

SANDBOX

1974 MARSEILLE DR,
MIAMI BEACH | FL | 33141



FINAL SUBMITTAL DRB24-1047

SCOPE OF WORK:
NEW RESIDENTIAL BUILDING MULTI-FAMILY

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PROJECT AND OWNER:
SANDBOX

1974 MARSEILLE DR,
MIAMI BEACH | FL | 33141
1974MIAMIBEACHLLC

3179 HOYLAK RD
LAKE WORTH | FL | 33467

ARCHITECT:

2030 HABERSHAM TRCE | CUMMING | GA 30041
954 812 6650
RICARDO@MUVEARCH.COM
AA#26003161



DESIGNER:


RED OCTOPUS.LLC
INTEGRAL ARCHITECTURAL SERVICES

1555 NORTH PARK DRIVE #102 WESTON
FL 33326
954 850 9965
ADMIN@REDOCTOPUSLLC.COM

DRB SUBMITTAL

PERMIT APPLICATION DATE: 09-08-24
SHEET ISSUE DATE: 09-06-24

PROJECT NO.: 2321
DRAWN BY: AC APPROVED BY: YM

ALL DRAWINGS AND WRITTEN MATERIALS HEREIN
CONSTITUTE ORIGINAL WORK OF THE DESIGNER AND
MAY ONLY BE DUPLICATED WITH THEIR WRITTEN
CONSENT

SEAL:

SIGNATURE:
RICARDO J. MUNIZ-GUILLET
LIC# AR97841

SHEET TITLE:
COVER SHEET

SCALE:

N.T.S.

SHEET NO:

G-0.

GENERAL SITE INFORMATION:	
PROPERTY ADDRESS	1974 MARSEILLE DR. MIAMI BEACH FL 33141
FOLIO #	02-3210-011-0170
LEGAL DESCRIPTION	LOT 3 AND THE WEST 25 FEET OF LOT 4, IN BLOCK 35, OF NORMANDY ISLE-MIAMI VIEW SECTION PART 3, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 40, AT PAGE 33, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.
LOT NET AREA:	+/- 8,822.00 SF.
YEAR BUILT:	1940
SCOPE OF WORK	
NEW CONSTRUCTION OF A MULTIFAMILY RESIDENTIAL BUILDING WITH 12 DWELING UNITS	

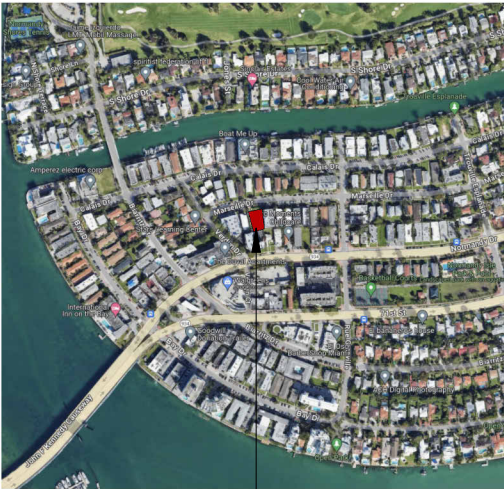
GOVERNING CODES	
FLORIDA FIRE PREVENTION CODE 2023 FLORIDA BUILDING CODE 2023 - 8th EDITION 2023 NATIONAL ELECTRIC CODE 2023 FBC MECHANICAL 2023 FBC PLUMBING 2023 FBC ACCESSIBILITY	

ZONING GUIDELINES:	
ZONING: RM-1 - MULTIFAMILY, LOW INTENSITY	
FLOOD ZONE:	AE
F.A.R:	1.25%
LOT COVERAGE:	1.25%
ELEVATION: 8'	ELEVATION: 8'
ELEVATION: 8'	ELEVATION: 8'

UNIT BREAKDOWN						
	UNIT #	UNITS	UNIT AREA	TOTAL UNITS	MIN UNIT SIZE	AVERAGE UNIT SIZE
	4	UNIT A	866 SF	4,986 SF		
	4	UNIT B	800 SF	3,201 SF		
	4	UNIT C	834 SF	3,335 SF		
TOTAL	12 UNITS			14,987 SF	800 SF	1,248.9 SF

PARKING NOTES:	
(a) PARKING SHALL BE AT GROUND LEVEL ONLY, MECHANICAL LIFTS ARE PERMITTED FULLY SCREENED FROM ADJACENT PROPERTIES AND R.O.W.	
(b) EXT PARKING AND DRIVEWAY SHALL BE OF SEMI-PERVOIUS OR PERVIOUS MATERIALS	
(c) WHEEL STOPS SHALL BE LOW PROFILE AND 5 FT MAX.	
(d) ALL PARKING AREAS SHALL MEET THE MINIMUM FRONT AND REAR YARD SETBACK REQUIREMENTS FOR BUILDINGS	
(e) ONE-WAY DRIVEWAY CURB CUT, 10 FT MAX WIDTH / IF APPROVED BY DRB TWO SEPARATE ONE-WAY CURB CUTS MAY BE PERMITTED.	
(f) N/A	

DESIGN AND RESILIENCY STANDARDS	
(a) N/A	
(b) N/A	
(c) DWELLING UNITS TO INCORPORATE NATURAL LIGHT FROM AT LEAST TWO ELEVATIONS FROM THE BUILDING VOLUME	
(d) INCORPORATE NATURALLY LANDSCAPE AREAS AT GROUND LEVEL, IN ADDITION TO THE MINIMUM SETBACK, 5% OF LOT AREA	
(e) A NON-EMERGENCY STAIR FROM LOBBY OR EXTERIOR AND ACCESSING THE 1ST THREE RESIDENTIAL FLOORS, DESIGN OPENED IS REQUIRED	
(f) RETAINING WALLS WITH HIGH QUALITY APPEARANCE	
(g) LANDSCAPING WITHIN VIEW CORRIDORS SHALL BE MAINTAINED AT 3 FT MAX FROM SIDEWALK ELEVATION	
(h) IF EXISTING ELEVATION IS MODIFIED, RETAIN ALL STORMWATER ON SITE	
NOTE:	
NEW CONSTRUCTION HERE WILL REQUIRE REVIEW AND APPROVAL OF THE DESIGN REVIEW BOARD. ONCE A DESIGN SET OF DRAWINGS IS READY TO SUBMIT AS PER A CHECK LIST TO BE PROVIDED AND AN APPLICATION IS COMPLETED ONLINE, THE PROCESS TAKES 3-4 MONTHS. IT MAY ALSO REQUIRE SOME LEVEL OF TRAFFIC STUDY.	
THE FIRST STEP IN THE PROCESS IS TO FILE THE APPLICATION ONLINE ONCE THERE IS SOME DRAWINGS TO REVIEW. AFTER THIS THE AHJ WILL SCHEDULE A PRE-APPLICATION MEETING TO REVIEW THE PROJECT AND PROVIDE COMMENTS BEFORE A FORMAL SUBMITTAL.	



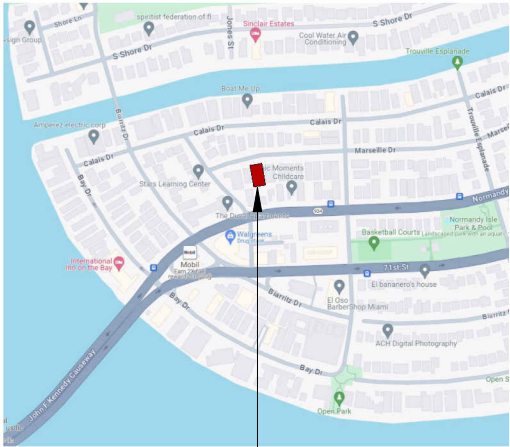
SUBJECT LOCATION
1974 MARSEILLE DR. | MIAMI BEACH | FL 33141



1

AERIAL VIEW

1/2" = 1'-0"



SUBJECT LOCATION
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2

LOCATION MAP

1/2" = 1'-0"

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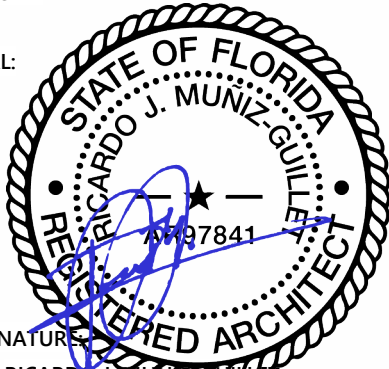
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SUBJECT LOCATION
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LOCAL HISTORIC DISTRICTS

- Espanola Way Historic District
- Altos del Mar Historic District
- Flamingo Park Historic District
- Ocean Drive/Collins Avenue Historic District
- Museum Historic District
- Ocean Beach Historic District
- Harding Townsite Historic District

NATIONAL REGISTER HISTORIC DISTRICTS

- Palm View Historic District
- Collins Waterfront Historic District
- North Beach Resort Historic District
- Flamingo Waterway Historic District
- Morris Lapidus/Mid 20th Century Historic District
- North Shore Historic District
- Normandy Isles Historic District

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DESIGNER:

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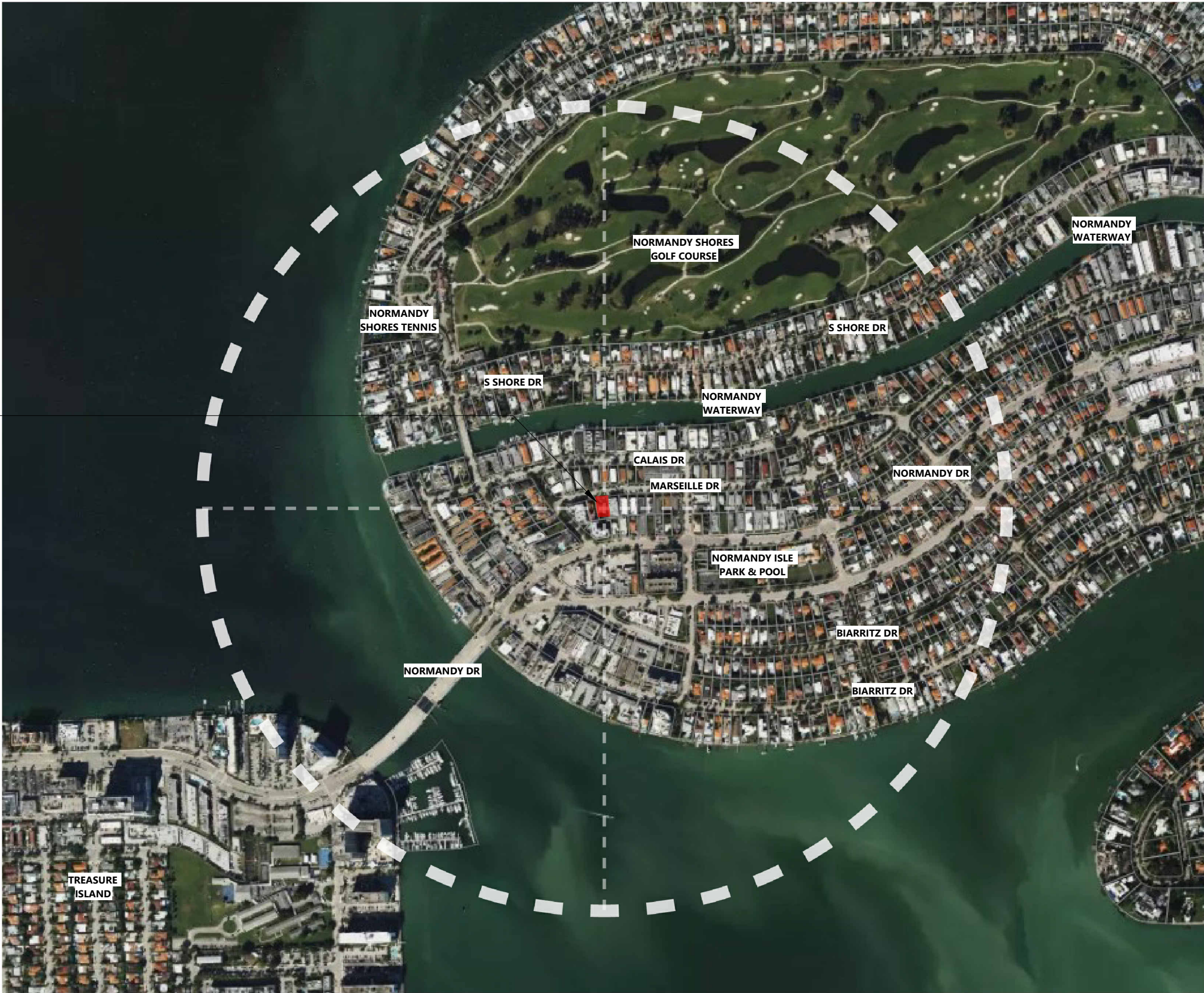
SHEET TITLE:
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SCALE:
N.T.S.

SHEET NO:
G-2.02

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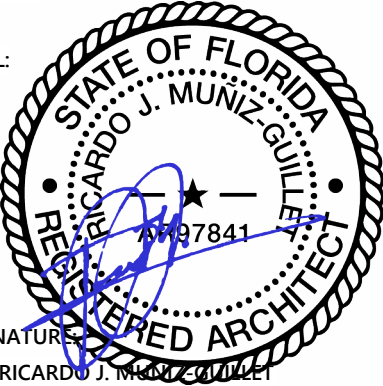
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G-2.03

9/6/2024 3:25:58 PM



1

AERIAL VIEW - 1/2 MILE RADIUS
1/2" = 1'-0"

MIAMIBEACH

Planning Department, 1700 Convention Center Drive
Miami Beach, Florida 33139, www.miamibeachfl.gov
305.673.7550

MULTIFAMILY - COMMERCIAL - ZONING DATA SHEET

ITEM #	Zoning Information			
1	Address:		1974 MERSEILLE DR, MIAMI BEACH, FL 33141	
2	Board and file numbers :		DRB24-1047	
3	Folio number(s):		02-3210-011-0170	
4	Year constructed:	1940	Zoning District:	RM-1 MULTI-FAMILY, LOW INTENSITY
5	Based Flood Elevation:	8.0' N.G.V.D	Grade value in NGVD:	4.2' N.G.V.D
6	Adjusted grade (Flood+Grade/2):	6.1 N.G.V.D	Lot Area:	9,099 SF
7	Lot width:	75'-0"	Lot Depth:	125'-0"
8	Minimum Unit Size	800 SQF	Average Unit Size	1,248.9 SQF
9	Existing use:	SINGLE FAMILY	Proposed use:	MULTI-FAMILY

		Maximum	Existing	Proposed	Deficiencies
10	Height	50 FT	16'-11 1/2"	48'-1"	N/A
11	Number of Stories	5	1	5	N/A
12	FAR (LOT AREA X 1.25)	11,373.75 SF		11,292 SF	N/A
13	Gross square footage	3,939 SF		4,398 SF	N/A
14	Square Footage by use	N/A	N/A	N/A	N/A
15	Number of units Residential	12	1	12	N/A
16	Number of units Hotel	N/A	N/A	N/A	N/A
17	Number of seats	N/A	N/A	N/A	N/A
18	Occupancy load	N/A	N/A	N/A	N/A

	Setbacks	Required	Existing	Proposed	Deficiencies
	Subterranean:				
19	Front Setback:	N/A	N/A	N/A	
20	Side Setback:	N/A	N/A	N/A	
21	Side Setback:	N/A	N/A	N/A	
22	Side Setback facing street:	N/A	N/A	N/A	
23	Rear Setback:	N/A	N/A	N/A	
	At Grade Parking:				
24	Front Setback:	20'-0"	N/A	20'-0"	
25	Side Setback:	10'-0"	N/A	10'-0"	
26	Side Setback:	10'-0"	N/A	10'-0"	
27	Side Setback facing street:	00'-0"	N/A	28'-00"	
28	Rear Setback:	10% LOT DEPTH=12.5'	N/A	12'-08"	
	Pedestal:				
29	Front Setback:	20'-0"	N/A	20'-0"	
30	Side Setback:	10'-0"	N/A	10'-0"	
31	Side Setback:	10'-0"	N/A	10'-0"	
32	Side Setback facing street:	N/A	N/A	N/A	
33	Rear Setback:	12.72'	N/A	12.72'	
	Tower:				
34	Front Setback:	N/A	N/A	N/A	
35	Side Setback:	N/A	N/A	N/A	

ITEM #	Setbacks	Required	Existing	Proposed	Deficiencies
36	Side Setback:	10'-0"	N/A	10'-0"	
37	Side Setback facing street:	20'-0"	N/A	20'-0"	
38	Rear Setback:	12.72'-0"	N/A	12.72'-0"	

MIAMIBEACH

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Miami Beach, Florida 33139, www.miamibeachfl.gov
305.673.7550

	Parking	Required	Existing	Proposed	Deficiencies
39	Parking district	1	1	1	
40	Total # of parking spaces	0	1	11	
41	# of parking spaces per use (Provide a separate chart for a breakdown calculation)	12		11	
42	# of parking spaces per level (Provide a separate chart for a breakdown calculation)	N/A	N/A	N/A	
43	Parking Space Dimensions	8 1/2' X 18'		8 1/2' X 18'	
44	Parking Space configuration (45o,60o,90o,Parallel)			90o, Parallel	
45	ADA Spaces	0	0	1	
46	Tandem Spaces	N/A	N/A	N/A	
47	Drive aisle width	12'	N/A	22'	
48	Valet drop off and pick up	N/A	N/A	N/A	
49	Loading zones and Trash collection areas	1		1	
50	Bicycle parking, location and Number of racks	12	N/A	15	

	Restaurants, Cafes, Bars, Lounges, Nightclubs	Required	Existing	Proposed	Deficiencies
51	Type of use	N/A	N/A	N/A	
52	Total # of seats	N/A	N/A	N/A	
53	Total # of seats per venue (Provide a separate chart for a breakdown calculation)	N/A	N/A	N/A	
54	Total occupant content	N/A	N/A	N/A	
55	Occupant content per venue (Provide a separate chart for a breakdown calculation)	N/A	N/A	N/A	

56	Is this a contributing building?	N/A
57	Located within a Local Historic District?	NO

Notes:
If not applicable write N/A
All other data information may be required and presented like the above format.

