

NEW RESIDENCE:
1520 STILLWATER DRIVE
MIAMI BEACH, FL. 33141

DESIGN REVIEW BOARD, CITY OF MIAMI BEACH
DRB24-1042
FINAL SUBMITTAL: 02-02-2025



PROJECT GENERAL DATA:
ADDRESS:
1520 STILLWATER DRIVE, MIAMI BEACH, FL. 33141

FOLIO NUMBER: 02-3203-011-2120

ZONING: RS-4 RESIDENTIAL SINGLE FAMILY

LEGAL DESCRIPTION:
LOT 51, BLOCK 16, BISCAYNE BEACH SECOND ADDITION, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 46, PAGE 39, OF THE PUBLIC RECORDS OF MIAMI DADE COUNTY, FLORIDA.

SCOPE OF WORK:
CONSTRUCTION OF NEW RESIDENCE WITH UNDERSTORY (NON-HABITABLE GROUND FLOOR) & 2 FLOORS UNDER A/C)

APPLICABLE CODES:
FLORIDA BUILDING CODE 2023, 8TH EDITION-RESIDENTIAL
CITY OF MIAMI BEACH CODE OF ORDINANCES

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RESIDENCE FOR :

1520 STILLWATER DRIVE

FLORIDA

OWNER:

HILMAR THOR KRITINSSON

RANVEIG EIN EINARSDOTTIR

MIAMI BEACH

DATE:	02/02/2025	ISSUED:		D.P.	
DRAWN:		CHECKED:		A.R.	
PROJECT No.					

DESIGN REVIEW BOARD,
CITY OF MIAMI BEACH DRB24-1042
DRAWING TITLE:

COVER SHEET/
INDEX OF DRAWINGS

SHEET:

A-0.0

1 OF 34



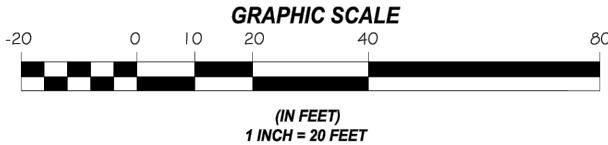
JOHN IBARRA & ASSOCIATES, INC.
Professional Land Surveyors & Mappers

777 N.W. 72nd AVENUE
SUITE 3025
MIAMI, FLORIDA 33126
PH: (305) 262-0400
FAX: (305) 262-0401

5726 DEL PRADO BLVD. S.
SUITE 605
CAJAL CORRAL, FL 33504
PH: (239) 540-2660
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MAP OF BOUNDARY SURVEY



LOCATION MAP
SCALE = N.T.S.



**FLORIDA DEPARTMENT OF
Environmental Protection**

Marjory Stoneman Douglas Building
3900 Commonwealth Boulevard
Tallahassee, FL 32399

Ben DeSantis
Governor

Josefa Miller
Lt. Governor

Shawn Hamilton
Secretary

Tidal Water Survey Procedural Approval

Date: 4/15/2024

Name: John Ibarra

Firm Name: John Ibarra & Associates, Inc.

Address: 777 NW 72nd Avenue, Suite 3025

Miami, FL 33126

Phone: 305.262.0400

Email: dwn@ibarralandsurveyors.com

USGS 7.5-Minute Quad Map No. 183

County: Miami

Mean High Water (MHW): 0.18 ft

Mean Low Water (MLW): -1.87 ft

Unit of Measurement: Feet

Date: NAVD88

Tidal Epoch: 1983-2001

Procedure: Extend the above MHW height to job if within one-half mile.

Source of Data: Florida Department of Environmental Protection, Bureau of Survey and Mapping.

This form constitutes approval of the method to be used to survey the mean high-water line or the mean low-water line within one-half mile of the point identified above.

Retain this form for record keeping. Submit a copy of this form with the completed survey to the Bureau of Survey and Mapping.

Contact: Florida Department of Environmental Protection

Bureau of Survey and Mapping

Mean High Water Repository

3900 Commonwealth Boulevard, Mail Station 105

Tallahassee, FL 32399-3000

Tel: (850) 245-2840

email pdf to: mhwrequest@floridadep.gov

1520 Stillwater Drive - Miami Beach

Approved by:

Eric Sellers

4/15/2024

(Date)

ELEVATION NOTE

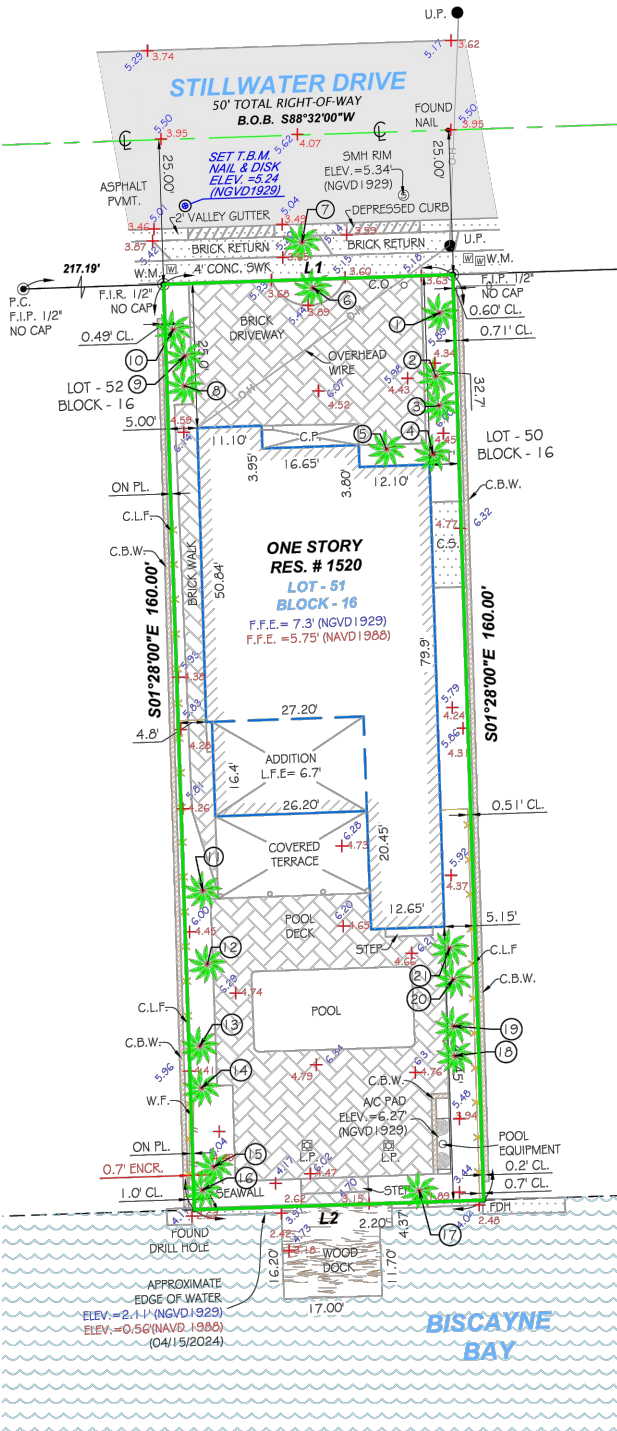
NGVD ELEV. - 1.55' = ELEV. IN NAVD 1988

× 0.00 = ELEVATION IN NGVD 1929.

× 0.00 = ELEVATION IN NAVD 1988.

TREE TABLE

No.	Name	Diameter (ft.)	Height (ft.)	Spread (ft.)
1	PALM CLUSTER	0.40	5	5
2	PALM	0.70	20	10
3	PALM	0.45	5	5
4	PALM	1.00	3	5
5	PALM	0.35	10	5
6	PALM	0.35	6	3
7	CREPE MYRTLE	0.20	9	3
8	COCONUT PALM	0.80	5	5
9	COCONUT PALM	0.90	25	15
10	PALM	0.35	5	5
11	ARECA PALM	0.30	15	10
12	PALM	1.00	2	10
13	COCONUT PALM	0.90	32	15
14	COCONUT PALM	0.90	7	15
15	PALM CLUSTER	0.40	5	5
16	COCONUT PALM	1.00	37	15
17	PALM	0.40	7	5
18	PALM	0.70	22	10
19	PALM	1.00	6	10
20	PALM	1.00	5	10
21	PALM	1.00	3	10



LINE	BEARING	LENGTH
L1	S88°32'00\"W	50.00'
L2	S88°32'00\"W	50.00'

ABBREVIATIONS

A = ARC
AC = AIR CONDITIONER PAD
A.E. = ANCHOR EASEMENT
A.R. = ALUMINUM ROOF
A.S. = ALUMINUM SHED
ASPH. = ASPHALT
B.C. = BLOCK CORNER
BLDG. = BUILDING
B.M. = BENCH MARK
B.C.R. = BROWARD COUNTY RECORDS
B.D. = BASIS OF BEARING
B.S.L. = BUILDING SETBACK LINE
(C) = CALCULATED
C.B. = CATCH BASIN
C.B.S. = CONCRETE BLOCK STRUCTURE
C.W. = CONCRETE BLOCK WALL
CH. = CHORD
CH.B. = CHORD BEARING
CH.L. = CHORD LENGTH
CL. = CLEAR
C.O. = CHAIN CUT
C.L.F. = CHAIN LINK FENCE
C.M.E. = CHAIN MAINTENANCE EASEMENT
CONC. = CONCRETE
C.U.P. = CONCRETE UTILITY POLE
C.P. = CONCRETE PORCH
C.S. = CONCRETE SLAB
C.W. = CONCRETE WALK
D.E. = DRAINAGE EASEMENT
D.M.E. = DRAINAGE MAINTENANCE EASEMENT
DRIVE = DRIVEWAY
E. = EGRESS
E.B. = ELECTRIC BOX
E.T.P. = ELECTRIC TRANSFORMER PAD
ELEV. = ELEVATION
ENCR. = ENCROACHMENT
F.H. = FIRE HYDRANT
F.I.P. = FOUND IRON PIPE
F.I.R. = FOUND IRON ROD
F.F.E. = FINISHED FLOOR ELEVATION
F.N.D. = FOUND NAIL & DISK
FT. = FEET
F.N.P. = FEDERAL NATIONAL INSURANCE PROGRAM
F.N. = FOUND NAIL
H. = HIGH OR HEIGHT
INGR. = INGRESS AND EGRESS EASEMENT
LC.V. = IRRIGATION CONTROL VALVE
I.F. = IRON FENCE
L.B. = LICENSED BUSINESS
L.P. = LIGHT POLE
L.F.E. = LOWEST FLOOR ELEVATION
L.M.E. = LAKE MAINTENANCE EASEMENT
L. = LAKES
M. = MINUTES
M.D. = MEASURED DISTANCE
M.B. = MAIL BOX
M.D.C.R. = MIAMI DADE COUNTY RECORDS
M.E. = MAINTENANCE EASEMENT
M.H. = MANHOLE
M.A.P. = NOT A PART OF
NGVD = NATIONAL GEODETIC VERTICAL DATUM
N.T.S. = NOT TO SCALE
N.O. = NUMBER
O.S. = OFFSET
O.H. = OVERHEAD
O.H.L. = OVERHEAD UTILITY LINES
O.R.B. = OFFICIAL RECORDS BOOK
O.V.H. = OVERHANG
P.M.T. = PAVEMENT
PL. = PLANTER
P.L. = PROPERTY LINE
P.C. = POINT OF COMPOUND CURVATURE
P.O.T. = POINT OF CURVATURE
P.O.T. = POINT OF TANGENCY
P.O.C. = POINT OF COMMENCEMENT
P.O.B. = POINT OF BEGINNING
P.O.C. = POINT OF REVERSE CURVATURE
P.W. = PARKWAY
P.R.M. = PERMANENT REFERENCE MONUMENT
P.L.S. = PROFESSIONAL LAND SURVEYOR
P.S. = POWER POLE
P.P.S. = POOL PUMP SLAB
P.U.E. = PUBLIC UTILITY EASEMENT
R. = RECORD DISTANCE
R.R. = RAIL ROAD
RES. = RESIDENCE
R.W. = RIGHT-OF-WAY
RAD. = RADIUS OR RADIAL
R.O.E. = ROOF OVERHANG EASEMENT
SEC. = SECTION
STY. = STORY
SWK. = SIDEWALK
S.P. = SET FOR PIPE
S. = SOUTH
S.P. = SCREENED PORCH
S.V. = SEWER VALVE
S. = SECOND
T. = TANGENT
T.B. = TELEPHONE BOOTH
T.B.M. = TEMPORARY BENCHMARK
T.U.E. = TECHNOLOGY UTILITY EASEMENT
T.S.B. = TRAFFIC SIGNAL BOX
T.S.P. = TRAFFIC SIGNAL POLE
TWP. = TOWNSHIP
UTL. = UTILITY
U.E. = UTILITY EASEMENT
U.P. = UTILITY POLE
W.M. = WATER METER
W.F. = WOOD FENCE
W.P. = WOOD PORCH
W.R. = WOOD ROOF
W.V. = WATER VALVE
M. = MONUMENT LINE
C. = CENTER LINE
Δ = DELTA

LEGAL DESCRIPTION:

LOT 51, BLOCK 16, BISCAYNE BEACH SECOND ADDITION, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 46, PAGE 39, OF THE PUBLIC RECORDS OF MIAMI DADE COUNTY, FLORIDA.

PROPERTY ADDRESS:

1520 STILLWATER DRIVE
MIAMI BEACH, FLORIDA 33141

CERTIFICATION:

NELLY B. DIAZ

THE LAND AREA OF THE SUBJECT PROPERTY IS IN TOTAL ± 8,000 SQUARE FEET OR ± 0.18 ACRES AS DESCRIBED IN THE LEGAL DESCRIPTION.

LEGAL NOTES TO ACCOMPANY SKETCH OF SURVEY:

- THERE MAY BE EASEMENTS RECORDED IN THE PUBLIC RECORDS NOT SHOWN ON THIS SURVEY.
- EXAMINATIONS OF THE ABSTRACT OF TITLE WILL HAVE TO BE MADE TO DETERMINE RECORDED INSTRUMENTS, IF ANY, AFFECTING THE PROPERTY.
- THIS SURVEY IS SUBJECT TO DEDICATIONS, LIMITATIONS, RESTRICTIONS, RESERVATIONS OR EASEMENTS OF RECORD.
- LEGAL DESCRIPTIONS PROVIDED BY CLIENT OR ATTESTING TITLE COMPANY.
- BOUNDARY SURVEY MEANS A DRAWING AND/OR A GRAPHIC REPRESENTATION OF THE SURVEY WORK PERFORMED IN THE FIELD, COULD BE DRAWN AT A SHOWN SCALE AND/OR NOT TO SCALE; THE WALLS OR FENCES MAY BE EXAGGERATED FOR CLARITY PURPOSES.
- EASEMENTS AS SHOWN ARE PER PLAT BOOK, UNLESS DEPICTED OTHERWISE.
- THE TERM "ENCROACHMENT" MEANS VISIBLE AND ABOVE GROUND ENCROACHMENTS.
- ARCHITECTS SHALL VERIFY ZONING REGULATIONS, RESTRICTIONS, SETBACKS AND WILL BE RESPONSIBLE FOR SUBMITTING PLAT PLANS WITH CORRECT INFORMATION FOR "APPROVAL FOR AUTHORIZATION" TO THE PROPER AUTHORITIES IN NEW CONSTRUCTION.
- UNLESS OTHERWISE NOTED, THIS FIRM HAS NOT ATTEMPTED TO LOCATE FOOTING AND/OR FOUNDATIONS.
- FENCE OWNERSHIP NOT DETERMINED.
- THIS PLAN OF SURVEY, HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF THE ENTITIES NAMED HEREON, THE CERTIFICATE DOES NOT EXTEND TO ANY UNNAMED PARTY.

FLOOD ZONE INFORMATION:

THE NFIP FLOOD MAPS HAVE DESIGNATED THE HEREIN DESCRIBED LAND TO BE SITUATED IN:

FLOOD ZONE: "AE"
BASE FLOOD ELEVATION: 8.00 FT
COMMUNITY: 120651
PANEL: 0307
SUFFIX: L
DATE OF FIRM: 09/11/2009
THE SUBJECT PROPERTY DOES LIE IN A SPECIAL FLOOD HAZARD AREA.

SURVEYOR'S NOTES:

1. IF SHOWN, BEARINGS ARE REFERRED TO AN ASSUMED MERIDIAN, BY SAID PLAT IN THE DESCRIPTION OF THE PROPERTY, IF NOT, BEARINGS ARE THEN REFERRED TO COUNTY, TOWNSHIP MAPS.
2. THE CLOSURE IN THE BOUNDARY SURVEY IS ABOVE 1/7600 FT.
3. CERTIFICATE OF AUTHORIZATION LB # 1786.
4. ALL ELEVATIONS SHOWN ARE REFERRED TO NATIONAL GEODETIC VERTICAL DATUM OF 1929 CITY OF MIAMI BEACH BENCH MARK CMB SW 01 LOCATED @ ENTRANCE TO STILLWATER DRIVE, PK N&W IN BULL NOSE OF CONC MEDIAN NO. 3220 SE @ 81ST STREET & BYRON AVENUE; ELEVATION IS 3.58 FEET OF N.A.V.D. OF 1988, CONVERTED TO NGVD (1929) BY USING CORPSON.

SURVEYOR'S CERTIFICATION:

I HEREBY CERTIFY THIS "BOUNDARY SURVEY" OF THE PROPERTY DESCRIBED HEREON, HAS RECENTLY BEEN SURVEYED AND DRAWN UNDER MY SUPERVISION, AND COMPLETES WITH THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL LAND SURVEYORS IN CHAPTER 35-17, FLORIDA ADMINISTRATIVE CODE PURSUANT TO 475.027, FLORIDA STATUTES.

Digitally signed by CARLOS M IBARRA
Date: 2025.01.28 12:33:44 -05'00'

BY: CARLOS IBARRA (DATE OF FIELD WORK)

PROFESSIONAL LAND SURVEYOR NO. 6770 STATE OF FLORIDA
(NOT VALID WITHOUT THE ORIGINAL SIGNATURE AND SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER).

REVISED ON: ADD ELEVATION IN NAVD DATUM - 10/03/2024

REVISED ON: BOUNDARY AND TOPOGRAPHIC SURVEY - 04/15/2024

LEGEND

— O — = OVERHEAD UTILITY LINES
— X — X — X — X — = CONCRETE BLOCK WALL
— 0 — 0 — 0 — 0 — = CHAIN LINK FENCE
— # — # — # — # — = IRON FENCE
— — — — — = BUILDING SETBACK LINE
— — — — — = UTILITY EASEMENT
— — — — — = LIMITED ACCESS R/W
— — — — — = NON-VEHICULAR ACCESS R/W
— — — — — = EXISTING ELEVATIONS

DRAWN BY:	CARLOS D.
FIELD DATE:	04/15/2024
SURVEY NO:	24-000583-2
SHEET:	1 OF 1

Digitally signed by CARLOS M IBARRA
Date: 2025.01.28 12:34:25 -05'00'

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RESIDENCE FOR :
1520 STILLWATER DRIVE
MIAMI BEACH

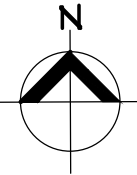
OWNER:
HILMAR THOR KRITINSSON
RANVEIG EIN EINHARDOTTIR

DATE: 02/02/2025
ISSUED: D.P.
DRAWN: A.R.
CHECKED: A.R.
PROJECT NO.

DESIGN REVIEW BOARD,
CITY OF MIAMI BEACH DRB24-1042

DRAWING TITLE:
SURVEY

SHEET:
A-0.



LOCATION PLAN

SINGLE FAMILY RESIDENTIAL - ZONING DATA SHEET

ALL INFORMATION REQUIRED BELOW MUST BE SUBMITTED AS REQUESTED. THE FORMAT OF THIS DOCUMENT MAY NOT BE MODIFIED OR ALTERED IN ANY WAY. SUBMITTALS FOUND INSUFFICIENT OR INCOMPLETE MAY FAIL THE REVIEW

ITEM #	Project Information				
1	Address:	1520 STILLWATER DRIVE, MIAMI BEACH, FL. 33141			
2	Folio number(s):	02-3203-011-2120			
3	Board and file number(s) :				
4	Year built: MULTIPLE	Zoning District:	RS-4		
5	Located within a Local Historic District (Yes or No):	NO			
6	Individual Historic Single Family Residence Site (Yes or No):	NO			
7	Home determined Architecturally Significant by CMB (Yes or No):	NO			
8	Base Flood Elevation:	+8.0' NGVD	Grade value in NGVD:	+5.2 NGVD	
9	Adjusted grade (Flood+Grade/2): and Future adjusted grade	6.6/7.37' NGVD	Free board:	+13' NGVD	
10	30" above grade:	+7.7' NGVD	Lot Area:	8,000 SF	
11	Lot width:	50'-0"	Lot Depth:	160'-0"	
12	Max Lot Coverage SF and %:	2,400 SF (30%)	Proposed Lot Coverage SF and %:	2,399 SF (29.9%)	
13	Existing Lot Coverage SF and %:	N/A	Net Lot coverage (garage-storage)	N/A	
14	Front Yard Open Space SF and %:	1,050 SF (70%)	Rear Yard Open Space SF and %:	841.5 SF (70.125%)	
15	Max Unit Size SF and %:	4,000 SF (50%)	Proposed Unit Size SF and %:	4,000 SF (50%)	
16	Existing First Floor Unit Size:	N/A	Proposed First Floor Unit Size:	N/A	
17	Proposed Roof Deck Area SF and % (Note: Maximum is 25% of the enclosed floor area immediately below):	N/A			
18	Signed and sealed Landscape Plans (Tree/Vegetation Survey, Tree Disposition Plan, and Irrigation Plan).		Yes or No:		
ZONING INFORMATION / CALCULATION		Required	Existing	Proposed	Deficiencies
19	Height measured from B.F.E. plus freeboard	31'-0" MAX.		31'-0" MAX.	
Front Setbacks:					
20	Front First level:	30'-0"		35'-0"	
	Front second level:	30'-0"		30'-0"	
Front second level if lot coverage is 25% or greater:		35'-0"		30'-0"	WAIVER REQUEST
21	a) At least 35% of the front façade shall be setback 5' from the minimum required setback.	35'-0"		31'-8"	WAIVER REQUEST
	b) At least 50% of the second floor along a side elevation facing a street shall be setback 5' from the minimum required setback.	N/A			
22	Sum of side yard :				
23	Side 1:	12'-6"		16'-8"	
24	Side 2 or (facing street):				
25	Rear:	24'-0"		44'-2"	
26	Accessory Structure Side 1:	N/A			
27	Accessory Structure Side 2 or (facing street) :	N/A			
28	Accessory Structure Rear:	N/A			
30	Additional data or information that may be applicable to the project shall be provided in the following fields.				

Notes: Indicate N/A if not applicable.

