

# SANDBOX

1974 MARSEILLE DR,  
MIAMI BEACH | FL | 33141



## FINAL SUBMITTAL DRB24-1047

SCOPE OF WORK:  
NEW RESIDENTIAL BUILDING MULTI-FAMILY

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**PROJECT AND OWNER:**  
**SANDBOX**

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LAKE WORTH | FL | 33467

**ARCHITECT:**

2030 HABERSHAM TRCE | CUMMING | GA 30041  
954 812 6650  
RICARDO@MUVEARCH.COM  
AA#26003161



**DESIGNER:**



1555 NORTH PARK DRIVE #102 WESTON  
FL 33326  
954 850 9965  
ADMIN@REDOCTOPUSLLC.COM

## DRB SUBMITTAL

PERMIT APPLICATION DATE: 09-08-24  
SHEET ISSUE DATE: 09-06-24  
PROJECT NO.: 2321  
DRAWN BY: AC APPROVED BY: YM


ALL DRAWINGS AND WRITTEN MATERIALS HEREIN  
CONSTITUTE ORIGINAL WORK OF THE DESIGNER AND  
MAY ONLY BE DUPLICATED WITH THEIR WRITTEN  
CONSENT

SEAL:

SIGNATURE:

RICARDO J. MUNIZ-GUILLET  
LIC# AR97841

SHEET TITLE:

**COVER SHEET**

SCALE:

**N.T.S.**

SHEET NO:

**G-0.**

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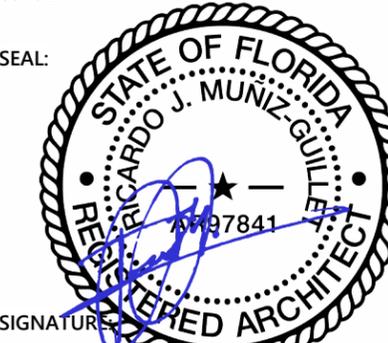
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**NOTES, SYMBOLS & ABBREVIATIONS**

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SHEET NO:

# G-1.

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### ABBREVIATIONS

AB	ANCHOR BOLT	FA	FIRE ALARM	M	MIRROR	SHD	SHOWER
AV	AIR CONDITIONING	FC	FLOOR COVERING	MAC	MACHINE	SHT	SHEET
AVC	ACCESS	FD	FLOOR DRAIN	MAT	MATERIALS	SM	SMELAR
ACC	ACCESS FLOOR	FL	FIRE EXTINGUISHER	MAX	MAXIMUM	SLV	SLEEVE
AD	AREA DRAIN	FE	FIRE EXTINGUISHER CABINET	M.B.A.	MOP AND BROOM HOLDER	S.M.S.	STRUCTURAL METAL STUD
ADD	ADDENDUM	FE	FIRE EXTINGUISHER LOCKER	M.B.	MEMBER	SIA	SPRINKLER HEAD
ACTL	ACCESS FLOOR	FEM	FEMAL	MED	MEDIUM	SYM	SYMMETRICAL
ACU	ACQUISICAL TILE	FIR	FIRE FLOOR LINE	MFC	MECHANICAL	SPKR	SPEAKER
ADH	ADDRESS	FH	FIRE HYDRANT	MFR	MANUFACTURED	SNR	SANITARY NAPRIN
ADJ	ADJACENT	FHC	FIRE HOSE CABINET	MIN	MINIMUM	SRF	RECELFACE
ADJ	ADJUSTABLE	FHR	FRESH AIR	MISC	MISCELLANEOUS	SNT	SPACE
AF	ABOVE FINISH FLOOR	FHS	FRESH AIR	MIS	MISCELLANEOUS	SPC	SPECIFICATIONS
AG	AGGREGATE	FLM	FLAMMABLE	MO	MASONRY OPENING	SQ	SQUARE
ALT	ALTERNATE	FLSH	FLASHING	M.H.	MANNHOLE	SK	SERVICE SINK
ALUM	ALUMINUM	FLR	FLOORING	MOD	MODULAR, MODULE	SS	STAINLESS STEEL
ANC	ANCHOR, ANCHORAGE	FLX	FLEXIBLE	MOV	MOVABLE	STA	STATION
AND	AND/DED	FLC	FLOOR CLEANOUT	M.B.	MARBLE	STD	STANDARD
AP	ACCESS PANEL	FND	FLOORING	M.RD	METAL ROOF DECKING	STG	STORAGE, SEATING
APP	APPROXIMATELY	F.M.	FRAMED MIRROR	MTC	MOUNTED	STL	STEEL
ARCH	ARCHITECTURAL	FND	FOUNDATION	MTR	METAL THRESHOLD	STR	STRUCTURAL
ASC	ABOVE SUSPENDED CEILING	FCC	FACE OF CONC.	MTR	METAL FURNISH	SUR	SURFACE
ASPH	ASPHALT	F.O.M.	FACE OF MASONRY	MTL	METAL	SUSP	SUSPENDED
AUTO	AUTOMATIC	F.S.S.	FACE OF STUDS	MUL	MULLION	SWR	SWITCH ROOM
AVG	AVERAGE	FR	FRAME (ING)	MWK	MILLWORK	SYS	SYSTEM
<	ANGLE	FR	FRESH AIR	MAS	MASONRY	SW	SWITCH
ACOUS.	ACOUSTICAL	FRG	FRONT	MIR	MIRROR	SV	SQUARE FOOT (FEET)
B	BASE	FS	FOOT, FEET	FT	FOOT, FEET	SF	SQUARE YARD
BRG	BEARING	FTG	FOOTING	N	NORTH	T	THREAD
WPL	BEARING PLATE	FLR	FLOORING	N.A.V.D	NORTH AMERICAN	T.B.	TOWEL BAR
WJ	WELD JOINT	FUT	FUTURE	N.G.V.D	NATIONAL GEODETIC	TEL	TELEPHONE
BEL	BELOW	NIC	NICOTINE	N.G.V.D	NATIONAL GEODETIC	TEMP	TEMPERATURE
BET	BETWEEN	NIC	NICOTINE	NOT IN CONTACT	NOT IN CONTACT	THR	THRESHOLD
BEL	BETWEEN	NIC	NICOTINE	NOT IN CONTACT	NOT IN CONTACT	THR	THRESHOLD
BIT	BITUMINOUS	GA	GAGE, GAUGE	NL	NAIL	TOL	TOLERANCE
BD	BOARD	GA	GAGE, GAUGE	NL	NAIL	TOL	TOLERANCE
BS	BOTH SIDES	GB	GRAB BAR	N.R.	NO LONGER REQUIRED	T.O.P.	TOP OF BEAM
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BLK	BLOCK	GC	GENERAL CONTRACTOR	NOM	NOMINAL	T.O.P.	TOP OF PARAPET
BNG	BLOCKING	GC	GENERAL CONTRACTOR	NOM	NOMINAL	T.O.P.	TOP OF PARAPET
BN	BEAM	GC	GENERAL CONTRACTOR	NOM	NOMINAL	T.O.P.	TOP OF PARAPET
B.M.	BENCH MARK	GC	GENERAL CONTRACTOR	NOM	NOMINAL	T.O.P.	TOP OF PARAPET
B.O.F.	BOTTOM OF FOOTING	GC	GENERAL CONTRACTOR	NOM	NOMINAL	T.O.P.	TOP OF PARAPET
BT	BOTTOM	GC	GENERAL CONTRACTOR	NOM	NOMINAL	T.O.P.	TOP OF PARAPET
BRK	BRICK	GC	GENERAL CONTRACTOR	NOM	NOMINAL	T.O.P.	TOP OF PARAPET
BRZ	BRONZE	GC	GENERAL CONTRACTOR	NOM	NOMINAL	T.O.P.	TOP OF PARAPET
BLDG	BUILDING	GC	GENERAL CONTRACTOR	NOM	NOMINAL	T.O.P.	TOP OF PARAPET
BR	BUILT UP ROOFING	GC	GENERAL CONTRACTOR	NOM	NOMINAL	T.O.P.	TOP OF PARAPET
BRD	BULLETIN BOARD	GC	GENERAL CONTRACTOR	NOM	NOMINAL	T.O.P.	TOP OF PARAPET
B.O.	BY OTHER	GC	GENERAL CONTRACTOR	NOM	NOMINAL	T.O.P.	TOP OF PARAPET
BRKT	BRACKET	GC	GENERAL CONTRACTOR	NOM	NOMINAL	T.O.P.	TOP OF PARAPET
CL	CENTER LINE	GC	GENERAL CONTRACTOR	NOM	NOMINAL	T.O.P.	TOP OF PARAPET
CB	CABINET	GC	GENERAL CONTRACTOR	NOM	NOMINAL	T.O.P.	TOP OF PARAPET
CB	CATCH BASIN	GC	GENERAL CONTRACTOR	NOM	NOMINAL	T.O.P.	TOP OF PARAPET
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CDM	CEMENT						

**GENERAL SITE INFORMATION:**

PROPERTY ADDRESS	1974 MARSEILLE DR.   MIAMI BEACH   FL 33141
FOLIO #	02-3210-011-0170
LEGAL DESCRIPTION	LOT 3 AND THE WEST 25 FEET OF LOT 4, IN BLOCK 35, OF NORMANDY ISLE-MIAMI VIEW SECTION PART 3, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 40, AT PAGE 33, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.
LOT NET AREA:	+/- 8,822.00 SF.
YEAR BUILT:	1940

**SCOPE OF WORK**

NEW CONSTRUCTION OF A MULTIFAMILY RESIDENTIAL BUILDING WITH 12 DWELING UNITS

**GOVERNING CODES**

- FLORIDA FIRE PREVENTION CODE 2023
- FLORIDA BUILDING CODE 2023 - 8th EDITION
- 2023 NATIONAL ELECTRIC CODE
- 2023 FBC MECHANICAL
- 2023 FBC PLUMBING
- 2023 FBC ACCESSIBILITY

**ZONING GUIDELINES:**

**ZONING: RM-1 - MULTIFAMILY, LOW INTENSITY**

FLOOD ZONE:	AE	ELEVATION: 8'
F.A.R.:	1.25%	ELEVATION: 8'
LOT COVERAGE:	1.25%	ELEVATION: 8'

**UNIT BREAKDOWN**

	UNIT #	UNITS	UNIT AREA	TOTAL UNITS	MIN UNIT SIZE	AVERAGE UNIT SIZE
	4	UNIT A	866 SF	4,986 SF		
	4	UNIT B	800 SF	3,201 SF		
	4	UNIT C	834 SF	3,335 SF		
<b>TOTAL</b>	<b>12 UNITS</b>			<b>14,987 SF</b>	<b>800 SF</b>	<b>1,248.9 SF</b>

**PARKING NOTES:**

- (a) PARKING SHALL BE AT GROUND LEVEL ONLY, MECHANICAL LIFTS ARE PERMITTED FULLY SCREENED FROM ADJACENT PROPERTIES AND R.O.W.
- (b) EXT PARKING AND DRIVEWAY SHALL BE OF SEMI-PERVIOUS OR PERVIOUS MATERIALS
- (c) WHEEL STOPS SHALL BE LOW PROFILE AND 5 FT MAX.
- (d) ALL PARKING AREAS SHALL MEET THE MINIMUM FRONT AND REAR YARD SETBACK REQUIREMENTS FOR BUILDINGS
- (e) ONE-WAY DRIVEWAY CURB CUT, 10 FT MAX WIDTH / IF APPROVED BY DRB TWO SEPARATE ONE-WAY CURB CUTS MAY BE PERMITTED.
- (f) N/A

**DESIGN AND RESILIENCY STANDARDS**

- (a) N/A
- (b) N/A
- (c) DWELLING UNITS TO INCORPORATE NATURAL LIGHT FROM AT LEAST TWO ELEVATIONS FROM THE BUILDING VOLUME
- (d) INCORPORATE NATURALLY LANDSCAPE AREAS AT GROUND LEVEL, IN ADDITION TO THE MINIMUM SETBACK, 5% OF LOT AREA
- (e) A NON-EMERGENCY STAIR FROM LOBBY OR EXTERIOR AND ACCESSING THE 1ST THREE RESIDENTIAL FLOORS, DESIGN OPENED IS REQUIRED
- (f) RETAINING WALLS WITH HIGH QUALITY APPEARANCE
- (g) LANDSCAPING WITHIN VIEW CORRIDORS SHALL BE MAINTAINED AT 3 FT MAX FROM SIDEWALK ELEVATION
- (h) IF EXISTING ELEVATION IS MODIFIED, RETAIN ALL STORMWATER ON SITE

**NOTE:**

NEW CONSTRUCTION HERE WILL REQUIRE REVIEW AND APPROVAL OF THE DESIGN REVIEW BOARD. ONCE A DESIGN SET OF DRAWINGS IS READY TO SUBMIT AS PER A CHECK LIST TO BE PROVIDED AND AN APPLICATION IS COMPLETED ONLINE, THE PROCESS TAKES 3-4 MONTHS. IT MAY ALSO REQUIRE SOME LEVEL OF TRAFFIC STUDY. THE FIRST STEP IN THE PROCESS IS TO FILE THE APPLICATION ONLINE ONCE THERE IS SOME DRAWINGS TO REVIEW. AFTER THIS THE AHJ WILL SCHEDULE A PRE-APPLICATION MEETING TO REVIEW THE PROJECT AND PROVIDE COMMENTS BEFORE A FORMAL SUBMITTAL.



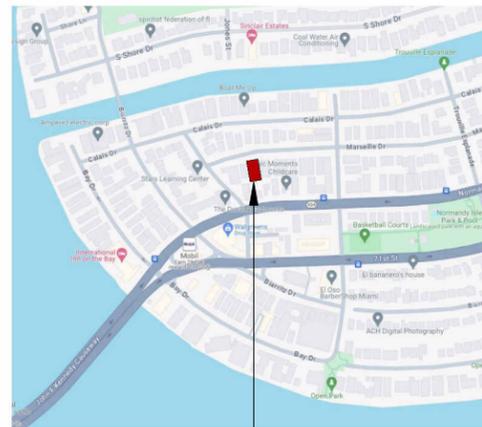
**SUBJECT LOCATION**  
1974 MARSEILLE DR. | MIAMI BEACH | FL 33141



**1**

AERIAL VIEW

1/2" = 1'-0"



**SUBJECT LOCATION**  
1974 MARSEILLE DR. | MIAMI BEACH | FL 33141



**2**

LOCATION MAP

1/2" = 1'-0"

PROJECT AND OWNER:

**SANDBOX**

1974 MARSEILLE DR,  
MIAMI BEACH | FL | 33141  
1974MIAMIBEACHLLC  
3179 HOYLAK RD  
LAKE WORTH | FL | 33467

ARCHITECT:

2030 HABERSHAM TRCE | CUMMING | GA 30041  
954 812 6650  
RICARDO@MUVEARCH.COM  
AA#26003161



DESIGNER:



1555 NORTH PARK DRIVE #102 WESTON  
FL 33326  
954 850 9965  
ADMIN@REDOCTOPUSLLC.COM

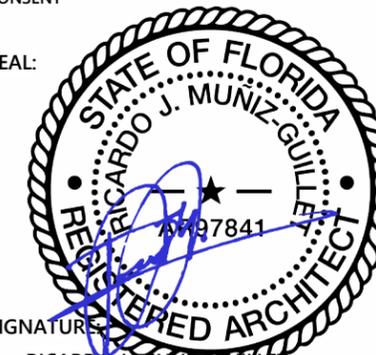
**DRB SUBMITTAL**

PERMIT APPLICATION DATE: 09-08-24  
SHEET ISSUE DATE: 09-06-24

PROJECT NO.: 2321  
DRAWN BY: AC APPROVED BY: YM


ALL DRAWINGS AND WRITTEN MATERIALS HEREIN CONSTITUTE ORIGINAL WORK OF THE DESIGNER AND MAY ONLY BE DUPLICATED WITH THEIR WRITTEN CONSENT

SEAL:



SIGNATURE:  
RICARDO J. MUNIZ-GUILLET  
LIC# AR97841

SHEET TITLE:  
**ZONING REQ. & LOCATION**

SCALE:

**N.T.S.**

SHEET NO:

**G-2.01**

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PROJECT AND OWNER:  
**SANDBOX**

1974 MARSEILLE DR,  
MIAMI BEACH | FL | 33141  
1974MIAMIBEACHLLC  
3179 HOYLAKE RD  
LAKE WORTH | FL | 33467

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DESIGNER:



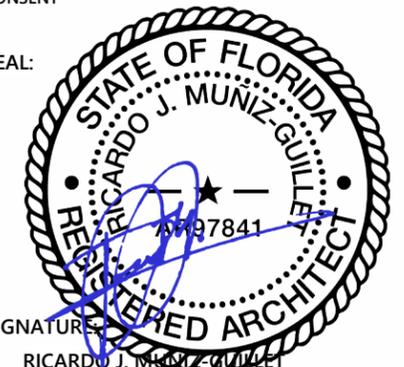
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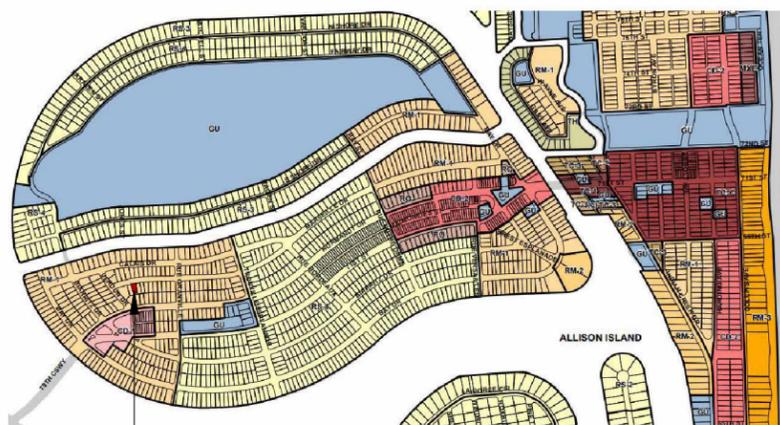
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**N.T.S.**

SHEET NO:

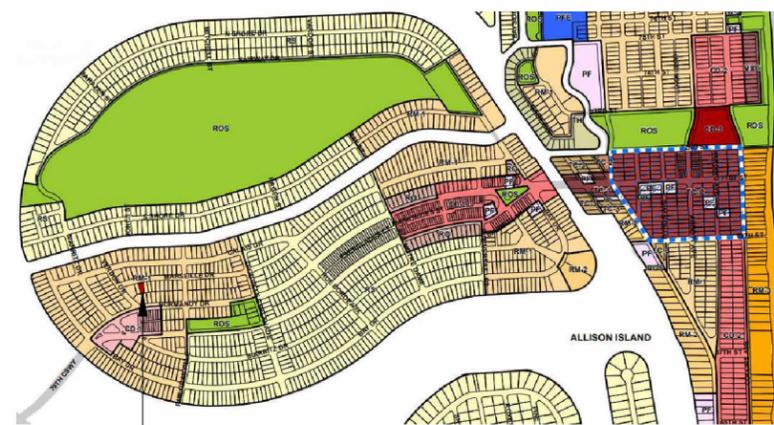
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**SUBJECT LOCATION**  
1974 MARSEILLE DR.  
| MIAMI BEACH | FL 33141

- |  |   |
|--|---|
| <b>LOCAL HISTORIC DISTRICTS</b>  | <b>NATIONAL REGISTER HISTORIC DISTRICTS</b>   |
| <ul style="list-style-type: none"> <li><span style="display: inline-block; width: 15px; height: 10px; background-color: yellow; border: 1px solid black;"></span> Espanola Way Historic District</li> <li><span style="display: inline-block; width: 15px; height: 10px; background-color: #f08080; border: 1px solid black;"></span> Altos del Mar Historic District</li> <li><span style="display: inline-block; width: 15px; height: 10px; background-color: #f08080; border: 1px solid black;"></span> Flamingo Park Historic District</li> <li><span style="display: inline-block; width: 15px; height: 10px; background-color: #add8e6; border: 1px solid black;"></span> Ocean Drive/Collins Avenue Historic District</li> <li><span style="display: inline-block; width: 15px; height: 10px; background-color: #add8e6; border: 1px solid black;"></span> Museum Historic District</li> <li><span style="display: inline-block; width: 15px; height: 10px; background-color: #add8e6; border: 1px solid black;"></span> Ocean Beach Historic District</li> <li><span style="display: inline-block; width: 15px; height: 10px; background-color: #add8e6; border: 1px solid black;"></span> Harding Townsite Historic District</li> </ul> | <ul style="list-style-type: none"> <li><span style="display: inline-block; width: 15px; height: 10px; background-color: #90ee90; border: 1px solid black;"></span> Palm View Historic District</li> <li><span style="display: inline-block; width: 15px; height: 10px; background-color: #90ee90; border: 1px solid black;"></span> Collins Waterfront Historic District</li> <li><span style="display: inline-block; width: 15px; height: 10px; background-color: #90ee90; border: 1px solid black;"></span> North Beach Resort Historic District</li> <li><span style="display: inline-block; width: 15px; height: 10px; background-color: #90ee90; border: 1px solid black;"></span> Flamingo Waterway Historic District</li> <li><span style="display: inline-block; width: 15px; height: 10px; background-color: #90ee90; border: 1px solid black;"></span> Morris Lapidus/Mid 20th Century Historic District</li> <li><span style="display: inline-block; width: 15px; height: 10px; background-color: #90ee90; border: 1px solid black;"></span> North Shore Historic District</li> <li><span style="display: inline-block; width: 15px; height: 10px; background-color: #90ee90; border: 1px solid black;"></span> Collins Waterfront Architectural District</li> </ul> |



**SUBJECT LOCATION**  
1974 MARSEILLE DR.  
| MIAMI BEACH | FL 33141

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1974 MARSEILLE DR.  
| MIAMI BEACH | FL 33141

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**1** ZONING MAP.  
1/2" = 1'-0"



**2** FUTURE ZONING MAP  
1/2" = 1'-0"



**3** HISTORIC DISTRICT MAP  
1/2" = 1'-0"

**SUBJECT LOCATION**  
 1974 MARSEILLE DR.  
 | MIAMI BEACH | FL 33141



**PROJECT AND OWNER:**  
**SANDBOX**

1974 MARSEILLE DR,  
 MIAMI BEACH | FL | 33141  
 1974MIAMIBEACHLLC  
 3179 HOYLAKA RD  
 LAKE WORTH | FL | 33467

**ARCHITECT:**

2030 HABERSHAM TRCE | CUMMING | GA 30041  
 954 812 6650  
 RICARDO@MUVEARCH.COM  
 AA#26003161



**DESIGNER:**



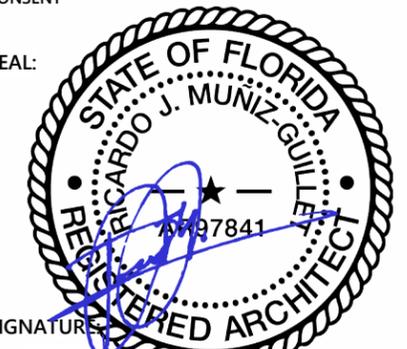
1555 NORTH PARK DRIVE #102 WESTON  
 FL 33326  
 954 850 9965  
 ADMIN@REDOCTOPUSLLC.COM

**DRB SUBMITTAL**

PERMIT APPLICATION DATE: 09-08-24  
 SHEET ISSUE DATE: 09-06-24  
 PROJECT NO.: 2321  
 DRAWN BY: AC APPROVED BY: YM


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 CONSENT

SEAL:



SIGNATURE:

RICARDO J. MUNIZ-GUILLET  
 LIC# AR97841

SHEET TITLE:

**ZONING REQ. & LOCATION**

SCALE:

**N.T.S.**

SHEET NO:

**G-2.03**

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**1**

AERIAL VIEW - 1/2 MILE RADIUS

1/2" = 1'-0"

# MIAMIBEACH

Planning Department, 1700 Convention Center Drive  
Miami Beach, Florida 33139, www.miamibeachfl.gov  
305.673.7550

1 of 2

## MULTIFAMILY - COMMERCIAL - ZONING DATA SHEET

ITEM #	Zoning Information			
1	Address:	1974 MERSEILLE DR, MIAMI BEACH, FL 33141		
2	Board and file numbers :	DRB24-1047		
3	Folio number(s):	02-3210-011-0170		
4	Year constructed:	1940	Zoning District:	RM-1 MULTI-FAMILY, LOW INTENSITY
5	Based Flood Elevation:	8.0' N.G.V.D	Grade value in NGVD:	4.2' N.G.V.D
6	Adjusted grade (Flood+Grade/2):	6.1 N.G.V.D	Lot Area:	9,099 SF
7	Lot width:	75'-0"	Lot Depth:	125'-0"
8	Minimum Unit Size	800 SQF	Average Unit Size	1,248.9 SQF
9	Existing use:	SINGLE FAMILY	Proposed use:	MULTI-FAMILY

		Maximum	Existing	Proposed	Deficiencies
10	Height	50 FT	16'-11 1/2"	48'-1"	N/A
11	Number of Stories	5	1	5	N/A
12	<b>FAR (LOT AREA X 1.25)</b>	11,373.75 SF		11,292 SF	N/A
13	Gross square footage	3,939 SF		4,398 SF	N/A
14	Square Footage by use	N/A	N/A	N/A	N/A
15	Number of units Residential	12	1	12	N/A
16	Number of units Hotel	N/A	N/A	N/A	N/A
17	Number of seats	N/A	N/A	N/A	N/A
18	Occupancy load	N/A	N/A	N/A	N/A

	Setbacks	Required	Existing	Proposed	Deficiencies
<b>Subterranean:</b>					
19	Front Setback:	N/A	N/A	N/A	
20	Side Setback:	N/A	N/A	N/A	
21	Side Setback:	N/A	N/A	N/A	
22	Side Setback facing street:	N/A	N/A	N/A	
23	Rear Setback:	N/A	N/A	N/A	
<b>At Grade Parking:</b>					
24	Front Setback:	20'-0"	N/A	20'-0"	
25	Side Setback:	10'-0"	N/A	10'-0"	
26	Side Setback:	10'-0"	N/A	10'-0"	
27	Side Setback facing street:	00'-0"	N/A	28'-00"	
28	Rear Setback:	10% LOT DEPTH=12.5'	N/A	12'-08"	
<b>Pedestal:</b>					
29	Front Setback:	20'-0"	N/A	20'-0"	
30	Side Setback:	10'-0"	N/A	10'-0"	
31	Side Setback:	10'-0"	N/A	10'-0"	
32	Side Setback facing street:	N/A	N/A	N/A	
33	Rear Setback:	12.72'	N/A	12.72'	
<b>Tower:</b>					
34	Front Setback:	N/A	N/A	N/A	
35	Side Setback:	N/A	N/A	N/A	

ITEM #	Setbacks	Required	Existing	Proposed	Deficiencies
36	Side Setback:	10'-0"	N/A	10'-0"	
37	Side Setback facing street:	20'-0"	N/A	20'-0"	
38	Rear Setback:	12.72'-0"	N/A	12.72'-0"	

# MIAMIBEACH

Planning Department, 1700 Convention Center Drive  
Miami Beach, Florida 33139, www.miamibeachfl.gov  
305.673.7550

2 of 2

	Parking	Required	Existing	Proposed	Deficiencies
39	Parking district	1	1	1	
40	Total # of parking spaces	0	1	11	
41	# of parking spaces per use (Provide a separate chart for a breakdown calculation)	12		11	
42	# of parking spaces per level (Provide a separate chart for a breakdown calculation)	N/A	N/A	N/A	
43	Parking Space Dimensions	8 1/2' X 18'		8 1/2' X 18'	
44	Parking Space configuration (45o,60o,90o,Parallel)			90o, Parallel	
45	ADA Spaces	0	0	1	
46	Tandem Spaces	N/A	N/A	N/A	
47	Drive aisle width	12'	N/A	22'	
48	Valet drop off and pick up	N/A	N/A	N/A	
49	Loading zones and Trash collection areas	1		1	
50	Bicycle parking, location and Number of racks	12	N/A	15	

	Restaurants, Cafes, Bars, Lounges, Nightclubs	Required	Existing	Proposed	Deficiencies
51	Type of use	N/A	N/A	N/A	
52	Total # of seats	N/A	N/A	N/A	
53	Total # of seats per venue (Provide a separate chart for a breakdown calculation)	N/A	N/A	N/A	
54	Total occupant content	N/A	N/A	N/A	
55	Occupant content per venue (Provide a separate chart for a breakdown calculation)	N/A	N/A	N/A	

56	Is this a contributing building?		N/A	
57	Located within a Local Historic District?		NO	

### Notes:

If not applicable write N/A

All other data information may be required and presented like the above format.

PARKING SPACES			
# OF UNITS	REQUIRED	PROPOSED	NOTES
12	12	10 + 1 ADA	5.2.14 ALTERNATIVE PARKING INCENTIVES Bicycle parking long-term: The minimum off-street parking requirements may be reduced by one off-street parking space for every five long-term bicycle parking spaces provided off-street.

BICYCLE PARKING - NUMBER OF RACKS				
# OF UNITS	REQUIRED		PROPOSED	NOTES
	SHORT-TERM	LONG-TERM		
12	4 X BLD. OR 1 X 10 UNITS	1 X 10 UNIT	15	5.2.5 BICYCLE OFF-STREET PARKING REQUIREMENTS Short-term and long-term bicycle parking shall be provided for new construction over 1,500 square feet.

\* ALTERNATIVE PARKING SPACES

PROJECT AND OWNER:

# SANDBOX

1974 MARSEILLE DR,  
MIAMI BEACH | FL | 33141  
1974MIAMIBEACHLLC  
3179 HOYLAK RD  
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ARCHITECT:

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DESIGNER:



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## DRB SUBMITTAL

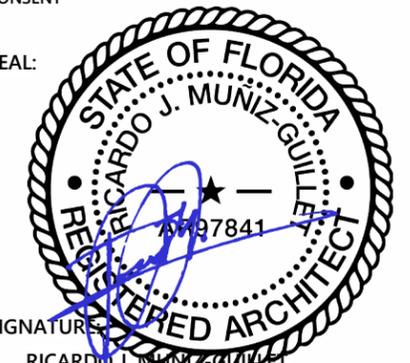
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LIC# AR97841

SHEET TITLE:

## ZONING DATA SHEET

SCALE:

N.T.S.

SHEET NO:

# G-2.

9/6/2024 3:25:59 PM

LEGEND AND ABBREVIATIONS	
	CONCRETE POLE
	CONCRETE POWER POLE
	CONCRETE LIGHT POLE
	ALUMINUM POLE
	ALUMINUM LIGHT POLE
	WOOD POLE
	WOOD POWER POLE
	WOOD LIGHT POLE
	TRAFFIC BOX
	STREET LIGHT BOX
	PHONE BOX
	IRRIGATION BOX
	ELECTRIC BOX
	COMMUNICATION BOX
	CABLE T.V. BOX
	UNKNOWN BOX
	TRAFFIC CONTROL BOX
	CLEANOUT
	ROLLARD
	ARM GATE
	ANCHOR
	WATER METER
	IRRIGATION METER
	GAS METER
	ELECTRIC METER
	SQUARE COLUMN
	ROUND COLUMN
	MAIL BOX
	IRRIGATION PUMP
	GUARD POST
	GROUND LIGHT
	FLAG POLE
	DRAINAGE WELL
	SQUARE DRAINAGE
	P.C. INLET
	P.S. INLET
	CURB INLET
	CIRCULAR DRAINAGE
	CATCH BASIN
	ACCESS MANHOLE
	TRAFFIC SIGNAL POLE
	TRAFFIC SIGN
	PEDESTRIAN CROSS SIGNAL
	PAVEMENT ASPHALT
	C&G CURB & GUTTER
	V.G. VALLEY GUTTER
	HANDICAP PAINT MARK
	BABY STROLLER PAINT MARK
	UNKNOWN MANHOLE
	WATER MANHOLE
	SEWER MANHOLE
	IRRIGATION MANHOLE
	GREASE TRAP MANHOLE
	GAS MANHOLE
	FIREMAN MANHOLE
	ELECTRICITY MANHOLE
	DRAINAGE MANHOLE
	COMMUNICATION MANHOLE
	BELL SOUTH MANHOLE
	PARKING METER
	PARKING KIOSK
	WATER VALVE
	SEWER VALVE
	IRRIGATION VALVE
	GAS VALVE
	FORCE MAIN VALVE
	VACUUM BREAKER ASSEMBLY
	SHAMESE CONNECTION
	POST INDICATOR VALVE
	FIRE HYDRANT
	DOUBLE DETECTOR CHECK VALVE
	BACK FLOW PREVENTOR
	PROPERTY LINE
	CENTERLINE
	RIGHT-OF-WAY
	RADIUS
	DELTA ANGLE
	ARC DISTANCE
	PERMANENT CONTROL POINT
	PERMANENT REFERENCE MONUMENT
	FLAT BOOK AND RANGE
	OVERHEAD UTILITY WIRES
	OFFICIAL RECORDS BOOK
	CONCRETE BLOCK STRUCTURE
	CONCRETE
	CHAINLINK FENCE
	WOOD FENCE
	FOUND IRON PIPE
	FOUND NAIL & BRASS DISC
	CLEAR
	ENCROACHMENT
	DEED OR LEGAL DISTANCE
	MEASURED DISTANCE
	RECORD OR PLATTED DISTANCE
	RECORD CALCULATED
	UTILITY EASEMENT

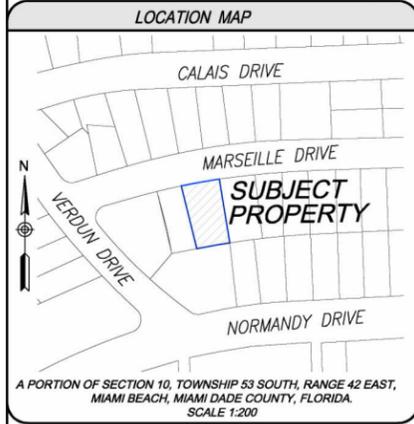


TABLE TREE				
TREE NO.	COMMON NAME	DIA. IN.	HT. FT.	CNPY. FT.
1	PALM	14	8	8
2	PALM	14	10	8
3	TREE	8	12	16
4	TREE	8	12	20

TREE IDENTIFICATION MUST BE VERIFY BY A CERTIFIED SPECIALIST

**POSSIBLE ENCROACHMENTS**

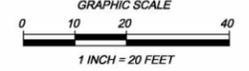
- A PORTION OF CHAIN LINK FENCE, ALONG THE SOUTH BOUNDARY LINE, ENCROACH 1.0' FROM SUBJECT PROPERTY ONTO ADJOINING LAND.
- THERE ARE NO ADDITIONAL OBSERVED ENCROACHMENTS ONTO THE SUBJECT PROPERTY FROM ADJOINING LANDS, OR FROM THE SUBJECT PROPERTY ONTO ADJOINING LANDS, UNLESS OTHERWISE NOTED.

**REVISIONS**

DATE	JOB No.	REV.	BY:
08/14/2024	154120	UPDATED TABLE TREE	B.D.B.

**BOUNDARY SURVEY**

FIELD SURVEY WAS COMPLETED ON: FEBRUARY 06, 2024.



FOR REFERENCE ONLY

**BOUNDARY SURVEY**

PREPARED FOR:  
**RED OCTOPUS**  
LYING AND BEING IN SECTION 10, TOWNSHIP 53 SOUTH, RANGE 42 EAST MIAMI BEACH, MIAMI DADE COUNTY, FLORIDA.

**J. Hernandez & Associates Inc**  
LAND SURVEYORS AND MAPPERS  
CERTIFICATE OF AUTHORIZATION No. LB8092  
3300 NW 112th AVE, SUITE #10, DORAL, FL 33172  
(P) 305-526-0606 (E) info@jhasurveys.com

DRAWN BY: B.D.B. CHECKED BY: J.G.H. JOB NUM.: 154120  
DATE: 02/08/24 DATE: 02/09/24 F.B. MD-60, PG. 8

**LEGAL DESCRIPTION**

LOT 3 AND THE WEST 25 FEET OF LOT 4, IN BLOCK 35, OF NORMANDY ISLES-MIAMI VIEW SECTION PART 3, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 40, AT PAGE 33, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

**SURVEYOR'S NOTES**

- FIELD SURVEY WAS COMPLETED ON: FEBRUARY 6, 2024.
- LEGAL DESCRIPTION WAS PROVIDED BY THE CLIENT
- SUBJECT PROPERTY AREA: 9,099 ± sq.ft. (0.209 ACRES)
- BEARINGS BASED ON AN ASSUMED BEARING OF N11°07'46"W ALONG THE WEST LINE OF THE SUBJECT PROPERTY.
- DISTANCES ALONG BOUNDARY LINES, AS SHOWN HEREON, ARE RECORD AND/OR MEASURED UNLESS OTHERWISE NOTED.
- INTERIOR LOT LINES, AS SHOWN HEREON, ARE FOR INFORMATIONAL PURPOSE ONLY, UNLESS OTHERWISE NOTED.
- UNDERGROUND FOOTINGS, FOUNDATIONS AND UTILITIES HAVE NOT BEEN LOCATED AT THE TIME OF THIS SURVEY, UNLESS OTHERWISE NOTED.
- ABOVEGROUND AND/OR VISIBLE UTILITIES HAVE BEEN LOCATED AT THE TIME OF THIS SURVEY, UNLESS OTHERWISE NOTED.
- SUBJECT PROPERTY HAS A DIRECT PHYSICAL ACCESS TO AND FROM MARSEILLE DR. A PUBLIC RIGHT OF WAY.
- THIS BOUNDARY SURVEY IS SUBJECT TO EASEMENT, RIGHTS-OF-WAY AND OTHER MATTERS THAT MIGHT BE REFLECTED ON A SEARCH OF TITLE OF THE SUBJECT PROPERTY.

**CERTIFY TO:**

- RED OCTOPUS

**PROPERTY INFORMATION**

- PROPERTY ADDRESS: 1974 MARSEILLE DR, MIAMI BEACH, FL 33141
- PROPERTY FOLIO NUMBER: 02-3210-011-0170

**DATUM AND BENCHMARKS**

- ELEVATIONS SHOWN HEREON ARE BASED ON THE NATIONAL GEODETIC VERTICAL DATUM OF 1929 AND ARE EXPRESSED IN FEET.
- BENCHMARK:  
NAME: MIAMI DADE, A-24  
ELEVATION: 5.98' N.G.V.D.  
DESCRIPTION: PK NAIL AND ALUMINUM WASHER IN FRONT OF TRAFFIC CONTROL BOX.  
LOC 1: 79 ST CSWY — EAST END OF CSWY, 54' NORTH OF CL.

**FLOOD ZONE INFORMATION**

- SUBJECT PROPERTY IS LOCATED WITHIN FLOOD ZONE "AE", ELEV 8, AS SHOWN ON FLOOD INSURANCE RATE MAP NUMBER 12086C0307L, DATED SEPTEMBER 11, 2009.
- ELEVATION REFER TO NATIONAL GEODETIC VERTICAL DATUM OF 1929 AND IS EXPRESSED IN FEET.

**SURVEYOR'S CERTIFICATION:**

I HEREBY CERTIFY THAT THIS "BOUNDARY SURVEY" OF THE PROPERTY DESCRIBED HEREON IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AS RECENTLY SURVEYED AND DRAWN UNDER MY SUPERVISION AND DIRECTION. THIS SURVEY COMPLIES WITH STANDARDS OF PRACTICE REQUIREMENTS ADOPTED BY THE FLORIDA STATE BOARD OF SURVEYORS AND MAPPERS PURSUANT TO CHAPTER 6J-17, FLORIDA ADMINISTRATIVE CODE.

THIS CERTIFICATION DOES NOT EXTEND TO ANY UNNAMED PARTIES.

BY:   
JOSE G. HERNANDEZ, PRESIDENT  
PROFESSIONAL LAND SURVEYOR No. 6952  
STATE OF FLORIDA.

THE ELECTRONIC SEAL AND SIGNATURE APPEARING ON THIS SURVEY WAS AUTHORIZED BY JOSE G. HERNANDEZ, PROFESSIONAL LAND SURVEYOR NO. 6952 OF THE STATE OF FLORIDA ON AUGUST 14, 2024.

THIS IS A BOUNDARY SURVEY  
PROJECT NUMBER: MD-679  
SHEET NUMBER: 1 OF 1

PROJECT AND OWNER:

**SANDBOX**

1974 MARSEILLE DR,  
MIAMI BEACH | FL | 33141  
1974MIAMIIBEAHLCC  
3179 HOYLAKA RD  
LAKE WORTH | FL | 33467

ARCHITECT:

2030 HABERSHAM TRCE | CUMMING | GA 30041  
954 812 6650  
RICARDO@MUVEARCH.COM  
AA#26003161



DESIGNER:



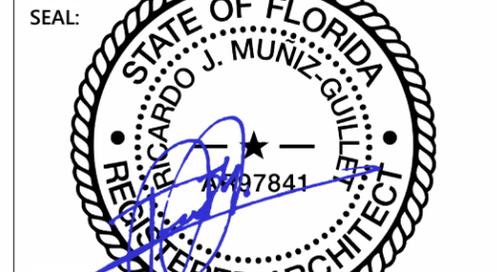
1555 NORTH PARK DRIVE #102 WESTON  
FL 33326  
954 850 9965  
ADMIN@REDOCTOPUSLLC.COM

**DRB SUBMITTAL**

PERMIT APPLICATION DATE: 09-08-24  
SHEET ISSUE DATE: 09-06-24

PROJECT NO.: 2321  
DRAWN BY: AC APPROVED BY: YM


ALL DRAWINGS AND WRITTEN MATERIALS HEREIN CONSTITUTE ORIGINAL WORK OF THE DESIGNER AND MAY ONLY BE DUPLICATED WITH THEIR WRITTEN CONSENT



SIGNATURE: RICARDO J. MUNIZ-GUILLET  
LIC# AR97841

SHEET TITLE:  
**SURVEY**

SCALE:

N.T.S.

SHEET NO:

G-3.

9/6/2024 3:26:00 PM

PROJECT AND OWNER:

# SANDBOX

1974 MARSEILLE DR,  
MIAMI BEACH | FL | 33141  
1974MIAMIBEACHLLC  
3179 HOYLAKA RD  
LAKE WORTH | FL | 33467

ARCHITECT:

2030 HABERSHAM TRCE | CUMMING | GA 30041  
954 812 6650  
RICARDO@MUVEARCH.COM  
AA#26003161



DESIGNER:



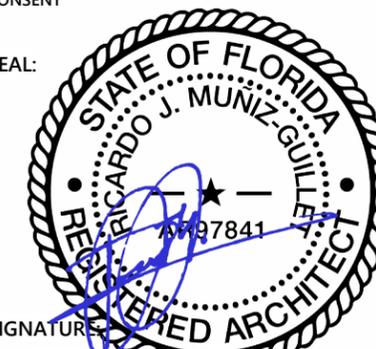
1555 NORTH PARK DRIVE #102 WESTON  
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## DRB SUBMITTAL

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SEAL:



SIGNATURE:

RICARDO J. MUNIZ-GUILLET  
LIC# AR97841

SHEET TITLE:

### SITE PLAN

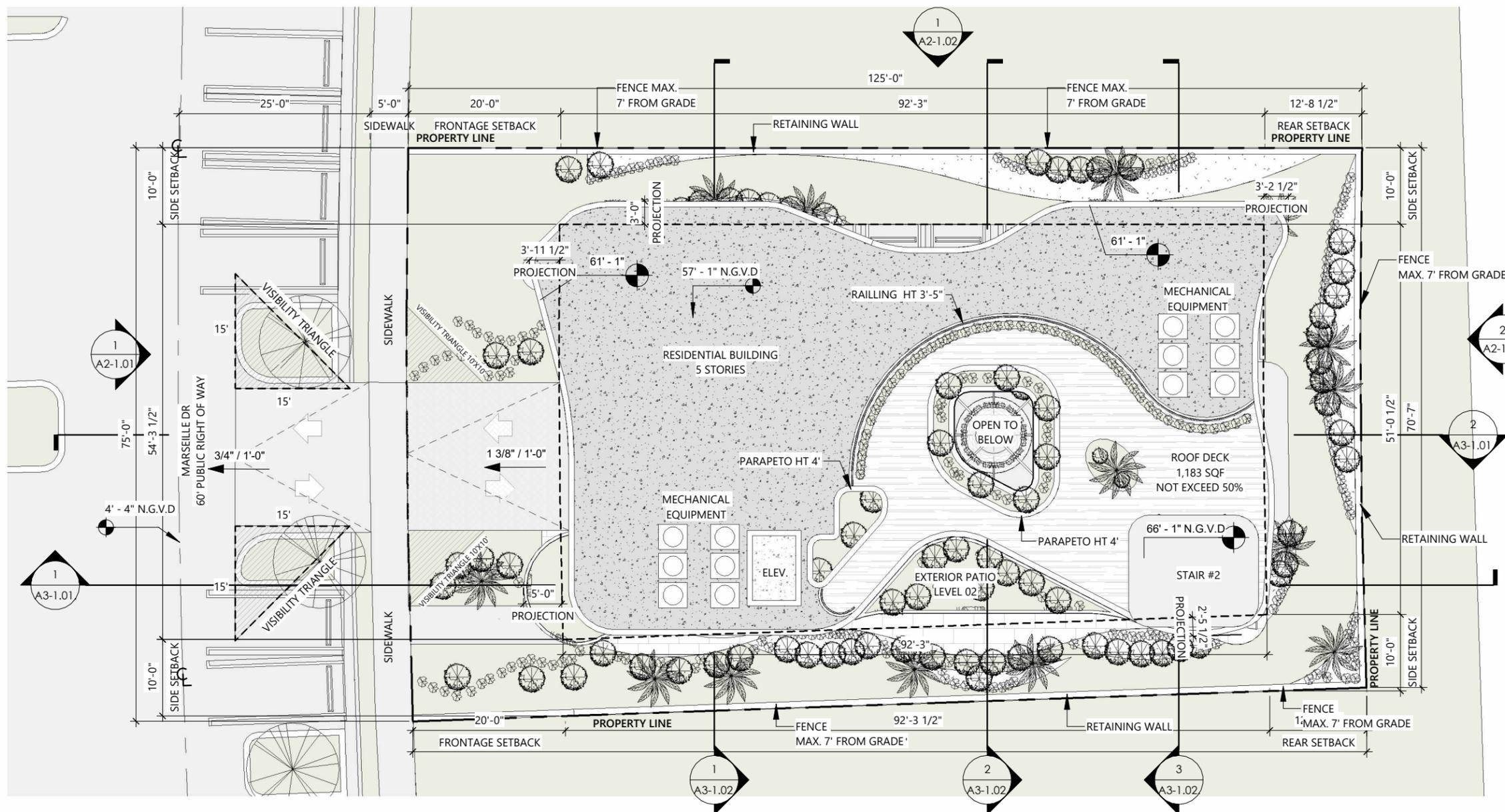
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## N.T.S.