PARKING SPACES			
# OF UNITS	REQUIRED	PROPOSED	5.2.14 ALTERNATIVE PARKING INCENTIVES Bicycle parking long-term: The minimum off-street parking requirements may be reduced by one off-street parking space for every five long-term bicycle parking spaces provided off-street.
12	12	10 +1 ADA	

BICYCLE PARKING - NUMBER OF RACKS				
# OF UNITS	REQUIRED		PROPOSED	5.2.5 BICYCLE OFF-STREET PARKING REQUIREMENTS Short-term and long-term bicycle parking shall be provided for new construction over 1,500 square feet.
	SHORT-TERM	LONG-TERM		
12	4 X BLD. OR 1 X 10 UNITS	1 X 10 UNIT	15	

* ALTERNATIVE PARKING SPACES

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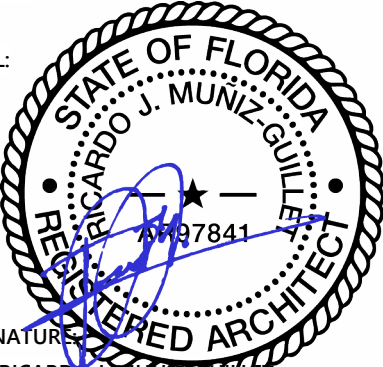
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LEGEND AND ABBREVIATIONS

CONCRETE POLE
CONCRETE POWER POLE
CONCRETE LIGHT POLE
ALUMINUM POLE
ALUMINUM LIGHT POLE
WOOD POLE
WOOD POWER POLE
WOOD LIGHT POLE
TRAFFIC BOX
STREET LIGHT BOX
PHONE BOX
IRRIGATION BOX
ELECTRIC BOX
COMMUNICATION BOX
CABLE T.V. BOX
UNKNOWN BOX
TRAFFIC CONTROL BOX
CLEANOUT
BOLLARD
ARM GATE
ANCHOR
WATER METER
IRRIGATION METER
GAS METER
ELECTRIC METER
SQUARE COLUMN
ROUND COLUMN
MAIL BOX
IRRIGATION PUMP
GUARD POST
GROUND LIGHT
DRAINAGE WELL
SQUARE DRAINAGE
PB INLET
PS INLET
CURB INLET
CIRCULAR DRAINAGE
CATCH BASIN
ACCESS MANHOLE
TRAFFIC SIGNAL POLE
TRAFFIC SIGN
PEDESTRIAN CROSS SIGNAL
PAVEMENT ASPHALT
CURB & GUTTER
VALLEY GUTTER

HANDICAP PAINT MARK
BABY STROLLER PAINT MARK
UNKNOWN MANHOLE
WATER MANHOLE
SEWER MANHOLE
PHONE MANHOLE
IRRIGATION MANHOLE
GREASE TRAP MANHOLE
GAS MANHOLE
FORCE MAIN MANHOLE
ELECTRICITY MANHOLE
DRAINAGE MANHOLE
COMMUNICATION MANHOLE
BELL SOUTH MANHOLE
PARKING METER
PARKING KIOSK
WATER VALVE
SEWER VALVE
IRRIGATION VALVE
GAS VALVE
FORCE MAIN VALVE
VACUUM BREAKER ASSEMBLY
SHIMASE CONNECTION
POST INDICATOR VALVE
FIRE HYDRANT
DOUBLE DETECTOR CHECK VALVE
BACK FLOW PREVENTOR
PROPERTY LINE
CENTERLINE
RIGHT-OF-WAY
RADIUS
DELTA ANGLE
ARC DISTANCE
PERMANENT CONTROL POINT
PERMANENT REFERENCE MONUMENT
FLAT BOOK AND PAGE
OVERHEAD UTILITY WIRES
OFFICIAL RECORDS BOOK
CONCRETE
CONCRETE BLOCK STRUCTURE
CHAINLINK FENCE
WOOD FENCE
FOUND IRON PIPE
FOUND NAIL & BRASS DISC
CLEAR ENCROACHMENT
DEED OR LEGAL DISTANCE
MEASURED DISTANCE
RECORD OR PLATTED DISTANCE
RECORD CALCULATED
UTILITY EASEMENT

LOCATION MAP

CALAIS DRIVE
MARSEILLE DRIVE
VERDUN DRIVE
NORMANDY DRIVE

SUBJECT PROPERTY

A PORTION OF SECTION 10, TOWNSHIP 53 SOUTH, RANGE 42 EAST, MIAMI BEACH, MIAMI DADE COUNTY, FLORIDA. SCALE 1:200

TABLE TREE

TREE NO	COMMON NAME	DIA. IN.	HT. FT.	CNPY. Ø FT.
1	PALM	14	8	8
2	PALM	14	10	8
3	TREE	8	12	16
4	TREE	8	12	20

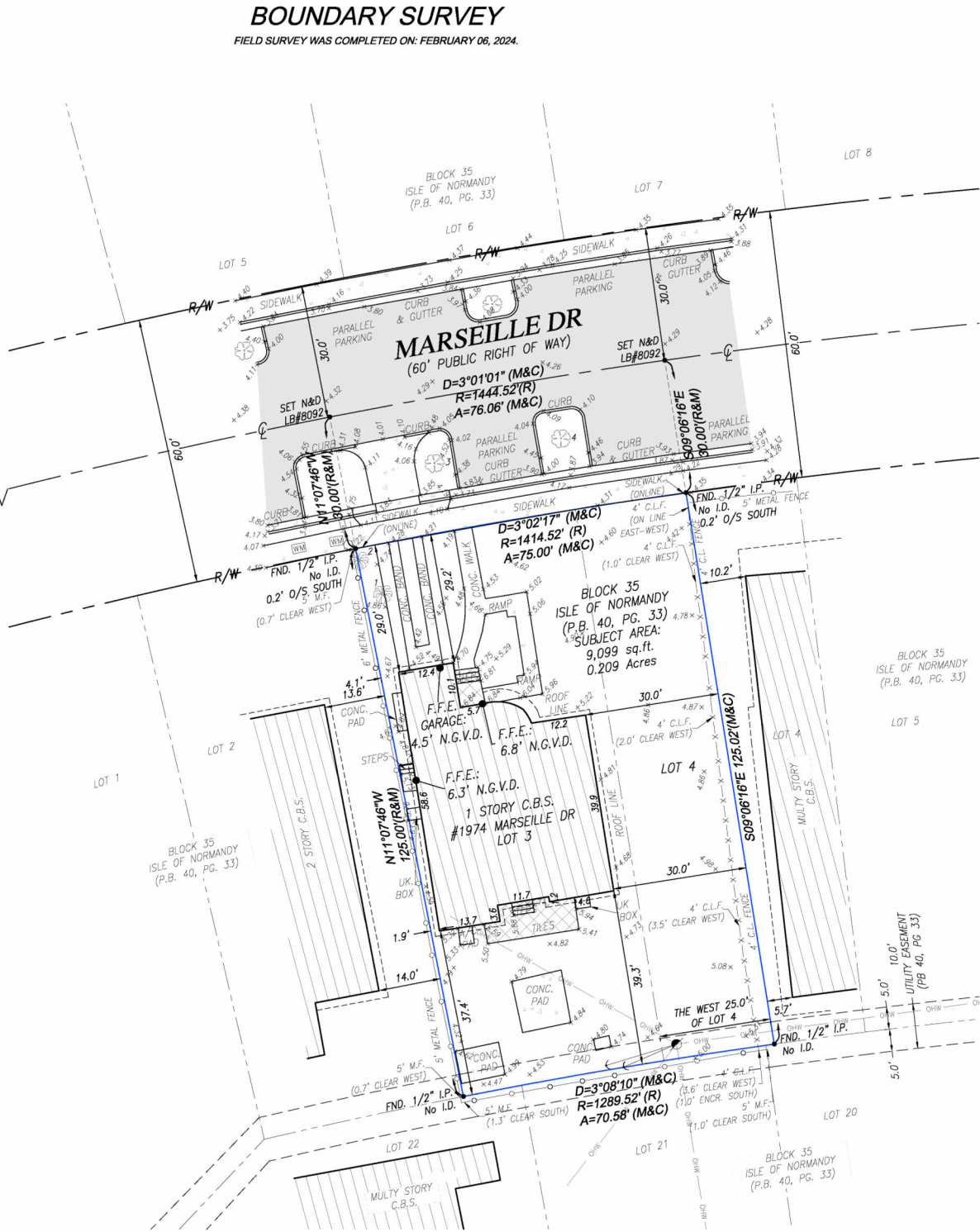
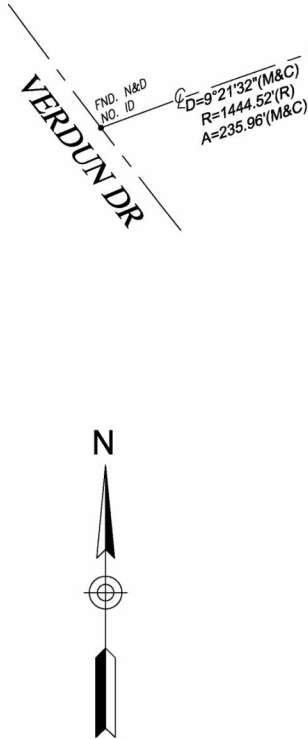
TREE IDENTIFICATION MUST BE VERIFY BY A CERTIFIED SPECIALIST

POSSIBLE ENCROACHMENTS

- A PORTION OF CHAINK LINK FENCE, ALONG THE SOUTH BOUNDARY LINE, ENCROACH 1.0' FROM SUBJECT PROPERTY ONTO ADJOINING LAND.
- THERE ARE NO ADDITIONAL OBSERVED, ENCROACHMENTS ONTO THE SUBJECT PROPERTY FROM ADJOINING LANDS, OR FROM THE SUBJECT PROPERTY ONTO ADJOINING LANDS, UNLESS OTHERWISE NOTED.

REVISIONS

DATE	JOB No.	REV.	BY:
08/14/2024	154120	UPDATED TABLE TREE	B.D.B.



BOUNDARY SURVEY

PREPARED FOR:
RED OCTOPUS

LYING AND BEING IN SECTION 10, TOWNSHIP 53 SOUTH, RANGE 42 EAST MIAMI BEACH, MIAMI DADE COUNTY, FLORIDA.

J. Hernandez & Associates Inc
LAND SURVEYORS AND MAPPERS
CERTIFICATE OF AUTHORIZATION No. LB8092
3300 NW 112th AVE, SUITE #10, DORAL, FL 33172
(P) 305-526-0606 (E) info@hasurveys.com

DRAWN BY: B.D.B. CHECKED BY: J.G.H. JOB NUM.: 154120
DATE: 02/08/24 DATE: 02/09/24 F.B. MD-60, PG. 8

LEGAL DESCRIPTION

LOT 3 AND THE WEST 25 FEET OF LOT 4, IN BLOCK 35, OF NORMANDY ISLES-MIAMI VIEW SECTION PART 3, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 40, AT PAGE 33, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

SURVEYOR'S NOTES

- FIELD SURVEY WAS COMPLETED ON: FEBRUARY 6, 2024.
- LEGAL DESCRIPTION WAS PROVIDED BY THE CLIENT
- SUBJECT PROPERTY AREA: 9,099 ± sq.ft. (0.209 ACRES)
- BEARINGS BASED ON AN ASSUMED BEARING OF N11°07'46"W ALONG THE WEST LINE OF THE SUBJECT PROPERTY.
- DISTANCES ALONG BOUNDARY LINES, AS SHOWN HEREON, ARE RECORD AND/OR MEASURED UNLESS OTHERWISE NOTED.
- INTERIOR LOT LINES, AS SHOWN HEREON, ARE FOR INFORMATIONAL PURPOSE ONLY, UNLESS OTHERWISE NOTED.
- UNDERGROUND FOOTINGS, FOUNDATIONS AND UTILITIES HAVE NOT BEEN LOCATED AT THE TIME OF THIS SURVEY, UNLESS OTHERWISE NOTED.
- ABOVEGROUND AND/OR VISIBLE UTILITIES HAVE BEEN LOCATED AT THE TIME OF THIS SURVEY, UNLESS OTHERWISE NOTED.
- SUBJECT PROPERTY HAS A DIRECT PHYSICAL ACCESS TO AND FROM MARSEILLE DR. A PUBLIC RIGHT OF WAY.
- THIS BOUNDARY SURVEY IS SUBJECT TO EASEMENT, RIGHTS-OF-WAY AND OTHER MATTERS THAT MIGHT BE REFLECTED ON A SEARCH OF TITLE OF THE SUBJECT PROPERTY.

CERTIFY TO:

- RED OCTOPUS

PROPERTY INFORMATION

- PROPERTY ADDRESS: 1974 MARSEILLE DR, MIAMI BEACH, FL 33141
- PROPERTY FOLIO NUMBER: 02-3210-011-0170

DATUM AND BENCHMARKS

- ELEVATIONS SHOWN HEREON ARE BASED ON THE NATIONAL GEODETIC VERTICAL DATUM OF 1929 AND ARE EXPRESSED IN FEET.
- BENCHMARK:
NAME: MIAMI DADE, A-24
ELEVATION: 5.98' N.G.V.D.
DESCRIPTION: PK NAIL AND ALUMINUM WASHER IN FRONT OF TRAFFIC CONTROL BOX.
LOC 1: 79 ST CSWY — EAST END OF CSWY, 54' NORTH OF CIL.

FLOOD ZONE INFORMATION

- SUBJECT PROPERTY IS LOCATED WITHIN FLOOD ZONE "AE", ELEV 8, AS SHOWN ON FLOOD INSURANCE RATE MAP NUMBER 12086C0307L, DATED SEPTEMBER 11, 2009.
- ELEVATION REFERS TO NATIONAL GEODETIC VERTICAL DATUM OF 1929 AND IS EXPRESSED IN FEET.

SURVEYOR'S CERTIFICATION:

I HEREBY CERTIFY THAT THIS "BOUNDARY SURVEY" OF THE PROPERTY DESCRIBED HEREON IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AS RECENTLY SURVEYED AND DRAWN UNDER MY SUPERVISION AND DIRECTION. THIS SURVEY COMPLIES WITH STANDARDS OF PRACTICE REQUIREMENTS ADOPTED BY THE FLORIDA STATE BOARD OF SURVEYORS AND MAPPERS PURSUANT TO CHAPTER 6J-17, FLORIDA ADMINISTRATIVE CODE.

THIS CERTIFICATION DOES NOT EXTEND TO ANY UNNAMED PARTIES.

BY: JOSE G. HERNANDEZ, PRESIDENT
PROFESSIONAL LAND SURVEYOR No. 6952
STATE OF FLORIDA.

THE ELECTRONIC SEAL AND SIGNATURE APPEARING ON THIS SURVEY WAS AUTHORIZED BY JOSE G. HERNANDEZ, PROFESSIONAL LAND SURVEYOR NO. 6952 OF THE STATE OF FLORIDA ON AUGUST 14, 2024.

THIS IS A BOUNDARY SURVEY
PROJECT NUMBER: MD-679
SHEET NUMBER: 1 OF 1

PROJECT AND OWNER:

SANDBOX

1974 MARSEILLE DR,
MIAMI BEACH | FL | 33141

1974MIAMIBEACHLLC

3179 HOYLAKE RD
LAKE WORTH | FL | 33467

ARCHITECT:

2030 HABERSHAM TRCE | CUMMING | GA 30041
954 812 6650
RICARDO@MUVEARCH.COM
AA#26003161

DESIGNER:

RED OCTOPUS.LLC
INTEGRAL ARCHITECTURAL SERVICES

1555 NORTH PARK DRIVE #102 WESTON
FL 33326
954 850 9965
ADMIN@REDOCTOPUSLLC.COM

DRB SUBMITTAL

PERMIT APPLICATION DATE: 09-08-24
SHEET ISSUE DATE: 09-06-24

PROJECT NO.: 2321
DRAWN BY: AC APPROVED BY: YM

ALL DRAWINGS AND WRITTEN MATERIALS HEREIN CONSTITUTE ORIGINAL WORK OF THE DESIGNER AND MAY ONLY BE DUPLICATED WITH THEIR WRITTEN CONSENT

SEAL:

STATE OF FLORIDA
RICARDO J. MUNIZ-GUILLET
REGISTERED ARCHITECT
No. AR97841

SIGNATURE:

RICARDO J. MUNIZ-GUILLET
LIC# AR97841

SHEET TITLE:

SURVEY

SCALE:

N.T.S.

SHEET NO:

G-3.

9/6/2024 3:26:00 PM

PROJECT AND OWNER:
SANDBOX

1974 MARSEILLE DR,
MIAMI BEACH | FL | 33141
1974MIAMIBEACHLLC
3179 HOYLAKE RD
LAKE WORTH | FL | 33467

ARCHITECT:

2030 HABERSHAM TRCE | CUMMING | GA 30041
954 812 6650
RICARDO@MUVEARCH.COM
AA#26003161



DESIGNER:



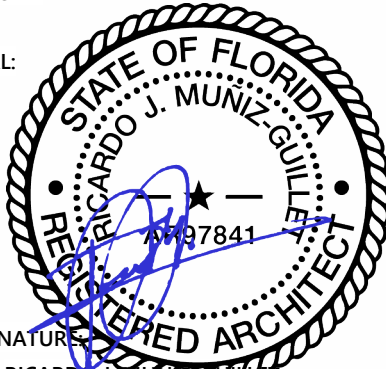
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DRB SUBMITTAL

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CONSENT

SEAL:



SIGNATURE

RICARDO J. MUNIZ-GUILLET
LIC# AR97841

SHEET TITLE:

SITE PLAN

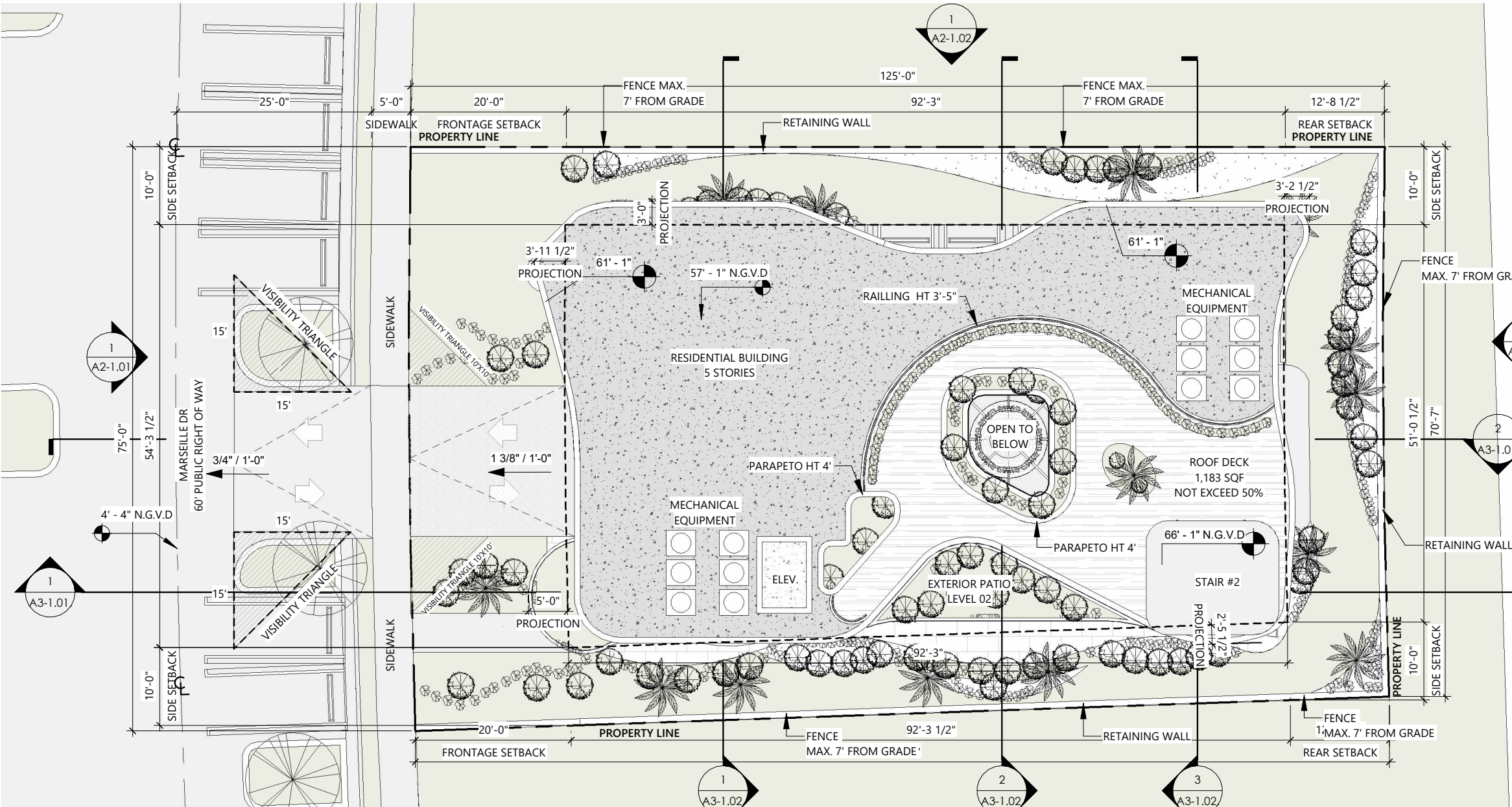
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N.T.S.

SHEET NO:

G-4.