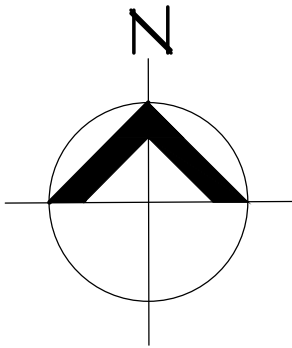
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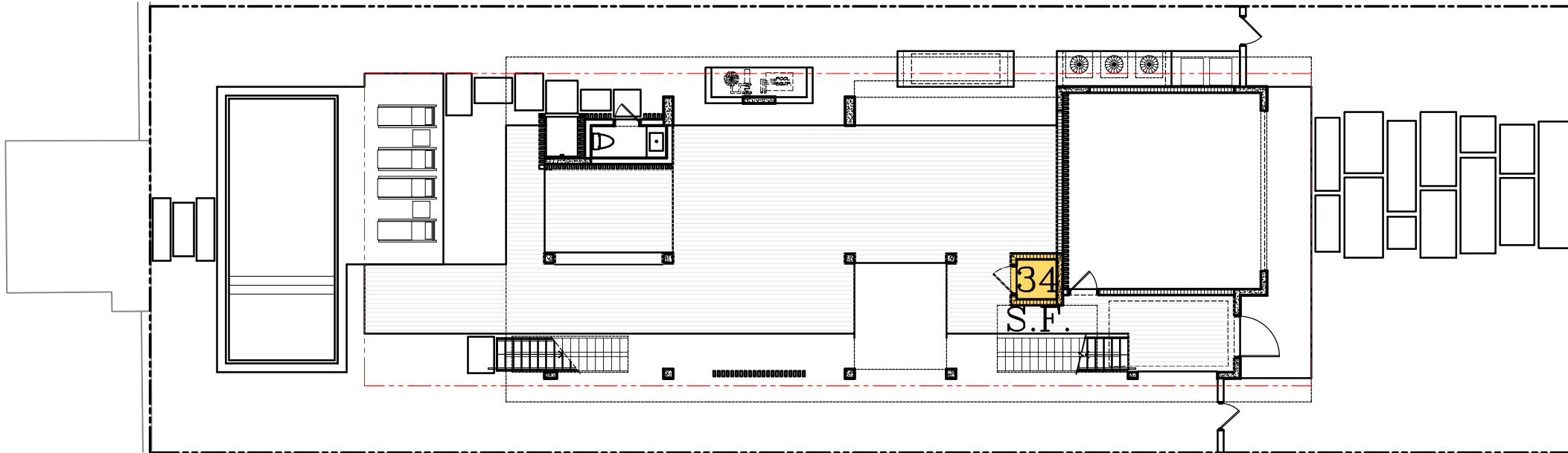


Google Earth

CONTEXT LOCATION MAP

LOCATION PLAN (1/2 MILE RADIUS)



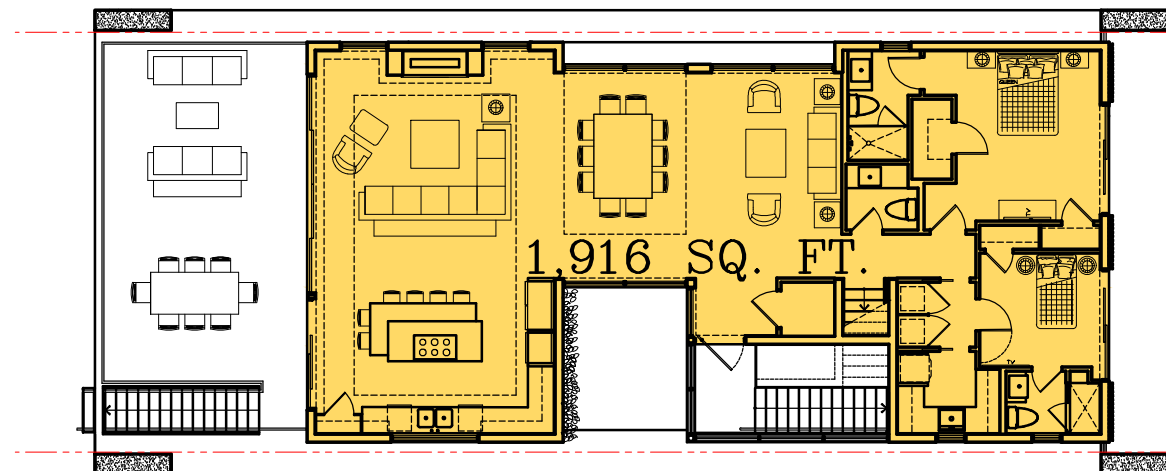


AS PER SECTION 12.2.3-(b)(5)(VII)
NON-AIR CONDITIONED AREAS
LOCATED DIRECTLY BELOW THE FIRST
HABITABLE FLOOR DOES NOT COUNT
IN THE UNIT SIZE CALCULATION

*AS PER SECTION 12.2.3-(b)(6)(D)
UP TO 600 S.F. OF GARAGE DOES NOT
COUNT IN THE UNIT SIZE CALCULATION

UNDERSTORY LEVEL UNIT SIZE: 34 SQ. FT.

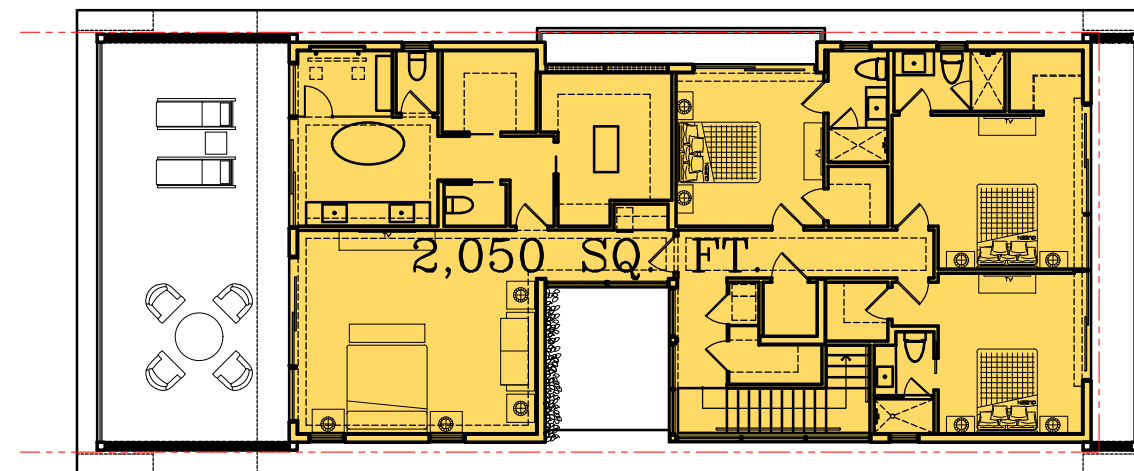
A/C AREA (ELEVATOR) : 34 SQ. FT.



FIRST HABITABLE LEVEL UNIT SIZE: 1,916 SQ. FT.

A/C AREA : 1,916 SQ. FT.

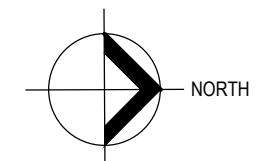
MAX. UNIT SIZE ALLOWED = 4,000 SQ. FT. (50 %)
MAX. UNIT SIZE PROVIDED = 4,000 SQ. FT. (50 %)

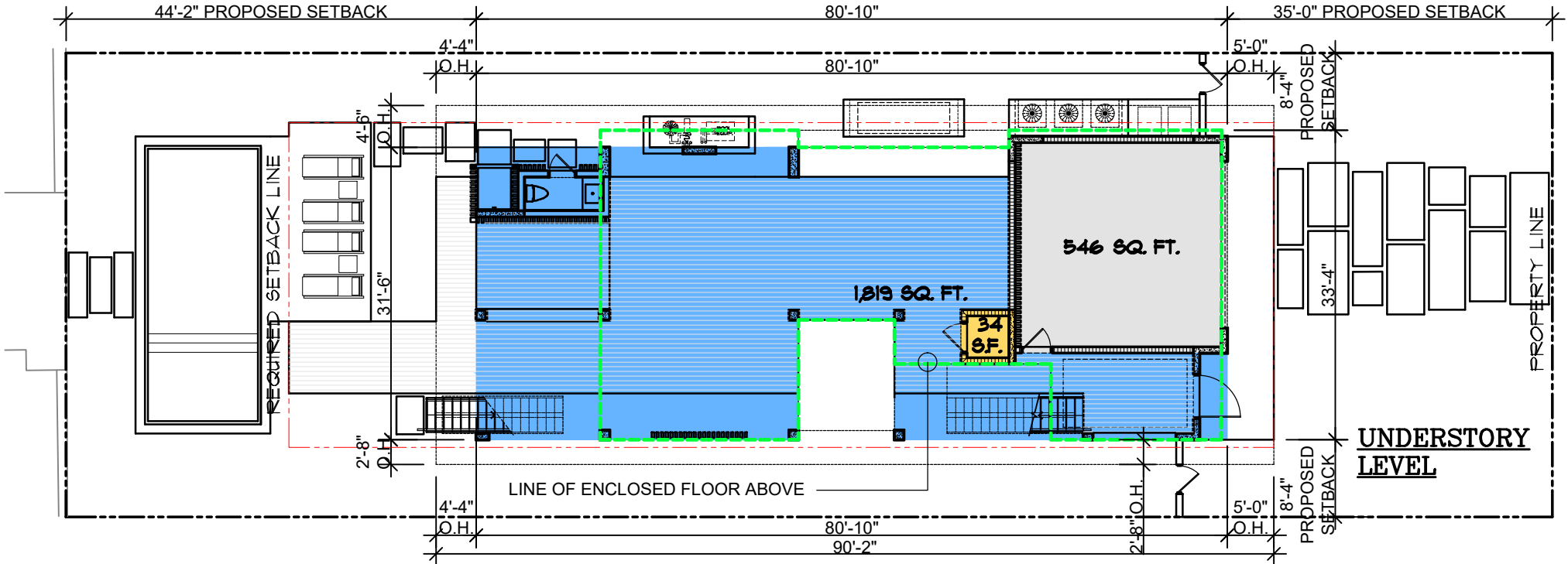


SECOND FLOOR LEVEL UNIT SIZE: 2,050 SQ. FT.

A/C AREA : 2,050 SQ. FT.

UNIT SIZE CALCULATIONS
SCALE : 1/16" = 1'-0"





LOT COVERAGE

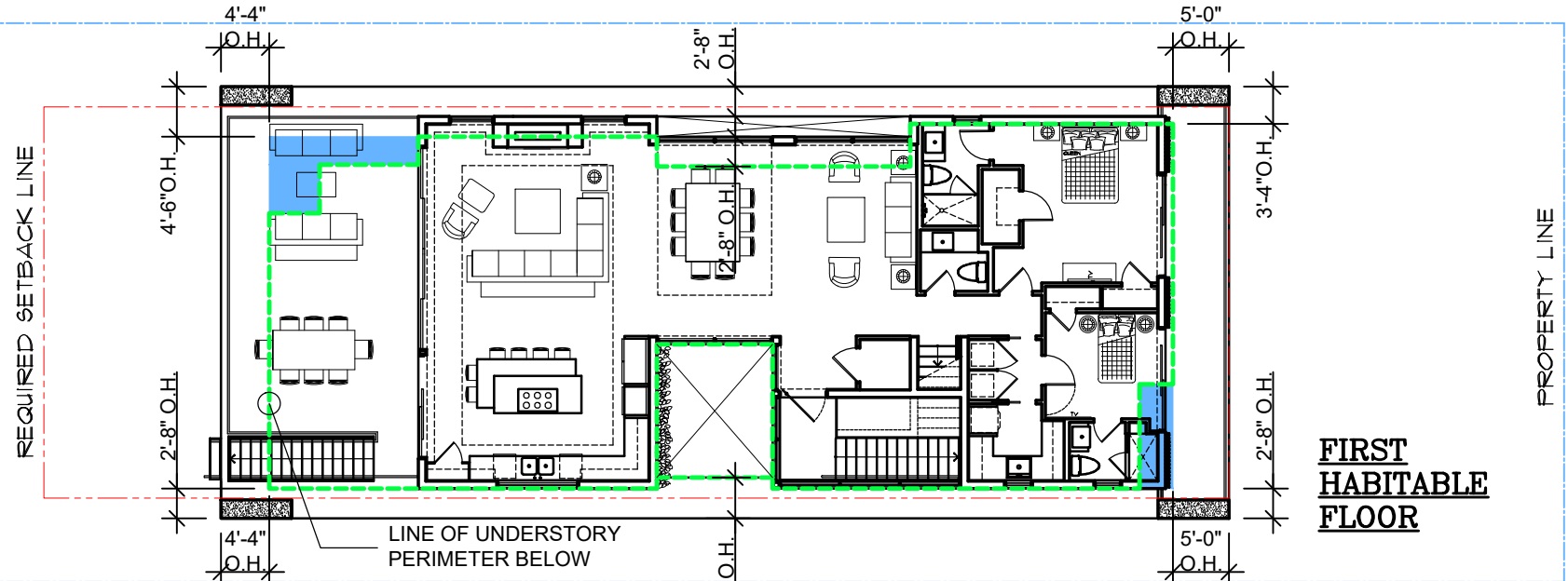
AS PER MIAMI BEACH RESILIENCY CODE, 12.2.3 (b) (1)
MAX. LOT COVERAGE (30% OF 8,000) : 2,400 SQ. FT.

UNDERSTORY A/C AREA (ELEVATOR):	34 SQ. FT.
2 CAR CARPORT :	546 SQ. FT.
COVERED AREAS (OUTDOOR AREA COVERED BY AN ENCLOSED FLOOR ABOVE) :	1,819 SQ. FT.
TOTAL LOT COVERAGE :	2,399 SQ. FT. (29.9%)

KEY NOTE: UNDERSTORY LEVEL

--- LINE OF FIRST HABITABLE FLOOR LEVEL ABOVE

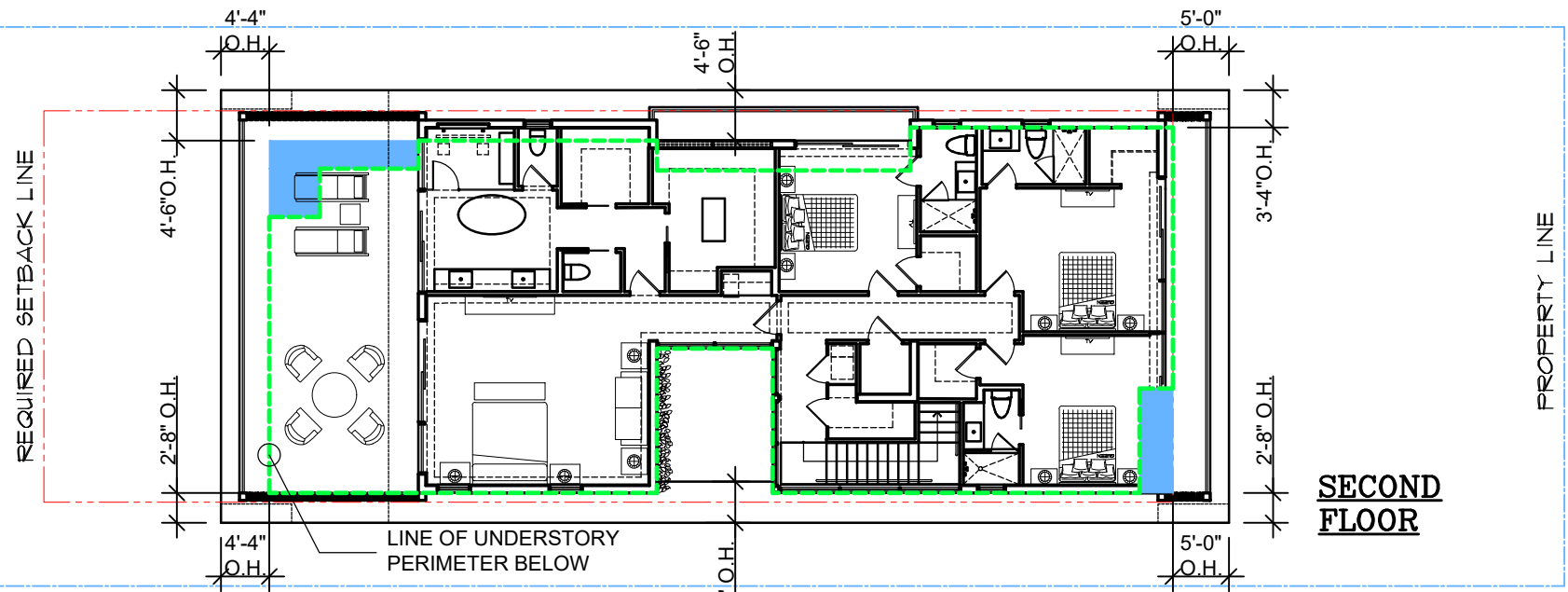
--- AREAS WITH MORE THAN 5'-0" PROJECTING AT UNDERSTORY LEVEL (INCLUDED IN THE LOT COVERAGE CALCULATION)



KEY NOTE: FIRST HAB. FLOOR

--- LINE OF UNDERSTORY PERIMETER BELOW

--- AREAS WITH MORE THAN 5'-0" PROJECTING AT UNDERSTORY LEVEL (INCLUDED IN THE LOT COVERAGE CALCULATION)



KEY NOTE: SECOND FLOOR

--- LINE OF UNDERSTORY PERIMETER BELOW

--- AREAS WITH MORE THAN 5'-0" PROJECTING AT UNDERSTORY LEVEL

LOT COVERAGE

SCALE : 1/16" = 1'-0"

NOTE: ALL PROJECTIONS EXCEEDING 5'-0" ARE COUNTED IN THE LOT COVERAGE CALCULATION.

NORTH

ANTONIO E. RODRIGUEZ

CAD Studio Architecture

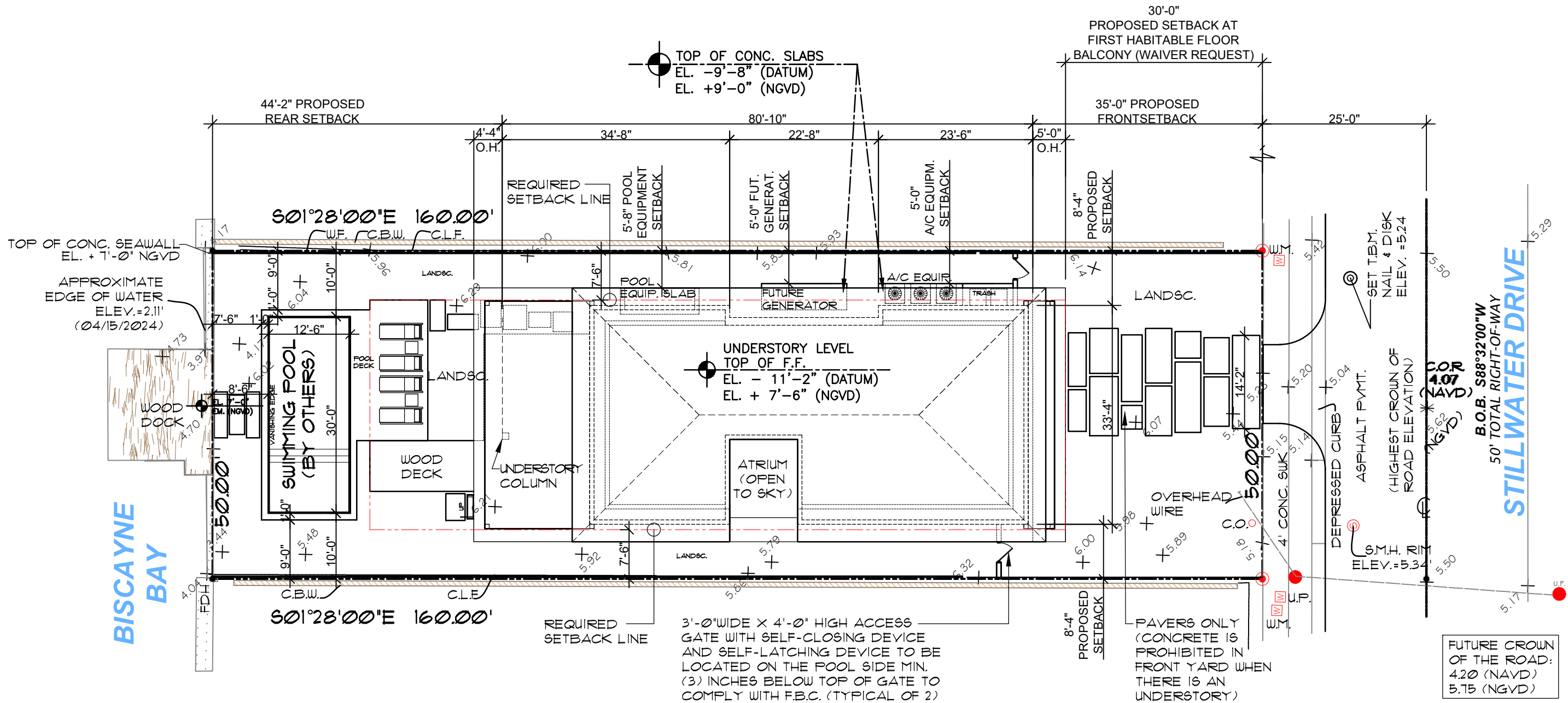
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MIAMI BEACH

OWNER:
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DATE: 02/02/2025
ISSUED: _____
DRAWN: _____
CHECKED: _____
PROJECT No: _____

DESIGN REVIEW BOARD,
CITY OF MIAMI BEACH DRB24-1042
DRAWING TITLE:
**LOT COVERAGE
DIAGRAM**
SHEET:
A-1.2
6 OF 34



BUILDING SETBACKS

AS PER 7.2.2.3 (b)(1)

	REQUIRED	PROVIDED
PRINCIPAL FRONT (UNDERSTORY)	30' MIN.	35'-0"
FIRST HABITABLE FLOOR	30' MIN.	35'-8"
SECOND FLOOR *	35' MIN.	35'-8"
LEFT SIDE	7'-6" MIN.	8'-4"
RIGHT SIDE	7'-6" MIN.	8'-4"
REAR (15% OF LOT DEPTH)	24' MIN.	44'-2"

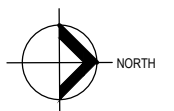
* AS PER 7.2.2.3 (b)(2)(B)(I)
FOR A 2 STORY HOME WITH AN OVERALL LOT COVERAGE OF 25% OR GREATER, AT LEAST 35% OF THE SECOND FLOOR ALONG THE FRONT ELEVATION SHALL SET BACK A MIN. OF 5' FROM THE MIN. REQUIRED.
THE DRB MAY FOREGO THESE REQUIREMENTS, IN ACCORDANCE WITH THE APPLICABLE DESIGN REVIEW OR APPROPRIATENESS CRITERIA.

