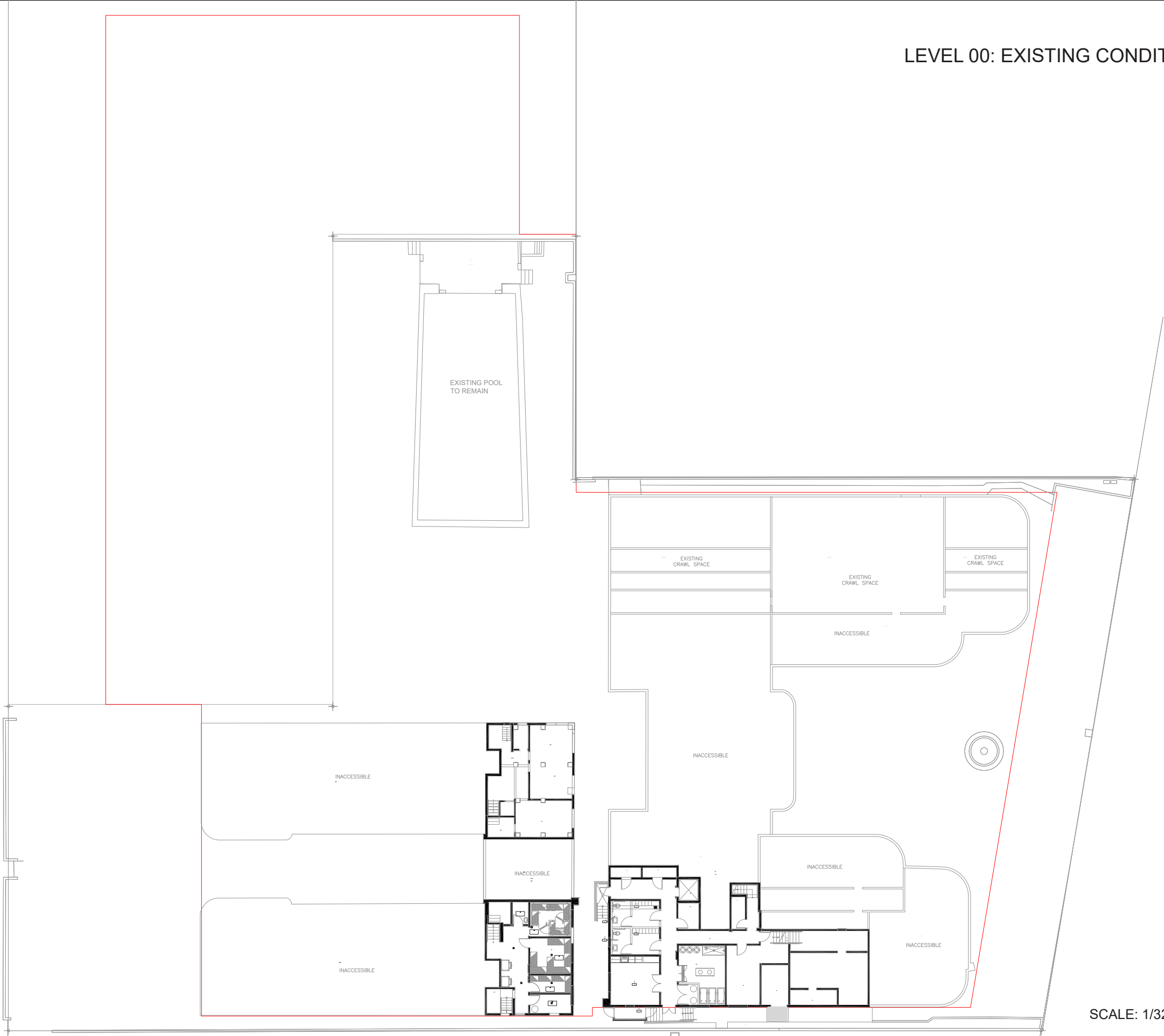


LEVEL 00: EXISTING CONDITIONS



SCALE: 1/32" = 1'-0"



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EXISTING CONDITIONS
PLAN LEVEL 00

A0-33

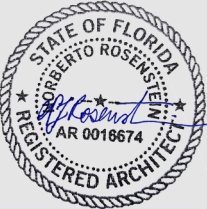
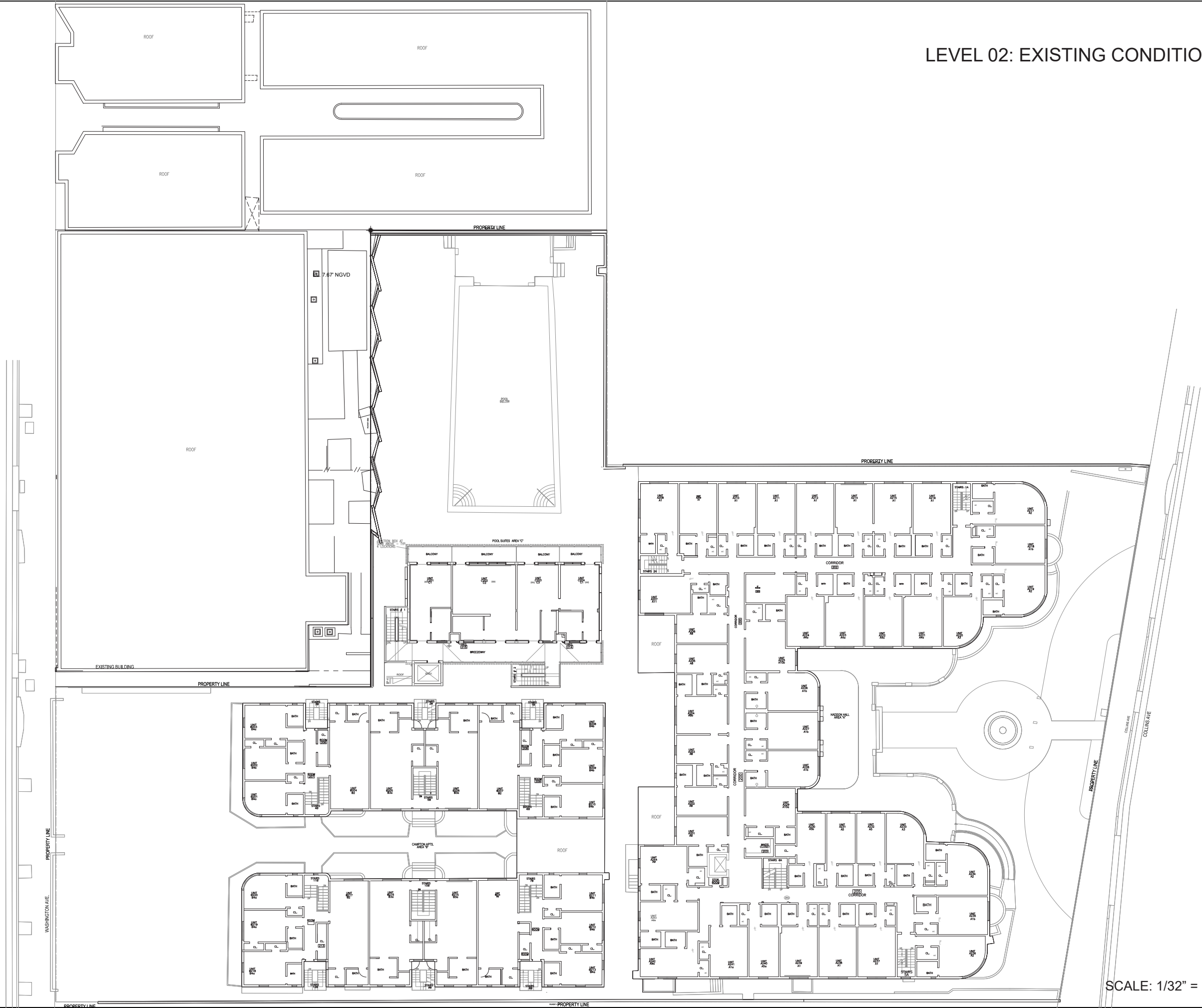


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A0-34



LEVEL 02: EXISTING CONDITIONS



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EXISTING CONDITIONS
PLAN LEVEL 02

A0-35

SCALE: 1/32" = 1'-0"



This architectural floor plan depicts a building complex with several distinct areas and rooms. The plan is oriented with North at the top, as indicated by the north arrow. A scale bar at the bottom left shows a distance of 0 to 10 meters.

The plan includes the following labeled areas and features:

- ROOF:** Multiple roof areas are labeled, including a large central roof and several smaller roof sections.
- POOL SUITES AREA C:** Located in the upper right, this area contains four rooms labeled "255 12", "255 13", "255 14", and "255 15", each with a "BALCONY". A central "MEZZENY" is also present.
- CAMPERMETS AREA B:** Located in the lower right, this area contains two rooms labeled "255 16" and "255 17", each with a "BALCONY".
- STAIRS:** Several stairwells are labeled, including "STAIRS 1", "STAIRS 2", "STAIRS 3", "STAIRS 4", "STAIRS 5", and "STAIRS 6".
- Other Rooms and Features:** The plan includes various other rooms and corridors, some labeled with numbers like "255 18", "255 19", "255 20", "255 21", "255 22", "255 23", "255 24", "255 25", "255 26", "255 27", "255 28", "255 29", "255 30", "255 31", "255 32", "255 33", "255 34", "255 35", "255 36", "255 37", "255 38", "255 39", "255 40", "255 41", "255 42", "255 43", "255 44", "255 45", "255 46", "255 47", "255 48", "255 49", "255 50", "255 51", "255 52", "255 53", "255 54", "255 55", "255 56", "255 57", "255 58", "255 59", "255 60", "255 61", "255 62", "255 63", "255 64", "255 65", "255 66", "255 67", "255 68", "255 69", "255 70", "255 71", "255 72", "255 73", "255 74", "255 75", "255 76", "255 77", "255 78", "255 79", "255 80", "255 81", "255 82", "255 83", "255 84", "255 85", "255 86", "255 87", "255 88", "255 89", "255 90", "255 91", "255 92", "255 93", "255 94", "255 95", "255 96", "255 97", "255 98", "255 99", "255 100".



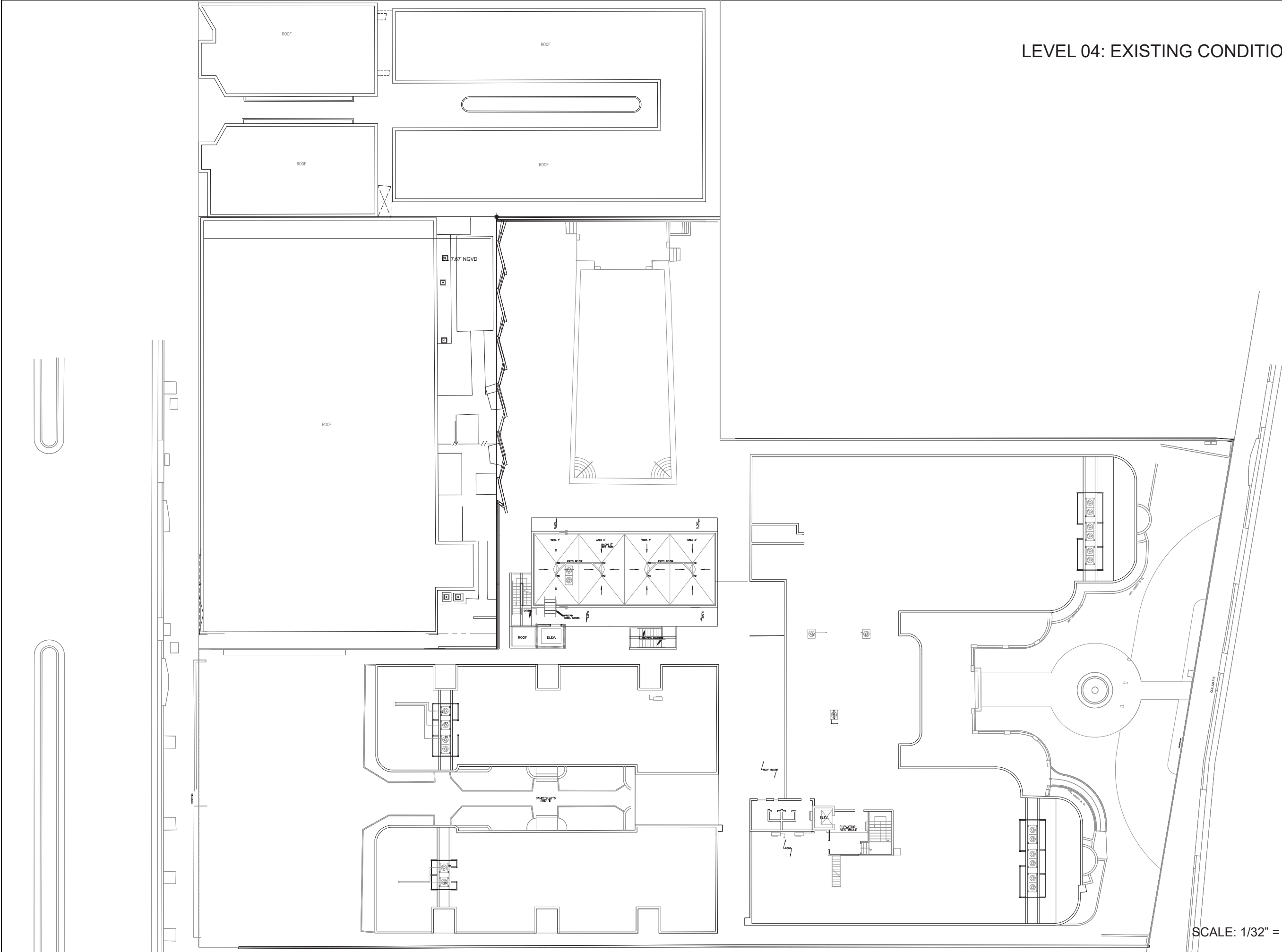
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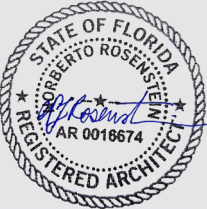
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A0-36



