

PRIVATE RESIDENCE

# 428 HIBISCUS DRIVE

## MIAMI BEACH, FLORIDA

SELECTIVE RENOVATION  
 DESIGN REVIEW BOARD FILE DRB23-0958  
 MODIFICATION OF DRB 22964

6/4/2024

**MADISON WORTH**  
**ARCHITECTURE, P.C.**  
 485 Madison Avenue, Suite 200, New York, NY 10022 - Tel: 212.205.3261  
 125 West Avenue, Suite 306, Palm Beach, FL 33480 - Tel: 561.833.3242

NOTES:

**SCOPE DESCRIPTION**

- RENOVATE EXISTING STUDY INTO A BEDROOM WITH A FULL BATHROOM AND ENCLOSE ATTACHED BALCONY
- PROTECTION AND PRESERVATION OF ALL EXISTING EXTERIOR DOORS AND FENESTRATION
- PROTECTION AND PRESERVATION OF ALL EXISTING STRUCTURAL ELEMENTS
- CAPPING OF ALL MECHANICAL, ELECTRICAL AND SYSTEMS PRIOR TO ANY DEMOLITION
- NEW CASEWORK, PLASTER, STONE WORK AND WOOD FLOORING.
- NEW INTERIOR PAINTING

**DRAWING LIST**

- A-0.00 COVER SHEET
- A-0.01 SITE LOCATION MAP
- A-0.10a PHOTOS OF EXISTING CONDITIONS
- A-0.10b PHOTOS OF EXISTING CONDITIONS
- A-0.10c PHOTOS OF EXISTING CONDITIONS
- A-0.02 EXISTING SITE PLAN AND AREA OF WORK
- A-0.04 ZONING DATA SHEET
- A-0.05 LOT AREA DIAGRAM
- A-0.50 EXISTING OVERALL PLAN - 2ND FLOOR
- A-0.50a SITE AREAS - CURRENT
- A-0.50b PROPERTY AREAS - ORIGINAL, CURRENT, PROPOSED
- A-0.50c PROPERTY AREAS - ORIGINAL, CURRENT, PROPOSED
- A-0.50d BUILDING AREAS - ORIGINAL, CURRENT, PROPOSED
- A-0.50e BUILDING AREAS - ORIGINAL, CURRENT, PROPOSED
- A-0.50f BUILDING AREAS - ORIGINAL, CURRENT, PROPOSED
- A-0.50g BUILDING AREAS - ORIGINAL, CURRENT, PROPOSED
- A-1.00 EXISTING FLOOR PLAN - 2ND FLOOR
- A-1.01 DEMOLITION PLAN - 2ND FLOOR
- A-1.02 PROPOSED FLOOR PLAN - 2ND FLOOR
- A-1.03a EXISTING ROOF PLAN
- A-1.03b PROPOSED ROOF PLAN
- A-2.00 EXISTING AND PROPOSED ELEVATIONS
- A-5.00 RENDERING
- A-5.01 RENDERING

**LOCATION MAP**



① SITE LOCATION MAP  
 NOT TO SCALE



**AREA OF DETAIL MAP**



② SITE LOCATION MAP  
 NOT TO SCALE



AREA OF WORK:  
 428 S HIBISCUS DRIVE  
 MIAMI BEACH, FL 33139

NO.	ISSUE DESCRIPTION	DATE
2	FINAL SUBMITTAL	10/11/2023
1	FIRST SUBMITTAL	09/18/2023
NO.	ISSUE DESCRIPTION	DATE

PROJECT: PRIVATE RESIDENCE  
 428 S HIBISCUS DRIVE  
 MIAMI BEACH, FL 33139

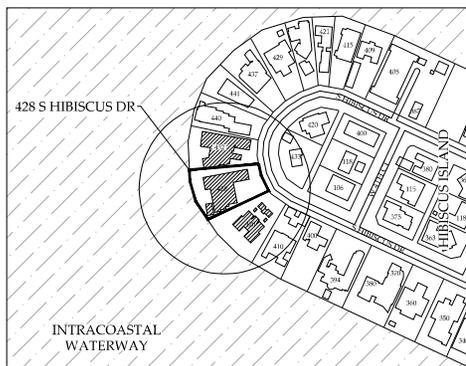
SHEET TITLE:  
 COVER SHEET

SEAL & SIGNATURE 	DATE: AUGUST 21, 2024
	PROJECT No.:
	SCALE: AS NOTED
	CHK. BY:
	DRG. No. <b>A-0.00</b>
CUSTOMER: PAGE No.	



<b>No.</b>	<b>Property Address</b>	<b>Neighbor Support</b>
<b>1</b>	432 S Hibiscus Dr	Andrew Mirmelli
<b>2</b>	420 S Hibiscus Dr	Daniel Kodsi

NOTES:



① IMAGE KEY PLAN  
SCALE: N.T.S.



① 420 SOUTH HIBISCUS DRIVE



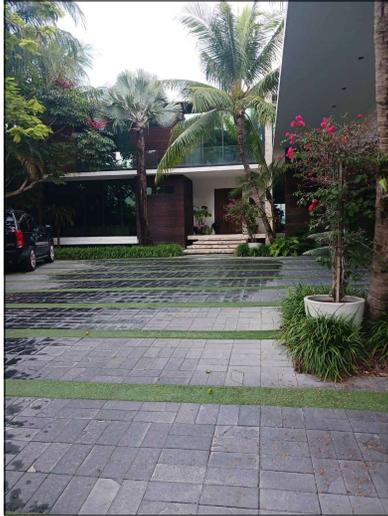
② 432 SOUTH HIBISCUS DRIVE

2	FINAL SUBMITTAL	10/11/2023
1	FIRST SUBMITTAL	09/18/2023
NO.	ISSUE DESCRIPTION	DATE

PROJECT:  
PRIVATE RESIDENCE  
428 S HIBISCUS DRIVE  
MIAMI BEACH, FL 33139

SHEET TITLE:  
PHOTOS OF EXISTING  
CONDITIONS -  
NEIGHBORING PROPERTIES

	DATE: AUGUST 31, 2023
	PROJECT No.:
	SCALE: AS NOTED
	CHK. BY:
	DRAWN BY: <b>A-0.10a</b>
CADWALK: _____	PAGE No. _____



① FRONT LOOKING SOUTHWEST



② SIDE LOOKING SOUTHEAST

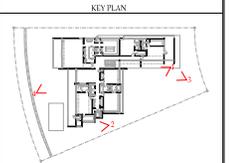


③ FRONT LOOKING WEST



④ REAR - LOOKING NORTH

NOTES:



NO.	ISSUE DESCRIPTION	DATE
2	FINAL SUBMITTAL	10/11/2023
1	FIRST SUBMITTAL	09/18/2023

PROJECT: PRIVATE RESIDENCE  
 428 S HIBISCUS DRIVE  
 MIAMI BEACH, FL 33139

SHEET TITLE:  
 PHOTOS OF EXISTING CONDITIONS

SEAL & SIGNATURE 	DATE: AUGUST 21, 2023 PROJECT No.: SCALE: AS NOTED CDR. BY: DDC No.: <b>A-0.10b</b> CADD No.: PAGE No.:
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① REAR LOOKING NORTHWEST



② REAR LOOKING NORTHEAST



③ REAR LOOKING NORTH



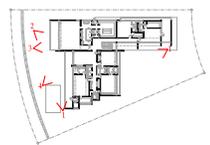
④ REAR - LOOKING NORTHWEST

**MADISON WORTH  
ARCHITECTURE, P.C.**

465 Madison Avenue, Suite 300, New York, NY 10022 - Tel: 212.335.3261  
125 Worth Avenue, Suite 306, Palm Beach, FL 33480 - Tel: 561.833.3262

NOTES:

KEY PLAN



NO.	ISSUE DESCRIPTION	DATE
2	FINAL SUBMITTAL	10/11/2023
1	FIRST SUBMITTAL	09/18/2023
NO.	ISSUE DESCRIPTION	DATE

PROJECT: PRIVATE RESIDENCE  
428 S HIBISCUS DRIVE  
MIAMI BEACH, FL 33139

SHEET TITLE:  
PHOTOS OF EXISTING  
CONDITIONS

SEAL & SIGNATURE 	DATE: AUGUST 31, 2023 PROJECT No.: SCALE: AS SHOWN CDR. BY: DDC No.: <b>A-0.10c</b> CADD No.: PAGE No.:
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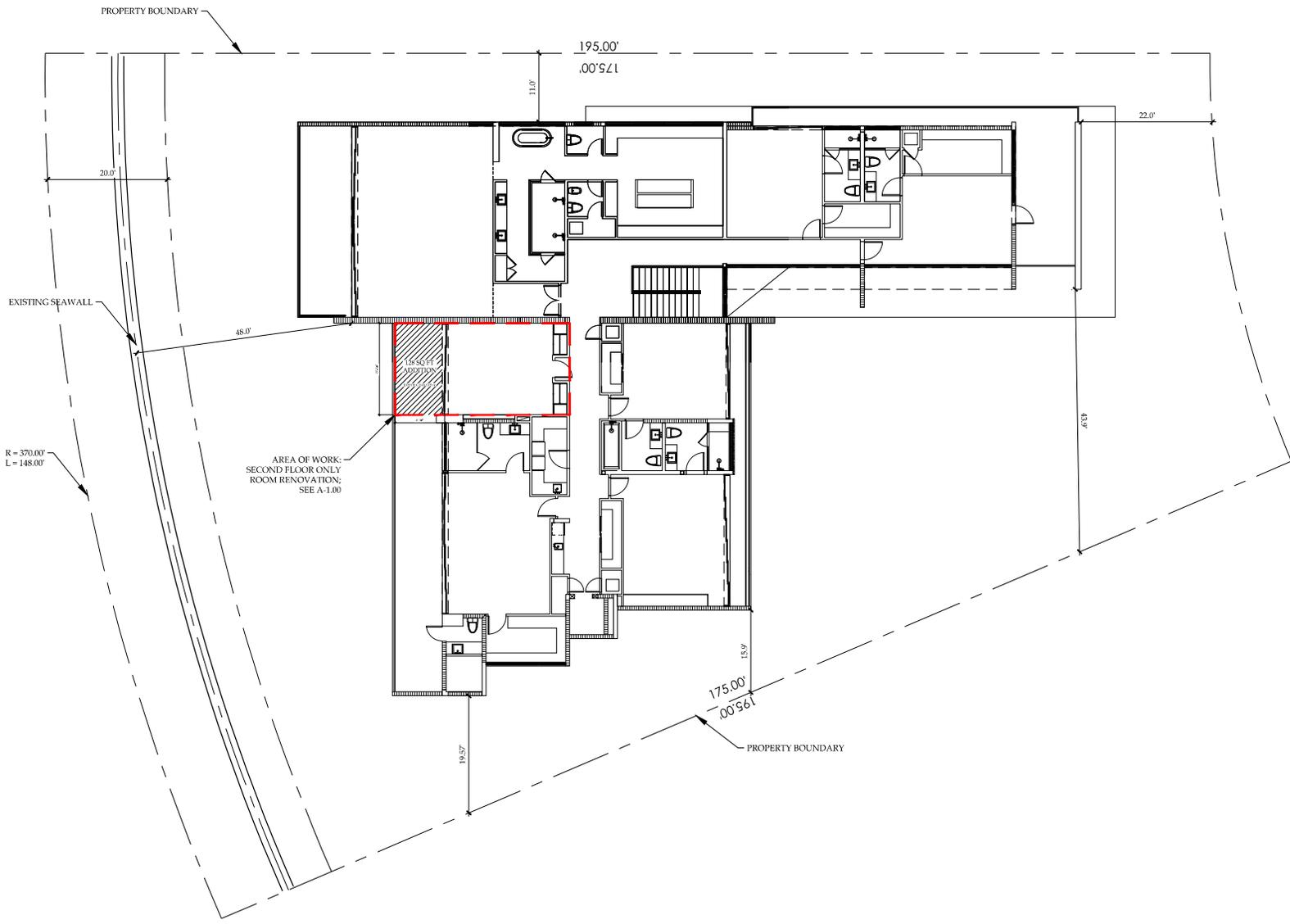
NOTES:

NO.	ISSUE DESCRIPTION	DATE
2	FINAL SUBMITTAL	10/11/2023
1	FIRST SUBMITTAL	06/16/2023
NO.	ISSUE DESCRIPTION	DATE

PROJECT: PRIVATE RESIDENCE  
 428 S HIBISCUS DRIVE  
 MIAMI BEACH, FL 33139

SHEET TITLE:  
 EXISTING OVERALL PLAN - SECOND FLOOR

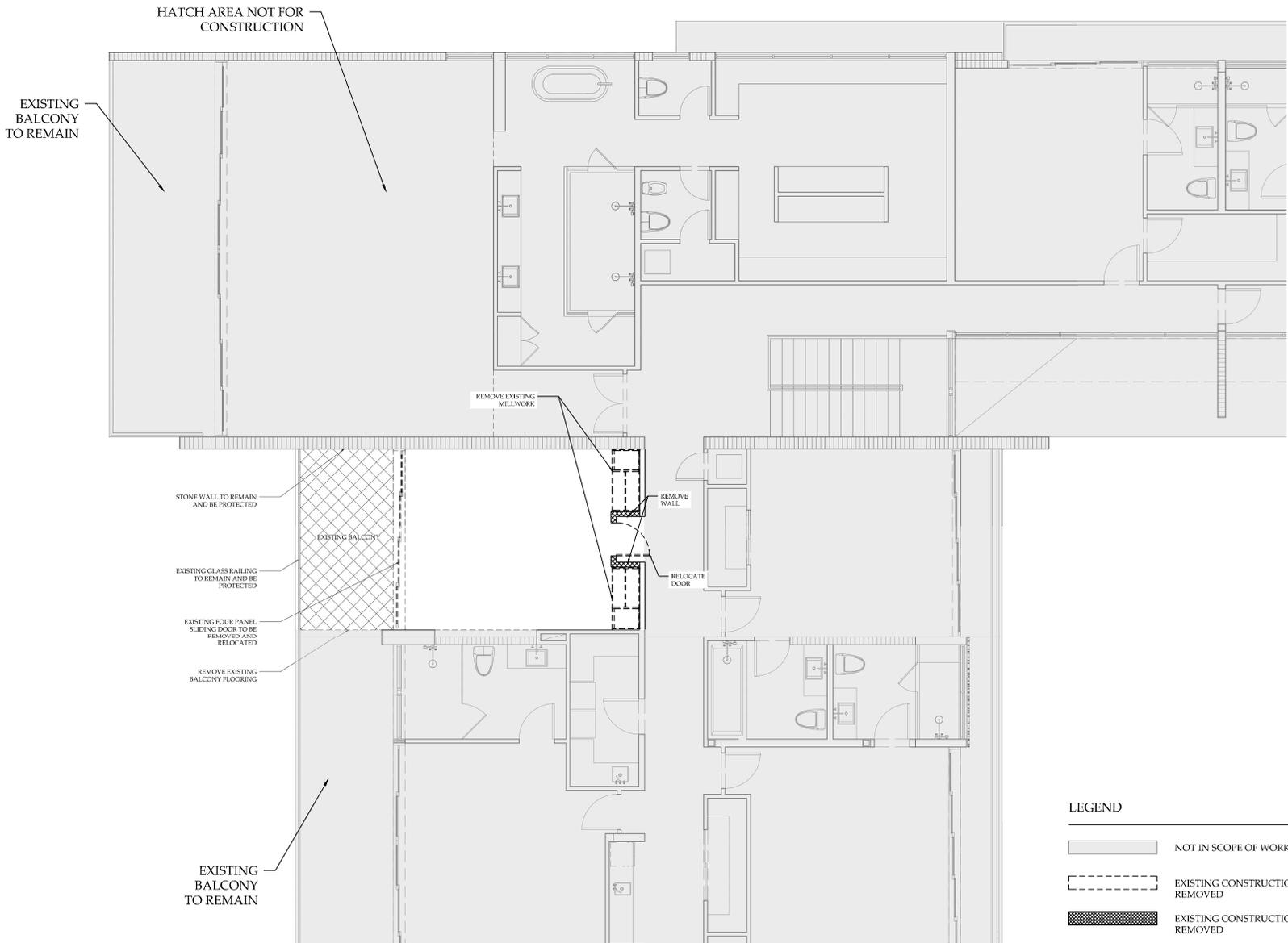
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	PROJECT No.:
	SCALE: AS NOTED
	SHEET No. <b>A-0.50</b> DRAWING No.



① EXISTING OVERALL PLAN - SECOND FLOOR  
 SCALE: 1/8" = 1'-0"



NOTES:



1 DEMOLITION PLAN - SECOND FLOOR  
SCALE: 1/4" = 1'-0"



**LEGEND**

- NOT IN SCOPE OF WORK
- EXISTING CONSTRUCTION TO BE REMOVED
- EXISTING CONSTRUCTION TO BE REMOVED

NO.	ISSUE DESCRIPTION	DATE
2	FINAL SUBMITTAL	10/11/2023
1	FIRST SUBMITTAL	09/18/2023
NO.	ISSUE DESCRIPTION	DATE

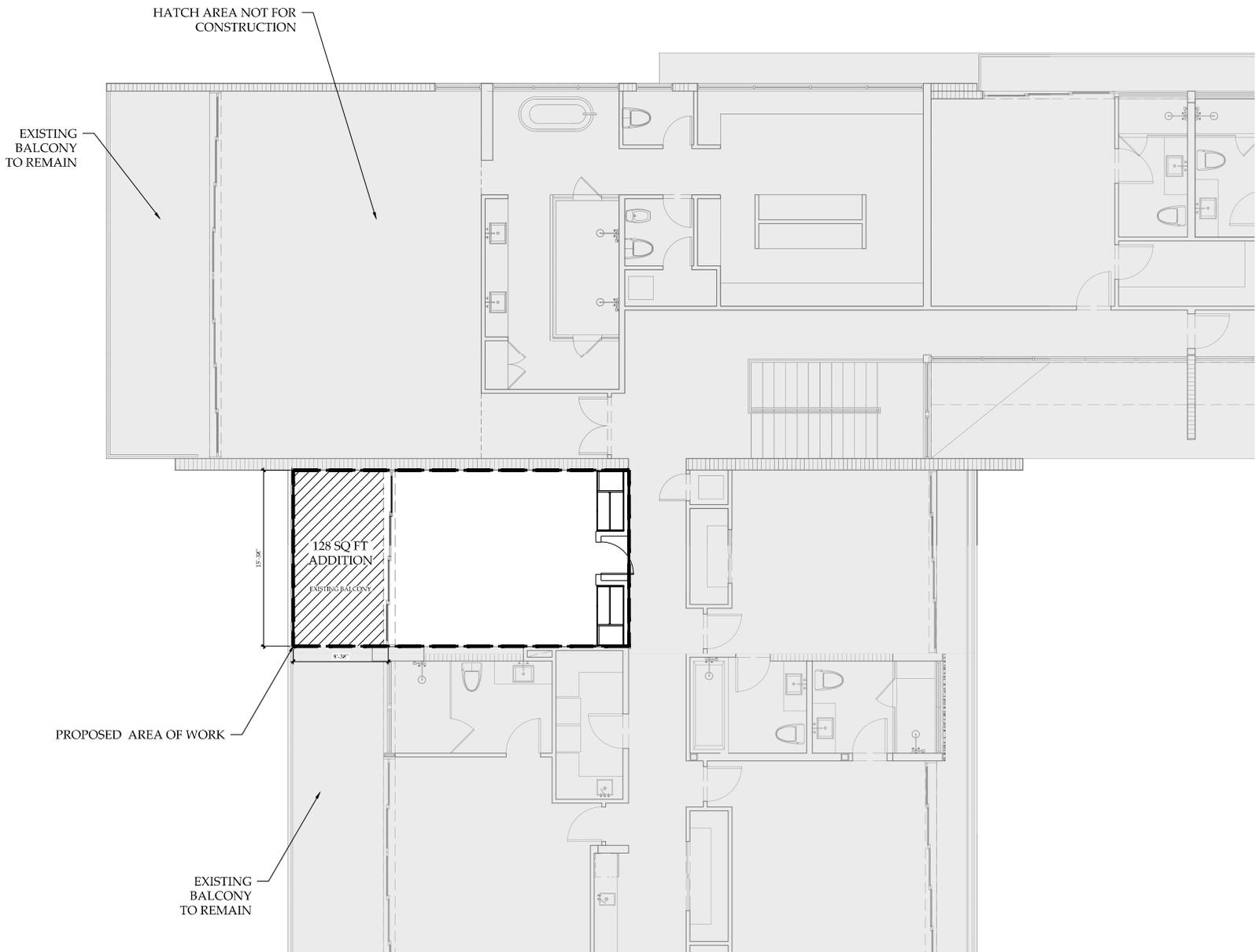
PROJECT: PRIVATE RESIDENCE  
428 S HIBISCUS DRIVE  
MIAMI BEACH, FL 33139

SHEET TITLE:  
DEMOLITION PLAN -  
SECOND FLOOR



DATE: AUGUST 31, 2023  
PROJECT NO.:  
SCALE: AS NOTED  
CHK. BY:  
DATE: **A-1.01**  
CADD: / PLOT NO.

NOTES:



① EXISTING FLOOR PLAN - SECOND FLOOR  
 SCALE: 1/4" = 1'-0"

NO.	ISSUE DESCRIPTION	DATE
2	FINAL SUBMITTAL	10/11/2023
1	FIRST SUBMITTAL	06/16/2023
NO.	ISSUE DESCRIPTION	DATE

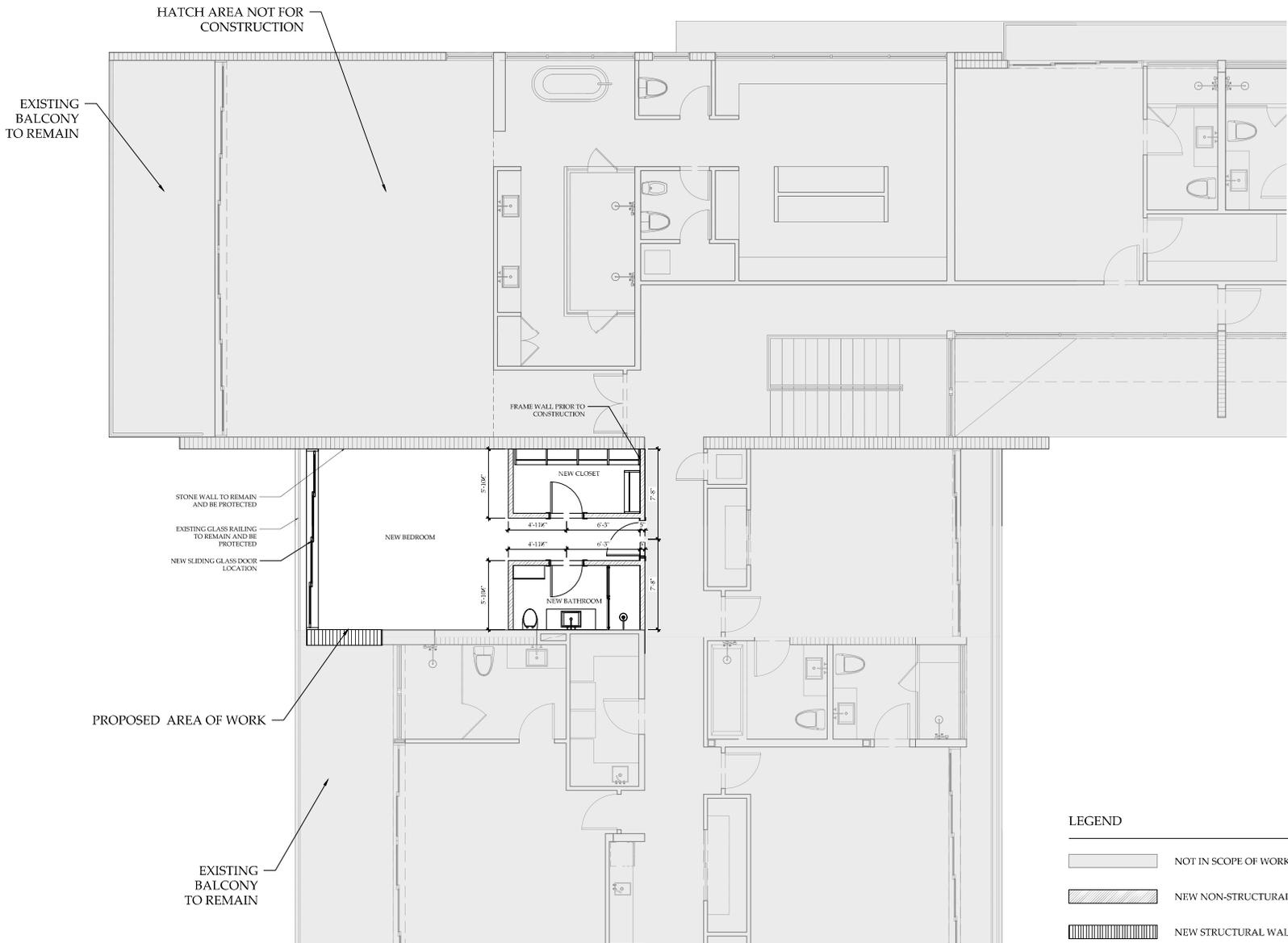
PROJECT: PRIVATE RESIDENCE  
 428 S HIBISCUS DRIVE  
 MIAMI BEACH, FL 33139