SWIMMING POOL SETBACKS

7.2.2.3(b)(12)(P)

	TO SWIMMING POOL DECK		TO WATER'S EDGE	
	REQUIRED	PROPOSED	REQUIRED	PROPOSED
FRONT	30'	127'	30'	139'
LEFT SIDE	7'-6' MIN.	7'-6'	9'-0' MIN.	10'-0'
RIGHT SIDE	7'-6' MIN.	7'-6'	9'-0' MIN.	10'-0'
REAR	6' MIN.	6'	7'-6' MIN.	8'-6"

PROPOSED SITE PLAN
SCALE : 1/16" = 1'-0"





1. FRONT VIEW



2. FRONT VIEW



3. REAR VIEW

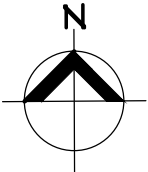


4. REAR VIEW



5. REAR WATER VIEW

CURRENT PROPERTY VIEWS



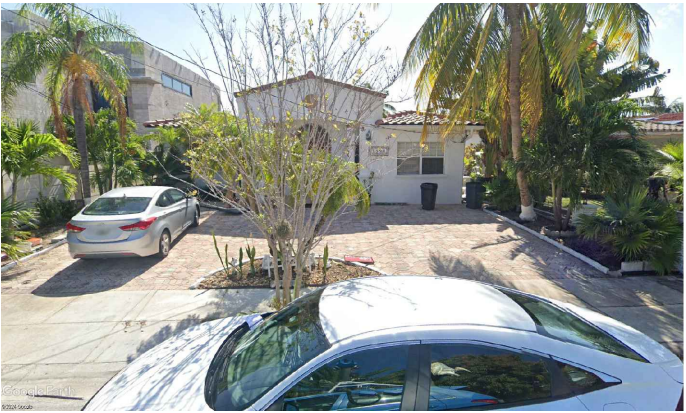
KEY PLAN



1 1500 STILLWATER DR.



3 1510 STILLWATER DR.



5 1520 STILLWATER DR.
PROJECT SITE



2 1501 STILLWATER DR.



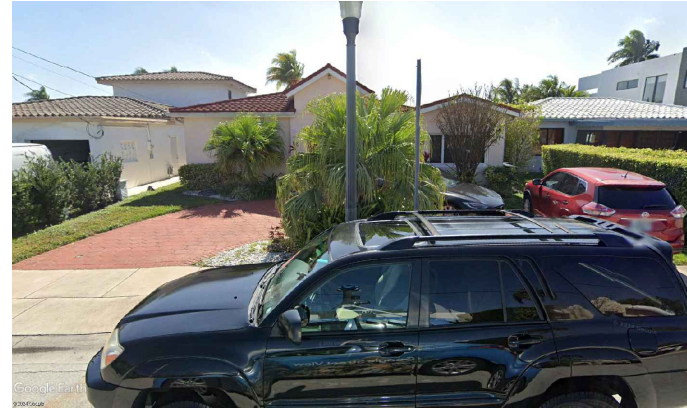
4 1511 STILLWATER DR.



6 1521 STILLWATER DR.

VACANT
LOT

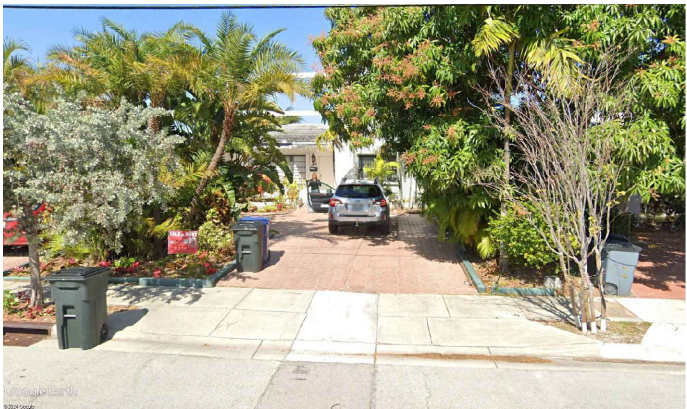
7 1530 STILLWATER DR.



9 1540 STILLWATER DR.



11 1550 STILLWATER DR.



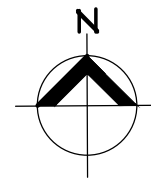
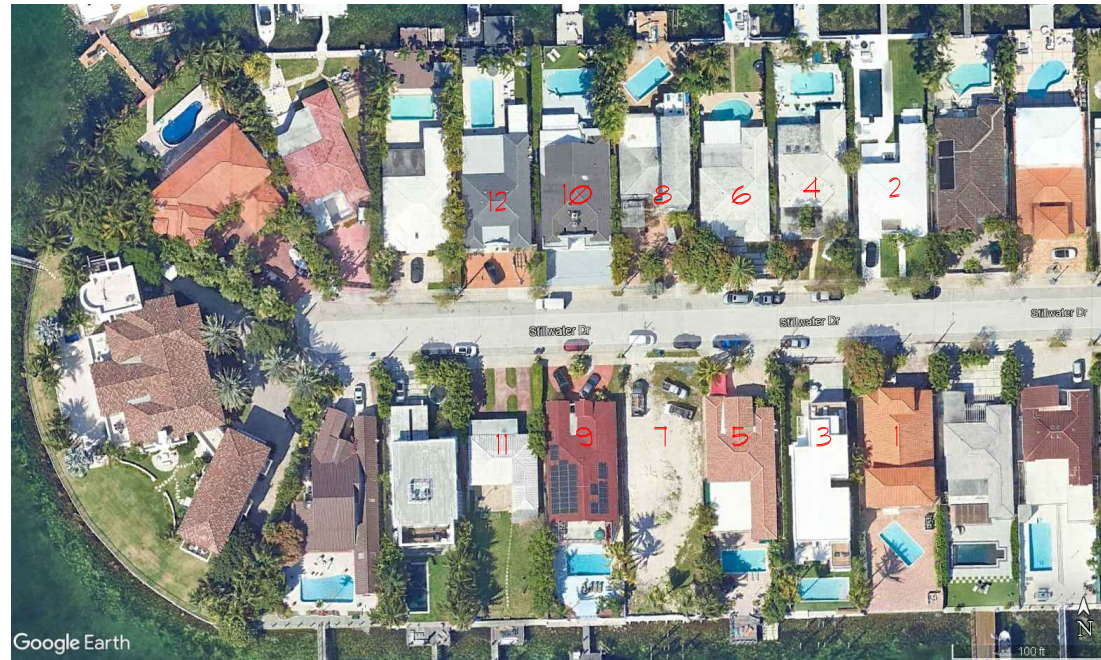
8 1531 STILLWATER DR.



10 1541 STILLWATER DR.



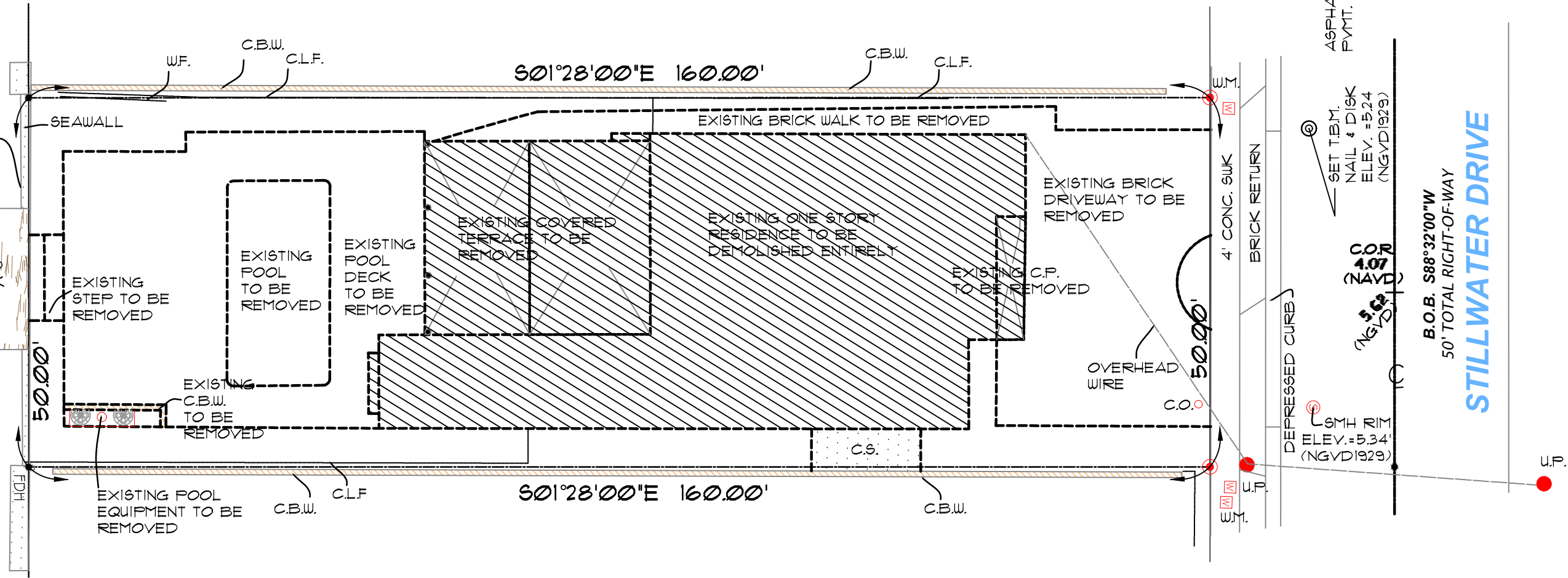
12 1551 STILLWATER DR.



KEY PLAN

APPROXIMATE
EDGE OF WATER
ELEV.=2.11' (NGVD1929)
ELEV.=0.56' (NAVD 1988)
(04/15/2024)

BISCAYNE
BAY



DEMOLITION NOTES :

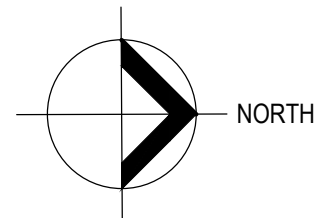
1. CONTRACTOR SHALL NOTIFY ALL UTILITIES FOR PROPER DISCONNECTION PRIOR TO DEMOLITION ACTIVITIES. CAP EXISTING ELECTRICAL AND PLUMBING FIXTURES BEING REMOVED.
2. CONTRACTOR SHALL PERFORM AND OBTAIN ALL PERMITS WITH CITY OF MIAMI BEACH & COMPLY WITH ALL NECESSARY REQUIREMENTS. CONTRACTOR SHALL PROVIDE NOTIFICATIONS AS REQUIRED AND COMPLY WITH LOCAL ORDINANCES.
3. CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY ACCIDENTAL DAMAGE TO ADJACENT PROPERTIES AND EXISTING ITEMS TO REMAIN. RESPONSIBILITY MEANS REPLACEMENT OF OR RESTORATION TO ORIGINAL CONDITION OF ANY DAMAGED ITEMS.
4. CONTRACTOR SHALL REMOVE ANY DECORATIVE ACCESSORIES AND LIGHT FIXTURES FROM WALLS, CEILINGS AND ELSEWHERE DIRECTED BY OWNER AND PROTECT SAME FROM POSSIBLE DAMAGE UNTIL INSPECTION FOR DISPOSITION IS MADE BY OWNER.
5. CONTRACTOR SHALL PERFORM INSECT/RODENT EXTERMINATION AS REQUIRED BY AUTHORITIES HAVING JURISDICTION.
6. CONDUCT OPERATIONS SO AS NOT INTERFERE WITH ADJACENT ROADS, STREETS DRIVES, WALKS, SERVICE LINES AND THE LIKE.
7. MAINTAIN BUILDING GROUNDS FREE FROM ACCUMULATION OF WASTE MATERIALS AND RUBBISH. DISPOSE ALL MATERIALS IMMEDIATELY AFTER DEMOLITION.
8. CONTRACTOR SHALL TAKE APPROPRIATE STEPS TO PREVENT AIRBORNE DUST TO SPREAD TO ADJACENT PROPERTIES. WATER SHALL BE APPLIED WHEREVER PRACTICAL TO SETTLE AND HOLD DUST TO A MINIMUM, PARTICULARLY DURING THE DEMOLITION & MOVING OF MATERIALS. PROVIDE DUMP CONTAINERS ON SITE FOR COLLECTION OF WASTE MATERIALS, RUBBISH AND DEBRIS FOR ALL TRADES.
9. DURING DEMOLITION PROCESS IF ANY STRUCTURAL WALLS, COL'S AND BEAMS ARE ENCOUNTERED NOTIFY THE ARCHITECT/ENGINEER DO NOT SAW-CUT ANY STRUCTURAL SLABS WITHOUT INSTRUCTIONS FROM THE STRUCTURAL ENGINEER. UPON COMPLETION OF DEMOLITION WORK, LEAVE THE PROPERTY AND ADJACENT AREAS CLEAN AND SATISFACTORY TO LOCAL AUTHORITIES AND THE ARCHITECT, BESIDES THE REMOVAL OF WASTE MATERIALS. THE ENTIRE SPACE SHALL BE LEFT IN A 'BROOM CLEAN' CONDITION, WITH THE COMPLETE REMOVAL OF ALL ACCUMULATIONS OF DUST FROM ANY REMAINING SURFACES, STRUCTURAL ELEMENTS OR OTHERWISE.
10. CONTRACTOR SHALL PERFORM ALL NECESSARY TESTING FOR ASBESTOS CONTAINING MATERIAL AND RETAIN A CERTIFIED ASBESTOS ABATEMENT COMPANY FOR REMOVAL OF ANY ASBESTOS CONTAINING MATERIAL PER STATE OF FLORIDA REGULATIONS.

SCOPE OF WORK :

1. SCOPE OF DEMOLITION ENTAILS ENTIRE BUILDING.
2. REMOVE WALKWAYS, CONCRETE OR TILED PATIO, PRIVACY WALLS, DECKS, DRIVEWAYS AND FENCES AS INDICATED ON PLANS.
3. MAINTAIN AND PROTECT EXISTING TREES PER TREE DISPOSITION PLAN.

DEMOLITION SITE PLAN

SCALE : 1/16" = 1'-0"



RESIDENCE FOR :

1520 STILLWATER DRIVE

MIAMI BEACH

OWNER:

HILMAR THOR KRITINSSON

RANNVEIG EIN EINHARDOTTIR

DATE: 02/02/2025

ISSUED:

D.P.

CHECKED:

PROJECT No.

DESIGN REVIEW BOARD,
CITY OF MIAMI BEACH DRB24-1042

DRAWING TITLE:

DEMOLITION
SITE PLAN

SHEET:

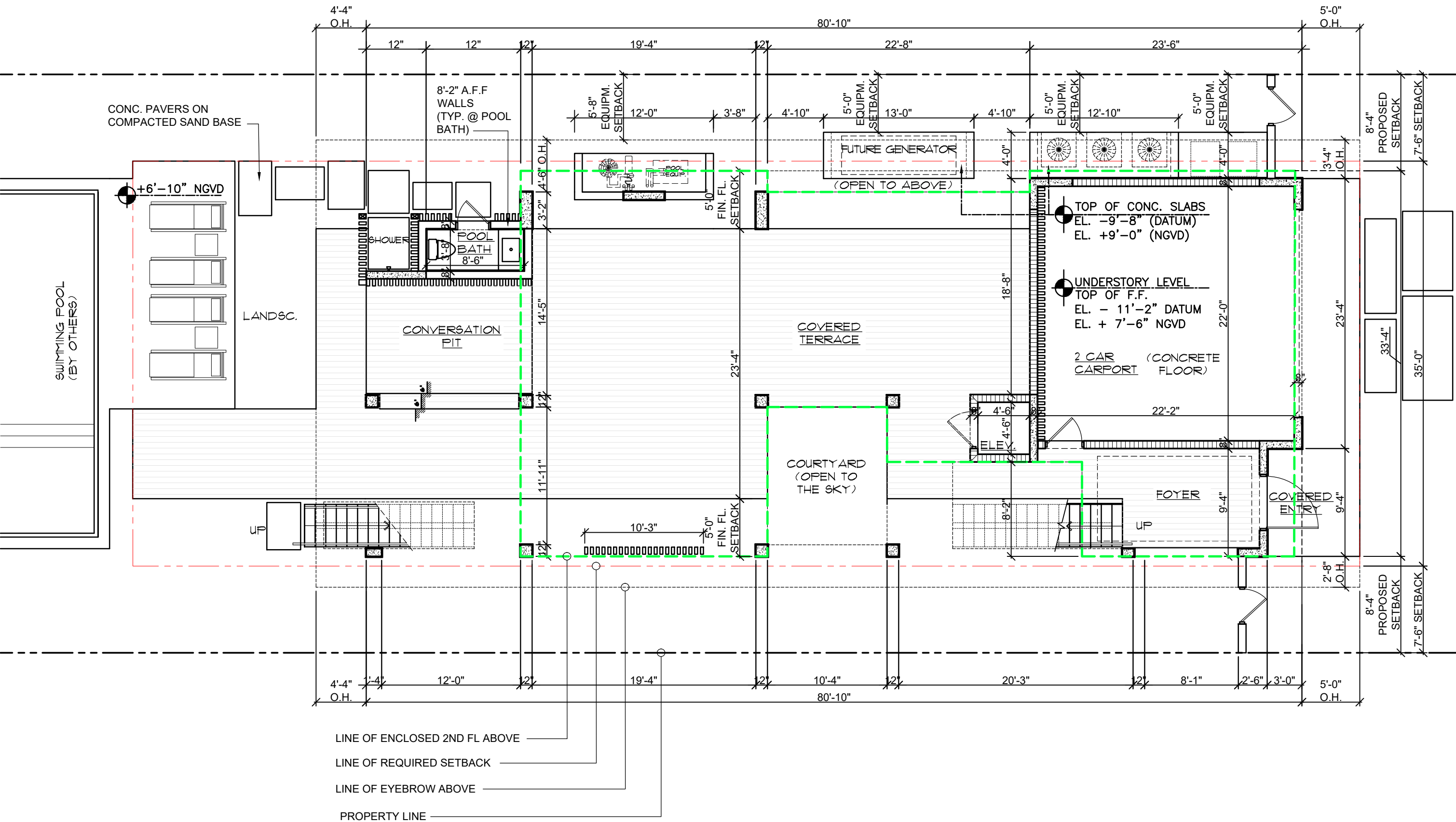
A-2.0

10 OF 34

ANTONIO E.
RODRIGUEZ
CAD Studio Architecture

LIC. No. AB93309
Antonio E. Rodriguez, Architect, AIA
4800 S.W. 72 AVENUE, MIAMI FL. 33155
T: (305) 662-1008

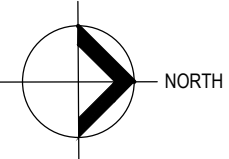
FLORIDA



	8'-2" AFF CMU WALL		3" TYP. 3" TYP.		3"x8" @ 6" O.C. ALUMN. SCREEN
	CONC. COLUMN				WOOD DECK FLOORING W/ 1/8" GAP BETWEEN SLATS
	CMU BREAKAWAY WALL				

UNDERSTORY LEVEL PLAN

SCALE : 1/8" = 1'-0"



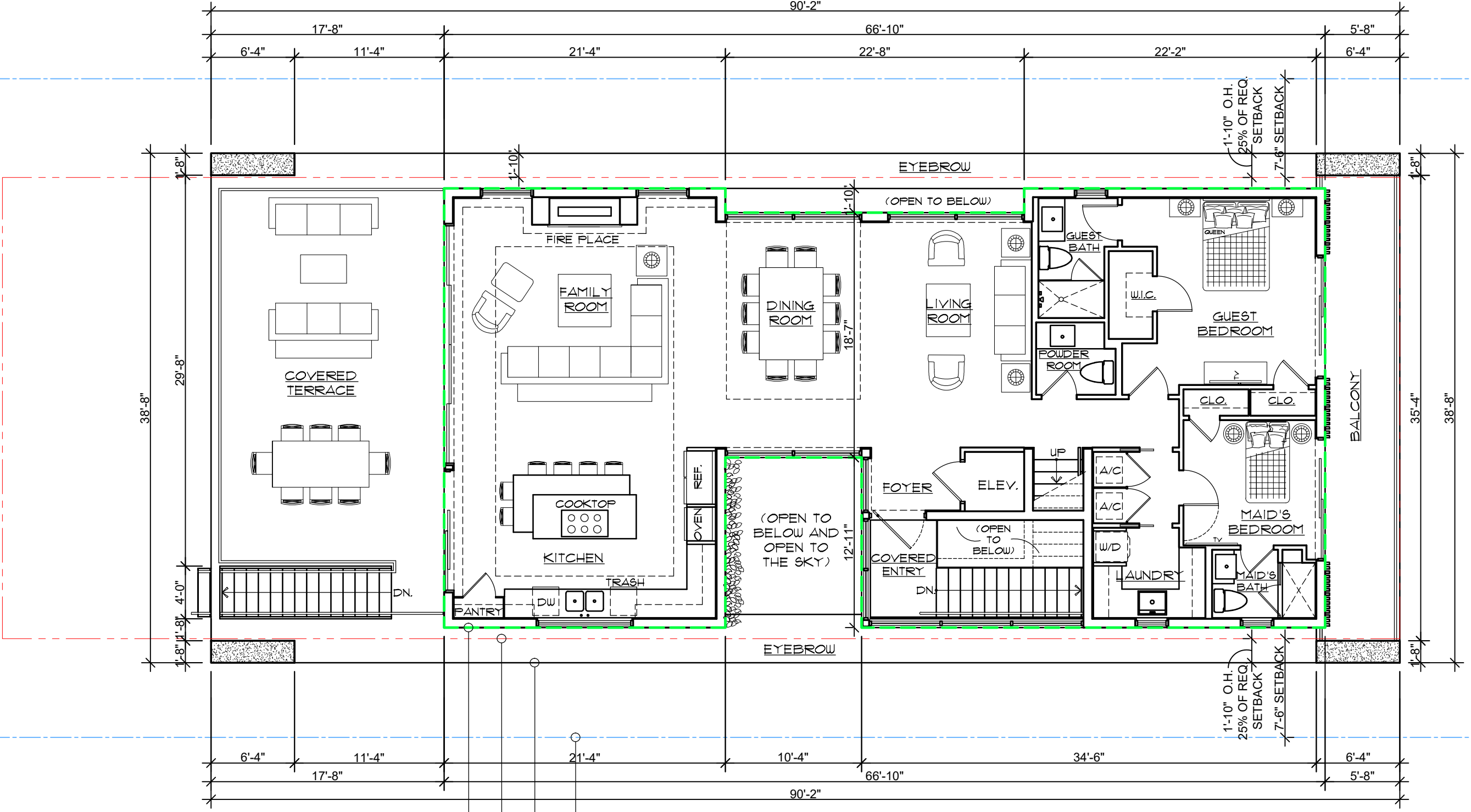
ANTONIO E. RODRIGUEZ
CAD Studio Architecture
Antonio E. Rodriguez, Architect, AIA
LIC. No. AB93309
4800 S.W. 72 AVENUE, MIAMI FL 33155
T: (305) 662-1008

RESIDENCE FOR :
1520 STILLWATER DRIVE
MIAMI BEACH
FLORIDA

OWNER:
HILMAR THOR KRITINSSON
RANNEVG EIR EINARSDOTTIR

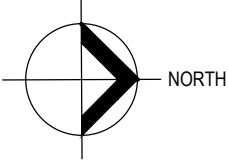
DATE:	02/02/2025
ISSUED:	
DRAWN:	D.P.
CHECKED:	A.R.
PROJECT No.	