LEVEL 04: EXISTING CONDITIONS

SCALE: 1/32" = 1'-0"



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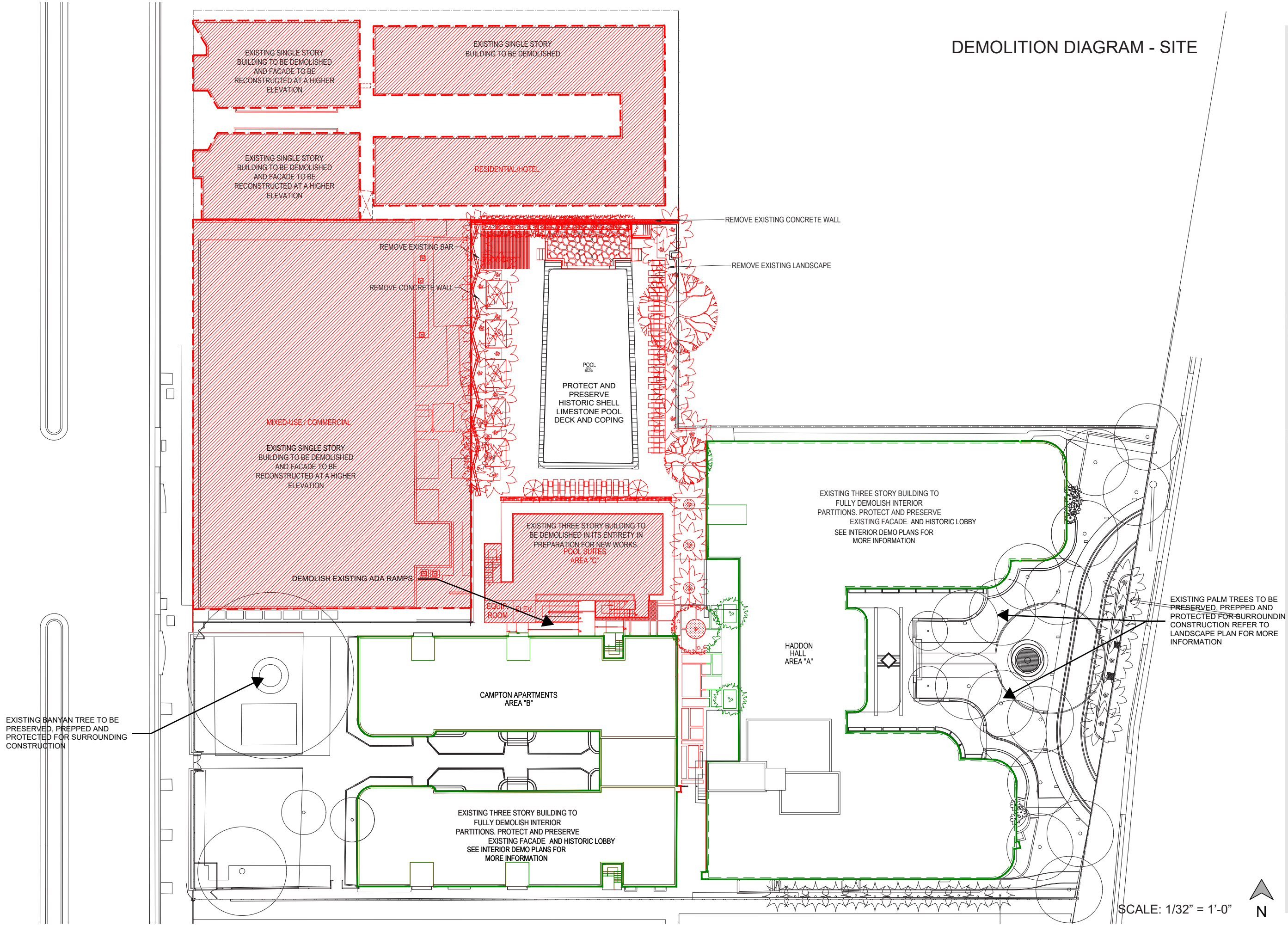
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**EXISTING CONDITIONS
PLAN LEVEL 04**

A0-37

DEMOLITION DIAGRAM - SITE



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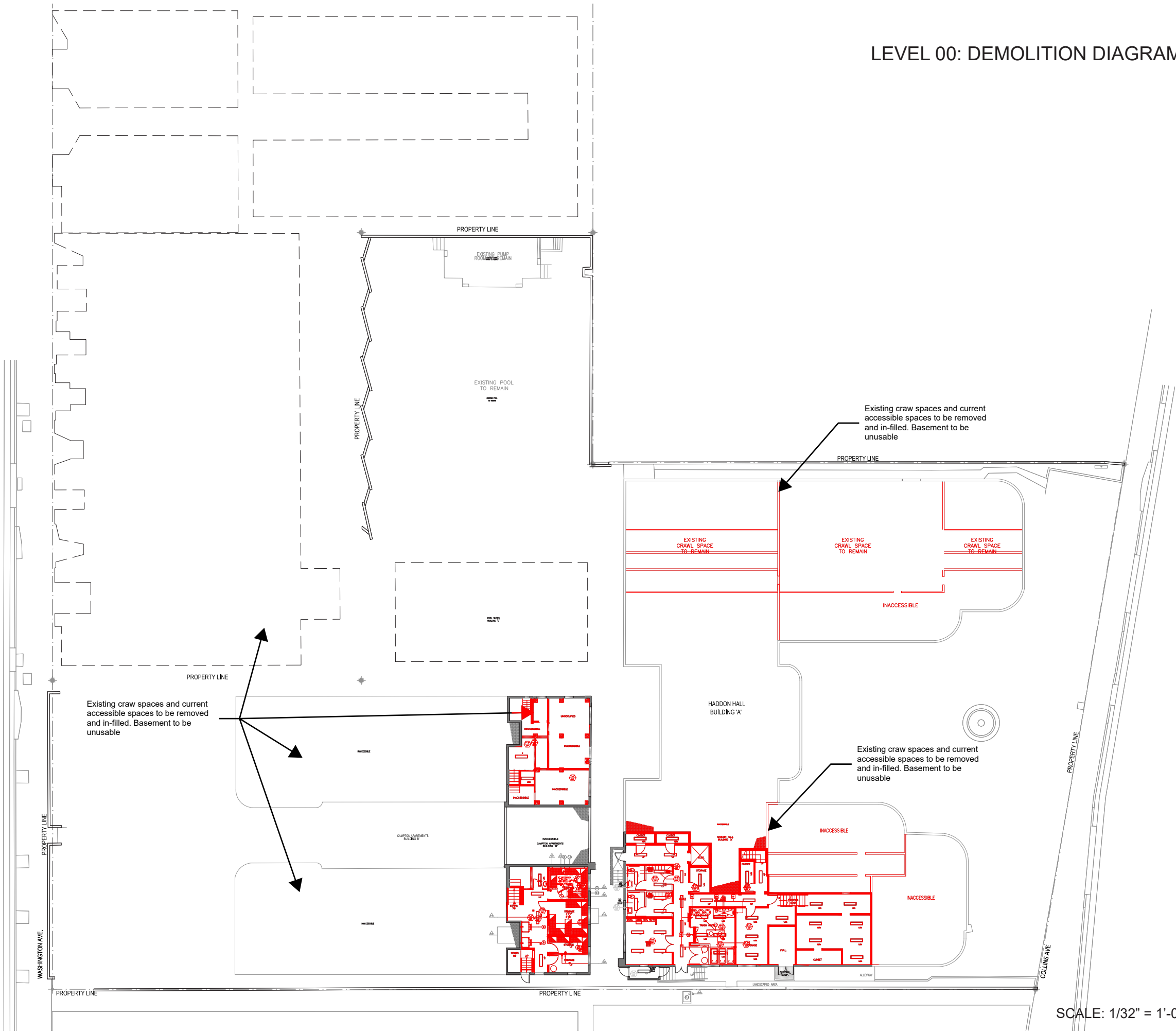
**DEMOLITION DIAGRAM
- SITE**

A0-38

SCALE: 1/32" = 1'-0"



LEVEL 00: DEMOLITION DIAGRAM



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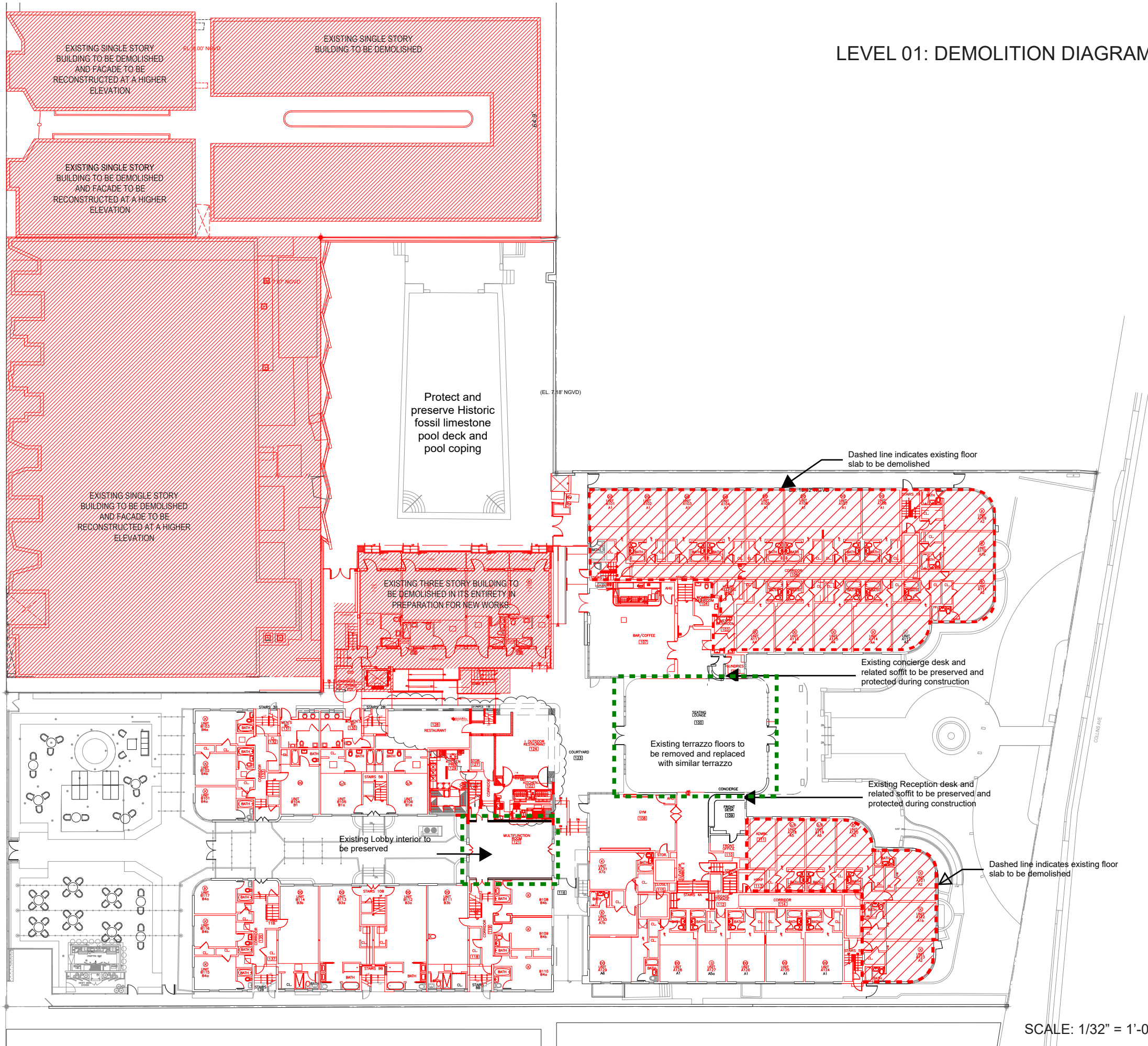
**DEMOLITION DIAGRAM
LEVEL 00**

A0-39

SCALE: 1/32" = 1'-0"



EL. 5.00' NGVD
(EX. SIDEWALK)
EL. 6.50' NGVD
(FUTURE C.O.R.)