SHEET NO:

# G-4.

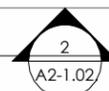
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# 1

## SITE PLAN

1/16" = 1'-0"



# 2

## A2-1.02



MORTARLESS INTERLOCKING CONCRETE  
PAVERS, GAPS IN BETWEEN TO ALLOW THE  
STORWATER DRAINAGE

1" TO 1 1/2" SAND SETTING BED

4" COMPACTED AGGREGATE BASE  
COURSE

COMPACTED SUBGRADE

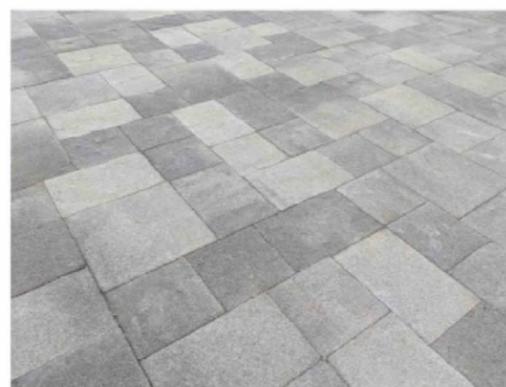


IMAGE ONLY FOR REFERENCE

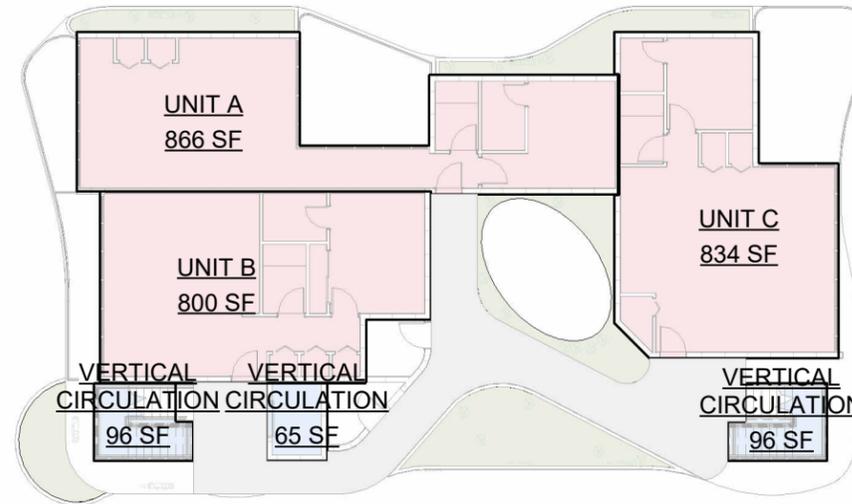
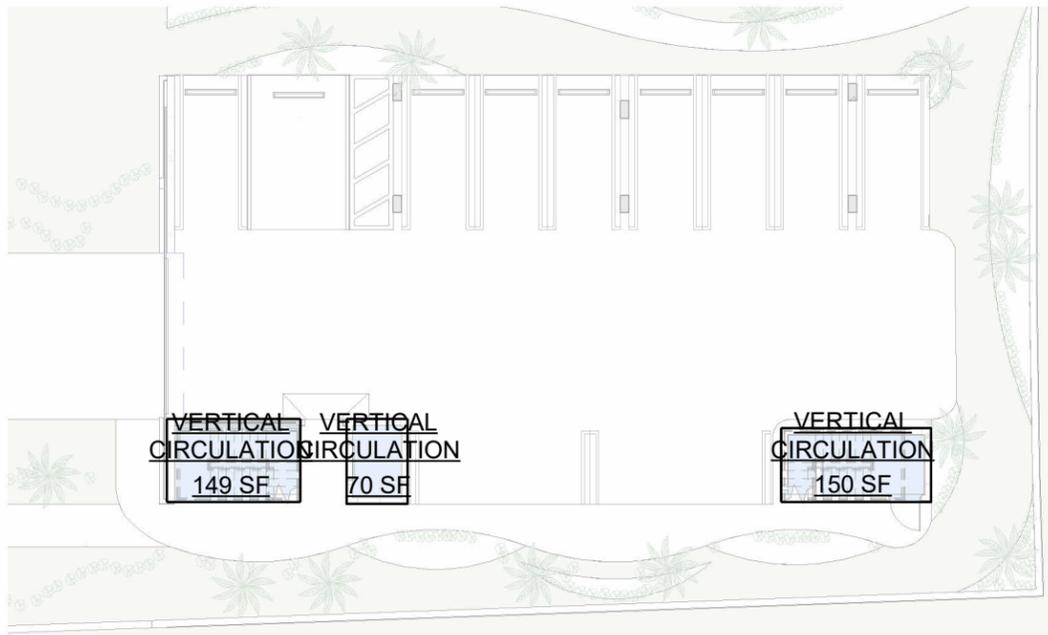
NOTE:

CONCRETE PAVERS, PLACED WITH A SMALL GAP IN BETWEEN TO  
ALLOW WATER TO SOAK INTO THE GROUND DURABLE TO HEAVY  
TRAFFIC.  
PERVIOUS INTERLOCKING CONCRETE PAVERS CAN PREVENT  
RUN-OFF FROM HEAVY RAINS.  
THE PAVERS FILTER STORM WATER THROUGH THEIR JOINTS TO  
THE BASE LAYERS THAT TRAP MOST OF POLLUTANTS.  
IN FACT, PERMEABLE PAVERS CAN LOWER NEARLY 80% OF THE  
TOTAL SUSPENDED SOLID LEVELS IN STORM WATER.  
BY ENSURING THE INFILTRATION OF RAIN THROUGH ITS LAYERS,  
PERMEABLE INTERLOCKING CONCRETE PAVERS MAINTAIN  
HEALTH GROUNDWATER LEVELS, AND SUPPORT THE GROWTH  
AND SURVIVAL OF PLANT LIFE

# 2

## PAVERS DETAILS

1/2" = 1'-0"



**PROJECT AND OWNER:  
SANDBOX**

1974 MARSEILLE DR,  
MIAMI BEACH | FL | 33141  
1974MIAMIBEACHLLC  
3179 HOYLAKE RD  
LAKE WORTH | FL | 33467

**ARCHITECT:**

2030 HABERSHAM TRCE | CUMMING | GA 30041  
954 812 6650  
RICARDO@MUVEARCH.COM  
AA#26003161



**DESIGNER:**



1555 NORTH PARK DRIVE #102 WESTON  
FL 33326  
954 850 9965  
ADMIN@REDOCTOPUSLLC.COM

**DRB SUBMITTAL**

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CONSENT

SEAL:



SIGNATURE:  
RICARDO J. MUNIZ-GUILLET  
LIC# AR97841

SHEET TITLE:  
**AREA DIAGRAMS**

SCALE:

**N.T.S.**

SHEET NO:

**G-5.**

9/6/2024 3:26:03 PM

**1** LEVEL 01.  
3/64" = 1'-0"

**2** LEVEL 02.  
3/64" = 1'-0"

**3** LEVEL 03 - 05.  
3/64" = 1'-0"

**4** LEVEL 06.  
3/64" = 1'-0"

**AREA LEGEND**

- UNIT A
- UNIT B
- UNIT C
- VERTICAL CIRCULATION
- OPEN PORCH / OPEN CORRIDOR

F.A.R (LOT AREA X 1.25)	
MAXIMUM	PROPOSED
9,099 SF X 1.25 = 11,373.75 SF	11,292 SF

**F.A.R CALCULATION**

Name	Area	INCIDENCE
UNIT A	3465 SF	31%
UNIT B	3201 SF	28%
UNIT C	3335 SF	30%
VERTICAL CIRCULATION	1291 SF	11%
Grand total	11292 SF	

PROJECT AND OWNER:  
**SANDBOX**

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 LAKE WORTH | FL | 33467

ARCHITECT:

2030 HABERSHAM TRCE | CUMMING | GA 30041  
 954 812 6650  
 RICARDO@MUVEARCH.COM  
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DESIGNER:



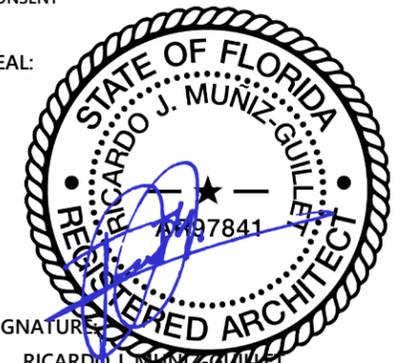
1555 NORTH PARK DRIVE #102 WESTON  
 FL 33326  
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SEAL:



SIGNATURE:  
 RICARDO J. MUNIZ-GUILLET  
 LIC# AR97841

SHEET TITLE:  
**AREA DIAGRAMS**

SCALE:  
**N.T.S.**

SHEET NO:  
**G-6.**

9/6/2024 3:26:04 PM



**1**

LOT COVERAGE

1/16" = 1'-0"



**LOT COVERAGE**

**REQUIRED**      45%  
 9,099 SF X 45% = 4,094.55 SF  
 0.09 ACRES

**PROVIDE**      46%  
 4,398 SF  
 0.10 ACRES



**PROJECT AND OWNER:  
SANDBOX**

1974 MARSEILLE DR,  
MIAMI BEACH | FL | 33141  
1974MIAMIBEACHLLC  
3179 HOYLAKE RD  
LAKE WORTH | FL | 33467

**ARCHITECT:**

2030 HABERSHAM TRCE | CUMMING | GA 30041  
954 812 6650  
RICARDO@MUVEARCH.COM  
AA#26003161



**DESIGNER:**



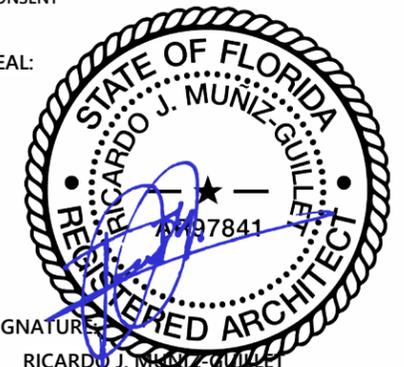
1555 NORTH PARK DRIVE #102 WESTON  
FL 33326  
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ADMIN@REDOCTOPUSLLC.COM

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SEAL:



SIGNATURE:

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LIC# AR97841

SHEET TITLE:

**EXISTING EXT. PICTURES**

SCALE:

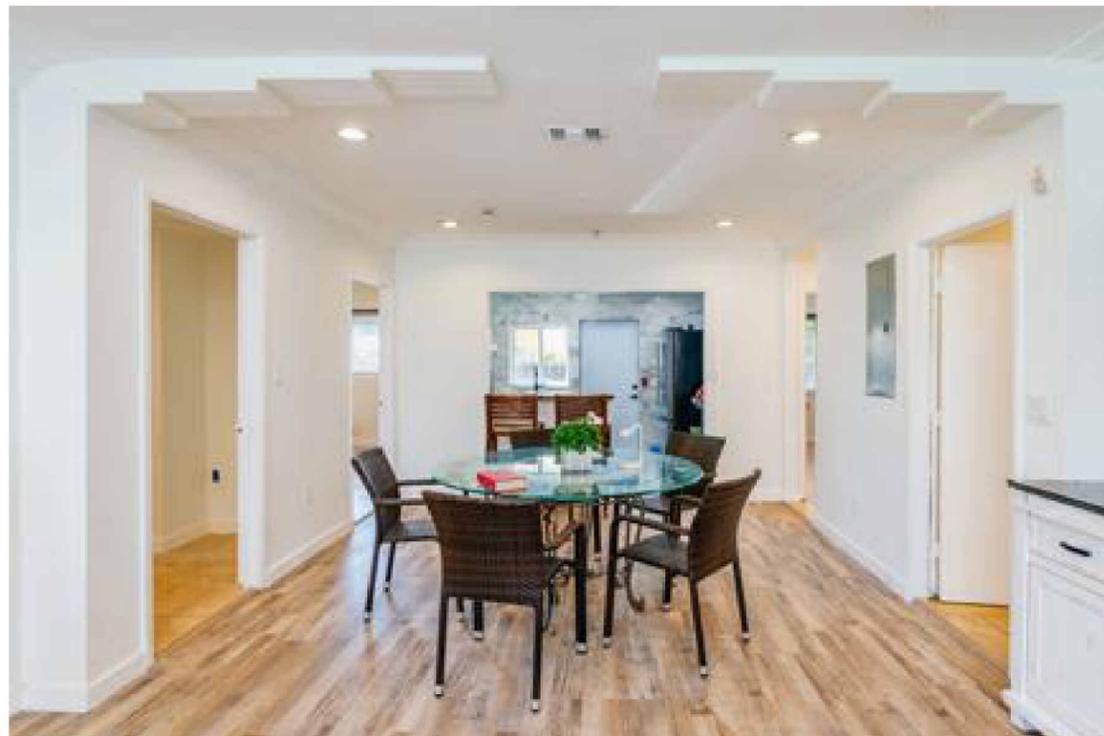
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**G-7.**

9/6/2024 3:26:05 PM

**CURRENT EXTERIOR PHOTOGRAPHS, DATED AUGUST 09TH, 2024**



**PROJECT AND OWNER:  
SANDBOX**

1974 MARSEILLE DR,  
MIAMI BEACH | FL | 33141  
1974MIAMIBEACHLLC  
3179 HOYLAKE RD  
LAKE WORTH | FL | 33467

**ARCHITECT:**

2030 HABERSHAM TRCE | CUMMING | GA 30041  
954 812 6650  
RICARDO@MUVEARCH.COM  
AA#26003161



**DESIGNER:**



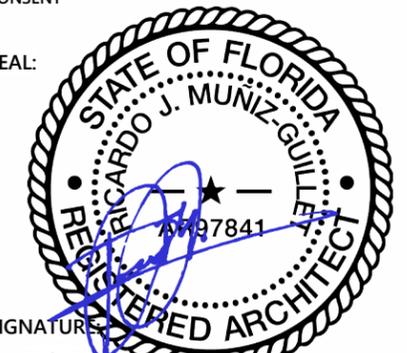
1555 NORTH PARK DRIVE #102 WESTON  
FL 33326  
954 850 9965  
ADMIN@REDOCTOPUSLLC.COM

**DRB SUBMITTAL**

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SEAL:



SIGNATURE:

RICARDO J. MUNIZ-GUILLET  
LIC# AR97841

SHEET TITLE:

**EXISTING INT. PICTURES**

SCALE:

**N.T.S.**

SHEET NO:

**G-8.**

9/6/2024 3:26:06 PM

**CURRENT INTERIOR PHOTOGRAPHS, DATED AUGUST 09TH, 2024**



VIEW 03 - CORNER TO CORNER



VIEW 04 - CORNER TO CORNER

**CONTEXT PHOTOGRAPHS, DATED AUGUST 9TH, 2024**

**PROJECT AND OWNER:  
SANDBOX**

1974 MARSEILLE DR,  
MIAMI BEACH | FL | 33141  
1974MIAMIBEACHLLC  
3179 HOYLAKE RD  
LAKE WORTH | FL | 33467

**ARCHITECT:**

2030 HABERSHAM TRCE | CUMMING | GA 30041  
954 812 6650  
RICARDO@MUVEARCH.COM  
AA#26003161



**DESIGNER:**



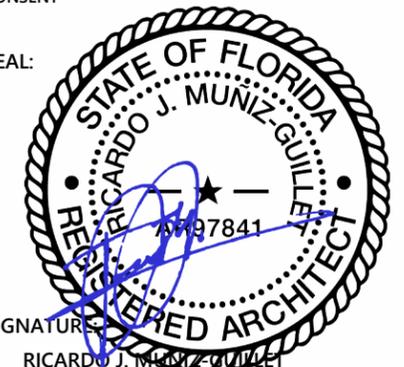
1555 NORTH PARK DRIVE #102 WESTON  
FL 33326  
954 850 9965  
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**DRB SUBMITTAL**

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SEAL:



SIGNATURE:

RICARDO J. MUNIZ-GUILLET  
LIC# AR97841

SHEET TITLE:

**SITE & CONTEXT PICTURES**

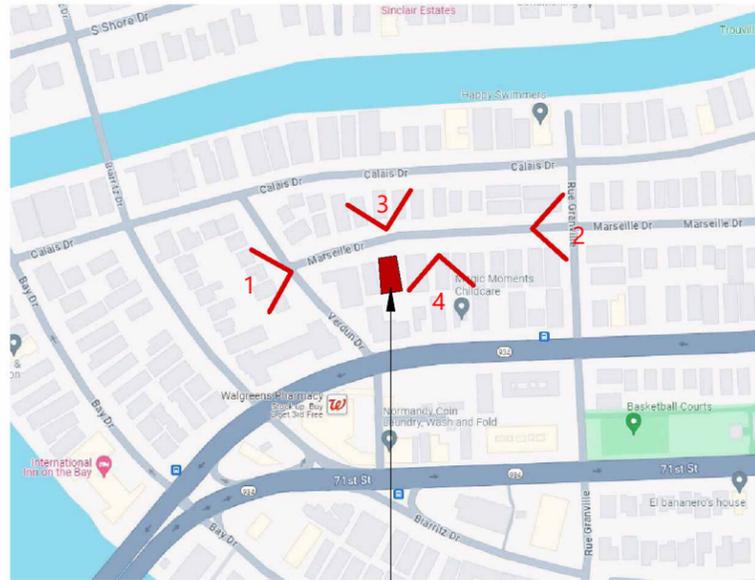
SCALE:

**N.T.S.**

SHEET NO:

**G-9.01.**

9/6/2024 3:26:07 PM



**SUBJECT LOCATION**  
 1974 MARSEILLE DRIVE |  
 MIAMI BEACH | FL 33141



VIEW 01 - CORNER TO CORNER



VIEW 02 - CORNER TO CORNER

**CONTEXT PHOTOGRAPHS, DATED AUGUST 9TH, 2024**

**PROJECT AND OWNER:**  
**SANDBOX**

1974 MARSEILLE DR,  
 MIAMI BEACH | FL | 33141  
 1974MIAMIBEACHLLC  
 3179 HOYLAKE RD  
 LAKE WORTH | FL | 33467

**ARCHITECT:**

2030 HABERSHAM TRCE | CUMMING | GA 30041  
 954 812 6650  
 RICARDO@MUVEARCH.COM  
 AA#26003161



**DESIGNER:**



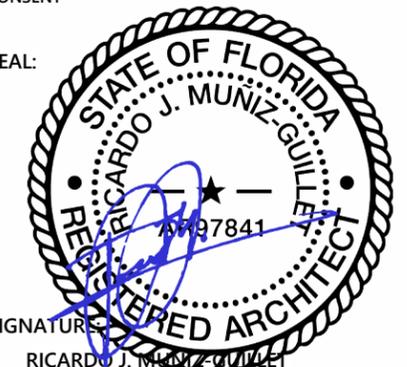
1555 NORTH PARK DRIVE #102 WESTON  
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**DRB SUBMITTAL**

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SEAL:



SIGNATURE:  
 RICARDO J. MUNIZ-GUILLET  
 LIC# AR97841

SHEET TITLE:  
**SITE & CONTEXT PICTURES**

SCALE:

**N.T.S.**

SHEET NO:

**G-9.**

9/6/2024 3:26:08 PM



**1**

KEY DIRECTIONAL PLAN

1 1/2" = 1'-0"

PROJECT AND OWNER:  
**SANDBOX**

1974 MARSEILLE DR,  
MIAMI BEACH | FL | 33141  
1974MIAMIBEACHLLC  
3179 HOYLAK RD  
LAKE WORTH | FL | 33467

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SEAL:



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RICARDO J. MUNIZ-GUILLET  
LIC# AR97841

SHEET TITLE:

**CONTEXTUAL ELEVATION**

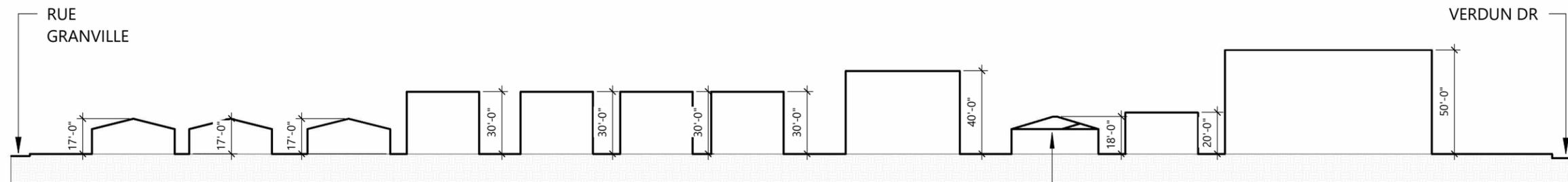
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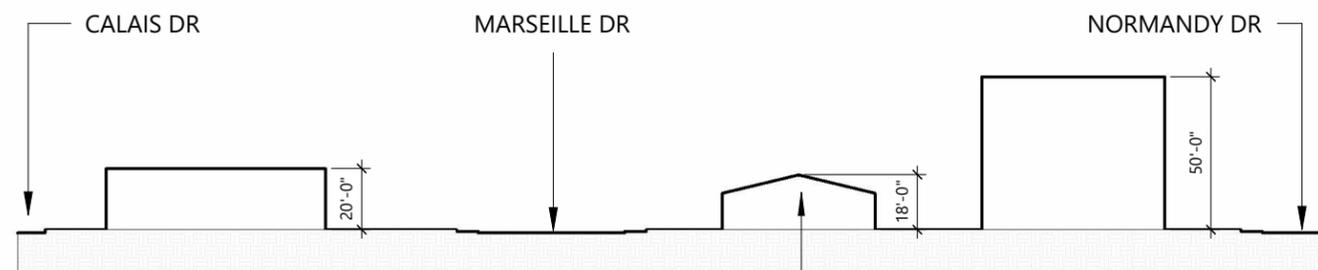


**SUBJECT LOCATION**  
**1974 MARSEILLE DR | MIAMI BEACH | FL 33141**

**1**

CONTEXTUAL ELEVATION - CORNER TO CORNER

1" = 60'-0"



**SUBJECT LOCATION**  
**1974 MARSEILLE DR | MIAMI BEACH | FL 33141**

**2**

CONTEXTUAL ELEVATION - ACROSS THE STREET AND SURROUNDING PROPERTIES

1" = 60'-0"

WALL LEGEND	
	 TYPICAL 4" INTERIOR PARTITION NON-RATED
	 EXTERIOR - EXISTING TO REMAIN
	 INTERIOR - EXISTING TO REMAIN
	 TO BE DEMOLISHED

**ALL LIFE SAFETY EQUIPMENT TO REMAIN OPERABLE DURING DEMOLITION**

**DEMOLITION PLAN KEYNOTES**

-  REMOVE EXISTING INTERIOR PARTITION
  -  REMOVE EXISTING DOOR
  -  REMOVE PLUMBING FIXTURES, CAP EXISTING CONNECTIONS AND COVER ALL SANITARY AND DRAINAGE LINES TO PREVENT THE INTRUSION OF DEBRIS
  -  REMOVE FINISH FLOOR
  -  REMOVE KITCHEN APPLIANCES CABINETS AND COUNTERTOPS
  -  REMOVE EXISTING CEILING
- COORDINATE SELECTIVE REMOVAL / RELOCATION OF LIGHT LIXTURES, ELECTRICAL WIRES, CONDUITS, "J" BOXES, DUCT WORK, DIFFUSERS, GRILLS.
- REMOVE ALL DUCTWORK, DIFFUSERS, GRILLS, LIGHTS, AND CLEAN THE BOTTOM OF THE SLAB FROM REMAINING DEBRIS.
- SPRINKLER LINES TO REMAIN AND BE RELOCATED PER REVISED PLAN

**DEMOLITION NOTES**

**02110 DEMOLITION**

1. PROVIDE LABOR, MATERIALS AND EQUIPMENT TO PERFORM ALL DEMOLITION AND REMOVAL WORK SHOWN, SPECIFIED OR REQUIRED TO COMPLETE THE WORK.