DESIGN REVIEW BOARD,
CITY OF MIAMI BEACH DRB24-1042
DRAWING TITLE:
UNDERSTORY LEVEL PLAN
SHEET:
A-2.1
11 OF 34



LINE OF ENCLOSED 2ND FL ABOVE
LINE OF REQUIRED SETBACK
LINE OF EYEBROW
PROPERTY LINE

FIRST HABITABLE
FLOOR LEVEL PLAN
SCALE : 1/8" = 1'-0"



ANTONIO E.
RODRIGUEZ

CAD Studio Architecture

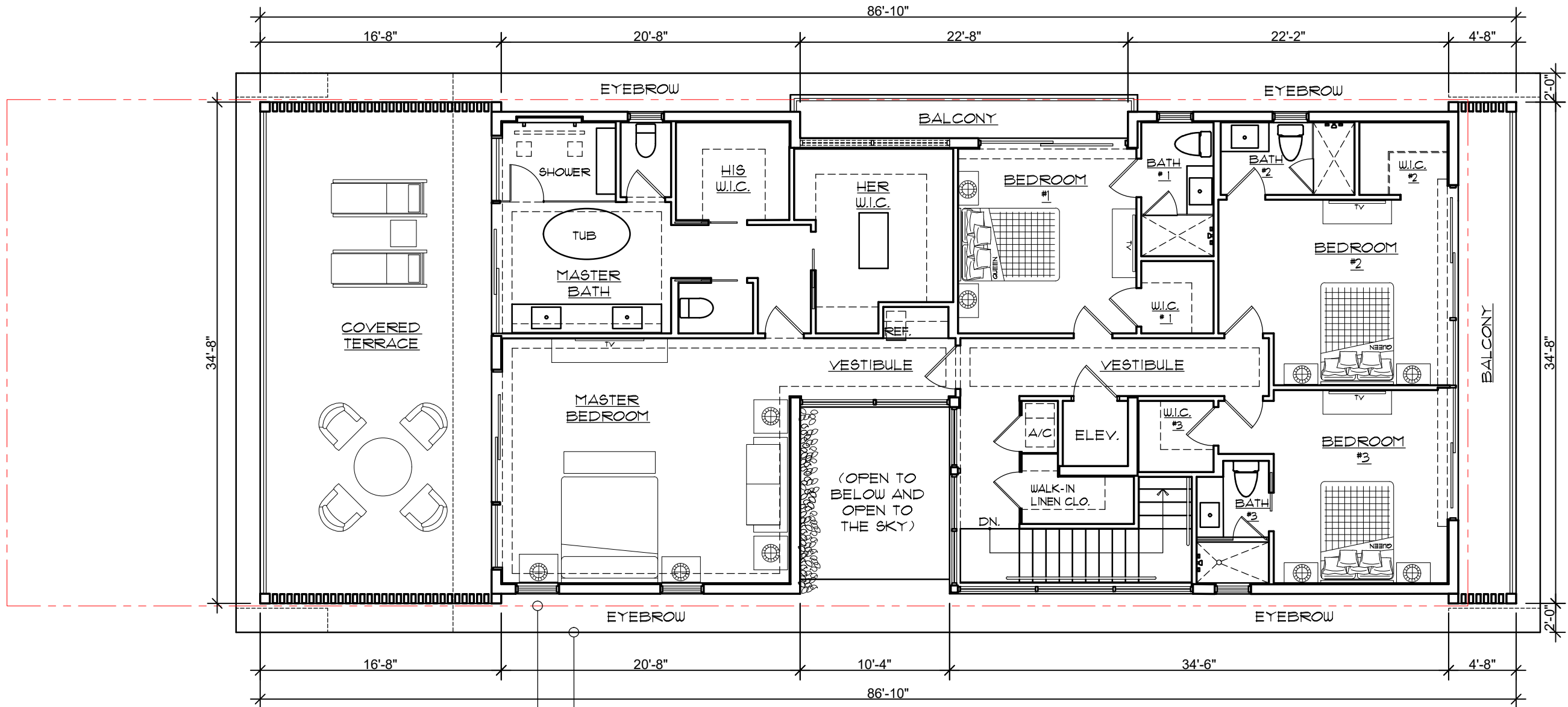
LIC. No. A893309
Antonio E. Rodriguez, Architect, AIA
4800 S.W. 72 AVENUE, MIAMI FL 33155
T: (305) 662-1008

RESIDENCE FOR :
1520 STILLWATER DRIVE
FLORIDA
MIAMI BEACH

OWNER:
HILMAR THOR KRITINSON
RANVEIG EIR EINARSDOTTIR

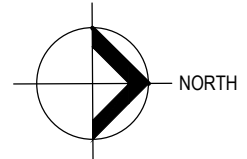
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	DRAWN:	A.R.	
	CHECKED:		

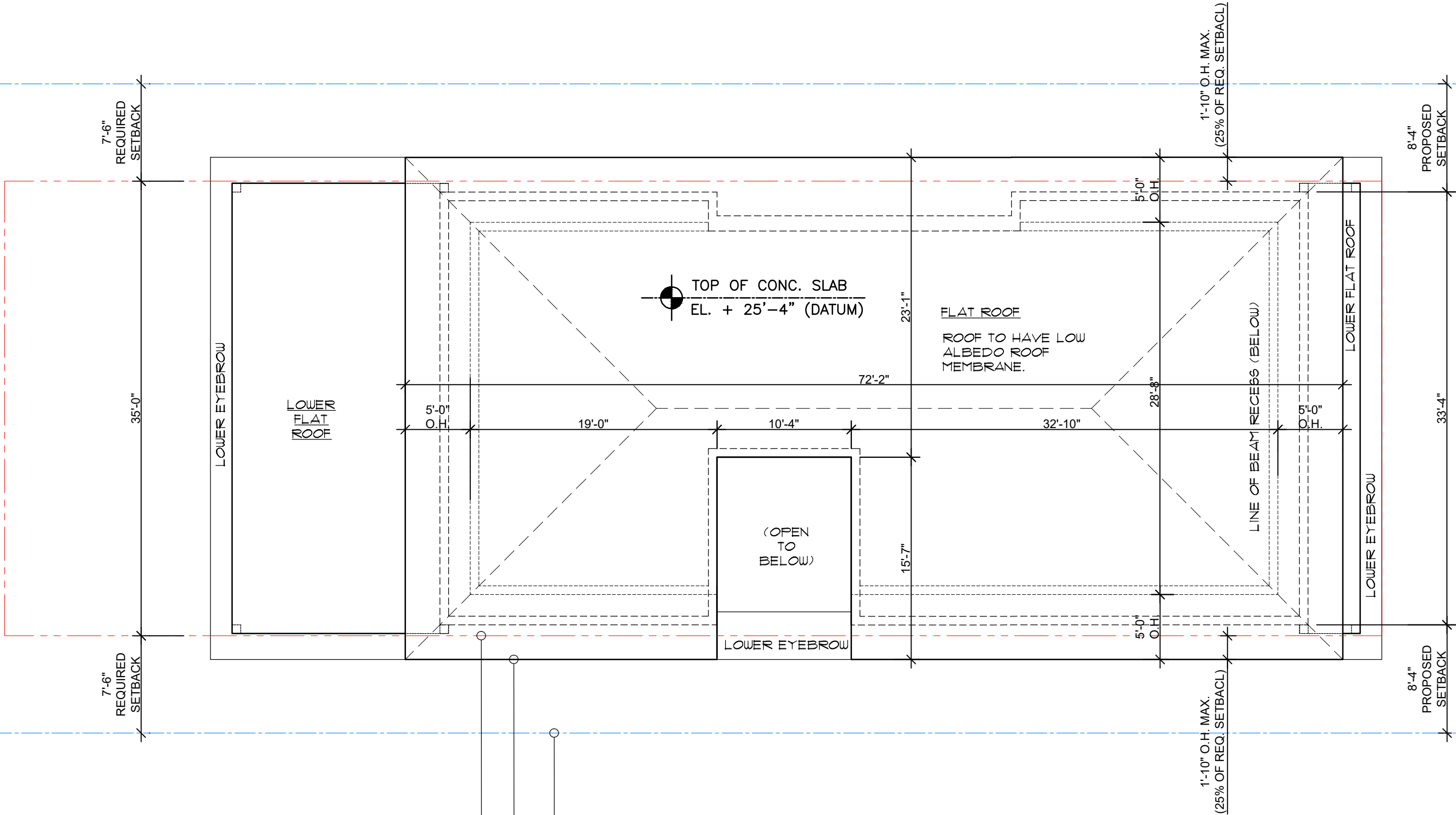
DESIGN REVIEW BOARD,
CITY OF MIAMI BEACH DRB24-1042
DRAWING TITLE:
FIRST HABITABLE
FLOOR LEVEL
PLAN
SHEET:
A-2.2



SECOND FLOOR LEVEL PLAN

SCALE : 1/8" = 1'-0"





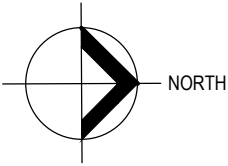
LINE OF REQUIRED SETBACK

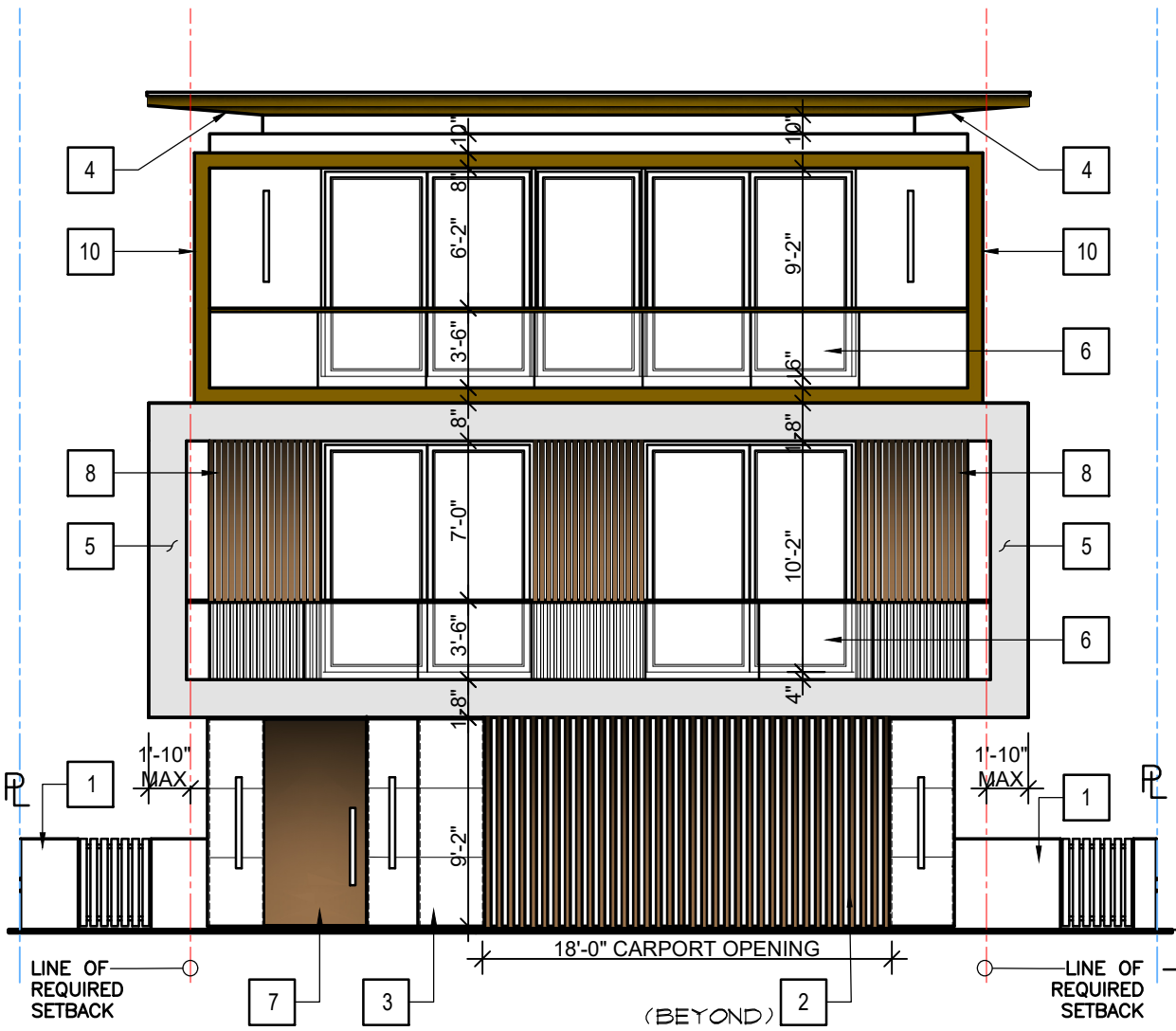
LINE OF O.H.

PROPERTY LINE

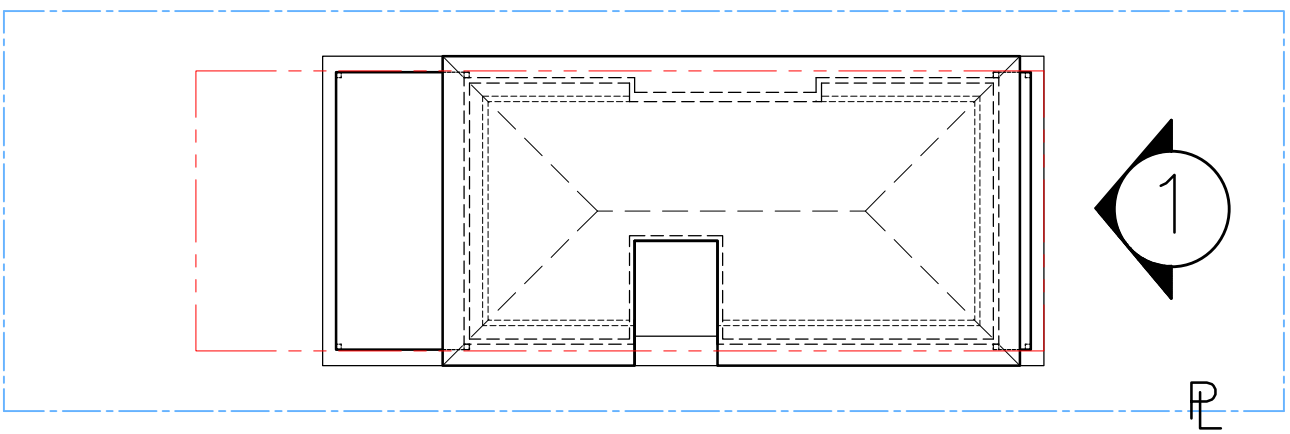
ROOF PLAN

SCALE : 1/8" = 1'-0"

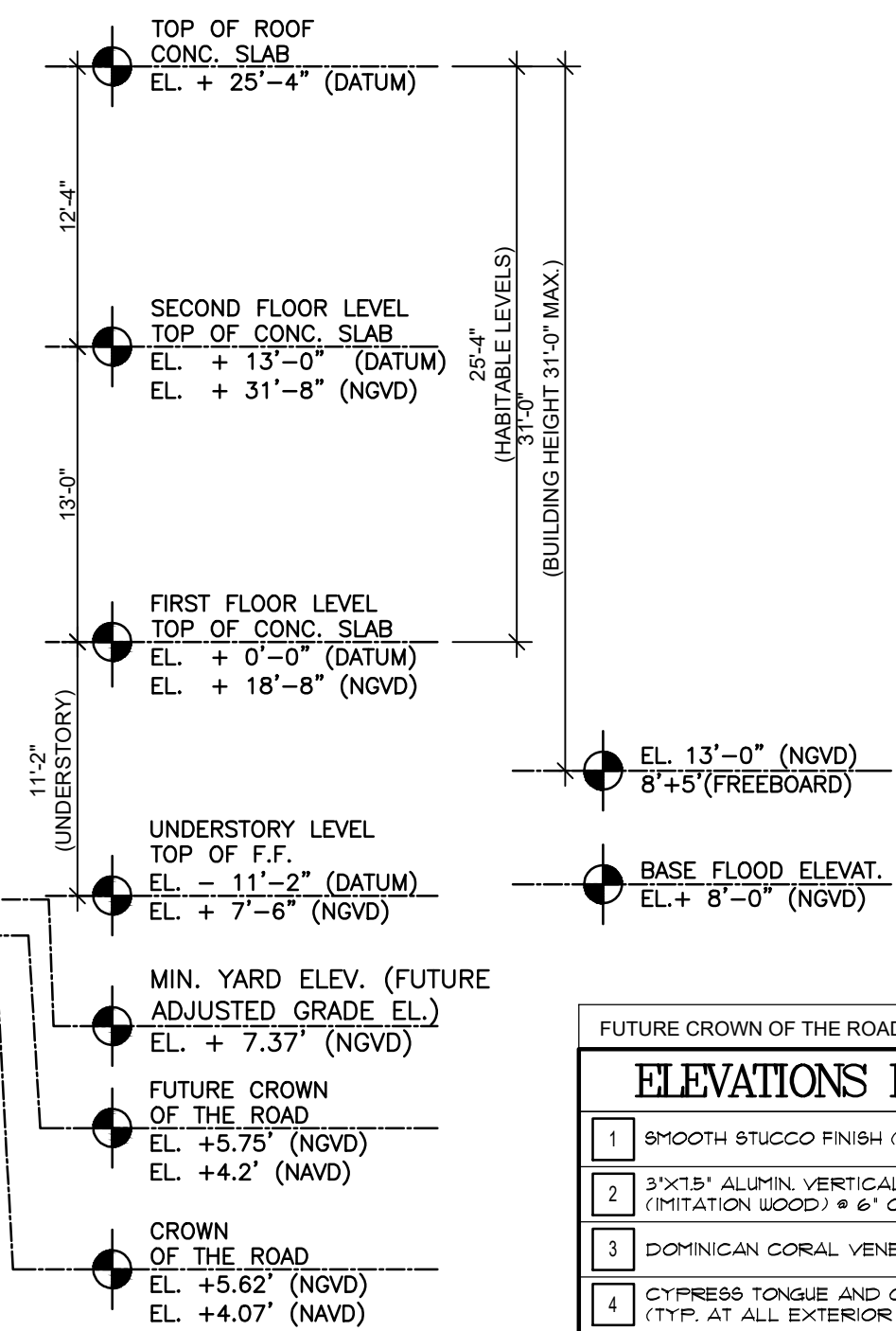
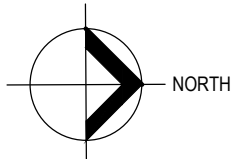




1 FRONT (NORTH) ELEVATION
SCALE : 1/8" = 1'-0"

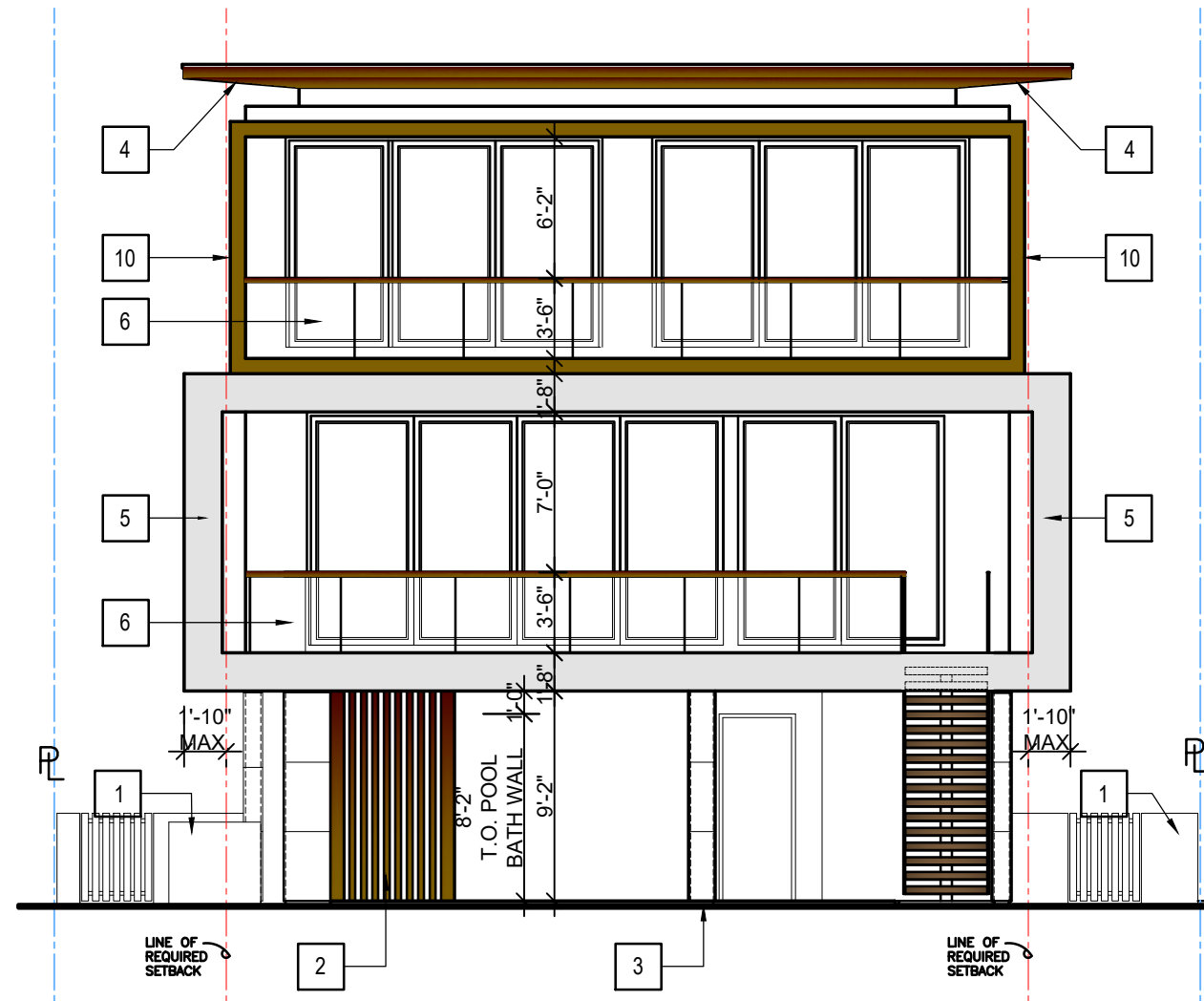


ELEVATION KEY PLAN
N.T.S.