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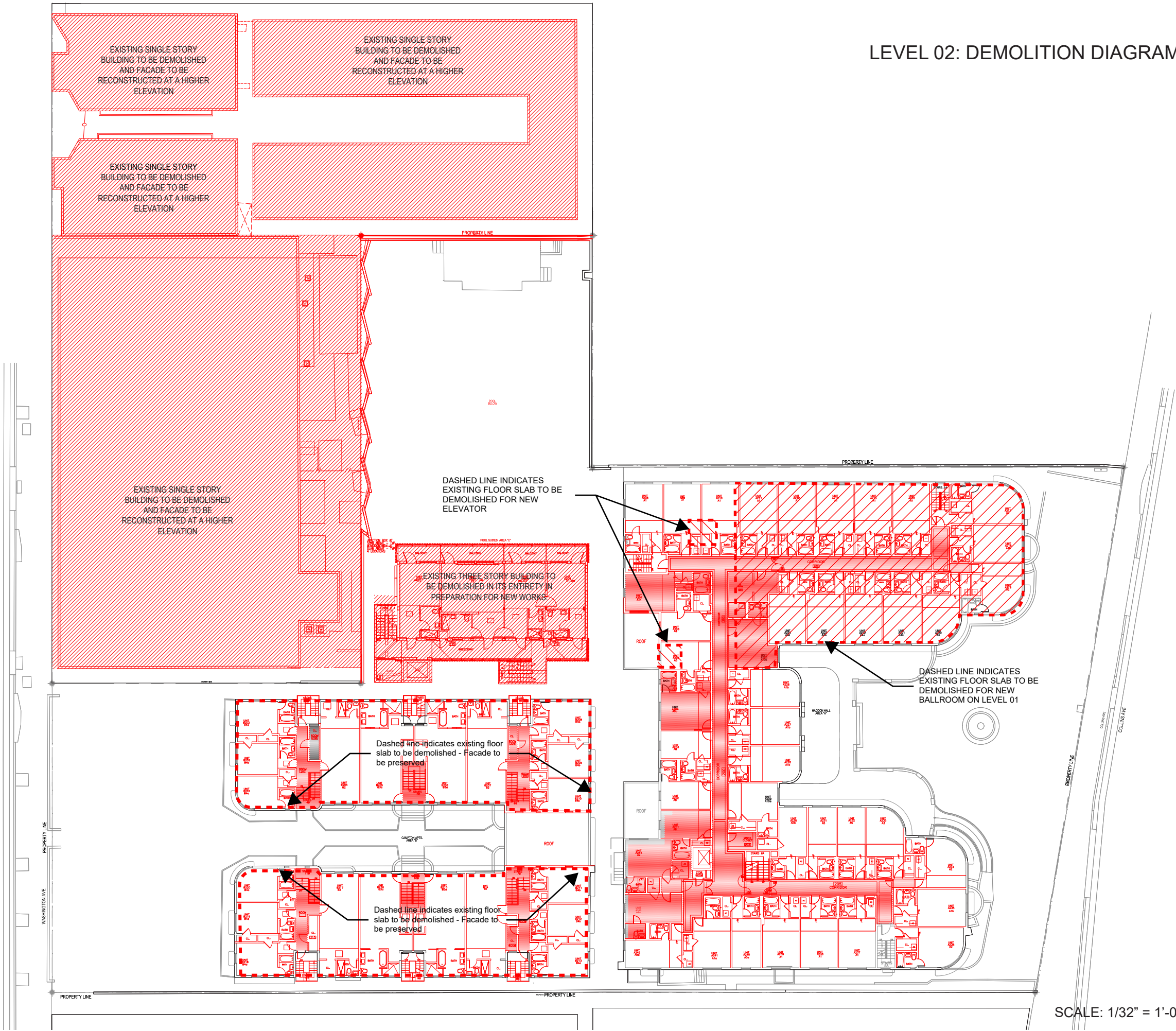
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**DEMOLITION DIAGRAM
LEVEL 01**

A0-40

LEVEL 02: DEMOLITION DIAGRAM



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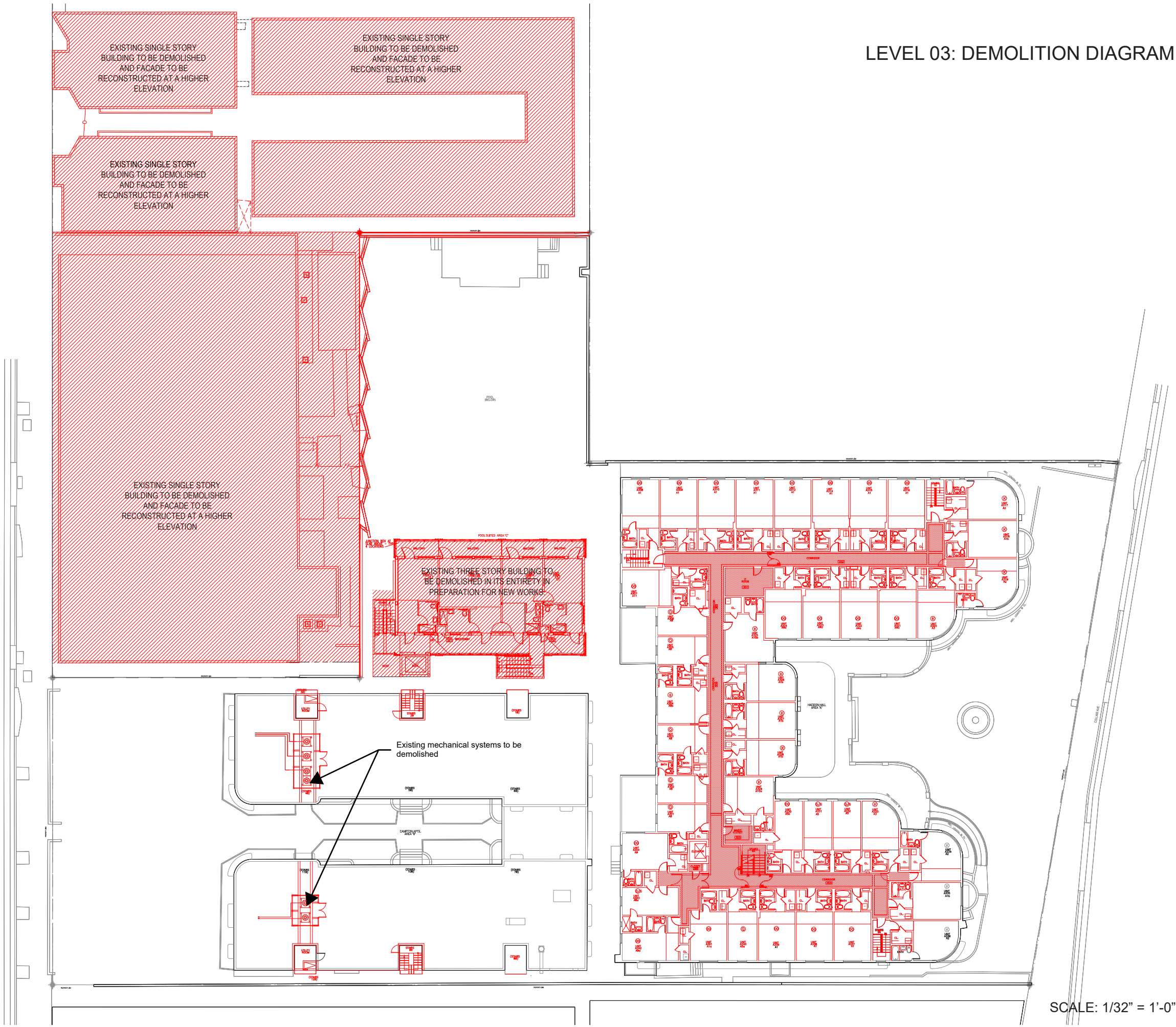
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DEMOLITION DIAGRAM
LEVEL 02

A0-41

SCALE: 1/32" = 1'-0"





LEVEL 03: DEMOLITION DIAGRAM



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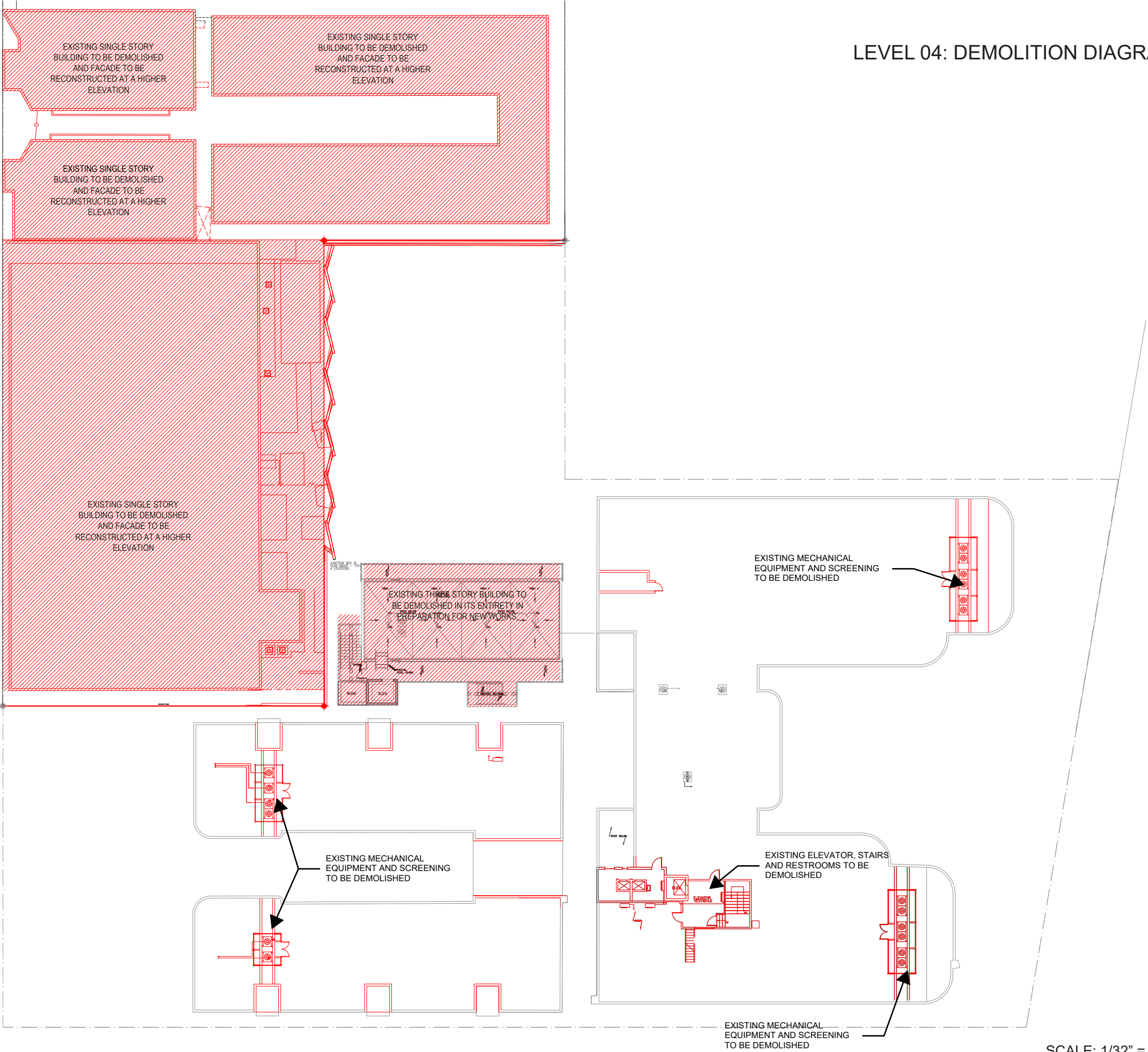
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**DEMOLITION DIAGRAM
LEVEL 03**