SHEET TITLE:  
 EXISTING FLOOR PLAN - SECOND FLOOR



DATE: AUGUST 21, 2023  
 PROJECT NO.:  
 SCALE: AS SHOWN  
 CHK. BY:  
 DPC No.:  
**A-1.00**  
 CADD No.:  
 PLOT No.:

NOTES:



① EXISTING FLOOR PLAN - SECOND FLOOR  
SCALE: 1/4" = 1'-0"

**LEGEND**

- NOT IN SCOPE OF WORK
- NEW NON-STRUCTURAL WALL
- NEW STRUCTURAL WALL

2	FINAL SUBMITTAL	10/11/2023
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NO.	ISSUE DESCRIPTION	DATE

PROJECT: PRIVATE RESIDENCE  
428 S HIBISCUS DRIVE  
MIAMI BEACH, FL 33139

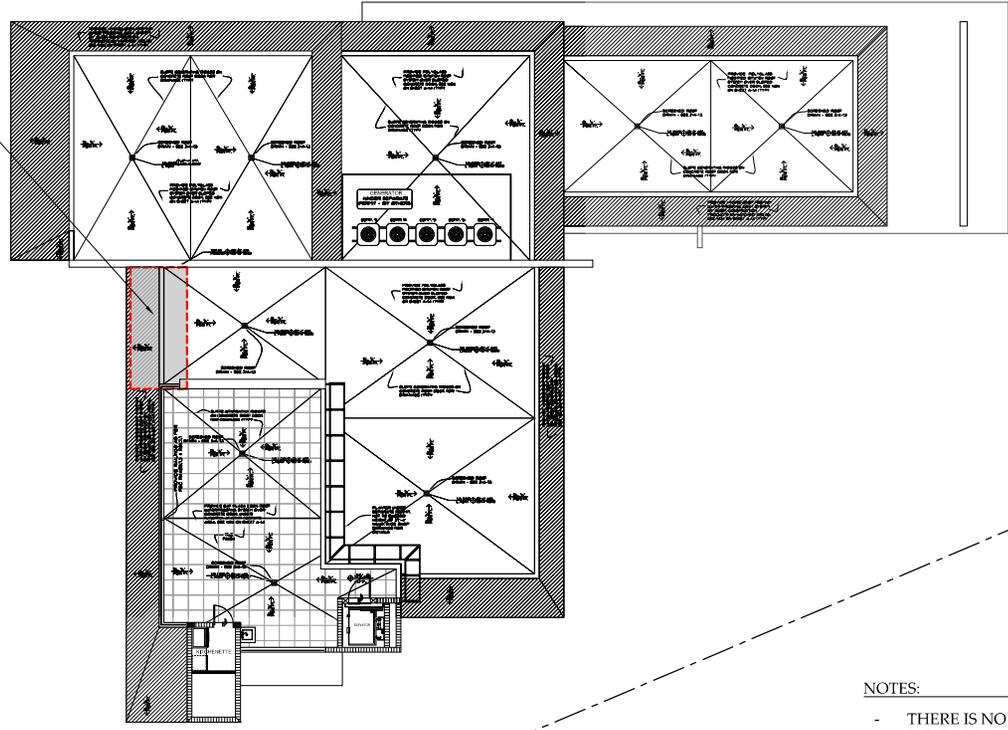
SHEET TITLE:  
**PROPOSED FLOOR PLAN -  
SECOND FLOOR**



DATE: AUGUST 21, 2023  
PROJECT NO.:  
SCALE: AS SHOWN  
CHK BY:  
DATE: **A-1.02**  
CADDLE: PAGE NO.

NOTES:

AREA OF PROPOSED WORK UNDER EXISTING ROOF - NO CHANGE TO EXISTING ROOF



EXISTING SEAWALL

NOTES:

- THERE IS NO CHANGE PROPOSED TO THE EXISTING ROOF AS A PART OF THIS APPLICATION
- PROPOSED AREA OF WORK IS NOT VISIBLE FROM ABOVE
- PROPOSED AREA OF WORK IS NOT VISIBLE FROM THE PROPERTY TO THE WEST
- PROPOSED AREA OF WORK IS NOT VISIBLE FROM THE PROPERTY TO THE EAST

1 EXISTING ROOF PLAN  
 SCALE 1/8" = 1'-0"



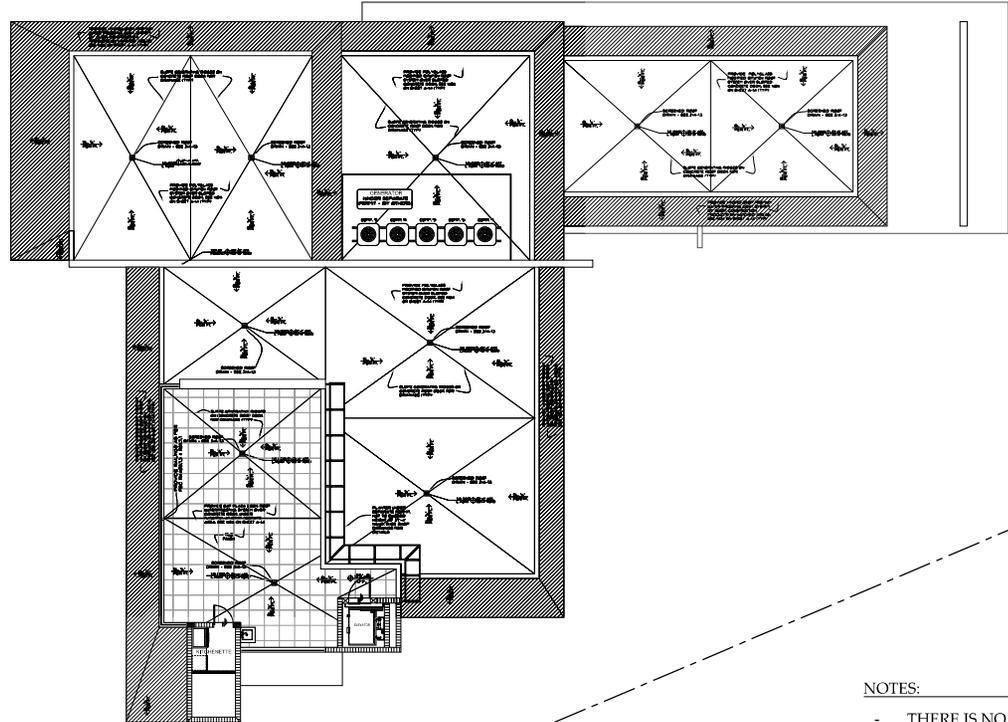
NO.	ISSUE DESCRIPTION	DATE
2	FINAL SUBMITTAL	10/11/2023
1	FIRST SUBMITTAL	06/18/2023
NO.1	ISSUE DESCRIPTION	DATE

PROJECT: PRIVATE RESIDENCE  
 428 S HIBISCUS DRIVE  
 MIAMI BEACH, FL 33139

SHEET TITLE:  
 EXISTING ROOF PLAN

SEAL & SIGNATURE 	DATE: AUG/SE/21/2023 DRAWING NO.: SCALE: AS SHOWN CHECK BY: DRAWN BY: <b>A-1.03a</b> CUSTOMER:
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NOTES:



EXISTING SEAWALL

NOTES:

- THERE IS NO CHANGE PROPOSED TO THE EXISTING ROOF AS A PART OF THIS APPLICATION
- PROPOSED AREA OF WORK IS NOT VISIBLE FROM ABOVE
- PROPOSED AREA OF WORK IS NOT VISIBLE FROM THE PROPERTY TO THE WEST
- PROPOSED AREA OF WORK IS NOT VISIBLE FROM THE PROPERTY TO THE EAST

