0.00	
CAD FILE:	PAGE No:



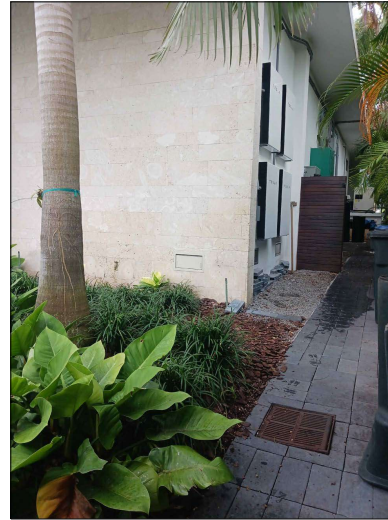
<b>No.</b>	<b>Property Address</b>	<b>Neighbor Support</b>
<b>1</b>	432 S Hibiscus Dr	Andrew Mirmelli
<b>2</b>	420 S Hibiscus Dr	Daniel Kodsí







① FRONT LOOKING SOUTHWEST



② SIDE LOOKING SOUTHEAST

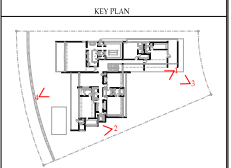


③ FRONT LOOKING WEST



④ REAR - LOOKING NORTH

NOTES:



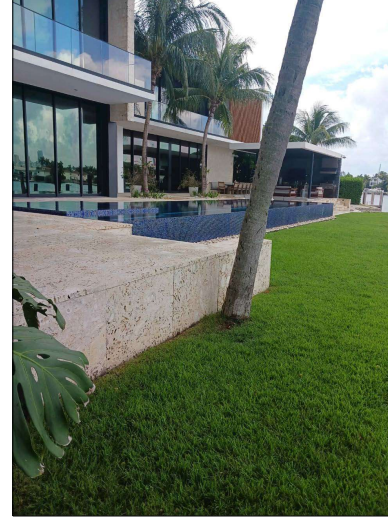
2	FINAL SUBMITTAL	10/11/2023
1	FIRST SUBMITTAL	09/18/2023
NO.	ISSUE DESCRIPTION	DATE

PROJECT:  
PRIVATE RESIDENCE  
428 S HIBISCUS DRIVE  
MIAMI BEACH, FL 33139

SHEET TITLE:  
PHOTOS OF EXISTING  
CONDITIONS

SEAL & SIGNATURE  
DATE: AUGUST 21, 2023  
PROJECT No.:  
SCALE: AS NOTED  
CHK. BY:  
DATE: 8/21/23  
A-0.10b  
CHECKED: [Signature] PLOTTED: [Signature]





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NOTES:


### KEY PLAN

2	FINAL SUBMITTAL	10/11/2023
1	FIRST SUBMITTAL	09/14/2023
NO.	ISSUE DESCRIPTION	DATE

PROJECT: PRIVATE RESIDENCE  
428 S HIBISCUS DRIVE  
MIAMI BEACH, FL 33139

SHEET TITLE:

PHOTOS OF EXISTING  
CONDITIONS

SEAL & SIGNATURE:	DATE: AUGUST 21, 2023
	PRIJECT No.: _____
	SCALE: AS NOTED
	CHE BY: _____
	DPG No.: <b>A-0.10c</b>
	CAD FILE: _____ PLOT: Not

# MADISON WORTH ARCHITECTURE, DPC


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## NOTES:

2	FINAL SUBMITTAL	10/11/2023
1	FIRST SUBMITTAL	09/18/2023
NO.	ISSUE DESCRIPTION	DATE

PROJECT: PRIVATE RESIDENCE  
428 S HIBISCUS DRIVE  
MIAMI BEACH, FL 33139

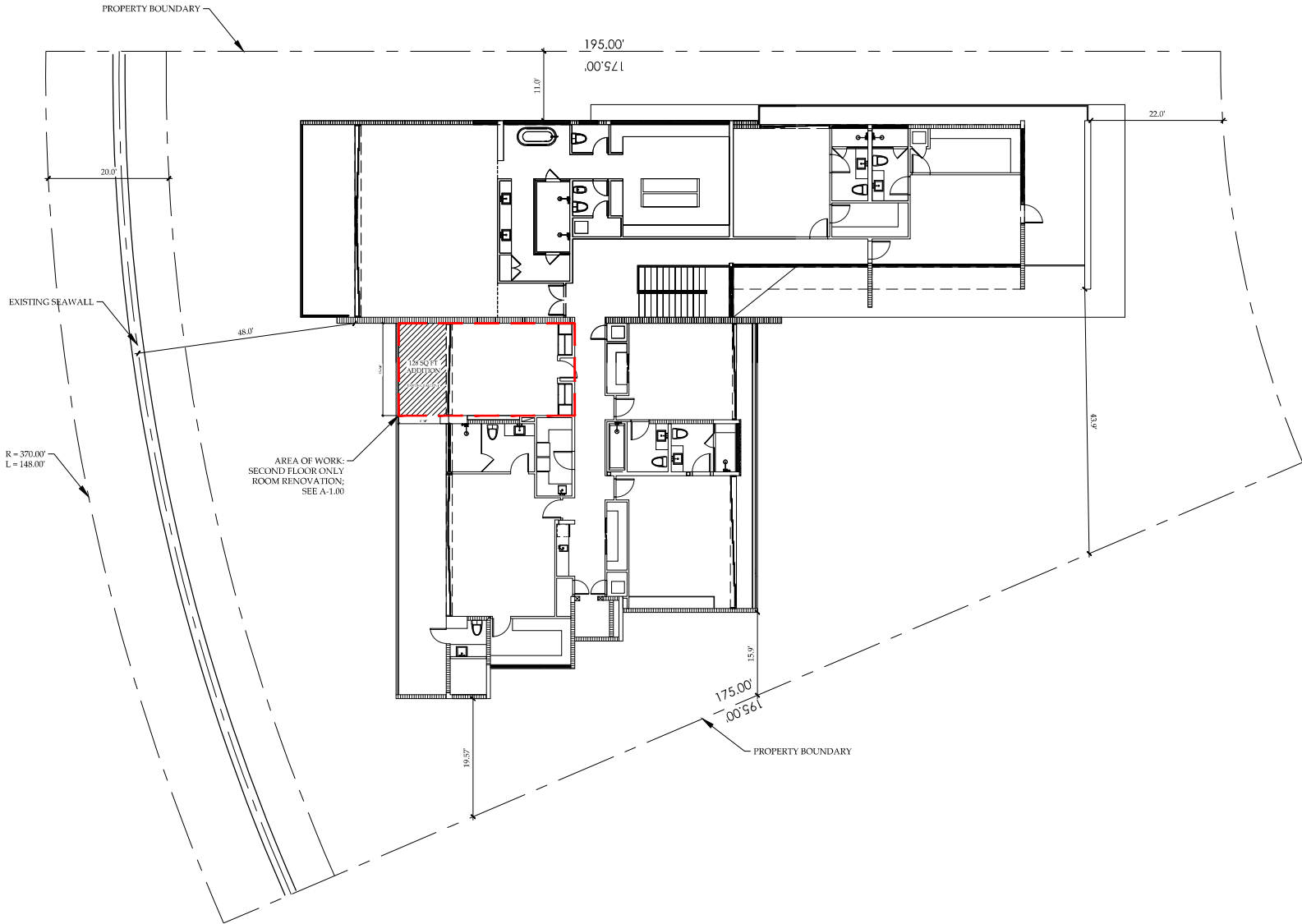
SHEET TITLE:  
EXISTING OVERALL PLAN -  
SECOND FLOOR

SEAL & SIGNATURE  


DATE: AUGUST 31, 2023  
PROJECT No.:  
SCALE: AS NOTED  
CHK. BY:  
DPC No.:  
CREDITS: PAGE No.

A-0.50

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① EXISTING OVERALL PLAN - SECOND FLOOR  
SCALE: 1/8" = 1'-0"