A0-42

LEVEL 04: DEMOLITION DIAGRAM



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DEMOLITION DIAGRAM
LEVEL 04

A0-43

SCALE: 1/32" = 1'-0"



TOTAL PROPERTY GUESTROOM AVERAGES:

STANDARD DB/DB	160	322 SF
DELUXE KING	76	366 SF
GARDEN (WASHINGTON)	10	333 SF
JUNIOR SUITE	13	485 SF
2-BAY SUITE	1	620 SF
PRESIDENTIAL SUITE	2	838 SF
	262	gross sqft +/-

HADDON HALL GUESTROOM AVERAGES:

STANDARD DB/DB	25	273 SF
DELUXE KING	29	316 SF
GARDEN (WASHINGTON)	0	0 SF
JUNIOR SUITE	7	481 SF
2-BAY SUITE	1	620 SF
PRESIDENTIAL SUITE	1	1,005 SF
	63	gross sqft +/-

WASHINGTON BUILDING GUESTROOM AVERAGES:

STANDARD DB/DB	135	331 SF
DELUXE KING	47	348 SF
GARDEN (WASHINGTON)	10	333 SF
JUNIOR SUITE	6	491 SF
2-BAY SUITE	0	0 SF
PRESIDENTIAL SUITE	1	670 SF
	199	gross sqft +/-

GUESTROOM CONNECTIONS:

HADDON HALL	6
WASHINGTON BUILDING	33
TOTAL	39

RESTAURANTS, CAGES, BARS, LOUNGES, NIGHTCLUBS	REQUIRED	EXISTING	PROPOSED					
TYPE OF USE	N/A	N/A	RESTAURANT	POOL BAR	OUTDOOR LOUNGE	HADDONHALL BALLROOM	DIXON CAFÉ BAR	ROOFTOP RESTAURANT
NUMBER OF SEATS LOCATED OUTSIDE ON PRIVATE PROPERTY	N/A	N/A	84	8	29	21	6	150
NUMBER OF SEATS INSIDE	N/A	N/A	170	10	0	128	84	16
TOTAL NUMBER OF SEATS	N/A	N/A	254	18	29	149	90	166
TOTAL OCCUPANT CONTENT	N/A	N/A	599	82	67	373	169	184
PROPOSED HOURS OF OPERATION	SEE HOURS OF OPERATION LISTEN BELOW							
IS THIS AN NIE? (NEIGHBORHOOD IMPACT ESTABLISHMENT, SEE CMB 141 1361)	YES							
IS DANCING AND/OR ENTERTAINMENT PROPOSED? (SEE CMB 141-1361)	NO							
IS THIS A CONTRIBUTING BUILDING?	YES							
LOCATED WITHIN A LOCAL HISTORIC DISTRICT?	YES							

VENUE	FLOOR	INDOOR/OUTDOOR	OCCUPANCY	SEATS	ACCESS	HOURS OF OPERATION
SIGNATURE RESTAURANT / BAR AND PRIVATE DINING	GROUND	INDOOR	388	170	PUBLIC	12PM TO 2AM
		OUTDOOR	211	84	PUBLIC	12PM TO 2AM
POOL BAR	GROUND	INDOOR	55	10	PUBLIC AFTER 5PM	12PM TO 2AM
		OUTDOOR	27	8		
OUTDOOR LOUNGE	GROUND	OUTDOOR	67	29	PUBLIC AFTER 5PM	12PM TO 2AM
HADDONHALL BALLROOM	GROUND	INDOOR	314	128	PRIVATE	12PM TO 2AM
		OUTDOOR	59	21		
DIXON CAFÉ BAR	GROUND	INDOOR	125	84	PUBLIC	12PM TO 2AM
		OUTDOOR	44	6		
ROOFTOP RESTAURANT	7	INDOOR	94	16	PUBLIC	12PM TO 2AM
		OUTDOOR	90	150		

PROPOSED OCCUPANCY				
	MAIN PARCEL (1509 Washington Ave)	HADDON HALL HOTEL PARCEL (PARCEL 1)	CAMPTON BUILDING PARCEL (PARCEL 3)	GRAND TOTAL
BASEMENT		26	5	31
LEVEL 1	1,235	704	337	2,276
LEVEL 2	76	88	8	172
LEVEL 3	76	74	269	419
LEVEL 4	76	27		103
LEVEL 5	76			76
LEVEL 6	79			79
LEVEL 7	244			244
TOTAL OCCUPANCY:	1,862	919	619	3,400



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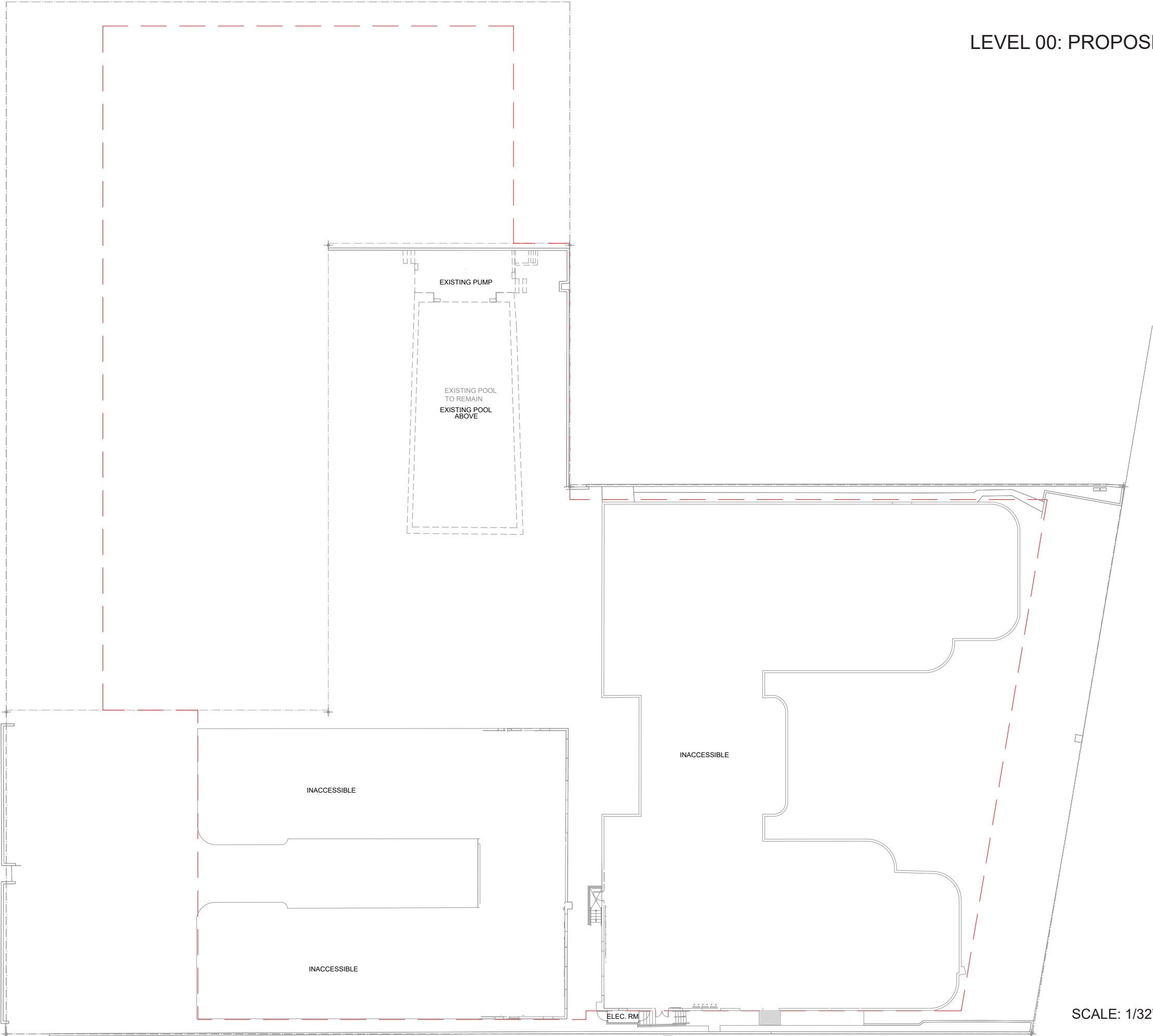
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PROPOSED GUESTROOM
& VENUE MATRIX

LEVEL 00: PROPOSED PLAN



SCALE: 1/32" = 1'-0"



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PROPOSED PLAN -
LEVEL 00

A0-45

LEVEL 01: PROPOSED PLAN

GENERAL NOTES

- ALL SIGNIFICANT ORIGINAL ARCHITECTURAL FEATURES ARE TO BE RESTORED, PRESERVED AND RETAINED.
- PROJECT DESIGN MAINTAINS EXISTING FLOOR FINISHES AND VOLUMETRIC INTENT OF ANCILLARY PUBLIC SPACES IN HADDON HALL.
- EXISTING DOORS AND WINDOWS TO BE REMOVED AND REPLACED WITH NEW TO MEET HURRICANE CODE REQUIREMENTS.
- PROJECT DESIGN WILL PRESERVE AND RESTORE ALL HISTORICAL ELEMENTS TO GENERAL OF EXTERIOR FACADE, HISTORIC LOBBY, WALLS, CEILING AND PORCH UNLESS STATED OTHERWISE.
- ALL EXTERIOR WALLS MUST BE PROPERLY SHORED DURING AND AFTER DEMOLITION. REFER TO STRUCTURAL ENGINEERING DRAWINGS FOR ADDITIONAL DETAIL.
- ALL BUILDING STUCCO EXTERIORS TO BE RESTORED AND REPAINTED TO MATCH EXISTING