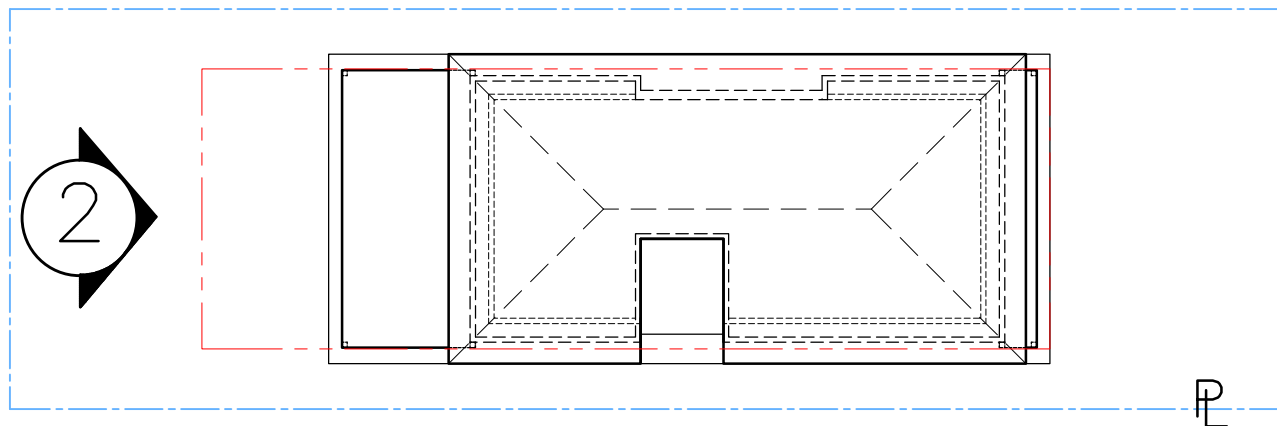


BUILDING HEIGHT NOTE:
31 FT. MAX HEIGHT ALLOWED
FOR UNDERSTORY, MEASURED
FROM FREEBOARD. PER SECTION
7.2.2.3(b)(1) FOOTNOTE 8

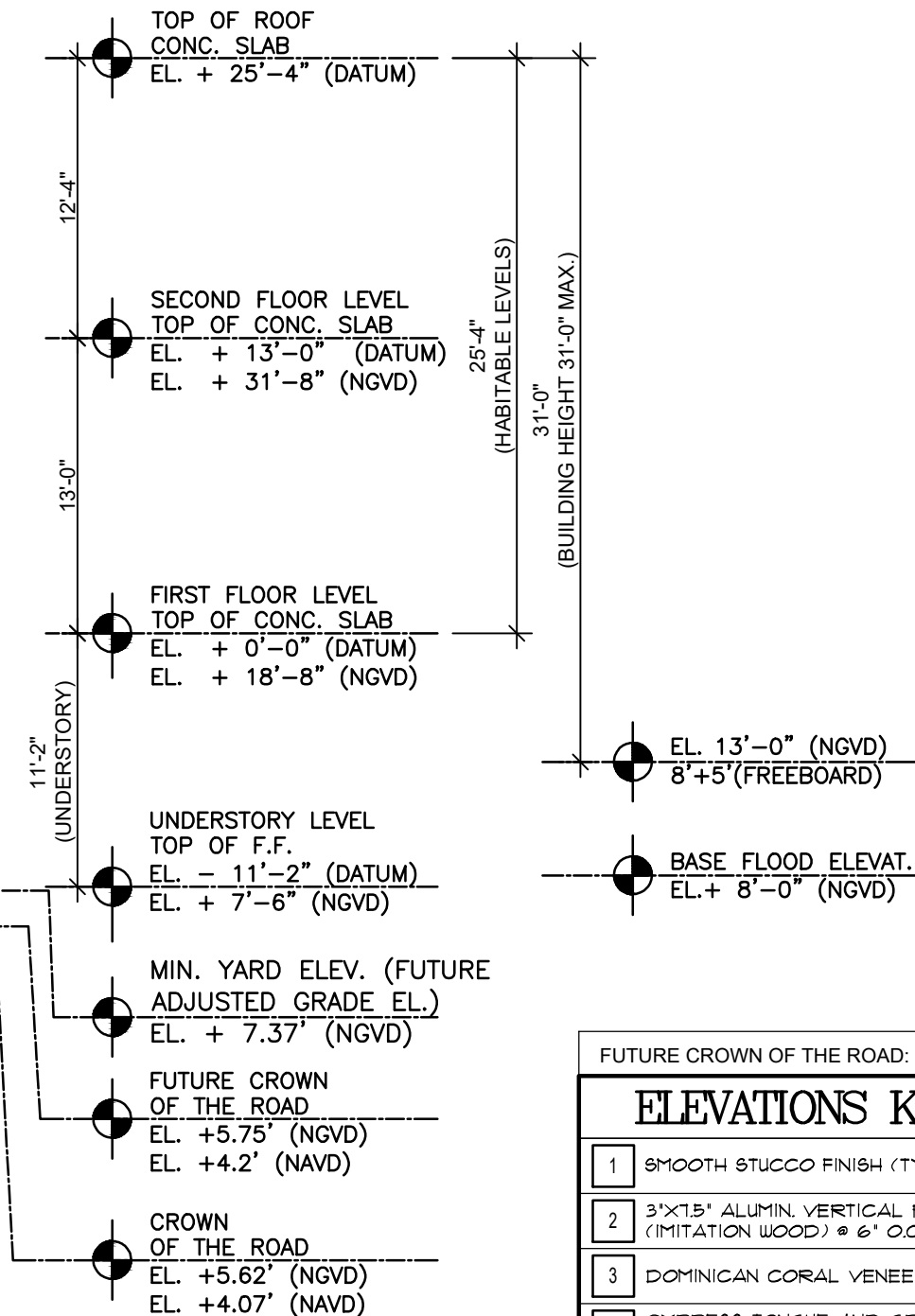
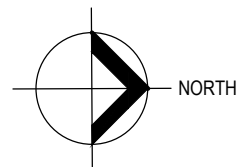
FUTURE CROWN OF THE ROAD: 5.75 (NGVD)/4.20 (NAVD)	
ELEVATIONS KEY NOTES	
1	SMOOTH STUCCO FINISH (TYP. U.O.N.) COLOR: WHITE
2	3"x7.5" ALUMIN. VERTICAL PICKETS (IMITATION WOOD) @ 6" O.C.
3	DOMINICAN CORAL VENEER (TYP. WHERE SHOWN)
4	CYPRESS TONGUE AND GROOVE PLANKS (TYP. AT ALL EXTERIOR CEILINGS U.O.N.)
5	EXPOSED CONCRETE FINISH.
6	42" AFF. CAT. II SAFETY GLASS RAILING
7	MAHOGANY WOOD DOOR
8	2"x4" ALUMIN. VERTICAL PICKETS (IMITATION WOOD) AT 4" O.C.
9	ARTIFICIAL GREEN WALL (BY OTHERS)
10	ALUMIN. CLADDING OVER CONCRETE (IMITATION WOOD COLOR)
11	3.5"x7.5" ALUMIN. VERTICAL PICKETS (IMITATION WOOD) AT 6" O.C.
NOTES: - ALL WINDOWS & EXTERIOR DOORS TO BE IMPACT RESISTANT. - ROOF TO HAVE LOW ALBEDO ROOF MEMBRANE.	



2 REAR (SOUTH) ELEVATION
SCALE : 1/8" = 1'-0"

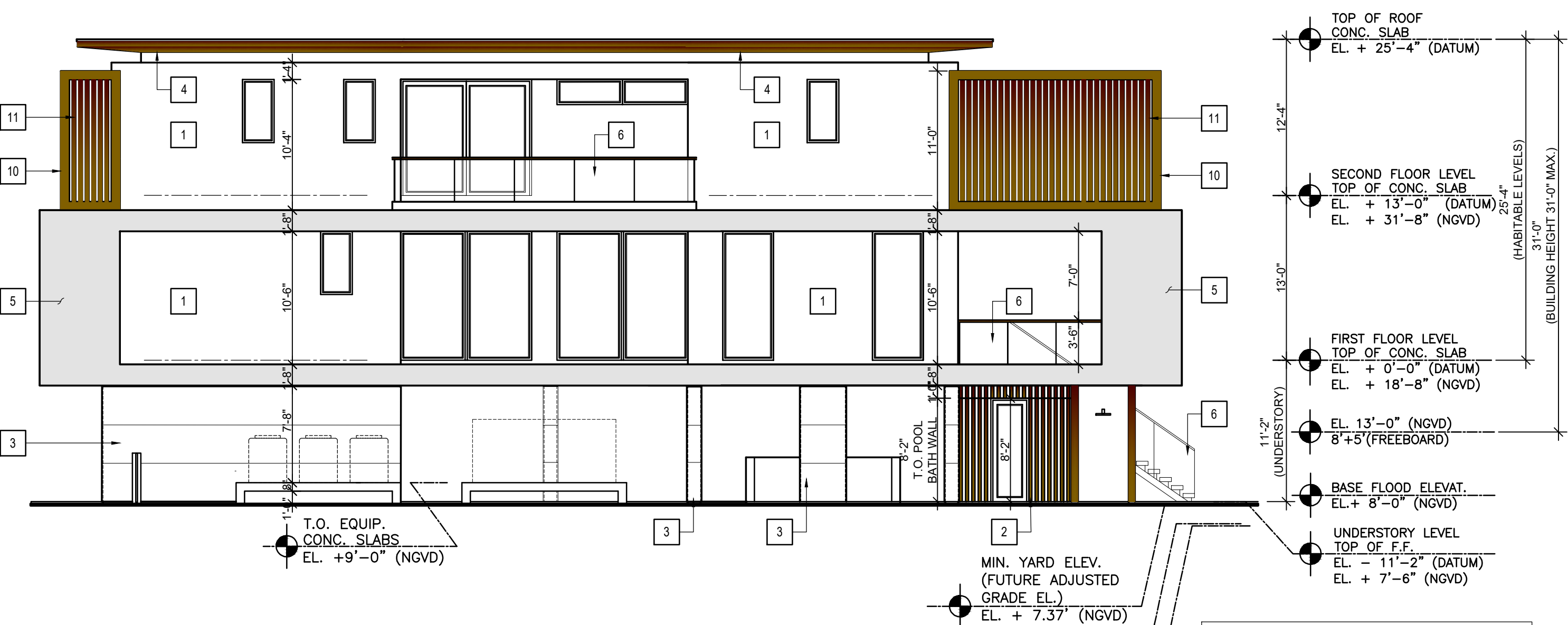


ELEVATION KEY PLAN
N.T.S.

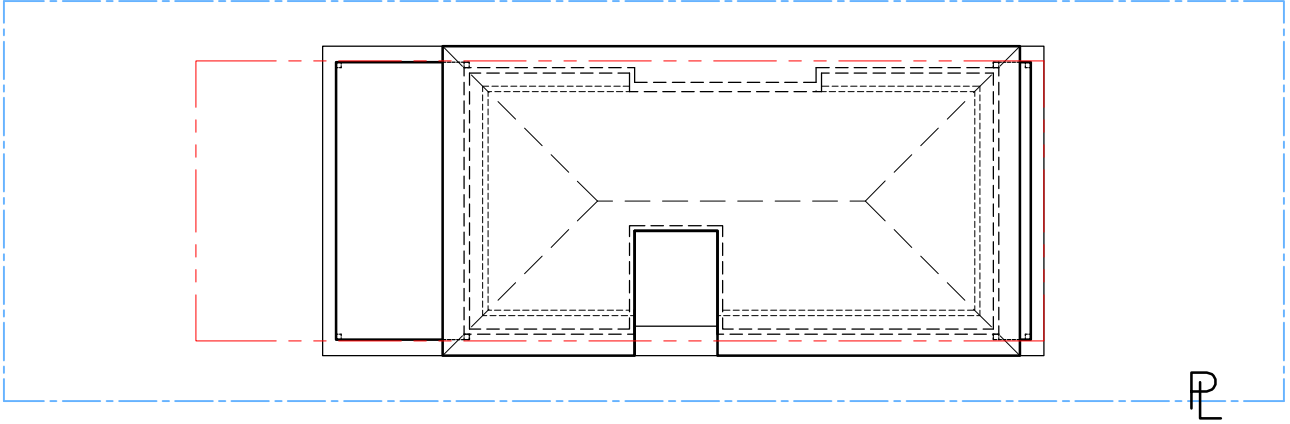


BUILDING HEIGHT NOTE:
31 FT. MAX HEIGHT ALLOWED
FOR UNDERSTORY, MEASURED
FROM FREEBOARD. PER SECTION
7.2.2.3(b)(1) FOOTNOTE 8

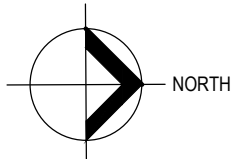
FUTURE CROWN OF THE ROAD: 5.75 (NGVD)/4.20 (NAVD)	
ELEVATIONS KEY NOTES	
1	SMOOTH STUCCO FINISH (TYP. U.O.N.) COLOR: WHITE
2	3"x7.5" ALUMIN. VERTICAL PICKETS (IMITATION WOOD) @ 6" O.C.
3	DOMINICAN CORAL VENEER (TYP. WHERE SHOWN)
4	CYPRESS TONGUE AND GROOVE PLANKS (TYP. AT ALL EXTERIOR CEILINGS U.O.N.)
5	EXPOSED CONCRETE FINISH.
6	42" AFF. CAT. II SAFETY GLASS RAILING
7	MAHOGANY WOOD DOOR
8	2"x4" ALUMIN. VERTICAL PICKETS (IMITATION WOOD) AT 4" O.C.
9	ARTIFICIAL GREEN WALL (BY OTHERS)
10	ALUMIN. CLADDING OVER CONCRETE (IMITATION WOOD COLOR)
11	3.5"x7.5" ALUMIN. VERTICAL PICKETS (IMITATION WOOD) AT 6" O.C.
NOTES: - ALL WINDOWS & EXTERIOR DOORS TO BE IMPACT RESISTANT. - ROOF TO HAVE LOW ALBEDO ROOF MEMBRANE.	



3 RIGHT SIDE ELEVATION (WEST)
SCALE : 1/8" = 1'-0"



ELEVATION KEYPLAN
N.T.S.



- MIN. YARD ELEV.
(FUTURE ADJUSTED
GRADE EL.)
EL. + 7.37' (NGVD)
- FUTURE CROWN
OF THE ROAD
EL. +5.75' (NGVD)
EL. +4.2' (NAVD)
- CROWN
OF THE ROAD
EL. +5.62' (NGVD)
EL. +4.07' (NAVD)

BUILDING HEIGHT NOTE:
31 FT. MAX HEIGHT ALLOWED
FOR UNDERSTORY, MEASURED
FROM FREEBOARD. PER SECTION
7.2.2.3(b)(1) FOOTNOTE 8

FUTURE CROWN OF THE ROAD: 5.75 (NGVD)/4.20 (NAVD)	
ELEVATIONS KEY NOTES	
1	SMOOTH STUCCO FINISH (TYP. U.O.N.) COLOR: WHITE
2	3"x1.5" ALUMIN. VERTICAL PICKETS (IMITATION WOOD) @ 6" O.C.
3	DOMINICAN CORAL VENEER (TYP. WHERE SHOWN)
4	CYPRESS TONGUE AND GROOVE PLANKS (TYP. AT ALL EXTERIOR CEILINGS U.O.N.)
5	EXPOSED CONCRETE FINISH.
6	42" AFF. CAT. II SAFETY GLASS RAILING
7	MAHOGANY WOOD DOOR
8	2"x4" ALUMIN. VERTICAL PICKETS (IMITATION WOOD) AT 4" O.C.
9	ARTIFICIAL GREEN WALL (BY OTHERS)
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NOTES: - ALL WINDOWS & EXTERIOR DOORS TO BE IMPACT RESISTANT. - ROOF TO HAVE LOW ALBEDO ROOF MEMBRANE.	

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FLORIDA

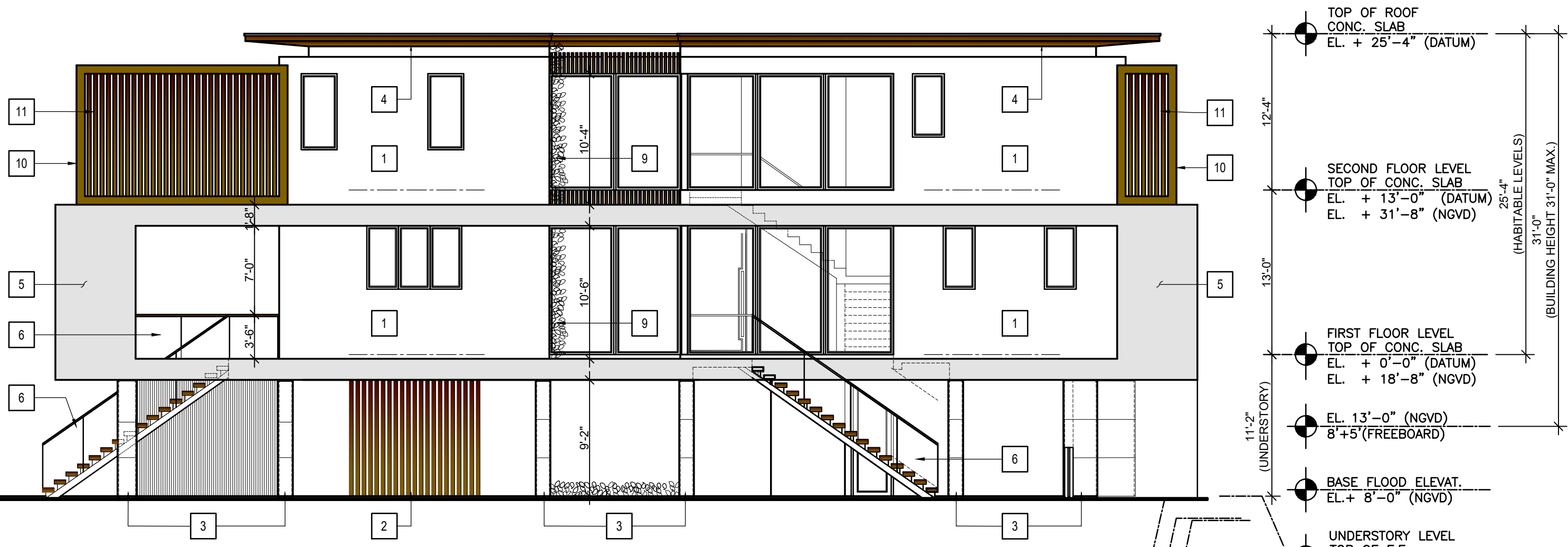
RESIDENCE FOR:
1520 STILLWATER DRIVE
MIAMI BEACH

OWNER:
HILMAR THOR KRITINSSON
RANVEIG EINARSDOTTIR

DATE: 02/02/2025
ISSUED: _____
DRAWN: _____
CHECKED: _____
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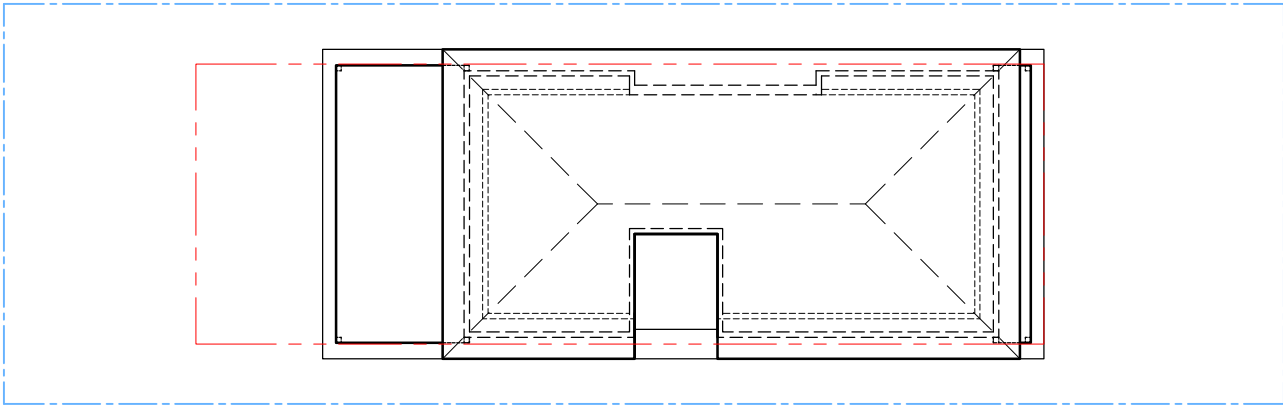
DESIGN REVIEW BOARD,
CITY OF MIAMI BEACH DRB24-1042
DRAWING TITLE:
RIGHT SIDE
ELEVATION
(WEST)
SHEET:
A-3.3

17 OF 34



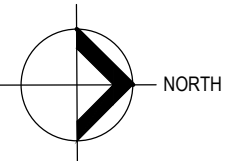
4

LEFT SIDE ELEVATION (EAST)
SCALE : 1/8" = 1'-0"



4

ELEVATION KEYPLAN
N.T.S.



- MIN. YARD ELEV.
(FUTURE ADJUSTED
GRADE EL.)
EL. + 7.37' (NGVD)
- FUTURE CROWN
OF THE ROAD
EL. +5.75' (NGVD)
EL. +4.2' (NAVD)
- CROWN
OF THE ROAD
EL. +5.62' (NGVD)
EL. +4.07' (NAVD)

BUILDING HEIGHT NOTE:
31 FT. MAX HEIGHT ALLOWED
FOR UNDERSTORY, MEASURED
FROM FREEBOARD. PER SECTION
7.2.2.3(b)(1) FOOTNOTE 8

- TOP OF ROOF
CONC. SLAB
EL. + 25'-4" (DATUM)
- SECOND FLOOR LEVEL
TOP OF CONC. SLAB
EL. + 13'-0" (DATUM)
EL. + 31'-8" (NGVD)
- FIRST FLOOR LEVEL
TOP OF CONC. SLAB
EL. + 0'-0" (DATUM)
EL. + 18'-8" (NGVD)
- EL. 13'-0" (NGVD)
8'+5" (FREEBOARD)
- BASE FLOOD ELEVAT.
EL.+ 8'-0" (NGVD)
- UNDERSTORY LEVEL
TOP OF F.F.
EL. - 11'-2" (DATUM)
EL. + 7'-6" (NGVD)

FUTURE CROWN OF THE ROAD: 5.75 (NGVD)/4.20 (NAVD)	
ELEVATIONS KEY NOTES	
1	SMOOTH STUCCO FINISH (TYP. U.O.N.) COLOR: WHITE
2	3"x1.5" ALUMIN. VERTICAL PICKETS (IMITATION WOOD) @ 6" O.C.
3	DOMINICAN CORAL VENEER (TYP. WHERE SHOWN)
4	CYPRESS TONGUE AND GROOVE PLANKS (TYP. AT ALL EXTERIOR CEILINGS U.O.N.)
5	EXPOSED CONCRETE FINISH.
6	42" AFF. CAT. II SAFETY GLASS RAILING
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10	ALUMIN. CLADDING OVER CONCRETE (IMITATION WOOD COLOR)
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NOTES: - ALL WINDOWS & EXTERIOR DOORS TO BE IMPACT RESISTANT. - ROOF TO HAVE LOW ALBEDO ROOF MEMBRANE.	