"TITLE OF PROPERTY": EXCEPT AS OTHERWISE SPECIFIED, OR INDICATED, ALL SALVAGE- ABLE MATERIAL AND EQUIPMENT TO BE DISCONNECTED AND REMOVED SHALL BECOME THE PROPERTY OF THE OWNER TO BE ASSIGNED AND DISPOSED OF BY THE CONTRACTOR AT THE OWNERS DIRECTION. CONTRACTOR SHALL SUBMIT TO OWNER REFERENCES AND EXPERIENCE OF TRADES FOR REVIEW AND APPROVAL. THESE ITEMS MAY INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:

1. EQUIPMENT, CONDUIT, LIGHT FIXTURES, TOILET FIXTURES AND FITTINGS, WINDOWS/DOORS AND MECHANICAL ITEMS. PROTECTION OF PERSONS AND PROPERTY: SHALL BE PROVIDED THROUGHOUT THE PROGRESS OF THE WORK. THE WORK SHALL PROCEED IN SUCH A MANNER AS TO MINIMIZE THE SPREAD OF DUST AND FLYING PARTICLES AND TO PROVIDE SAFE WORKING CONDITIONS FOR PERSONNEL.

2. DISCONNECTION OF SERVICES: BEFORE STARTING THE WORK, ALL AFFECTED UTILITIES SHALL BE DISCONNECTED UNLESS OTHERWISE INDICATED OR DIRECTED. ALL UTILITY MAINS SHALL BE SEALED IN AN APPROVED MANNER. IF IT BECOMES NECESSARY TO INTERRUPT THE UTILITY SERVICE TO UTILITIES NOT PART OF THIS CONTRACT, PRIOR APPROVAL SHALL BE OBTAINED IN WRITING FROM THE OWNER.

3. CONTRACTOR SHALL INVESTIGATE THE EXISTENCE OF ASBESTOS AND NOTIFY THE OWNER BEFORE PROCEEDING WITH DEMOLITION WORK.

**SCOPE OF WORK**  
CONTRACTOR TO OBTAIN ALL NECESSARY BUILDING PERMITS. DEMOLITION AND REMOVAL FOR BUILDING AS INDICATED ON DRAWINGS. CONTRACTOR TO REMOVE ALL PARTITIONS, WALLS, PLUMBING AS INDICATED IN THE DRAWINGS. THE ABOVE SCOPE OF WORK IS NOT EXHAUSTIVE. REFERENCE SHOULD BE MADE TO EXISTING SITE CONDITIONS TO VERIFY EXTENT OF REMOVALS TO COMPLETE THE PROJECT. SHOULD THERE BE A QUESTION AS TO THE REMOVAL OF ANY PORTION OF THE PROJECT, THE CONTRACTOR SHOULD REQUEST CLARIFICATION FROM THE OWNER.

**EXECUTION**  
ALL DEMOLITION SHALL BE CARRIED OUT WITH MINIMUM DAMAGE TO ADJOINING WORK. HOLES OR OTHER DAMAGE LEFT BY THE CONTRACTOR IN EXISTING BUILDING SURFACES SHALL BE REPAIRED TO MATCH THE EXISTING ADJACENT SURFACE. ASSIGN REMOVAL AND CUTTING WORK TO TRADES EXPERIENCED IN THE PARTICULAR WORK TO AVOID UNNECESSARY DAMAGE DUE TO UNSKILLED WORKMANSHIP. REMOVE ALL DEBRIS AND MATERIAL RESULTING FROM DEMOLITION OFF THE SITE AT THE END OF EACH WORKING DAY. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PREVENT DAMAGE TO EXISTING WIRING, PIPING, TUBING AND EQUIPMENT. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ALL DAMAGE TO EXISTING STRUCTURE CAUSED BY HIS OPERATIONS. ALL DEMOLITION WORK SHALL BE UNDERTAKEN IN ACCORDANCE WITH REQUIREMENTS OF REGULATIONS OSHA AND OF LOCAL AUTHORITIES AND APPLICABLE BUILDING CODES. DEMOLITION WORK SHALL BE COORDINATED WITH BUILDING MANAGEMENT.

**NOTE:**

1. THE REMOVAL OF THE WALLS MUST BE PERFORMED CAREFULLY TO ENSURE EXISTING PLUMBING VENT AND SANITARY STACKS WILL NOT BE DAMAGED AND/OR MODIFIED IN ANY MANNER. IF A PLUMBING/VENT STACK IS TO BE CONCEALED WITHIN A WALL THE GENERAL CONTRACTOR NEEDS TO ASCERTAIN THAT, BEFORE THE PLUMBING STACK IS COVERED WITHIN ANY ARCHITECTURAL FINISH, COLUMN ELEMENT OR WALL SECTION, THAT THE FIRE RATED SEALANTS THAT SEPARATE THE UNITS AT THE SLABS ARE C PRESENT.

2. THE EXISTING/REMAING SMOKE DETECTORS AS WELL AS FIRE ALARM SYSTEM SPEAKERS AND ASSOCIATED WIRING SHOULD BE PROTECTED FROM DUST, PAINT OR ANY TYPE OF DAMAGE DURING CONSTRUCTION.

3. ANY NEW OPENINGS, PENETRATIONS, AND/OR MODIFICATIONS TO EXISTING STRUCTURAL COMPONENTS (INCLUDING AND NOT LIMITED TO WALLS, SLABS, COLUMNS, BEAMS, ETC) ARE STRICTLY NOT PERMITTED WITHOUT PRIOR APPROVAL BY THE BUILDING'S ASSOCIATION.

4. ANY AND ALL FIRE SPRINKLER SYSTEM WORK SHOULD BE PERFORMED BY THE ASSOCIATION'S FIRE SPRINKLER CONTRACTOR THAT IS RESPONSIBLE FOR MAINTAINING AND REPAIRING THE FIRE SPRINKLER SYSTEM ON A BUILDING WIDE BASIS.

**GENERAL DEMOLITION NOTES**

1. BEFORE BEGINNING WORK AT THE SITE, WHERE POSSIBLE, AND THROUGH THE COURSE OF THE WORK, INSPECT AND VERIFY THE LOCATION AND CONDITION OF EVRY ITEM AFFECTED BY THE WORK UNDER THIS CONTRACT AND REPORT ANY DISCREPANCIES TO THE OWNER BEFORE DOING WORK RELATED OT THAT INSPECTION.
2. DRAWINGS SHOW PRINCIPAL AREAS WHERE WORK MUST BE COMPLETED UNDER THIS CONTRACT, INCIDENTAL WORK MUST ALSO BE NECESSARY ON AREAS NOT SHOWN IN THE DRAWINGS DUE TO CHANGES AFFECTING EXISTING MECHANICAL, ELECTRICAL, PLUMBING OR OTHER SYSTEMS, SUCH INCIDENTAL WORK IS ALSO AS PART OF THIS CONTRACT. INSPECT THOSE AREAS, AND AS CERTAIN WORKNEEDED AND TO THAT WORK ACCORD WITH THE CONTRACT REQUIREMENTS, AT NO ADDITIONAL COST.
3. TAKE ALL NECESSARY PRECAUTIONS TO GUARD AGAINST ANY AND ALL POSSIBLE HAZARDOUS CONDITIONS (I.E. EXPOSED "HOT" WIRING, MATERIALS PLACED IN TRAFFIC PATHS CREATING A "TRIPPING" HAZARD, ETC.) WHICH MIGHT OCCUR AS A RESULT OF DEMOLITION AND CONSTRUCTION.
4. IF UNANTICIPATED MECHANICAL, ELECTRICAL OR STRUCTURAL ELEMENTS, WHICH CONFLICT WITH INTENDED FUNCTION OR DESIGN AR ENCOUNTERED, INVESTIGATE AND MEASURE BOTH NATURE OF EXTENT OF THE CONFLICT. SUBMIT REPORT TO OWNERS REPRESENTATIVE IN WRITTEN, ACCURATE DETAIL.
5. IN ALL ACTIVITIES, COMPLY WITH PERTINENT REGULATIONS OF GOVERNMENTAL AGENCIES HAVING JURISDICTION.
6. UPON COMPLETION OF DEMOLITION WORK, REMOVE DEBRIS, RUBBISH AND OTHER MATERIALS FROM BUILDING SITE. TRANSPORT AND LEGALLY DISPOSE OF MATERIALS OFF SITE. LEAVE RESULTING DEBRIS FROM INTERIOR AREAS BROOM CLEAN.
7. USE SAW CUT TO REMOVE MASONRY WHERE REMAINING MASONRY IS TO BE EXPOSED.
8. PROVIDE INTERIOR AND EXTERIOR SHORING, BRACING OR SUPPORT TO PREVENT MOVEMENT, SETTLEMENT OR COLLAPSE OF STRUCTURES TO BE DEMOLISHED AND ADJACENT EXISTING STRUCTURES TO REMAIN. TAKE PRECAUTIONS TO PROPERLY SUPPORT STRUCTURE. DO NOT RESUME OPERATIONS UNTIL SAFETY IS RESTORED.
9. BEFORE ANY STRUCTURAL DEMOLITION CAN START, CONTRACTOR SHALL NOTIFY THE STRUCTURAL ENGINEER FOR AUTHORIZATION.
10. DEMOLITION OPERATION SHALL BE EXECUTED BY ADEQUATE NUMBER OF SKILLED WORKERS EXPERIENCED IN THE NECESSARY CRAFTS. SHUT OFF, CAP AND OTHERWISE PROTECT MECHANICAL AND ELECTRICAL INSTALLATIONS, WORK IN PUBLIC UTILITY LINES SHALL BE COORDINATED WITH THE AGENCY OR UTILITY HAVING JURISDICTION AND THE CONTRACTOR SHALL PROTECT EXISTING INSTALLATIONS ACCORDING TO THEIR REQUIREMENTS.
11. ITEMS INDICATED TO BE REMOVED BUT OF SALVABLE VALUE TO THE CONTRACTOR, AND NOT TO BE KEPT BY THE OWNER, MAY BE REMOVED FROM THE STRUCTURE AS WORK PROGRESSES. TRANSPORT SALVAGED ITEMS FROM THE SITE AS THEY ARE REMOVED. STORAGE OR SALE OF REMOVED ITEMS ON SITE WILL NOT BE PERMITTED. MATERIALS AND EQUIPMENT TO BE REUSED SHALL BE TREATED WITH CARE AND REINSTALLED AS SHOWN ON PLANS.
12. G.C. SHALL REPAIR AT HIS OWN COST ANY DAMAGES TO THE PREMISES OR ADJACENT WORK CAUSED BY HIS OPERATION. FIRE PROTECTION WILL BE PROVIDED FROM THE OCCUPIED SIDE OF THE BUILDING TO THE DEMO SIDE.

**PROJECT AND OWNER:**  
**SANDBOX**

1974 MARSEILLE DR,  
MIAMI BEACH | FL | 33141  
1974MIAMIBEACHLLC

3179 HOYLAK E RD  
LAKE WORTH | FL | 33467

**ARCHITECT:**

2030 HABERSHAM TRCE | CUMMING | GA 30041  
954 812 6650  
RICARDO@MUVEARCH.COM  
AA#26003161



**DESIGNER:**



1555 NORTH PARK DRIVE #102 WESTON  
FL 33326  
954 850 9965  
ADMIN@REDOCTOPUSLLC.COM

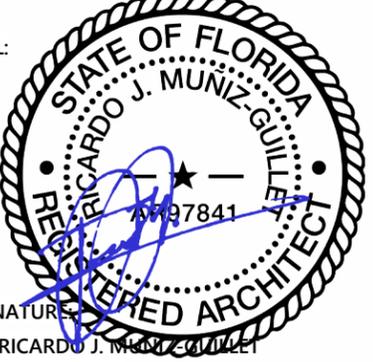
**DRB SUBMITTAL**

PERMIT APPLICATION DATE: 09-08-24  
SHEET ISSUE DATE: 09-06-24

PROJECT NO.: 2321  
DRAWN BY: AC APPROVED BY: YM


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SEAL:



SIGNATURE:  
RICARDO J. MUNIZ-GUILLET  
LIC# AR97841

SHEET TITLE:  
**DEMOLITION NOTES**

SCALE:  
**N.T.S.**

SHEET NO:  
**D1-1.00**

9/6/2024 3:26:10 PM

PROJECT AND OWNER:  
**SANDBOX**

1974 MARSEILLE DR,  
MIAMI BEACH | FL | 33141  
1974MIAMIBEACHLLC  
3179 HOYLAKE RD  
LAKE WORTH | FL | 33467

ARCHITECT:

2030 HABERSHAM TRCE | CUMMING | GA 30041  
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RICARDO@MUVEARCH.COM  
AA#26003161



DESIGNER:



1555 NORTH PARK DRIVE #102 WESTON  
FL 33326  
954 850 9965  
ADMIN@REDOCTOPUSLLC.COM

**DRB SUBMITTAL**

PERMIT APPLICATION DATE: 09-08-24  
SHEET ISSUE DATE: 09-06-24  
PROJECT NO.: 2321  
DRAWN BY: AC APPROVED BY: YM


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SIGNATURE:

RICARDO J. MUNIZ-GUILLET  
LIC# AR97841

SHEET TITLE:

**EXISTING GROUND LEVELS**

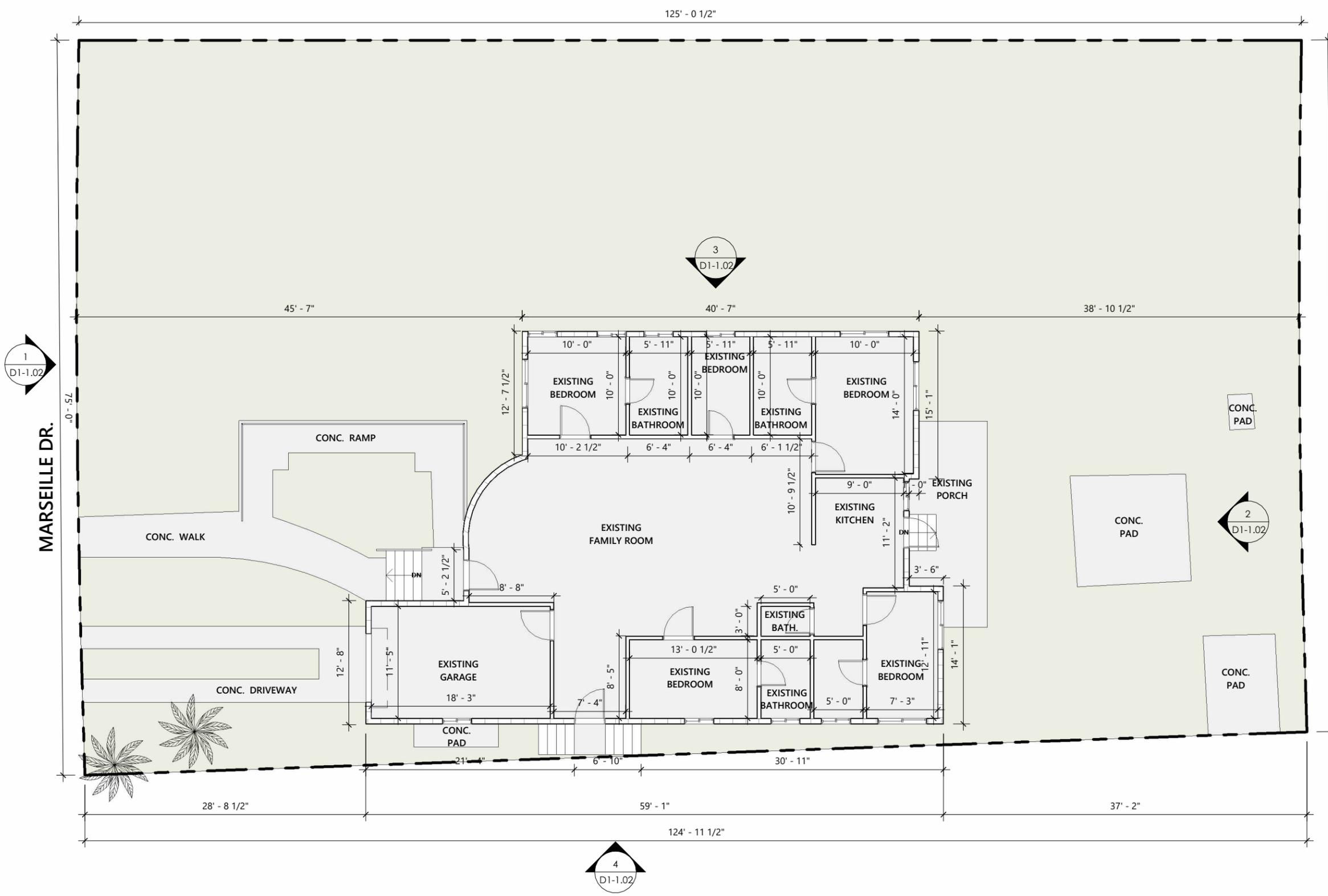
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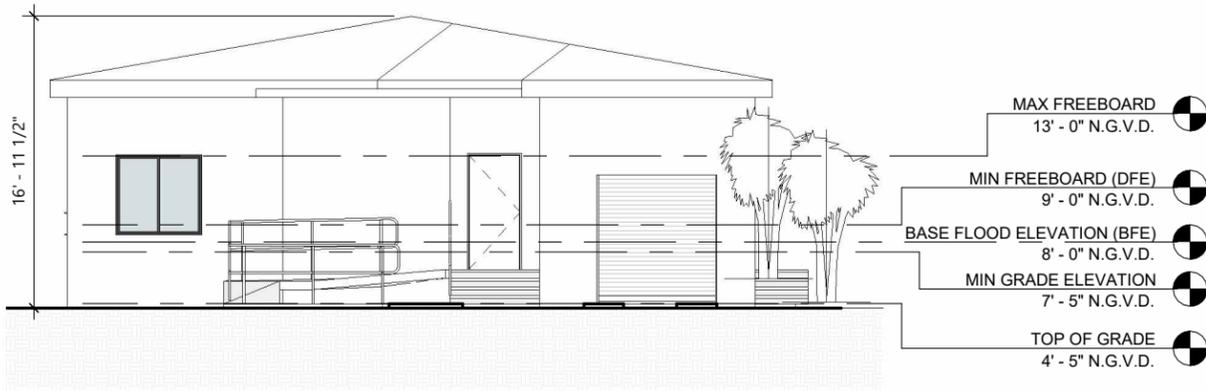
SHEET NO:

**D1-1.01**

9/6/2024 3:26:12 PM



**1** EXISTING GROUND LEVEL  
3/32" = 1'-0"

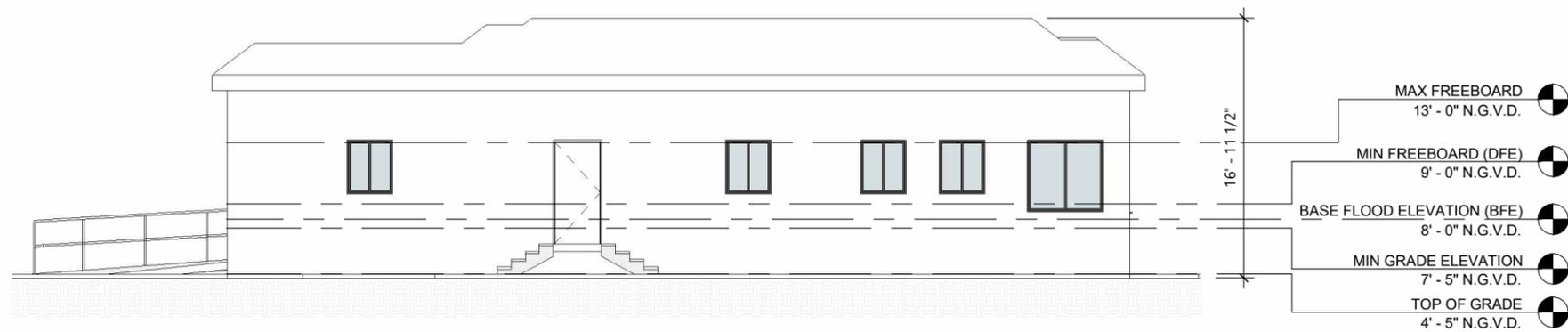


**1** EXISTING NORTH ELEVATION  
3/32" = 1'-0"

**2** EXISTING SOUTH ELEVATION  
3/32" = 1'-0"



**3** EXISTING EAST ELEVATION  
3/32" = 1'-0"



**4** EXISTING WEST ELEVATION  
3/32" = 1'-0"

PROJECT AND OWNER:  
**SANDBOX**

1974 MARSEILLE DR,  
MIAMI BEACH | FL | 33141  
1974MIAMIBEACHLLC  
3179 HOYLAKE RD  
LAKE WORTH | FL | 33467

ARCHITECT:

2030 HABERSHAM TRCE | CUMMING | GA 30041  
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AA#26003161



DESIGNER:



1555 NORTH PARK DRIVE #102 WESTON  
FL 33326  
954 850 9965  
ADMIN@REDOCTOPUSLLC.COM

**DRB SUBMITTAL**

PERMIT APPLICATION DATE: 09-08-24  
SHEET ISSUE DATE: 09-06-24  
PROJECT NO.: 2321  
DRAWN BY: AC APPROVED BY: YM


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CONSENT

SEAL:



SIGNATURE:  
RICARDO J. MUNIZ-GUILLET  
LIC# AR97841

SHEET TITLE:  
**EXISTING ELEVATIONS**

SCALE:

**N.T.S.**

SHEET NO:

**D1-1.02**

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PROJECT AND OWNER:  
**SANDBOX**

1974 MARSEILLE DR,  
MIAMI BEACH | FL | 33141  
1974MIAMIBEACHLLC  
3179 HOYLAK RD  
LAKE WORTH | FL | 33467

ARCHITECT:

2030 HABERSHAM TRCE | CUMMING | GA 30041  
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AA#26003161



DESIGNER:



1555 NORTH PARK DRIVE #102 WESTON  
FL 33326  
954 850 9965  
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**DRB SUBMITTAL**

PERMIT APPLICATION DATE: 09-08-24  
SHEET ISSUE DATE: 09-06-24  
PROJECT NO.: 2321  
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SEAL:



SIGNATURE:

RICARDO J. MUNIZ-GUILLET  
LIC# AR97841

SHEET TITLE:

**DEMO GROUND LEVEL PLAN**

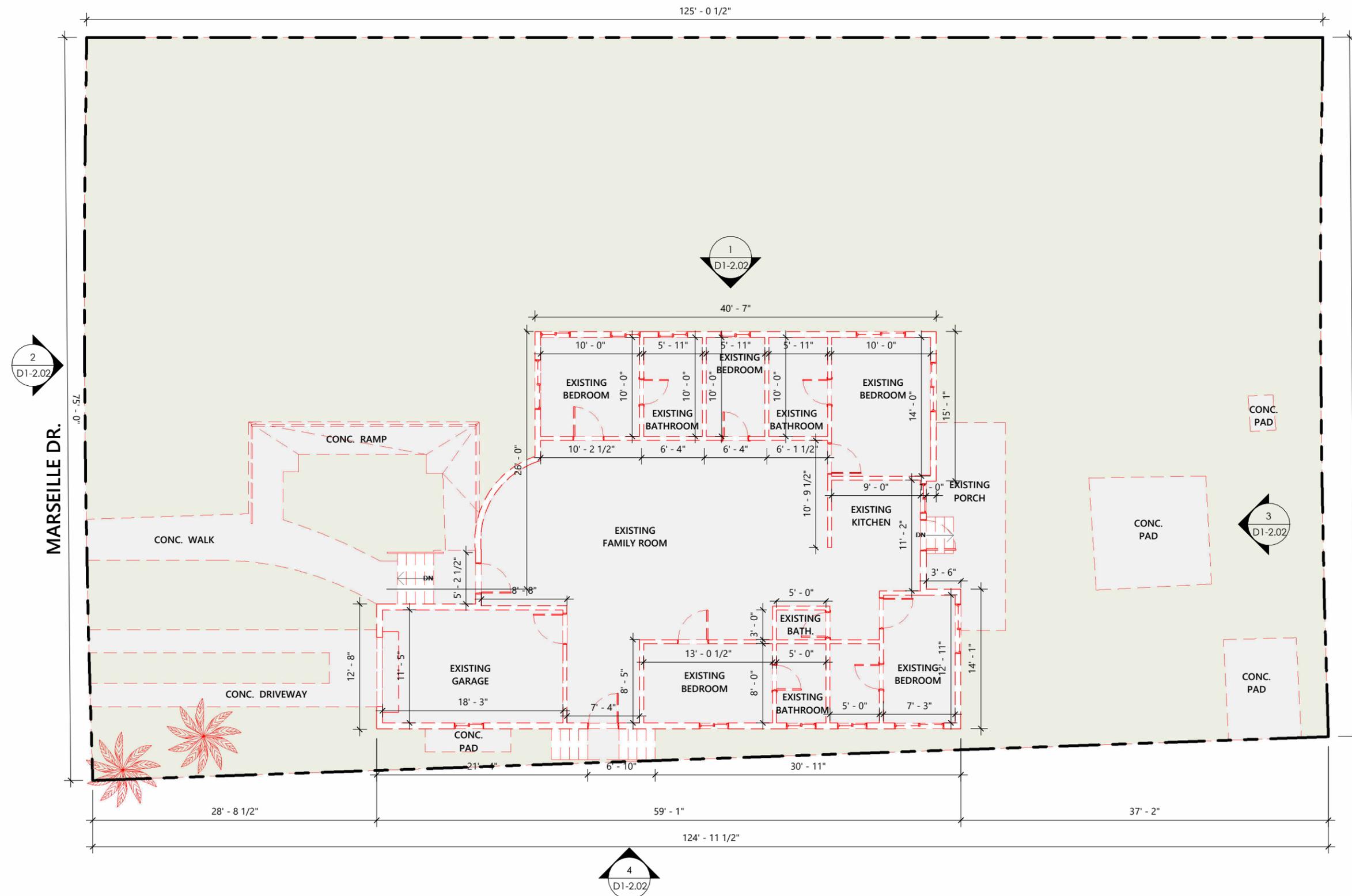
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SHEET NO:

**D1-2.01**

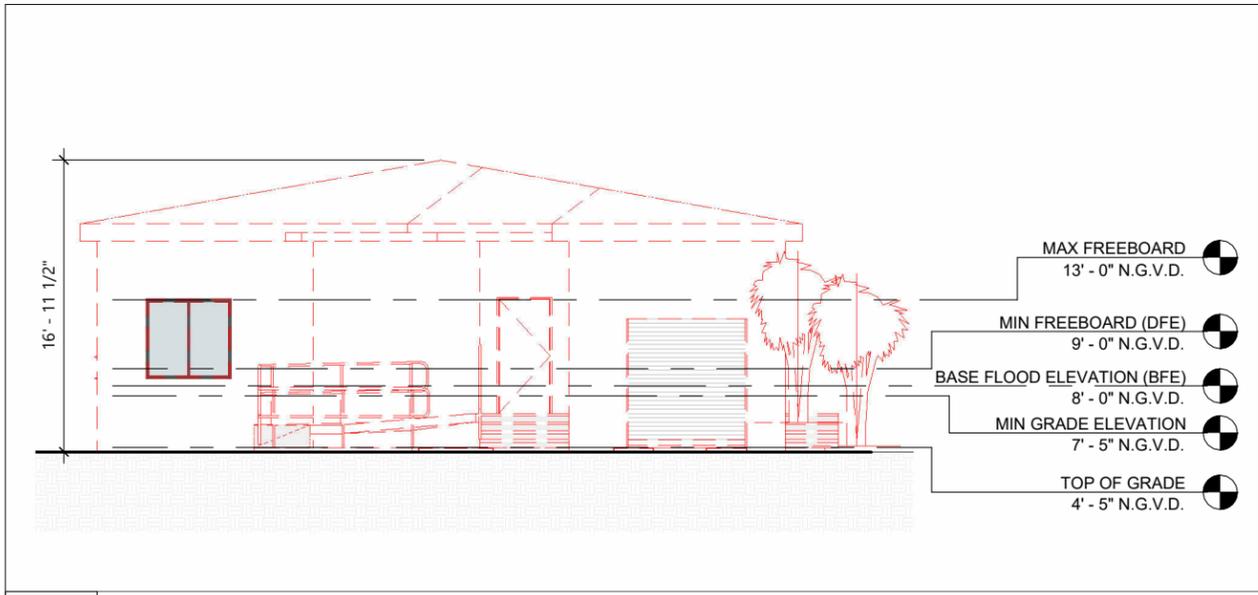
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**1**

DEMO GROUND LEVEL PLAN

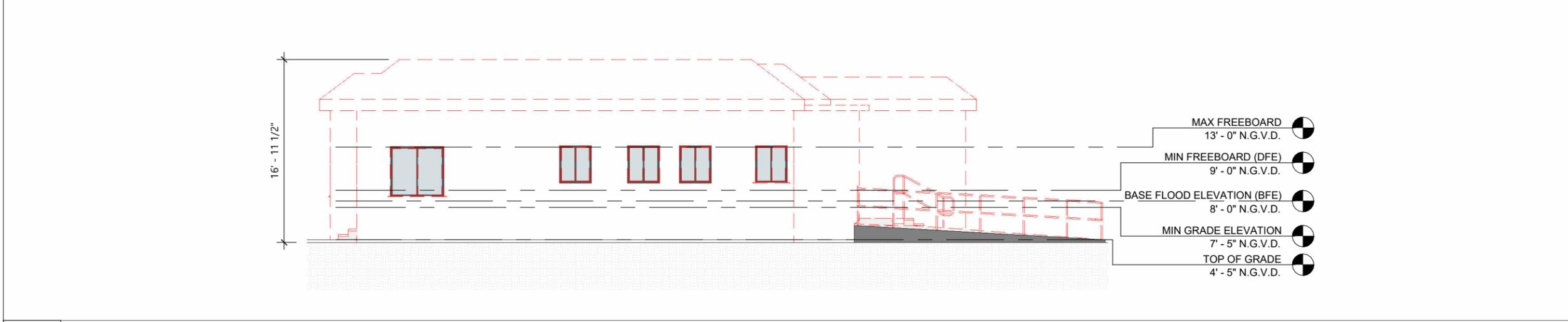
3/32" = 1'-0"



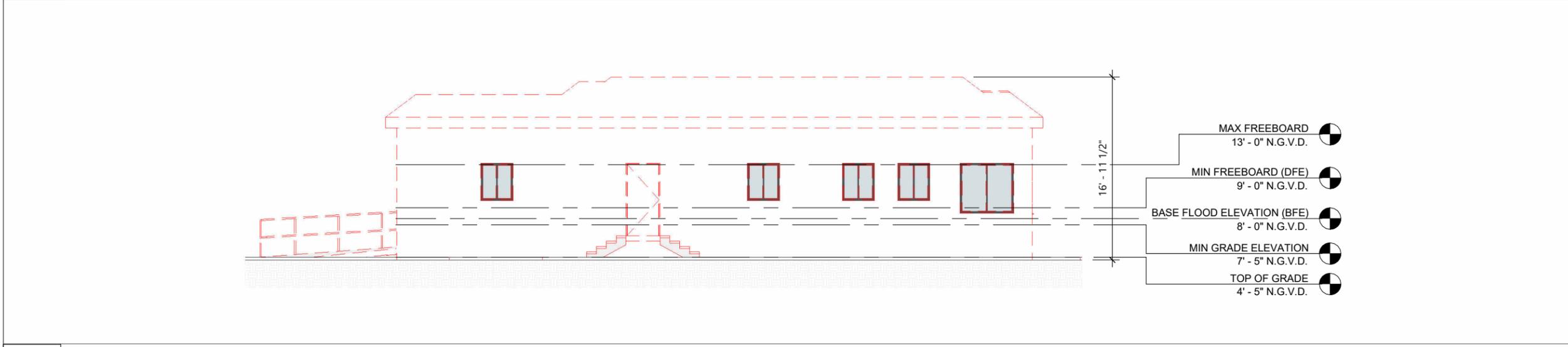
**2** DEMOLITION NORTH ELEVATION  
3/32" = 1'-0"



**3** DEMOLITION SOUTH ELEVATION  
3/32" = 1'-0"



**1** DEMOLITION EAST ELEVATION  
3/32" = 1'-0"



**4** DEMOLITION WEST ELEVATION  
3/32" = 1'-0"

**PROJECT AND OWNER:**  
**SANDBOX**  
 1974 MARSEILLE DR,  
 MIAMI BEACH | FL | 33141  
 1974MIAMIBEACHLLC  
 3179 HOYLAKE RD  
 LAKE WORTH | FL | 33467

**ARCHITECT:**  
 2030 HABERSHAM TRCE | CUMMING | GA 30041  
 954 812 6650  
 RICARDO@MUVEARCH.COM  
 AA#26003161

**DESIGNER:**

**RED OCTOPUS.LLC**  
 INTEGRAL ARCHITECTURAL SERVICES

1555 NORTH PARK DRIVE #102 WESTON  
 FL 33326  
 954 850 9965  
 ADMIN@REDOCTOPUSLLC.COM



**DRB SUBMITTAL**

PERMIT APPLICATION DATE:	09-08-24
SHEET ISSUE DATE:	09-06-24
PROJECT NO.:	2321
DRAWN BY:	AC
APPROVED BY:	YM

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SEAL:

SIGNATURE:  
 RICARDO J. MUNIZ-GUILLET  
 LIC# AR97841

SHEET TITLE:  
**DEMOLITION ELEVATION**

SCALE:  
**N.T.S.**

SHEET NO:  
**D1-2.02**

9/6/2024 3:26:16 PM

PROJECT AND OWNER:  
**SANDBOX**

1974 MARSEILLE DR,  
MIAMI BEACH | FL | 33141  
1974MIAMI BEACHLLC  
3179 HOYLAKA RD  
LAKE WORTH | FL | 33467

ARCHITECT:

2030 HABERSHAM TRCE | CUMMING | GA 30041  
954 812 6650  
RICARDO@MUVEARCH.COM  
AA#26003161



DESIGNER:



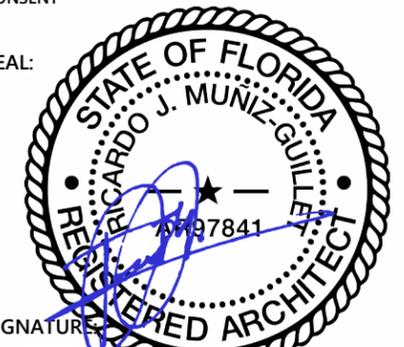
1555 NORTH PARK DRIVE #102 WESTON  
FL 33326  
954 850 9965  
ADMIN@REDOCTOPUSLLC.COM

**DRB SUBMITTAL**

PERMIT APPLICATION DATE: 09-08-24  
SHEET ISSUE DATE: 09-06-24  
PROJECT NO.: 2321  
DRAWN BY: AC APPROVED BY: YM


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SEAL:



SIGNATURE:  
RICARDO J. MUNIZ-GUILLET  
LIC# AR97841

SHEET TITLE:

**GROUND LEVEL-FLOOR PLAN**

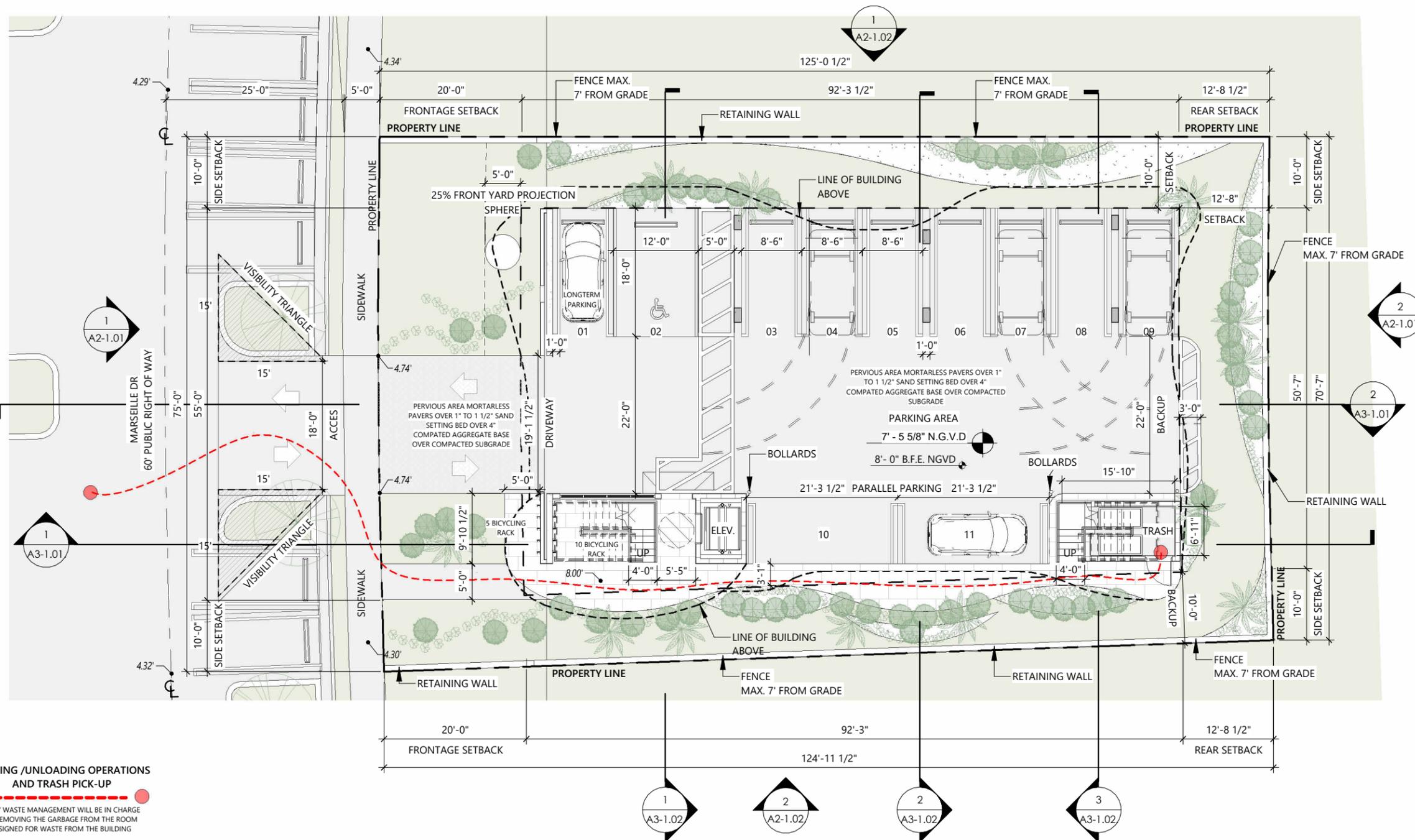
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SHEET NO.:

**A1-1.01.**

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**LOADING /UNLOADING OPERATIONS  
AND TRASH PICK-UP**  
\* CITY WASTE MANAGEMENT WILL BE IN CHARGE  
OF REMOVING THE GARBAGE FROM THE ROOM  
ASSIGNED FOR WASTE FROM THE BUILDING

**1** GROUND LEVEL - FLOOR PLAN  
1/16" = 1'-0"

**WALL LEGEND**

- 1** WALL TYPE 1  
TYPICAL NON LOAD BEARING 8" CMU WALL W/ VERTICAL REINFORCING. SEE STRUCTURE FOR DETAILS.
- 2** WALL TYPE 2  
EXTERIOR NON LOAD BEARING 8" CMU WALL W/ VERTICAL REINFORCING. SEE STRUCTURE FOR DETAILS.
- 3** WALL TYPE 3  
REINFORCED CONCRETE WALL. SEE STRUCTURE FOR DETAILS.
- 4** WALL TYPE 4  
TYPICAL 4" INTERIOR PARTITION NON-RATED.
- 5** WALL TYPE 5  
UNIT DEMISING PARTITION  
1 HR FIRE RATED.

PROJECT AND OWNER:  
**SANDBOX**

1974 MARSEILLE DR,  
MIAMI BEACH | FL | 33141  
1974MIAMIBEACHLLC  
3179 HOYLAKE RD  
LAKE WORTH | FL | 33467

ARCHITECT:

2030 HABERSHAM TRCE | CUMMING | GA 30041  
954 812 6650  
RICARDO@MUVEARCH.COM  
AA#26003161



DESIGNER:



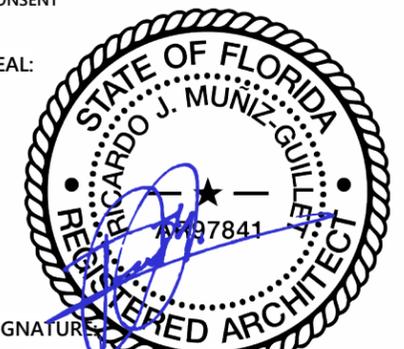
1555 NORTH PARK DRIVE #102 WESTON  
FL 33326  
954 850 9965  
ADMIN@REDOCTOPUSLLC.COM

**DRB SUBMITTAL**

PERMIT APPLICATION DATE: 09-08-24  
SHEET ISSUE DATE: 09-06-24  
PROJECT NO.: 2321  
DRAWN BY: AC APPROVED BY: YM


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CONSENT

SEAL:



SIGNATURE:  
RICARDO J. MUNIZ-GUILLET  
LIC# AR97841

SHEET TITLE:

**LEVEL 02 - FLOOR PLAN**

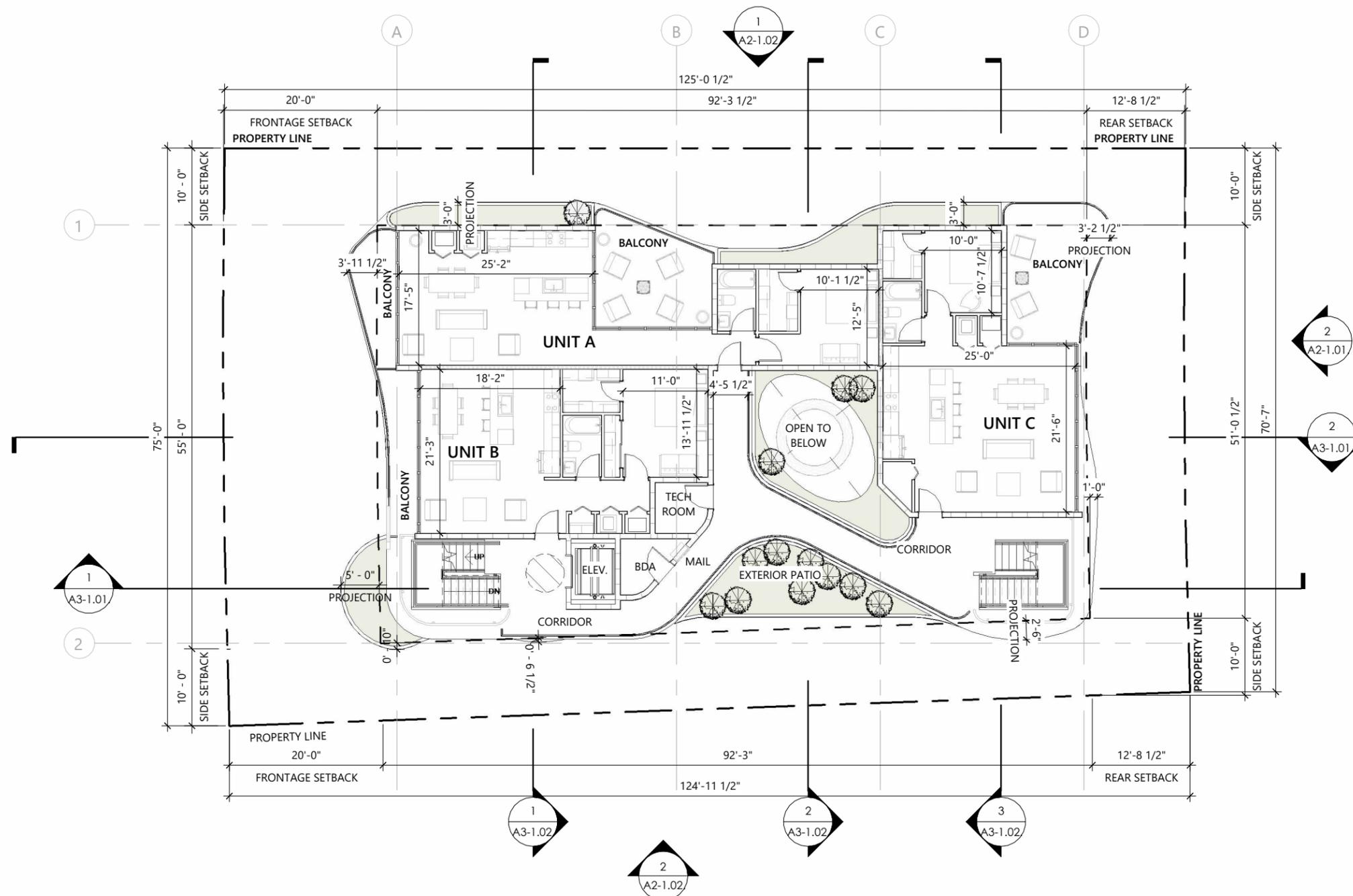
SCALE:

**N.T.S.**

SHEET NO.:

**A1-1.02.**

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**1** LEVEL 02 - FLOOR PLAN

1/16" = 1'-0"