KEYNOTES

- EXISTING DOOR/WINDOW TO REMAIN
- NEW DOORS
- NEW ENLARGED WINDOWS (REFERENCE ELEVATIONS)
- EXISTING HISTORICAL PLANTER TO REMAIN
- EXISTING HISTORICAL ARCHITECTURAL DETAIL TO REMAIN
- RECONSTRUCTED CONCRETE COLUMN IN WHITE STUCCO FINISH
- NEW LIFE SAFETY GATE
- CONCRETE STAIRS WITH STAINED CONCRETE TILE RISERS
- PRESERVED AND RESTORED HISTORICAL TERRAZZO DETAIL
- NEW PAIR OF DOORS IN EXISTING WINDOW OPENING. ENLARGE OPENING TO EXTEND TO THE EXISTING TERRACE.
- NEW RAMP
- GARDEN BED WITH INTEGRATED IRRIGATION
- ELEVATED STUCCO PLANTER WITH INTEGRATED IRRIGATION AND DRAINAGE
- PLANTER BEDS WITH INTEGRATED IRRIGATION AND DRAINAGE
- OPERABLE GLASS DOORS
- LINE OF ELEVATED OPEN AIR WALKWAY
- LINE OF TRELLIS PROJECTION ABOVE @ 50% OPEN TO SKY
- GUEST ELEVATOR
- SERVICE ELEVATOR
- PRESERVED HISTORICAL EYEBROW BELOW WITH UNDERSIDE PAINTED IN STREAMLINE MODERN PINK, TYP.
- NEW EGRESS STAIRS
- EXISTING EGRESS STAIRS
- NEW STAIRS
- MECHANICAL SHAFT
- TYP. BALCONY PROJECTION: GLASS RAILING WITH STAINLESS STEEL SHOE AND TOP RAIL
- FLUTED WHITE STUCCO COLUMN, TYP.
- FLUTED STUCCO PANEL: ARCHITECTURAL DETAIL, TYP.
- SERVICE DOOR
- GLAZING SYSTEM TYP.
- STOREFRONT FACADE
- NEW TERRAZZO TO COORDINATE BUT DIFFERENTIATE
- GUEST SUITE GARDEN GATE CONNECTOR
- DOOR AT CONNECTIONS BETWEEN GUESTROOMS
- LINE OF HISTORICAL HADDON HALL CANOPY AND SIGNAGE BELOW
- RECONSTRUCTED HISTORICAL WASHINGTON FACADE BELOW
- PARAPET PLANTERS WITH INTEGRATED IRRIGATION AND DRAINAGE
- PROPOSED WINDOW INFILL WITH BRICKS AND PAINTED TO MATCH STUCCO
- PROJECTING CONCRETE BALCONY WITH WHITE STUCCO; GLASS GUARDRAIL WITH STAINLESS STEEL SHOE AND TOP CAP. NEW EGRESS EXIT
- PAINTED STAINLESS STEEL TRELLIS WITH INTEGRATED PLUMBING AND UP-LIGHTING, 50% OPEN TO SKY
- 18" ELEVATED COPING @ WATER FEATURE
- OPERABLE PARTITIONS
- EXISTING BASEMENT LEVEL ENTRY
- EXISTING HISTORIC ADDRESS MONUMENT SIGN TO BE PRESERVED
- EXISTING HISTORIC FRIEZE TO REMAIN
- EXISTING HISTORIC STATUE AND FOUNTAIN TO REMAIN, NEW MOSAIC TILE ON BASE AND INSIDE HISTORIC BASIN
- NEW BREEZE BLOCK GREEN WALL
- NEW HOT TUB IN EXISTING LOCATION CONSTRUCTED 18" ABOVE FINISH FLOOR
- NEW WROUGHT IRON FENCE
- EXISTING LIMESTONE GARDENWALL
- EXISTING CAMPTON ENTRY GATE TO BE PRESERVED
- NEW IN-POOL WATER LEDGE WITH CUSTOM MOSAIC TILE
- NEW POOL COPING
- NEW STAIRS AND STONE GUARDRAIL
- EXISTING FIREPLACE TO REMAIN AND BE PRESERVED
- EXISTING HISTORIC COUNTER TO REMAIN AND BE PRESERVED
- STONE BENCHES
- COLUMN OF PAINTED STAINLESS STEEL TRELLIS WITH INTEGRATED PLUMBING AND UP-LIGHTING, 50% OPEN TO SKY
- LOCATION FOR SIGNAGE
- EXISTING LANDSCAPE TO REMAIN
- NEW HARDSCAPE (REF. LANDSCAPE)
- WALK-UP WINDOW AND COUNTER
- EXISTING LIMESTONE POOL DECK TO REMAIN
- PROPOSED DOOR @ LEVEL 03 TO CONNECT TO ARCHITECTURAL BREEZEWAY/ELEVATED WALKWAY NEW ROOF SYSTEM
- BACKLIT TERRACOTTA BREEZE BLOCK MECHANICAL SCREENING
- POWDER COATED STEEL GUARDRAIL
- EXISTING COLUMN TO REMAIN
- FLUTED WHITE STUCCO DECORATIVE COLUMN, TYP.
- SLIDING DOOR GLAZING SYSTEM
- NEW LOW HEDGE, SEE LANDSCAPE



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PROPOSED PLAN -
LEVEL 01

A0-46

SCALE: 1/32" = 1'-0"



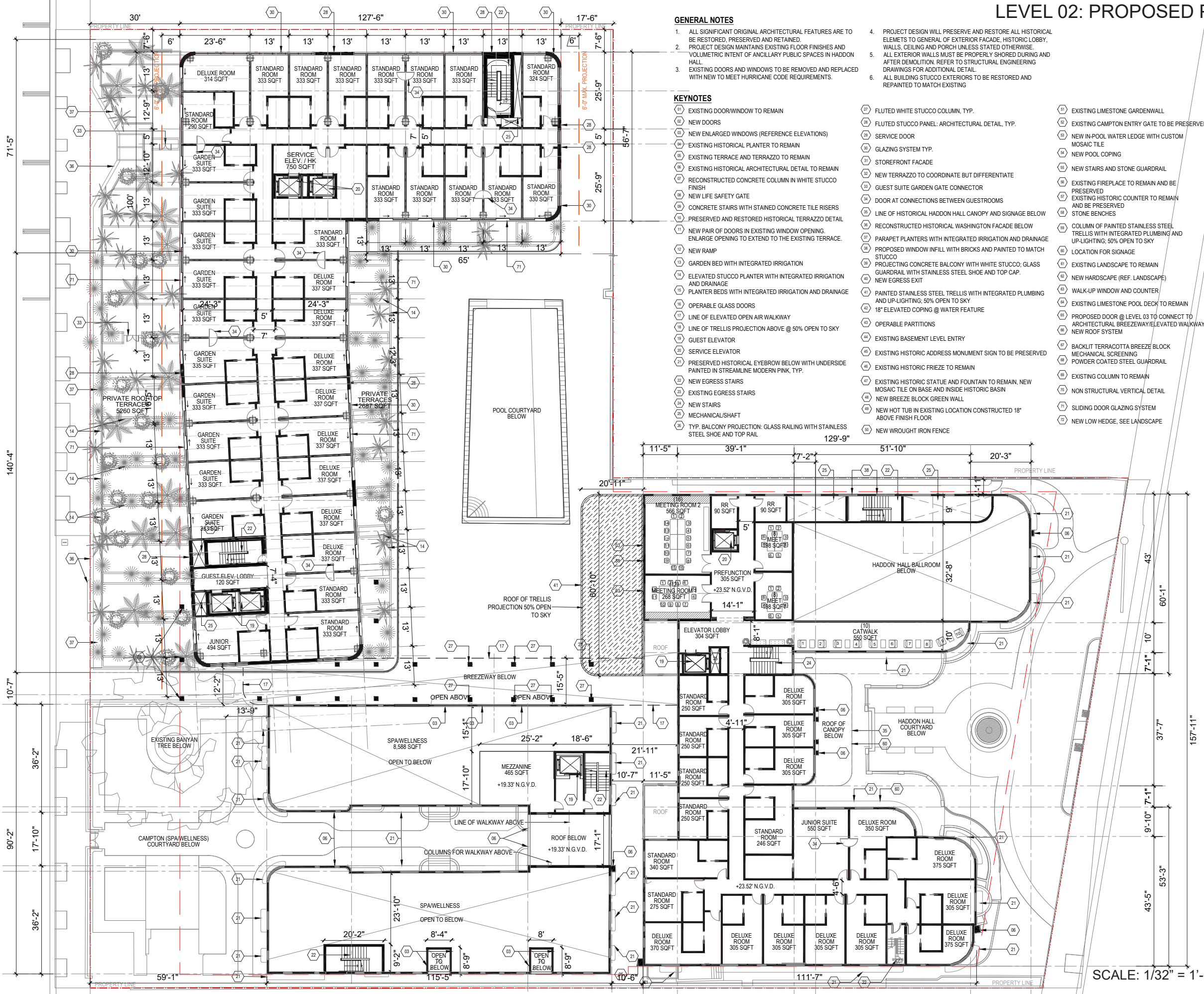
LEVEL 02: PROPOSED PLAN

GENERAL NOTES

- ALL SIGNIFICANT ORIGINAL ARCHITECTURAL FEATURES ARE TO BE RESTORED, PRESERVED AND RETAINED.
- PROJECT DESIGN MAINTAINS EXISTING FLOOR FINISHES AND VOLUMETRIC INTENT OF ANCILLARY PUBLIC SPACES IN HADDON HALL.
- EXISTING DOORS AND WINDOWS TO BE REMOVED AND REPLACED WITH NEW TO MEET HURRICANE CODE REQUIREMENTS.
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- ALL EXTERIOR WALLS MUST BE PROPERLY SHORED DURING AND AFTER DEMOLITION. REFER TO STRUCTURAL ENGINEERING DRAWINGS FOR ADDITIONAL DETAIL.
- ALL BUILDING STUCCO EXTERIORS TO BE RESTORED AND REPAINTED TO MATCH EXISTING

KEYNOTES

- EXISTING DOOR/WINDOW TO REMAIN
- NEW DOORS
- NEW ENLARGED WINDOWS (REFERENCE ELEVATIONS)
- EXISTING HISTORICAL PLANTER TO REMAIN
- EXISTING TERRACE AND TERRAZZO TO REMAIN
- EXISTING HISTORICAL ARCHITECTURAL DETAIL TO REMAIN
- RECONSTRUCTED CONCRETE COLUMN IN WHITE STUCCO FINISH
- NEW LIFE SAFETY GATE
- CONCRETE STAIRS WITH STAINED CONCRETE TILE RISERS
- PRESERVED AND RESTORED HISTORICAL TERRAZZO DETAIL
- NEW PAIR OF DOORS IN EXISTING WINDOW OPENING. ENLARGE OPENING TO EXTEND TO THE EXISTING TERRACE.
- NEW RAMP
- GARDEN BED WITH INTEGRATED IRRIGATION
- ELEVATED STUCCO PLANTER WITH INTEGRATED IRRIGATION AND DRAINAGE
- PLANTER BEDS WITH INTEGRATED IRRIGATION AND DRAINAGE
- OPERABLE GLASS DOORS
- LINE OF ELEVATED OPEN AIR WALKWAY
- LINE OF TRELLIS PROJECTION ABOVE @ 50% OPEN TO SKY
- GUEST ELEVATOR
- SERVICE ELEVATOR
- PRESERVED HISTORICAL EYEBROW BELOW WITH UNDERSIDE PAINTED IN STREAMLINE MODERN PINK, TYP.
- NEW EGRESS STAIRS
- EXISTING EGRESS STAIRS
- NEW STAIRS
- MECHANICAL/SHAFT
- TYP. BALCONY PROJECTION: GLASS RAILING WITH STAINLESS STEEL SHOE AND TOP RAIL
- FLUTED WHITE STUCCO COLUMN, TYP.
- FLUTED STUCCO PANEL: ARCHITECTURAL DETAIL, TYP.
- SERVICE DOOR
- GLAZING SYSTEM TYP.
- STOREFRONT FACADE
- NEW TERRAZZO TO COORDINATE BUT DIFFERENTIATE
- GUEST SUITE GARDEN GATE CONNECTOR
- DOOR AT CONNECTIONS BETWEEN GUESTROOMS
- LINE OF HISTORICAL HADDON HALL CANOPY AND SIGNAGE BELOW
- RECONSTRUCTED HISTORICAL WASHINGTON FACADE BELOW
- PARAPET PLANTERS WITH INTEGRATED IRRIGATION AND DRAINAGE
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- PROJECTING CONCRETE BALCONY WITH WHITE STUCCO; GLASS GUARDRAIL WITH STAINLESS STEEL SHOE AND TOP CAP. NEW EGRESS EXIT
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- 18" ELEVATED COPING @ WATER FEATURE
- OPERABLE PARTITIONS
- EXISTING BASEMENT LEVEL ENTRY
- EXISTING HISTORIC ADDRESS MONUMENT SIGN TO BE PRESERVED
- EXISTING HISTORIC FRIEZE TO REMAIN
- EXISTING HISTORIC STATUE AND FOUNTAIN TO REMAIN, NEW MOSAIC TILE ON BASE AND INSIDE HISTORIC BASIN
- NEW BREEZE BLOCK GREEN WALL
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- NEW WROUGHT IRON FENCE
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- LOCATION FOR SIGNAGE
- EXISTING LANDSCAPE TO REMAIN
- NEW HARDSCAPE (REF. LANDSCAPE)
- WALK-UP WINDOW AND COUNTER
- EXISTING LIMESTONE POOL DECK TO REMAIN
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- BACKLIT TERRACOTTA BREEZE BLOCK MECHANICAL SCREENING
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- EXISTING COLUMN TO REMAIN
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**PROPOSED PLAN -
LEVEL 02**

A0-47

SCALE: 1/32" = 1'-0"