1 FRONT ELEVATION (NORTH)
SCALE : 1/16" = 1'-0"

TOTAL UNDERSTORY FACADE AREA:	301 SQ. FT. (100%)
AREA: (23 SQ. FT. + 41 SQ. FT. + 47 SQ. FT. + 26 SQ. FT.)=	137 SQ. FT. (45.5 %)
OPEN AREA:	164 SQ. FT. (54.5%)



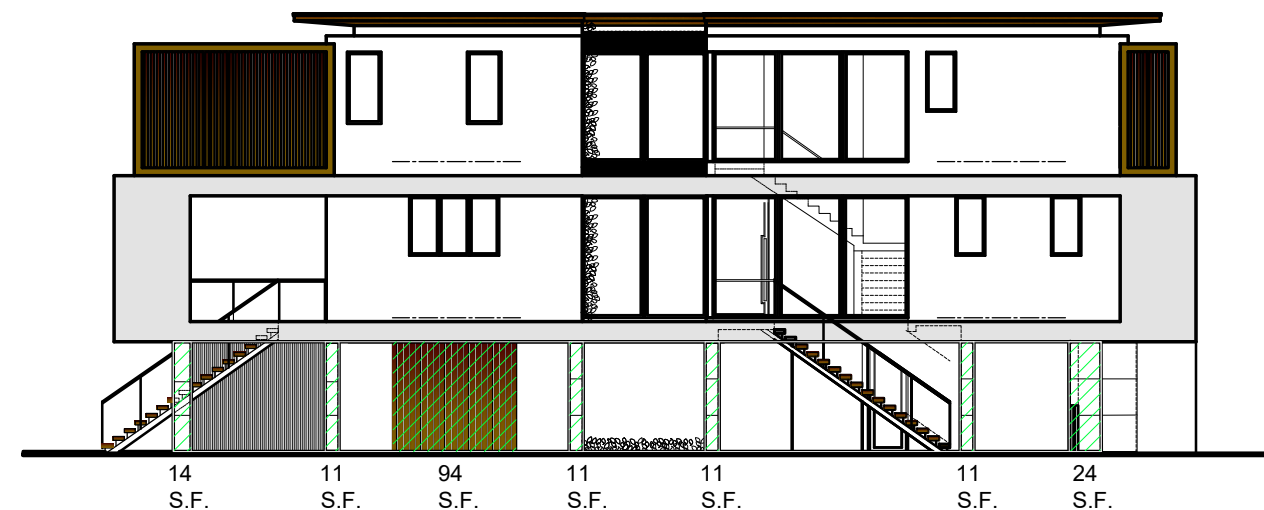
2 REAR ELEVATION (SOUTH)
SCALE : 1/16" = 1'-0"

TOTAL UNDERSTORY FACADE AREA:	272 SQ. FT. (100%)
50 S.F. + 11 S.F. + 8 S.F.=	69 SQ. FT. (25%)
OPEN AREA:	203 SQ. FT. (75%)



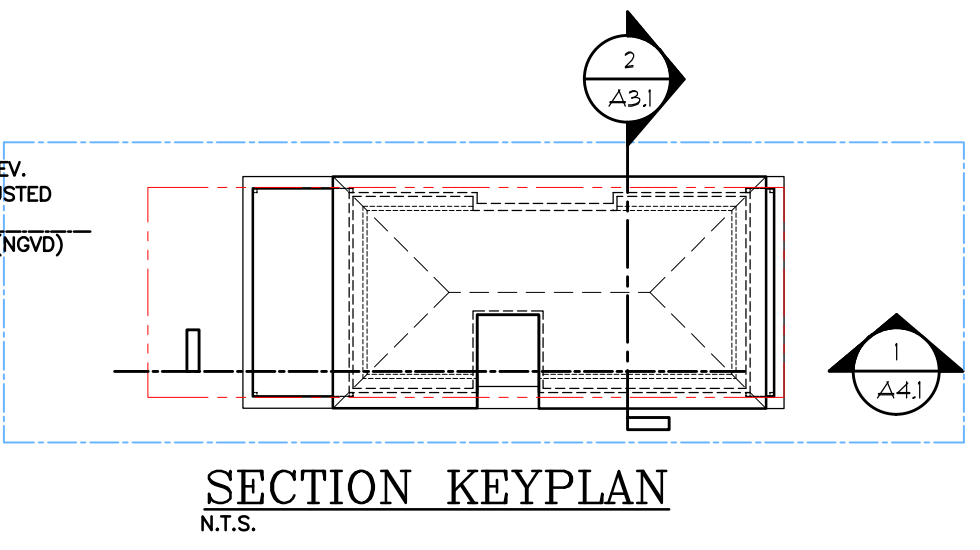
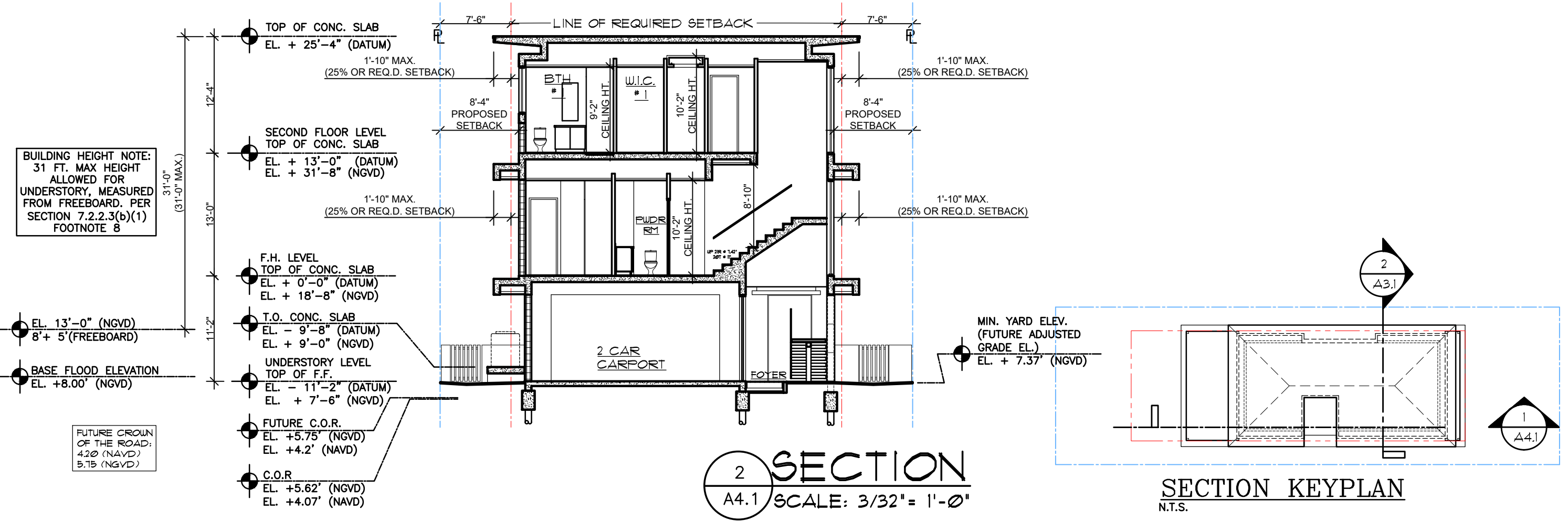
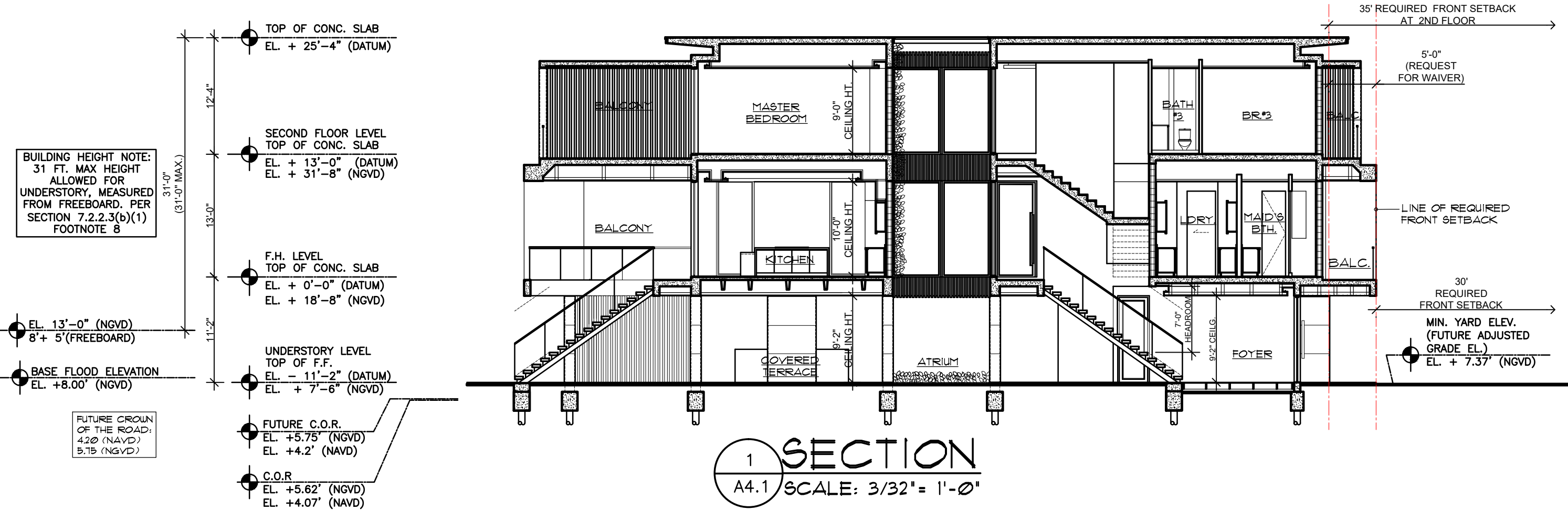
3 WEST ELEVATION (RIGHT)
SCALE : 1/16" = 1'-0"

TOTAL UNDERSTORY FACADE AREA:	748 SQ. FT. (100%)
AREA: (216 SQ. FT. + 11 SQ. FT. + 60 SQ. FT. + 87 SQ. FT.)=	374 SQ. FT. (50%)
OPEN AREA:	374 SQ. FT. (50%)



4 EAST ELEVATION (LEFT)
SCALE : 1/16" = 1'-0"

TOTAL UNDERSTORY FACADE AREA:	709 SQ. FT. (100%)
14 S.F. + (11 S.F. X 4) + 94 S.F. + 24 S.F.=	176 SQ. FT. (25%)
OPEN AREA:	533 SQ. FT. (75%)



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RESIDENCE FOR:

1520 STILLWATER DRIVE

FLORIDA

OWNER:

HILMAR THOR KRITINSSON

RANNEVG EIR EINARSDOTTIR

DATE:

02/02/2025

ISSUED:

D.P.

DRAWN:

A.R.

CHECKED:

A.R.

PROJECT No.

DRB24-1042

DESIGN REVIEW BOARD,

CITY OF MIAMI BEACH

DRAWING TITLE:

SECTIONS

SHEET:

A-4.1

20 OF 34



3D FRONT VIEW (NORTH)

MATERIAL BOARD



1

SMOOTH STUCCO FINISH WHITE



2

ALUMN. PICKETS
WOOD IMITATION



3

DOMINICAN CORAL VENEER



4

EXPOSED CONCRETE FINISH



5

MAHOGANY WOOD DOOR



6

CLEAR GLASS WITH
BRONZE FRAMES



7

ALUMN. CLADDING OVER
CONCRETE WITH WOOD COLOR



8

ARTIFICIAL GREEN WALL
(BY OTHERS)

NOTES:
- ALL WINDOWS AND EXTERIOR
DOORS TO BE IMPACT RESISTANT.
- ROOF TO HAVE LOW ALBEDO
ROOF MEMBRANE.



3D FRONT/LEFT SIDE
VIEW (NORTH-EAST)

MATERIAL BOARD

	1	SMOOTH STUCCO FINISH WHITE
	2	ALUMN. PICKETS WOOD IMITATION
	3	DOMINICAN CORAL VENEER
	4	EXPOSED CONCRETE FINISH
	5	MAHOGANY WOOD DOOR
	6	CLEAR GLASS WITH BRONZE FRAMES
	7	ALUMN. CLADDING OVER CONCRETE WITH WOOD COLOR
	8	ARTIFICIAL GREEN WALL (BY OTHERS)

NOTES:
- ALL WINDOWS AND EXTERIOR
DOORS TO BE IMPACT RESISTANT.
- ROOF TO HAVE LOW ALBEDO
ROOF MEMBRANE.

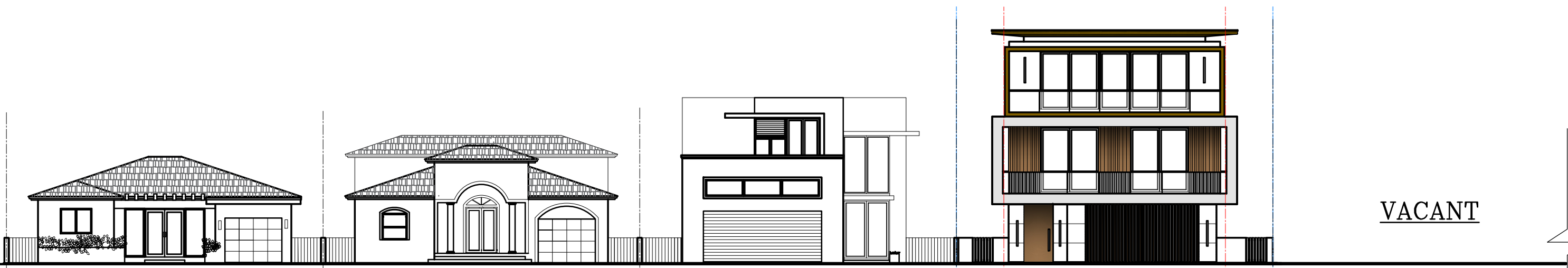


3D REAR VIEW (SOUTH)

MATERIAL BOARD

	1	SMOOTH STUCCO FINISH WHITE
	2	ALUMN. PICKETS WOOD IMITATION
	3	DOMINICAN CORAL VENEER
	4	EXPOSED CONCRETE FINISH
	5	MAHOGANY WOOD DOOR
	6	CLEAR GLASS WITH BRONZE FRAMES
	7	ALUMN. CLADDING OVER CONCRETE WITH WOOD COLOR
	8	ARTIFICIAL GREEN WALL (BY OTHERS)

NOTES:
- ALL WINDOWS AND EXTERIOR
DOORS TO BE IMPACT RESISTANT.
- ROOF TO HAVE LOW ALBEDO
ROOF MEMBRANE.



1480 STILLWATER DR.
SCALE : NTS

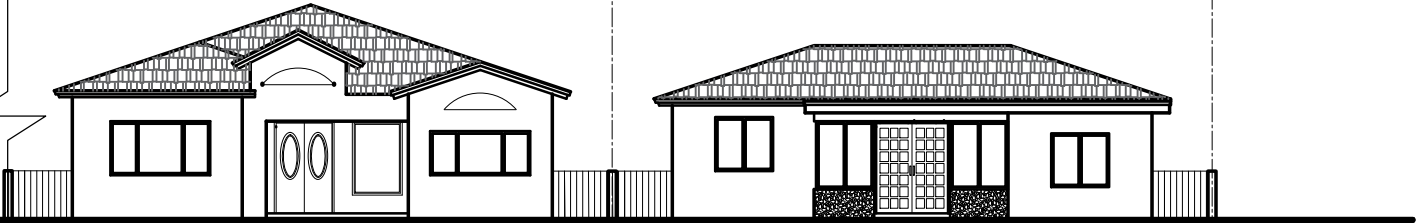
1500 STILLWATER DR.
SCALE : NTS

1510 STILLWATER DR.
SCALE : NTS

1520 STILLWATER DR.
SCALE : NTS

1530 STILLWATER DR.
SCALE : NTS

VACANT



1540 STILLWATER DR.
SCALE : NTS

1550 STILLWATER DR.
SCALE : NTS

STILLWATER DRIVE
CONTEXTUAL (NORTH) ELEVATIONS
SCALE : NTS



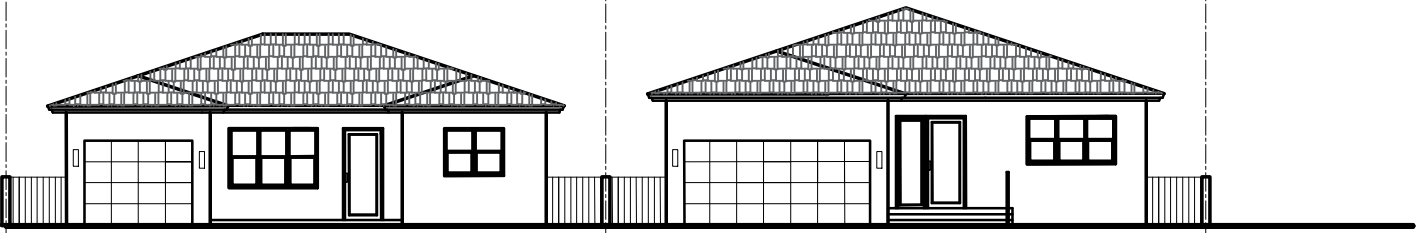
1551 STILLWATER DR.
SCALE : NTS

1541 STILLWATER DR.
SCALE : NTS

1531 STILLWATER DR.
SCALE : NTS

1521 STILLWATER DR.
SCALE : NTS

1511 STILLWATER DR.
SCALE : NTS



1501 STILLWATER DR.
SCALE : NTS

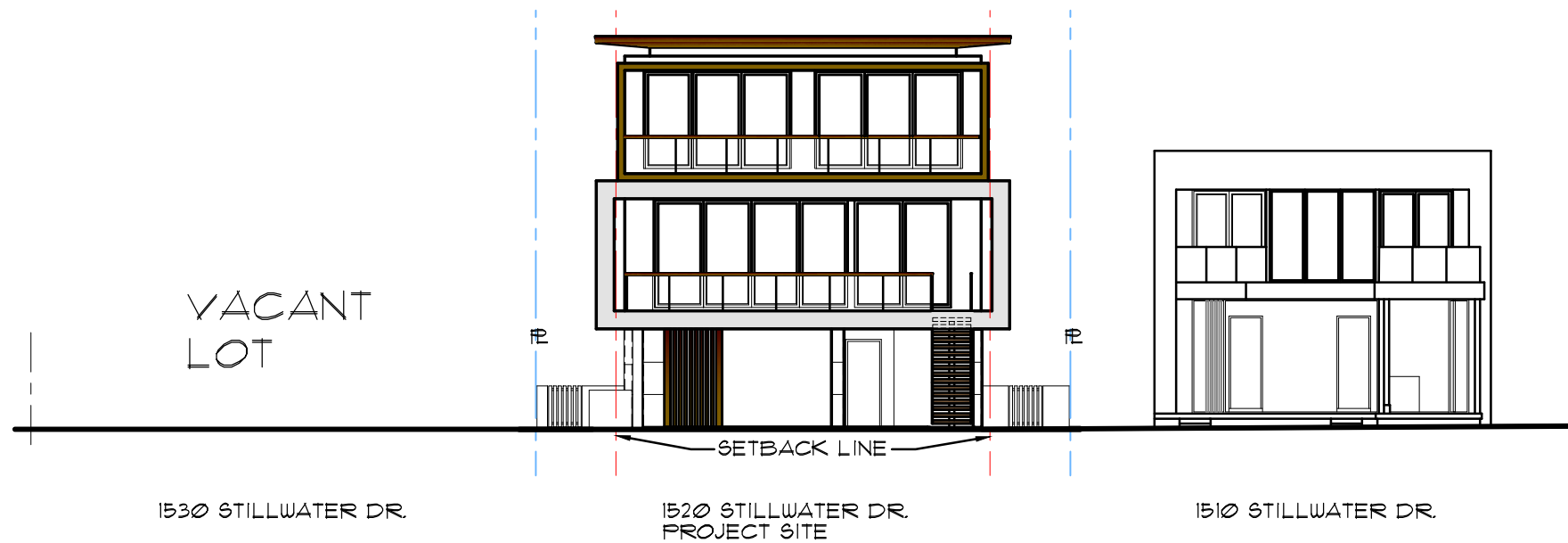
1481 STILLWATER DR.
SCALE : NTS

STILLWATER DRIVE
CONTEXTUAL (SOUTH) ELEVATIONS
SCALE : NTS



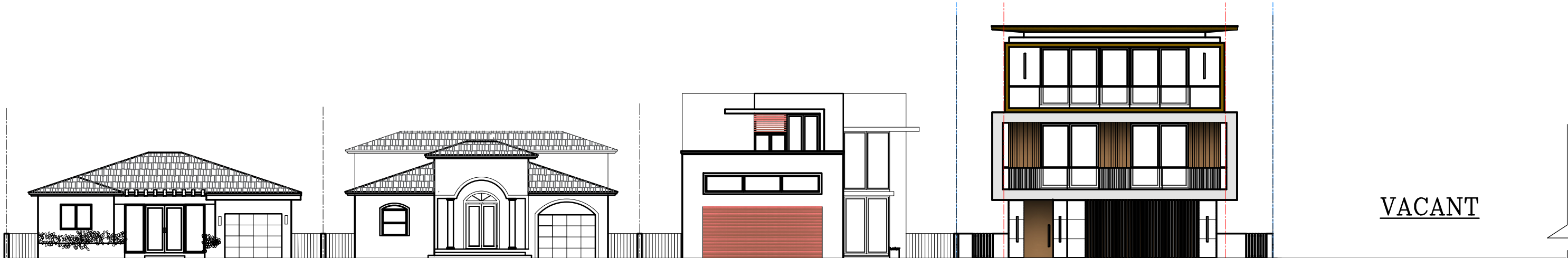
FRONT CONTEXTUAL ELEVATIONS

N.T.S.



REAR CONTEXTUAL ELEVATIONS

N.T.S.