**WALL LEGEND**



**WALL TYPE 1**  
TYPICAL NON LOAD BEARING 8" CMU WALL W/ VERTICAL REINFORCING. SEE STRUCTURE FOR DETAILS.



**WALL TYPE 3**  
REINFORCED CONCRETE WALL. SEE STRUCTURE FOR DETAILS.



**WALL TYPE 5**  
UNIT DEMISING PARTITION  
1 HR FIRE RATED.



**WALL TYPE 2**  
EXTERIOR NON LOAD BEARING 8" CMU WALL W/ VERTICAL REINFORCING. SEE STRUCTURE FOR DETAILS.



**WALL TYPE 4**  
TYPICAL 4" INTERIOR PARTITION NON-RATED.

PROJECT AND OWNER:  
**SANDBOX**

1974 MARSEILLE DR,  
MIAMI BEACH | FL | 33141  
1974MIAMIBEACHLLC  
3179 HOYLAKE RD  
LAKE WORTH | FL | 33467

ARCHITECT:

2030 HABERSHAM TRCE | CUMMING | GA 30041  
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AA#26003161



DESIGNER:



1555 NORTH PARK DRIVE #102 WESTON  
FL 33326  
954 850 9965  
ADMIN@REDOCTOPUSLLC.COM

**DRB SUBMITTAL**

PERMIT APPLICATION DATE: 09-08-24  
SHEET ISSUE DATE: 09-06-24  
PROJECT NO.: 2321  
DRAWN BY: AC APPROVED BY: YM


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CONSENT

SEAL:



SIGNATURE:  
RICARDO J. MUNIZ-GUILLET  
LIC# AR97841

SHEET TITLE:

**3RD-5TH LEVEL-FLOOR PLAN**

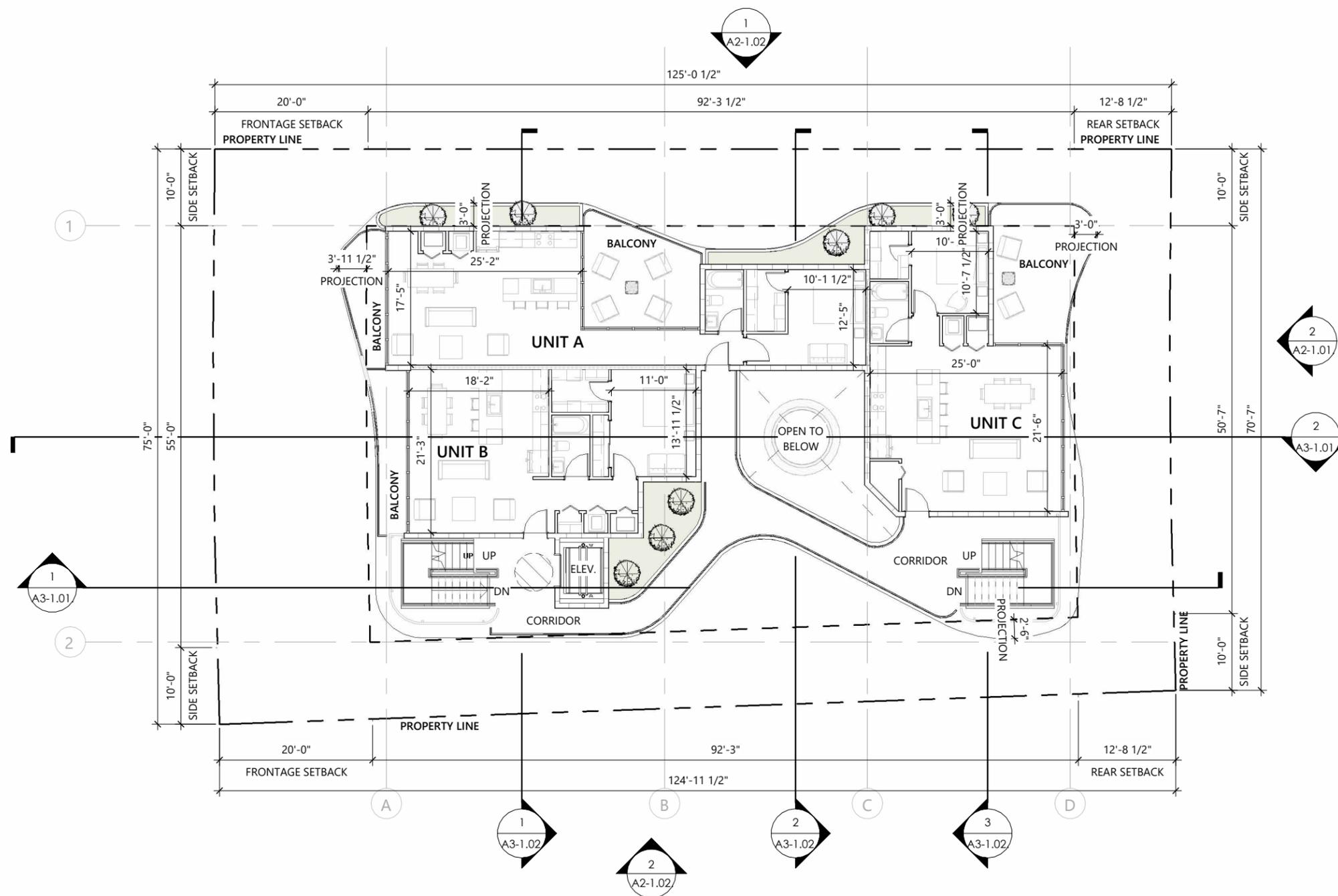
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SHEET NO.:

**A1-1.03.**

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**1**

LEVEL 03 - 05 - FLOOR PLAN

1/16" = 1'-0"

**WALL LEGEND**

- WALL TYPE 1**  
TYPICAL NON LOAD BEARING 8" CMU WALL W/ VERTICAL REINFORCING. SEE STRUCTURE FOR DETAILS.
- WALL TYPE 2**  
EXTERIOR NON LOAD BEARING 8" CMU WALL W/ VERTICAL REINFORCING. SEE STRUCTURE FOR DETAILS.

- WALL TYPE 3**  
REINFORCED CONCRETE WALL. SEE STRUCTURE FOR DETAILS.
- WALL TYPE 4**  
TYPICAL 4" INTERIOR PARTITION NON-RATED.

- WALL TYPE 5**  
UNIT DEMISING PARTITION  
1 HR FIRE RATED.

PROJECT AND OWNER:  
**SANDBOX**

1974 MARSEILLE DR,  
MIAMI BEACH | FL | 33141  
1974MIAMIBEACHLLC  
3179 HOYLAK RD  
LAKE WORTH | FL | 33467

ARCHITECT:

2030 HABERSHAM TRCE | CUMMING | GA 30041  
954 812 6650  
RICARDO@MUVEARCH.COM  
AA#26003161



DESIGNER:



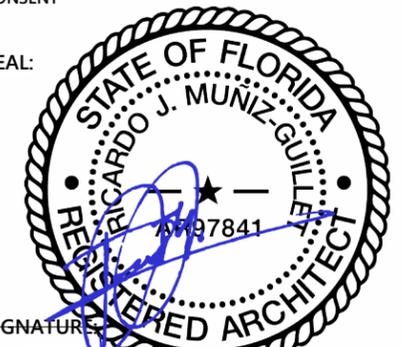
1555 NORTH PARK DRIVE #102 WESTON  
FL 33326  
954 850 9965  
ADMIN@REDOCTOPUSLLC.COM

**DRB SUBMITTAL**

PERMIT APPLICATION DATE: 09-08-24  
SHEET ISSUE DATE: 09-06-24  
PROJECT NO.: 2321  
DRAWN BY: AC APPROVED BY: YM


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CONSENT

SEAL:



SIGNATURE:  
RICARDO J. MUNIZ-GUILLET  
LIC# AR97841

SHEET TITLE:

**TOP OF ROOF**

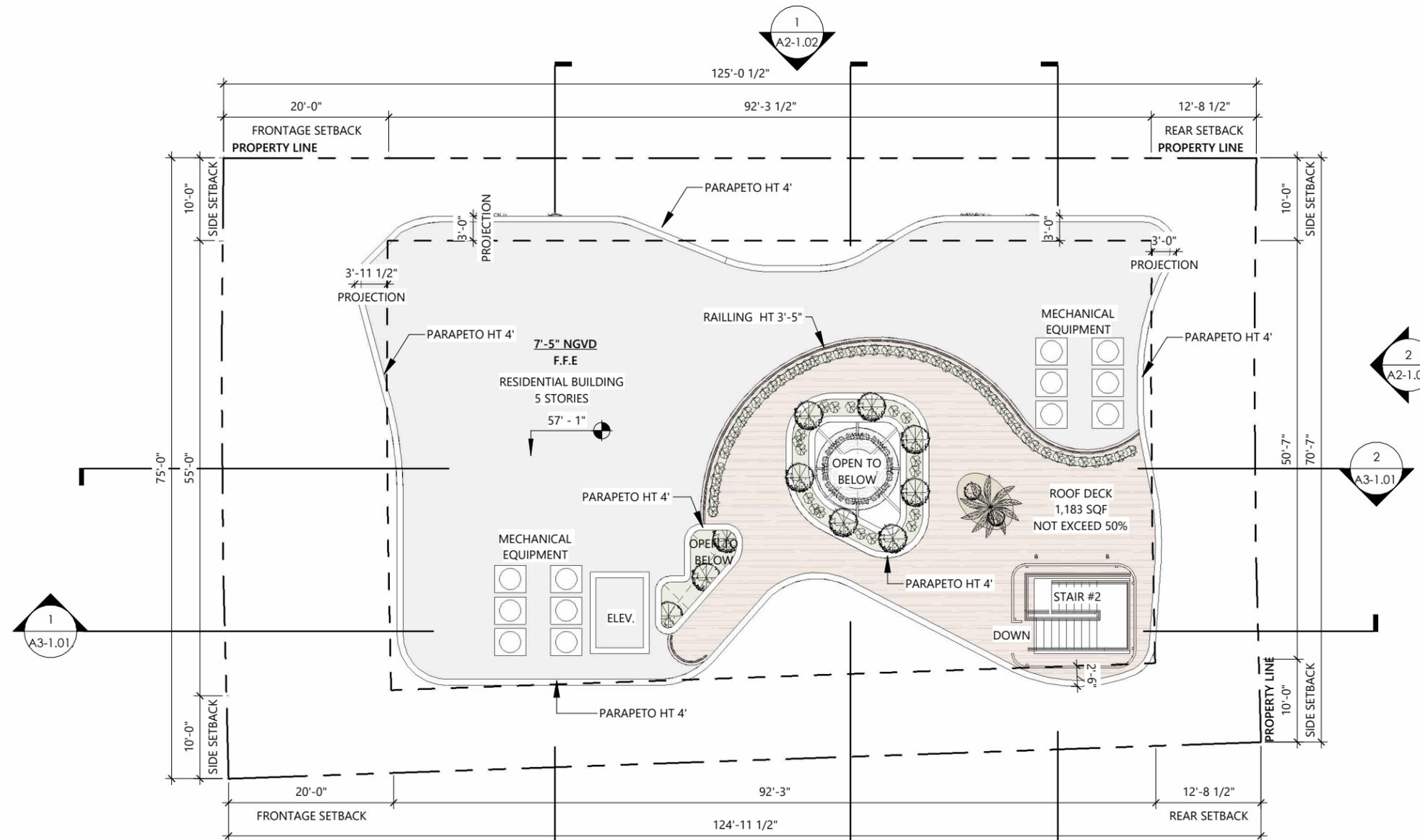
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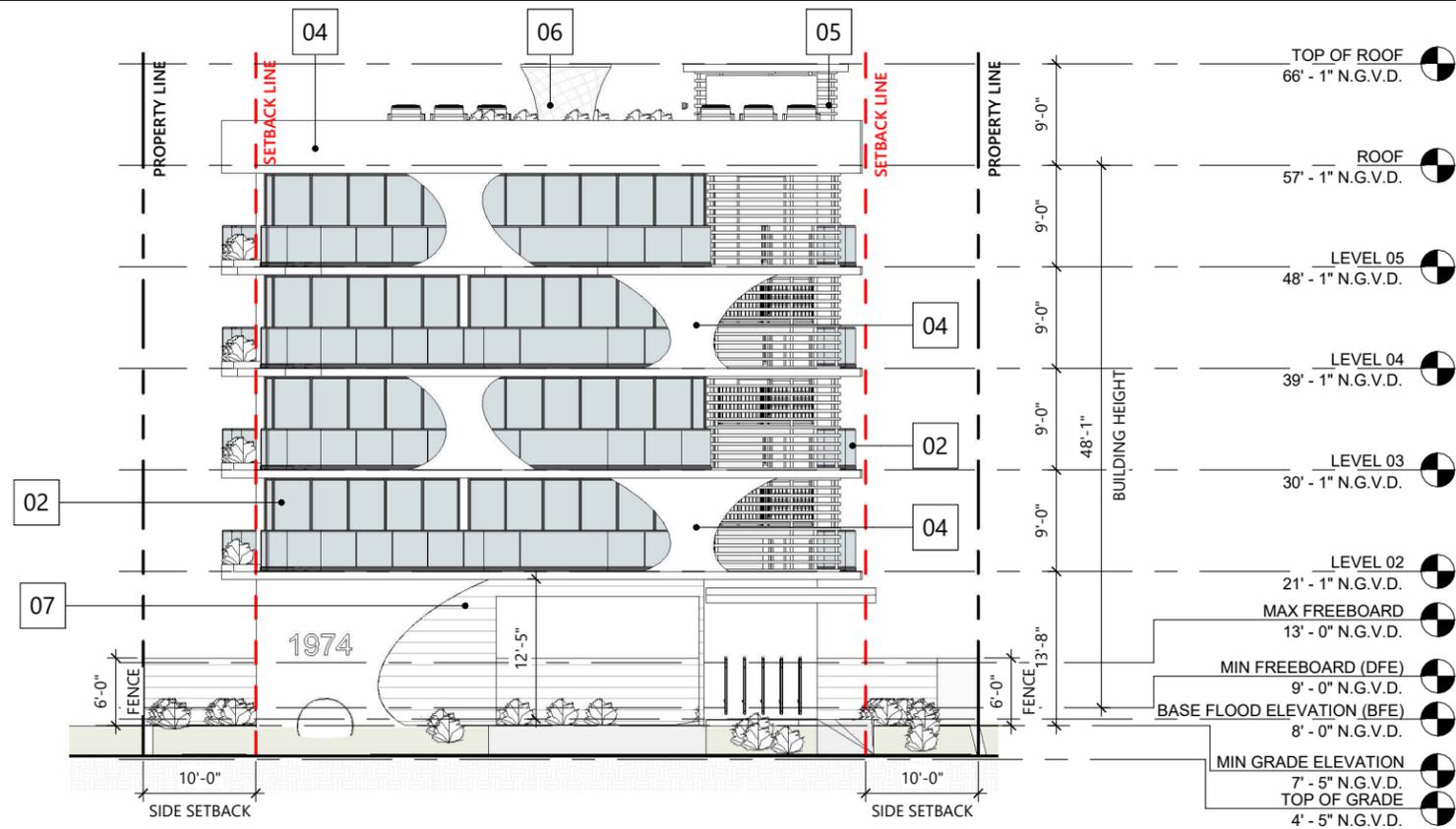
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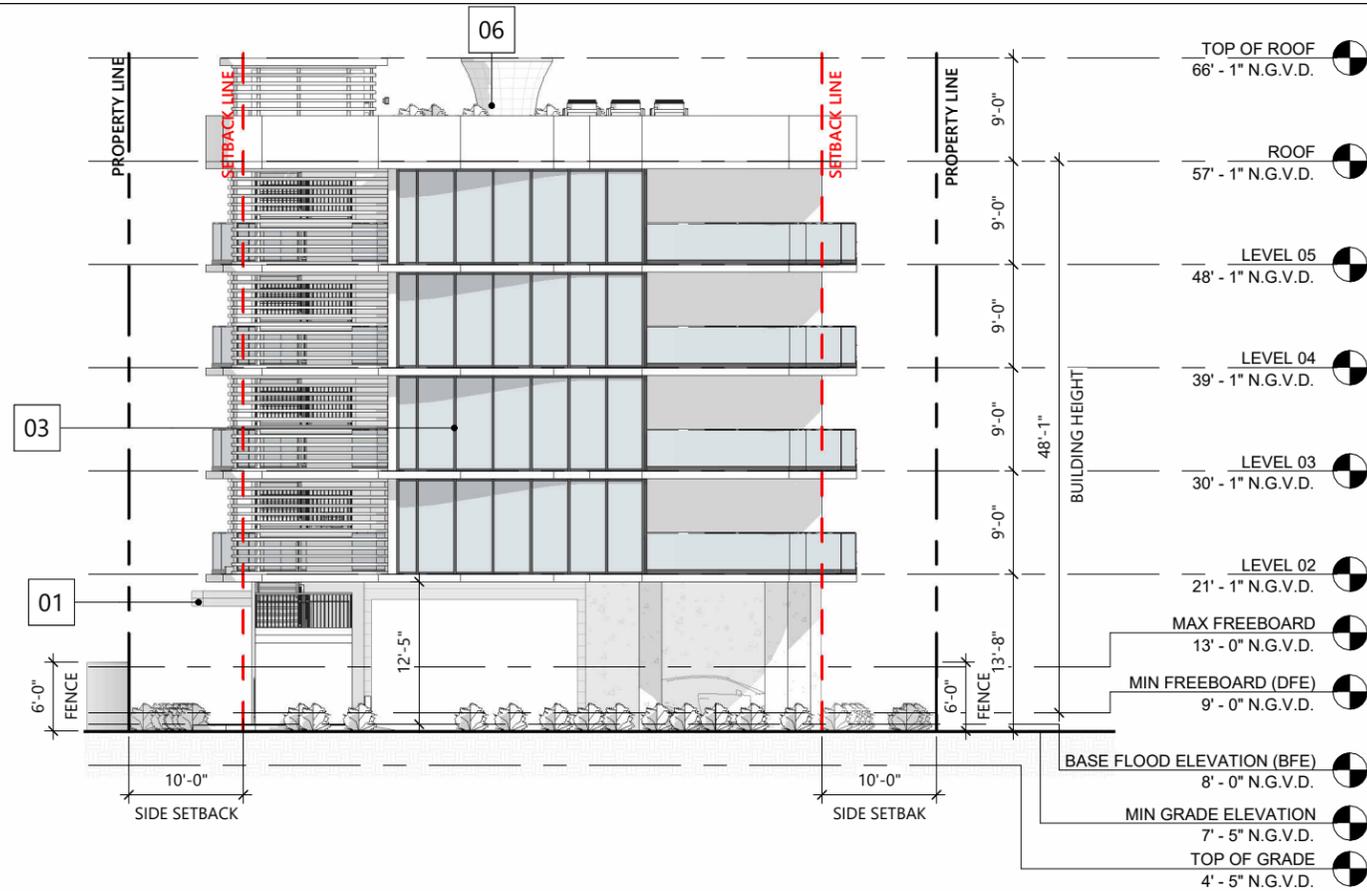
**1** ROOF LEVEL  
1/16" = 1'-0"

**WALL LEGEND**

- 1** **WALL TYPE 1**  
TYPICAL NON LOAD BEARING 8" CMU WALL W/ VERTICAL REINFORCING. SEE STRUCTURE FOR DETAILS.
- 3** **WALL TYPE 3**  
REINFORCED CONCRETE WALL. SEE STRUCTURE FOR DETAILS.
- 5** **WALL TYPE 5**  
UNIT DEMISING PARTITION  
1 HR FIRE RATED.
- 2** **WALL TYPE 2**  
EXTERIOR NON LOAD BEARING 8" CMU WALL W/ VERTICAL REINFORCING. SEE STRUCTURE FOR DETAILS.
- 4** **WALL TYPE 4**  
TYPICAL 4" INTERIOR PARTITION NON-RATED.



**1** NORTH ELEVATION  
1/16" = 1'-0"



**2** SOUTH ELEVATION  
1/16" = 1'-0"

**MATERIAL LEGEND**

	<b>1</b> EXPOSED CONCRETE
	<b>2</b> LAMINATED GLASS
	<b>3</b> ALUMINUM FRAMING
	<b>4</b> CAST IN PLACE CONCRETE LIGHT
	<b>5</b> ALUMINUM TUBING SQUARE METAL 3"x3"
	<b>6</b> ROPE SYSTEM
	<b>7</b> WHITE WOOD TEXTURE CLADDING
	<b>8</b>
	<b>9</b>
	<b>10</b>
	<b>11</b>
	<b>12</b>

**PROJECT AND OWNER:**  
**SANDBOX**

1974 MARSEILLE DR,  
MIAMI BEACH | FL | 33141  
1974MIAMIBEACHLLC  
3179 HOYLAK RD  
LAKE WORTH | FL | 33467

**ARCHITECT:**

2030 HABERSHAM TRCE | CUMMING | GA 30041  
954 812 6650  
RICARDO@MUVEARCH.COM  
AA#26003161



**DESIGNER:**



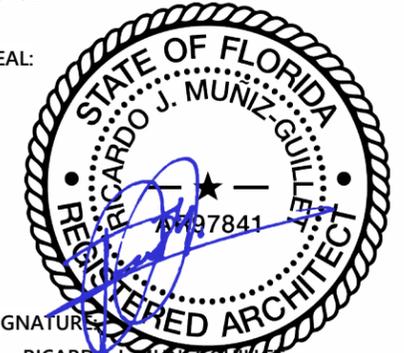
1555 NORTH PARK DRIVE #102 WESTON  
FL 33326  
954 850 9965  
ADMIN@REDOCTOPUSLLC.COM

**DRB SUBMITTAL**

PERMIT APPLICATION DATE: 09-08-24  
SHEET ISSUE DATE: 09-06-24  
PROJECT NO.: 2321  
DRAWN BY: AC APPROVED BY: YM


ALL DRAWINGS AND WRITTEN MATERIALS HEREIN  
CONSTITUTE ORIGINAL WORK OF THE DESIGNER AND  
MAY ONLY BE DUPLICATED WITH THEIR WRITTEN  
CONSENT