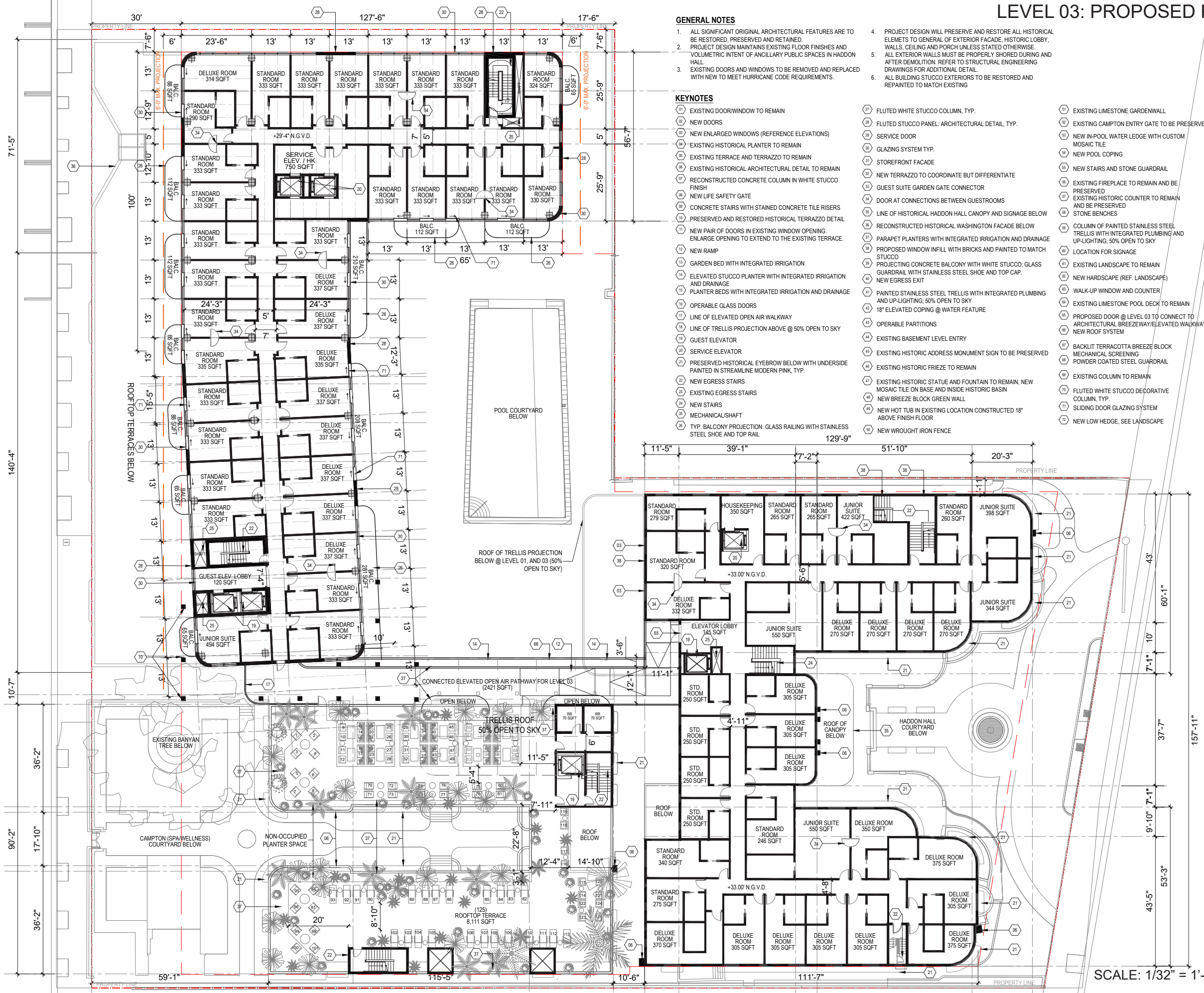
LEVEL 03: PROPOSED PLAN

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**PROPOSED PLAN -
LEVEL 03**

A0-48

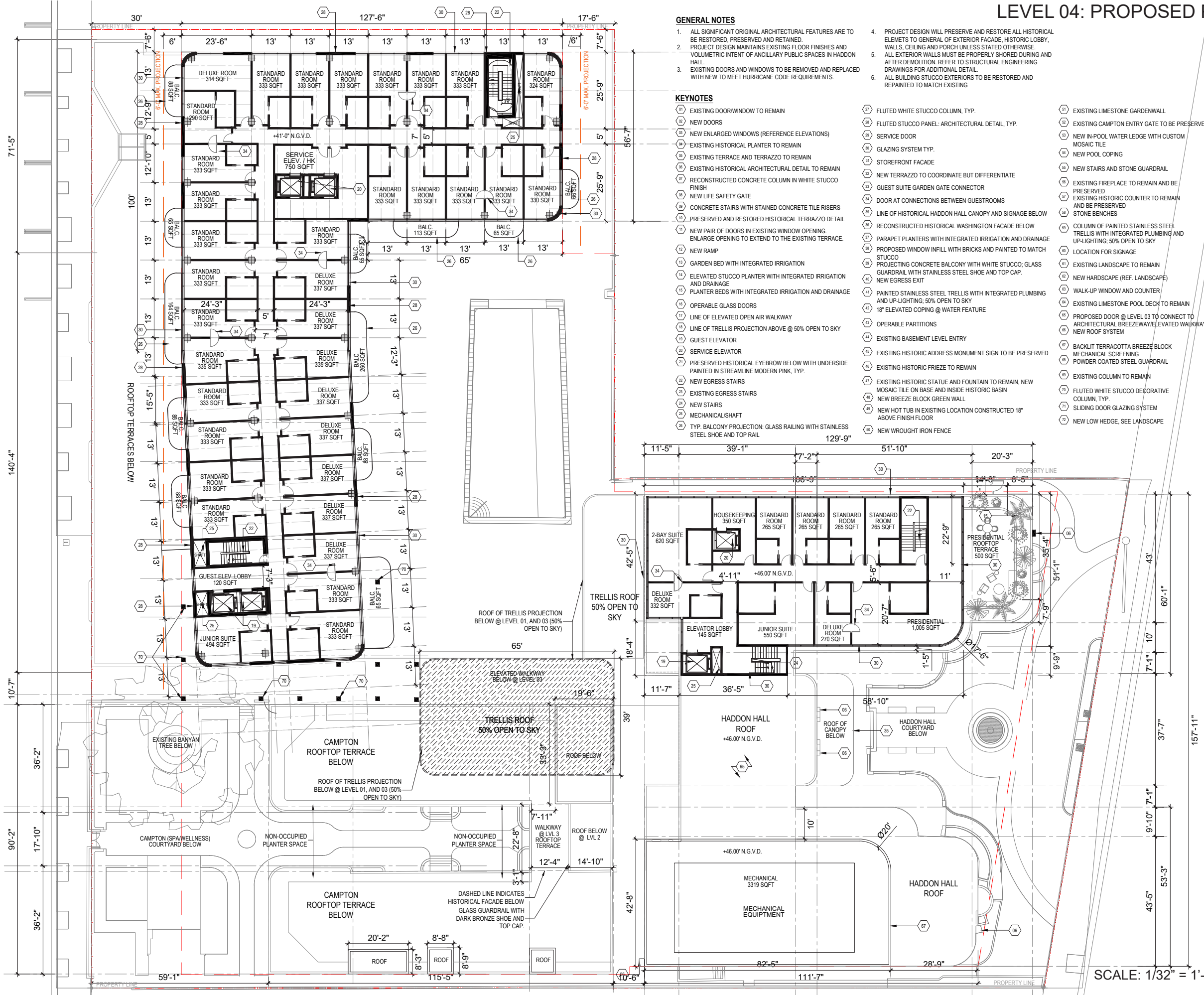
LEVEL 04: PROPOSED PLAN

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**PROPOSED PLAN -
LEVEL 04**

A0-49

SCALE: 1/32" = 1'-0"

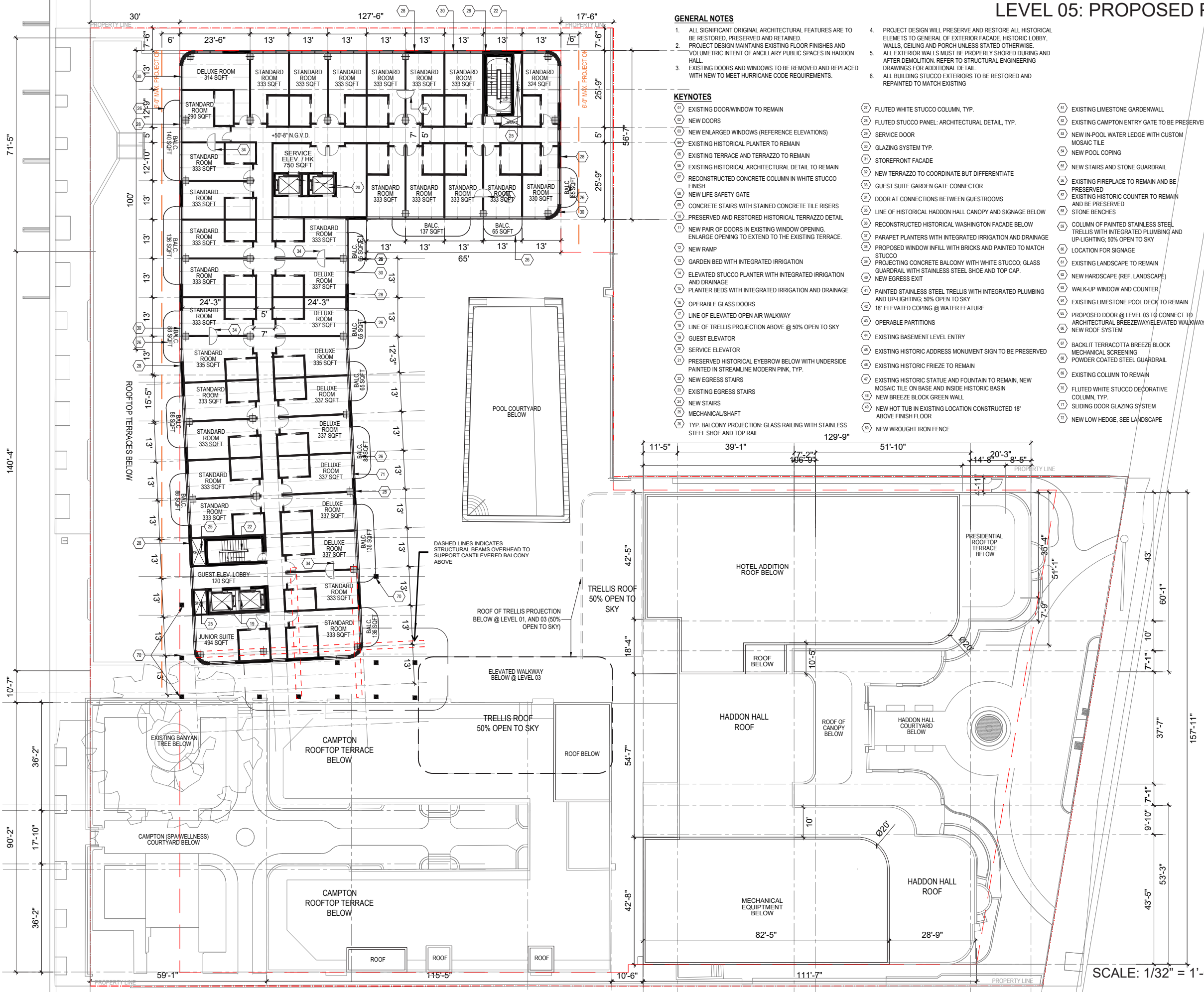
LEVEL 05: PROPOSED PLAN

GENERAL NOTES

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- EXISTING FIREPLACE TO REMAIN AND BE PRESERVED
- EXISTING HISTORIC COUNTER TO REMAIN AND BE PRESERVED
- STONE BENCHES
- COLUMN OF PAINTED STAINLESS STEEL TRELLIS WITH INTEGRATED PLUMBING AND UP-LIGHTING; 50% OPEN TO SKY
- LOCATION FOR SIGNAGE
- EXISTING LANDSCAPE TO REMAIN
- NEW HARDSCAPE (REF. LANDSCAPE)
- WALK-UP WINDOW AND COUNTER
- EXISTING LIMESTONE POOL DECK TO REMAIN
- PROPOSED DOOR @ LEVEL 03 TO CONNECT TO ARCHITECTURAL BREEZEWAY/ELEVATED WALKWAY NEW ROOF SYSTEM
- BACKLIT TERRACOTTA BREEZE BLOCK MECHANICAL SCREENING
- POWDER COATED STEEL GUARDRAIL
- EXISTING COLUMN TO REMAIN
- FLUTED WHITE STUCCO DECORATIVE COLUMN, TYP.
- SLIDING DOOR GLAZING SYSTEM
- NEW LOW HEDGE, SEE LANDSCAPE



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PROPOSED PLAN -
LEVEL 05

A0-50

SCALE: 1/32" = 1'-0"

LEVEL 06: PROPOSED PLAN

GENERAL NOTES

- ALL SIGNIFICANT ORIGINAL ARCHITECTURAL FEATURES ARE TO BE RESTORED, PRESERVED AND RETAINED.
- PROJECT DESIGN MAINTAINS EXISTING FLOOR FINISHES AND VOLUMETRIC INTENT OF ANCILLARY PUBLIC SPACES IN HADDON HALL.
- EXISTING DOORS AND WINDOWS TO BE REMOVED AND REPLACED WITH NEW TO MEET HURRICANE CODE REQUIREMENTS.