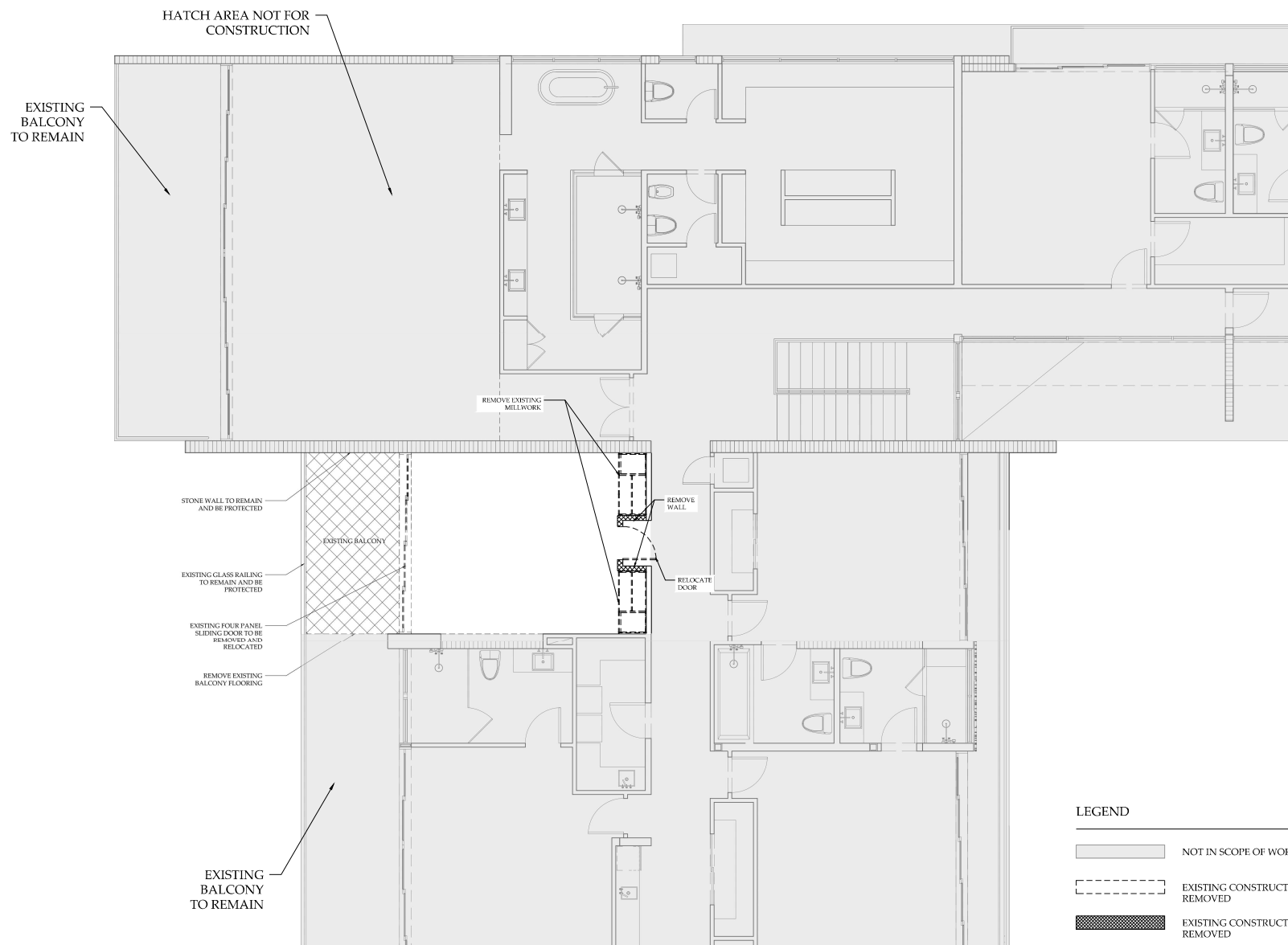


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PROJECT: PRIVATE RESIDENCE  
428 S HIBISCUS DRIVE  
MIAMI BEACH, FL 33139

DEMOLITION PLAN -  
SECOND FLOOR




<p>SEAL &amp; SIGNATURE:</p> 	<p>DATE: AUGUST 21, 2023</p> <p>PURPOSE No.: _____</p> <p>SCALE: AS-SHOWN</p> <p>CHK. BY: _____</p> <p>DATE: No. _____</p> <p style="font-size: 2em; text-align: center;">A-1.01</p> <p>CAD FILE: _____ PAGE No. _____</p>
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1 DEMOLITION PLAN - SECOND FLOOR  
SCALE: 1/4" = 1'-0"



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- |   |                                     |
|---|-------------------------------------|
|  | NOT IN SCOPE OF WORK                |
|  | EXISTING CONSTRUCTION TO BE REMOVED |
|  | EXISTING CONSTRUCTION TO BE REMOVED |

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DATE: AUGUST 21, 1979

SCALE AS NOTED

OWG Note

CAD FILE:	ITM66.Ncg
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EXISTING BALCONY.

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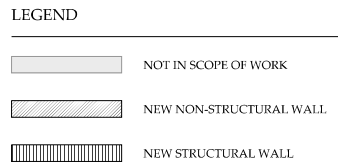
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1 EXISTING FLOOR PLAN - SECOND FLOOR  
SCALE: 1/4" = 1'-0"



- THERE IS NO CHANGE PROPOSED TO THE EXISTING ROOF AS A PART OF THIS APPLICATION
- PROPOSED AREA OF WORK IS NOT VISIBLE FROM ABOVE
- PROPOSED AREA OF WORK IS NOT VISIBLE FROM THE PROPERTY TO THE WEST
- PROPOSED AREA OF WORK IS NOT VISIBLE FROM THE PROPERTY TO THE EAST

1 EXISTING ROOF PLAN  
SCALE 1/8" = 1'-0"



2	FINAL SUBMITTAL	10/11/2023
1	FIRST SUBMITTAL	09/18/2023
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PROJECT:  
PRIVATE RESIDENCE  
428 S HIBISCUS DRIVE  
MIAMI BEACH, FL 33139

SHEET TITLE:

EXISTING ROOF PLAN



DATE: AUGUST 21, 2023  
PROJECT No.:  
SCALE: AS NOTED  
CHK BY:  
DWG No.:  
**A-1.03a**  
CADDIST: TACON, INC.



101

PROJECT: PRIVATE RESIDENCE  
428 S HIBISCUS DRIVE  
MIAMI BEACH, FL 33139

PROPOSED ROOF PLAN

DATE: AUGUST 21, 2023  
PROJECT No.:  
SCALE: AS NOTED  
CHK. BY:  
DWG. No.:  
**A-1.03b**  
CADD FILE: /CADD Not

Architectural floor plan of the 1963-64 USFWS Alaska Wildlife Refuge Station. The plan shows a large rectangular building with a central corridor and several rooms. Rooms are labeled with names and dates, such as 'BIOLOGICAL LABORATORY' and 'BIOLOGICAL STORAGE'. A small inset shows a 'PLAN OF STATION' with a grid of rooms. The plan is oriented with North at the top.


- THERE IS NO CHANGE PROPOSED TO THE EXISTING ROOF AS A PART OF THIS APPLICATION
- PROPOSED AREA OF WORK IS NOT VISIBLE FROM ABOVE
- PROPOSED AREA OF WORK IS NOT VISIBLE FROM THE PROPERTY TO THE WEST
- PROPOSED AREA OF WORK IS NOT VISIBLE FROM THE PROPERTY TO THE EAST

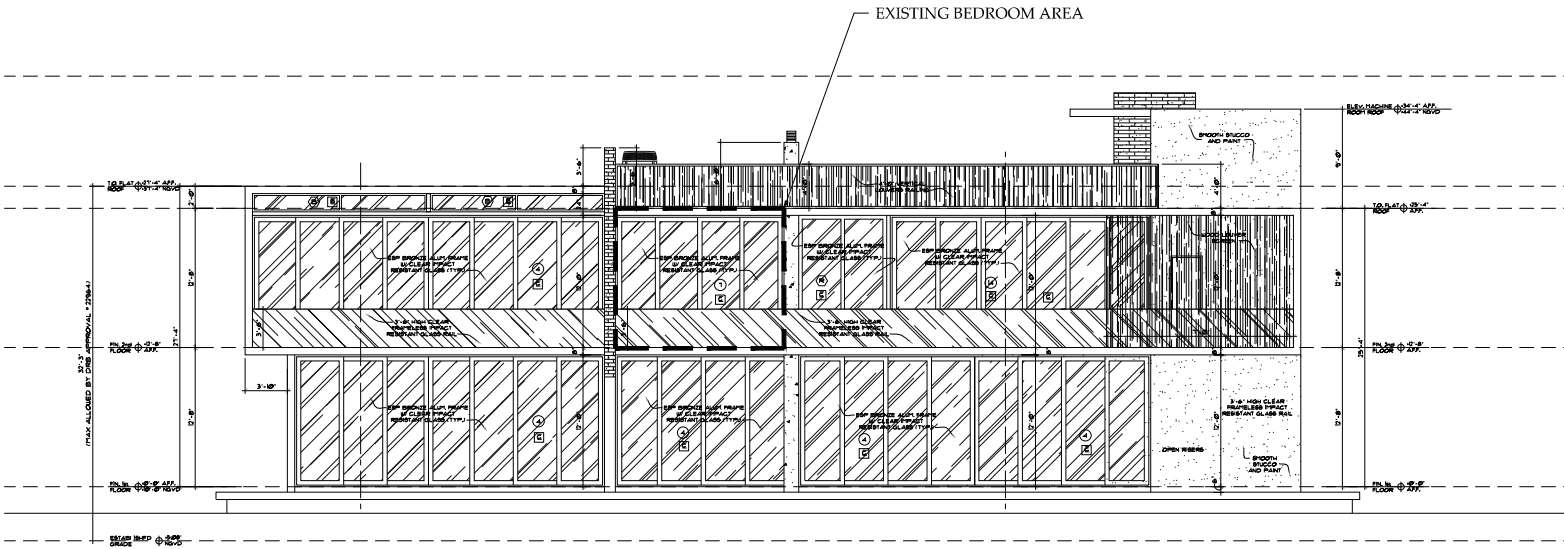
NOTES:

2	FINAL SUBMITTAL	10/11/2023
1	FIRST SUBMITTAL	09/18/2023
N/A	ISSUE DESCRIPTION	DATE

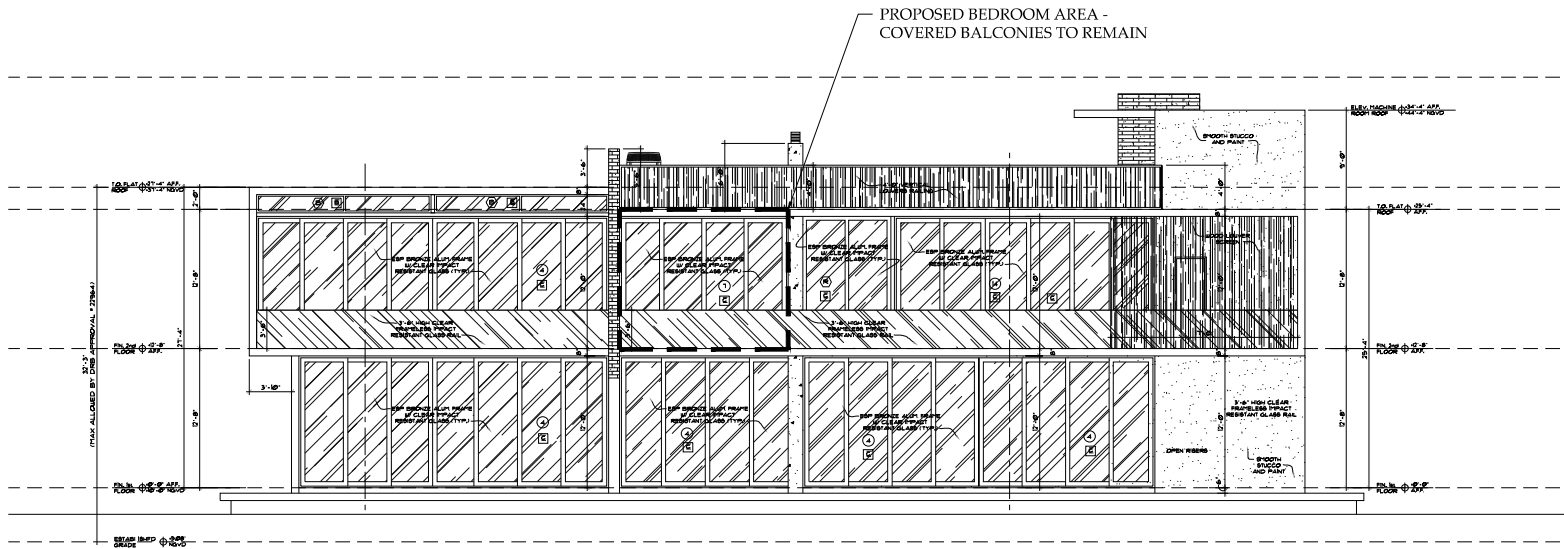
PROJECT:  
PRIVATE RESIDENCE  
428 S HIBISCUS DRIVE  
MIAMI BEACH, FL 33139

SHEET TITLE:  
EXISTING AND PROPOSED  
ELEVATIONS

	DATE: AUGUST 31, 2023
	PROJECT NO.:
	SCALE: AS SHOWN
	CHECKED BY: A-2.00



① EXISTING REAR ELEVATION  
SCALE: 3/16" = 1'-0"