**SEAL:**



SIGNATURE:  
RICARDO J. MUNIZ-GUILLET  
LIC# AR97841

**SHEET TITLE:**

**NORTH & SOUTH ELEVATION**

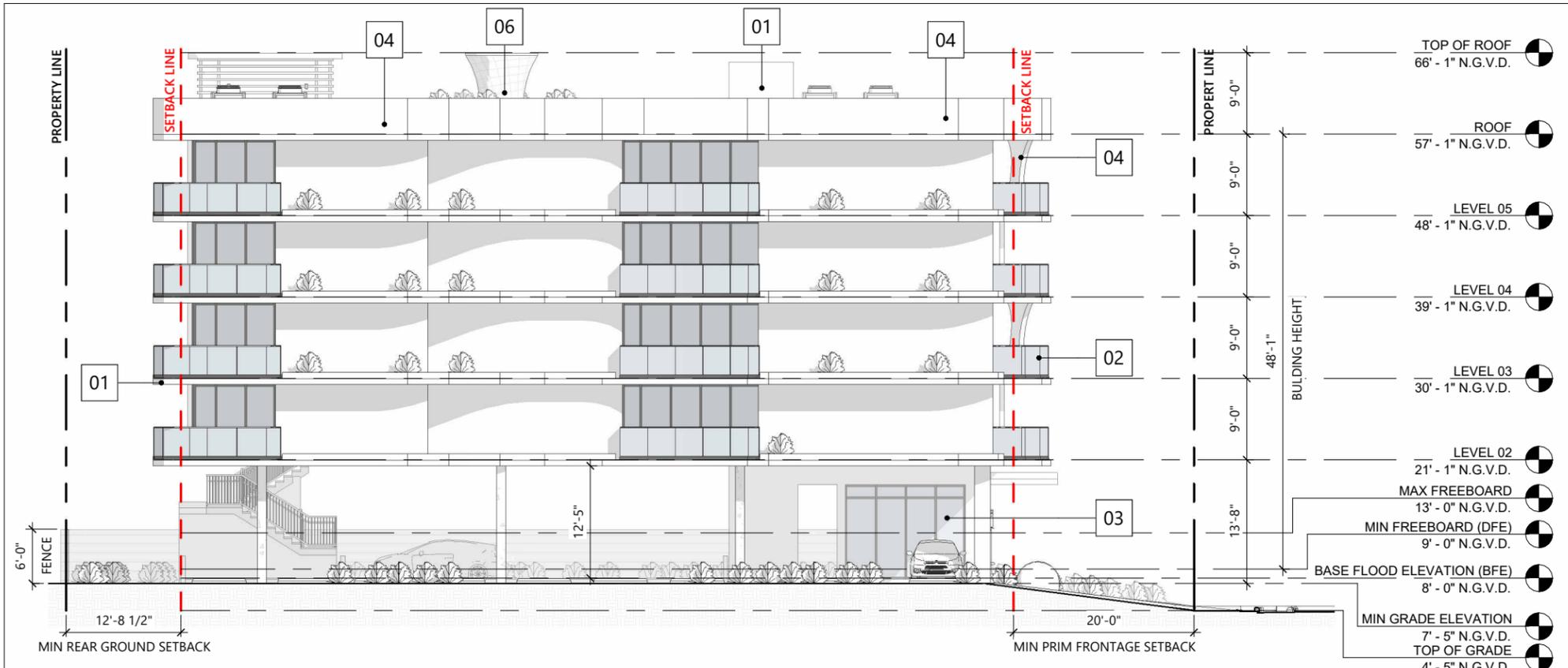
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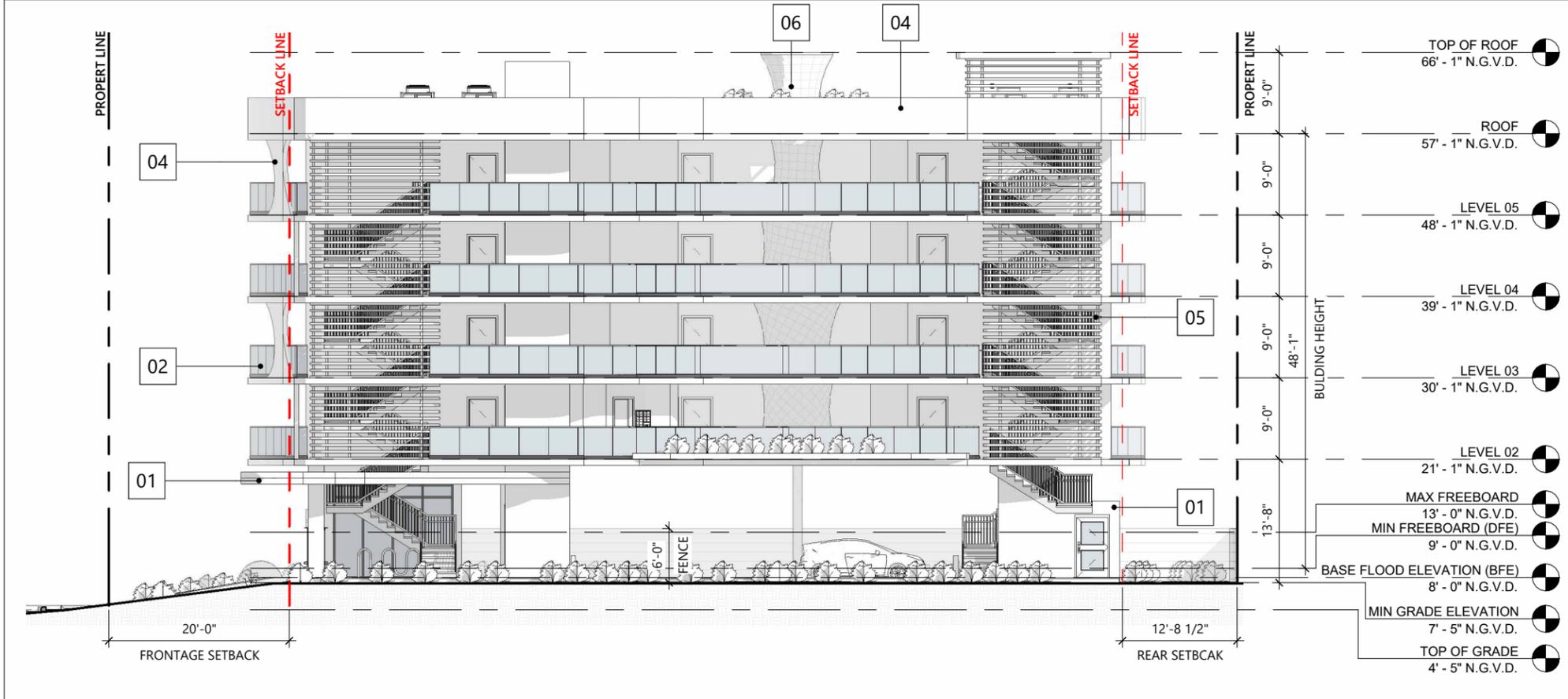
**SHEET NO.:**

**A2-1.01.**

9/6/2024 3:26:27 PM



**1** EAST ELEVATION  
1/16" = 1'-0"



**2** WEST ELEVATION  
1/16" = 1'-0"

**MATERIAL LEGEND**

	<b>1</b> EXPOSED CONCRETE
	<b>2</b> LAMINATED GLASS
	<b>3</b> ALUMINUM FRAMING
	<b>4</b> CAST IN PLACE CONCRETE LIGHT
	<b>5</b> ALUMINUM TUBING SQUARE METAL 3"X3"
	<b>6</b> ROPE SYSTEM
	<b>7</b> WHITE WOOD TEXTURE CLADDING
	<b>8</b>
	<b>9</b>
	<b>10</b>
	<b>11</b>
	<b>12</b>

**PROJECT AND OWNER:**  
**SANDBOX**  
 1974 MARSEILLE DR,  
 MIAMI BEACH | FL | 33141  
 1974MIAMI BEACH LLC  
 3179 HOYLAK RD  
 LAKE WORTH | FL | 33467  
**ARCHITECT:**  
 2030 HABERSHAM TRCE | CUMMING | GA 30041  
 954 812 6650  
 RICARDO@MUVEARCH.COM  
 AA#26003161  
  
**DESIGNER:**  
  
 1555 NORTH PARK DRIVE #102 WESTON  
 FL 33326  
 954 850 9965  
 ADMIN@REDOCTOPUSLLC.COM

**DRB SUBMITTAL**

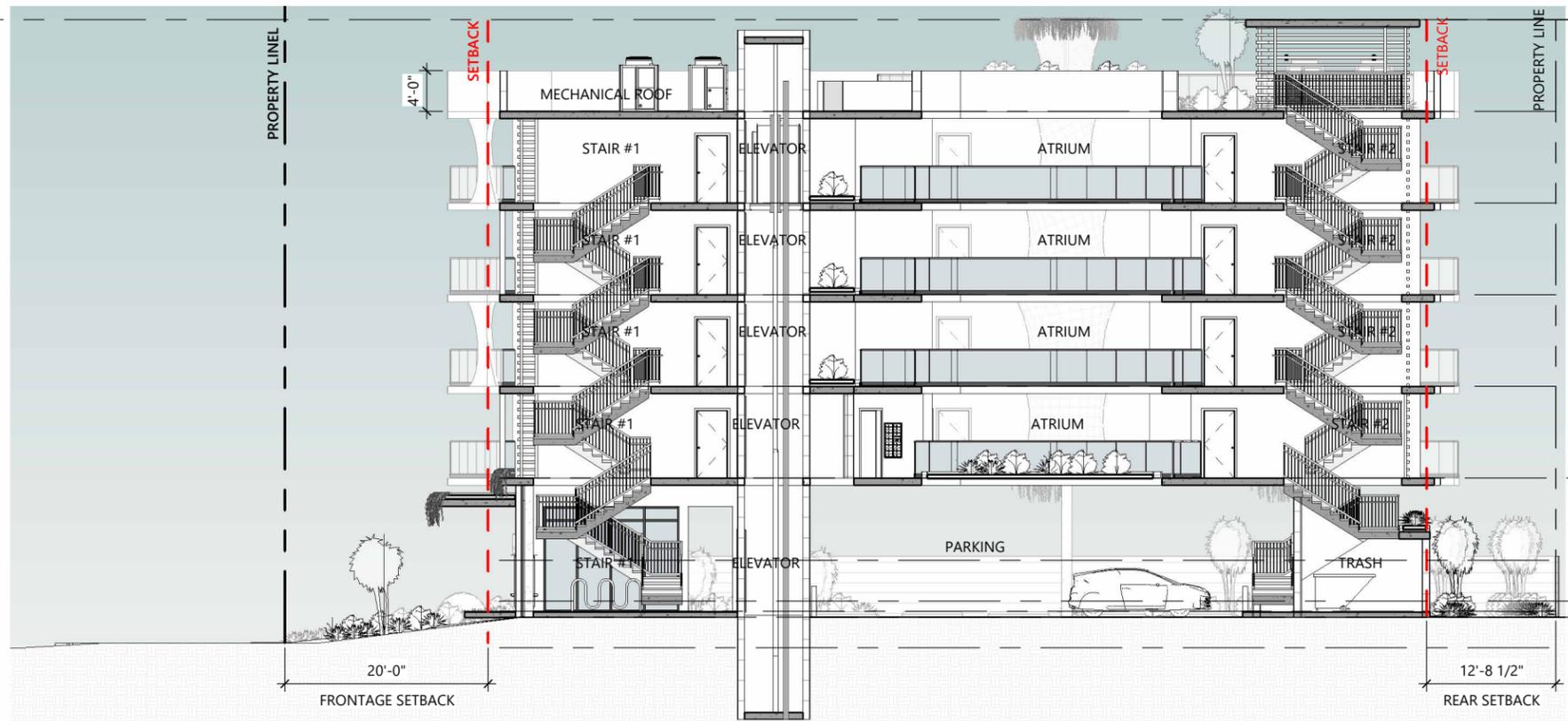
PERMIT APPLICATION DATE: 09-08-24  
 SHEET ISSUE DATE: 09-06-24  
 PROJECT NO.: 2321  
 DRAWN BY: AC APPROVED BY: YM

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SEAL:  
  
 SIGNATURE:  
 RICARDO J. MUNIZ-GUILLET  
 LIC# AR97841

SHEET TITLE:  
**EAST & WEST ELEVATION**  
 SCALE:  
**N.T.S.**  
 SHEET NO:  
**A2-1.02.**  
 9/6/2024 3:26:35 PM



- TOP OF ROOF 66' - 1" N.G.V.D.
- ROOF 57' - 1" N.G.V.D.
- LEVEL 05 48' - 1" N.G.V.D.
- LEVEL 04 39' - 1" N.G.V.D.
- LEVEL 03 30' - 1" N.G.V.D.
- LEVEL 02 21' - 1" N.G.V.D.
- MAX FREEBOARD 13' - 0" N.G.V.D.
- MIN FREEBOARD (DFE) 9' - 0" N.G.V.D.
- BASE FLOOD ELEVATION (BFE) 8' - 0" N.G.V.D.
- MIN GRADE ELEVATION 7' - 5" N.G.V.D.
- TOP OF GRADE 4' - 5" N.G.V.D.

**PROJECT AND OWNER:**  
**SANDBOX**

1974 MARSEILLE DR,  
MIAMI BEACH | FL | 33141  
1974MIAMIBEACHLLC  
3179 HOYLAKA RD  
LAKE WORTH | FL | 33467

**ARCHITECT:**  
2030 HABERSHAM TRCE | CUMMING | GA 30041  
954 812 6650  
RICARDO@MUVEARCH.COM  
AA#26003161



**DESIGNER:**  
**REDOCTOPUS.LLC**  
INTEGRAL ARCHITECTURAL SERVICES  
1555 NORTH PARK DRIVE #102 WESTON  
FL 33326  
954 850 9965  
ADMIN@REDOCTOPUSLLC.COM

**DRB SUBMITTAL**

PERMIT APPLICATION DATE: 09-08-24  
SHEET ISSUE DATE: 09-06-24  
PROJECT NO.: 2321  
DRAWN BY: AC APPROVED BY: YM


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SIGNATURE:  
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LIC# AR97841

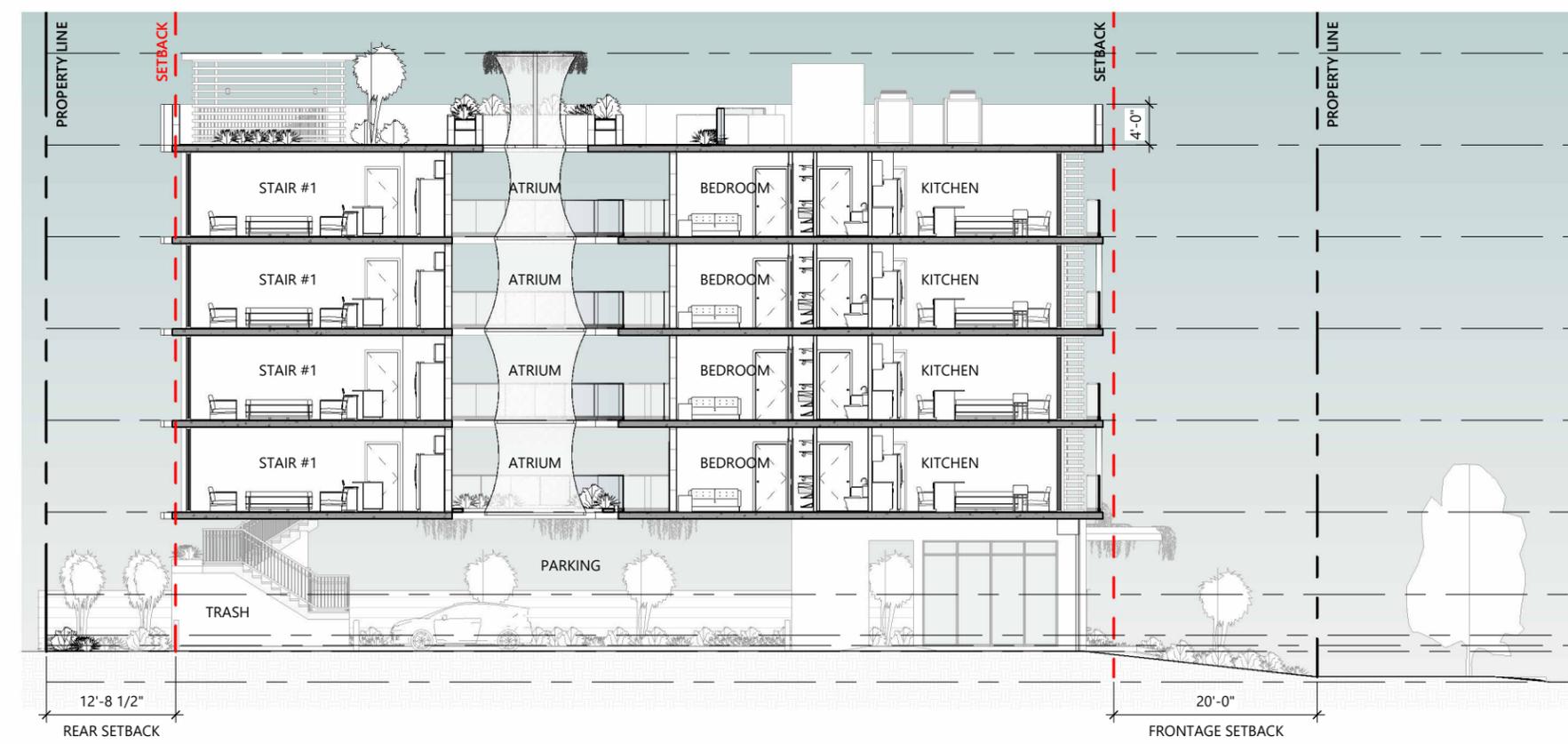
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**LONGITUDINAL SECTION**

SCALE:  
**N.T.S.**

SHEET NO.:  
**A3-1.01.**

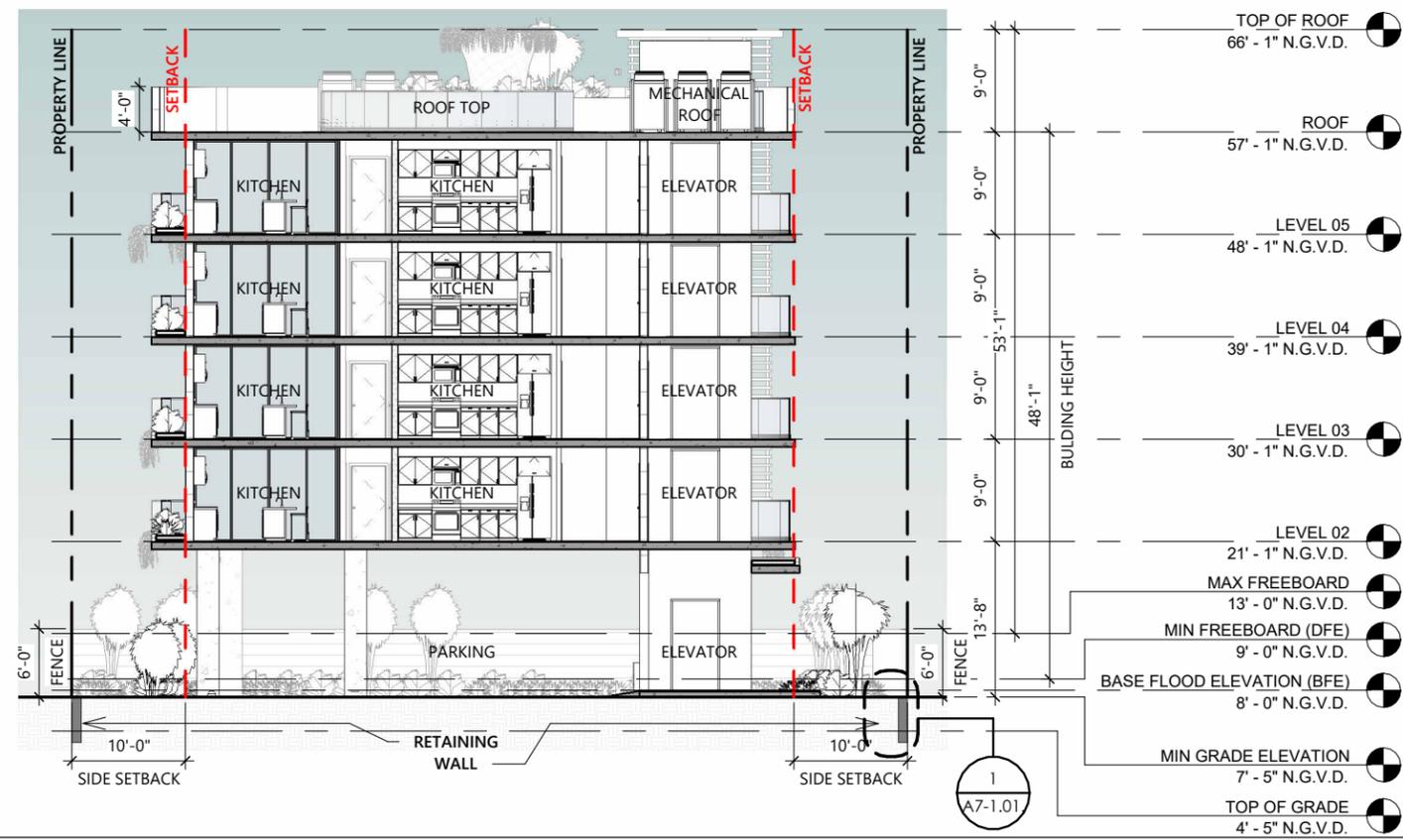
9/6/2024 3:26:38 PM

**1** LONGITUDINAL SECTION 01  
1/16" = 1'-0"



- TOP OF ROOF 66' - 1" N.G.V.D.
- ROOF 57' - 1" N.G.V.D.
- LEVEL 05 48' - 1" N.G.V.D.
- LEVEL 04 39' - 1" N.G.V.D.
- LEVEL 03 30' - 1" N.G.V.D.
- LEVEL 02 21' - 1" N.G.V.D.
- MAX FREEBOARD 13' - 0" N.G.V.D.
- MIN FREEBOARD (DFE) 9' - 0" N.G.V.D.
- BASE FLOOD ELEVATION (BFE) 8' - 0" N.G.V.D.
- MIN GRADE ELEVATION 7' - 5" N.G.V.D.
- TOP OF GRADE 4' - 5" N.G.V.D.

