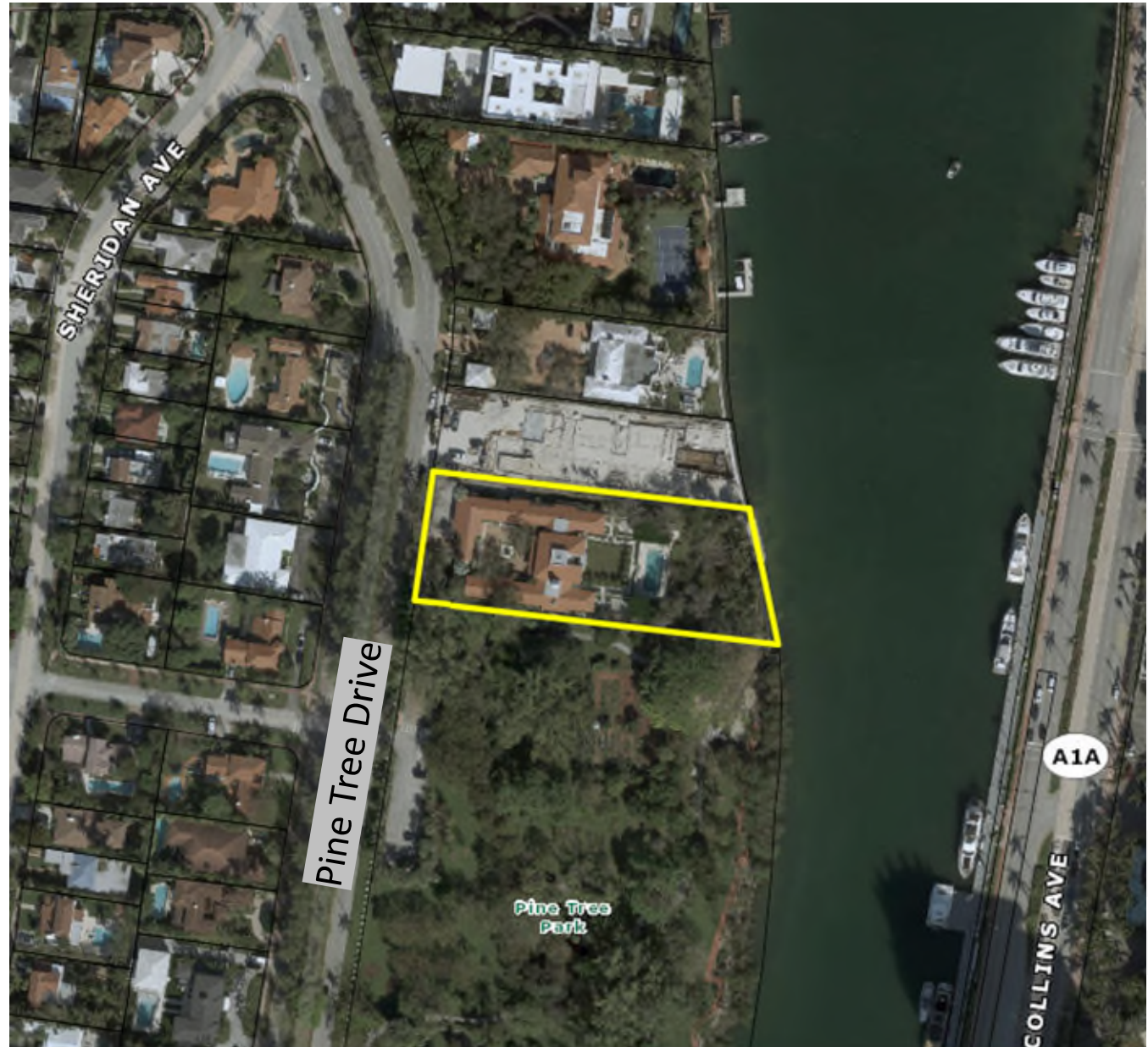


ZBA24-0170

4521 Pine Tree Drive



Property Location



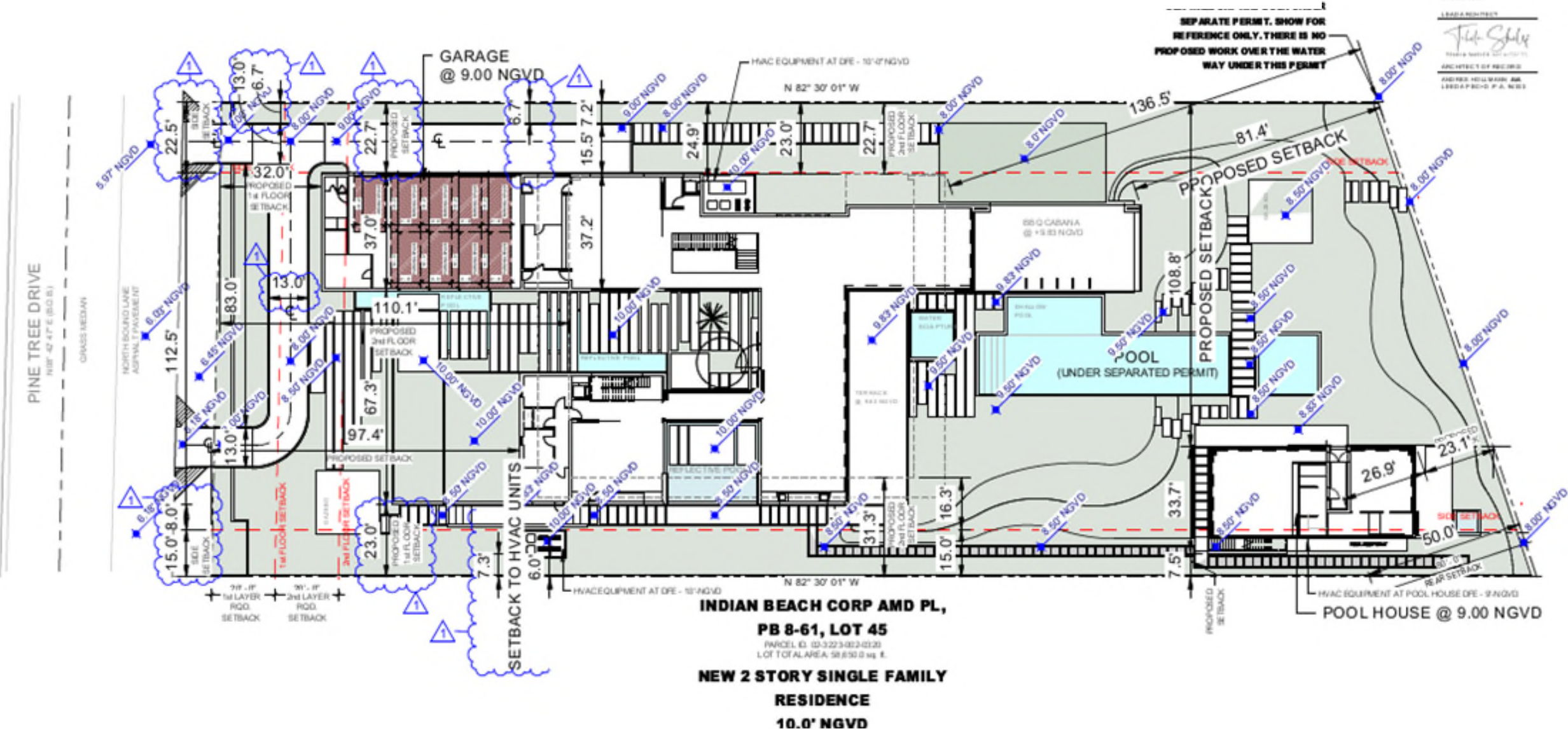
Front Elevation – Pine Tree Drive



Rear Elevation – Canal



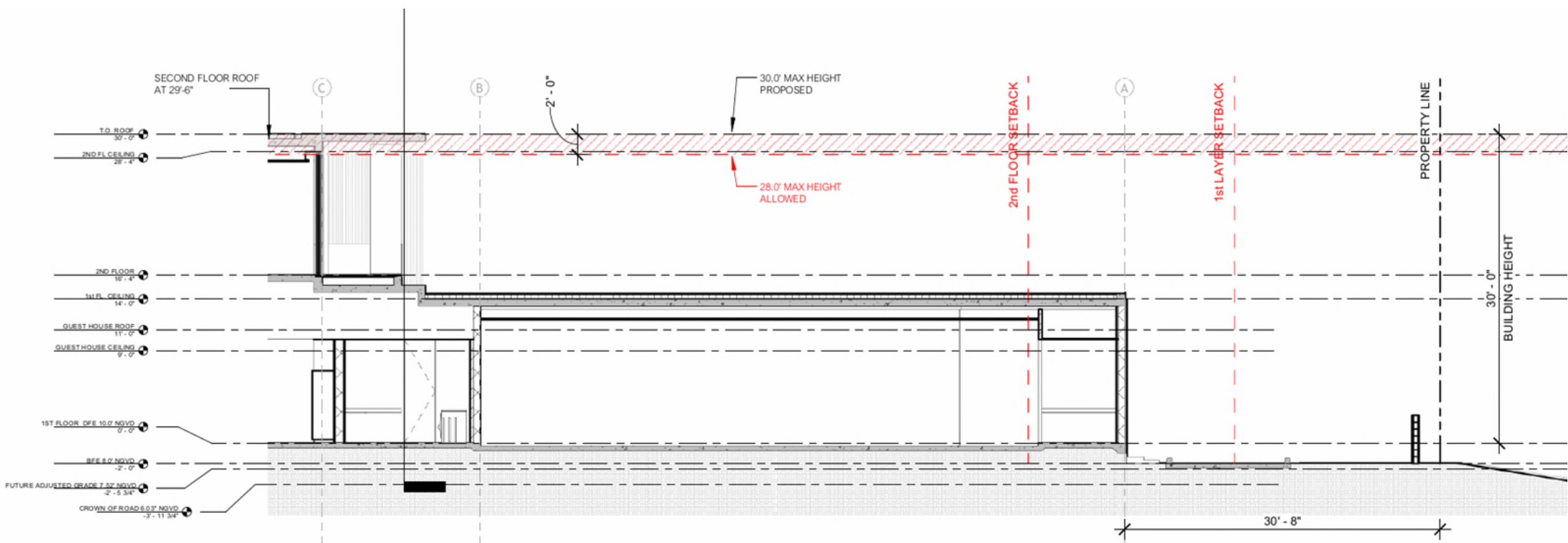
Site Plan



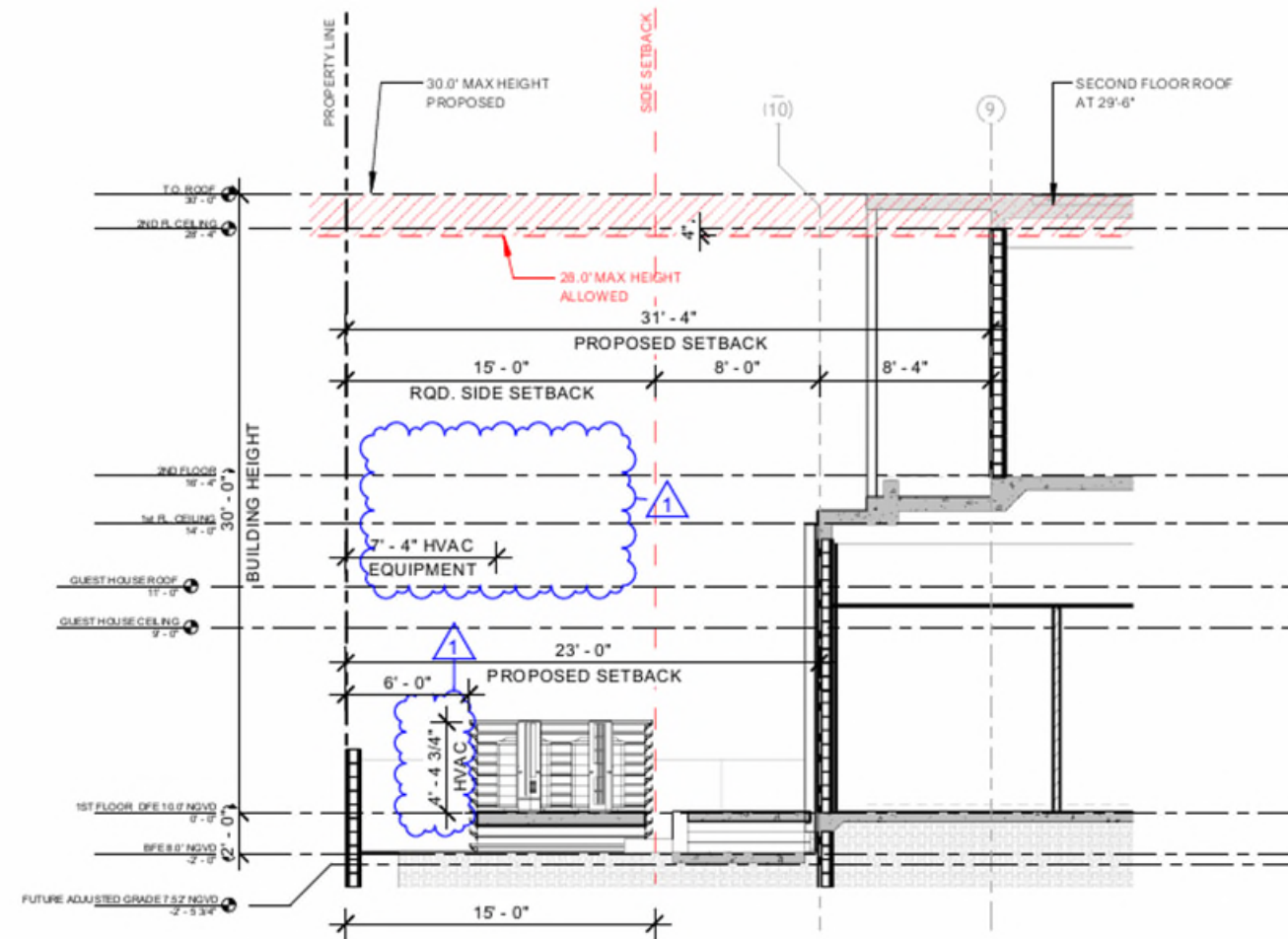
Variance Requests

- 1) To permit height of 30', where maximum permitted height for a flat roof is 28'
- 2) To permit a two-story portion of an accessory structure that encroaches beyond the rear yard setback to have an interior side yard setback of 7.5', where 15' is required
- 3) To permit a total sum of the side yard setbacks of 21% of the lot width or 32' for a two-story portion of an accessory structure that encroaches beyond the rear yard setback, when 25% of the lot width or 37.5'