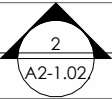
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1

SITE PLAN

1/16" = 1'-0"



2

A2-1.02

MORTARLESS INTERLOCKING CONCRETE
PAVERS, GAPS IN BETWEEN TO ALLOW THE
STORWATER DRAINAGE

1" TO 1 1/2" SAND SETTING BED
4" COMPACTED AGGREGATE BASE
COURSE
COMPACTED SUBGRADE

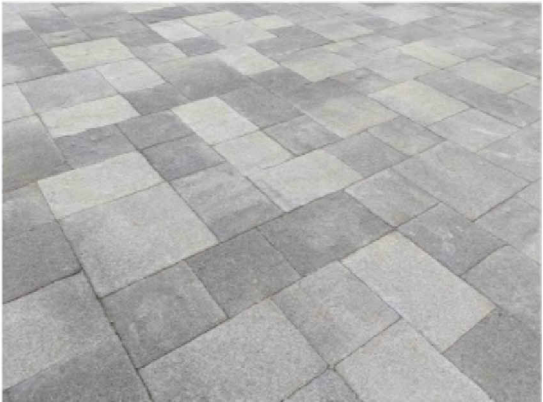
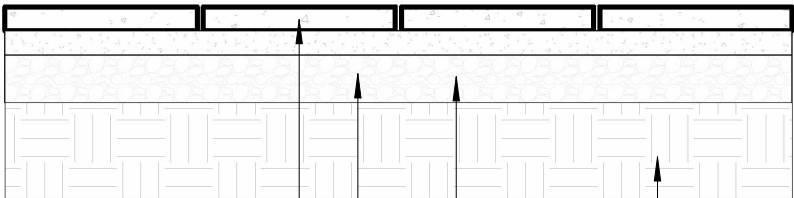


IMAGE ONLY FOR REFERENCE

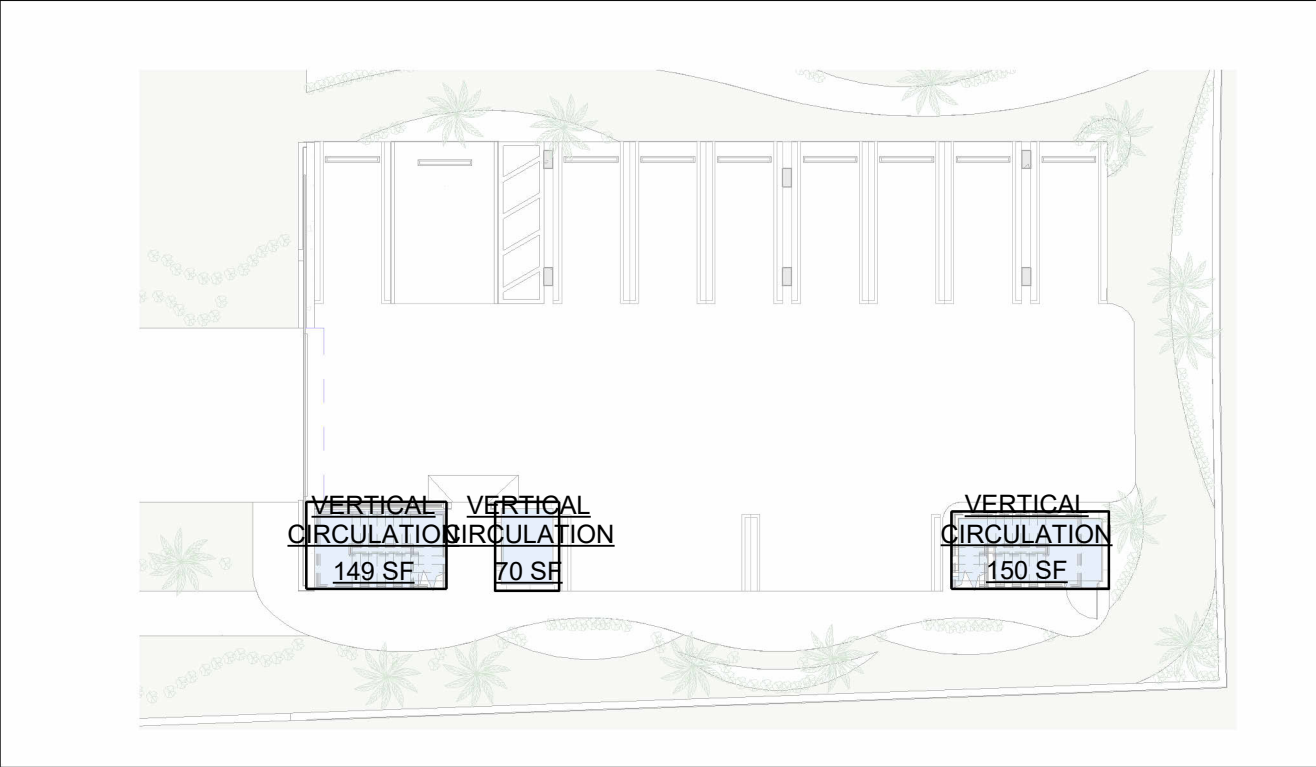
NOTE:

CONCRETE PAVERS, PLACED WITH A SMALL GAP IN BETWEEN TO
ALLOW WATER TO SOAK INTO THE GROUND DURABLE TO HEAVY
TRAFFIC.
PERVIOUS INTERLOCKING CONCRETE PAVERS CAN PREVENT
RUN-OFF FROM HEAVY RAINS.
THE PAVERS FILTER STORM WATER THROUGHOUT THEIR JOINTS TO
THE BASE LAYERS THAT TRAP MOST OF POLLUTANTS.
IN FACT, PERMEABLE PAVERS CAN LOWER NEARLY 80% OF THE
TOTAL SUSPENDED SOLID LEVELS IN STORM WATER.
BY ENSURING THE INFILTRATION OF RAIN THROUGH ITS LAYERS,
PERMEABLE INTERLOCKING CONCRETE PAVERS MAINTAIN
HEALTH GOUNDWATER LEVELS, AND SUPPORT THE GROWTH
AND SURVIVAL OF PLANT LIFE

2

PAVERS DETAILS

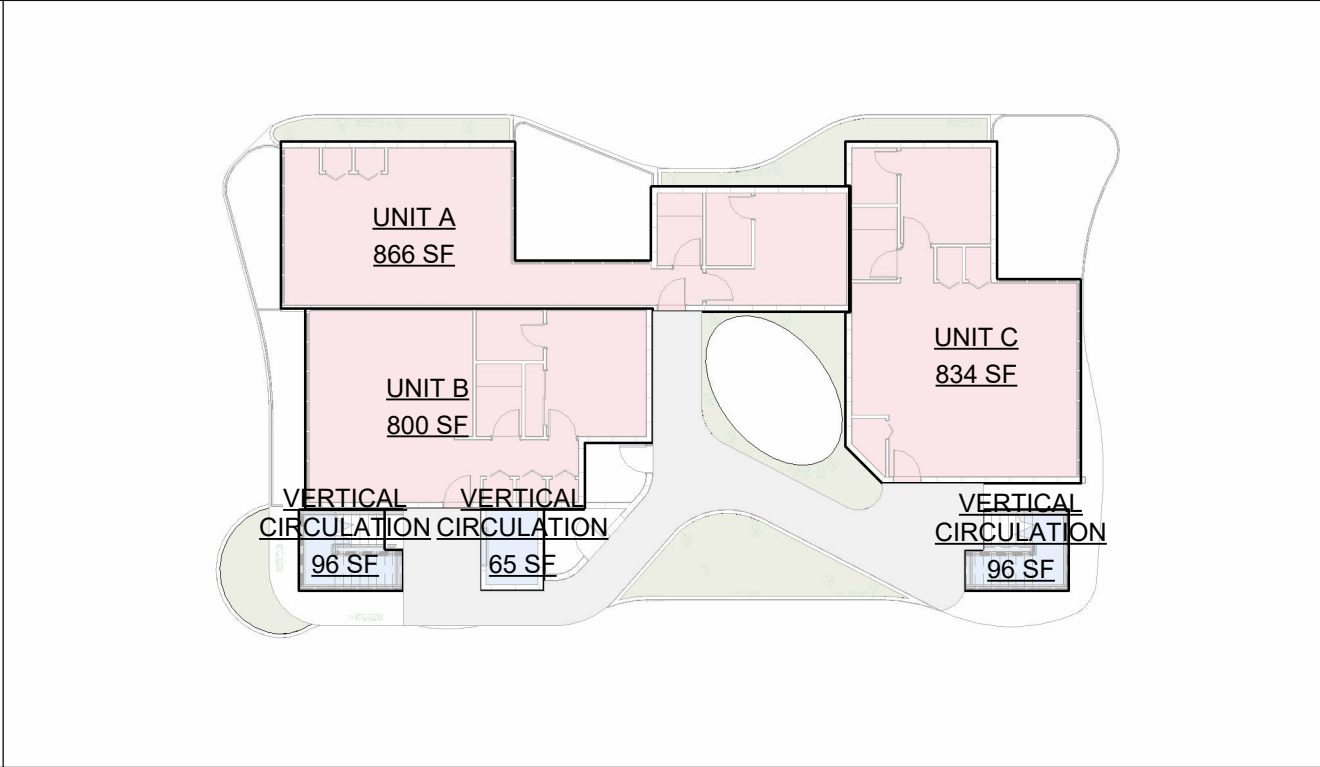
1/2" = 1'-0"



1

LEVEL 01.

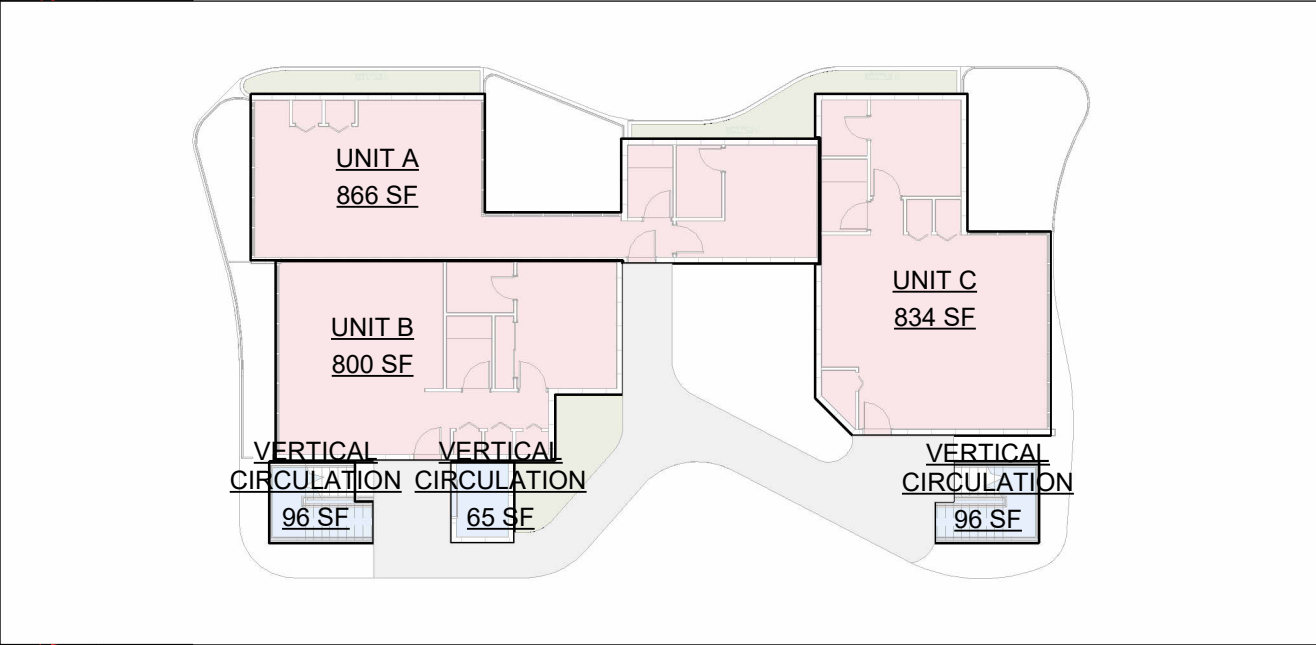
3/64" = 1'-0"



2

LEVEL 02.

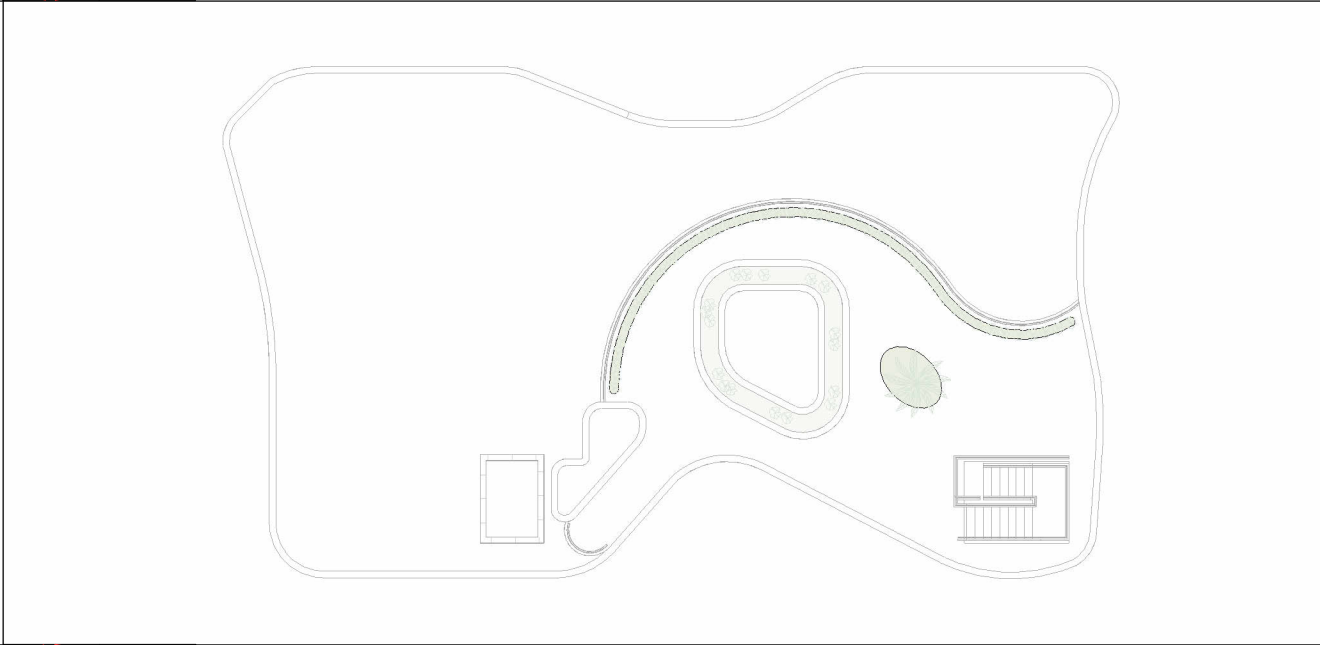
3/64" = 1'-0"



3

LEVEL 03 - 05.

3/64" = 1'-0"



4

LEVEL 06.

3/64" = 1'-0"

AREA LEGEND

UNIT A

UNIT B

UNIT C

VERTICAL CIRCULATION

OPEN PORCH / OPEN CORRIDOR

F.A.R (LOT AREA X 1.25)

MAXIMUM

9,099 SF X 1.25 = 11,373.75 SF

PROPOSED

11,292 SF

F.A.R CALCULATION		
Name	Area	INCIDENCE
UNIT A	3465 SF	31%
UNIT B	3201 SF	28%
UNIT C	3335 SF	30%
VERTICAL CIRCULATION	1291 SF	11%
Grand total	11292 SF	

PROJECT AND OWNER:

SANDBOX

1974 MARSEILLE DR,
MIAMI BEACH | FL | 33141
1974MIAMIBEACHLLC

3179 HOYLAKE RD
LAKE WORTH | FL | 33467

ARCHITECT:

2030 HABERSHAM TRCE | CUMMING | GA 30041
954 812 6650
RICARDO@MUVEARCH.COM
AA#26003161



DESIGNER:

RED OCTOPUS.LLC
INTEGRAL ARCHITECTURAL SERVICES

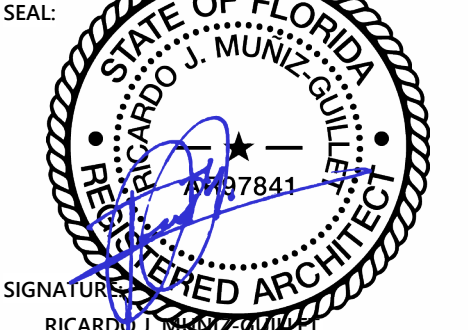
1555 NORTH PARK DRIVE #102 WESTON
FL 33326
954 850 9965
ADMIN@REDOCTOPUSLLC.COM

DRB SUBMITTAL

PERMIT APPLICATION DATE: 09-08-24
SHEET ISSUE DATE: 09-06-24

PROJECT NO.: 2321
DRAWN BY: AC APPROVED BY: YM

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SIGNATURE:

RICARDO J. MUNIZ-GUILLET
LIC# AR97841

SHEET TITLE:

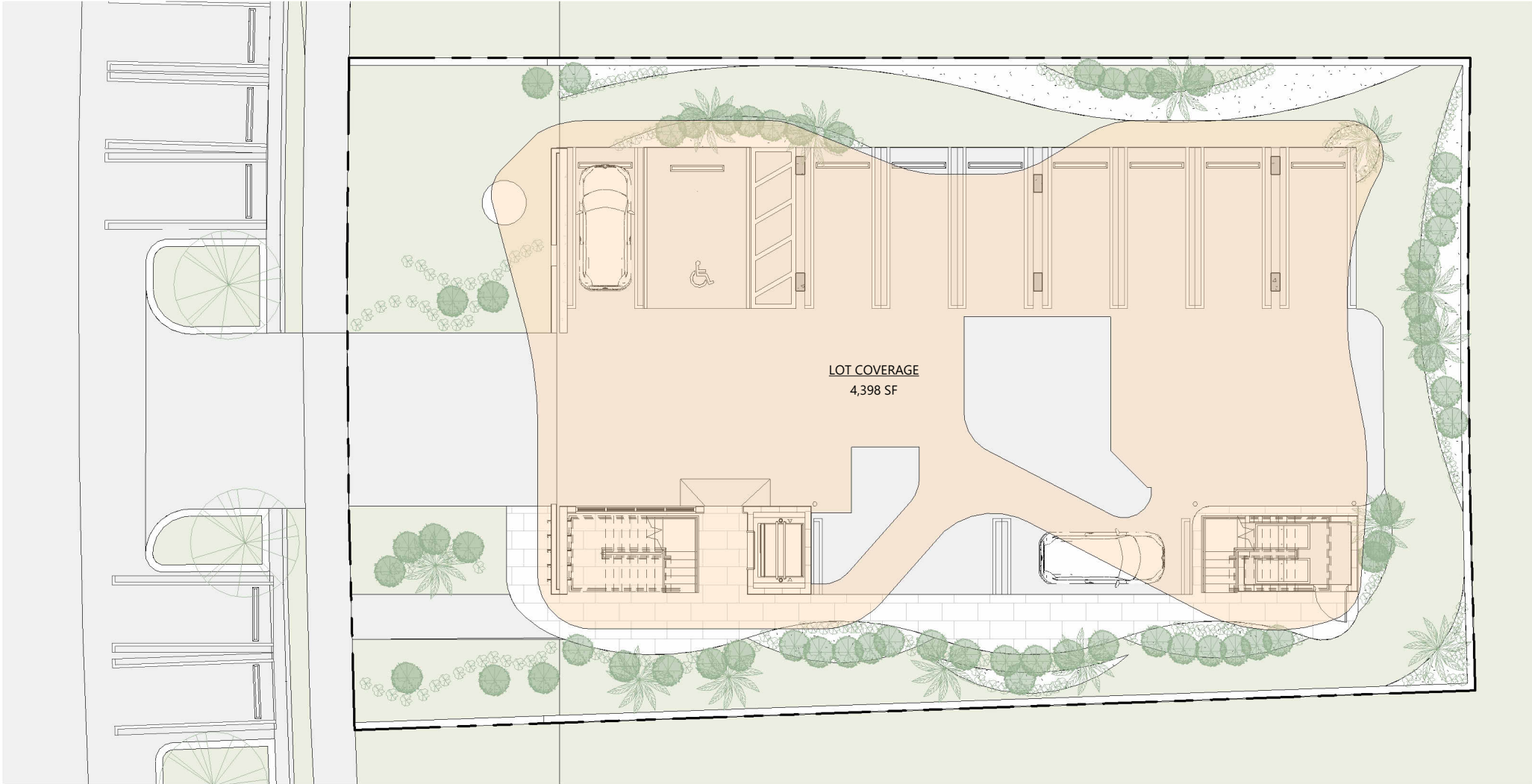
AREA DIAGRAMS

SCALE:

N.T.S.

SHEET NO:

G-5.



PROJECT AND OWNER:
SANDBOX

1974 MARSEILLE DR,
MIAMI BEACH | FL | 33141
1974MIAMIBEACHLLC
3179 HOYLAKE RD
LAKE WORTH | FL | 33467

ARCHITECT:
2030 HABERSHAM TRCE | CUMMING | GA 30041
954 812 6650
RICARDO@MUVEARCH.COM
AA#26003161



DESIGNER:



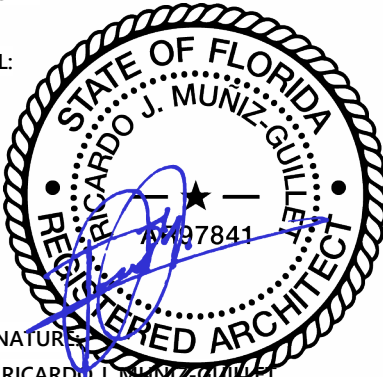
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SEAL:



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LIC# AR97841

SHEET TITLE:
AREA DIAGRAMS

SCALE:
N.T.S.

SHEET NO:
G-6.

9/6/2024 3:26:04 PM



1

LOT COVERAGE
1/16" = 1'-0"



LOT COVERAGE

REQUIRED 45%
9,099 SF X 45% = 4,094.55 SF
0.09 ACRES

PROVIDE 46%
4,398 SF
0.10 ACRES



CURRENT EXTERIOR PHOTOGRAPHS, DATED AUGUST 09TH, 2024

PROJECT AND OWNER:
SANDBOX

1974 MARSEILLE DR,
MIAMI BEACH | FL | 33141
1974MIAMIBEACHLLC

3179 HOYLAKE RD
LAKE WORTH | FL | 33467

ARCHITECT:

2030 HABERSHAM TRCE | CUMMING | GA 30041
954 812 6650
RICARDO@MUVEARCH.COM
AA#26003161



DESIGNER:


1555 NORTH PARK DRIVE #102 WESTON
FL 33326
954 850 9965
ADMIN@REDOCTOPUSLLC.COM

DRB SUBMITTAL

PERMIT APPLICATION DATE:09-08-24

SHEET ISSUE DATE:09-06-24

PROJECT NO.:2321

DRAWN BY:ACAPPROVED BY:YM

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SEAL:



SIGNATURE:

RICARDO J. MUNIZ-GUILLET
LIC# AR97841

SHEET TITLE:

EXISTING EXT. PICTURES

SCALE:

N.T.S.

SHEET NO:

G-7.