1480 STILLWATER DR.

SCALE : NTS

1500 STILLWATER DR.

SCALE : NTS

1510 STILLWATER DR.

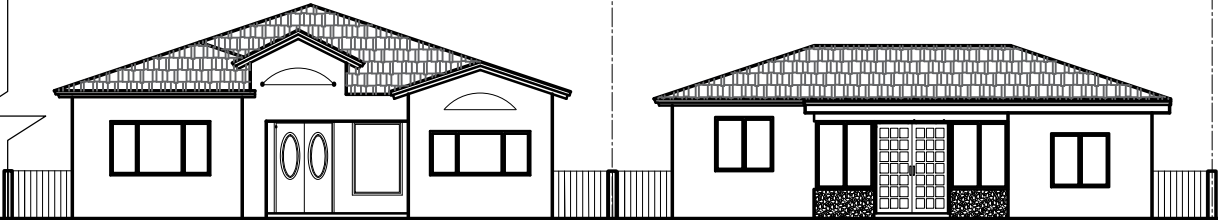
SCALE : NTS

1520 STILLWATER DR.

SCALE : NTS

1530 STILLWATER DR.

SCALE : NTS



1540 STILLWATER DR.

SCALE : NTS

1550 STILLWATER DR.

SCALE : NTS



1551 STILLWATER DR.

SCALE : NTS

1541 STILLWATER DR.

SCALE : NTS

1531 STILLWATER DR.

SCALE : NTS

1521 STILLWATER DR.

SCALE : NTS

1511 STILLWATER DR.

SCALE : NTS



1501 STILLWATER DR.

SCALE : NTS

1481 STILLWATER DR.

SCALE : NTS

STILLWATER DRIVE
CONTEXTUAL (NORTH) ELEVATIONS

SCALE : NTS

STILLWATER DRIVE
CONTEXTUAL (SOUTH) ELEVATIONS

SCALE : NTS

ANTONIO E.
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CAD Studio Architecture

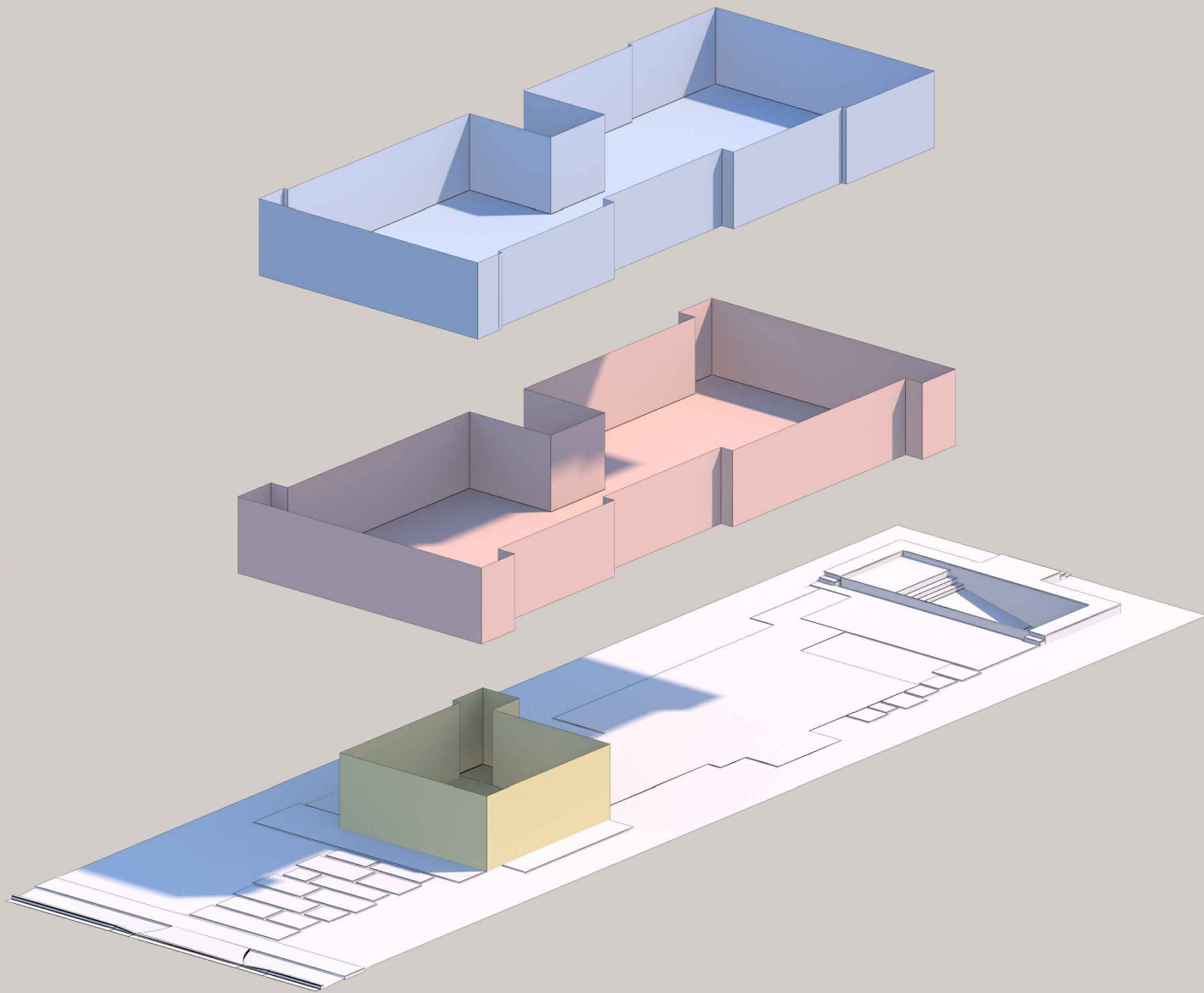
Antonio E. Rodriguez, Architect, AIA
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RESIDENCE FOR :
1520 STILLWATER DRIVE
FLORIDA

OWNER:
HILMAR THOR KRITINSSON
RANVEIG EIN EINHARDOTTIR
MIAMI BEACH

DATE: 02/02/2025
ISSUED: _____
DRAWN: _____
CHECKED: _____
PROJECT No. _____

DESIGN REVIEW BOARD,
CITY OF MIAMI BEACH DRB24-1042
DRAWING TITLE:
STILLWATER DR.
CONTEXTUAL
ELEVATIONS
SHEET:
A-6.2
26 OF 34



EXPLODED AXONOMETRIC DIAGRAM

N.T.S.

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RESIDENCE FOR :
1520 STILLWATER DRIVE
MIAMI BEACH FLORIDA

OWNER:
HILMAR THOR KRITINSSON
RANNEIGEIR EINARSDOTTIR

DATE: 02/02/2025
ISSUED: _____
DRAWN: D.P.
CHECKED: A.R.
PROJECT No. _____

DESIGN REVIEW BOARD,
CITY OF MIAMI BEACH DRB24-104

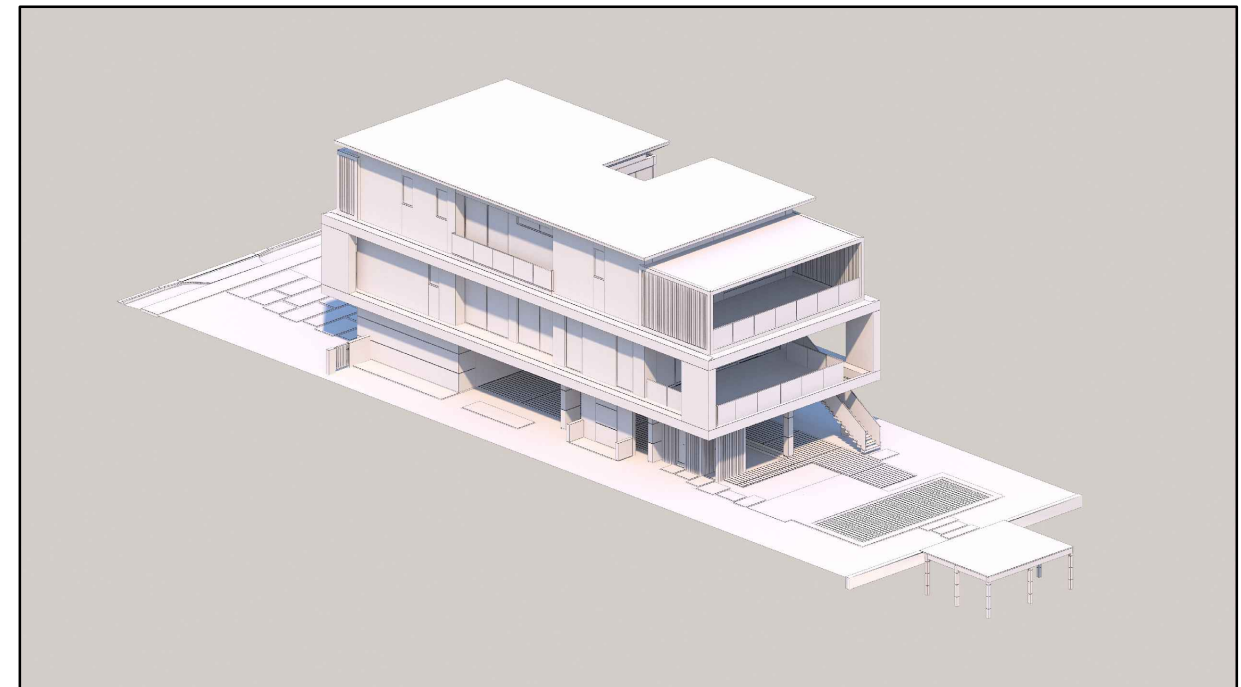
DRAWING TITLE:
EXPLODED
AXONOMETRIC
DIAGRAM

SHEET:
A-6.3

27 OF 34



PERSPECTIVE SCHEMATIC VIEWS - FRONT



PERSPECTIVE SCHEMATIC VIEWS - REAR



1 1500 STILLWATER DR.



3 1510 STILLWATER DR.



5 1520 STILLWATER DR.
PROJECT SITE

VACANT
LOT

7 1530 STILLWATER DR.



9 1540 STILLWATER DR.



11 1550 STILLWATER DR.

EXISTING STREETSCAPE



1 1500 STILLWATER DR.



3 1510 STILLWATER DR.



5 1520 STILLWATER DR.
PROJECT SITE

VACANT
LOT

7 1530 STILLWATER DR.

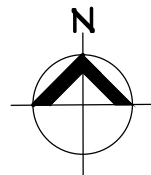
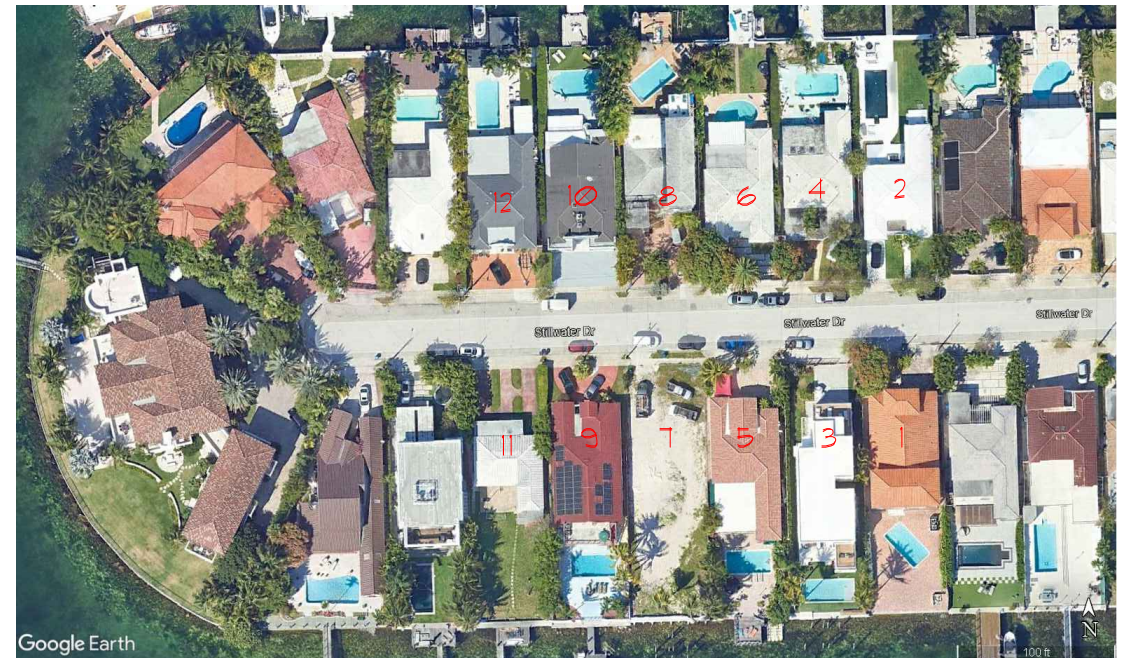


9 1540 STILLWATER DR.

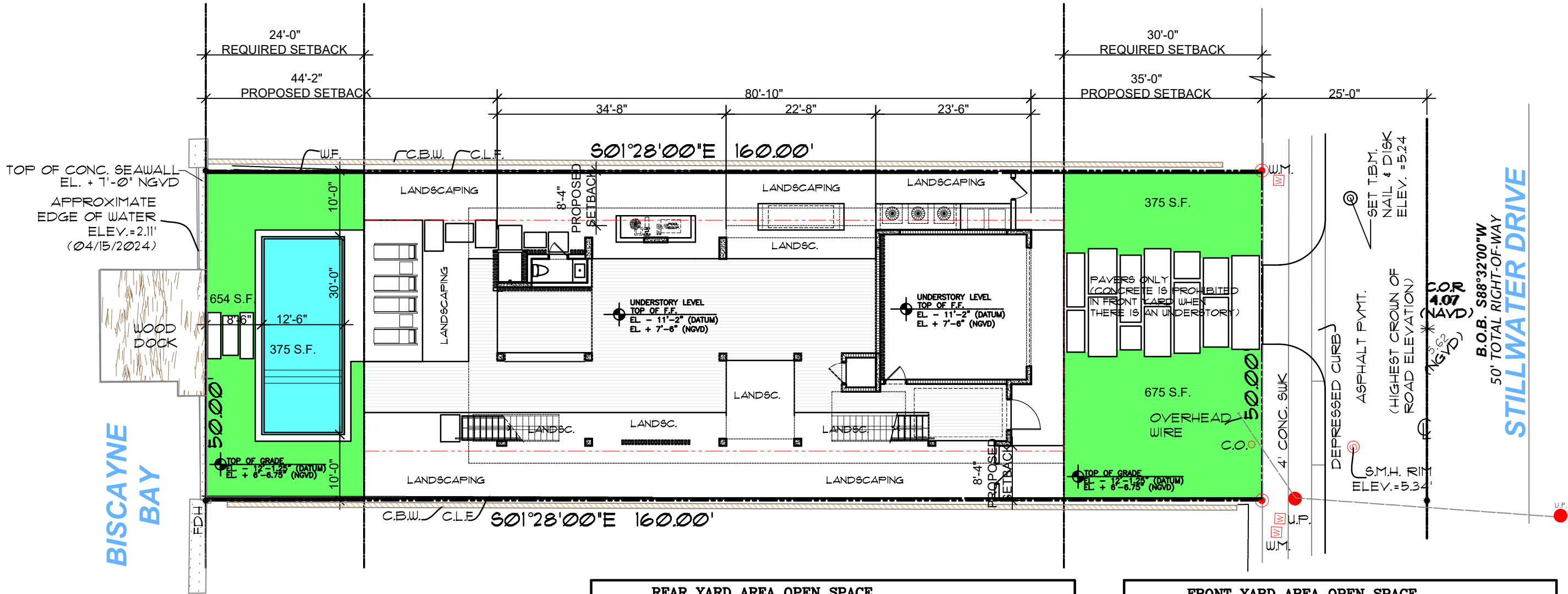


11 1550 STILLWATER DR.

PROPOSED STREETSCAPE



KEY PLAN



BUILDING SETBACKS

AS PER 7.2.2.3 (b)(1)		
	REQUIRED	PROVIDED
PRINCIPAL FRONT (UNDERSTORY)	30' MIN.	35'-0"
FIRST HABITABLE FLOOR	30' MIN.	35'-8"
SECOND FLOOR *	35' MIN.	35'-8"
LEFT SIDE	7'-6" MIN.	8'-4"
RIGHT SIDE	7'-6" MIN.	8'-4"
REAR (15% OF LOT DEPTH)	24' MIN.	44'-2"

* AS PER 7.2.2.3 (b)(2)(B)(i)
FOR A 2 STORY HOME WITH AN OVERALL LOT COVERAGE OF 25% OR GREATER, AT LEAST 35% OF THE SECOND FLOOR ALONG THE FRONT ELEVATION SHALL SET BACK A MIN. OF 5' FROM THE MIN. REQUIRED.
THE DRB MAY FOREGO THESE REQUIREMENTS, IN ACCORDANCE WITH THE APPLICABLE DESIGN REVIEW OR APPROPRIATENESS CRITERIA.

SWIMMING POOL SETBACKS

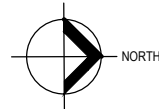
7.2.2.3(b)(12)(P)				
	TO SWIMMING POOL DECK		TO WATER'S EDGE	
	REQUIRED	PROPOSED	REQUIRED	PROPOSED
FRONT	30'	127'	30'	139'
LEFT SIDE	7'-6" MIN.	9'-0"	9'-0" MIN.	10'-0"
RIGHT SIDE	7'-6" MIN.	9'-0"	9'-0" MIN.	10'-0"
REAR	6' MIN.	7'-6"	7'-6" MIN.	8'-6"

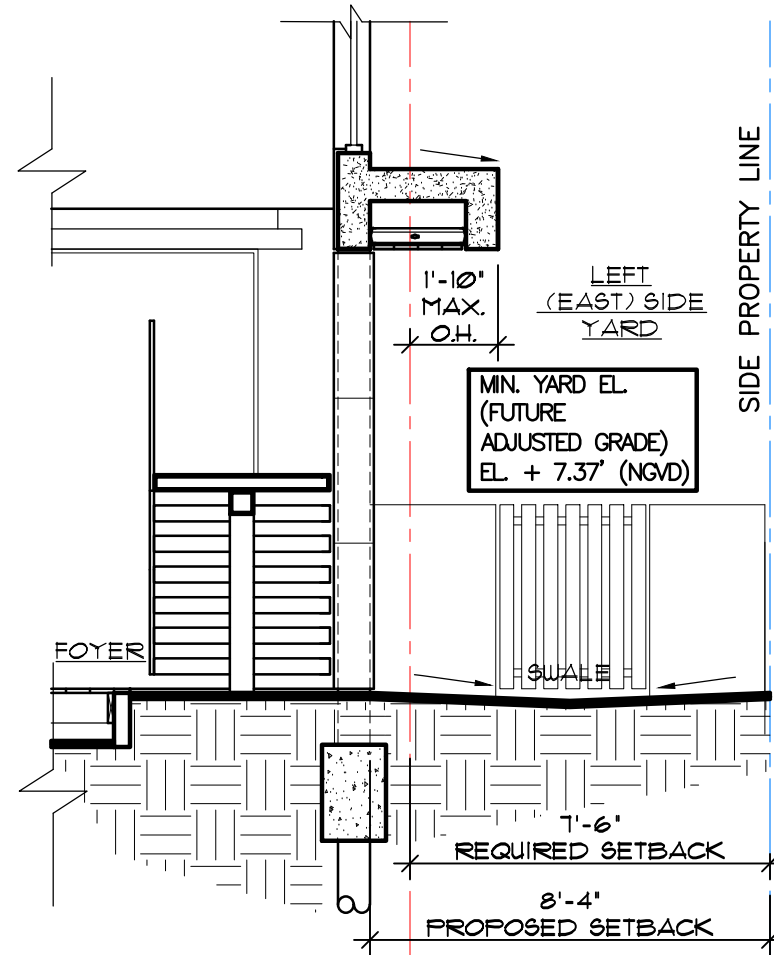
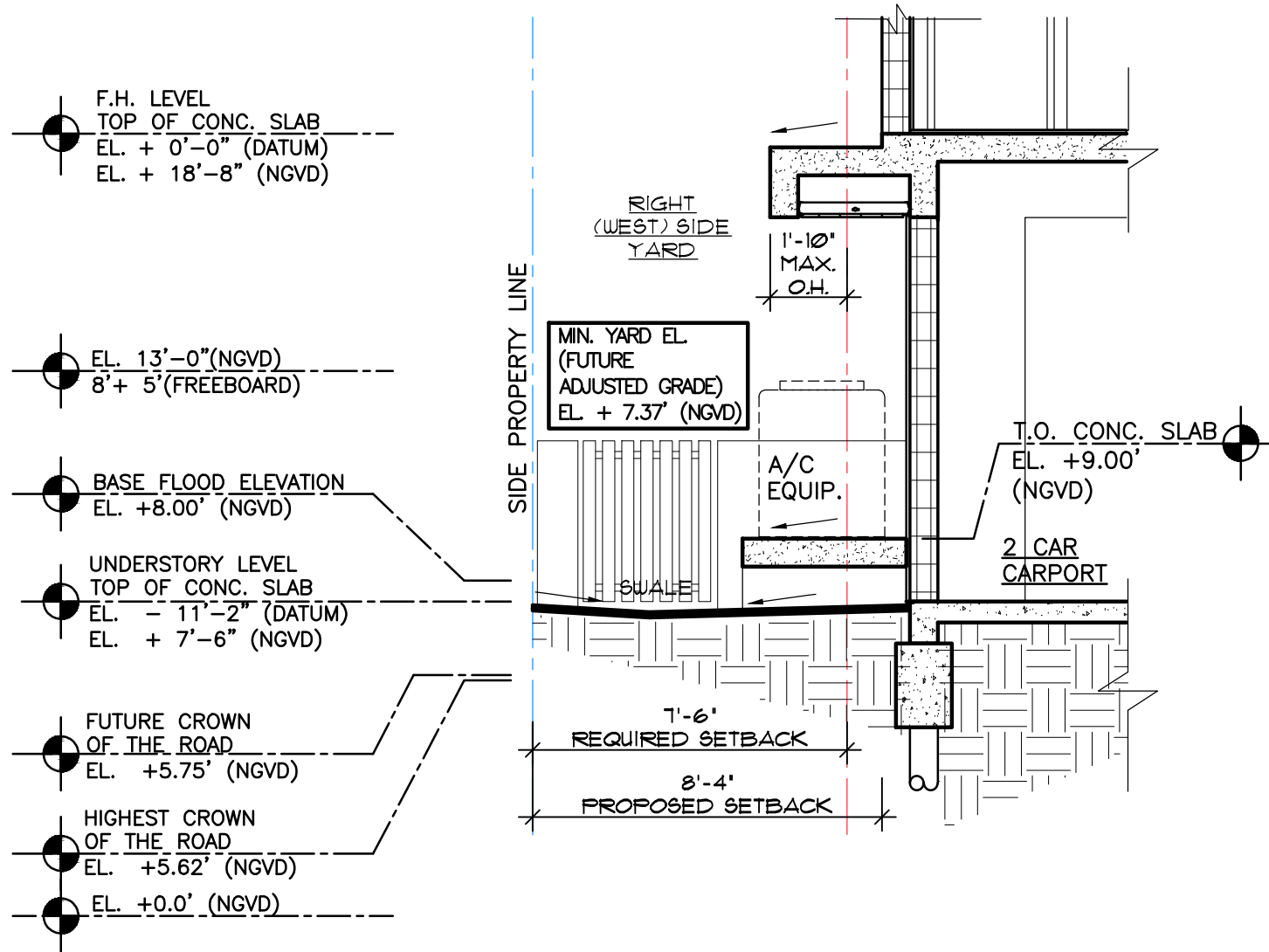
REAR YARD AREA OPEN SPACE AS PER 1223 (b) (1) (7) :	
REAR YARD AREA=	1200 SF.
MAX. IMPERVIOUS AREA ALLOWED: 30% OF REAR YARD AREA (1200 SF X 0.30) =	360 SF.
IMPERVIOUS PROVIDED (LANDSCAPE):	358.5 SF (29.87 %)
MIN. OPEN SPACE REQUIRED: 70% OF REAR YARD AREA (1200 SF X 0.70) =	840 SF.
PERVIOUS (LANDSCAPE):	654 SF (54.5 %)
PERVIOUS (WATER FROM SWIMMING POOL @ 50%):	187.5 SF (15.625 %)
TOTAL OPEN SPACE (PERVIOUS) PROVIDED:	841.5 SF (70.125 %)

AREA CALCULATION	
FIRST FL. A/C AREA :	1916 SQ. FT.
SECOND FL. A/C AREA :	2050 SQ. FT.
UNDERSTORY (ELEVATOR) :	34 SQ. FT.
TOTAL A/C AREA:	4,000 SQ. FT.
UNDERSTORY (NO A/C) :	1813 SQ. FT.
2 CAR GARPORT :	546 SQ. FT.
FIRST FL. FRONT BALCONY :	220 SQ. FT.
FIRST FL. REAR COVERED TERRACE :	571 SQ. FT.
SECOND FL. FRONT BALCONY :	140 SQ. FT.
SECOND FL. REAR TERRACE :	614 SQ. FT.
TOTAL AREA :	7,910 SQ. FT.