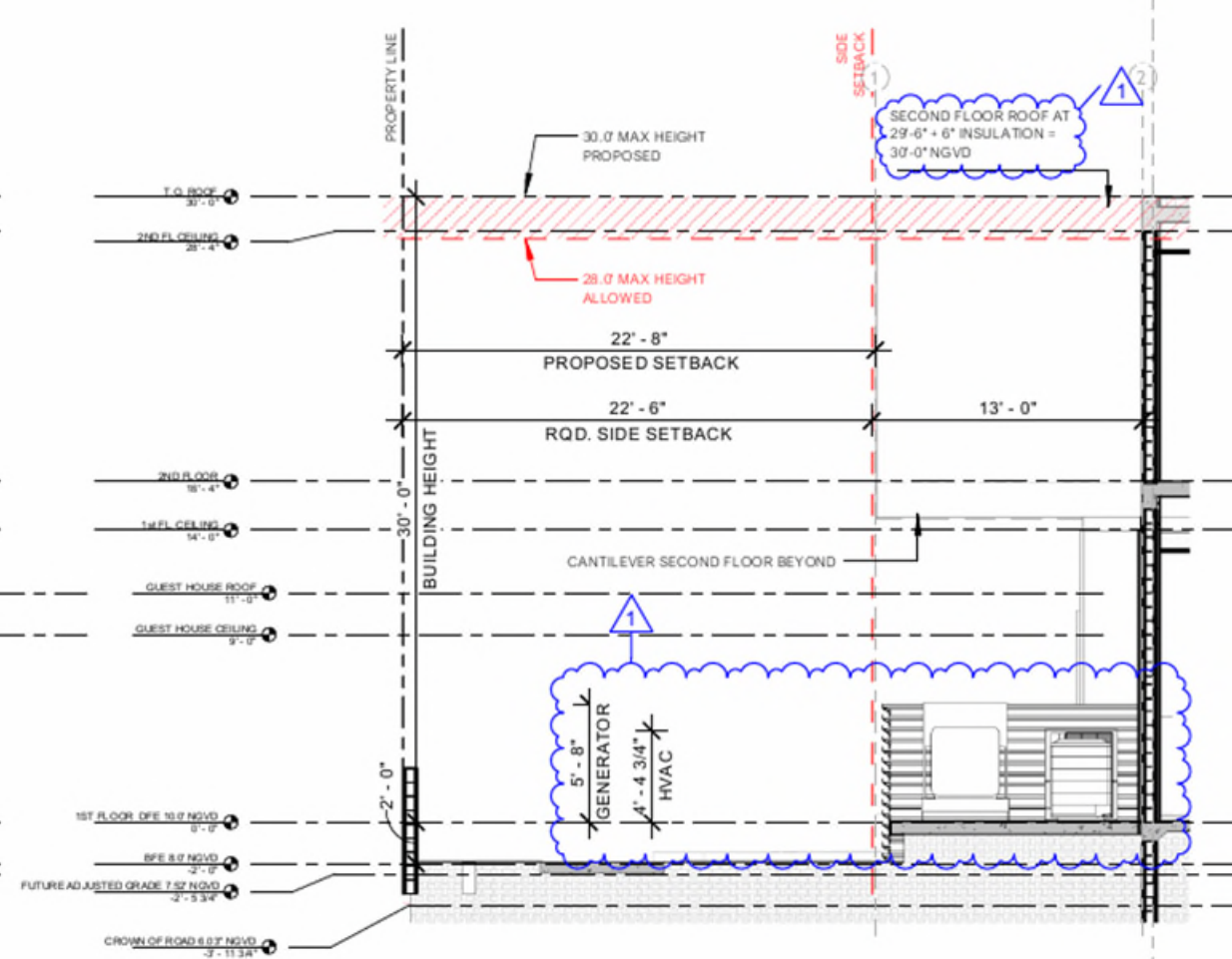
Variance Diagram



Variance Diagram



1	VARIANCE - SECTION B - SOUTH SIDE YARD
A-2.5	1/8" = 1'-0"

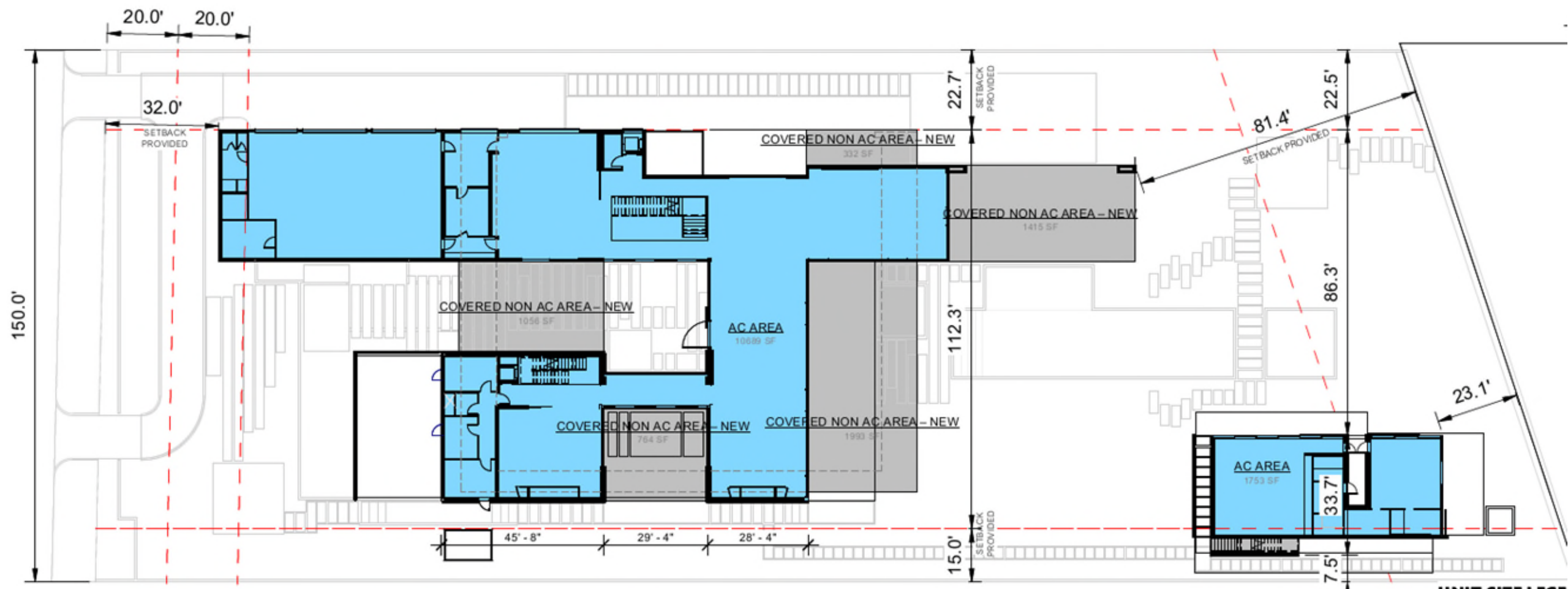


2	VARIANCE - SECTION C - NORTH SIDE YARD
A-2.5	1/8" = 1'-0"

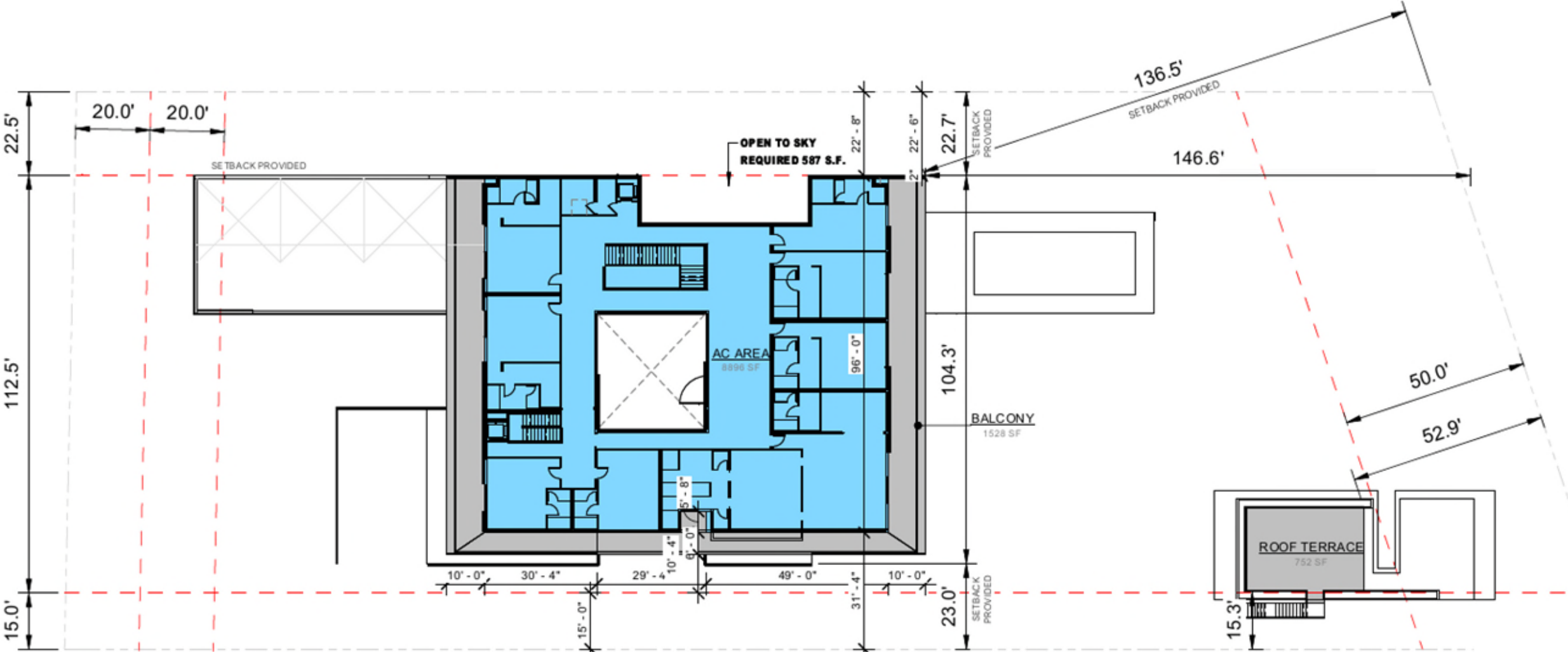
Practical Difficulty – Height

- Multiple frontages, irregular-shaped lot
- 28' + 5' of Freeboard permitted = 33' height, no variance
- 30' + 2' of Freeboard proposed = 32' proposed, requires variance
- Thicker construction of concrete slabs