9/6/2024 3:26:05 PM



PROJECT AND OWNER:
SANDBOX

1974 MARSEILLE DR,
MIAMI BEACH | FL | 33141
1974MIAMIBEACHLLC

3179 HOYLAKE RD
LAKE WORTH | FL | 33467

ARCHITECT:

2030 HABERSHAM TRCE | CUMMING | GA 30041
954 812 6650
RICARDO@MUVEARCH.COM
AA#26003161



DESIGNER:

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INTEGRAL ARCHITECTURAL SERVICES

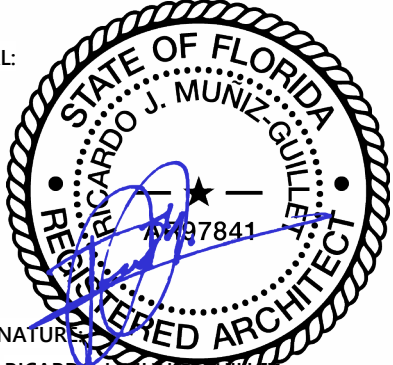
1555 NORTH PARK DRIVE #102 WESTON
FL 33326
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ADMIN@REDOCTOPUSLLC.COM

DRB SUBMITTAL

PERMIT APPLICATION DATE: 09-08-24
SHEET ISSUE DATE: 09-06-24
PROJECT NO.: 2321
DRAWN BY: AC APPROVED BY: YM

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SEAL:



SIGNATURE:
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LIC# AR97841

SHEET TITLE:
EXISTING INT. PICTURES

SCALE:
N.T.S.

SHEET NO:
G-8.

9/6/2024 3:26:06 PM

CURRENT INTERIOR PHOTOGRAPHS, DATED AUGUST 09TH, 2024



VIEW 03 - CORNER TO CORNER



VIEW 04 - CORNER TO CORNER


PROJECT AND OWNER:
SANDBOX

1974 MARSEILLE DR,
MIAMI BEACH | FL | 33141
1974MIAMIBEACHLLC


3179 HOYLAKE RD
LAKE WORTH | FL | 33467

ARCHITECT:

2030 HABERSHAM TRCE | CUMMING | GA 30041
954 812 6650
RICARDO@MUVEARCH.COM
AA#26003161



DESIGNER:


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DRB SUBMITTAL

PERMIT APPLICATION DATE:09-08-24
SHEET ISSUE DATE:09-06-24
PROJECT NO.:2321
DRAWN BY:ACAPPROVED BY:YM

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SEAL:



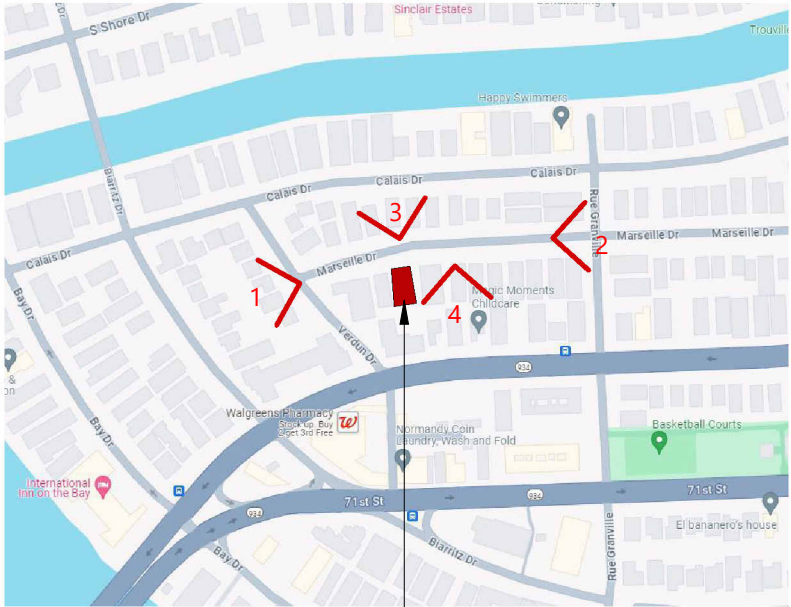
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RICARDO J. MUNIZ-GUILLET
LIC# AR97841

SHEET TITLE:
SITE & CONTEXT PICTURES

SCALE:
N.T.S.

SHEET NO:
G-9.01.

9/6/2024 3:26:07 PM



SUBJECT LOCATION
1974 MARSEILLE DRIVE |
MIAMI BEACH | FL 33141



1

KEY DIRECTIONAL PLAN

1 1/2" = 1'-0"



VIEW 01 - CORNER TO CORNER



VIEW 02 - CORNER TO CORNER

CONTEXT PHOTOGRAPHS, DATED AUGUST 9TH, 2024


PROJECT AND OWNER:
SANDBOX

1974 MARSEILLE DR,
MIAMI BEACH | FL | 33141
1974MIAMIBEACHLLC


3179 HOYLAK RD
LAKE WORTH | FL | 33467

ARCHITECT:

2030 HABERSHAM TRCE | CUMMING | GA 30041
954 812 6650
RICARDO@MUVEARCH.COM
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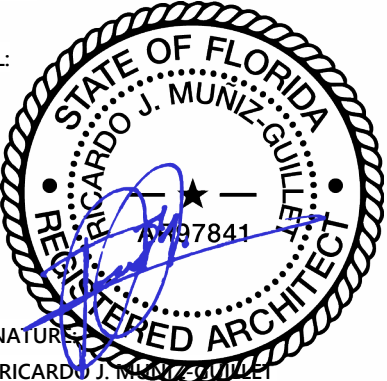
DESIGNER:



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FL 33326
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SHEET ISSUE DATE: 09-06-24
PROJECT NO.: 2321
DRAWN BY: AC
APPROVED BY: YM

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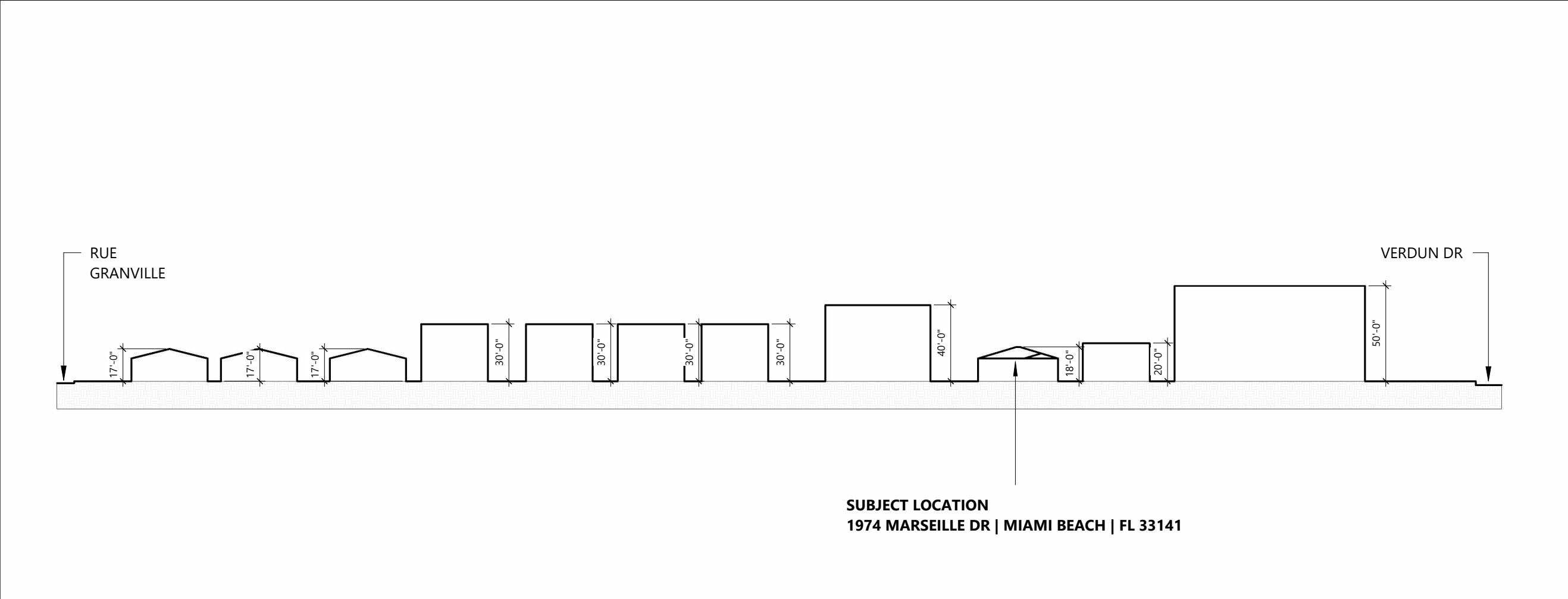
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LIC# AR97841

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SITE & CONTEXT PICTURES

SCALE:
N.T.S.

SHEET NO:
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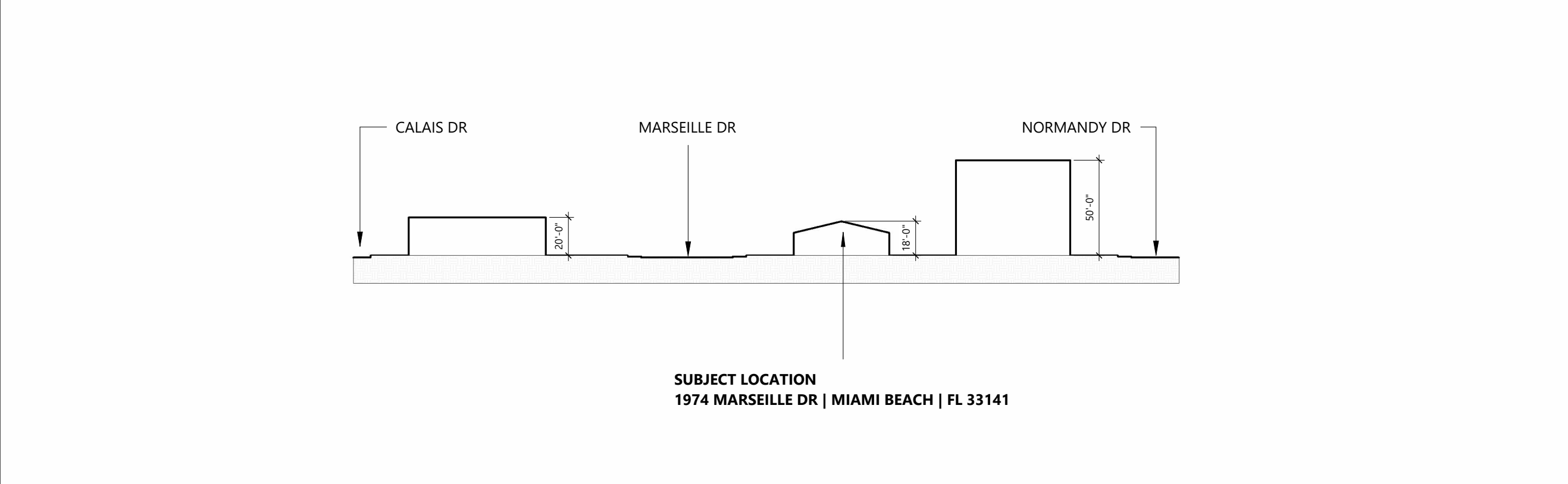
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1

CONTEXTUAL ELEVATION - CORNER TO CORNER

1" = 60'-0"



2

CONTEXTUAL ELEVATION - ACROSS THE STREET AND SURROUNDING PROPERTIES

1" = 60'-0"

PROJECT AND OWNER:

SANDBOX

1974 MARSEILLE DR,
MIAMI BEACH | FL | 33141
1974MIAMIBEACHLLC
3179 HOYLAKE RD
LAKE WORTH | FL | 33467

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SEAL:

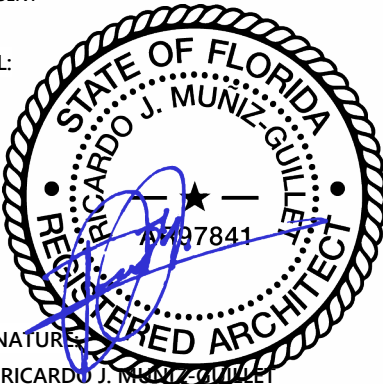
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RICARDO J. MUNIZ-GUILLET
LIC# AR97841

SHEET TITLE:
CONTEXTUAL ELEVATION

SCALE:
N.T.S.

SHEET NO:
G-10.

9/6/2024 3:26:09 PM

WALL LEGEND		DEMOLITION NOTES		PROJECT AND OWNER: <div>SANDBOX</div> <div>1974 MARSEILLE DR, MIAMI BEACH FL 33141 1974MIAMIBEACHLLC 3179 HOYLAKE RD LAKE WORTH FL 33467 ARCHITECT: 2030 HABERSHAM TRCE CUMMING GA 30041 954 812 6650 RICARDO@MUVEARCH.COM AA#26003161 <div>M U V E ARCHITECTURE</div> DESIGNER: <div>RED OCTOPUS.LLC INTEGRAL ARCHITECTURAL SERVICES</div><div>1555 NORTH PARK DRIVE #102 WESTON FL 33326 954 850 9965 ADMIN@REDOCTOPUSLLC.COM</div></div>								
<div><div>1</div><div></div><div>TYPICAL 4" INTERIOR PARTITION NON-RATED</div></div> <div><div>2</div><div></div><div>EXTERIOR - EXISTING TO REMAIN</div></div> <div><div>3</div><div></div><div>INTERIOR - EXISTING TO REMAIN</div></div> <div><div></div><div></div><div>TO BE DEMOLISHED</div></div>		<div><div>02110 DEMOLITION</div><div>1. PROVIDE LABOR, MATERIALS AND EQUIPMENT TO PERFORM ALL DEMOLITION AND REMOVAL WORK SHOWN, SPECIFIED OR REQUIRED TO COMPLETE THE WORK. "TITLE OF PROPERTY": EXCEPT AS OTHERWISE SPECIFIED, OR INDICATED, ALL SALVAGE- ABLE MATERIAL AND EQUIPMENT TO BE DISCONNECTED AND REMOVED SHALL BECOME THE PROPERTY OF THE OWNER TO BE ASSIGNED AND DISPOSED OF BY THE CONTRACTOR AT THE OWNERS DIRECTION. CONTRACTOR SHALL SUBMIT TO OWNER REFERENCES AND EXPERIENCE OF TRADES FOR REVIEW AND APPROVAL. THESE ITEMS MAY INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING: 1. EQUIPMENT, CONDUIT, LIGHT FIXTURES, TOILET FIXTURES AND FITTINGS, WINDOWS/DOORS AND MECHANICAL ITEMS. PROTECTION OF PERSONS AND PROPERTY: SHALL BE PROVIDED THROUGHOUT THE PROGRESS OF THE WORK. THE WORK SHALL PROCEED IN SUCH A MANNER AS TO MINIMIZE THE SPREAD OF DUST AND FLYING PARTICLES AND TO PROVIDE SAFE WORKING CONDITIONS FOR PERSONNEL. 2. DISCONNECTION OF SERVICES: BEFORE STARTING THE WORK, ALL AFFECTED UTILITIES SHALL BE DISCONNECTED UNLESS OTHERWISE INDICATED OR DIRECTED. ALL UTILITY MAINS SHALL BE SEALED IN AN APPROVED MANNER. IF IT BECOMES NECESSARY TO INTERRUPT THE UTILITY SERVICE TO UTILITIES NOT PART OF THIS CONTRACT, PRIOR APPROVAL SHALL BE OBTAINED IN WRITING FROM THE OWNER. 3. CONTRACTOR SHALL INVESTIGATE THE EXISTENCE OF ASBESTOS AND NOTIFY THE OWNER BEFORE PROCEEDING WITH DEMOLITION WORK. SCOPE OF WORK CONTRACTOR TO OBTAIN ALL NECESSARY BUILDING PERMITS. DEMOLITION AND REMOVAL FOR BUILDING AS INDICATED ON DRAWINGS. CONTRACTOR TO REMOVE ALL PARTITIONS, WALLS, PLUMBING AS INDICATED IN THE DRAWINGS. THE ABOVE SCOPE OF WORK IS NOT EXHAUSTIVE. REFERENCE SHOULD BE MADE TO EXISTING SITE CONDITIONS TO VERIFY EXTENT OF REMOVALS TO COMPLETE THE PROJECT. SHOULD THERE BE A QUESTION AS TO THE REMOVAL OF ANY PORTION OF THE PROJECT, THE CONTRACTOR SHOULD REQUEST CLARIFICATION FROM THE OWNER. EXECUTION ALL DEMOLITION SHALL BE CARRIED OUT WITH MINIMUM DAMAGE TO ADJOINING WORK. HOLES OR OTHER DAMAGE LEFT BY THE CONTRACTOR IN EXISTING BUILDING SURFACES SHALL BE REPAIRED TO MATCH THE EXISTING ADJACENT SURFACE. ASSIGN REMOVAL AND CUTTING WORK TO TRADES EXPERIENCED IN THE PARTICULAR WORK TO AVOID UNNECESSARY DAMAGE DUE TO UNSKILLED WORKMANSHIP. REMOVE ALL DEBRIS AND MATERIAL RESULTING FROM DEMOLITION OFF THE SITE AT THE END OF EACH WORKING DAY. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PREVENT DAMAGE TO EXISTING WIRING, PIPING, TUBING AND EQUIPMENT. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ALL DAMAGE TO EXISTING STRUCTURE CAUSED BY HIS OPERATIONS. ALL DEMOLITION WORK SHALL BE UNDERTAKEN IN ACCORDANCE WITH REQUIREMENTS OF REGULATIONS OSHA AND OF LOCAL AUTHORITIES AND APPLICABLE BUILDING CODES. DEMOLITION WORK SHALL BE COORDINATED WITH BUILDING MANAGEMENT.</div></div>										
ALL LIFE SAFETY EQUIPMENT TO REMAIN OPERABLE DURING DEMOLITION		NOTE:		DRB SUBMITTAL								
<div><div>1</div><div>REMOVE EXISTING INTERIOR PARTITION</div></div> <div><div>2</div><div>REMOVE EXISTING DOOR</div></div> <div><div>3</div><div>REMOVE PLUMBING FIXTURES, CAP EXISTING CONNECTIONS AND COVER ALL SANITARY AND DRAINAGE LINES TO PREVENT THE INTRUTION OF DEBRIS</div></div> <div><div>4</div><div>REMOVE FINISH FLOOR</div></div> <div><div>5</div><div>REMOVE KITCHEN APPLIANCES CABINETS AND COUNTERTOPS</div></div> <div><div>6</div><div>REMOVE EXISTING CEILING</div></div>		<div><div>1. THE REMOVAL OF THE WALLS MUST BE PERFORMED CAREFULLY TO ENSURE EXISTING PLUMBING VENT AND SANITARY STACKS WILL NOT BE DAMAGED AND/OR MODIFIED IN ANY MANNER. IF A PLUMBING/VENT STACK IS TO BE CONCEALED WITHIN A WALL THE GENERAL CONTRACTOR NEEDS TO ASCERTAIN THAT, BEFORE THE PLUMBING STACK IS COVERED WITHIN ANY ARCHITECTURAL FINISH, COLUMN ELEMENT OR WALL SECTION, THAT THE FIRE RATED SEALANTS THAT SEPARATE THE UNITS AT THE SLABS ARE C PRESENT. 2. THE EXISTING/REMAING SMOKE DETECTORS AS WELL AS FIRE ALARM SYSTEM SPEAKERS AND ASSOCIATED WIRING SHOULD BE PROTECTED FROM DUST, PAINT OR ANY TYPE OF DAMAGE DURING CONSTRUCTION. 3. ANY NEW OPENINGS, PENETRATIONS, AND/OR MODIFICATIONS TO EXISTING STRUCTURAL COMPONENTS (INCLUDING AND NOT LIMITED TO WALLS, SLABS, COLUMNS, BEAMS, ETC) ARE STRICTLY NOT PERMITTED WITHOUT PRIOR APPROVAL BY THE BUILDING'S ASSOCIATION. 4. ANY AND ALL FIRE SPRINKLER SYSTEM WORK SHOULD BE PERFORMED BY THE ASSOCIATION'S FIRE SPRINKLER CONTRACTOR THAT IS RESPONSIBLE FOR MAINTAINING AND REPAIRING THE FIRE SPRINKLER SYSTEM ON A BUILDING WIDE BASIS.</div></div>	<div><div>PERMIT APPLICATION DATE: 09-08-24</div><div>SHEET ISSUE DATE: 09-06-24</div><div>PROJECT NO.: 2321</div><div>DRAWN BY: ACAPPROVED BY: YM</div><table><tr><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td></tr></table><div>ALL DRAWINGS AND WRITTEN MATERIALS HEREIN CONSTITUTE ORIGINAL WORK OF THE DESIGNER AND MAY ONLY BE DUPLICATED WITH THEIR WRITTEN CONSENT</div><div><div>SEAL:  SIGNATURE: RICARDO J. MUNIZ-GUILLET LIC# AR97841</div><div>SHEET TITLE: DEMOLITION NOTES</div><div>SCALE: N.T.S.</div><div>SHEET NO: D1-1.00</div><div>9/6/2024 3:26:10 PM</div></div></div>									
DEMOLITION PLAN KEYNOTES		GENERAL DEMOLITION NOTES										
<div>COORDINATE SELECTIVE REMOVAL / RELOCATION OF LIGHT LIXTURES, ELECTRICAL WIRES, CONDUITS, "J" BOXES, DUCT WORK, DIFFUSERS, GRILLS.</div> <div>REMOVE ALL DUCTWORK, DIFFUSERS, GRILLS, LIGHTS, AND CLEAN THE BOTTOM OF THE SLAB FROM REMAINING DEBRIS.</div> <div>SPRINKLER LINES TO REMAIN AND BE RELOCATED PER REVISED PLAN</div>		<div><div>1. BEFORE BEGINNING WORK AT THE SITE, WHERE POSSIBLE, AND THROUGH THE COURSE OF THE WORK, INSPECT AND VERIFY THE LOCATION AND CONDITION OF EVRY ITEM AFFECTED BY THE WORK UNDER THIS CONTRACT AND REPORT ANY DISCREPANCIES TO THE OWNER BEFORE DOING WORK RELATED OT THAT INSPECTION.</div><div>2. DRAWINGS SHOW PRINCIPAL AREAS WHERE WORK MUST BE COMPLETED UNDER THIS CONTRACT, INCIDENTAL WORK MUST ALSO BE NECESSARY ON AREAS NOT SHOWN IN THE DRAWINGS DUE TO CHANGES AFFECTING EXISTING MECHANICAL, ELECTRICAL, PLUMBING OR OTHER SYSTEMS, SUCH INCIDENTAL WORK IS ALSO AS PART OF THIS CONTRACT. INSPECT THOSE AREAS, AND AS CERTAIN WORKNEEDED AND TO THAT WORK ACCORD WITH THE CONTRACT REQUIREMENTS, AT NO ADDITIONAL COST.</div><div>3. TAKE ALL NECESSARY PRECAUTIONS TO GUARD AGAINST ANY AND ALL POSSIBLE HAZARDOUS CONDITIONS (I.E. EXPOSED "HOT" WIRING, MATERIALS PLACED IN TRAFFIC PATHS CREATING A "TRIPPING" HAZARD, ETC.) WHICH MIGHT OCCUR AS A RESULT OF DEMOLITION AND CONSTRUCTION.</div><div>4. IF UNANTICIPATED MECHANICAL, ELECTRICAL OR STRUCTURAL ELEMENTS, WHICH CONFLICT WITH INTENDED FUNCTION OR DESIGN AR ENCOUNTERED, INVESTIGATE AND MEASURE BOTH NATURE OF EXTENT OF THE CONFLICT. SUBMIT REPORT TO OWNERS REPRESENTATIVE IN WRITTEN, ACCURATE DETAIL.</div><div>5. IN ALL ACTIVITIES, COMPLY WITH PERTINENT REGULATIONS OF GOVERNMENTAL AGENCIES HAVING JURISDICTION.</div><div>6. UPON COMPLETION OF DEMOLITION WORK, REMOVE DEBRIS, RUBBISH AND OTHER MATERIALS FROM BUILDING SITE. TRANSPORT AND LEGALLY DISPOSE OF MATERIALS OFF SITE. LEAVE RESULTING DEBRIS FROM INTERIOR AREAS BROOM CLEAN.</div><div>7. USE SAW CUT TO REMOVE MASONRY WHERE REMAINING MASONRY IS TO BE EXPOSED.</div><div>8. PROVIDE INTERIOR AND EXTERIOR SHORING, BRACING OR SUPPORT TO PREVENT MOVEMENT, SETTLEMENT OR COLLAPSE OF STRUCTURES TO BE DEMOLISHED AND ADJACENT EXISTING STRUCTURES TO REMAIN. TAKE PRECAUTIONS TO PROPERLY SUPPORT STRUCTURE. DO NOT RESUME OPERATIONS UNTIL SAFETY IS RESTORED.</div><div>9. BEFORE ANY STRUCTURAL DEMOLITION CAN START, CONTRACTOR SHALL NOTIFY THE STRUCTURAL ENGINEER FOR AUTHORIZATION.</div><div>10. DEMOLITION OPERATION SHALL BE EXECUTED BY ADEQUATE NUMBER OF SKILLED WORKERS EXPERIENCED IN THE NECESSARY CRAFTS. SHUT OFF, CAP AND OTHERWISE PROTECT MECHANICAL AND ELECTRICAL INSTALLATIONS, WORK IN PUBLIC UTILITY LINES SHALL BE COORDINATED WITH THE AGENCY OR UTILITY HAVING JURISDICTION AND THE CONTRACTOR SHALL PROTECT EXISTING INSTALLATIONS ACCORDING TO THEIR REQUIREMENTS.</div><div>11. ITEMS INDICATED TO BE REMOVED BUT OF SALVABLE VALUE TO THE CONTRACTOR, AND NOT TO BE KEPT BY THE OWNER, MAY BE REMOVED FROM THE STRUCTURE AS WORK PROGRESSES. TRANSPORT SALVAGED ITEMS FROM THE SITE AS THEY ARE REMOVED. STORAGE OR SALE OF REMOVED ITEMS ON SITE WILL NOT BE PERMITTED. MATERIALS AND EQUIPMENT TO BE REUSED SHALL BE TREATED WITH CARE AND REINSTALLED AS SHOWN ON PLANS.</div><div>12. G.C. SHALL REPAIR AT HIS OWN COST ANY DAMAGES TO THE PREMISES OR ADJACENT WORK CAUSED BY HIS OPERATION. FIRE PROTECTION WILL BE PROVIDED FROM THE OCCUPIED SIDE OF THE BUILDING TO THE DEMO SIDE.</div></div>										