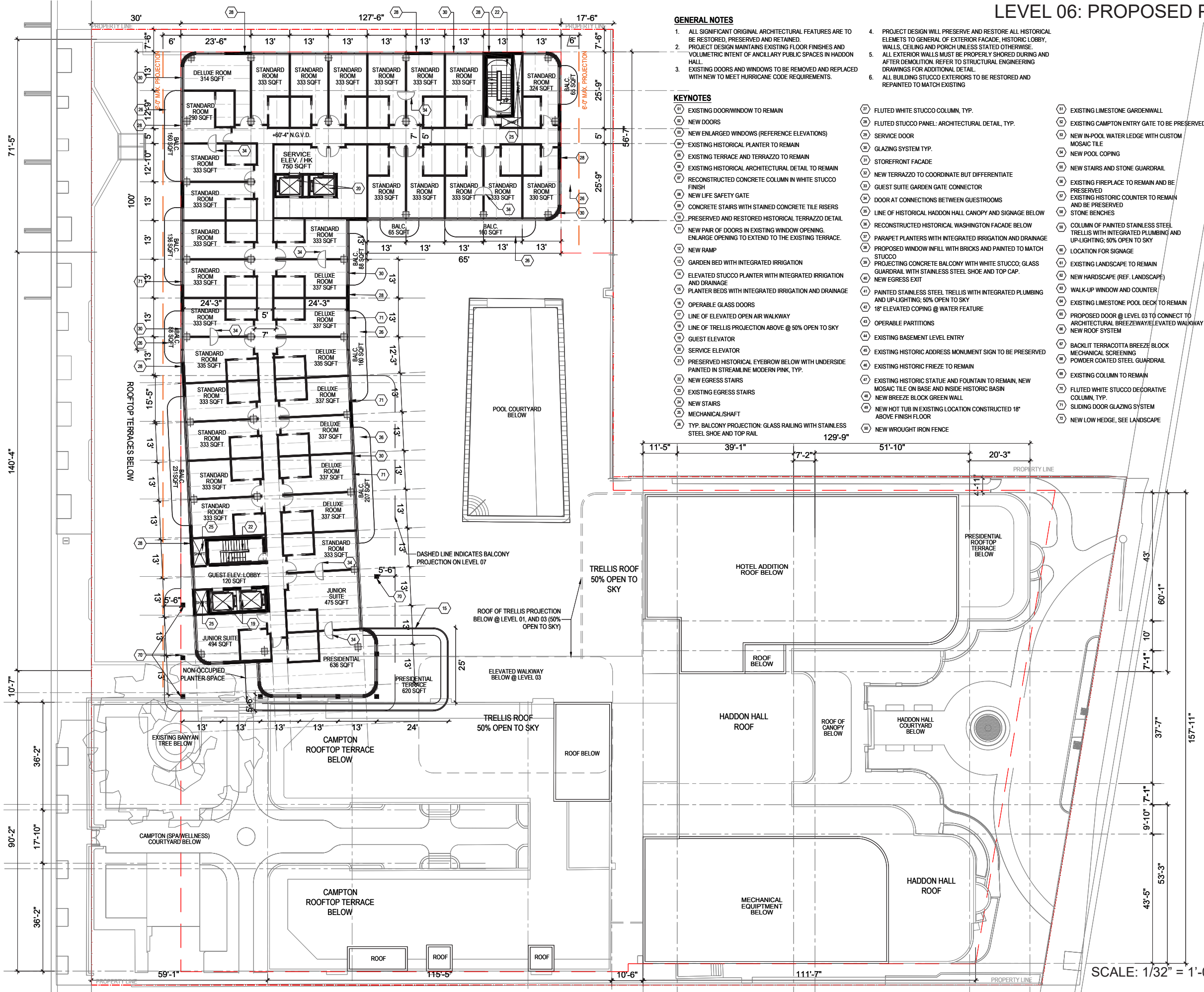
KEYNOTES

- EXISTING DOOR/WINDOW TO REMAIN
- NEW DOORS
- NEW ENLARGED WINDOWS (REFERENCE ELEVATIONS)
- EXISTING HISTORICAL PLANTER TO REMAIN
- EXISTING TERRACE AND TERRAZZO TO REMAIN
- EXISTING HISTORICAL ARCHITECTURAL DETAIL TO REMAIN
- RECONSTRUCTED CONCRETE COLUMN IN WHITE STUCCO FINISH
- NEW LIFE SAFETY GATE
- CONCRETE STAIRS WITH STAINED CONCRETE TILE RISERS
- PRESERVED AND RESTORED HISTORICAL TERRAZZO DETAIL
- NEW PAIR OF DOORS IN EXISTING WINDOW OPENING. ENLARGE OPENING TO EXTEND TO THE EXISTING TERRACE.
- NEW RAMP
- GARDEN BED WITH INTEGRATED IRRIGATION
- ELEVATED STUCCO PLANTER WITH INTEGRATED IRRIGATION AND DRAINAGE
- PLANTER BEDS WITH INTEGRATED IRRIGATION AND DRAINAGE
- OPERABLE GLASS DOORS
- LINE OF ELEVATED OPEN AIR WALKWAY
- LINE OF TRELLIS PROJECTION ABOVE @ 50% OPEN TO SKY
- GUEST ELEVATOR
- SERVICE ELEVATOR
- PRESERVED HISTORICAL EYEBROW BELOW WITH UNDERSIDE PAINTED IN STREAMLINE MODERN PINK, TYP.
- NEW EGRESS STAIRS
- EXISTING EGRESS STAIRS
- NEW STAIRS
- MECHANICAL/SHAFT
- TYP. BALCONY PROJECTION: GLASS RAILING WITH STAINLESS STEEL SHOE AND TOP RAIL

- PROJECT DESIGN WILL PRESERVE AND RESTORE ALL HISTORICAL ELEMENTS TO GENERAL OF EXTERIOR FACADE, HISTORIC LOBBY, WALLS, CEILING AND PORCH UNLESS STATED OTHERWISE.
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- ALL BUILDING STUCCO EXTERIORS TO BE RESTORED AND REPAINTED TO MATCH EXISTING

- FLUTED WHITE STUCCO COLUMN, TYP.
- FLUTED STUCCO PANEL: ARCHITECTURAL DETAIL, TYP.
- SERVICE DOOR
- GLAZING SYSTEM TYP.
- STOREFRONT FACADE
- NEW TERRAZZO TO COORDINATE BUT DIFFERENTIATE
- GUEST SUITE GARDEN GATE CONNECTOR
- DOOR AT CONNECTIONS BETWEEN GUESTROOMS
- LINE OF HISTORICAL HADDON HALL CANOPY AND SIGNAGE BELOW
- RECONSTRUCTED HISTORICAL WASHINGTON FACADE BELOW
- PARAPET PLANTERS WITH INTEGRATED IRRIGATION AND DRAINAGE
- PROPOSED WINDOW INFILL WITH BRICKS AND PAINTED TO MATCH STUCCO
- PROJECTING CONCRETE BALCONY WITH WHITE STUCCO; GLASS GUARDRAIL WITH STAINLESS STEEL SHOE AND TOP CAP. NEW EGRESS EXIT
- PAINTED STAINLESS STEEL TRELLIS WITH INTEGRATED PLUMBING AND UP-LIGHTING; 50% OPEN TO SKY
- 18" ELEVATED COPING @ WATER FEATURE
- OPERABLE PARTITIONS
- EXISTING BASEMENT LEVEL ENTRY
- EXISTING HISTORIC ADDRESS MONUMENT SIGN TO BE PRESERVED
- EXISTING HISTORIC FRIEZE TO REMAIN
- EXISTING HISTORIC STATUE AND FOUNTAIN TO REMAIN, NEW MOSAIC TILE ON BASE AND INSIDE HISTORIC BASIN
- NEW BREEZE BLOCK GREEN WALL
- NEW HOT TUB IN EXISTING LOCATION CONSTRUCTED 18" ABOVE FINISH FLOOR
- NEW WROUGHT IRON FENCE

- EXISTING LIMESTONE GARDENWALL
- EXISTING CAMPTON ENTRY GATE TO BE PRESERVED
- NEW IN-POOL WATER LEDGE WITH CUSTOM MOSAIC TILE
- NEW POOL COPING
- NEW STAIRS AND STONE GUARDRAIL
- EXISTING FIREPLACE TO REMAIN AND BE PRESERVED
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PROPOSED PLAN -
LEVEL 06

A0-51

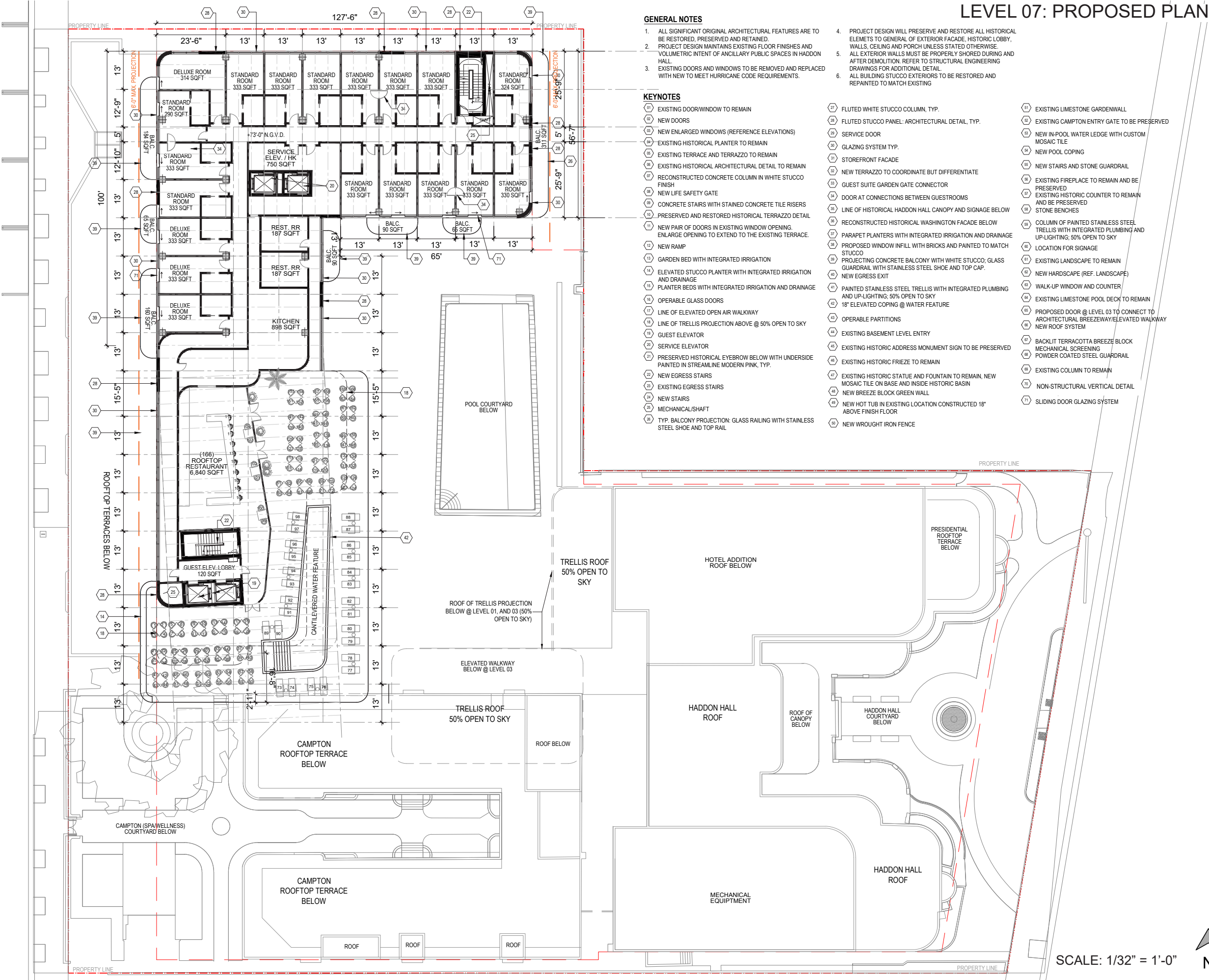
LEVEL 07: PROPOSED PLAN

GENERAL NOTES

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- ALL BUILDING STUCCO EXTERIORS TO BE RESTORED AND REPAINTED TO MATCH EXISTING