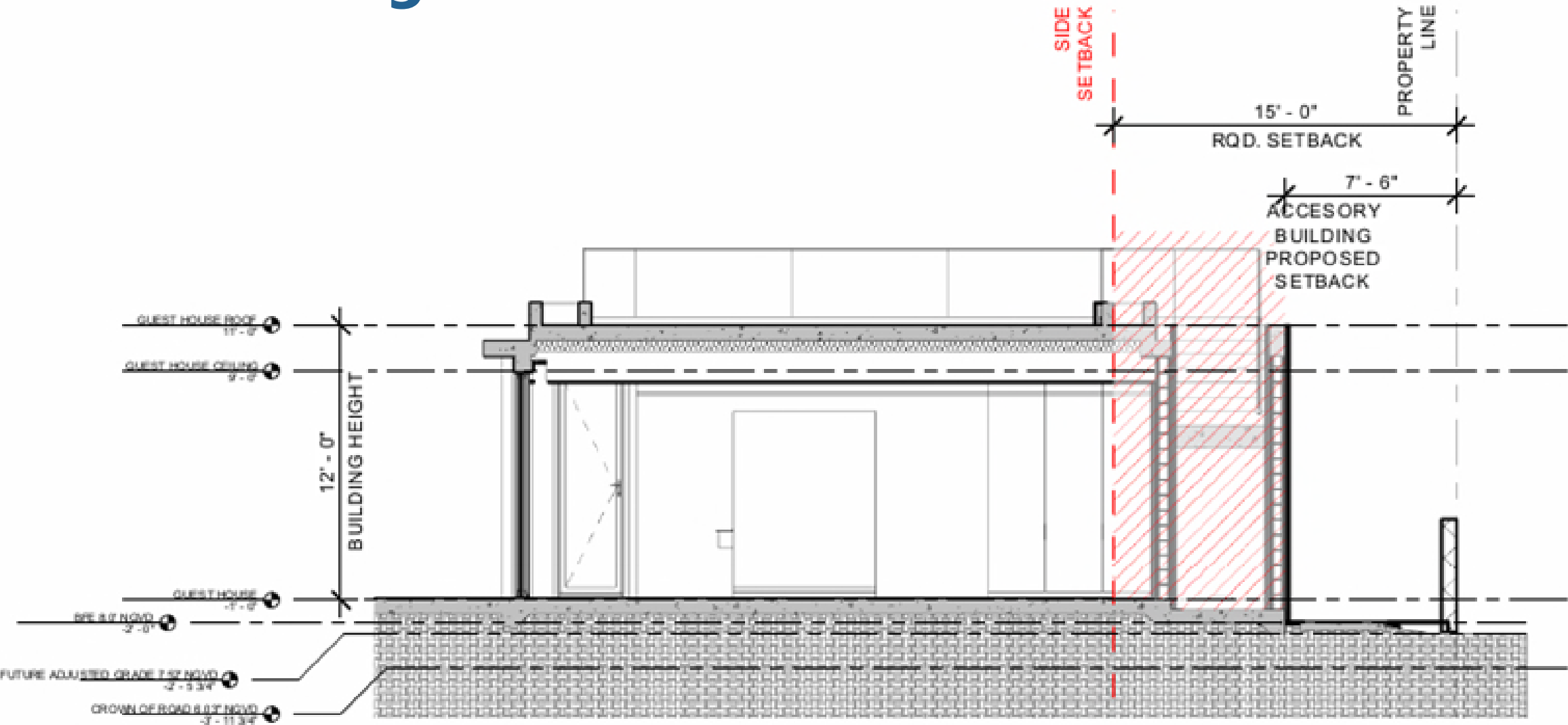
Variance Diagram



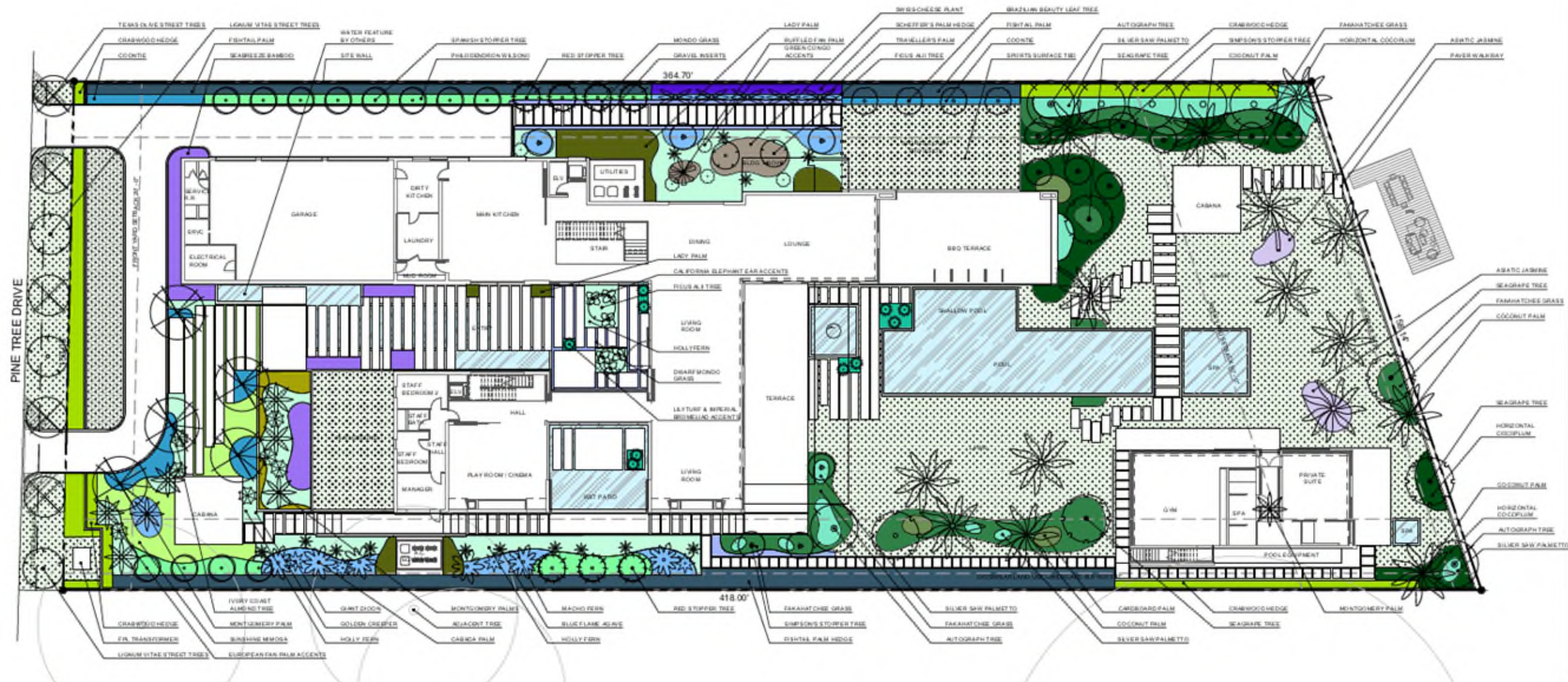
Variance Diagram



Variance Diagram



Landscape Plan



Practical Difficulty – Accessory Structure

- Considered two-story because of the open rooftop
- Accessory structures permitted at 7.5', if entirely within rear yard
- Extremely large rear yard because of lot depth = rear yard is 15% of lot depth, up to 50'

Additional Justifications

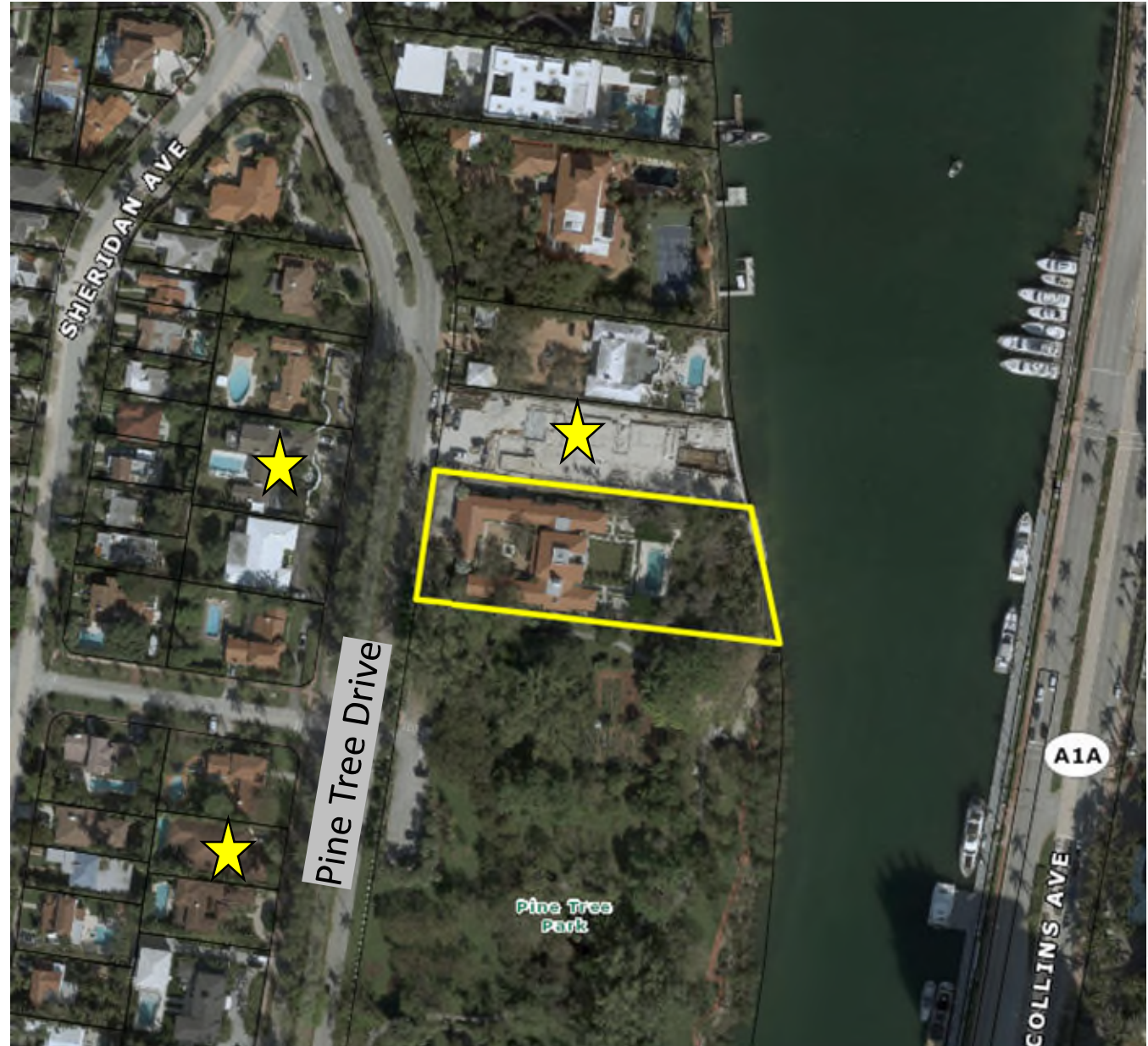
- Oversized RS-2 Lot – 58,703 SF, minimum 18,000 SF
- Increased Setbacks
 - Proposed Front Second Level: 98.1', minimum 40'
 - Proposed Sides: 24.5' and 21.16', minimum 16' and 21'
 - Proposed Rear: 82.0, minimum 50'
- Proposed Lot Coverage 27.1%, maximum allowed 30%
- Proposed Unit Size 36.3%, maximum allowed 50%

Additional Justifications

- No rooftop access or height projections proposed on main home
- No abutting south neighbor
- Keep openness of rear yard and preserve waterfront views

Neighbor Support

Keith Massa	4525 Pine Tree Drive
Marisa Galbut	4470 Pine Tree Drive
Chaya Krinsky	4516 Pine Tree Drive