PROJECT AND OWNER:
SANDBOX

1974 MARSEILLE DR,
MIAMI BEACH | FL | 33141
1974MIAMIBEACHLLC
3179 HOYLAKE RD
LAKE WORTH | FL | 33467

ARCHITECT:

2030 HABERSHAM TRCE | CUMMING | GA 30041
954 812 6650
RICARDO@MUVEARCH.COM
AA#26003161



DESIGNER:



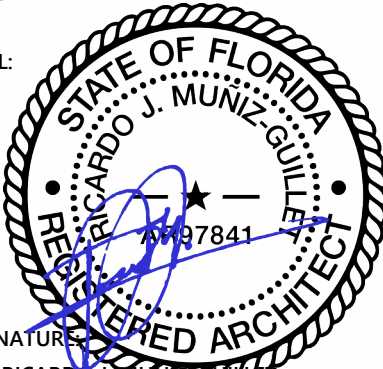
1555 NORTH PARK DRIVE #102 WESTON
FL 33326
954 850 9965
ADMIN@REDOCTOPUSLLC.COM

DRB SUBMITTAL

PERMIT APPLICATION DATE: 09-08-24
SHEET ISSUE DATE: 09-06-24
PROJECT NO.: 2321
DRAWN BY: AC APPROVED BY: YM

ALL DRAWINGS AND WRITTEN MATERIALS HEREIN
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SEAL:



SIGNATURE:
RICARDO J. MUNIZ-GUILLET
LIC# AR97841

SHEET TITLE:

EXISTING GROUND LEVELS

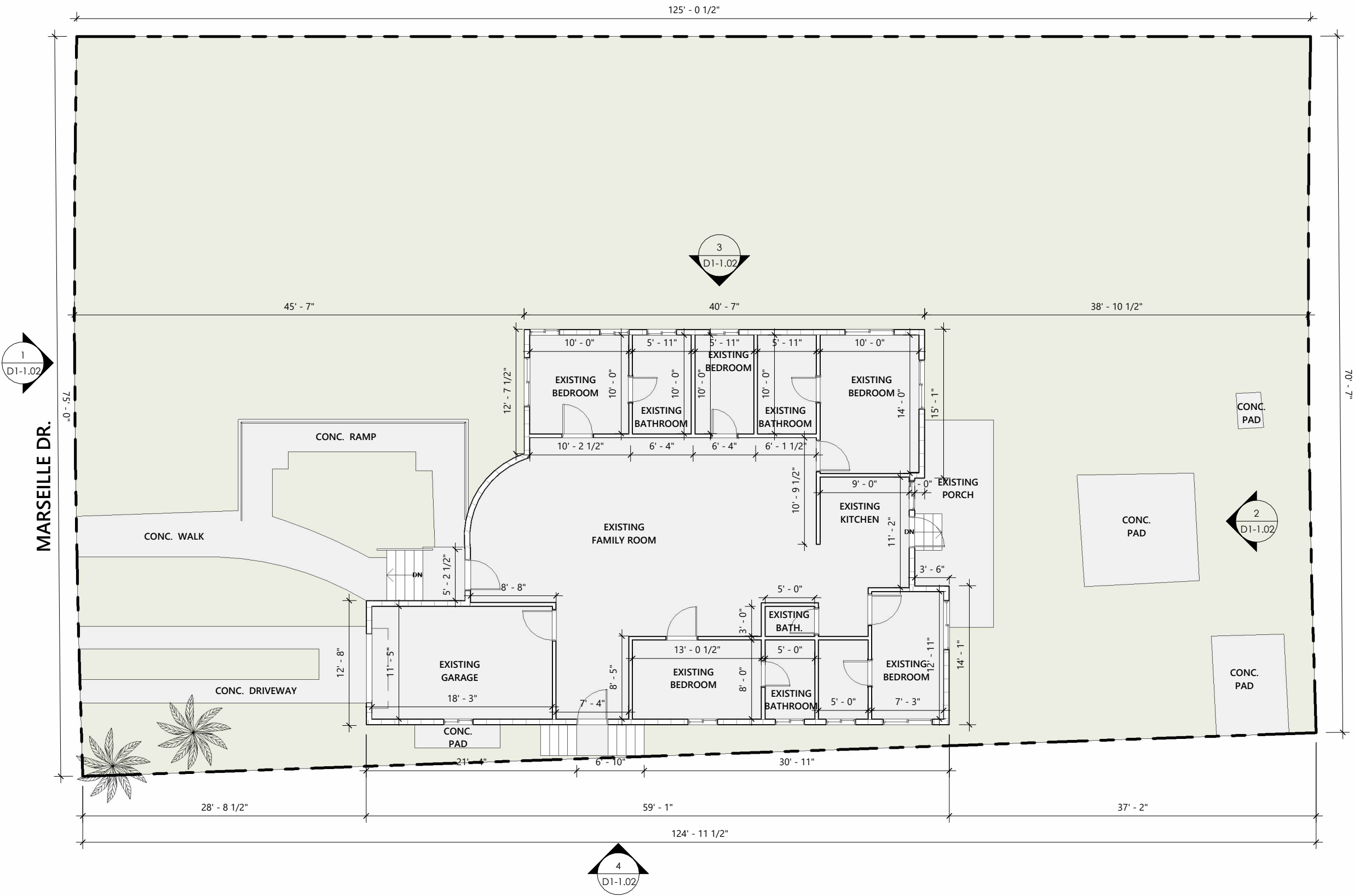
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N.T.S.

SHEET NO:

D1-1.01

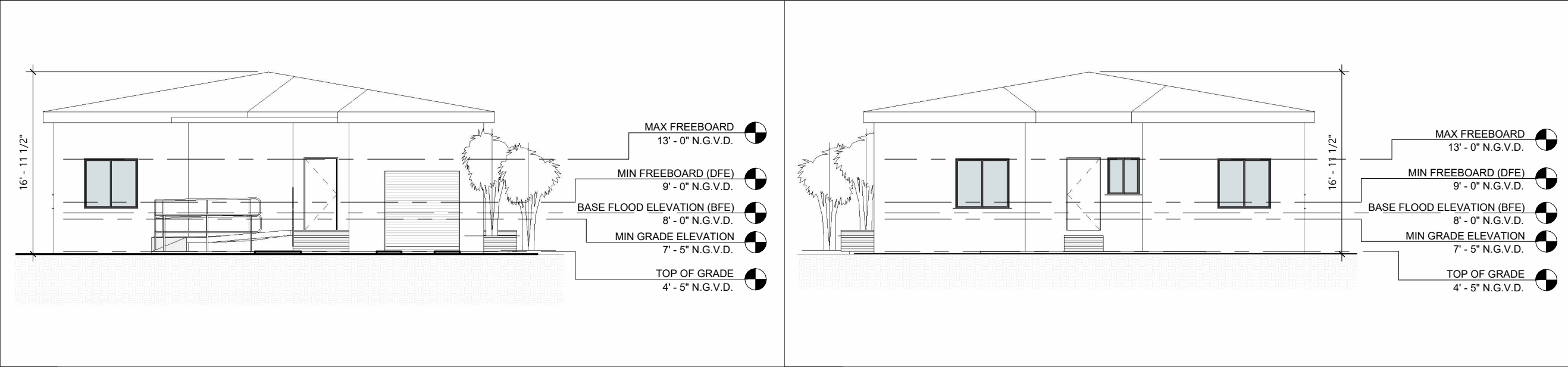
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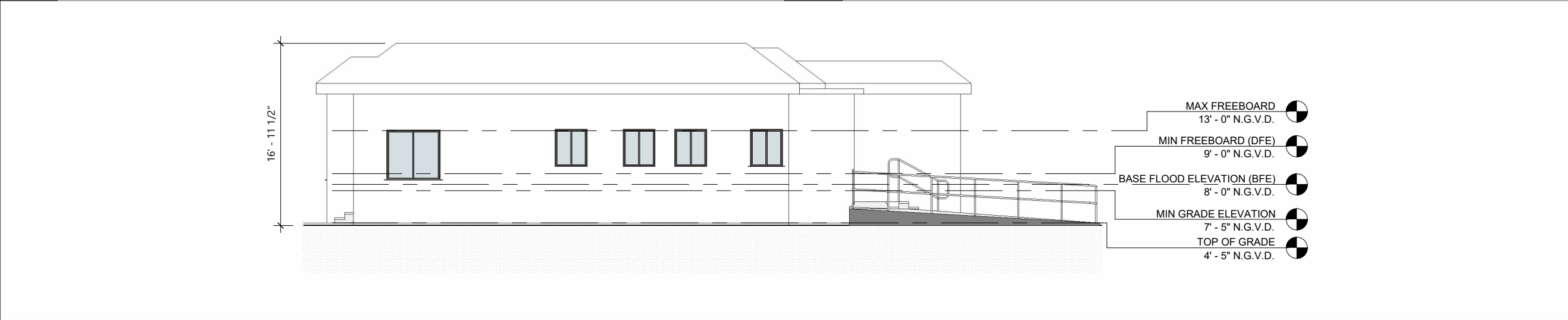
EXISTING GROUND LEVEL

3/32" = 1'-0"

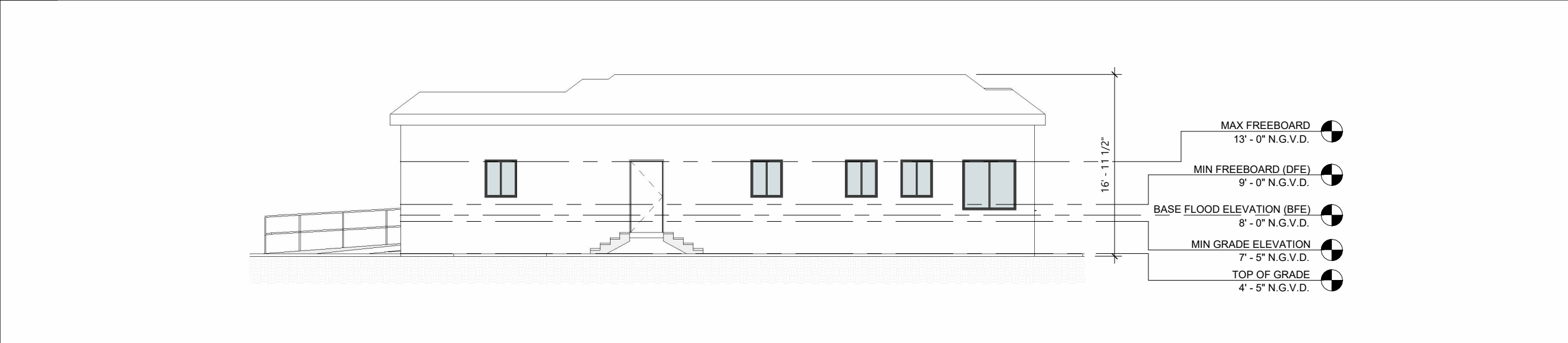


1 EXISTING NORTH ELEVATION
3/32" = 1'-0"

2 EXISTING SOUTH ELEVATION
3/32" = 1'-0"



3 EXISTING EAST ELEVATION
3/32" = 1'-0"



4 EXISTING WEST ELEVATION
3/32" = 1'-0"

PROJECT AND OWNER:
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1974MIAMIBEACHLLC
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DESIGNER:
REDOCTOPUS.LLC
INTEGRAL ARCHITECTURAL SERVICES
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LIC# AR97841

SHEET TITLE:
EXISTING ELEVATIONS
SCALE:
N.T.S.
SHEET NO:
D1-1.02
9/6/2024 3:26:13 PM

PROJECT AND OWNER:
SANDBOX

1974 MARSEILLE DR,
MIAMI BEACH | FL | 33141
1974MIAMIBEACHLLC

3179 HOYLAKE RD
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DESIGNER:


RED OCTOPUS.LLC
INTEGRAL ARCHITECTURAL SERVICES

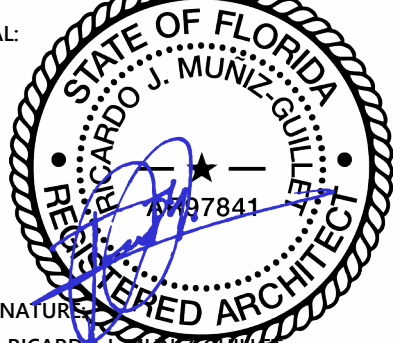
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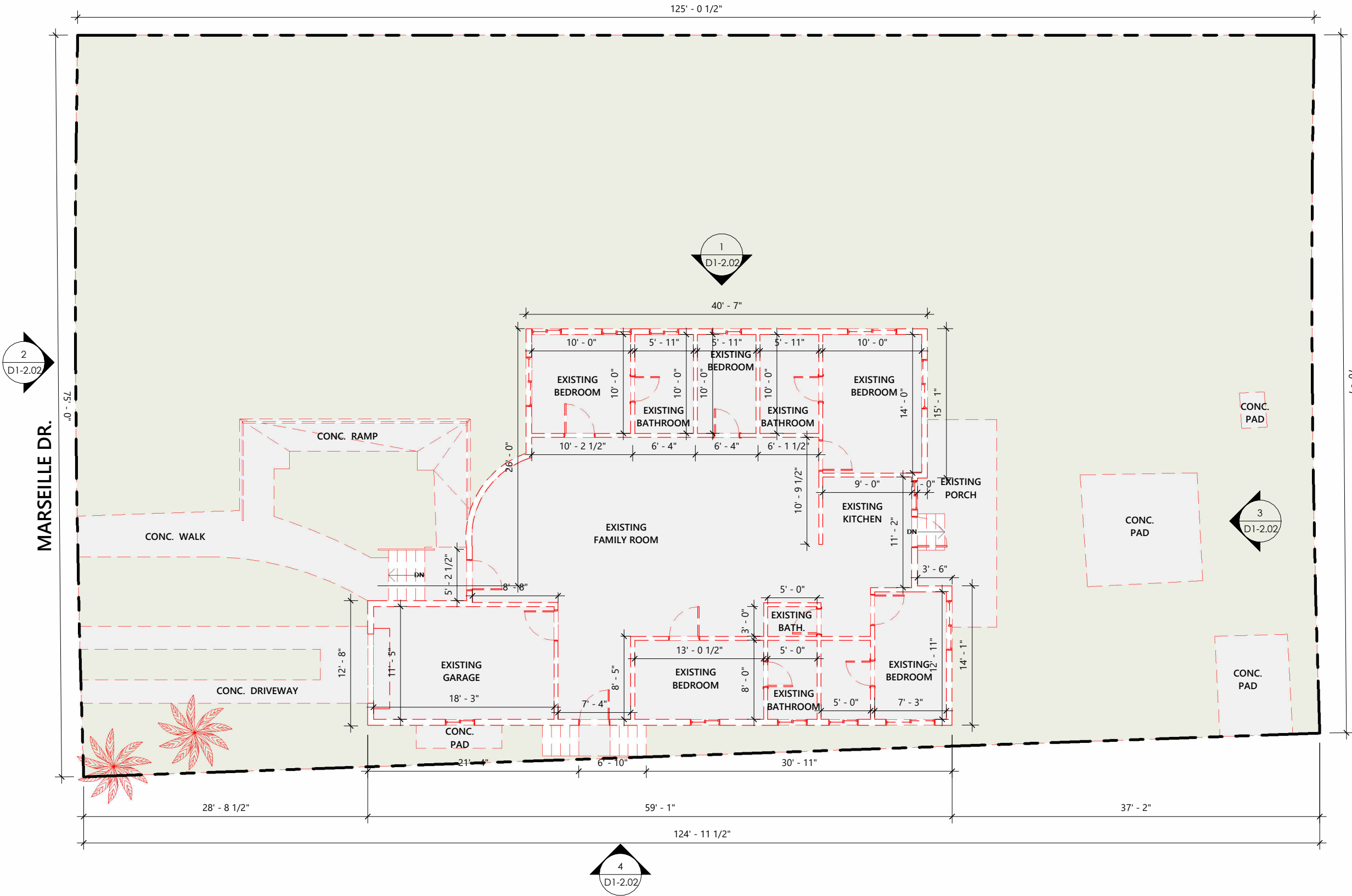
SIGNATURE:
RICARDO J. MUNIZ-GUILLET
LIC# AR97841

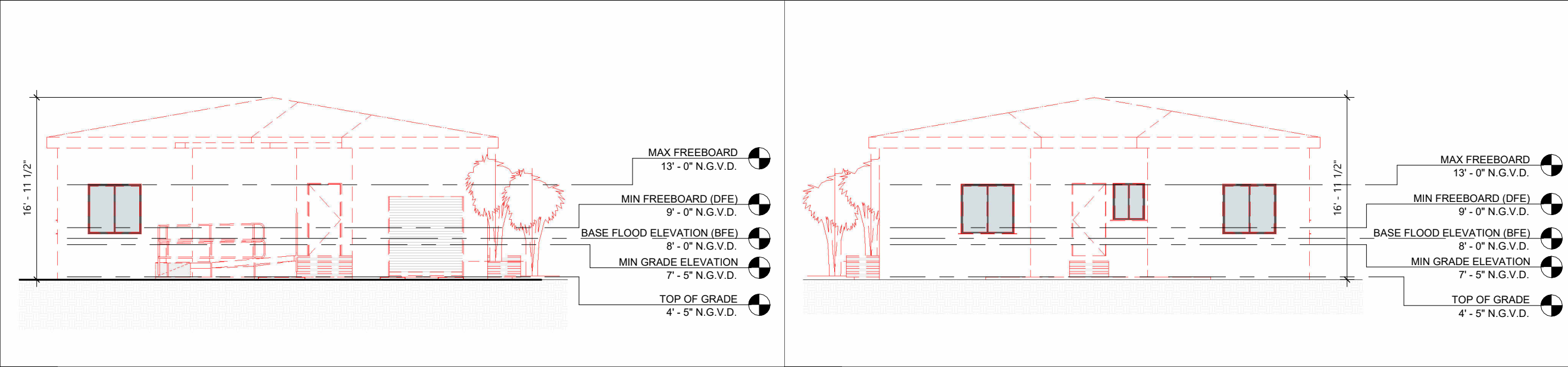
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DEMO GROUND LEVEL PLAN

SCALE:
N.T.S.