② PROPOSED REAR ELEVATION  
SCALE: 3/16" = 1'-0"



NOTES:

2	FINAL SUBMITTAL
1	FIRST SUBMITTAL
NO.	ISSUE DESCRIPTION

PROJECT:	PRIVATE RESIDENCE
	428 S HIBISCUS DRIVE
	MIAMI BEACH, FL 33139

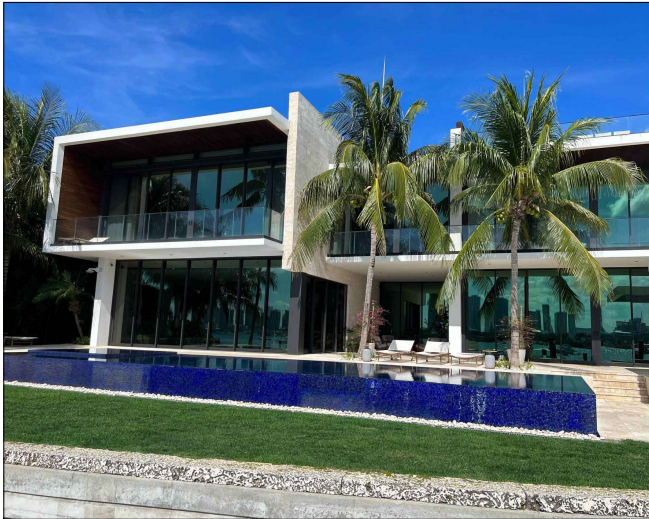
SHEET TITLE:	RENDERING
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SEAL & SIGNATURE STATE OF FLORIDA J. P. [Signature] 20200819 REGISTERED ARCHITECT	DATE: AUGUST 21, 2021 PROJECT No.: SCALE: AS NOTED CHK. BY: DATE: 8/21/21 A-5.00 CHECKED: [Signature] DRAWN BY: [Signature]
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AREA OF PROPOSED WORK



① REAR - LOOKING NORTH EXISTING



② REAR - LOOKING NORTH PROPOSED

NOTES:

- THERE IS NO CHANGE PROPOSED TO THE EXISTING ROOF AS A PART OF THIS APPLICATION
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- PROPOSED AREA OF WORK IS NOT VISIBLE FROM THE PROPERTY TO THE WEST
- PROPOSED AREA OF WORK IS NOT VISIBLE FROM THE PROPERTY TO THE EAST



① REAR - LOOKING NORTH EXISTING



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NO	ISSUE DESCRIPTION	DATE

PROJECT:  
PRIVATE RESIDENCE  
428 S HIBISCUS DRIVE  
MIAMI BEACH, FL 33139

SHEET TITLE:

## RENDERING



DATE: AUGUST 21, 2023  
PROJECT No.:  
SCALE: AS NOTED  
CHK. BY:  
DWG. No.:  
**A-5.01**  
CAD FILE: DWG No:

# Thank You

200 S. Biscayne Boulevard  
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2	FINAL SUBMITTAL	10/11/2023
1	FIRST SUBMITTAL	09/18/2023
NO.	ISSUE DESCRIPTION	DATE

PROJECT:  
PRIVATE RESIDENCE  
428 S HIBISCUS DRIVE  
MIAMI BEACH, FL 33139

SHEET TITLE:

SITE LOCATION PLAN



DATE: AUGUST 21, 2023

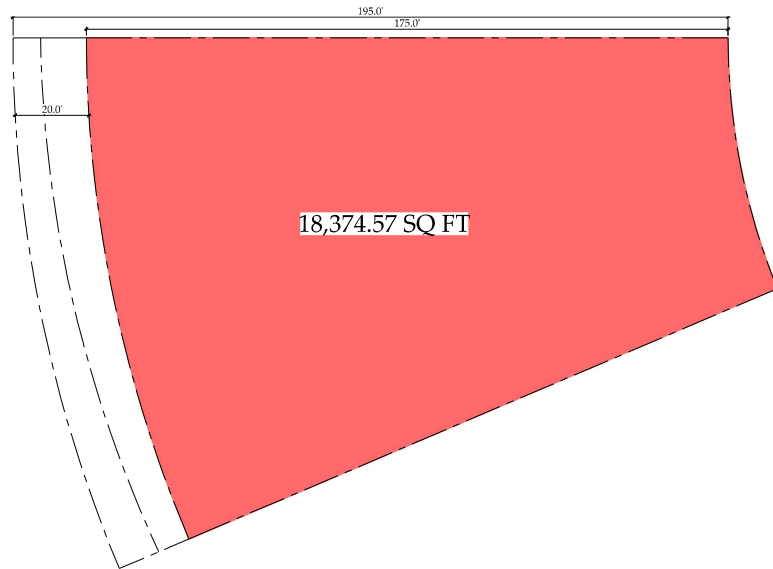
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SCALE: AS NOTED

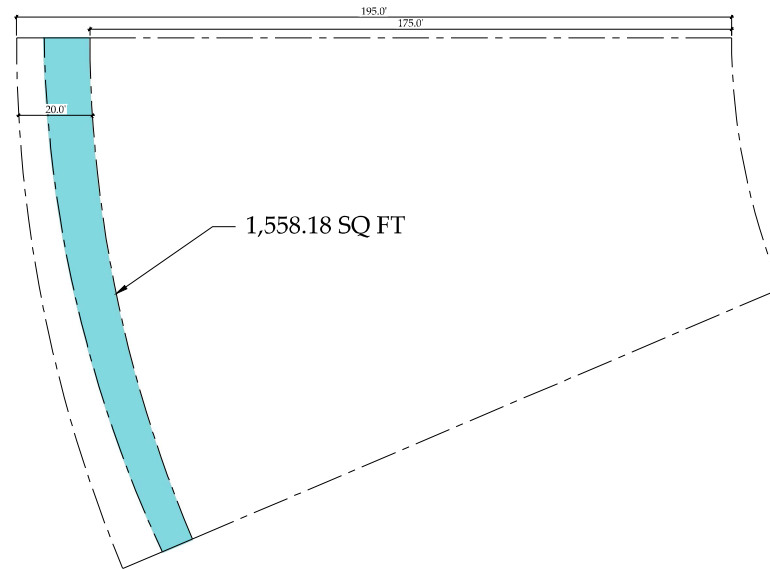
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DWG. No.: **A-0.01**

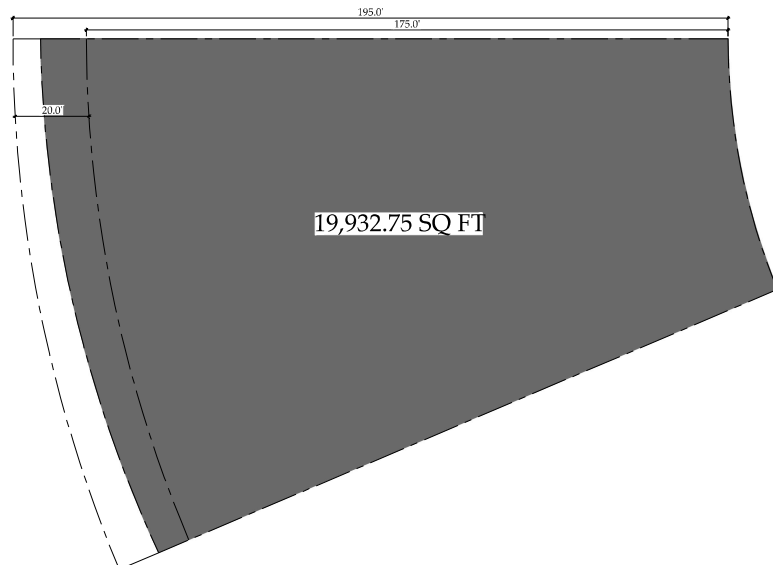
CAD FILE: \_\_\_\_\_ PAGE: Not



① LOT AREA TO 175' PROPERTY BOUNDARY  
SCALE: 1/16" = 1'-0"



2 LOT AREA FOR CENTER OF SEAWALL TO 175' PROPERTY BOUNDARY  
SCALE: 1/16" = 1'-0"



③ LOT AREA TO CENTER OF SEAWALL  
SCALE: 1/16" = 1'-0"

AREA CALCULATIONS		ZONING DISTRICT RS-3
	AREA (SQ. FT.)	AREA (%)
PLATTED LOT (TO 175')	18,374.57	92.2
AREA BETWEEN PLATTED LOT (TO 175') AND CENTER OF SEAWALL	1,558.18	7.8
PLATTED LOT (TO 175') TO CENTER OF SEAWALL	19,932.75	100

NOTE: INFORMATION NOTED BELOW WAS TAKEN FROM SURVEY DRAWINGS DATED OCTOBER 10, 2023 PREPARED BY MARTINEZ AND MARTINEZ ENTERPRISES INC.