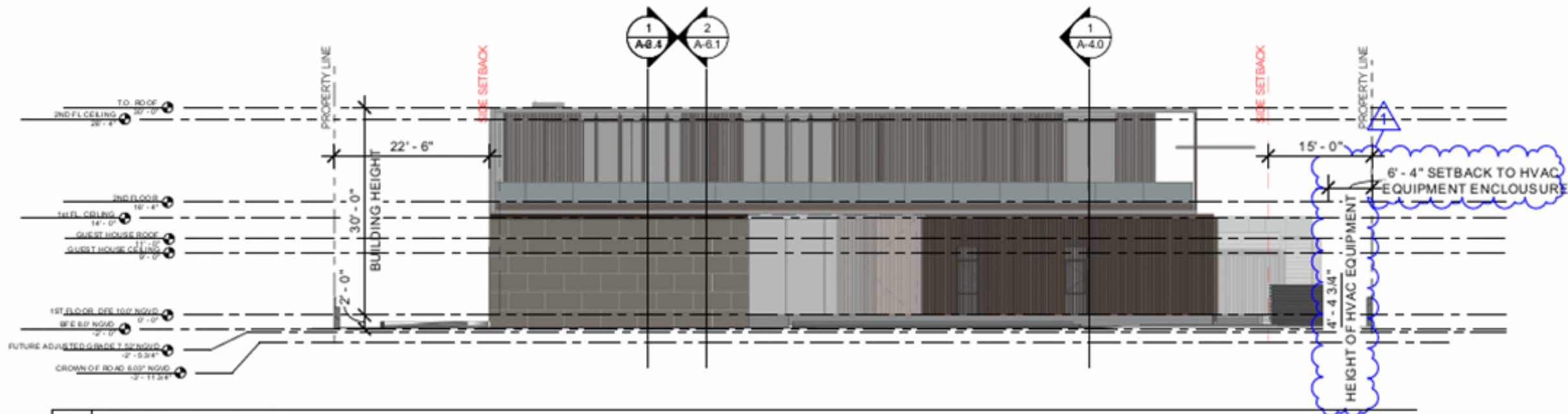
Thank You

Team available for
Questions

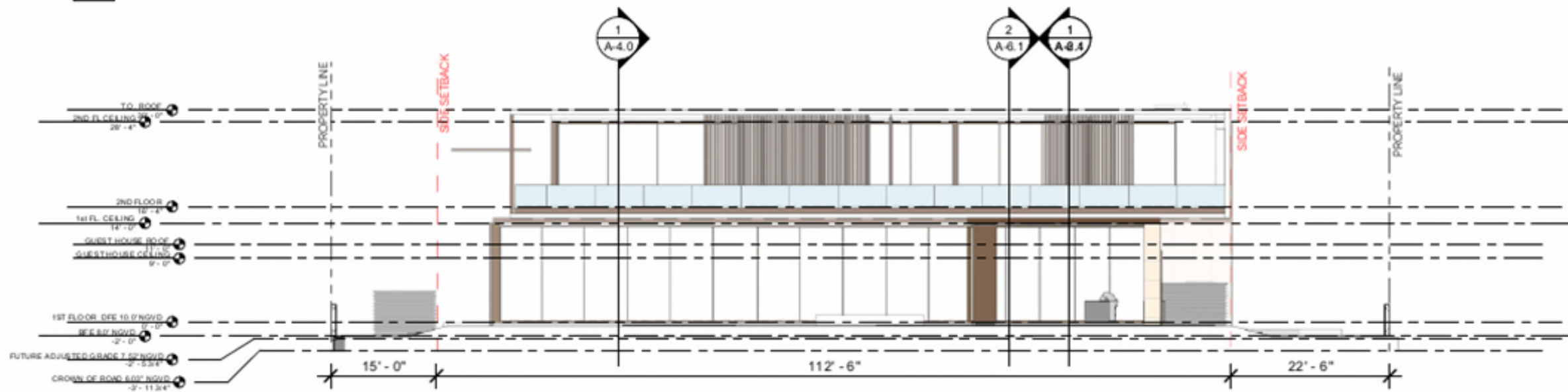
200 S. Biscayne Boulevard
Suite 300, Miami, FL 33131