SHEET NO:
D1-2.01

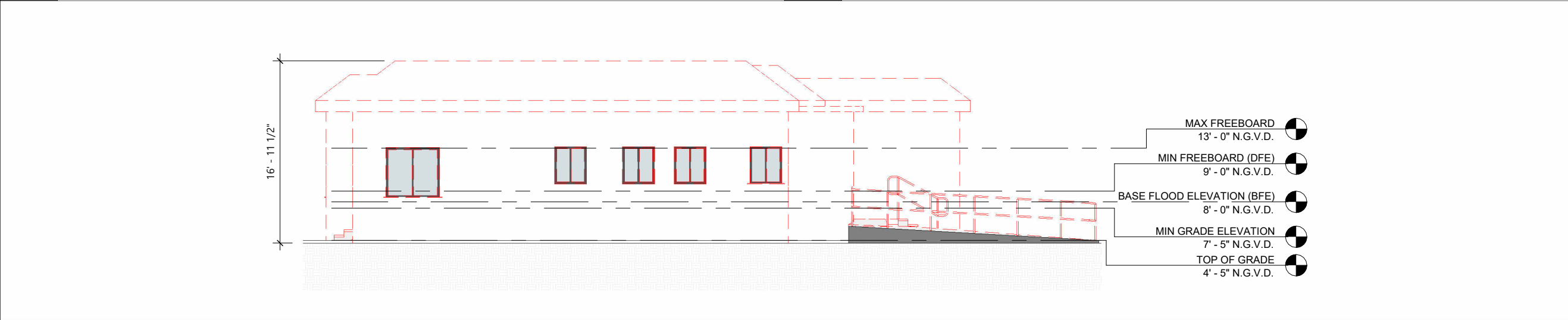
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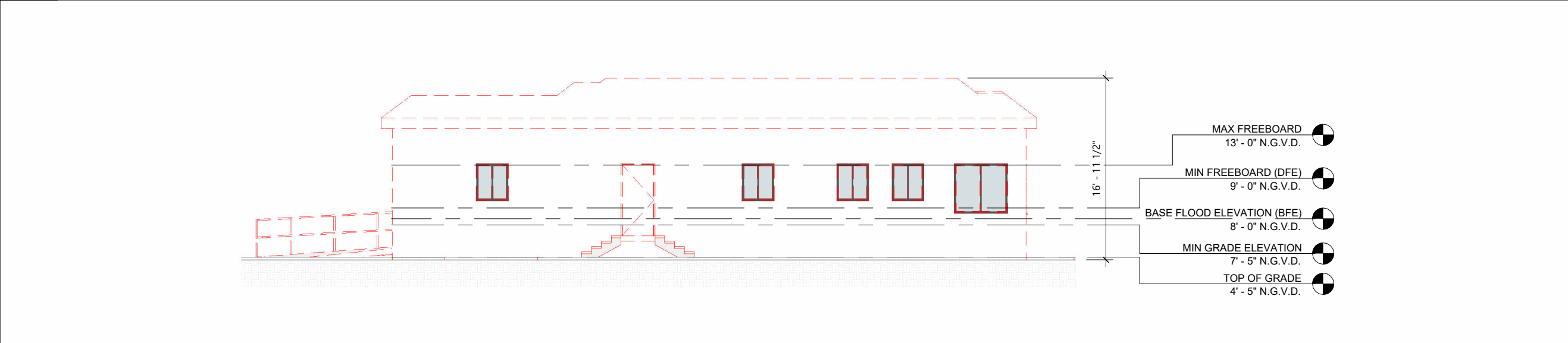


2 DEMOLITION NORTH ELEVATION
3/32" = 1'-0"

3 DEMOLITION SOUTH ELEVATION
3/32" = 1'-0"



1 DEMOLITION EAST ELEVATION
3/32" = 1'-0"



4 DEMOLITION WEST ELEVATION
3/32" = 1'-0"

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1974MIAMIBEACHLLC

3179 HOYLAK RD
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ARCHITECT:

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DESIGNER:

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CONSENT

SEAL:

STATE OF FLORIDA
RICARDO J. MUNIZ-GUILLET
REGISTERED ARCHITECT
AR97841

SIGNATURE:
RICARDO J. MUNIZ-GUILLET
LIC# AR97841

SHEET TITLE:
DEMOLITION ELEVATION

SCALE:
N.T.S.

SHEET NO:
D1-2.02

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PROJECT AND OWNER:
SANDBOX

1974 MARSEILLE DR,
MIAMI BEACH | FL | 33141
1974MIAMI BEACH LLC
3179 HOYLAKE RD
LAKE WORTH | FL | 33467

ARCHITECT:

2030 HABERSHAM TRCE | CUMMING | GA 30041
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DESIGNER:



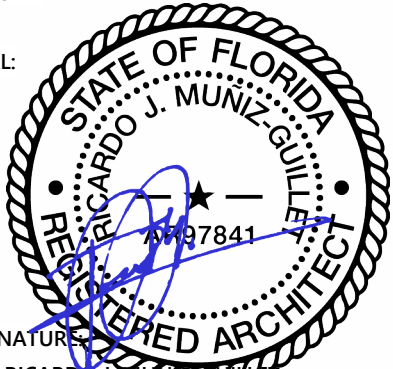
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SEAL:



SIGNATURE:
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LIC# AR97841

SHEET TITLE:

GROUND LEVEL-FLOOR PLAN

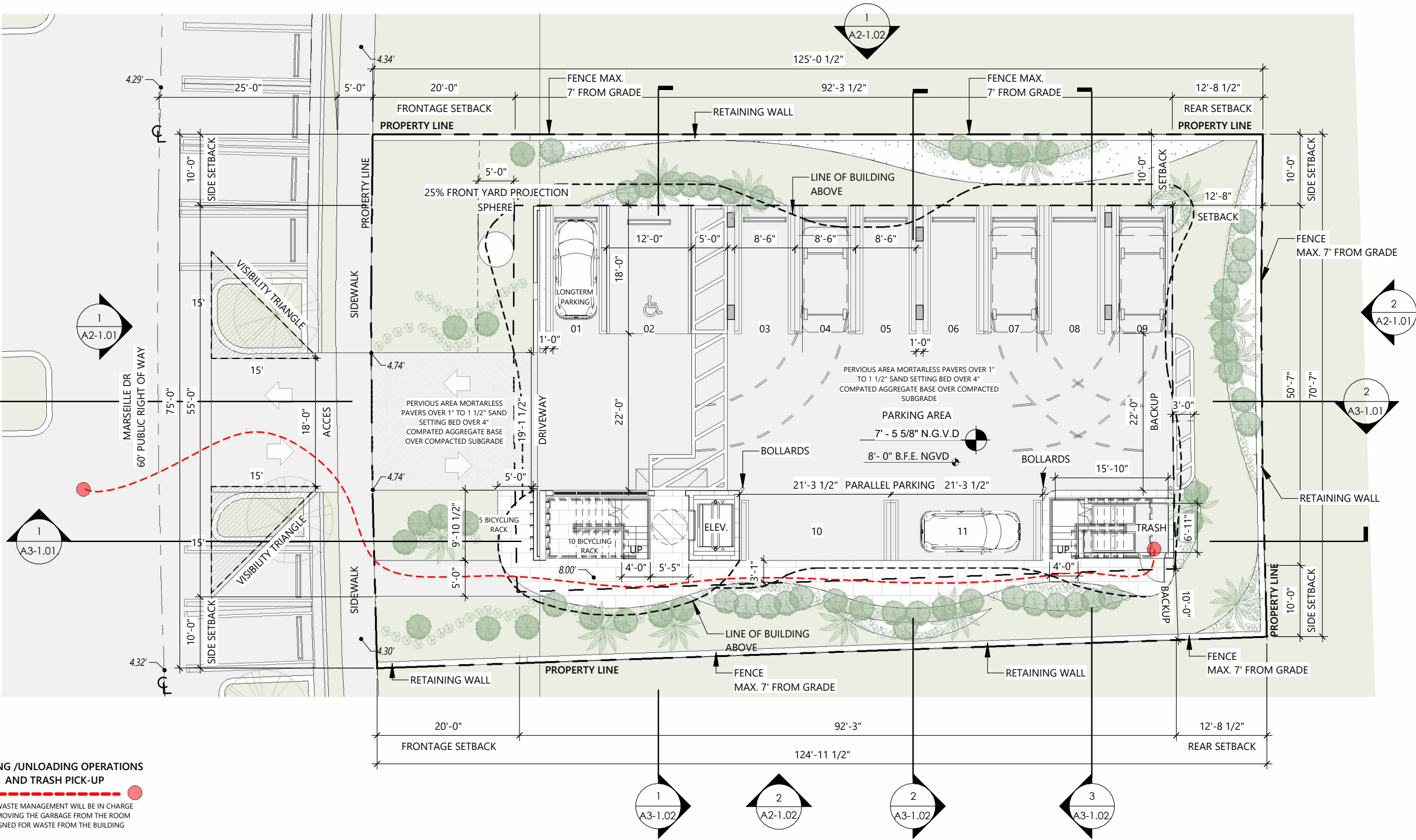
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SHEET NO:

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LOADING /UNLOADING OPERATIONS
AND TRASH PICK-UP
* CITY WASTE MANAGEMENT WILL BE IN CHARGE
OF REMOVING THE GARBAGE FROM THE ROOM
ASSIGNED FOR WASTE FROM THE BUILDING



1

GROUND LEVEL - FLOOR PLAN

1/16" = 1'-0"

WALL LEGEND

- 1

WALL TYPE 1
TYPICAL NON LOAD BEARING 8" CMU WALL W/ VERTICAL
REINFORCING. SEE STRUCTURE FOR DETAILS.
- 2

WALL TYPE 2
EXTERIOR NON LOAD BEARING 8" CMU WALL W/ VERTICAL
REINFORCING. SEE STRUCTURE FOR DETAILS.

- 3

WALL TYPE 3
REINFORCED CONCRETE WALL. SEE STRUCTURE FOR
DETAILS.
- 4

WALL TYPE 4
TYPICAL 4" INTERIOR PARTITION NON-RATED.

- 5

WALL TYPE 5
UNIT DEMISING PARTITION
1 HR FIRE RATED.

PROJECT AND OWNER:
SANDBOX

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DESIGNER:



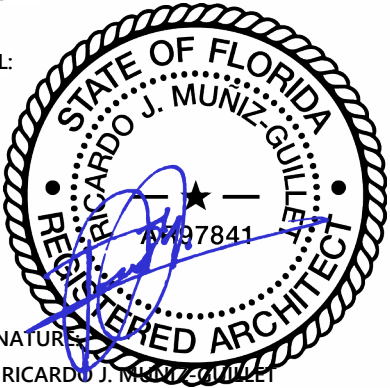
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SEAL:



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LIC# AR97841

SHEET TITLE:

LEVEL 02 - FLOOR PLAN

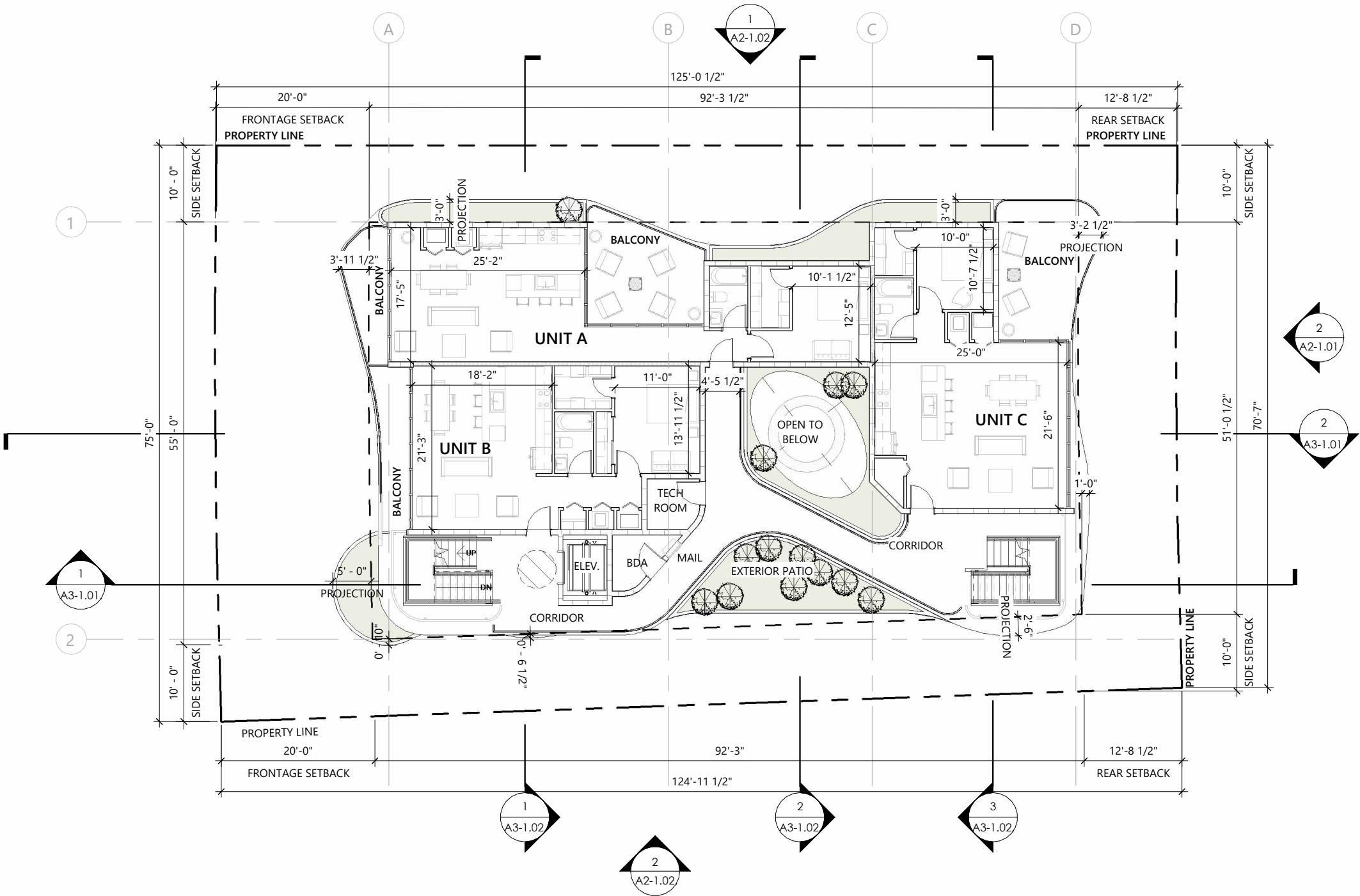
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SHEET NO:

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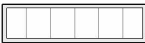
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LEVEL 02 - FLOOR PLAN

1/16" = 1'-0"

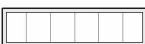
WALL LEGEND

1



WALL TYPE 1
TYPICAL NON LOAD BEARING 8" CMU WALL W/ VERTICAL
REINFORCING. SEE STRUCTURE FOR DETAILS.

2



WALL TYPE 2
EXTERIOR NON LOAD BEARING 8" CMU WALL W/ VERTICAL
REINFORCING. SEE STRUCTURE FOR DETAILS.

3



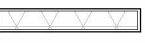
WALL TYPE 3
REINFORCED CONCRETE WALL. SEE STRUCTURE FOR
DETAILS.

4



WALL TYPE 4
TYPICAL 4" INTERIOR PARTITION NON-RATED.

5



WALL TYPE 5
UNIT DEMISING PARTITION
1 HR FIRE RATED.

PROJECT AND OWNER:
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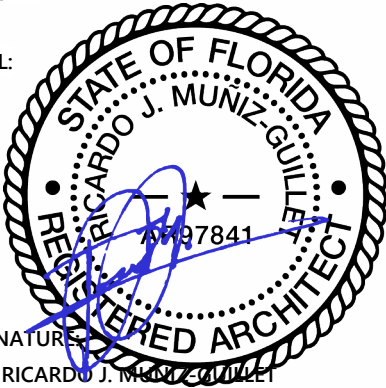
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DRB SUBMITTAL

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SEAL:



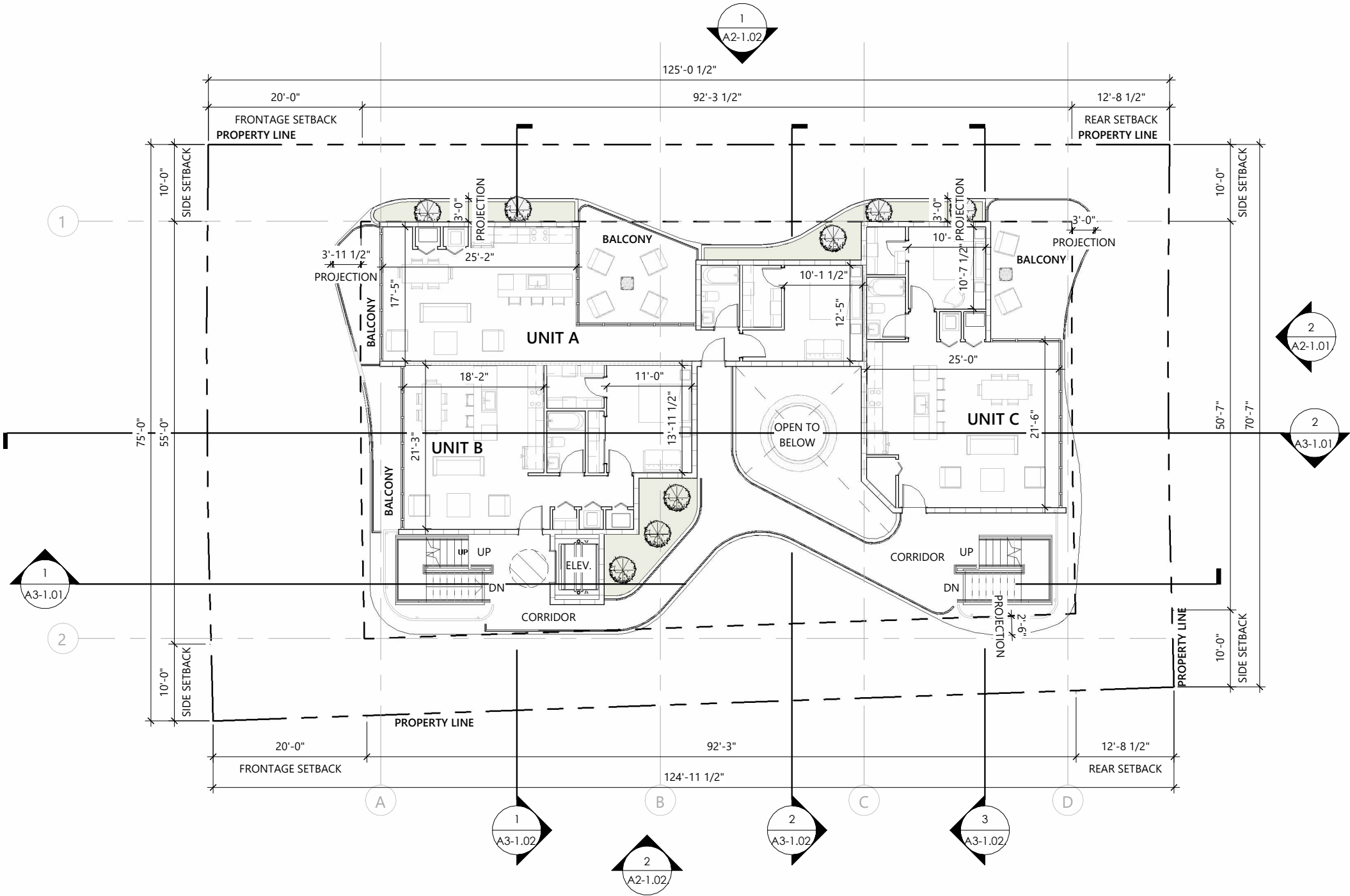
SIGNATURE:
RICARDO J. MUNIZ-GUILLET
LIC# AR97841

SHEET TITLE:
3RD-5TH LEVEL-FLOOR PLAN

SCALE:
N.T.S.