**1** PROPOSED ROOF PLAN  
 SCALE 1/8" = 1'-0"



NO.	ISSUE DESCRIPTION	DATE
2	FINAL SUBMITTAL	10/11/2023
1	FIRST SUBMITTAL	06/18/2023
NO.	ISSUE DESCRIPTION	DATE

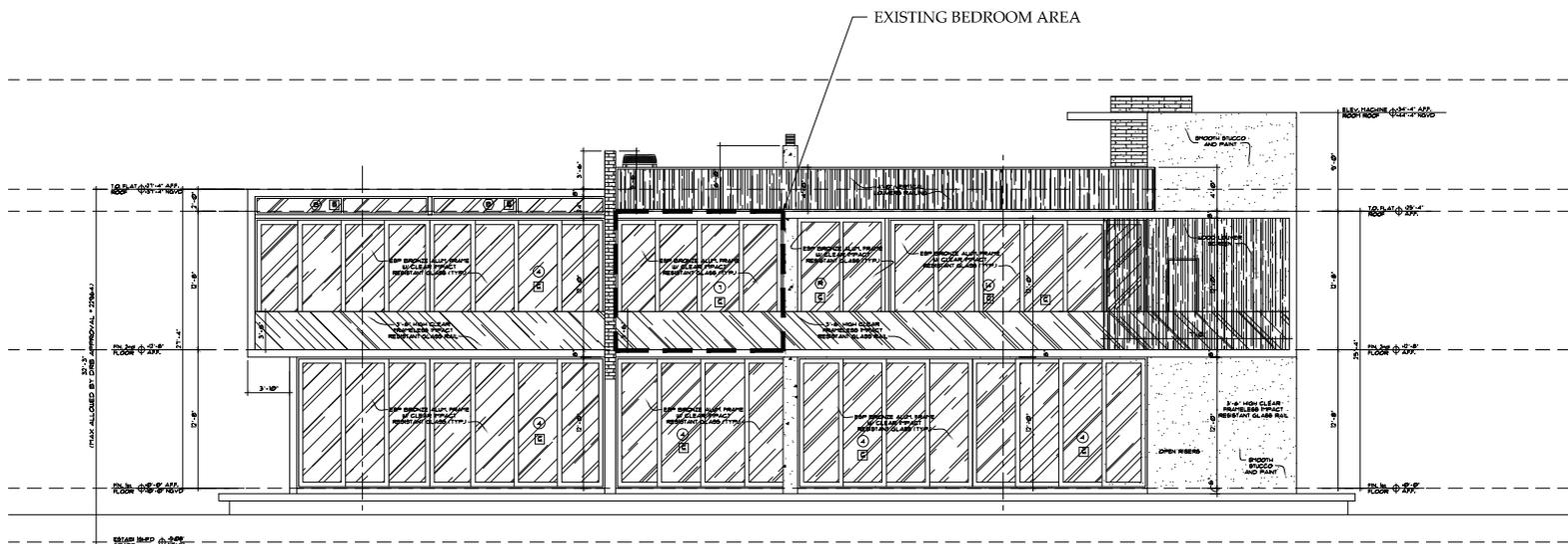
PROJECT: PRIVATE RESIDENCE  
 428 S HIBISCUS DRIVE  
 MIAMI BEACH, FL 33139

SHEET TITLE:  
 PROPOSED ROOF PLAN

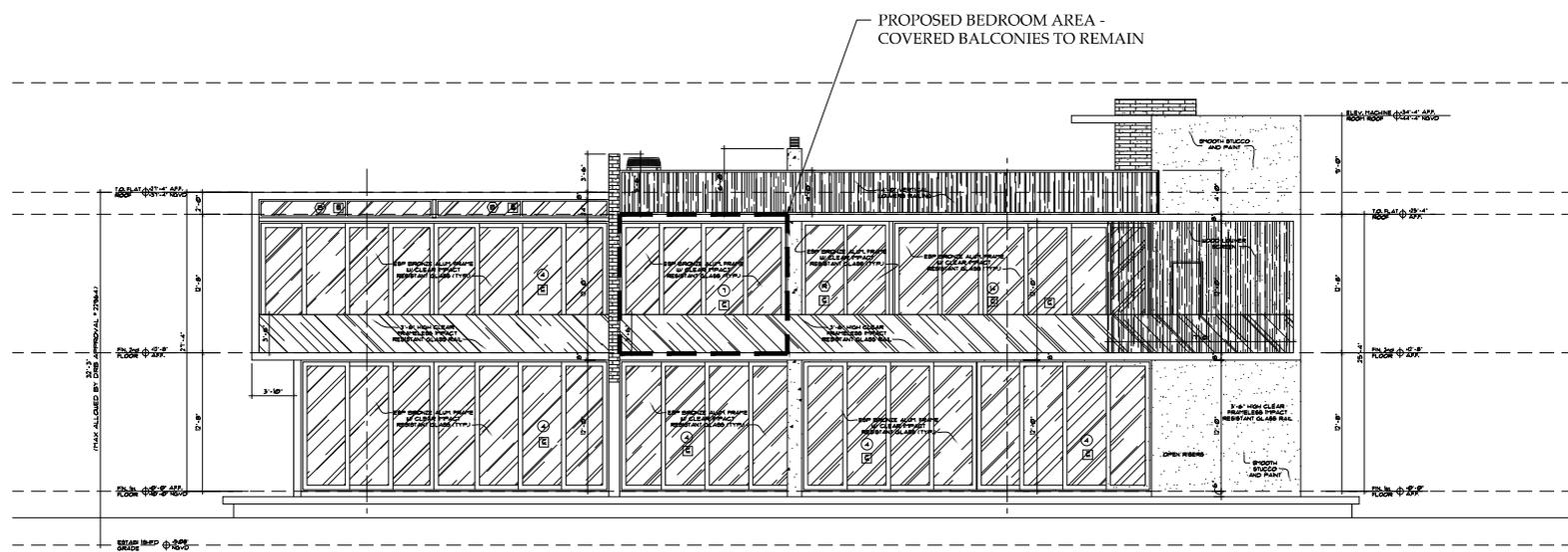


DATE: AUG 21, 2023  
 DRAWING NO.:  
 SCALE: AS NOTED  
 CHECKED BY:  
 DRAWN BY:  
**A-1.03b**  
 CUSTOMER: PROJECT NO.:

NOTES:



① EXISTING REAR ELEVATION  
 SCALE: 3/16" = 1'-0"



② PROPOSED REAR ELEVATION  
 SCALE: 3/16" = 1'-0"

2	FINAL SUBMITTAL	10/11/2023
1	FIRST SUBMITTAL	09/18/2023
NCL	ISSUE DESCRIPTION	DATE

PROJECT: PRIVATE RESIDENCE  
 428 S HIBISCUS DRIVE  
 MIAMI BEACH, FL 33139

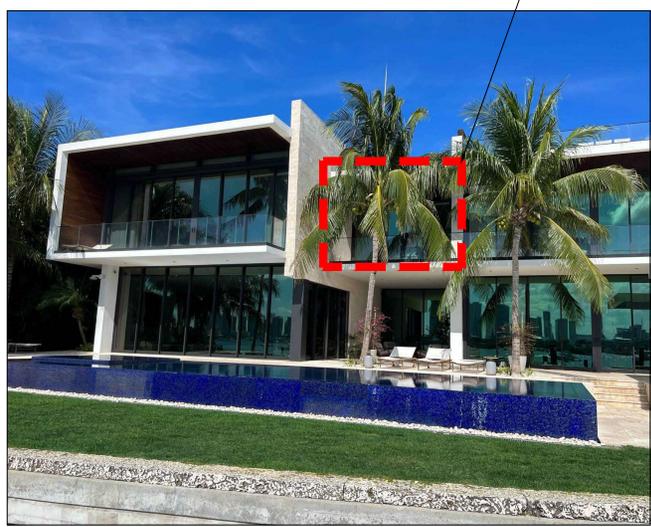
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 EXISTING AND PROPOSED ELEVATIONS



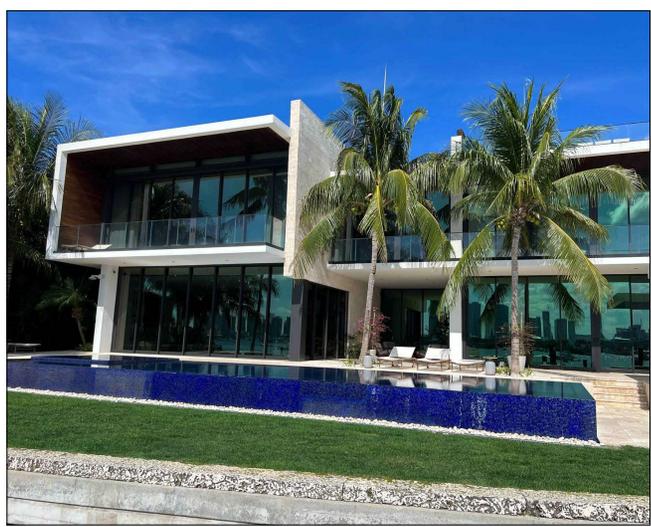
DATE: AUGUST 21, 2023  
 PROJECT No.:  
 SCALE: ASSUMED  
 CHK. BY:  
 DPC No.:  
**A-2.00**  
 CARRIER: PAGE No.

NOTES:

AREA OF PROPOSED WORK



① REAR - LOOKING NORTH EXISTING



② REAR - LOOKING NORTH PROPOSED

NOTES:

- THERE IS NO CHANGE PROPOSED TO THE EXISTING ROOF AS A PART OF THIS APPLICATION
- PROPOSED AREA OF WORK IS NOT VISIBLE FROM ABOVE
- PROPOSED AREA OF WORK IS NOT VISIBLE FROM THE PROPERTY TO THE WEST
- PROPOSED AREA OF WORK IS NOT VISIBLE FROM THE PROPERTY TO THE EAST

NO.	ISSUE DESCRIPTION	DATE
2	FINAL SUBMITTAL	10/11/2023
1	FIRST SUBMITTAL	09/18/2023

PROJECT: PRIVATE RESIDENCE  
 428 S HIBISCUS DRIVE  
 MIAMI BEACH, FL 33139

SHEET TITLE:  
 RENDERING



DATE: AUGUST 21, 2023  
 PROJECT No.:  
 SCALE: AS NOTED  
 CDR. BY:  
 DDC No.:  
**A-5.00**  
 CADD No.:  
 PAGE No.:



# Thank You

200 S. Biscayne Boulevard  
Suite 300, Miami, FL 33131

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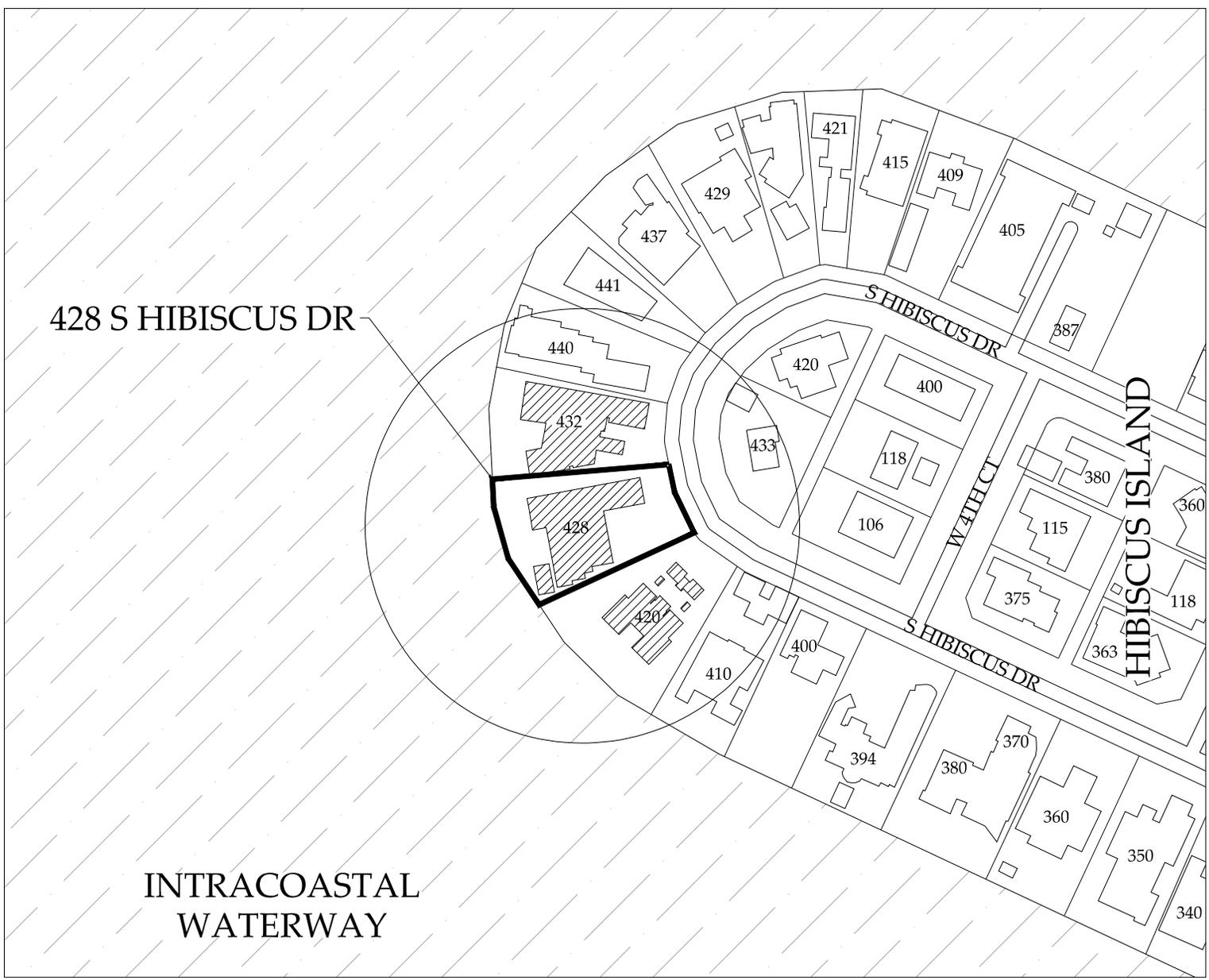
NOTES:

NO.	ISSUE DESCRIPTION	DATE
2	FINAL SUBMITTAL	10/11/2023
1	FIRST SUBMITTAL	09/18/2023
NO.	ISSUE DESCRIPTION	DATE

PROJECT: PRIVATE RESIDENCE  
 428 S HIBISCUS DRIVE  
 MIAMI BEACH, FL 33139

SHEET TITLE:  
 SITE LOCATION PLAN

SEAL & SIGNATURE 	DATE: AUGUST 31, 2023
	PROJECT NO.:
	SCALE: AS SHOWN
	CHK. BY:
	DATE: A-0.01



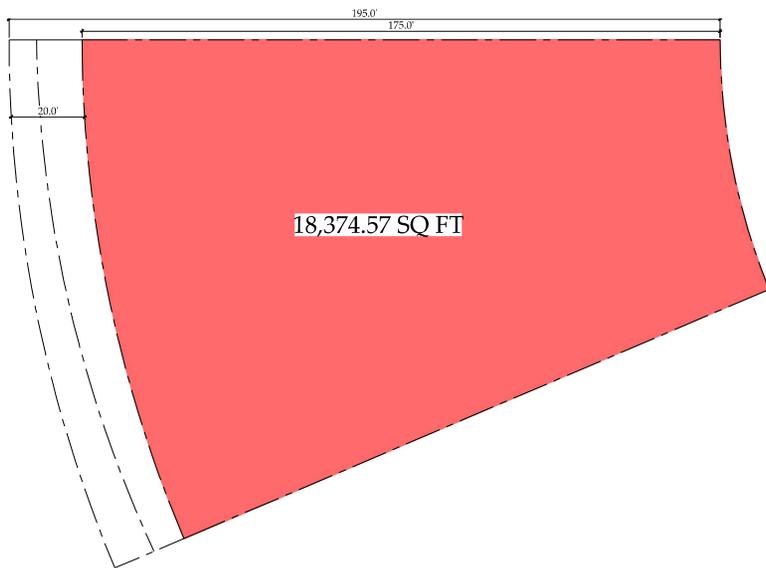
428 S HIBISCUS DR

INTRACOASTAL  
 WATERWAY

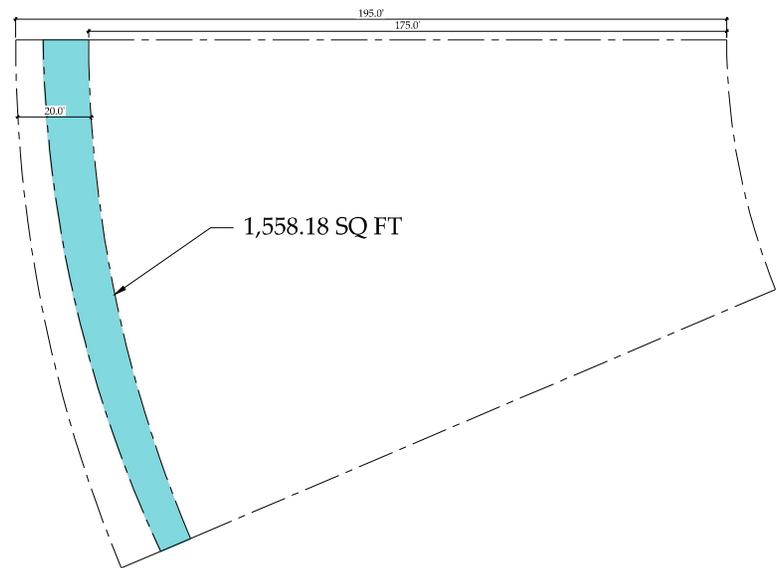
1 SITE LOCATION PLAN  
 SCALE: 1/4" = 1'-0"



NOTES:



① LOT AREA TO 175' PROPERTY BOUNDARY  
 SCALE: 1/16" = 1'-0"



② LOT AREA FOR CENTER OF SEAWALL TO 175' PROPERTY BOUNDARY  
 SCALE: 1/16" = 1'-0"



③ LOT AREA TO CENTER OF SEAWALL  
 SCALE: 1/16" = 1'-0"

AREA CALCULATIONS		ZONING DISTRICT RS-3
	AREA (SQ. FT.)	AREA (%)
PLATTED LOT (TO 175')	18,374.57	92.2
AREA BETWEEN PLATTED LOT (TO 175') AND CENTER OF SEAWALL	1,558.18	7.8
PLATTED LOT (TO 175') TO CENTER OF SEAWALL	19,932.75	100

NOTE: INFORMATION NOTED BELOW WAS TAKEN FROM SURVEY DRAWINGS DATED OCTOBER 10, 2023 PREPARED BY MARTINEZ AND MARTINEZ ENTERPRISES INC.

NO.	ISSUE DESCRIPTION	DATE
2	FINAL SUBMITTAL	10/11/2023
1	FIRST SUBMITTAL	09/18/2023

PROJECT: PRIVATE RESIDENCE  
 428 S HIBISCUS DRIVE  
 MIAMI BEACH, FL 33139

SHEET TITLE:  
 LOT AREA DIAGRAM



DATE: AUGUST 31, 2023  
 PROJECT No.:  
 SCALE: ASSUMED  
 CHK. BY:  
 DATE: A-0.05  
 CADD No.:  
 PLOT No.:

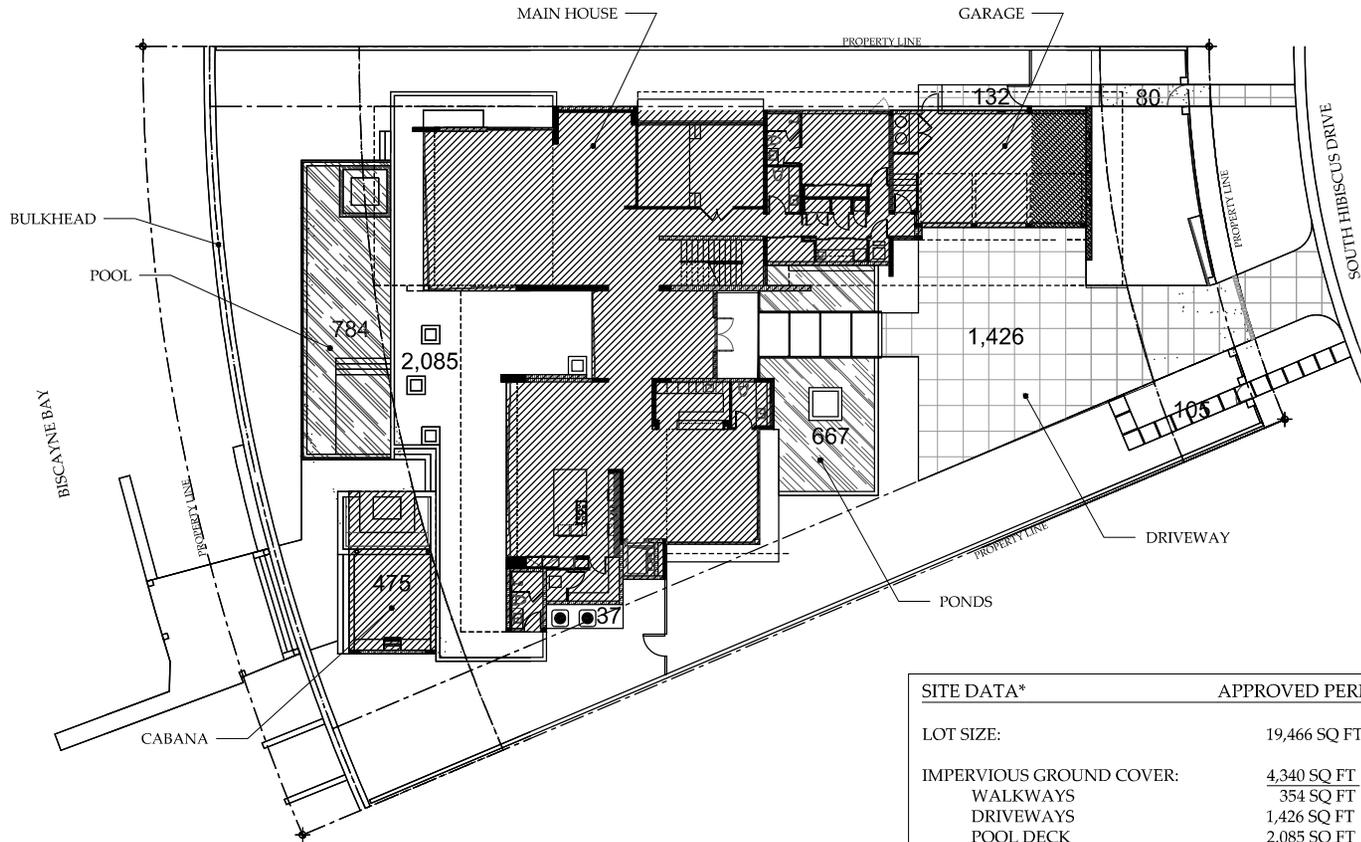
# SITE DATA

APPROVED PERMIT 2014

**MADISON WORTH  
ARCHITECTURE, DPC**

403 Madison Avenue, Suite 300, New York, NY 10017 - Tel: 212.253.2501  
127 Worth Avenue, Suite 300, Palm Beach, FL 33480 - Tel: 561.833.5262

NOTES:



① SITE AREA - DRB# 22964  
SCALE:  $\frac{3}{32}$ " = 1'-0"

SITE DATA*		APPROVED PERMIT 2014
LOT SIZE:		19,466 SQ FT
IMPERVIOUS GROUND COVER:		4,340 SQ FT
WALKWAYS		354 SQ FT
DRIVEWAYS		1,426 SQ FT
POOL DECK		2,085 SQ FT
CABANA		475 SQ FT
WATER FEATURES:		1,451 SQ FT
POOL		784 SQ FT
PONDS		667 SQ FT
LANDSCAPE AREA:		7,874 SQ FT

\*NOTE: DATA TAKEN FROM CHOEFF+LEVY P.A.  
DRAWING A-1.0 REV1 DATED 03/28/2014

NO.	ISSUE DESCRIPTION	DATE
2	FINAL SUBMITTAL	10/11/2013
0	FIRST SUBMITTAL	06/18/2013

PROJECT: PRIVATE RESIDENCE  
428 S HIBISCUS DRIVE  
MIAMI BEACH, FL 33139

SHEET TITLE:  
SITE AREAS - CURRENT

	DATE: AUGUST 21 2013
	SCALE: AS NOTED
	PROJECT: A-0.05a
	CHECKED: [Signature]



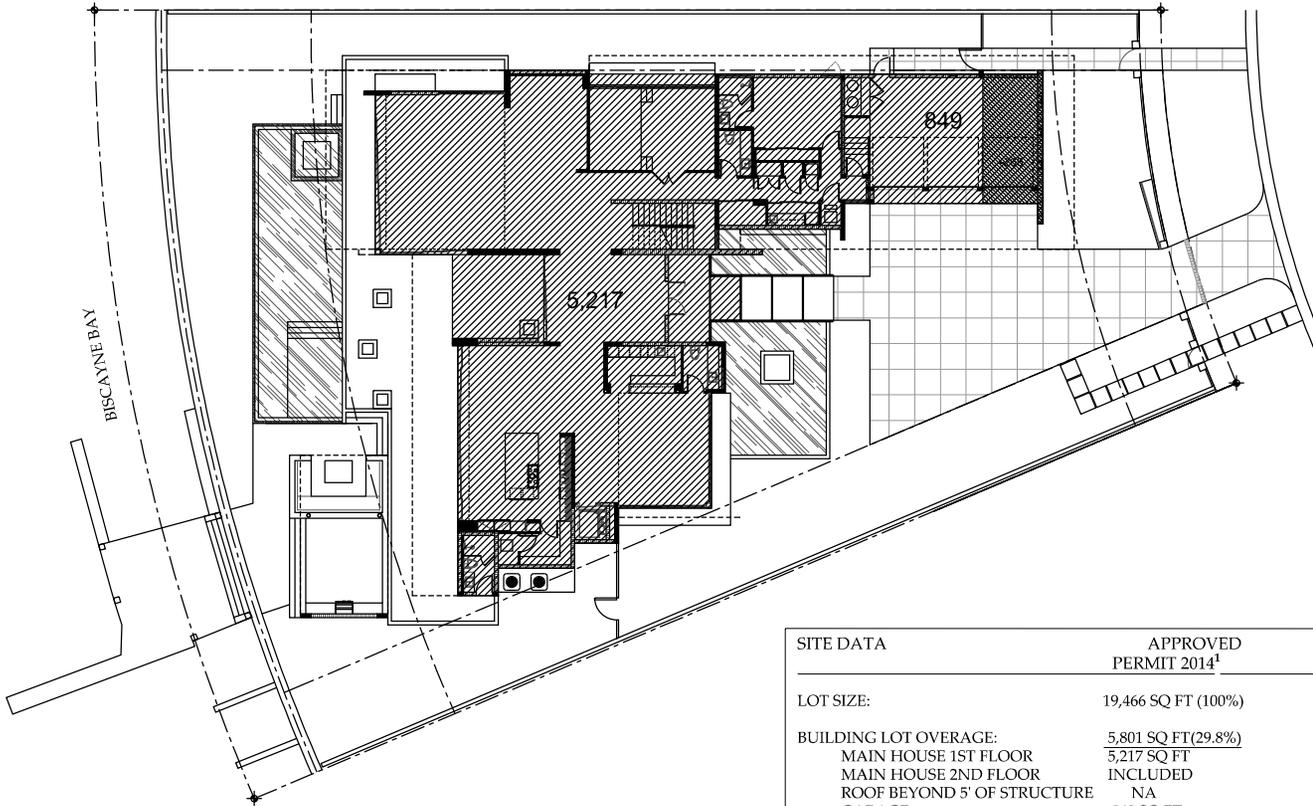
# SITE DATA COMPARISON

DBR# 22964 VS CURRENT CODE

**MADISON WORTH  
ARCHITECTURE, DPC**

845 Madison Avenue, Suite 201, New York, NY 10022 - Tel: 212.337.3241  
115 Worth Avenue, Suite 306, Palm Beach, FL 33480 - Tel: 561.833.3242