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NOTES:

2	FINAL SUBMITTAL	10/11/2023
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NO.	ISSUE DESCRIPTION	DATE

PROJECT: PRIVATE RESIDENCE  
428 S HIBISCUS DRIVE  
MIAMI BEACH, FL 33139

LOT AREA DIAGRAM

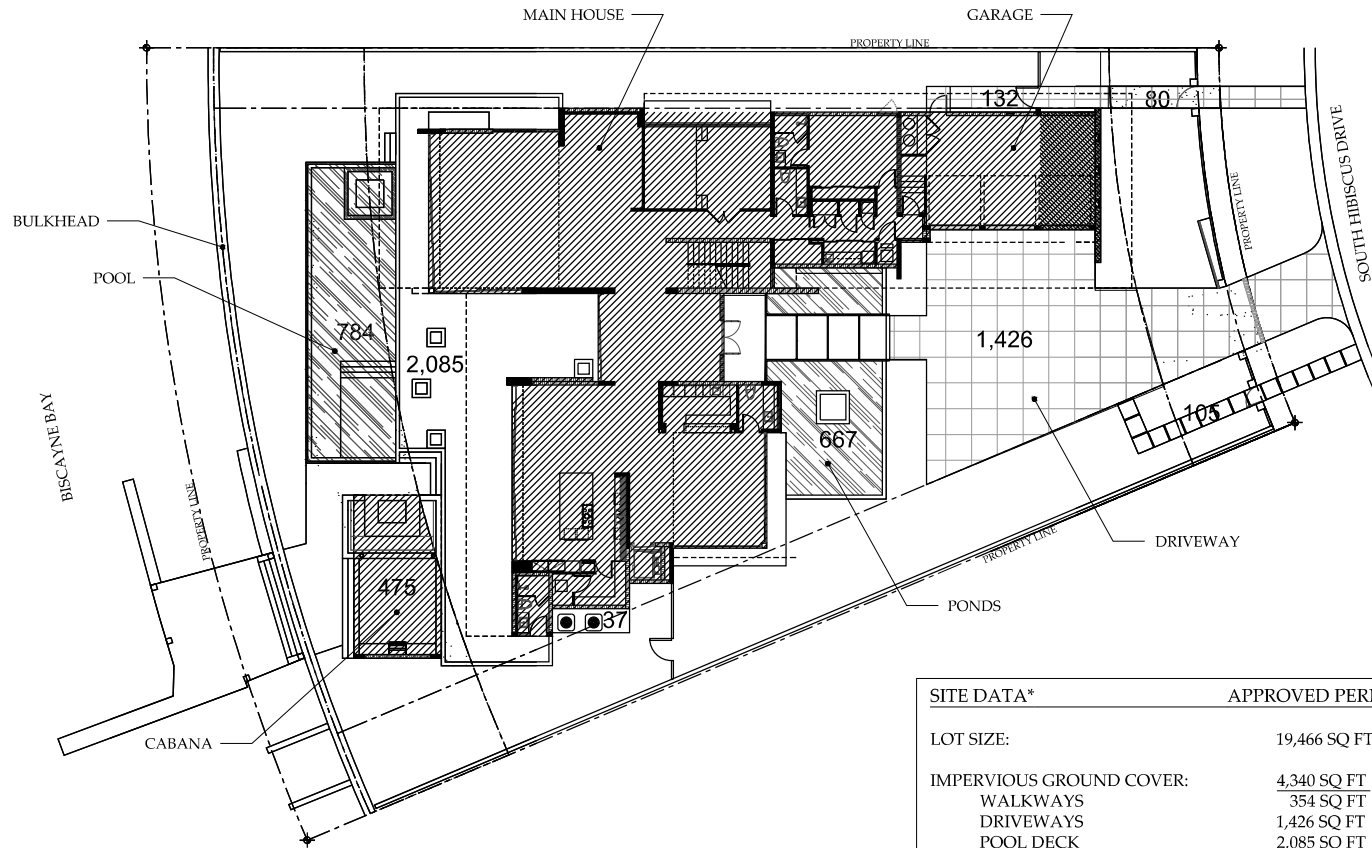
<p>SEAL &amp; SIGNATURE:</p> 	<p>DATE: AUGUST 21, 2023</p> <p>PROJECT No.: _____</p> <p>SCALE: AS NOTED</p> <p>CHK BY: _____</p> <p>DWG No.: <b>A-0.05</b></p> <p>CAD FILE: _____</p>
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A-0.05



# SITE DATA

APPROVED PERMIT 2014



① SITE AREA - DRB# 22964  
SCALE:  $\frac{3}{32}$ " = 1'-0"

SITE DATA*		APPROVED PERMIT 2014
LOT SIZE:		19,466 SQ FT
IMPERVIOUS GROUND COVER:		4,340 SQ FT
WALKWAYS		354 SQ FT
DRIVEWAYS		1,426 SQ FT
POOL DECK		2,085 SQ FT
CABANA		475 SQ FT
WATER FEATURES:		1,451 SQ FT
POOL		784 SQ FT
PONDS		667 SQ FT
LANDSCAPE AREA:		7,874 SQ FT

\*NOTE: DATA TAKEN FROM CHOEFF+LEVY P.A.  
DRAWING A-1.0 REV1 DATED 03/28/2014

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NOTES:

1	FINAL SUBMITTAL	10/11/2013
0	FIRST SUBMITTAL	06/18/2013
N/A	ISSUE DESCRIPTION	DATE

PROJECT: PRIVATE RESIDENCE  
428 S HIBISCUS DRIVE  
MIAMI BEACH, FL 33139

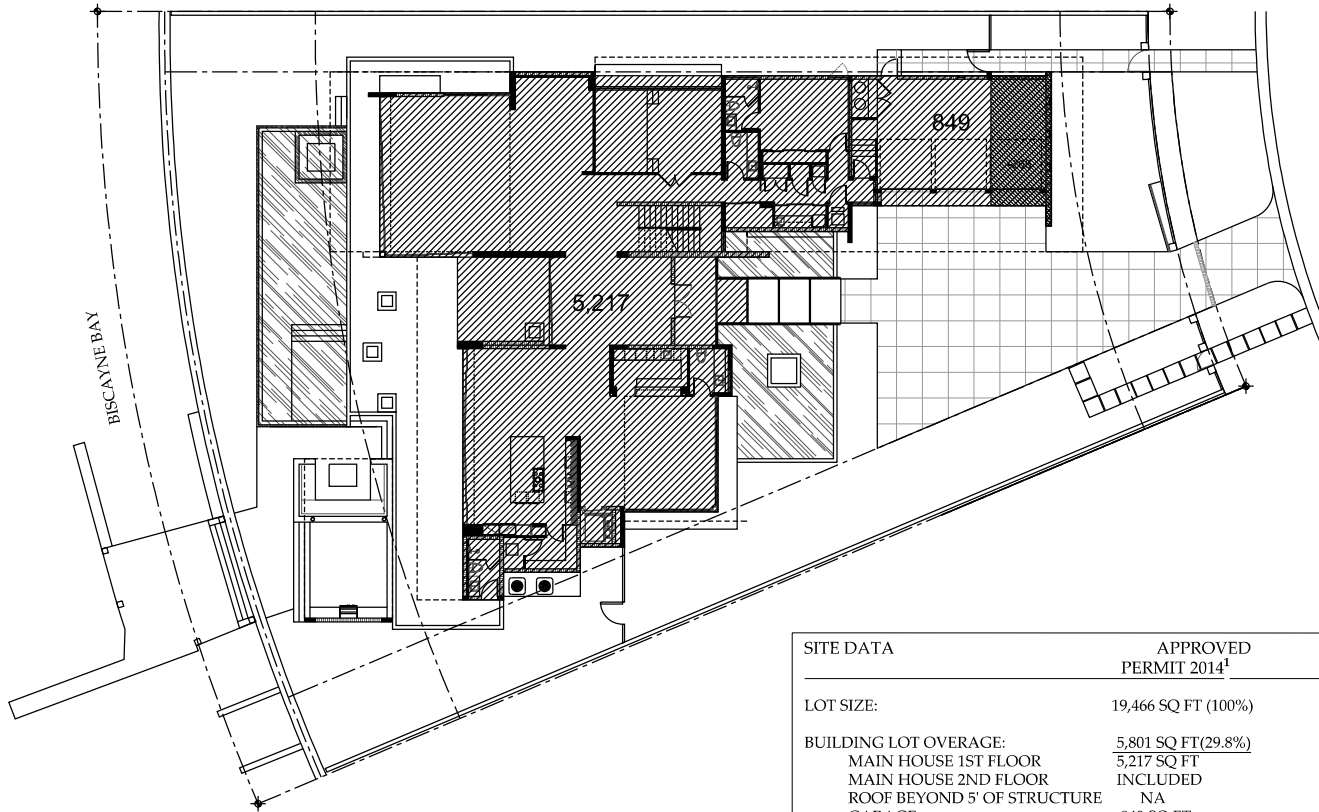
SHEET TITLE: SITE AREAS - CURRENT

SEAL & SIGNATURE  P. A. Choeff, P.E. CHIEF	DATE: AUGUST 21, 2013 DRAWN BY: SCALE: AS NOTED CHK. BY: PROJECT NO.: <b>A-0.05a</b> CHECKED:
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# SITE DATA COMPARISON

DBR# 22964 VS CURRENT CODE



① BUILDING AREA PER DBR# 22964  
SCALE: 3/32" = 1'-0"