www.brzoninglaw.com

305.374.5300 office
305.377.6222 fax
Info@brzoninglaw.com



2 FRONT ELEVATION - WEST
A-3.4 1:220



1 REAR ELEVATION - EAST
A-3.4 1:220

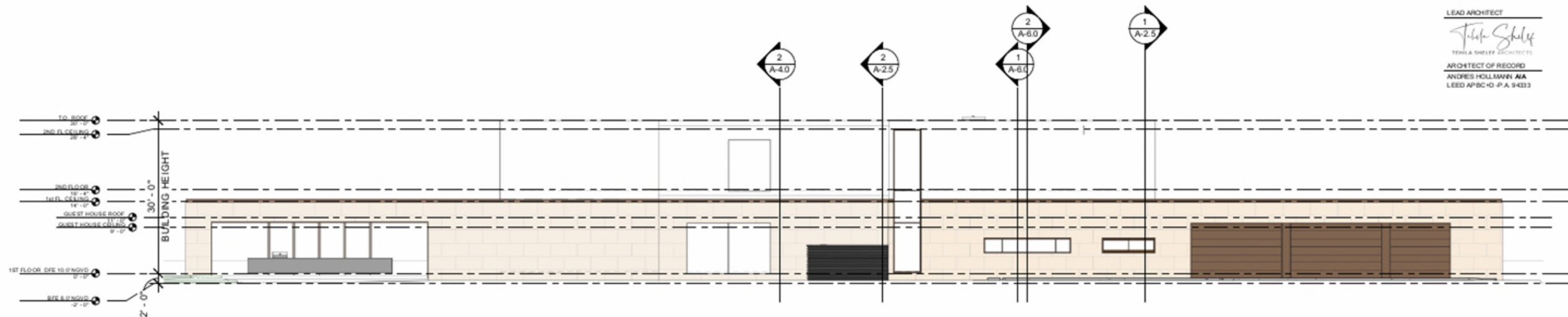
DATE: 2023.11.02

LEAD ARCHITECT

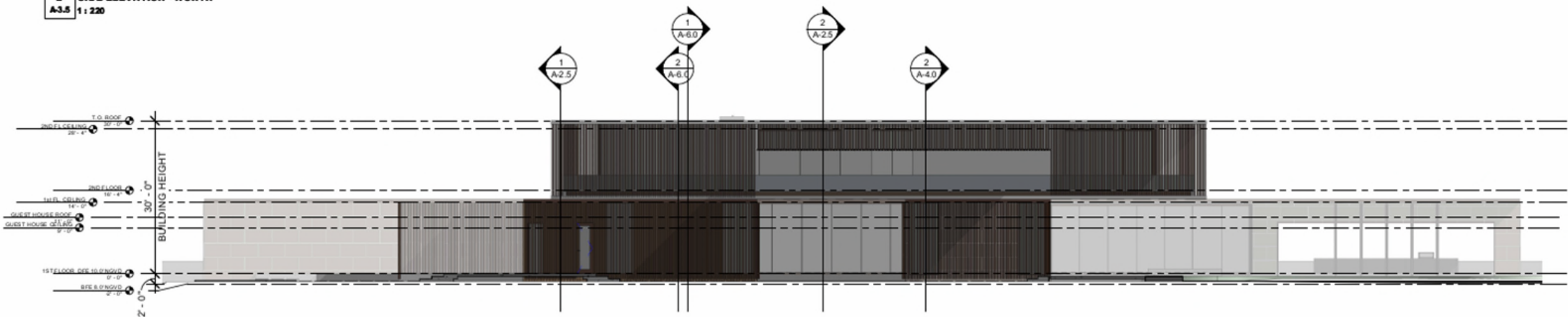
Tisha Shale
TISHA & SHELLEY ARCHITECTS

ARCHITECT OF RECORD

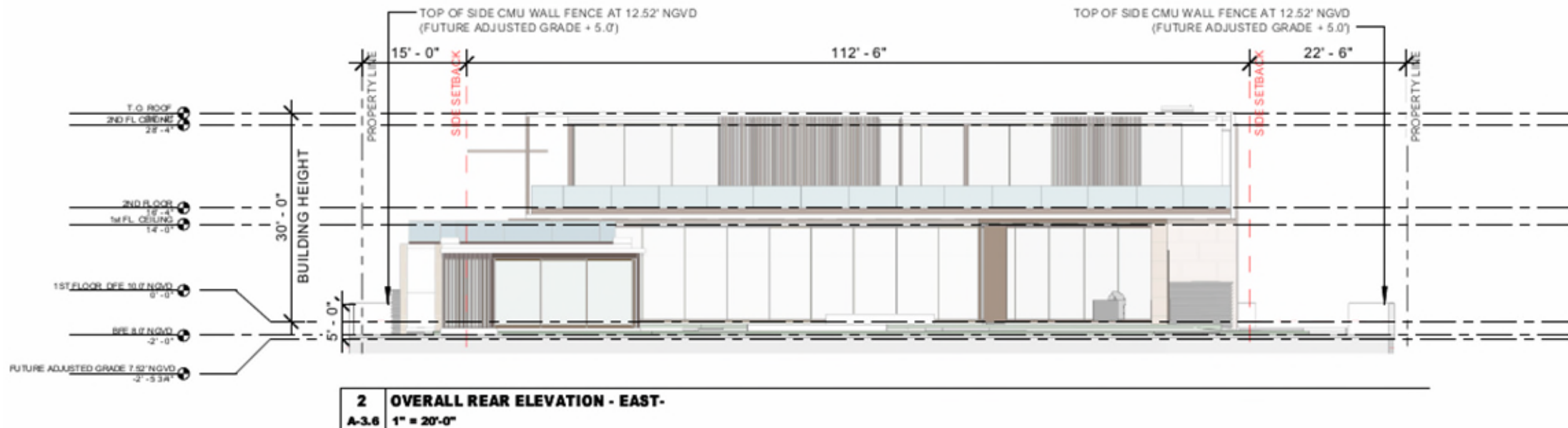
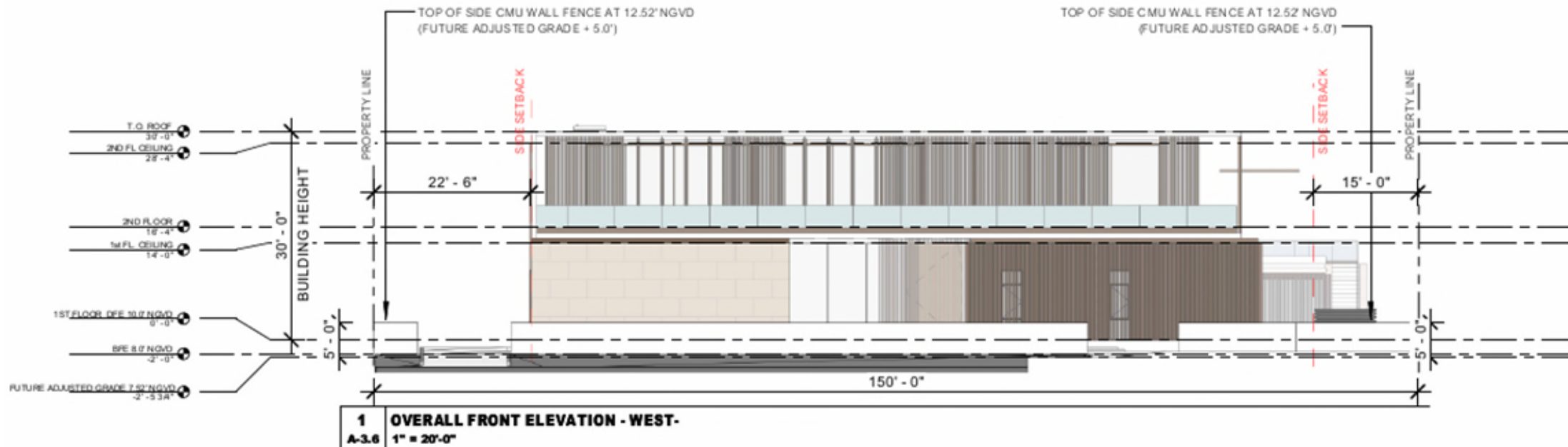
ANDRES HOLLMANN AIA
LEED APBC+D P.A. 94333