NOTES:



① BUILDING AREA PER DBR# 22964  
SCALE: 3/32" = 1'-0"

SITE DATA	APPROVED PERMIT 2014 <sup>1</sup>	CURRENT CODE <sup>2</sup>	PROPOSED
LOT SIZE:	19,466 SQ FT (100%)	19,933 SQ FT (100%) <sup>3</sup>	19,933 SQ FT (100%)
BUILDING LOT COVERAGE:	5,801 SQ FT (29.8%)	6,262 SQ FT (31.4%)	6,334 SQ FT (31.8%)
MAIN HOUSE 1ST FLOOR	5,217 SQ FT	4,744 SQ FT	4,744 SQ FT
MAIN HOUSE 2ND FLOOR	INCLUDED	666 SQ FT	794 SQ FT
ROOF BEYOND 5' OF STRUCTURE	NA	321 SQ FT	265 SQ FT
GARAGE	849 SQ FT	766 SQ FT	766 SQ FT
GARAGE CREDIT	-265 SQ FT	-235 SQ FT	-235 SQ FT
IMPERVIOUS GROUND COVER:	4,340 SQ FT (22.3%)	4,480 SQ FT (22.5%)	4,480 SQ FT (22.5%)
WALKWAYS	354 SQ FT	354 SQ FT	354 SQ FT
DRIVEWAYS	1,426 SQ FT	1,426 SQ FT	1,426 SQ FT
POOL DECK	2,085 SQ FT	2,985 SQ FT	2,985 SQ FT
CABANA	475 SQ FT	475 SQ FT	475 SQ FT
BULKHEAD <sup>4</sup>	NA	140 SQ FT	140 SQ FT
WATER FEATURES:	1,451 SQ FT (7.4%)	1,451 SQ FT (7.3%)	1,451 SQ FT (7.3%)
POOL	784 SQ FT	784 SQ FT	784 SQ FT
PONDS	667 SQ FT	667 SQ FT	667 SQ FT
LANDSCAPE AREA:	7,874 SQ FT (40.5%)	7,762 SQ FT (38.9%)	7,690 SQ FT (38.5%)

1. DATA TAKEN FROM CHOEFF+LEVY P.A. DRAWING A-1.0 REV1 DATED 03/28/2014
2. CURRENT SQ FT TAKEN FROM CAD FILES OF EXISTING CONDITIONS; CANNOT ACCOUNT FOR SLIGHT DIFFERENCES FROM APPROVED PERMIT 2014
3. LOT AREA PER MARTINEZ & MARTINEZ ENTERPRISES, INC. SURVEY DATED 10/10/2023
4. LOT AREA SEAWARD OF BULKHEAD(SEAWALL) TO PROPERTY LINE IS NOT ACCOUNTED AS LOT AREA

2	FINAL SUBMITTAL	10/11/2023
1	FIRST SUBMITTAL	06/18/2023
NO.1	ISSUE DESCRIPTION	DATE

PROJECT: PRIVATE RESIDENCE  
428 S HIBISCUS DRIVE  
MIAMI BEACH, FL 33139

SHEET TITLE: PROPERTY AREAS - ORIGINAL, CURRENT, PROPOSED

SEAL & SIGNATURE 	DATE: AUG 25 21 2023 PROJECT NO.: SCALE: AS NOTED CRE. BY: DRC. BY: <b>A-0.05b</b> CUSTOMER: 1762 No
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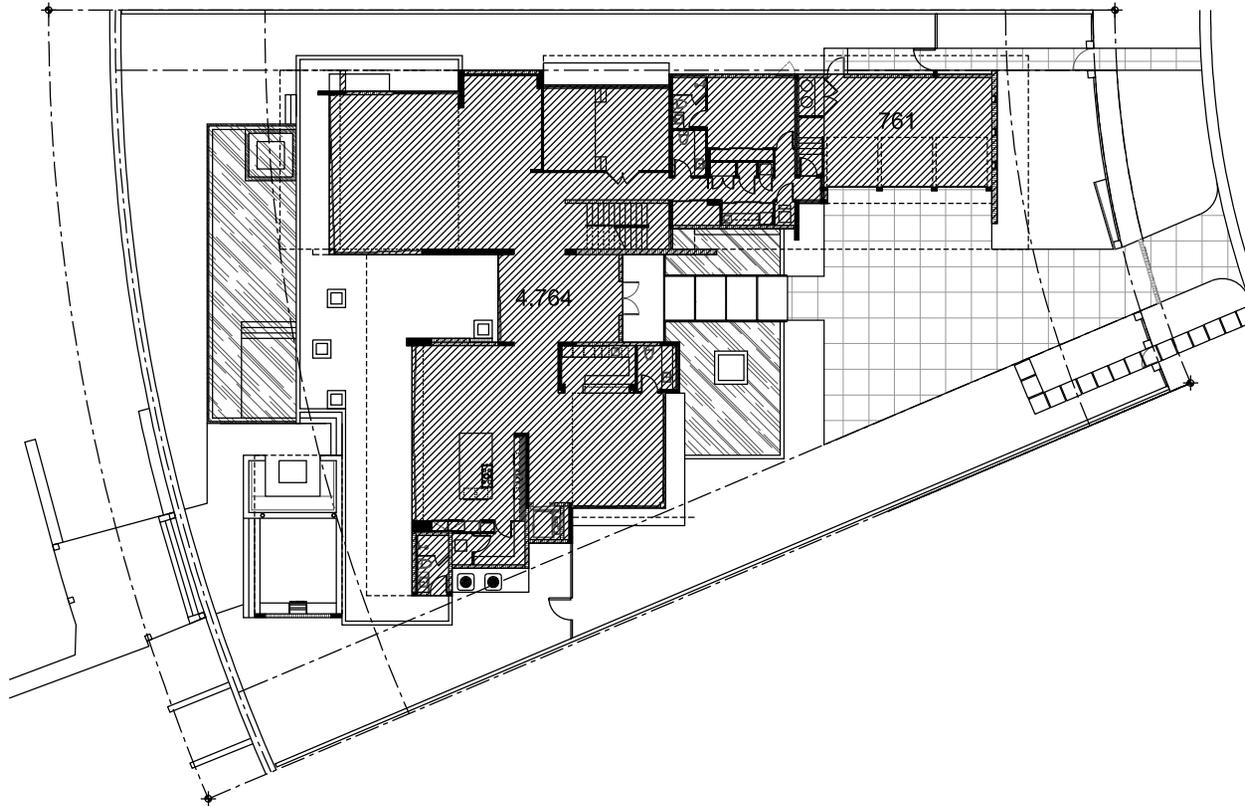
# BUILDING DATA COMPARISON

APPROVED PERMIT 2014 VS CURRENT CODE

**MADISON WORTH  
ARCHITECTURE, DPC**

845 Madison Avenue, Suite 201, New York, NY 10022 • Tel: 212.335.3241  
115 Worth Avenue, Suite 306, Palm Beach, FL 33480 • Tel: 561.833.3242

NOTES:



① 1ST FLOOR AREA - PERMIT 2014  
SCALE: 3/32" = 1'-0"



BUILDING DATA	APPROVED PERMIT 2014 <sup>1</sup>	EXISTING CURRENT CODE <sup>2</sup>	PROPOSED
LOT SIZE:	19,466 SQ FT	19,933 SQ FT <sup>3</sup>	19,933 SQ FT
BUILDING INTERIORS:	10,974 SQ FT	10,864 SQ FT	10,992 SQ FT
MAIN HOUSE 1ST FLOOR	4,764 SQ FT	4,744 SQ FT	4,744 SQ FT
MAIN HOUSE 2ND FLOOR	5,684 SQ FT	5,854 SQ FT	5,854 SQ FT
GARAGE	761 SQ FT	766 SQ FT	766 SQ FT
GARAGE CREDIT	-235 SQ FT	-500 SQ FT	-500 SQ FT
PROPOSED BALCONY EXTENSION			128 SQ FT
UNIT SIZE/LOT SIZE:	56.4 %	54.5 %	55.1 %

1. DATA TAKEN FROM CHOEFF-LEVY P.A. DRAWING A-1.0 REV1 DATED 03/28/2014
2. CURRENT SQ FT TAKEN FROM CAD FILES OF EXISTING CONDITIONS; CANNOT ACCOUNT FOR SLIGHT DIFFERENCES FROM APPROVED PERMIT 2014
3. LOT AREA PER MARTINEZ & MARTINEZ ENTERPRISES, INC. SURVEY DATED 10/10/2023

2	FINAL SUBMITTAL	10/11/2023
1	FIRST SUBMITTAL	06/18/2023
NO.1	ISSUE DESCRIPTION	DATE

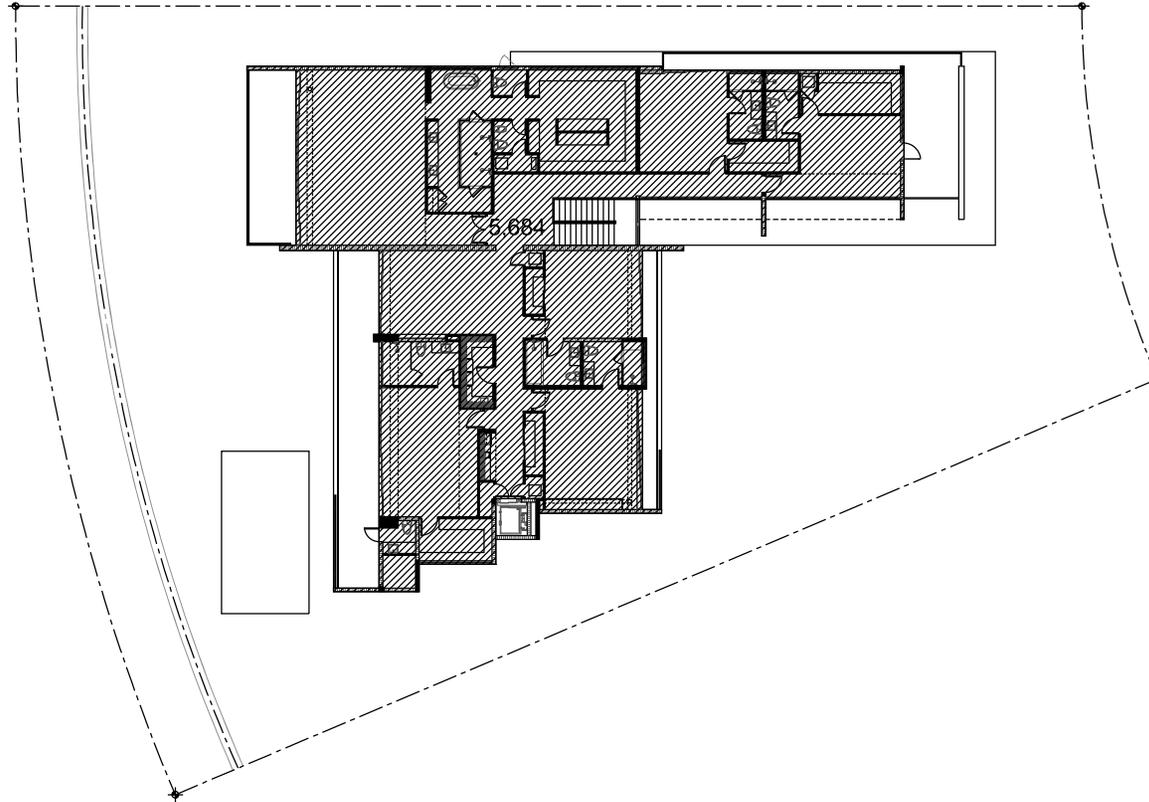
PROJECT:  
PRIVATE RESIDENCE  
428 S HIBISCUS DRIVE  
MIAMI BEACH, FL 33139