SITE DATA	APPROVED PERMIT 2014 <sup>1</sup>	CURRENT CODE <sup>2</sup>	PROPOSED
LOT SIZE:	19,466 SQ FT (100%)	19,933 SQ FT (100%) <sup>3</sup>	19,933 SQ FT (100%)
BUILDING LOT OVERAGE:	5,801 SQ FT (29.8%)	6,262 SQ FT (31.4%)	6,334 SQ FT (31.8%)
MAIN HOUSE 1ST FLOOR	5,217 SQ FT	4,744 SQ FT	4,744 SQ FT
MAIN HOUSE 2ND FLOOR	INCLUDED	666 SQ FT	794 SQ FT
ROOF BEYOND 5' OF STRUCTURE	NA	321 SQ FT	265 SQ FT
GARAGE	849 SQ FT	766 SQ FT	766 SQ FT
GARAGE CREDIT	-265 SQ FT	-235 SQ FT	-235 SQ FT
IMPERVIOUS GROUND COVER:	4,340 SQ FT (22.3%)	4,480 SQ FT (22.5%)	4,480 SQ FT (22.5%)
WALKWAYS	354 SQ FT	354 SQ FT	354 SQ FT
DRIVEWAYS	1,426 SQ FT	1,426 SQ FT	1,426 SQ FT
POOL DECK	2,085 SQ FT	2,985 SQ FT	2,985 SQ FT
CABANA	475 SQ FT	475 SQ FT	475 SQ FT
BULKHEAD <sup>4</sup>	NA	140 SQ FT	140 SQ FT
WATER FEATURES:	1,451 SQ FT (7.4%)	1,451 SQ FT (7.3%)	1,451 SQ FT (7.3%)
POOL	784 SQ FT	784 SQ FT	784 SQ FT
PONDS	667 SQ FT	667 SQ FT	667 SQ FT
LANDSCAPE AREA:	7,874 SQ FT (40.5%)	7,762 SQ FT (38.9%)	7,690 SQ FT (38.5%)

1. DATA TAKEN FROM CHOEFF+LEVY P.A. DRAWING A-1.0 REV1 DATED 03/28/2014
2. CURRENT SQ FT TAKEN FROM CAD FILES OF EXISTING CONDITIONS; CANNOT ACCOUNT FOR SLIGHT DIFFERENCES FROM APPROVED PERMIT 2014
3. LOT AREA PER MARTINEZ & MARTINEZ ENTERPRISES, INC. SURVEY DATED 10/10/2023
4. LOT AREA SEAWARD OF BULKHEAD(SEAWALL) TO PROPERTY LINE IS NOT ACCOUNTED AS LOT AREA

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NOTES:

2	FINAL SUBMITTAL	10/11/2023
1	FIRST SUBMITTAL	06/18/2023
NO.1	ISSUE DESCRIPTION	DATE

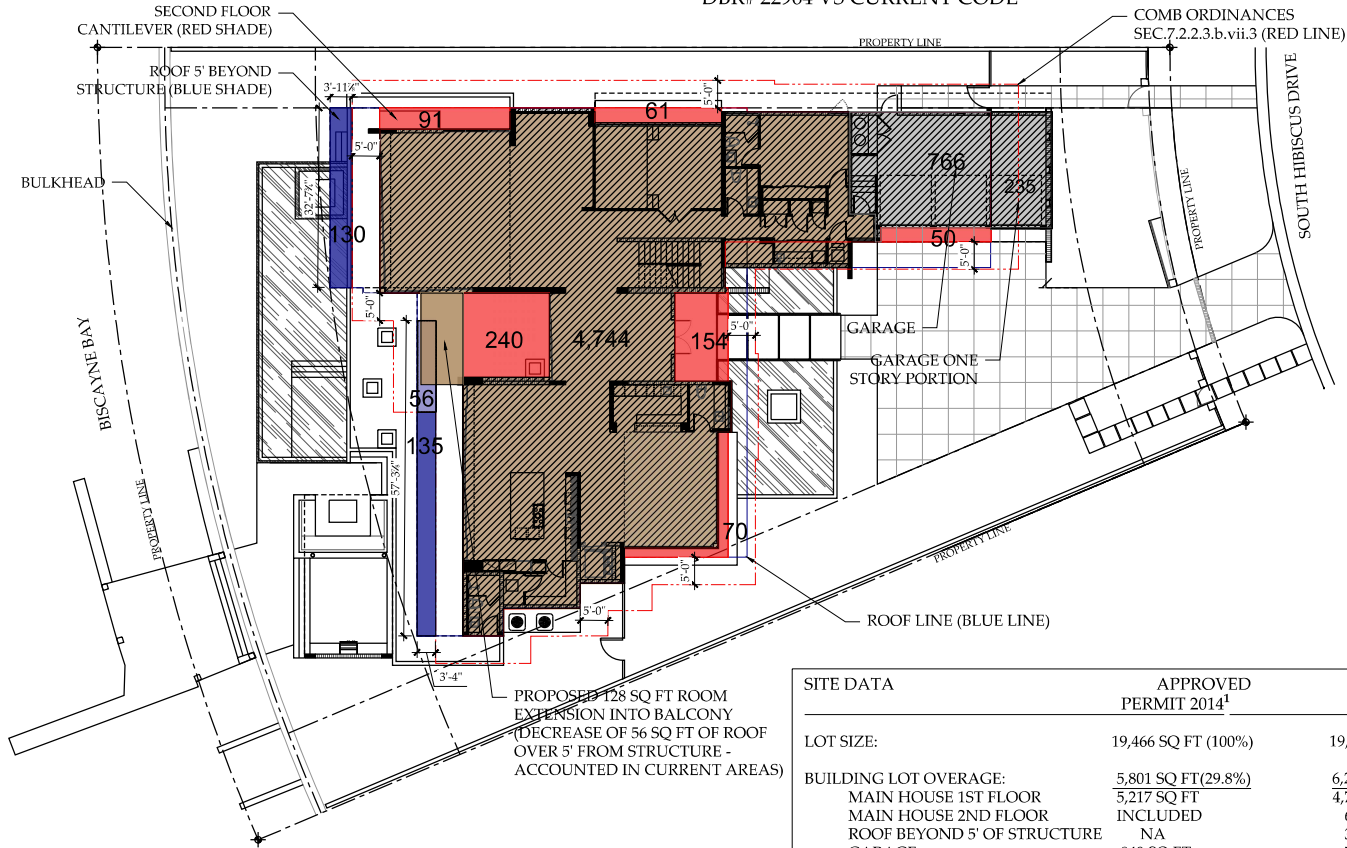
PROJECT:  
PRIVATE RESIDENCE  
428 S HIBISCUS DRIVE  
MIAMI BEACH, FL 33139

SHEET TITLE:  
PROPERTY AREAS -  
ORIGINAL, CURRENT,  
PROPOSED

SEAL & SIGNATURE 	DATE: AUG 05 21, 2023 DRAWING NO.: SCALE: AS NOTED CDR BY: CDR NO.: <b>A-0.05b</b> CHECKED: [ ]
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# SITE DATA COMPARISON

DBR# 22964 VS CURRENT CODE



① BUILDING AREA - CURRENT  
SCALE: 3/32" = 1'-0"

SITE DATA	APPROVED PERMIT 2014 <sup>1</sup>	CURRENT CODE <sup>2</sup>	PROPOSED
LOT SIZE:	19,466 SQ FT (100%)	19,933 SQ FT (100%) <sup>3</sup>	19,933 SQ FT (100%)
BUILDING LOT COVERAGE:	5,801 SQ FT (29.8%)	6,262 SQ FT (31.4%)	6,334 SQ FT (31.8%)
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GARAGE	849 SQ FT	766 SQ FT	766 SQ FT
GARAGE CREDIT	-265 SQ FT	-235 SQ FT	-235 SQ FT
IMPERVIOUS GROUND COVER:	4,340 SQ FT (22.3%)	4,480 SQ FT (22.5%)	4,480 SQ FT (22.5%)
WALKWAYS	354 SQ FT	354 SQ FT	354 SQ FT
DRIVEWAYS	1,426 SQ FT	1,426 SQ FT	1,426 SQ FT
POOL DECK	2,085 SQ FT	2,985 SQ FT	2,985 SQ FT
CABANA	475 SQ FT	475 SQ FT	475 SQ FT
BULKHEAD <sup>4</sup>	NA	140 SQ FT	140 SQ FT
WATER FEATURES:	1,451 SQ FT (7.4%)	1,451 SQ FT (7.3%)	1,451 SQ FT (7.3%)
POOL	784 SQ FT	784 SQ FT	784 SQ FT
PONDS	667 SQ FT	667 SQ FT	667 SQ FT
LANDSCAPE AREA:	7,874 SQ FT (40.5%)	7,762 SQ FT (38.9%)	7,690 SQ FT (38.5%)

1. DATA TAKEN FROM CHOEFF+LEVY P.A. DRAWING A-1.0 REV1 DATED 03/28/2014
2. CURRENT SQ FT TAKEN FROM CAD FILES OF EXISTING CONDITIONS; CANNOT ACCOUNT FOR SLIGHT DIFFERENCES FROM APPROVED PERMIT 2014
3. LOT AREA PER MARTINEZ & MARTINEZ ENTERPRISES, INC. SURVEY DATED 10/10/2023
4. LOT AREA SEAWARD OF BULKHEAD(SEAWALL) TO PROPERTY LINE IS NOT ACCOUNTED AS LOT AREA

**MADISON WORTH ARCHITECTURE, DPC**  
865 Madison Avenue, Suite 250, New York, NY 10022 - Tel: 212.335.3241  
175 Worth Avenue, Suite 300, Palm Beach, FL 33480 - Tel: 561.833.3242

NOTES:

2	FINAL SUBMITTAL	01/11/2023
1	FIRST SUBMITTAL	06/18/2021
NO.	ISSUE DESCRIPTION	DATE

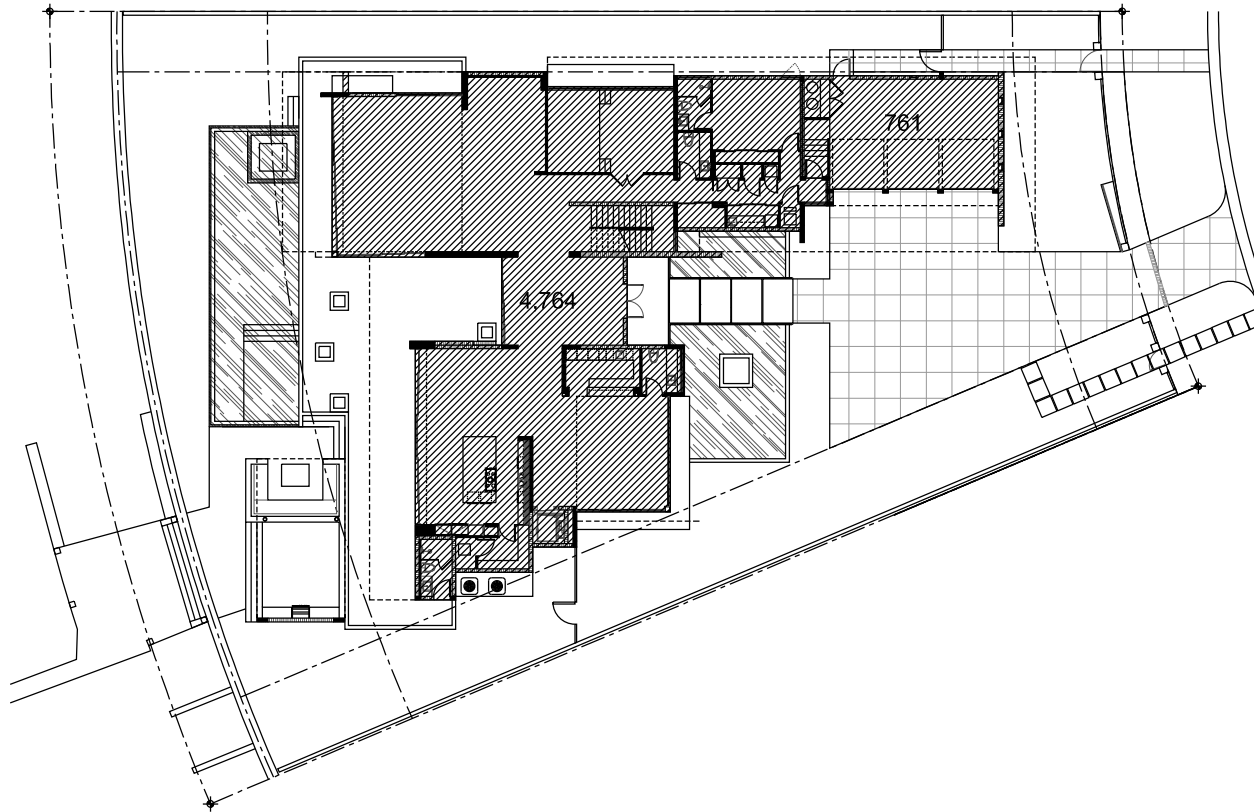
PROJECT:  
PRIVATE RESIDENCE  
428 S HIBISCUS DRIVE  
MIAMI BEACH, FL 33139

SHEET TITLE:  
PROPERTY AREAS - ORIGINAL, CURRENT, PROPOSED

SEAL & SIGNATURE  
STATE OF FLORIDA  
J. P. B. 201819  
REGISTERED ARCHITECT

DATE: AUGUST 21, 2023  
PROJECT NO.:  
SCALE: AS NOTED  
CER. NO.:  
A-0.05c  
CITY: PALM BEACH

## APPROVED PERMIT 2014 VS CURRENT CODE



1ST FLOOR AREA - PERMIT 2014  
SCALE: 3/32" = 1'-0"



BUILDING DATA	APPROVED PERMIT 2014 <sup>1</sup>	EXISTING CURRENT CODE <sup>2</sup>	PROPOSED
LOT SIZE:	19,466 SQ FT	19,933 SQ FT <sup>3</sup>	19,933 SQ FT
BUILDING INTERIORS:	<u>10,974 SQ FT</u>	<u>10,864 SQ FT</u>	<u>10,992 SQ FT</u>
MAIN HOUSE 1ST FLOOR	4,764 SQ FT	4,744 SQ FT	4,744 SQ FT
MAIN HOUSE 2ND FLOOR	5,684 SQ FT	5,854 SQ FT	5,854 SQ FT
GARAGE	761 SQ FT	766 SQ FT	766 SQ FT
GARAGE CREDIT	-235 SQ FT	-500 SQ FT	-500 SQ FT
PROPOSED BALCONY EXTENSION			128 SQ FT
UNIT SIZE/LOT SIZE:	56.4 %	54.5 %	55.1%

1. DATA TAKEN FROM CHOEFF+LEVY P.A. DRAWING A-1.0 REV1 DATED 03/28/2014
2. CURRENT SQ FT TAKEN FROM CAD FILES OF EXISTING CONDITIONS;  
CANNOT ACCOUNT FOR SLIGHT DIFFERENCES FROM APPROVED PERMIT 2014
3. LOT AREAPER MARTINEZ & MARTINEZ ENTERPRISES, INC. SURVEY DATED 10/10/2023

485 Madison Avenue, Suite 200, New York, NY 10022 • Tel. 212.395.3261  
125 Worth Avenue, Suite 306, Palm Beach, FL 33480 • Tel. 561.833.3242

NOTES:

2	FINAL SUBMITTAL	10/11/2023
1	FIRST SUBMITTAL	09/18/2023
NO	ISSUE DESCRIPTION	DATE

PROJECT:  
PRIVATE RESIDENCE  
428 S HIBISCUS DRIVE  
MIAMI BEACH, FL 33139

SHEET TITLE:

BUILDING AREAS -  
ORIGINAL, CURRENT,  
PROPOSED

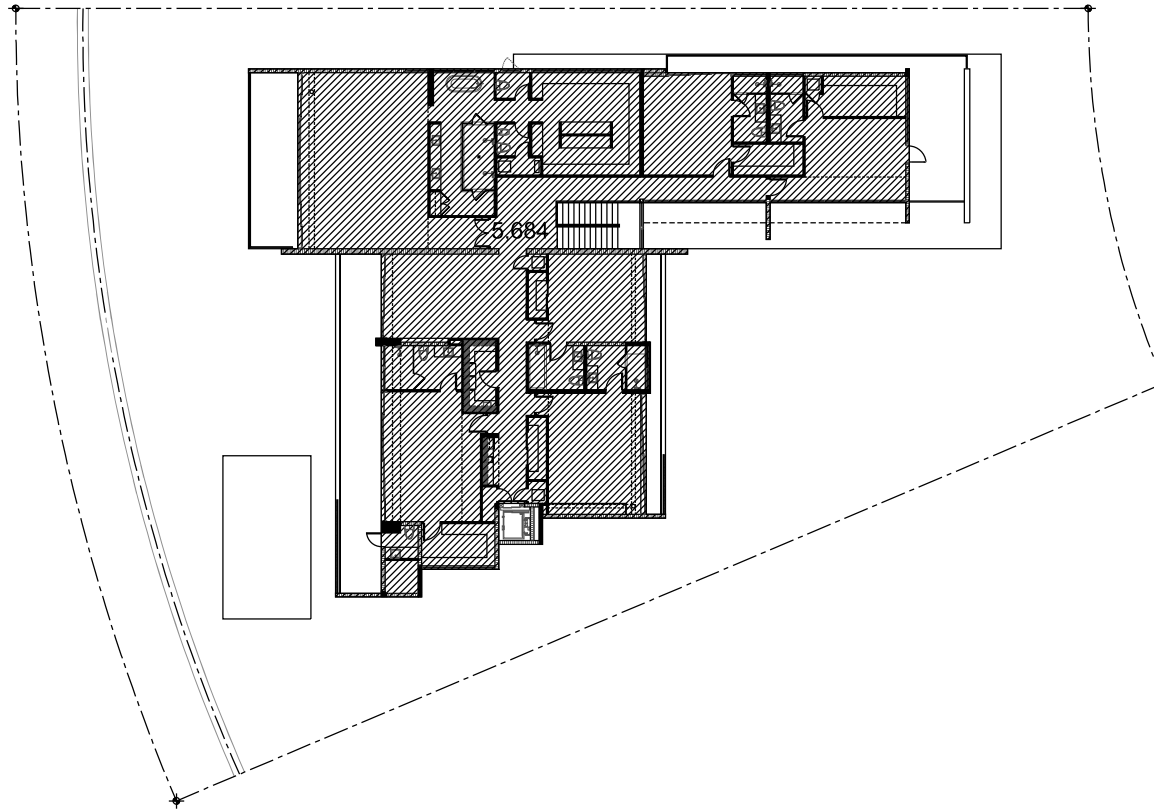


DATE: AUGUST 21, 2023  
PROJECT No.:  
SCALE: AS NOTED  
CHK BY:  
UPRC No.:  
**A-0.05d**  
CADD FILE: T/AG2 Not



# BUILDING DATA COMPARISON

APPROVED PERMIT 2014 VS CURRENT CODE



① 2ND FLOOR AREA - PERMIT 2014  
SCALE: 3/32" = 1'-0"



BUILDING DATA	APPROVED PERMIT 2014 <sup>1</sup>	EXISTING CURRENT CODE <sup>2</sup>	PROPOSED
LOT SIZE:	19,466 SQ FT	19,933 SQ FT <sup>3</sup>	19,933 SQ FT
BUILDING INTERIORS:	10,974 SQ FT	10,864 SQ FT	10,992 SQ FT
MAIN HOUSE 1ST FLOOR	4,764 SQ FT	4,744 SQ FT	4,744 SQ FT
MAIN HOUSE 2ND FLOOR	5,684 SQ FT	5,854 SQ FT	5,854 SQ FT
GARAGE	761 SQ FT	766 SQ FT	766 SQ FT
GARAGE CREDIT	-235 SQ FT	-500 SQ FT	-500 SQ FT
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UNIT SIZE/LOT SIZE:	56.4 %	54.5 %	55.1 %

1. DATA TAKEN FROM CHOEFF+LEVY P.A. DRAWING A-1.0 REV1 DATED 03/28/2014
2. CURRENT SQ FT TAKEN FROM CAD FILES OF EXISTING CONDITIONS;  
CANNOT ACCOUNT FOR SLIGHT DIFFERENCES FROM APPROVED PERMIT 2014
3. LOT AREA PER MARTINEZ & MARTINEZ ENTERPRISES, INC. SURVEY DATED 10/10/2023

**MADISON WORTH  
ARCHITECTURE, DPC**

865 Madison Avenue, Suite 201, New York, NY 10022 - Tel: 212.335.3243  
175 Worth Avenue, Suite 306, Palm Beach, FL 33480 - Tel: 561.833.3242

NOTES:

2	FINAL SUBMITTAL	10/11/2023
1	FIRST SUBMITTAL	06/18/2023
NOI	ISSUE DESCRIPTION	DATE

PROJECT:  
PRIVATE RESIDENCE  
428 S HIBISCUS DRIVE  
MIAMI BEACH, FL 33139

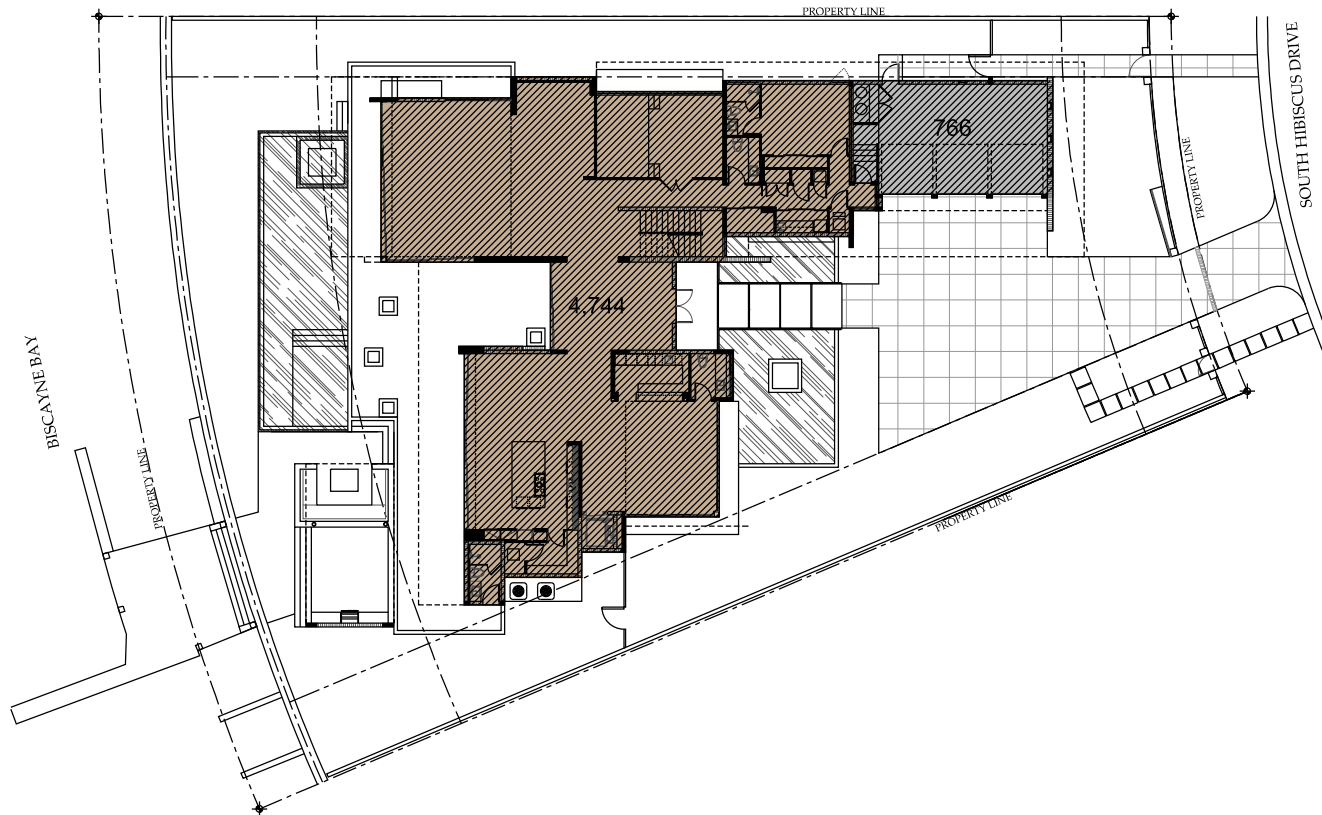
SHEET TITLE:  
BUILDING AREAS -  
ORIGINAL, CURRENT,  
PROPOSED



DATE: AUGUST 21, 2023  
PROJECT NO.:  
SCALE: AS NOTED  
SHEET NO.:  
A-0.05e  
CHECKED: [Signature]  
DATE: [Blank]

# BUILDING DATA COMPARISON

APPROVED PERMIT 2014 VS CURRENT CODE



① 1ST FLOOR AREA - CURRENT  
SCALE: 3/32" = 1'-0"



BUILDING DATA	APPROVED PERMIT 2014 <sup>1</sup>	EXISTING CURRENT CODE <sup>2</sup>	PROPOSED
LOT SIZE:	19,466 SQ FT	19,933 SQ FT <sup>3</sup>	19,933 SQ FT
BUILDING INTERIORS:	10,974 SQ FT	10,864 SQ FT	10,992 SQ FT
MAIN HOUSE 1ST FLOOR	4,764 SQ FT	4,744 SQ FT	4,744 SQ FT
MAIN HOUSE 2ND FLOOR	5,684 SQ FT	5,854 SQ FT	5,854 SQ FT
GARAGE	761 SQ FT	766 SQ FT	766 SQ FT
GARAGE CREDIT	-235 SQ FT	-500 SQ FT	-500 SQ FT
PROPOSED BALCONY EXTENSION			128 SQ FT
UNIT SIZE/LOT SIZE:	56.4 %	54.5 %	55.1 %

1. DATA TAKEN FROM CHOFFET-LEVY P.A. DRAWING A-1.0 REV1 DATED 03/28/2014
2. CURRENT SQ FT TAKEN FROM CAD FILES OF EXISTING CONDITIONS;  
CANNOT ACCOUNT FOR SLIGHT DIFFERENCES FROM APPROVED PERMIT 2014
3. LOT AREA PER MARTINEZ & MARTINEZ ENTERPRISES, INC. SURVEY DATED 10/10/2023

**MADISON WORTH  
ARCHITECTURE, DPC**  
865 Madison Avenue, Suite 201, New York, NY 10022 - Tel: 212.335.3261  
175 Worth Avenue, Suite 306, Palm Beach, FL 33480 - Tel: 561.833.3262

NOTES:

2	FINAL SUBMITTAL	10/11/2023
1	FIRST SUBMITTAL	06/18/2023
NO.	ISSUE DESCRIPTION	DATE

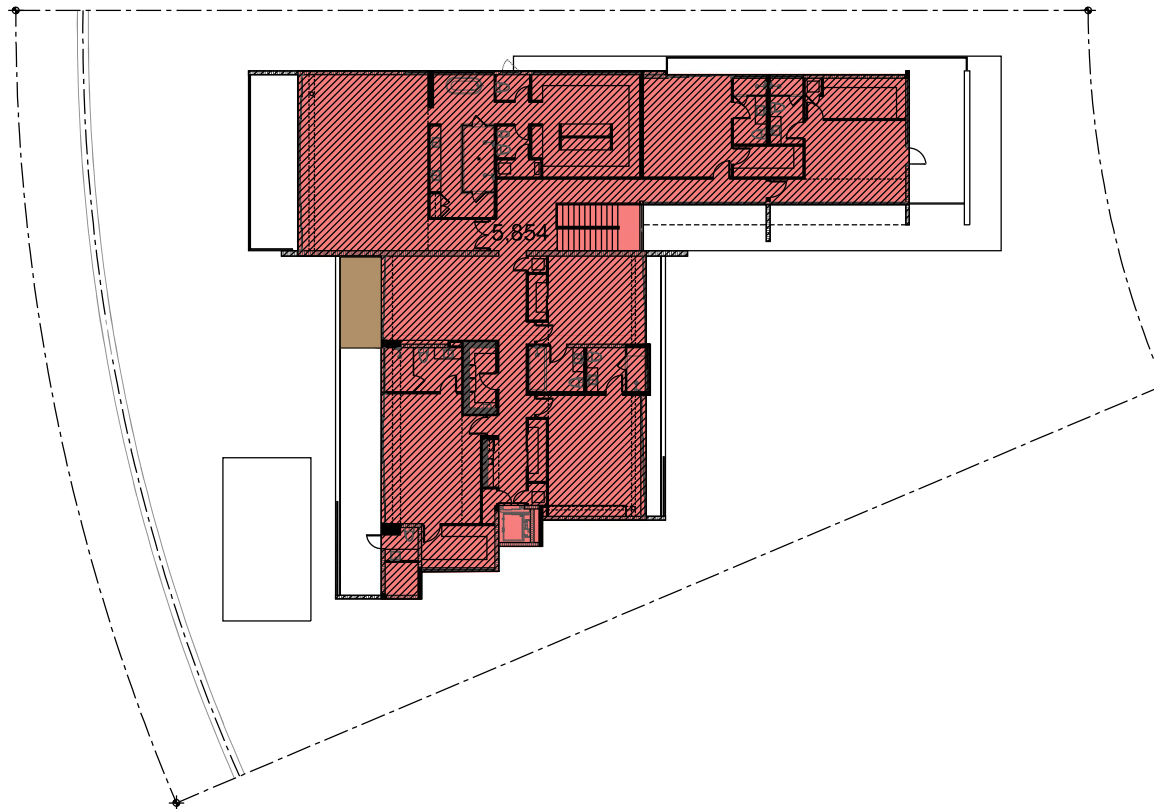
PROJECT:  
PRIVATE RESIDENCE  
428 S HIBISCUS DRIVE  
MIAMI BEACH, FL 33139

SHEET TITLE:  
BUILDING AREAS -  
ORIGINAL, CURRENT,  
PROPOSED

SEAL & SIGNATURE  
DATE: AUG 05 21, 2023  
PROJECT NO.:  
SCALE: AS NOTED  
SHEET NO.:  
A-0.05f  
CHECKED: J. J. J.