SHEET NO.:
A1-1.03.

9/6/2024 3:26:21 PM



1

LEVEL 03 - 05 - FLOOR PLAN
1/16" = 1'-0"

WALL LEGEND

- 1

WALL TYPE 1
TYPICAL NON LOAD BEARING 8" CMU WALL W/ VERTICAL
REINFORCING. SEE STRUCTURE FOR DETAILS.
- 2

WALL TYPE 2
EXTERIOR NON LOAD BEARING 8" CMU WALL W/ VERTICAL
REINFORCING. SEE STRUCTURE FOR DETAILS.

- 3

WALL TYPE 3
REINFORCED CONCRETE WALL. SEE STRUCTURE FOR
DETAILS.
- 4

WALL TYPE 4
TYPICAL 4" INTERIOR PARTITION NON-RATED.

- 5

WALL TYPE 5
UNIT DEMISING PARTITION
1 HR FIRE RATED.

PROJECT AND OWNER:
SANDBOX

1974 MARSEILLE DR,
MIAMI BEACH | FL | 33141
1974MIAMIBEACHLLC
3179 HOYLAK RD
LAKE WORTH | FL | 33467

ARCHITECT:
2030 HABERSHAM TRCE | CUMMING | GA 30041
954 812 6650
RICARDO@MUVEARCH.COM
AA#26003161



DESIGNER:



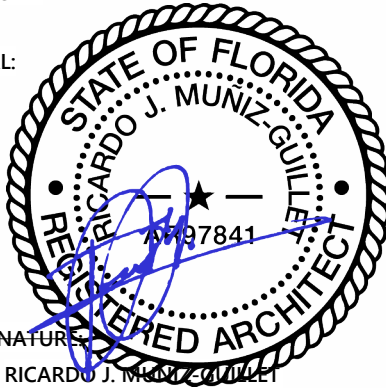
1555 NORTH PARK DRIVE #102 WESTON
FL 33326
954 850 9965
ADMIN@REDOCTOPUSLLC.COM

DRB SUBMITTAL

PERMIT APPLICATION DATE: 09-08-24
SHEET ISSUE DATE: 09-06-24
PROJECT NO.: 2321
DRAWN BY: AC APPROVED BY: YM

ALL DRAWINGS AND WRITTEN MATERIALS HEREIN
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MAY ONLY BE DUPLICATED WITH THEIR WRITTEN
CONSENT

SEAL:



SIGNATURE:
RICARDO J. MUNIZ-GUILLET
LIC# AR97841

SHEET TITLE:

TOP OF ROOF

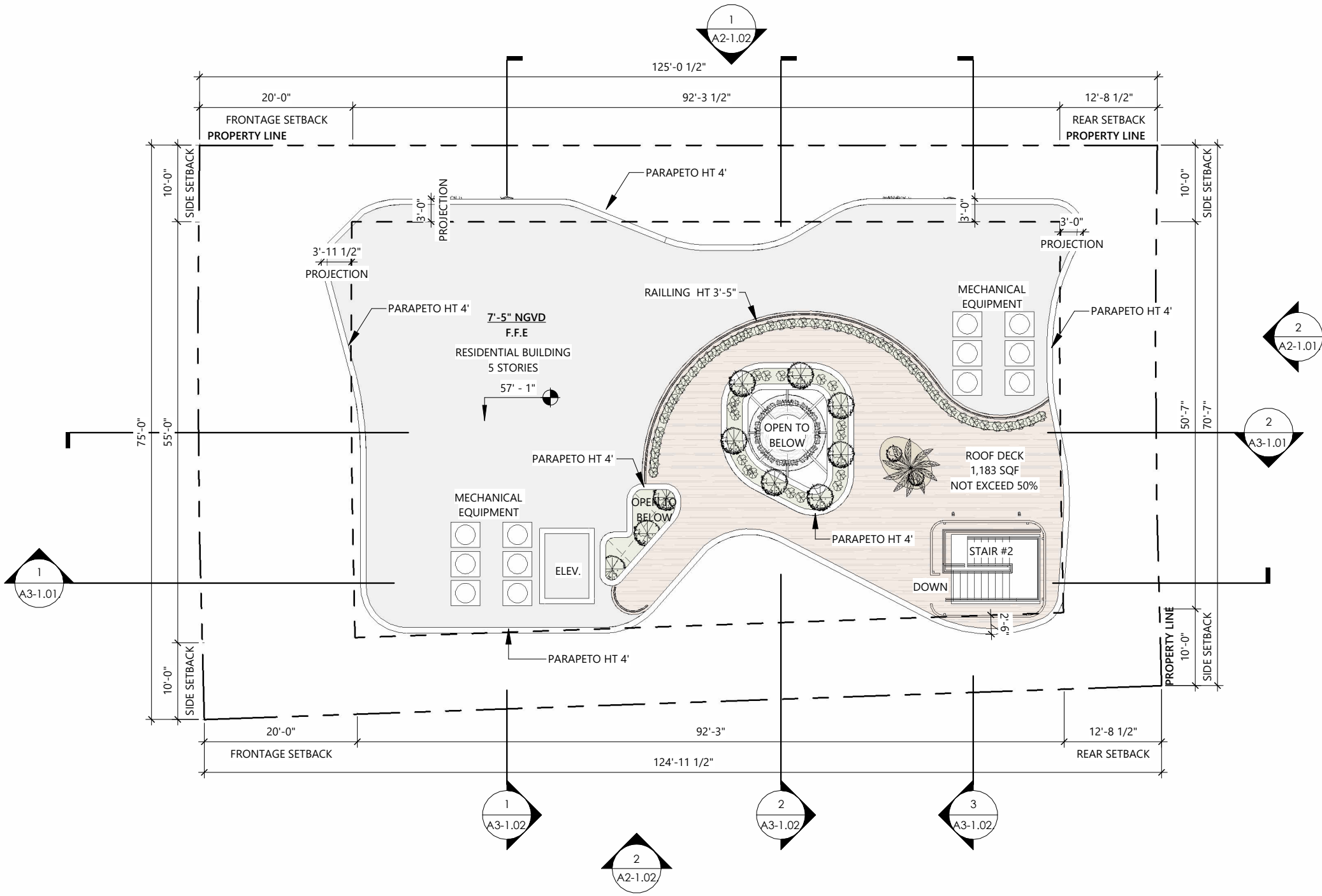
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SHEET NO:

A1-1.04.

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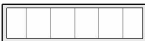


1

ROOF LEVEL
1/16" = 1'-0"

WALL LEGEND

1



WALL TYPE 1
TYPICAL NON LOAD BEARING 8" CMU WALL W/ VERTICAL
REINFORCING. SEE STRUCTURE FOR DETAILS.

2



WALL TYPE 2
EXTERIOR NON LOAD BEARING 8" CMU WALL W/ VERTICAL
REINFORCING. SEE STRUCTURE FOR DETAILS.

3



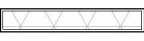
WALL TYPE 3
REINFORCED CONCRETE WALL. SEE STRUCTURE FOR
DETAILS.

4



WALL TYPE 4
TYPICAL 4" INTERIOR PARTITION NON-RATED.


5



WALL TYPE 5
UNIT DEMISING PARTITION
1 HR FIRE RATED.



MATERIAL LEGEND



1

EXPOSED CONCRETE




2

LAMINATED GLASS




3

ALUMINUM FRAMING



4

CAST IN PLACE CONCRETE LIGHT




5

ALUMINUM TUBING SQUARE METAL 3"X3"



6

ROPE SYSTEM



7

WHITE WOOD TEXTURE CLADDING

8

9

10

11

12

PROJECT AND OWNER:


SANDBOX

1974 MARSEILLE DR,
MIAMI BEACH | FL | 33141
1974MIAMIBEACHLLC

3179 HOYLAKES RD
LAKE WORTH | FL | 33467

ARCHITECT:

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954 812 6650
RICARDO@MUVEARCH.COM
AA#26003161



DESIGNER:



1555 NORTH PARK DRIVE #102 WESTON
FL 33326
954 850 9965
ADMIN@REDOCTOPUSLLC.COM

DRB SUBMITTAL

PERMIT APPLICATION DATE:09-08-24

SHEET ISSUE DATE:09-06-24

PROJECT NO.:2321

DRAWN BY:ACAPPROVED BY:YM

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CONSENT

SEAL:



SIGNATURE:
RICARDO J. MUNIZ-GUILLET
LIC# AR97841

SHEET TITLE:
EAST & WEST ELEVATION

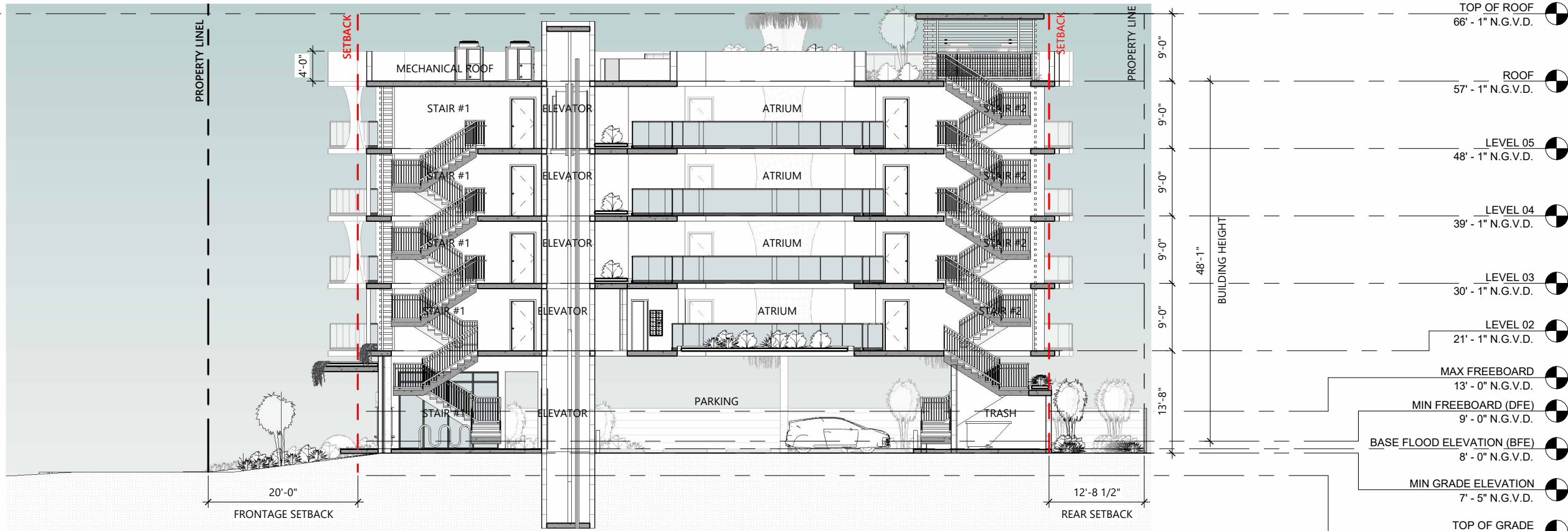
SCALE:

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SHEET NO:

A2-1.02.

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PROJECT AND OWNER:

SANDBOX

1974 MARSEILLE DR,
MIAMI BEACH | FL | 33141
1974MIAMIBEACHLLC
3179 HOYLAKE RD
LAKE WORTH | FL | 33467

ARCHITECT:

2030 HABERSHAM TRCE | CUMMING | GA 30041
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RICARDO@MUVEARCH.COM
AA#26003161



DESIGNER:



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FL 33326
954 850 9965
ADMIN@REDOCTOPUSLLC.COM

DRB SUBMITTAL

PERMIT APPLICATION DATE: 09-08-24

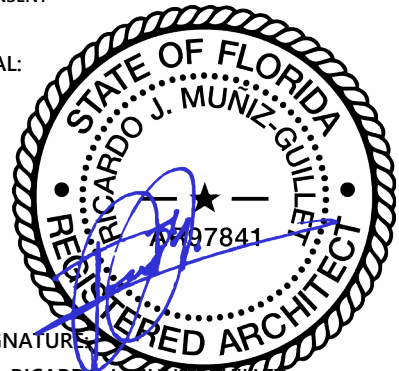
SHEET ISSUE DATE: 09-06-24

PROJECT NO.: 2321

DRAWN BY: AC APPROVED BY: YM

ALL DRAWINGS AND WRITTEN MATERIALS HEREIN
CONSTITUTE ORIGINAL WORK OF THE DESIGNER AND
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CONSENT

SEAL:



SIGNATURE:

RICARDO J. MUNIZ-GUILLET
LIC# AR97841

SHEET TITLE:

LONGITUDINAL SECTION

SCALE:

N.T.S.

SHEET NO:

A3-1.01.

9/6/2024 3:26:38 PM

1

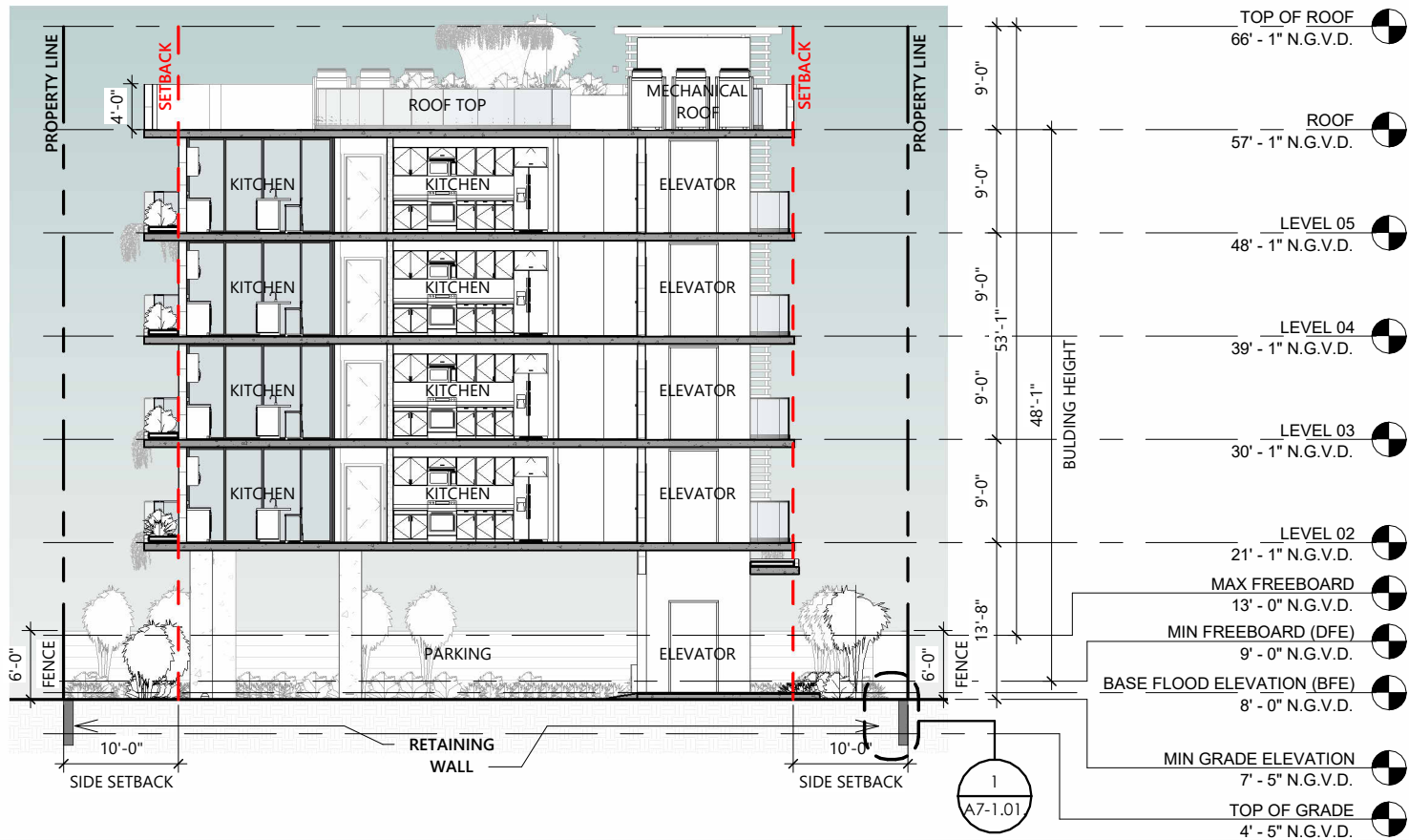
LONGITUDINAL SECTION 01

1/16" = 1'-0"

2

LONGITUDINAL SECTION 02

1/16" = 1'-0"

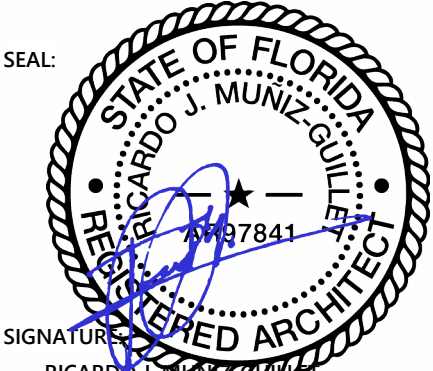


PROJECT AND OWNER:
SANDBOX
1974 MARSEILLE DR,
MIAMI BEACH | FL | 33141
1974MIAMIBEACHLLC
3179 HOYLAK RD
LAKE WORTH | FL | 33467
ARCHITECT:
2030 HABERSHAM TRCE | CUMMING | GA 30041
954 812 6650
RICARDO@MUVEARCH.COM
AA#26003161
M U V E
ARCHITECTURE
DESIGNER:
RED OCTOPUS.LLC
INTEGRAL ARCHITECTURAL SERVICES
1555 NORTH PARK DRIVE #102 WESTON
FL 33326
954 850 9965
ADMIN@REDOCTOPUSLLC.COM

DRB SUBMITTAL

PERMIT APPLICATION DATE: 09-08-24
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LIC# AR97841