SHEET TITLE:  
BUILDING AREAS - ORIGINAL, CURRENT, PROPOSED

SEAL & SIGNATURE 	DATE: AUG 05 21 2023 PROJECT NO.: SCALE: AS NOTED SHEET NO.: CUSTOMER: A-0.05d
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# BUILDING DATA COMPARISON

APPROVED PERMIT 2014 VS CURRENT CODE



① 2ND FLOOR AREA - PERMIT 2014  
SCALE: 3/32" = 1'-0"



BUILDING DATA	APPROVED PERMIT 2014 <sup>1</sup>	EXISTING CURRENT CODE <sup>2</sup>	PROPOSED
LOT SIZE:	19,466 SQ FT	19,933 SQ FT <sup>3</sup>	19,933 SQ FT
BUILDING INTERIORS:	10,974 SQ FT	10,864 SQ FT	10,992 SQ FT
MAIN HOUSE 1ST FLOOR	4,764 SQ FT	4,744 SQ FT	4,744 SQ FT
MAIN HOUSE 2ND FLOOR	5,684 SQ FT	5,854 SQ FT	5,854 SQ FT
GARAGE	761 SQ FT	766 SQ FT	766 SQ FT
GARAGE CREDIT	-235 SQ FT	-500 SQ FT	-500 SQ FT
PROPOSED BALCONY EXTENSION			128 SQ FT
UNIT SIZE/LOT SIZE:	56.4 %	54.5 %	55.1 %

1. DATA TAKEN FROM CHOEFF-LEVY P.A. DRAWING A-1.0 REV1 DATED 03/28/2014
2. CURRENT SQ FT TAKEN FROM CAD FILES OF EXISTING CONDITIONS; CANNOT ACCOUNT FOR SLIGHT DIFFERENCES FROM APPROVED PERMIT 2014
3. LOT AREA PER MARTINEZ & MARTINEZ ENTERPRISES, INC. SURVEY DATED 10/10/2023

## MADISON WORTH ARCHITECTURE, DPC

845 Madison Avenue, Suite 201, New York, NY 10022 • Tel: 212.335.3241  
125 Worth Avenue, Suite 306, Palm Beach, FL 33480 • Tel: 561.833.3242

### NOTES:

2	FINAL SUBMITTAL	10/11/2023
1	FIRST SUBMITTAL	06/18/2023
NO	ISSUE DESCRIPTION	DATE

PROJECT: PRIVATE RESIDENCE  
428 S HIBISCUS DRIVE  
MIAMI BEACH, FL 33139

SHEET TITLE: BUILDING AREAS - ORIGINAL, CURRENT, PROPOSED

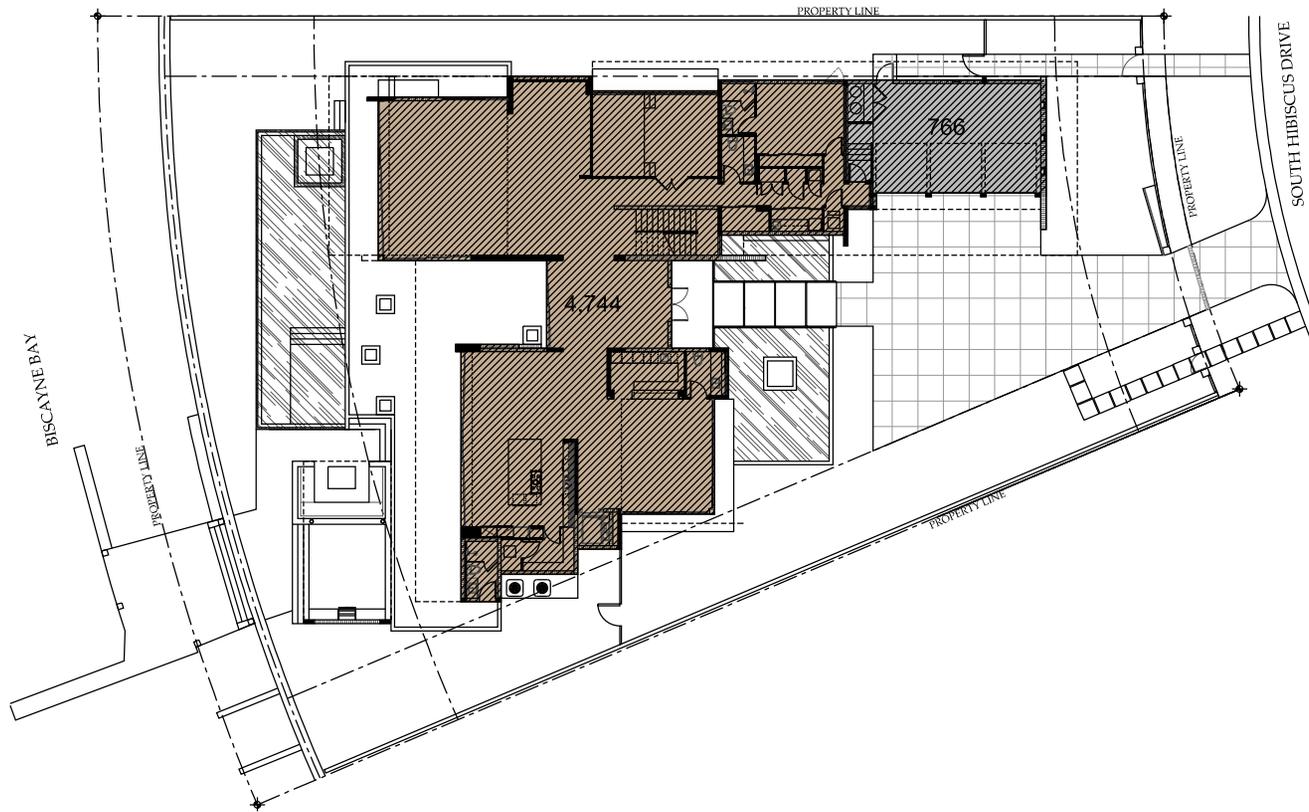
SEAL & SIGNATURE 	DATE: AUGUST 21, 2023 PROJECT No.: SCALE: AS NOTED SHEET No.: CUSTOMER: A-0.05e DRAWING No.:
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# BUILDING DATA COMPARISON

APPROVED PERMIT 2014 VS CURRENT CODE

**MADISON WORTH ARCHITECTURE, DPC**

865 Madison Avenue, Suite 201, New York, NY 10022 - Tel: 212.335.3241  
125 Worth Avenue, Suite 306, Palm Beach, FL 33480 - Tel: 561.833.3242



① 1ST FLOOR AREA - CURRENT  
SCALE: 3/32" = 1'-0"

BUILDING DATA	APPROVED PERMIT 2014 <sup>1</sup>	EXISTING CURRENT CODE <sup>2</sup>	PROPOSED
LOT SIZE:	19,466 SQ FT	19,933 SQ FT <sup>3</sup>	19,933 SQ FT
BUILDING INTERIORS:	10,974 SQ FT	10,864 SQ FT	10,992 SQ FT
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3. CANNOT ACCOUNT FOR SLIGHT DIFFERENCES FROM APPROVED PERMIT 2014
3. LOT AREA PER MARTINEZ & MARTINEZ ENTERPRISES, INC. SURVEY DATED 10/10/2023

NOTES:

NO.	ISSUE DESCRIPTION	DATE
2	FINAL SUBMITTAL	10/11/2023
1	FIRST SUBMITTAL	06/18/2023
NO.1	ISSUE DESCRIPTION	DATE

PROJECT: PRIVATE RESIDENCE  
428 S HIBISCUS DRIVE  
MIAMI BEACH, FL 33139

SHEET TITLE:  
BUILDING AREAS - ORIGINAL, CURRENT, PROPOSED

SEAL & SIGNATURE 	DATE: AUG-SE-21-2023 PROJECT NO.: SCALE: AS NOTED CHK BY: DRC NO.: <b>A-0.05f</b> CUSTOMER: 1762 No
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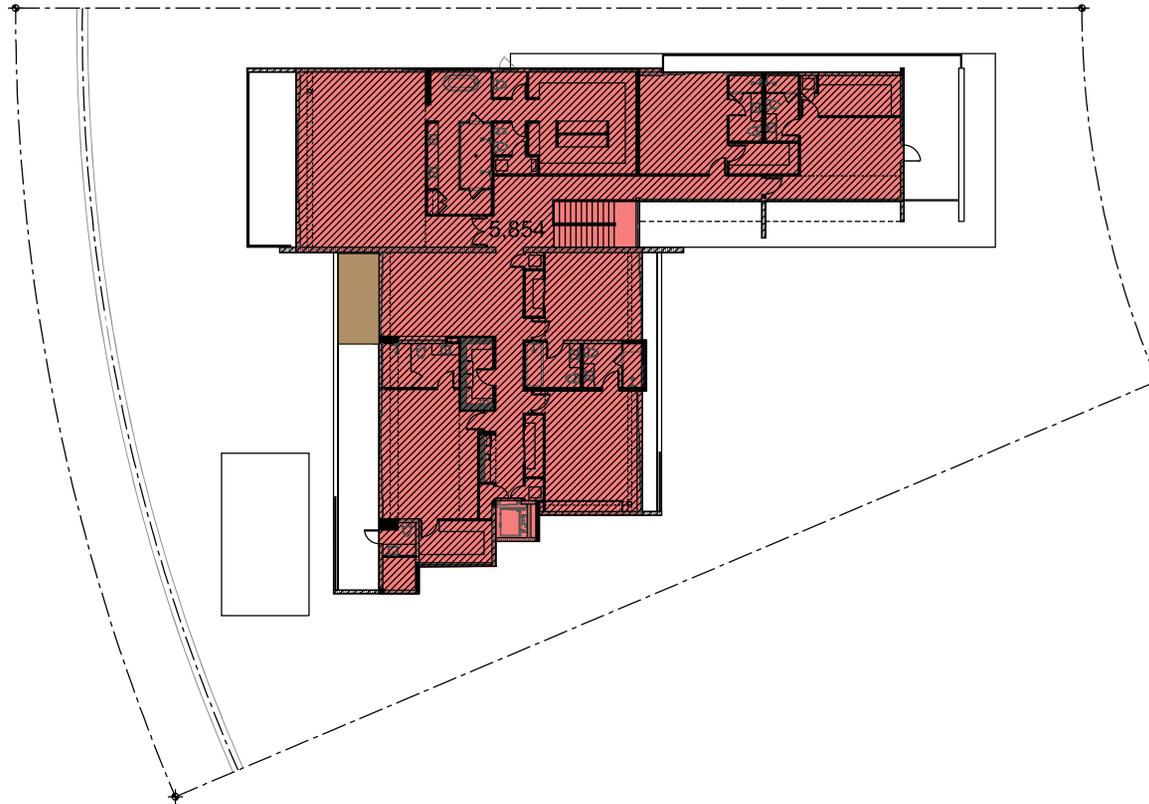
# BUILDING DATA COMPARISON

APPROVED PERMIT 2014 VS CURRENT CODE

**MADISON WORTH  
ARCHITECTURE, DPC**

845 Madison Avenue, Suite 201, New York, NY 10022 • Tel: 212.335.3241  
115 Worth Avenue, Suite 306, Palm Beach, FL 33480 • Tel: 561.833.3242

NOTES:



① 2ND FLOOR AREA - CURRENT  
SCALE: 3/32" = 1'-0"



BUILDING DATA	APPROVED PERMIT 2014 <sup>1</sup>	EXISTING CURRENT CODE <sup>2</sup>	PROPOSED
LOT SIZE:	19,466 SQ FT	19,933 SQ FT <sup>3</sup>	19,933 SQ FT
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3. LOT AREA PER MARTINEZ & MARTINEZ ENTERPRISES, INC. SURVEY DATED 10/10/2023