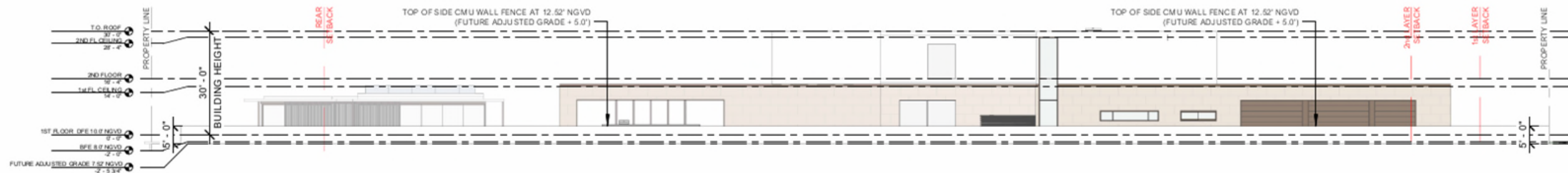


2 SIDE ELEVATION - NORTH
A-3.5 1:220



1 SIDE ELEVATION - SOUTH
A-3.5 1:220



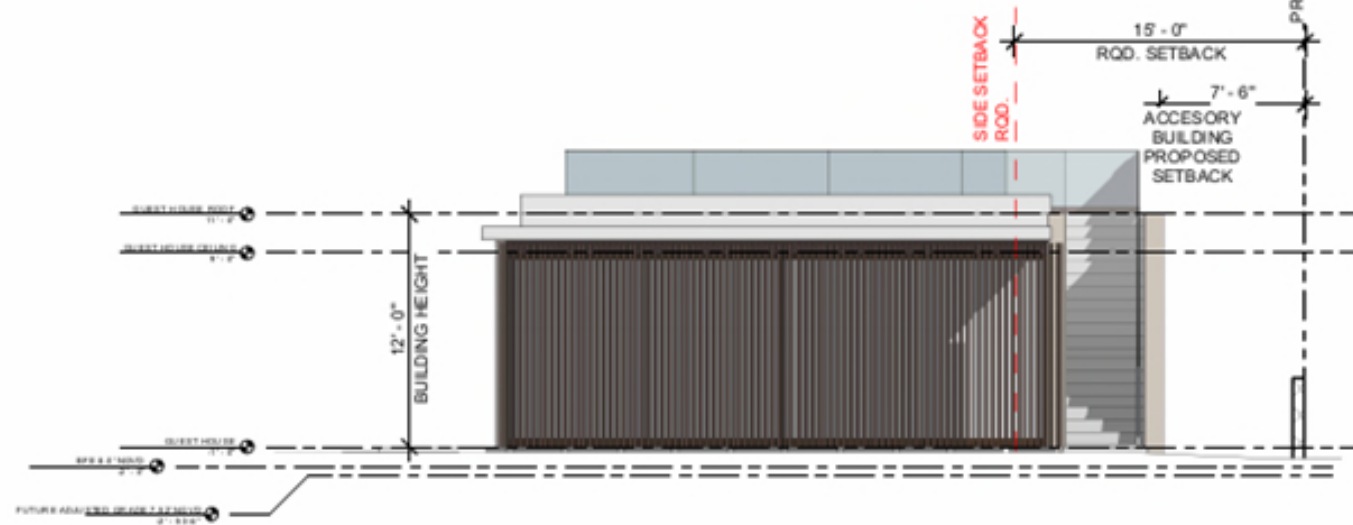


2 OVERALL SIDE ELEVATION - NORTH
A-3.7 1 : 330

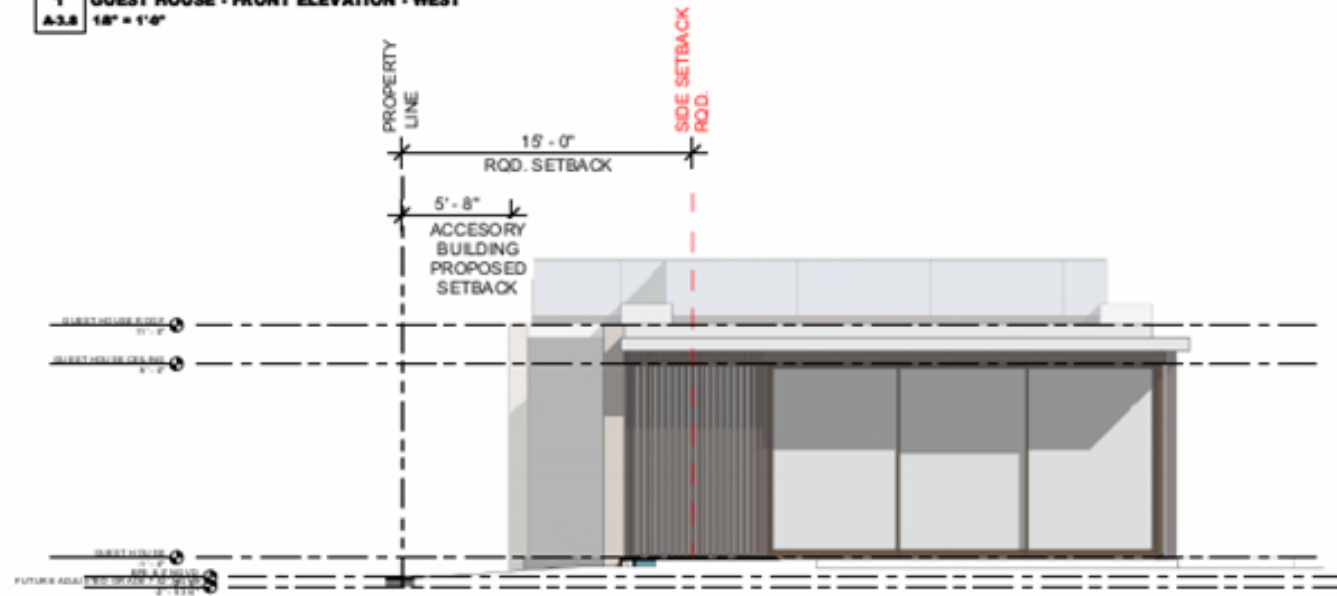


1 OVERALL SIDE ELEVATION - SOUTH
A-3.7 1 : 330

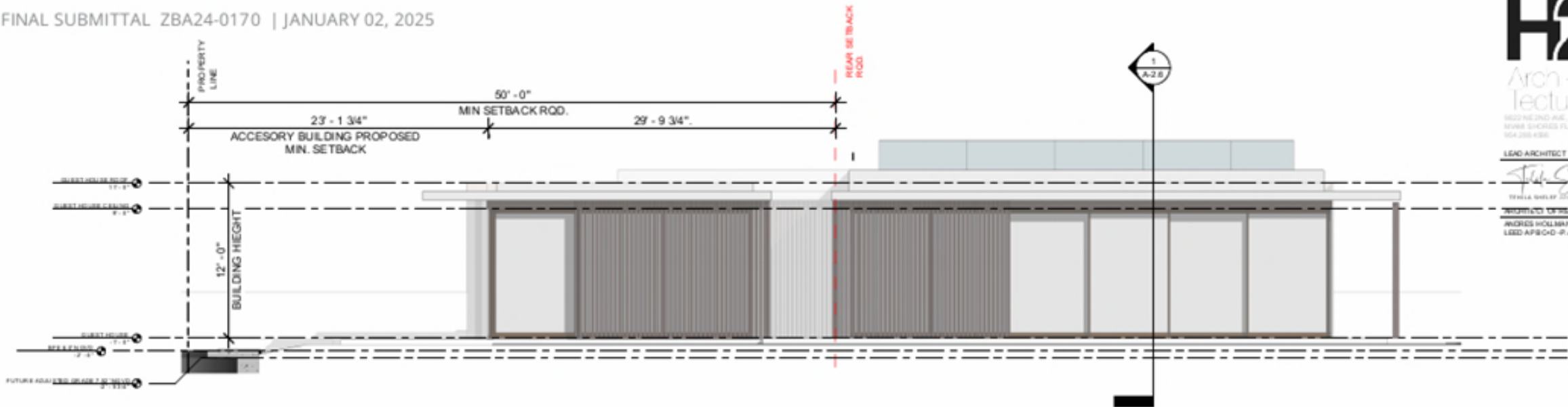
JUARY 02, 2025



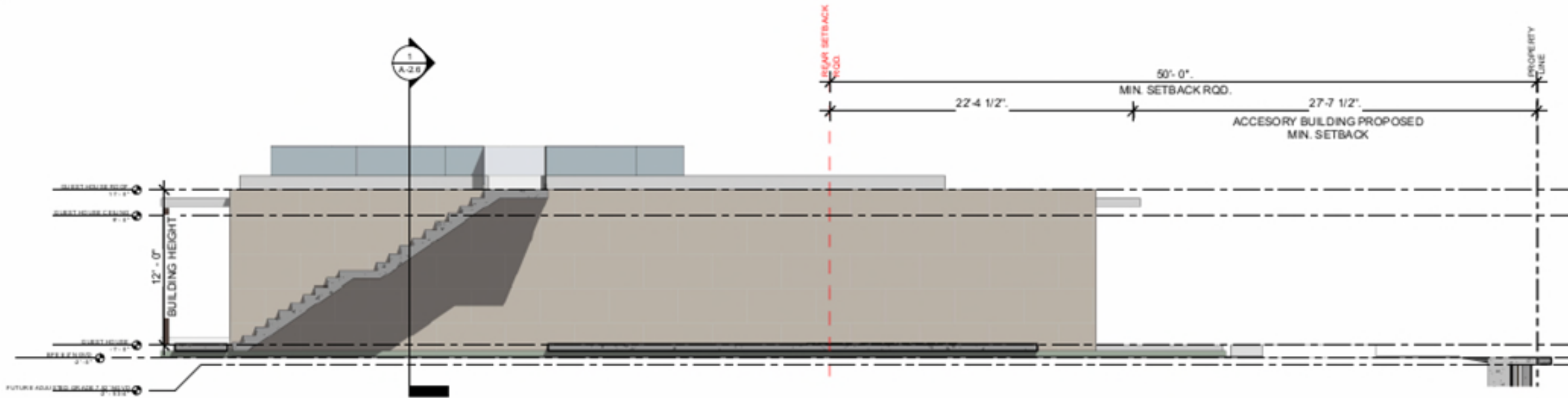
1 GUEST HOUSE - FRONT ELEVATION - WEST
A-3.8 18" x 1'-0"



2 GUEST HOUSE - REAR ELEVATION - EAST
A-3.8 18" x 1'-0"



1 GUEST HOUSE - SIDE ELEVATION - NORTH
A-3.9 1/8" = 1'-0"



2 GUEST HOUSE - SIDE ELEVATION - SOUTH
A-3.9 1/8" = 1'-0"