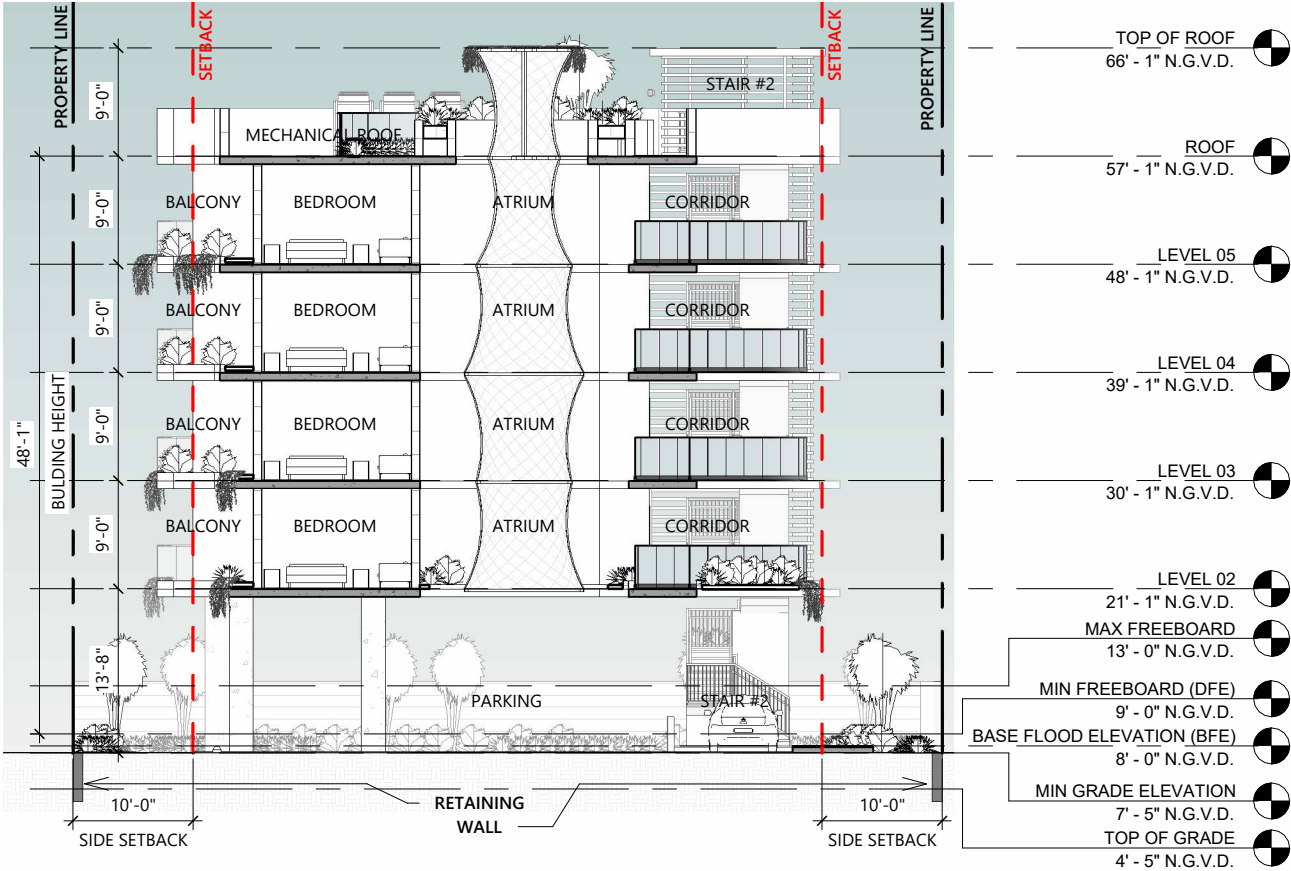
SHEET TITLE:
CROSS SECTION

SCALE:
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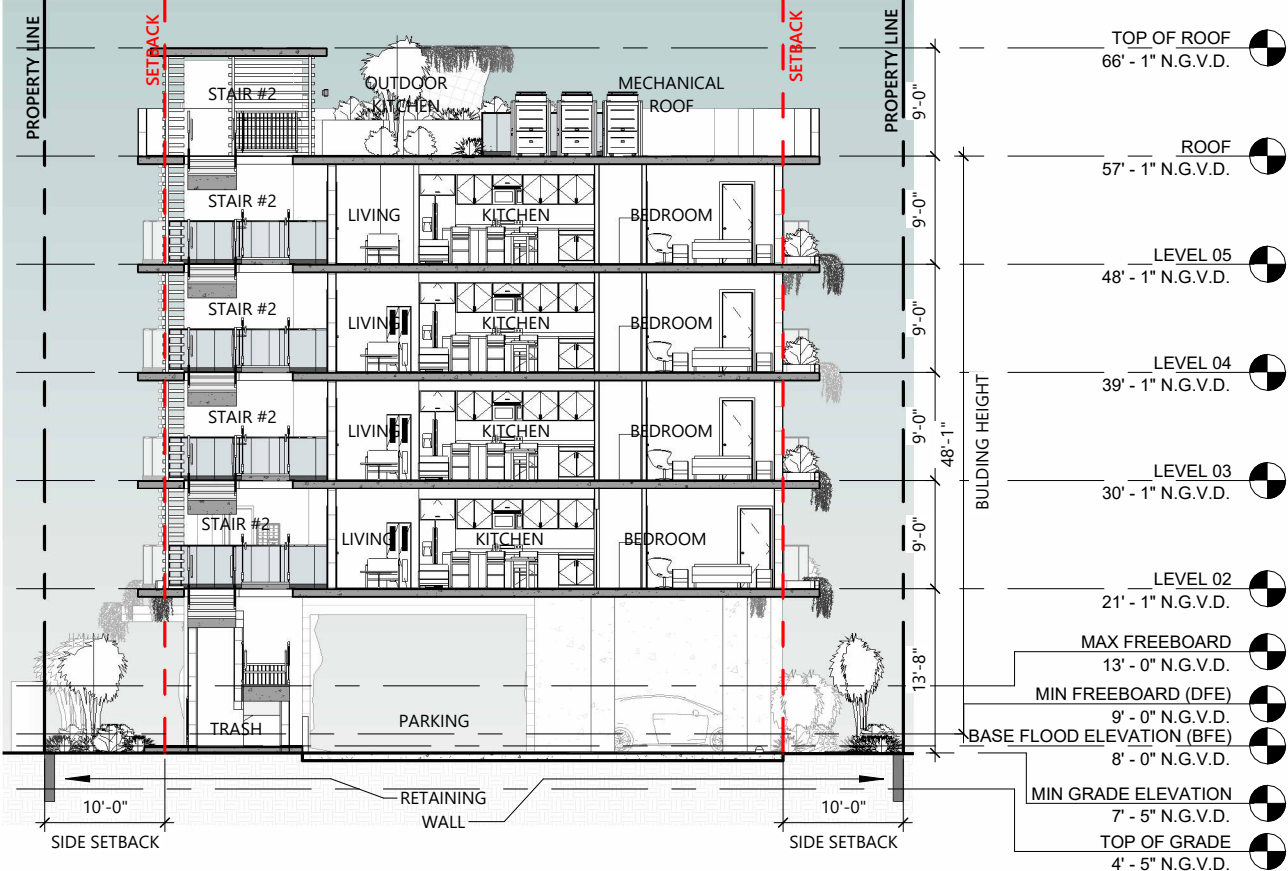
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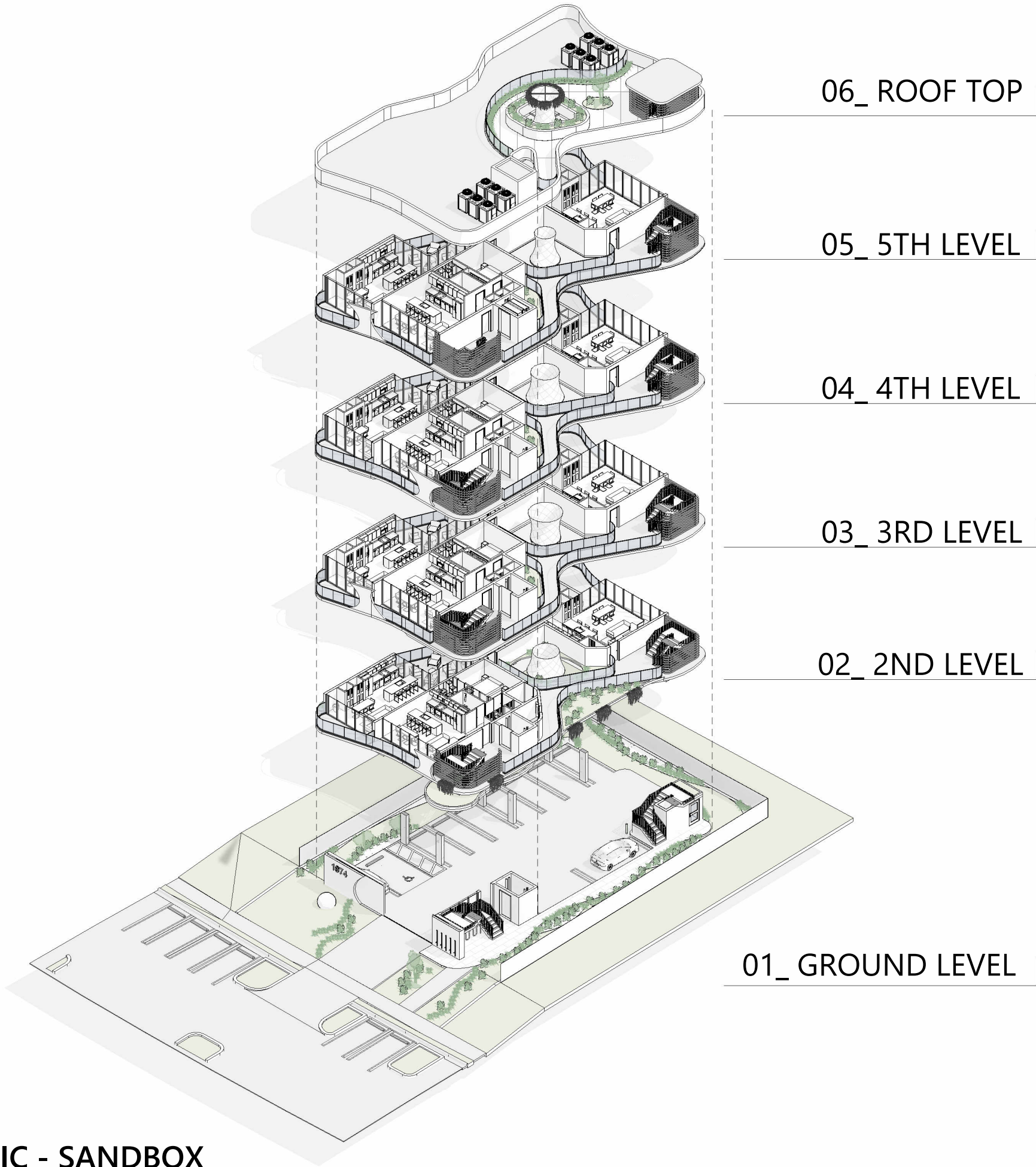
1 CROSS SECTION 01
1/16" = 1'-0"



2 CROSS SECTION 02
1/16" = 1'-0"



3 CROOS SECTION 03
1/16" = 1'-0"



PROJECT AND OWNER:
SANDBOX

1974 MARSEILLE DR,
MIAMI BEACH | FL | 33141
1974MIAMIBEACHLLC
3179 HOYLAKE RD
LAKE WORTH | FL | 33467

ARCHITECT:

2030 HABERSHAM TRCE | CUMMING | GA 30041
954 812 6650
RICARDO@MUVEARCH.COM
AA#26003161



DESIGNER:



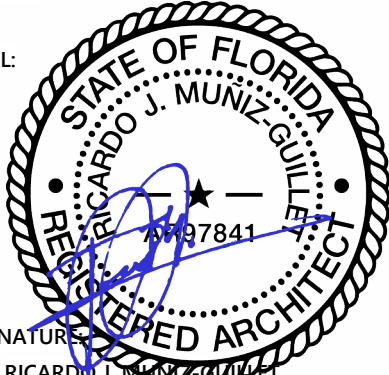
1555 NORTH PARK DRIVE #102 WESTON
FL 33326
954 850 9965
ADMIN@REDOCTOPUSLLC.COM

DRB SUBMITTAL

PERMIT APPLICATION DATE: 09-08-24
SHEET ISSUE DATE: 09-06-24
PROJECT NO.: 2321
DRAWN BY: AC APPROVED BY: YM

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SEAL:



SIGNATURE:

RICARDO J. MUNIZ-GUILLET
LIC# AR97841

SHEET TITLE:

EXPLOTED AXONOMETRIC

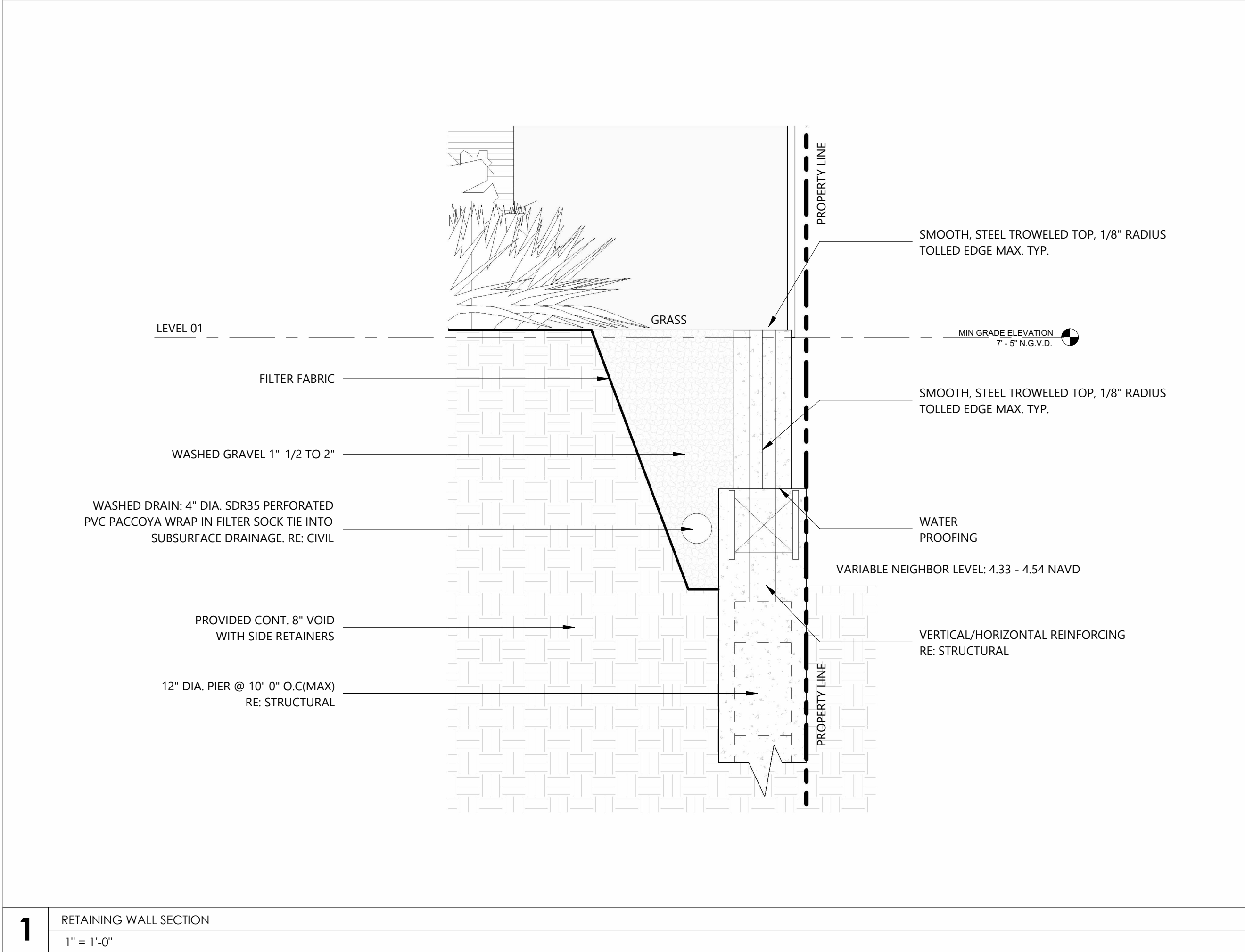
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SHEET NO:

A3-1.03.

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PROJECT AND OWNER:
SANDBOX

1974 MARSEILLE DR,
MIAMI BEACH | FL | 33141
1974MIAMIBEACHLLC

3179 HOYLAK RD
LAKE WORTH | FL | 33467

ARCHITECT:

2030 HABERSHAM TRCE | CUMMING | GA 30041
954 812 6650
RICARDO@MUVEARCH.COM
AA#26003161



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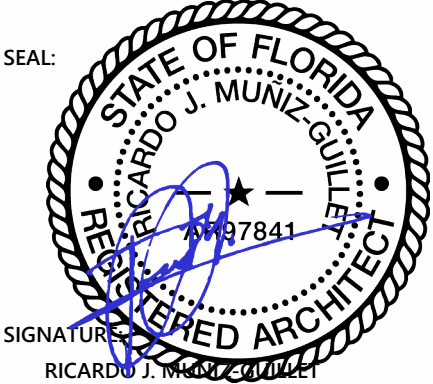
RED OCTOPUS.LLC
INTEGRAL ARCHITECTURAL SERVICES

1555 NORTH PARK DRIVE #102 WESTON
FL 33326
954 850 9965
ADMIN@REDOCTOPUSLLC.COM

DRB SUBMITTAL

PERMIT APPLICATION DATE: 09-08-24
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PROJECT NO.: 2321
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CONSENT



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RICARDO J. MUNIZ-GUILLET
LIC# AR97841

SHEET TITLE:
RETAINING WALL DETAIL

SCALE:
N.T.S.

SHEET NO:
A7-1.01.

9/6/2024 3:26:55 PM



01_ STREET VIEW - SANDBOX


PROJECT AND OWNER:
SANDBOX

1974 MARSEILLE DR,
MIAMI BEACH | FL | 33141
1974MIAMIBEACHLLC


3179 HOYLAKE RD
LAKE WORTH | FL | 33467

ARCHITECT:

2030 HABERSHAM TRCE | CUMMING | GA 30041
954 812 6650
RICARDO@MUVEARCH.COM
AA#26003161



DESIGNER:

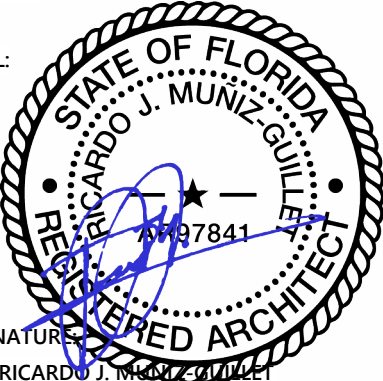


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FL 33326
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ADMIN@REDOCTOPUSLLC.COM

DRB SUBMITTAL

PERMIT APPLICATION DATE:09-08-24
SHEET ISSUE DATE:09-06-24
PROJECT NO.:2321
DRAWN BY:ACAPPROVED BY:YM

ALL DRAWINGS AND WRITTEN MATERIALS HEREIN
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MAY ONLY BE DUPLICATED WITH THEIR WRITTEN
CONSENT

SEAL:


SIGNATURE:
RICARDO J. MUNIZ-GUILLET
LIC# AR97841

SHEET TITLE:
STREET VIEW

SCALE:
N.T.S.

SHEET NO:
A4-1.01.

9/6/2024 3:26:56 PM



02_ STREET VIEW - SANDBOX

PROJECT AND OWNER:
SANDBOX

1974 MARSEILLE DR,
MIAMI BEACH | FL | 33141
1974MIAMIBEACHLLC

3179 HOYLAKE RD
LAKE WORTH | FL | 33467

ARCHITECT:

2030 HABERSHAM TRCE | CUMMING | GA 30041
954 812 6650
RICARDO@MUVEARCH.COM
AA#26003161



DESIGNER:



1555 NORTH PARK DRIVE #102 WESTON
FL 33326
954 850 9965
ADMIN@REDOCTOPUSLLC.COM

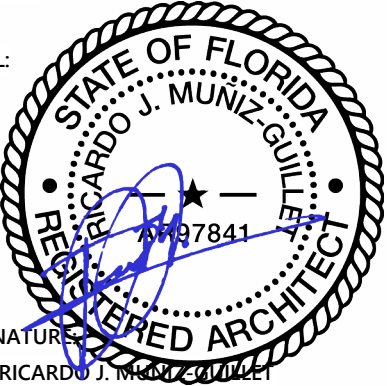
DRB SUBMITTAL

PERMIT APPLICATION DATE: 09-08-24
SHEET ISSUE DATE: 09-06-24

PROJECT NO.: 2321
DRAWN BY: AC APPROVED BY: YM

ALL DRAWINGS AND WRITTEN MATERIALS HEREIN
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CONSENT

SEAL:



SIGNATURE:
RICARDO J. MUNIZ-GUILLET
LIC# AR97841

SHEET TITLE:
STREET VIEW

SCALE:
N.T.S.

SHEET NO:
A4-1.02.



03_ STREET VIEW - SANDBOX

PROJECT AND OWNER:
SANDBOX

1974 MARSEILLE DR,
MIAMI BEACH | FL | 33141
1974MIAMIBEACHLLC
3179 HOYLAKE RD
LAKE WORTH | FL | 33467

ARCHITECT:

2030 HABERSHAM TRCE | CUMMING | GA 30041
954 812 6650
RICARDO@MUVEARCH.COM
AA#26003161



DESIGNER:



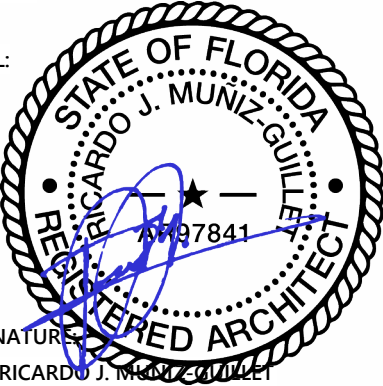
1555 NORTH PARK DRIVE #102 WESTON
FL 33326
954 850 9965
ADMIN@REDOCTOPUSLLC.COM

DRB SUBMITTAL

PERMIT APPLICATION DATE: 09-08-24
SHEET ISSUE DATE: 09-06-24
PROJECT NO.: 2321
DRAWN BY: AC APPROVED BY: YM

ALL DRAWINGS AND WRITTEN MATERIALS HEREIN
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CONSENT

SEAL:



SIGNATURE:
RICARDO J. MUNIZ-GUILLET
LIC# AR97841

SHEET TITLE:
STREET VIEW

SCALE:
N.T.S.

SHEET NO:
A4-1.03.



04_ AXONOMETRIC - SANDBOX

PROJECT AND OWNER:
SANDBOX

1974 MARSEILLE DR,
MIAMI BEACH | FL | 33141
1974MIAMIBEACHLLC

3179 HOYLAKE RD
LAKE WORTH | FL | 33467

ARCHITECT:

2030 HABERSHAM TRCE | CUMMING | GA 30041
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DESIGNER:


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DRB SUBMITTAL
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APPROVED BY: YM

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SEAL:


SIGNATURE:
RICARDO J. MUNIZ-GUILLET
LIC# AR97841

SHEET TITLE:
AXONOMETRIC VIEW
SCALE:
N.T.S.
SHEET NO:
A4-1.04.
9/6/2024 3:27:00 PM