KEYNOTES

- EXISTING DOOR/WINDOW TO REMAIN
- NEW DOORS
- NEW ENLARGED WINDOWS (REFERENCE ELEVATIONS)
- EXISTING HISTORICAL PLANTER TO REMAIN
- EXISTING TERRACE AND TERRAZZO TO REMAIN
- EXISTING HISTORICAL ARCHITECTURAL DETAIL TO REMAIN
- RECONSTRUCTED CONCRETE COLUMN IN WHITE STUCCO FINISH
- NEW LIFE SAFETY GATE
- CONCRETE STAIRS WITH STAINED CONCRETE TILE RISERS
- PRESERVED AND RESTORED HISTORICAL TERRAZZO DETAIL
- NEW PAIR OF DOORS IN EXISTING WINDOW OPENING. ENLARGE OPENING TO EXTEND TO THE EXISTING TERRACE.
- NEW RAMP
- GARDEN BED WITH INTEGRATED IRRIGATION
- ELEVATED STUCCO PLANTER WITH INTEGRATED IRRIGATION AND DRAINAGE
- PLANTER BEDS WITH INTEGRATED IRRIGATION AND DRAINAGE
- OPERABLE GLASS DOORS
- LINE OF ELEVATED OPEN AIR WALKWAY
- LINE OF TRELLIS PROJECTION ABOVE @ 50% OPEN TO SKY
- GUEST ELEVATOR
- SERVICE ELEVATOR
- PRESERVED HISTORICAL EYEBROW BELOW WITH UNDERSIDE PAINTED IN STREAMLINE MODERN PINK, TYP.
- NEW EGRESS STAIRS
- EXISTING EGRESS STAIRS
- NEW STAIRS
- MECHANICAL/SHAFT
- TYP. BALCONY PROJECTION: GLASS RAILING WITH STAINLESS STEEL SHOE AND TOP RAIL
- FLUTED WHITE STUCCO COLUMN, TYP.
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- SERVICE DOOR
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- EXISTING HISTORIC ADDRESS MONUMENT SIGN TO BE PRESERVED
- EXISTING HISTORIC FRIEZE TO REMAIN
- EXISTING HISTORIC STATUE AND FOUNTAIN TO REMAIN, NEW MOSAIC TILE ON BASE AND INSIDE HISTORIC BASIN
- NEW BREEZE BLOCK GREEN WALL
- NEW HOT TUB IN EXISTING LOCATION CONSTRUCTED 18" ABOVE FINISH FLOOR
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- EXISTING LIMESTONE GARDENWALL
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- EXISTING COLUMN TO REMAIN
- NON-STRUCTURAL VERTICAL DETAIL
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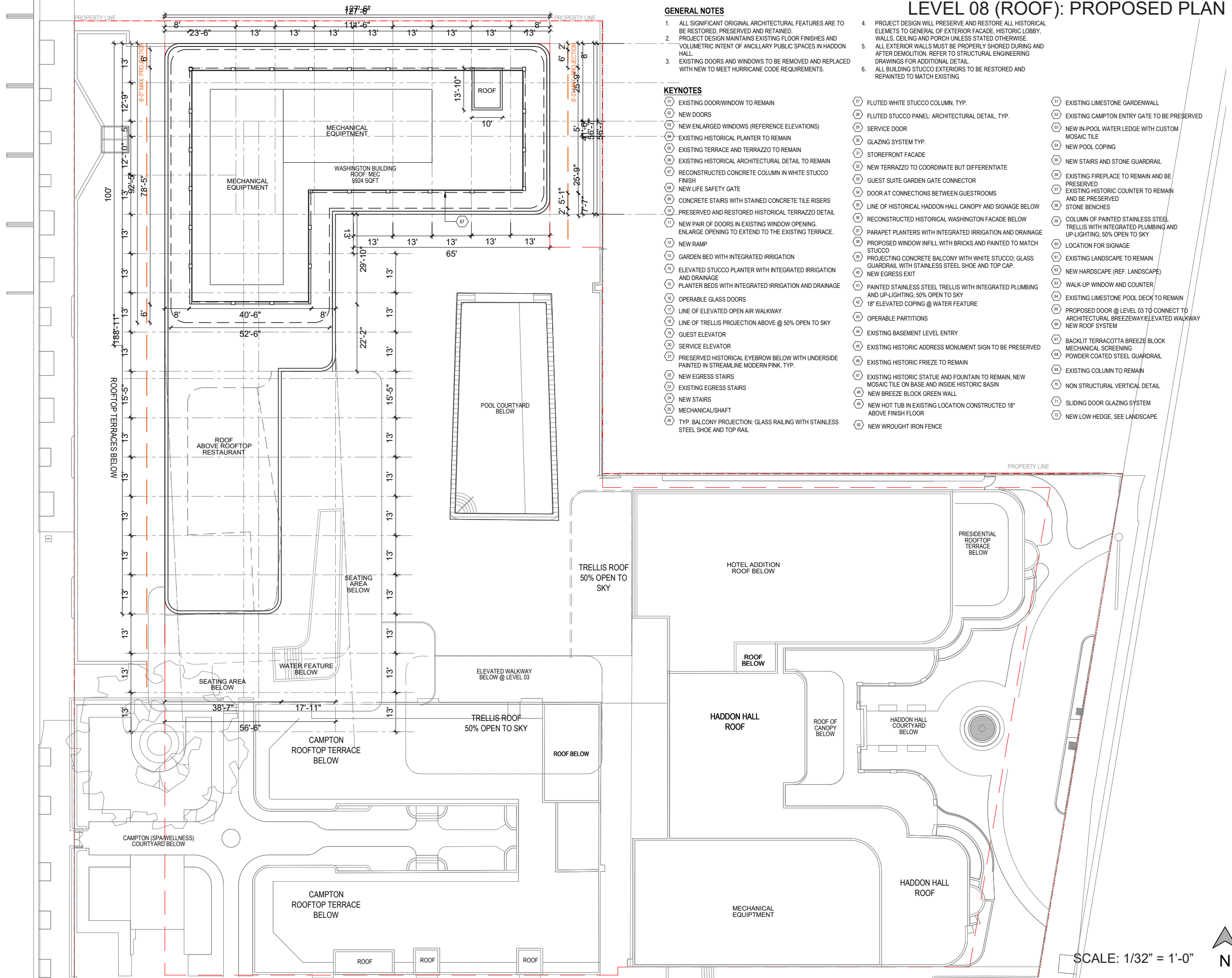
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1509-1515 WASHINGTON
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33139**

**PROPOSED PLAN -
LEVEL 07**

A0-52

SCALE: 1/32" = 1'-0"





GENERAL NOTES

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2. PROJECT DESIGN MAINTAINS EXISTING FLOOR FINISHES AND VOLUMETRIC INTENT OF ANCILLARY PUBLIC SPACES IN HADDON HALL.
3. EXISTING DOORS AND WINDOWS TO BE REMOVED AND REPLACED WITH NEW TO MEET HURRICANE CODE REQUIREMENTS.

KEYNOTES

- 61 EXISTING DOOR/WINDOW TO REMAIN
- 62 NEW DOORS
- 63 NEW ENLARGED WINDOWS (REFERENCE ELEVATIONS)
- 64 EXISTING HISTORICAL PLANTER TO REMAIN
- 65 EXISTING TERRACE AND TERRAZZO TO REMAIN
- 66 EXISTING HISTORICAL ARCHITECTURAL DETAIL TO REMAIN
- 67 RECONSTRUCTED CONCRETE COLUMN IN WHITE STUCCO FINISH
- 68 NEW LIFE SAFETY GATE
- 69 CONCRETE STAIRS WITH STAINED CONCRETE TILE RISERS
- 70 PRESERVED AND RESTORED HISTORICAL TERRAZZO DETAIL
- 71 NEW PAIR OF DOORS IN EXISTING WINDOW OPENING. ENLARGE OPENING TO EXTEND TO THE EXISTING TERRACE.
- 72 NEW RAMP
- 73 GARDEN BED WITH INTEGRATED IRRIGATION
- 74 ELEVATED STUCCO PLANTER WITH INTEGRATED IRRIGATION AND DRAINAGE
- 75 PLANTER BEDS WITH INTEGRATED IRRIGATION AND DRAINAGE
- 76 OPERABLE GLASS DOORS
- 77 LINE OF ELEVATED OPEN AIR WALKWAY
- 78 LINE OF TRELLIS PROJECTION ABOVE @ 50% OPEN TO SKY
- 79 GUEST ELEVATOR
- 80 SERVICE ELEVATOR
- 81 PRESERVED HISTORICAL EYEBROW BELOW WITH UNDERSIDE PAINTED IN STREAMLINE MODERN PINK, TYP.
- 82 NEW EGRESS STAIRS
- 83 EXISTING EGRESS STAIRS
- 84 NEW STAIRS
- 85 MECHANICAL/SHAFT
- 86 TYP. BALCONY PROJECTION: GLASS RAILING WITH STAINLESS STEEL SHOE AND TOP RAIL

LEVEL 08 (ROOF): PROPOSED PLAN

4. PROJECT DESIGN WILL PRESERVE AND RESTORE ALL HISTORICAL ELEMENTS TO GENERAL OF EXTERIOR FACADE, HISTORIC LOBBY, WALLS, CEILING AND PORCH UNLESS STATED OTHERWISE.
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6. ALL BUILDING STUCCO EXTERIORS TO BE RESTORED AND REPAINTED TO MATCH EXISTING

- 27 FLUTED WHITE STUCCO COLUMN, TYP.
- 28 FLUTED STUCCO PANEL: ARCHITECTURAL DETAIL, TYP.
- 29 SERVICE DOOR
- 30 GLAZING SYSTEM TYP.
- 31 STOREFRONT FACADE
- 32 NEW TERRAZZO TO COORDINATE BUT DIFFERENTIATE
- 33 GUEST SUITE GARDEN GATE CONNECTOR
- 34 DOOR AT CONNECTIONS BETWEEN GUESTROOMS
- 35 LINE OF HISTORICAL HADDON HALL CANOPY AND SIGNAGE BELOW
- 36 RECONSTRUCTED HISTORICAL WASHINGTON FACADE BELOW
- 37 PARAPET PLANTERS WITH INTEGRATED IRRIGATION AND DRAINAGE
- 38 PROPOSED WINDOW INFILL WITH BRICKS AND PAINTED TO MATCH STUCCO
- 39 PROJECTING CONCRETE BALCONY WITH WHITE STUCCO, GLASS GUARDRAIL, WITH STAINLESS STEEL SHOE AND TOP CAP.
- 40 NEW EGRESS EXIT
- 41 PAINTED STAINLESS STEEL TRELLIS WITH INTEGRATED PLUMBING AND UP-LIGHTING; 50% OPEN TO SKY
- 42 18" ELEVATED COPING @ WATER FEATURE
- 43 OPERABLE PARTITIONS
- 44 EXISTING BASEMENT LEVEL ENTRY
- 45 EXISTING HISTORIC ADDRESS MONUMENT SIGN TO BE PRESERVED
- 46 EXISTING HISTORIC FRIEZE TO REMAIN
- 47 EXISTING HISTORIC STATUE AND FOUNTAIN TO REMAIN, NEW MOSAIC TILE ON BASE AND INSIDE HISTORIC BASIN
- 48 NEW BREEZE BLOCK GREEN WALL
- 49 NEW HOT TUB IN EXISTING LOCATION CONSTRUCTED 18" ABOVE FINISH FLOOR
- 50 NEW WROUGHT IRON FENCE

- 51 EXISTING LIMESTONE GARDENWALL
- 52 EXISTING CAMPTON ENTRY GATE TO BE PRESERVED
- 53 NEW IN-POOL WATER LEDGE WITH CUSTOM MOSAIC TILE
- 54 NEW POOL COPING
- 55 NEW STAIRS AND STONE GUARDRAIL
- 56 EXISTING FIREPLACE TO REMAIN AND BE PRESERVED
- 57 EXISTING HISTORIC COUNTER TO REMAIN AND BE PRESERVED
- 58 STONE BENCHES
- 59 COLUMN OF PAINTED STAINLESS STEEL TRELLIS WITH INTEGRATED PLUMBING AND UP-LIGHTING; 50% OPEN TO SKY
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- 67 POWDER COATED STEEL GUARDRAIL
- 68 EXISTING COLUMN TO REMAIN
- 69 NON STRUCTURAL VERTICAL DETAIL
- 70 SLIDING DOOR GLAZING SYSTEM
- 71 NEW LOW HEDGE, SEE LANDSCAPE



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**PROPOSED PLAN -
LEVEL 08 (ROOF)**

A0-53

SCALE: 1/32" = 1'-0"