**2** LONGITUDINAL SECTION 02  
1/16" = 1'-0"



PROJECT AND OWNER:  
**SANDBOX**

1974 MARSEILLE DR,  
MIAMI BEACH | FL | 33141  
1974MIAMIBEACHLLC  
3179 HOYLAKA RD  
LAKE WORTH | FL | 33467

ARCHITECT:

2030 HABERSHAM TRCE | CUMMING | GA 30041  
954 812 6650  
RICARDO@MUVEARCH.COM  
AA#26003161



DESIGNER:

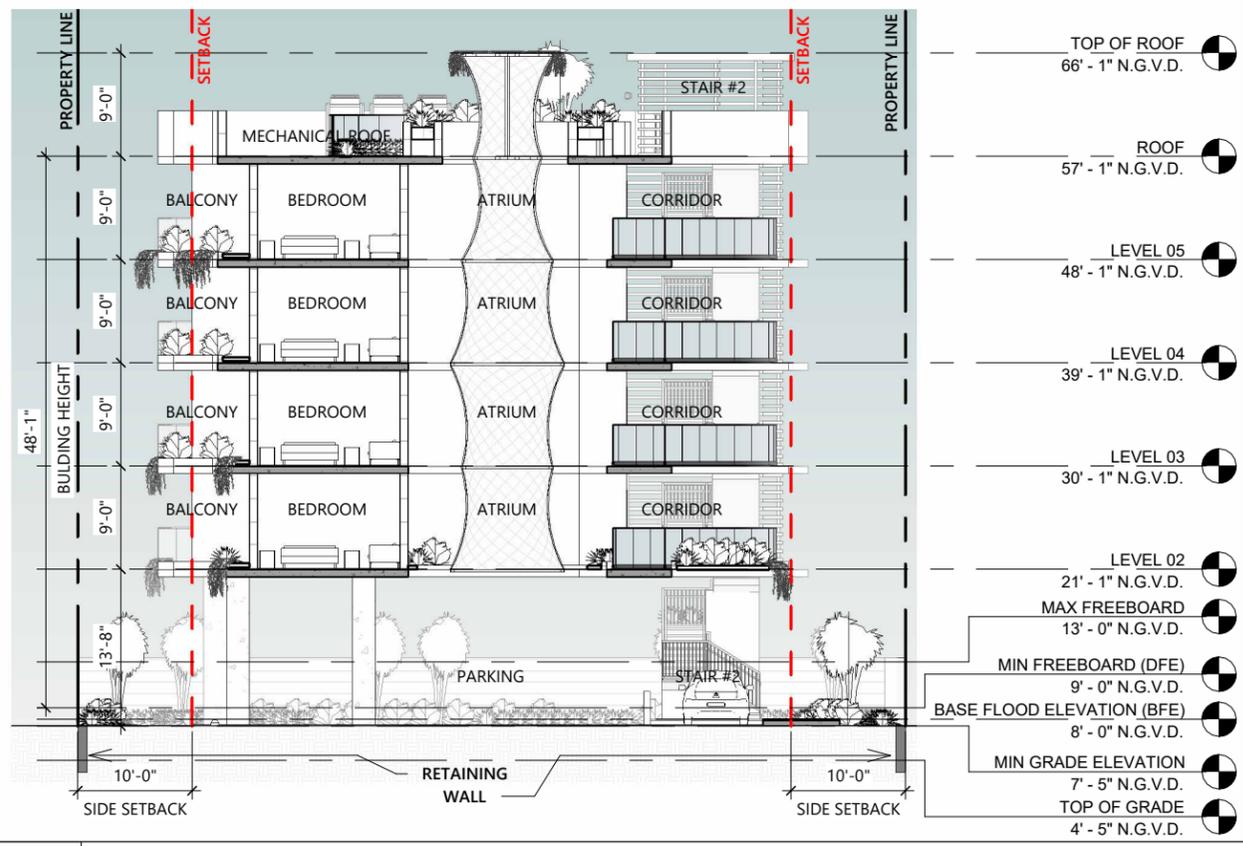


1555 NORTH PARK DRIVE #102 WESTON  
FL 33326  
954 850 9965  
ADMIN@REDOCTOPUSLLC.COM

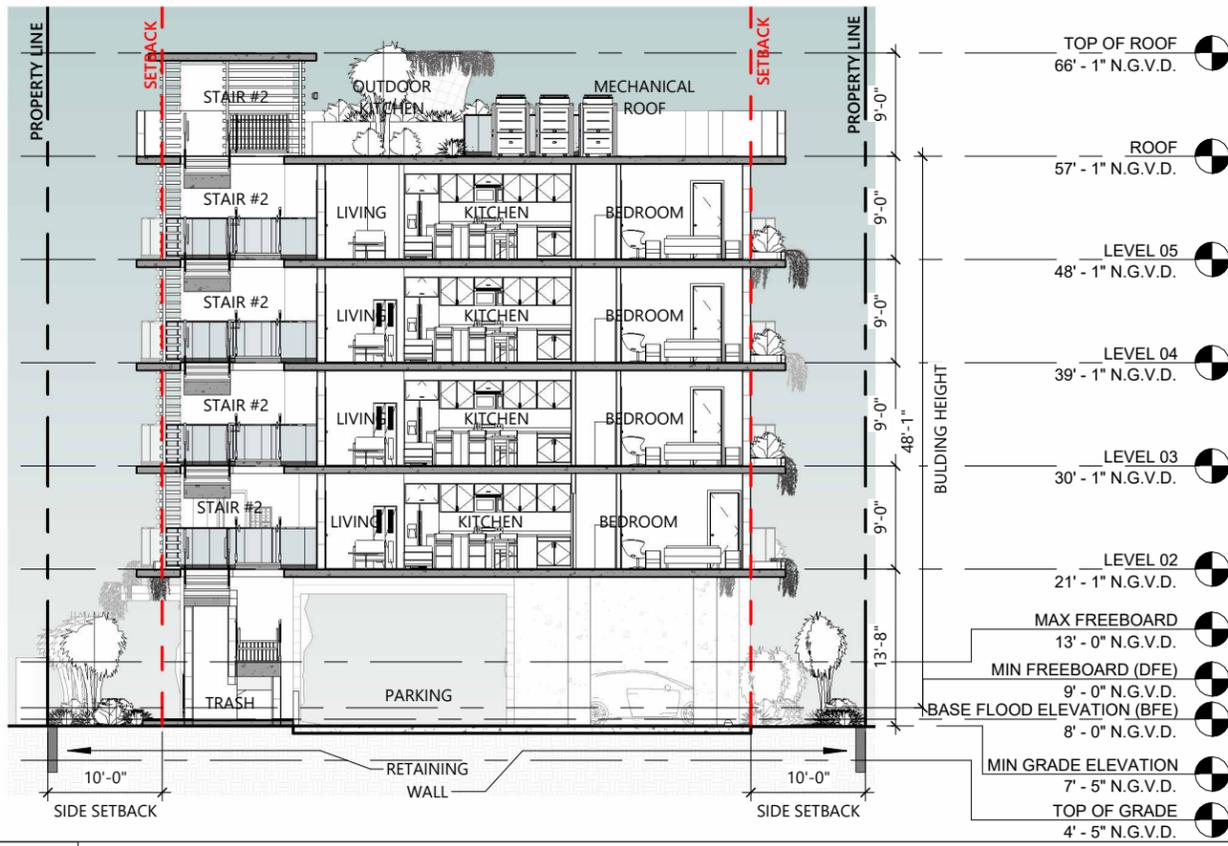
**DRB SUBMITTAL**

PERMIT APPLICATION DATE: 09-08-24  
SHEET ISSUE DATE: 09-06-24  
PROJECT NO.: 2321  
DRAWN BY: AC APPROVED BY: YM

**1** CROSS SECTION 01  
1/16" = 1'-0"

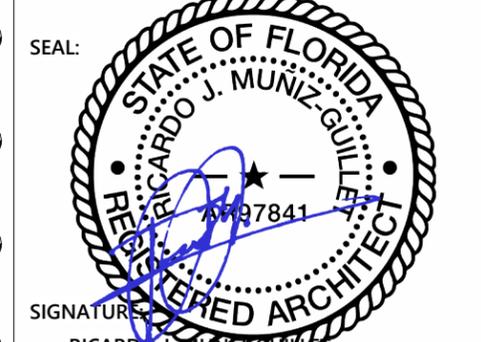


**2** CROSS SECTION 02  
1/16" = 1'-0"



**3** CROSS SECTION 03  
1/16" = 1'-0"


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LIC# AR97841

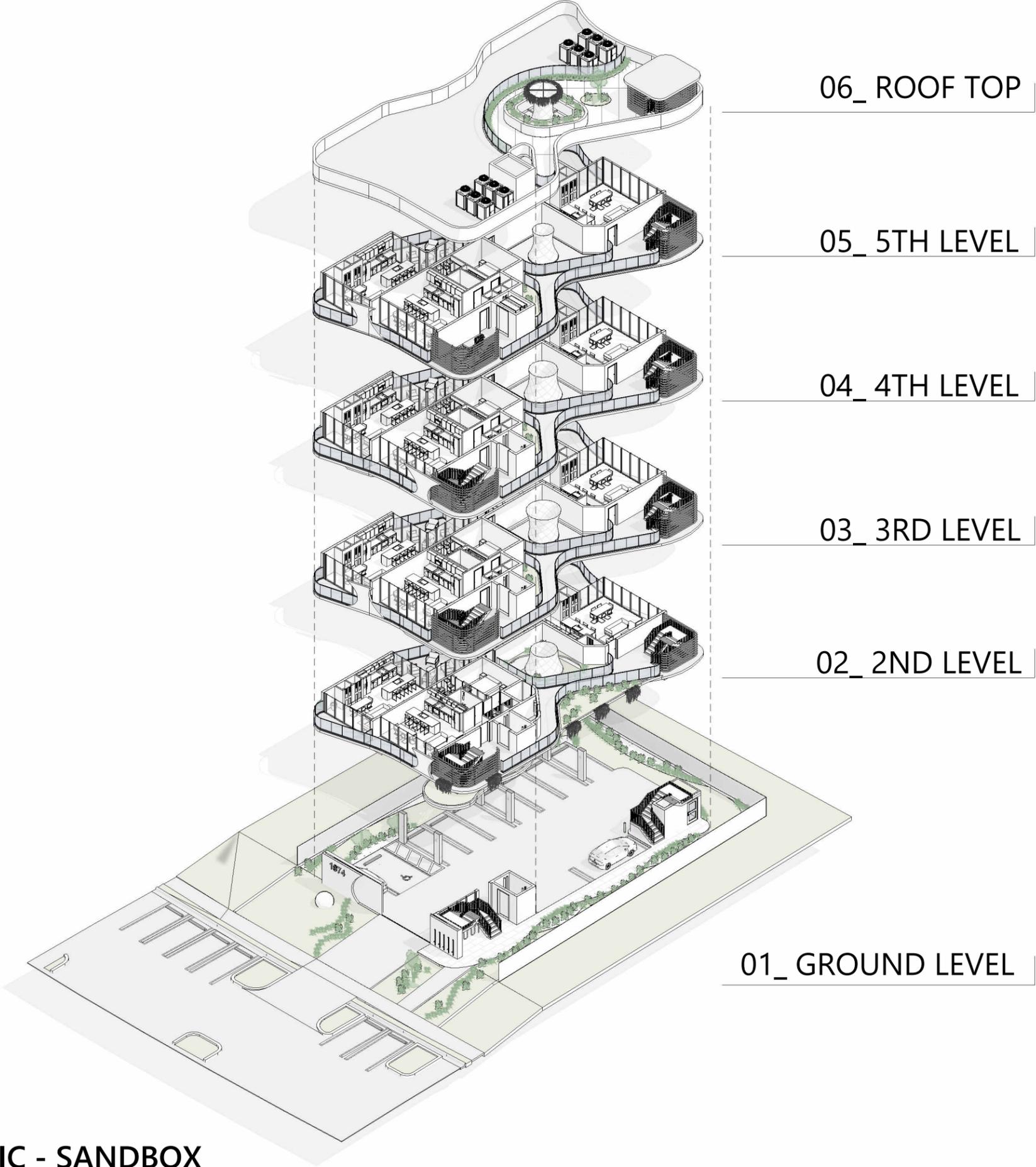
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SCALE: **N.T.S.**

SHEET NO: **A3-1.02.**

9/6/2024 3:26:42 PM

**EXPLOTED AXONOMETRIC - SANDBOX**



**PROJECT AND OWNER:  
SANDBOX**

1974 MARSEILLE DR,  
MIAMI BEACH | FL | 33141  
1974MIAMIBEACHLLC  
3179 HOYLAKE RD  
LAKE WORTH | FL | 33467

**ARCHITECT:**  
2030 HABERSHAM TRCE | CUMMING | GA 30041  
954 812 6650  
RICARDO@MUVEARCH.COM  
AA#26003161



**DESIGNER:**  
  
1555 NORTH PARK DRIVE #102 WESTON  
FL 33326  
954 850 9965  
ADMIN@REDOCTOPUSLLC.COM

**DRB SUBMITTAL**

PERMIT APPLICATION DATE: 09-08-24  
SHEET ISSUE DATE: 09-06-24  
PROJECT NO.: 2321  
DRAWN BY: AC APPROVED BY: YM


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CONSENT



SIGNATURE:  
RICARDO J. MUNIZ-GUILLET  
LIC# AR97841

SHEET TITLE:  
**EXPLOTED AXONOMETRIC**

SCALE:  
**N.T.S.**

SHEET NO:  
**A3-1.03.**

9/6/2024 3:26:54 PM

PROJECT AND OWNER:  
**SANDBOX**

1974 MARSEILLE DR,  
MIAMI BEACH | FL | 33141  
1974MIAMIBEACHLLC  
3179 HOYLAKA RD  
LAKE WORTH | FL | 33467

ARCHITECT:

2030 HABERSHAM TRCE | CUMMING | GA 30041  
954 812 6650  
RICARDO@MUVEARCH.COM  
AA#26003161



DESIGNER:



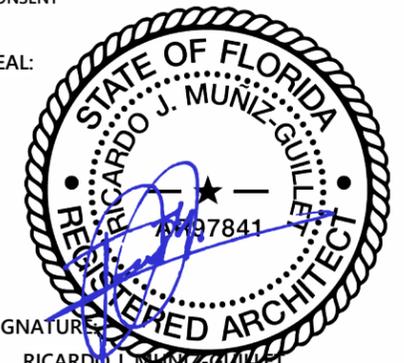
1555 NORTH PARK DRIVE #102 WESTON  
FL 33326  
954 850 9965  
ADMIN@REDOCTOPUSLLC.COM

**DRB SUBMITTAL**

PERMIT APPLICATION DATE: 09-08-24  
SHEET ISSUE DATE: 09-06-24  
PROJECT NO.: 2321  
DRAWN BY: AC APPROVED BY: YM


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CONSTITUTE ORIGINAL WORK OF THE DESIGNER AND  
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CONSENT

SEAL:



SIGNATURE:  
RICARDO J. MUNIZ-GUILLET  
LIC# AR97841

SHEET TITLE:

**RETAINING WALL DETAIL**

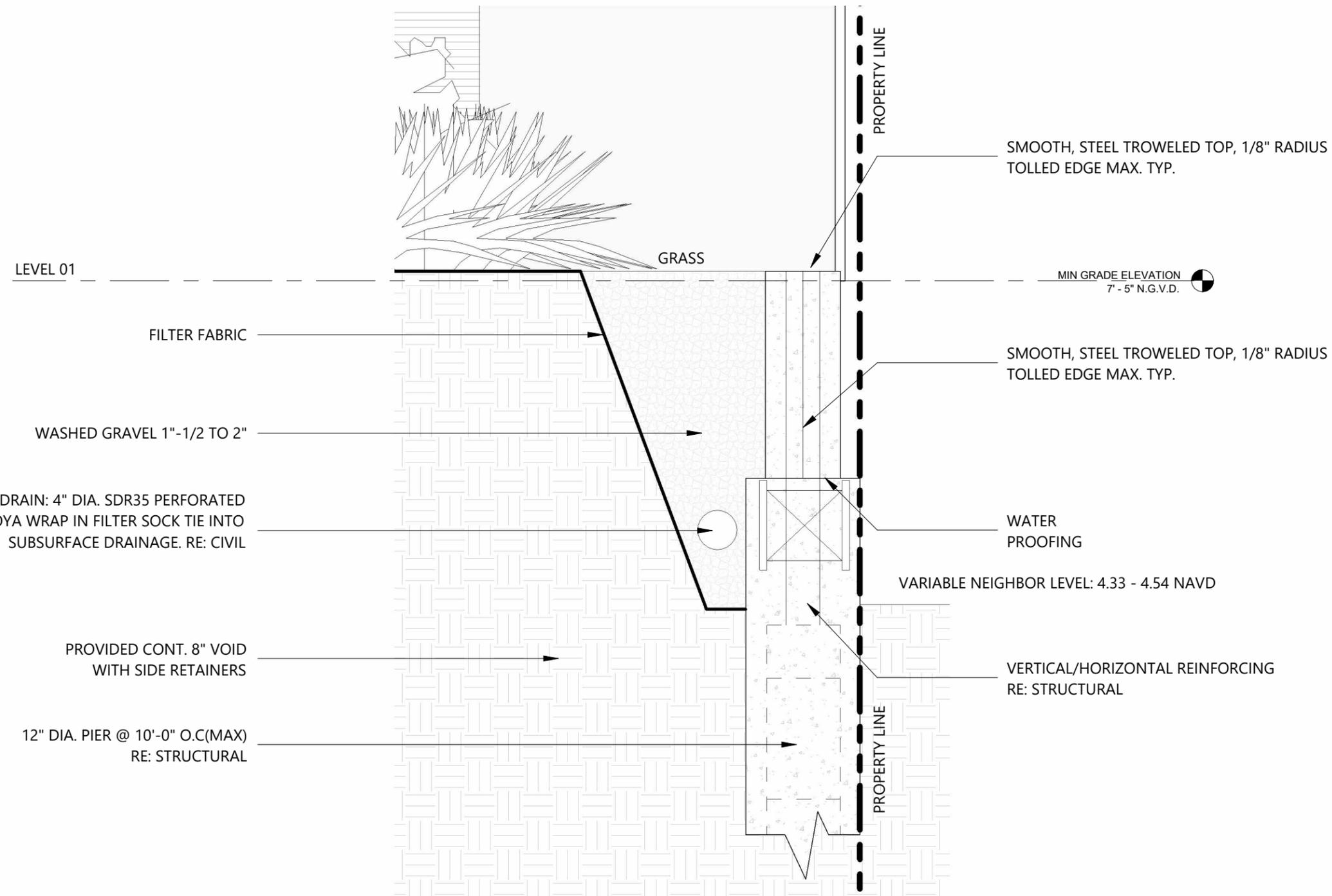
SCALE:

**N.T.S.**

SHEET NO:

**A7-1.01.**

9/6/2024 3:26:55 PM



LEVEL 01

GRASS

MIN GRADE ELEVATION  
7' - 5" N.G.V.D.

FILTER FABRIC

WASHED GRAVEL 1"-1/2 TO 2"

WASHED DRAIN: 4" DIA. SDR35 PERFORATED  
PVC PACCOYA WRAP IN FILTER SOCK TIE INTO  
SUBSURFACE DRAINAGE. RE: CIVIL

PROVIDED CONT. 8" VOID  
WITH SIDE RETAINERS

12" DIA. PIER @ 10'-0" O.C(MAX)  
RE: STRUCTURAL

SMOOTH, STEEL TROWELED TOP, 1/8" RADIUS  
TOLLED EDGE MAX. TYP.

SMOOTH, STEEL TROWELED TOP, 1/8" RADIUS  
TOLLED EDGE MAX. TYP.

WATER  
PROOFING

VARIABLE NEIGHBOR LEVEL: 4.33 - 4.54 NAVD

VERTICAL/HORIZONTAL REINFORCING  
RE: STRUCTURAL

**1**

RETAINING WALL SECTION

1" = 1'-0"



01\_ STREET VIEW - SANDBOX

PROJECT AND OWNER:  
**SANDBOX**

1974 MARSEILLE DR,  
MIAMI BEACH | FL | 33141  
1974MIAMIBEACHLLC  
3179 HOYLAKE RD  
LAKE WORTH | FL | 33467

ARCHITECT:

2030 HABERSHAM TRCE | CUMMING | GA 30041  
954 812 6650  
RICARDO@MUVEARCH.COM  
AA#26003161



DESIGNER:



1555 NORTH PARK DRIVE #102 WESTON  
FL 33326  
954 850 9965  
ADMIN@REDOCTOPUSLLC.COM

**DRB SUBMITTAL**

PERMIT APPLICATION DATE: 09-08-24  
SHEET ISSUE DATE: 09-06-24  
PROJECT NO.: 2321  
DRAWN BY: AC APPROVED BY: YM


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CONSENT

SEAL:



SIGNATURE:

RICARDO J. MUNIZ-GUILLET  
LIC# AR97841

SHEET TITLE:

**STREET VIEW**

SCALE:

**N.T.S.**

SHEET NO:

**A4-1.01.**

9/6/2024 3:26:56 PM



02\_ STREET VIEW - SANDBOX

PROJECT AND OWNER:  
**SANDBOX**

1974 MARSEILLE DR,  
MIAMI BEACH | FL | 33141  
1974MIAMIBEACHLLC  
3179 HOYLAKE RD  
LAKE WORTH | FL | 33467

ARCHITECT:

2030 HABERSHAM TRCE | CUMMING | GA 30041  
954 812 6650  
RICARDO@MUVEARCH.COM  
AA#26003161



DESIGNER:



1555 NORTH PARK DRIVE #102 WESTON  
FL 33326  
954 850 9965  
ADMIN@REDOCTOPUSLLC.COM

**DRB SUBMITTAL**

PERMIT APPLICATION DATE: 09-08-24  
SHEET ISSUE DATE: 09-06-24  
PROJECT NO.: 2321  
DRAWN BY: AC APPROVED BY: YM


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CONSENT

SEAL:



SIGNATURE:

RICARDO J. MUNIZ-GUILLET  
LIC# AR97841

SHEET TITLE:

**STREET VIEW**

SCALE:

**N.T.S.**

SHEET NO:

**A4-1.02.**

9/6/2024 3:26:58 PM



03\_ STREET VIEW - SANDBOX

PROJECT AND OWNER:  
**SANDBOX**

1974 MARSEILLE DR,  
MIAMI BEACH | FL | 33141  
1974MIAMIBEACHLLC  
3179 HOYLAKE RD  
LAKE WORTH | FL | 33467

ARCHITECT:

2030 HABERSHAM TRCE | CUMMING | GA 30041  
954 812 6650  
RICARDO@MUVEARCH.COM  
AA#26003161



DESIGNER:



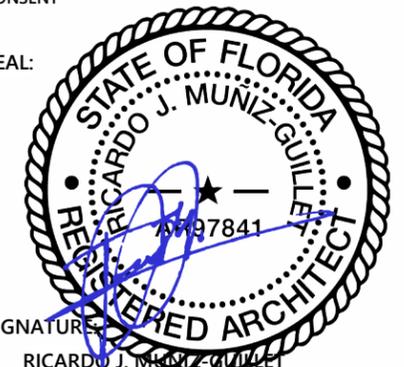
1555 NORTH PARK DRIVE #102 WESTON  
FL 33326  
954 850 9965  
ADMIN@REDOCTOPUSLLC.COM

**DRB SUBMITTAL**

PERMIT APPLICATION DATE: 09-08-24  
SHEET ISSUE DATE: 09-06-24  
PROJECT NO.: 2321  
DRAWN BY: AC APPROVED BY: YM


ALL DRAWINGS AND WRITTEN MATERIALS HEREIN  
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CONSENT

SEAL:



SIGNATURE:

RICARDO J. MUNIZ-GUILLET  
LIC# AR97841

SHEET TITLE:

**STREET VIEW**

SCALE:

**N.T.S.**

SHEET NO:

**A4-1.03.**

9/6/2024 3:26:59 PM



04\_ AXONOMETRIC - SANDBOX

PROJECT AND OWNER:  
**SANDBOX**

1974 MARSEILLE DR,  
MIAMI BEACH | FL | 33141  
1974MIAMIBEACHLLC  
3179 HOYLAKE RD  
LAKE WORTH | FL | 33467

ARCHITECT:

2030 HABERSHAM TRCE | CUMMING | GA 30041  
954 812 6650  
RICARDO@MUVEARCH.COM  
AA#26003161



DESIGNER:



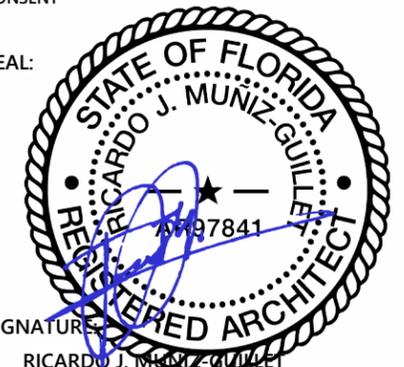
1555 NORTH PARK DRIVE #102 WESTON  
FL 33326  
954 850 9965  
ADMIN@REDOCTOPUSLLC.COM

**DRB SUBMITTAL**

PERMIT APPLICATION DATE: 09-08-24  
SHEET ISSUE DATE: 09-06-24  
PROJECT NO.: 2321  
DRAWN BY: AC APPROVED BY: YM


ALL DRAWINGS AND WRITTEN MATERIALS HEREIN  
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MAY ONLY BE DUPLICATED WITH THEIR WRITTEN  
CONSENT

SEAL:



SIGNATURE:  
RICARDO J. MUNIZ-GUILLET  
LIC# AR97841

SHEET TITLE:  
**AXONOMETRIC VIEW**

SCALE:  
**N.T.S.**

SHEET NO:  
**A4-1.04.**

9/6/2024 3:27:00 PM