# BUILDING DATA COMPARISON

APPROVED PERMIT 2014 VS CURRENT CODE



① 2ND FLOOR AREA - CURRENT  
SCALE: 3/32" = 1'-0"



BUILDING DATA	APPROVED PERMIT 2014 <sup>1</sup>	EXISTING CURRENT CODE <sup>2</sup>	PROPOSED
LOT SIZE:	19,466 SQ FT	19,933 SQ FT <sup>3</sup>	19,933 SQ FT
BUILDING INTERIORS:	10,974 SQ FT	10,864 SQ FT	10,992 SQ FT
MAIN HOUSE 1ST FLOOR	4,764 SQ FT	4,744 SQ FT	4,744 SQ FT
MAIN HOUSE 2ND FLOOR	5,684 SQ FT	5,854 SQ FT	5,854 SQ FT
GARAGE	761 SQ FT	766 SQ FT	766 SQ FT
GARAGE CREDIT	-235 SQ FT	-500 SQ FT	-500 SQ FT
PROPOSED BALCONY EXTENSION			128 SQ FT
UNIT SIZE/LOT SIZE:	56.4 %	54.5 %	55.1 %

1. DATA TAKEN FROM CHOFFET-LEVY P.A. DRAWING A-1.0 REV1 DATED 03/28/2014
2. CURRENT SQ FT TAKEN FROM CAD FILES OF EXISTING CONDITIONS;  
CANNOT ACCOUNT FOR SLIGHT DIFFERENCES FROM APPROVED PERMIT 2014
3. LOT AREA PER MARTINEZ & MARTINEZ ENTERPRISES, INC. SURVEY DATED 10/10/2023

**MADISON WORTH  
ARCHITECTURE, DPC**


865 Madison Avenue, Suite 201, New York, NY 10022 - Tel: 212.335.3241  
175 Worth Avenue, Suite 306, Palm Beach, FL 33480 - Tel: 561.503.3242

NOTES:

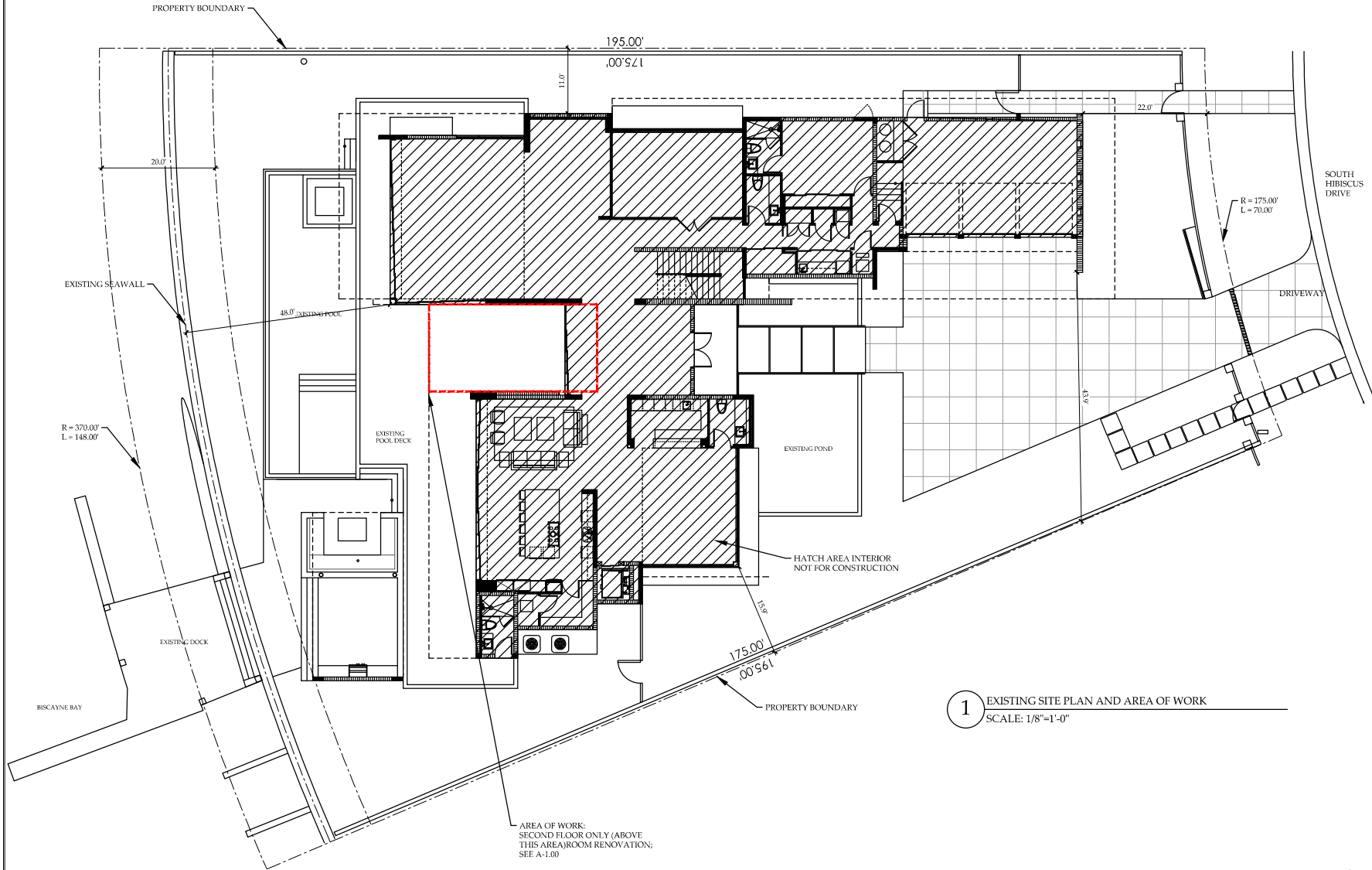
2	FINAL SUBMITTAL	10/11/2023
1	FIRST SUBMITTAL	06/18/2023
NOI	ISSUE DESCRIPTION	DATE

PROJECT:  
PRIVATE RESIDENCE  
428 S HIBISCUS DRIVE  
MIAMI BEACH, FL 33139

SHEET TITLE:  
BUILDING AREAS -  
ORIGINAL, CURRENT,  
PROPOSED

SEAL & SIGNATURE  
  
DATE: AUGUST 21, 2023  
PROJECT NO.:  
SCALE: AS NOTED  
SHEET NO.:  
A-0.05g  
CHECKED: JAG/ST

NOTES:



**1** EXISTING SITE PLAN AND AREA OF WORK  
SCALE: 1/8"=1'-0"

2	FINAL SUBMITTAL	10/11/2023
1	FIRST SUBMITTAL	06/18/2023
NCL	ISSUE DESCRIPTION	DATE

PROJECT: PRIVATE RESIDENCE  
428 S HIBISCUS DRIVE  
MIAMI BEACH, FL 33139

SHEET TITLE:  
EXISTING SITE PLAN &  
AREA OF WORK

SEAL & SIGNATURE 	DATE: AUGUST 21, 2023 PROJECT NO.: SCALE: AS NOTED CER. NO.: CITY: MIAMI A-0.20 CITY: MIAMI
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ALL INFORMATION REQUIRED BELOW MUST BE SUBMITTED AS REQUESTED. THE FORMAT OF THIS DOCUMENT MAY NOT BE MODIFIED OR ALTERED IN ANY WAY. SUBMITTALS FOUND INSUFFICIENT OR INCOMPLETE MAY FAIL THE REVIEW

**Notes:** Indicate N/A if not applicable.

**MADISON WORTH  
ARCHITECTURE, DPC**  
485 Madison Avenue, Suite 200, New York, NY 10022 - Tel. 212.355.3261  
125 Worth Avenue, Suite 306, Palm Beach, FL 33480 - Tel. 561.833.3242

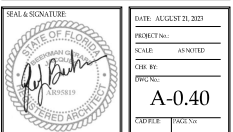
NOTES:

2	FINAL SUBMITTAL	10/11/2023
1	FIRST SUBMITTAL	09/18/2023
NO.	ISSUE DESCRIPTION	DATE

PROJECT:  
PRIVATE RESIDENCE  
428 S HIBISCUS DRIVE  
MIAMI BEACH, FL 33139

SHEET TITLE:

ZONING DATA SHEET



November 30, 2023

**Design Review Board Members**

c/o Michael Belush, Planning & Design Officer

Planning Department

City of Miami Beach

1700 Convention Center Drive, 2nd Floor

Miami Beach, Florida 33139

Re: **DRB23-0958** – Modification of DRB File No. 22964 – Request for Two Variances for  
Minor Addition at the Property Located at 428 S. Hibiscus  
**Letter of Support**

---

Dear Board Members:

I am the owner of 432 S. Hibiscus Dr., Miami Beach, Florida, which is in close proximity or abutting the above-referenced property. I had the opportunity to speak with the applicant's team to review plans, renderings and design requests for the proposed modification to renovate and add a small amount of livable area to the center of the second-floor of the existing single-family home for the family. The existing home is beautifully-designed and well-kept. The minor addition will not be visible, and therefore will have no impact.

Based on the foregoing, I fully support the applicant's modification to DRB File. No 22964 and ask the Design Review Board to grant the proposed minimal variances from the unit size and lot coverage requirements so this family may continue to use this great home.

Sincerely,



Signature

Andrew M. McNeill

Print name

November 29, 2023

**Design Review Board Members**

c/o Michael Belush, Planning & Design Officer  
Planning Department  
City of Miami Beach  
1700 Convention Center Drive, 2nd Floor  
Miami Beach, Florida 33139

Re: **DRB23-0958** – Modification of DRB File No. 22964 – Request for Two Variances for  
Minor Addition at the Property Located at 428 S. Hibiscus

**Letter of Support**

---

Dear Board Members:

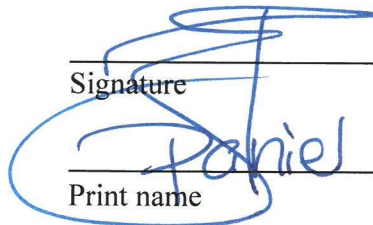
I am the owner of 420 S. Hibiscus Dr., Miami Beach, Florida, which is in close proximity or abutting the above-referenced property. I had the opportunity to speak with the applicant's team to review plans, renderings and design requests for the proposed modification to renovate and add a small amount of livable area to the center of the second-floor of the existing single-family home for the family. The existing home is beautifully-designed and well-kept. The minor addition will not be visible, and therefore will have no impact.

Based on the foregoing, I fully support the applicant's modification to DRB File. No 22964 and ask the Design Review Board to grant the proposed minimal variances from the unit size and lot coverage requirements so this family may continue to use this great home.

Sincerely,

Signature

Print name

  
Daniel Kotsi