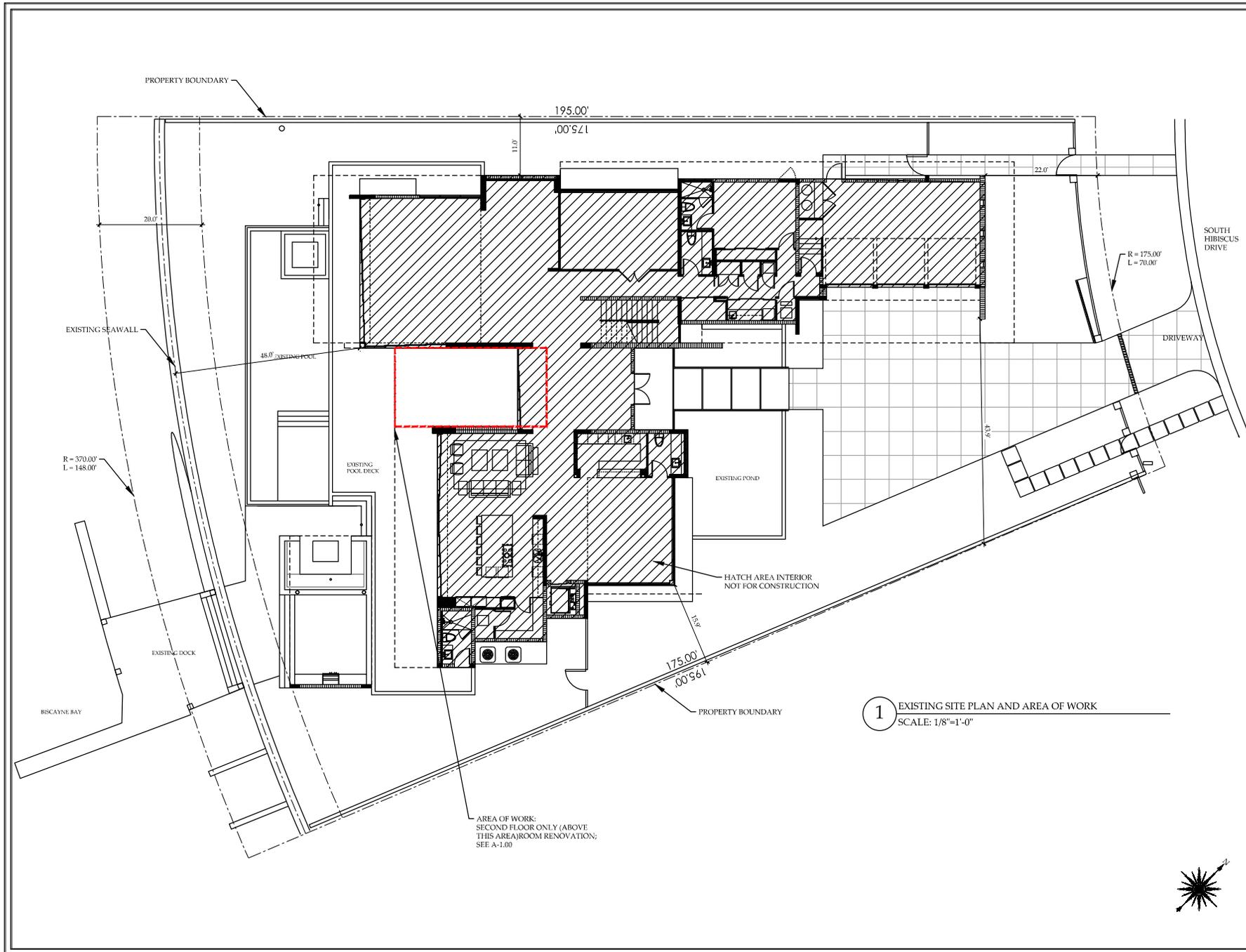
2	FINAL SUBMITTAL	10/11/2023
1	FIRST SUBMITTAL	06/18/2023
NO.	ISSUE DESCRIPTION	DATE

PROJECT:  
PRIVATE RESIDENCE  
428 S HIBISCUS DRIVE  
MIAMI BEACH, FL 33139

SHEET TITLE:  
BUILDING AREAS - ORIGINAL, CURRENT, PROPOSED

SEAL & SIGNATURE 	DATE: AUG 05 21 2023 PROJECT NO.: SCALE: AS NOTED SHEET NO.: <b>A-0.05g</b> CUSTOMER: 1762 No
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NOTES:



**1** EXISTING SITE PLAN AND AREA OF WORK  
 SCALE: 1/8"=1'-0"

AREA OF WORK:  
 SECOND FLOOR ONLY (ABOVE  
 THIS AREA) ROOM RENOVATION;  
 SEE A-1.00

2	FINAL SUBMITTAL	10/11/2023
1	FIRST SUBMITTAL	06/18/2023
	NOI ISSUE DESCRIPTION	DATE

PROJECT:  
 PRIVATE RESIDENCE  
 428 S HIBISCUS DRIVE  
 MIAMI BEACH, FL 33139

SHEET TITLE:  
 EXISTING SITE PLAN &  
 AREA OF WORK

SEAL & SIGNATURE 	DATE: AUG/21/23
	PROJECT NO.:
	SCALE: AS SHOWN
	CHEK BY:
	<b>A-0.20</b>
	CUSTOMER: 1762 No



NOTES:

**MIAMI BEACH**

Planning Department  
 1700 Convention Center Drive, 2nd Floor  
 Miami Beach, Florida 33139, www.miamibeachfl.gov  
 305.673.7550

**SINGLE FAMILY RESIDENTIAL - ZONING DATA SHEET**

ALL INFORMATION REQUIRED BELOW MUST BE SUBMITTED AS REQUESTED. THE FORMAT OF THIS DOCUMENT MAY NOT BE MODIFIED OR ALTERED IN ANY WAY. SUBMITTALS FOUND INSUFFICIENT OR INCOMPLETE MAY FAIL THE REVIEW

ITEM #	Project Information				
1	Address:	428 S. HIBISCUS DRIVE			
2	Folio number(s):	02-3232-006-0220			
3	Board and file number(s) :	DRB23-0958 - Modification of DRB 22964			
4	Year built: 2016	Zoning District:	RS-3		
5	Located within a Local Historic District (Yes or No):	No			
6	Individual Historic Single Family Residence Site (Yes or No):	No			
7	Home determined Architecturally Significant by CMB (Yes or No):	No			
8	Base Flood Elevation:	AE-10	Grade value in NGVD:	5.28'	
9	Adjusted grade (Flood+Grade/2):	7.64'	Free board:	.10'	
10	30" above grade:	7.78'	Lot Area:	19,933 SF	
11	Lot width:	70'FRNT, 148'REAR	Lot Depth:	195'	
12	Max Lot Coverage SF and %:	5,886.47 SF, 30.0%	Proposed Lot Coverage SF and %:	6,334 SF, 31.8%	
13	Existing Lot Coverage SF and %:	6,262 SF, 31.4%	Net Lot coverage (garage-storage)	531 SF, 2.7%	
14	Front Yard Open Space SF and %:	981 SF, 67.6%	Rear Yard Open Space SF and %:	2,655 SF, 62%	
15	Max Unit Size SF and %:	10,974 SF, 56.4%	Proposed Unit Size SF and %:	10,992 SF, 55.1%	
16	Existing First Floor Unit Size:	4,744 SF	Proposed First Floor Unit Size:	4,744 SF	
17	Proposed Roof Deck Area SF and % (Note: Maximum is 25% of the enclosed floor area immediately below):	820.3 SF, 14%			
18	Signed and sealed Landscape Plans (Tree/Vegetation Survey, Tree Disposition Plan, and Irrigation Plan).		Yes or No:	No	
<b>ZONING INFORMATION / CALCULATION</b>		<b>Required</b>	<b>Existing</b>	<b>Proposed</b>	<b>Deficiencies</b>
19	Height measured from B.F.E. plus freeboard	11'	10.10'	10.10'	N/A
	Front Setbacks:	20'	20'	20'	N/A
20	Front First level:	20'	22'	22'	N/A
	Front second level:	30'	32.8'	32.8'	N/A
	Front second level if lot coverage is 25% or greater:	N/A	N/A	N/A	N/A
21	a) At least 35% of the front façade shall be setback 5' from the minimum required setback.	N/A	N/A	N/A	N/A
	b) At least 50% of the second floor along a side elevation facing a street shall be setback 5' from the minimum required setback.	50%	100%	100%	N/A
22	Sum of side yard :	27.25'	26.9'	26.9'	N/A
23	Side 1:	10.9'	11.0'	11.0'	N/A
24	Side 2 or (facing street):	15'	15.9'	15.9'	N/A
25	Rear:	29.25'	48.0'	48.0'	N/A
26	Accessory Structure Side 1:	N/A	N/A	N/A	N/A
27	Accessory Structure Side 2 or (facing street) :	N/A	N/A	N/A	N/A
28	Accessory Structure Rear:	N/A	N/A	N/A	N/A
30	Additional data or information that may be applicable to the project shall be provided in the following fields.	Balcony conversion - additional 128SF of living(AC) space.			

Notes: Indicate N/A if not applicable.

① ZONING DATA SHEET

2	FINAL SUBMITTAL	10/11/2023
1	FIRST SUBMITTAL	09/18/2023
N/A	ISSUE DESCRIPTION	DATE

PROJECT: PRIVATE RESIDENCE  
 428 S HIBISCUS DRIVE  
 MIAMI BEACH, FL 33139

SHEET TITLE:  
 ZONING DATA SHEET

SEAL & SIGNATURE 	DATE: AUGUST 31, 2023 PROJECT No.: SCALE: AS SHOWN CRE. BY: DATE: <b>A-0.40</b> SHEET No.
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November 30, 2023

**Design Review Board Members**

c/o Michael Belush, Planning & Design Officer  
Planning Department  
City of Miami Beach  
1700 Convention Center Drive, 2nd Floor  
Miami Beach, Florida 33139

Re: **DRB23-0958** – Modification of DRB File No. 22964 – Request for Two Variances for  
Minor Addition at the Property Located at 428 S. Hibiscus  
**Letter of Support**

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Dear Board Members:

I am the owner of 432 S. Hibiscus Dr., Miami Beach, Florida, which is in close proximity or abutting the above-referenced property. I had the opportunity to speak with the applicant's team to review plans, renderings and design requests for the proposed modification to renovate and add a small amount of livable area to the center of the second-floor of the existing single-family home for the family. The existing home is beautifully-designed and well-kept. The minor addition will not be visible, and therefore will have no impact.

Based on the foregoing, I fully support the applicant's modification to DRB File. No 22964 and ask the Design Review Board to grant the proposed minimal variances from the unit size and lot coverage requirements so this family may continue to use this great home.

Sincerely,



Signature

Andrew M. Mell

Print name

November 29, 2023

**Design Review Board Members**

c/o Michael Belush, Planning & Design Officer  
Planning Department  
City of Miami Beach  
1700 Convention Center Drive, 2nd Floor  
Miami Beach, Florida 33139

Re: **DRB23-0958** – Modification of DRB File No. 22964 – Request for Two Variances for  
Minor Addition at the Property Located at 428 S. Hibiscus  
**Letter of Support**

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Dear Board Members:

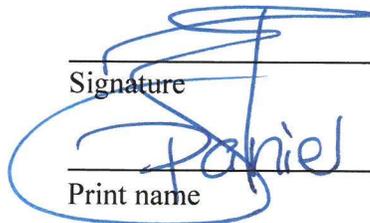
I am the owner of 420 S. Hibiscus Dr., Miami Beach, Florida, which is in close proximity or abutting the above-referenced property. I had the opportunity to speak with the applicant's team to review plans, renderings and design requests for the proposed modification to renovate and add a small amount of livable area to the center of the second-floor of the existing single-family home for the family. The existing home is beautifully-designed and well-kept. The minor addition will not be visible, and therefore will have no impact.

Based on the foregoing, I fully support the applicant's modification to DRB File. No 22964 and ask the Design Review Board to grant the proposed minimal variances from the unit size and lot coverage requirements so this family may continue to use this great home.

Sincerely,

Signature

Print name

  
\_\_\_\_\_  
Daniel Katsi  
\_\_\_\_\_