FRONT YARD AREA OPEN SPACE AS PER 1223 (b) (1) (6) :	
REAR YARD AREA=	1300 SF.
MIN. OPEN SPACE REQUIRED: 10% OF FRONT YARD AREA (1300 SF) =	1300 SF.
IMPERVIOUS (DRIVEWAY) :	- 450 SF (30 %)
PERVIOUS (LANDSCAPE) :	1,050 SF (70 %)
OPEN SPACE PROVIDED=	1,050 SF. (70%)

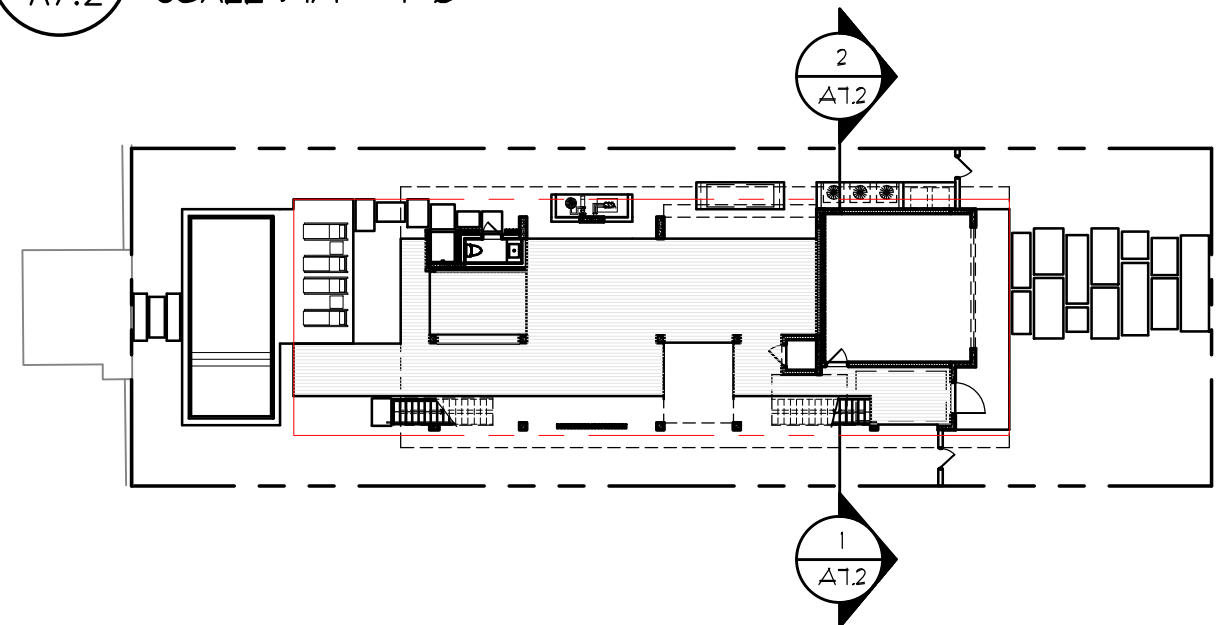
FRONT & REAR
YARD OPEN SPACE
SCALE : 1/16" = 1'-0"



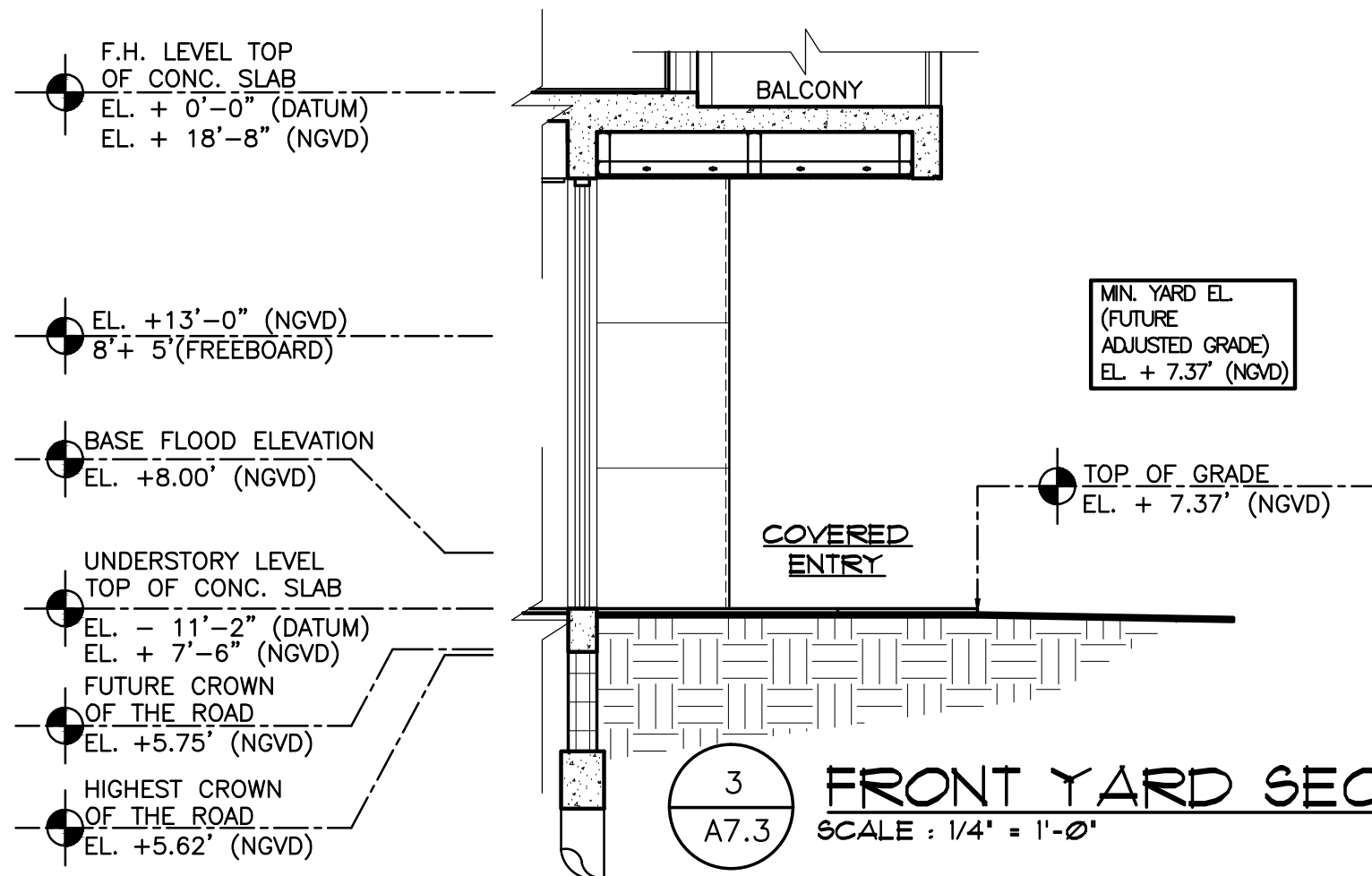
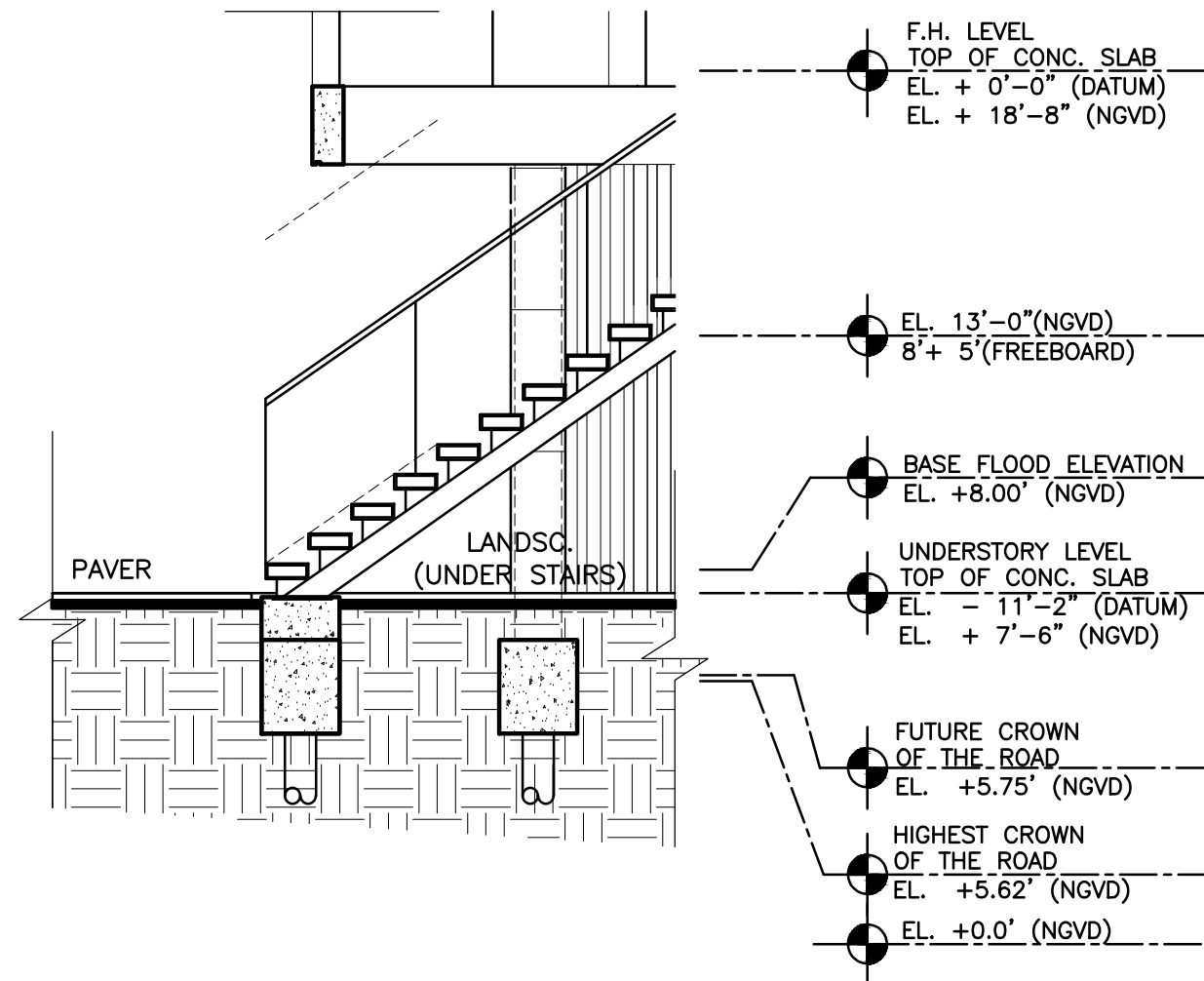
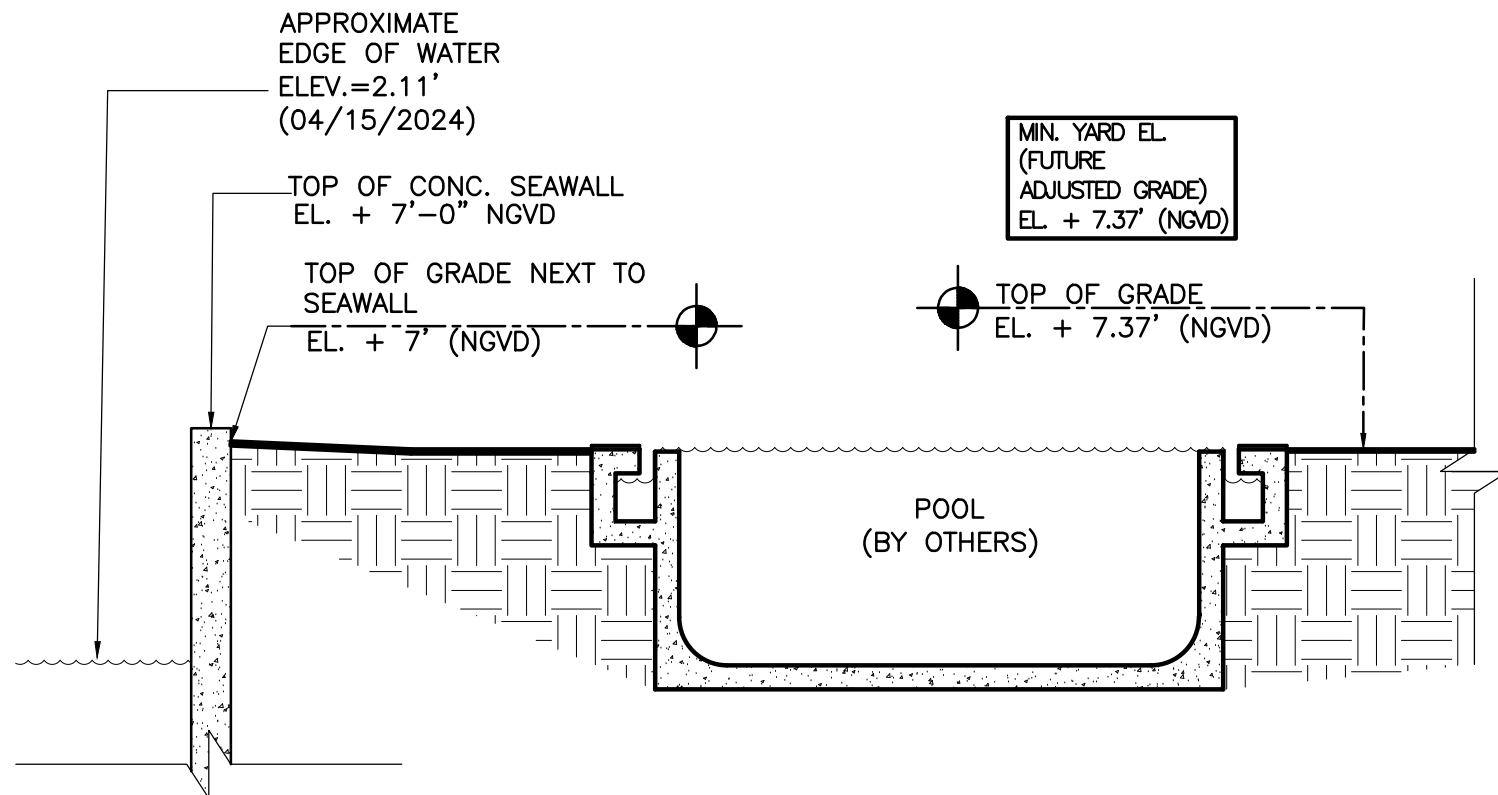


2
 A7.2
 INTERIOR SIDE YARD SECTION
 SCALE : 1/4" = 1'-0"

1
 A7.2
 INTERIOR SIDE YARD SECTION
 SCALE : 1/4" = 1'-0"



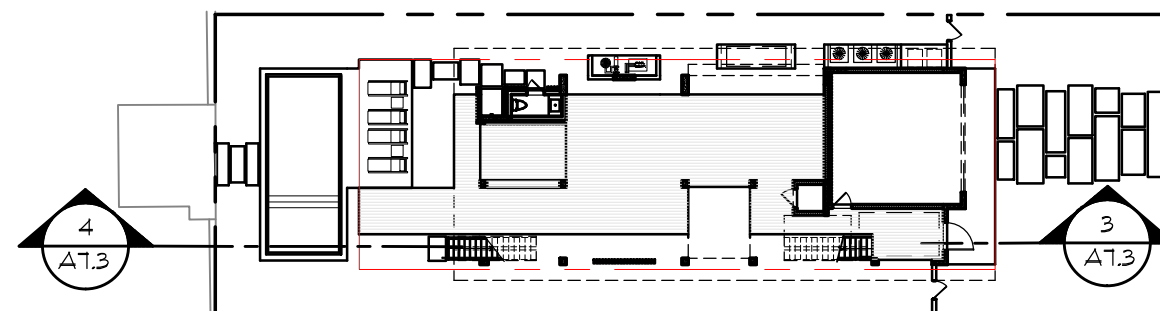
YARD SECTION KEYPLAN



4
A7.3

REAR YARD SECTION

SCALE : 1/4" = 1'-0"



YARD SECTION KEYPLAN

COURTYARD REQUIREMENTS:

TWO STORY HOUSES STANDARDS.
TWO-STORY SIDE ELEVATIONS LOCATED PARALLEL TO A SIDE PROPERTY LINE SHALL NOT EXCEED 50 PERCENT (50%) OF THE LOT DEPTH, OR 60 FEET, WHICHEVER IS LESS, WITHOUT INCORPORATING ADDITIONAL OPEN SPACE, IN EXCESS OF THE MINIMUM REQUIRED SIDE YARD, DIRECTLY ADJACENT TO THE REQUIRED SIDE YARD. THE ADDITIONAL OPEN SPACE SHALL BE REGULAR IN SHAPE, OPEN TO THE SKY FROM GRADE, AND AT LEAST 8 FEET IN DEPTH, MEASURED PERPENDICULAR FROM THE MINIMUM REQUIRED SIDE SETBACK LINE. THE SQUARE FOOTAGE OF THE ADDITIONAL OPEN SPACE SHALL NOT BE LESS THAN ONE PERCENT (1%) OF THE LOT AREA.

LOT AREA: 8,000 SF
COURTYARD AREA MIN. REQUIRED: 80 SF (1%)

WAIVER REQUEST:

REQUEST TO WAIVE ONE SIDE COURTYARD FOR REQUIREMENTS FOR 2 STORY ELEVATIONS GREATER THAN 60' IN LENGTH:
AS PER 7.2.2.4.A.4.A.V. COURTYARDS: THE MINIMUM COURTYARD REQUIREMENTS SPECIFIED IN SECTION 7.2.2.3.B.2.A. MAY BE WAIVED AT THE ADMINISTRATIVE LEVEL, PROVIDED THAT THE REVIEW CRITERIA IN SECTION 7.2.2.3 HAVE BEEN SATISFIED, AS DETERMINED BY THE PLANNING DIRECTOR OR DESIGNEE.

WAIVER REQUEST:

NO OPEN TO THE SKY COURTYARD AREA PROVIDED

COURTYARD AREA REQUIRED
10'X8'=80 SF
(1% OF LOT AREA: 8,000 SF)

COURTYARD AREA
REQUIRED =10'X8'=80 SF
(1% OF LOT AREA: 8,000 SF)

COURTYARD AREA PROVIDED
11'-11" X 10'-2"=121 SF
THIS COURTYARD COMPLIES

LINE OF ENCLOSED 2ND FL ABOVE

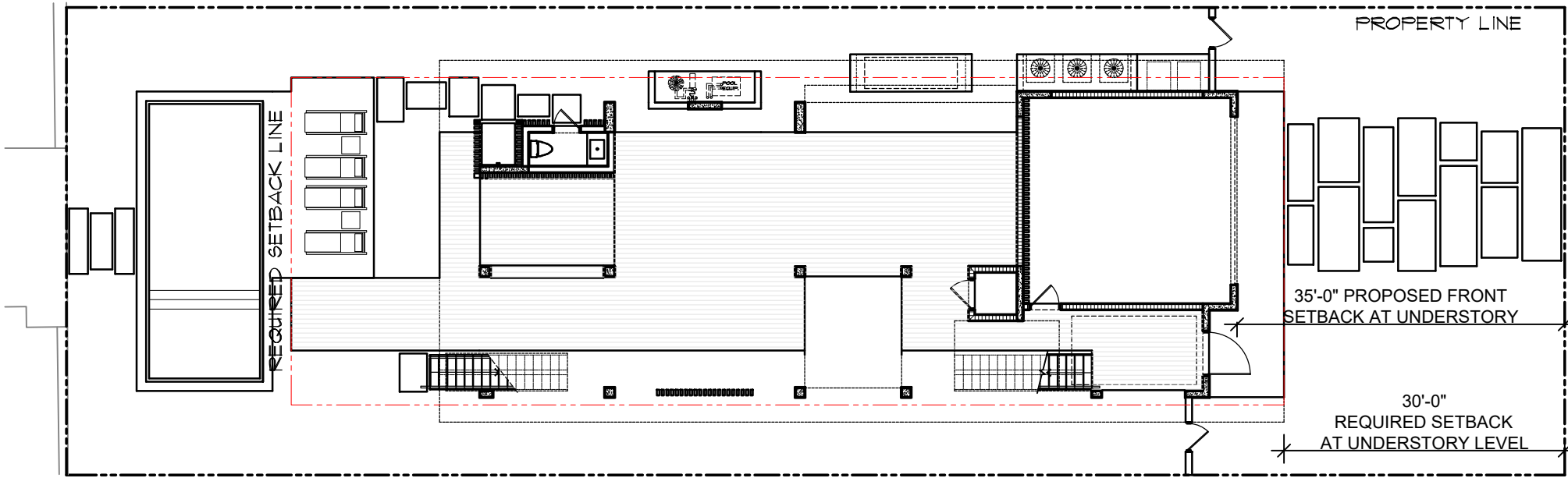
LINE OF REQUIRED SETBACK

LINE OF EYEBROW ABOVE

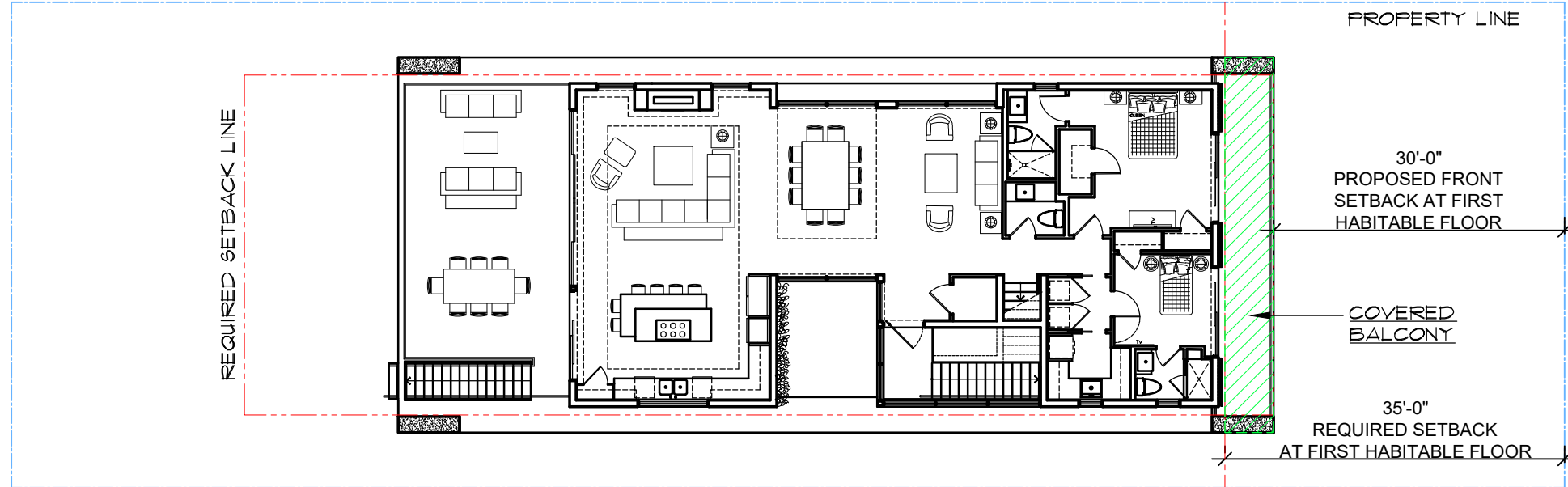
PROPERTY LINE

WAIVER REQUEST
DIAGRAM: COURTYARD
SCALE : 1/8" = 1'-0"

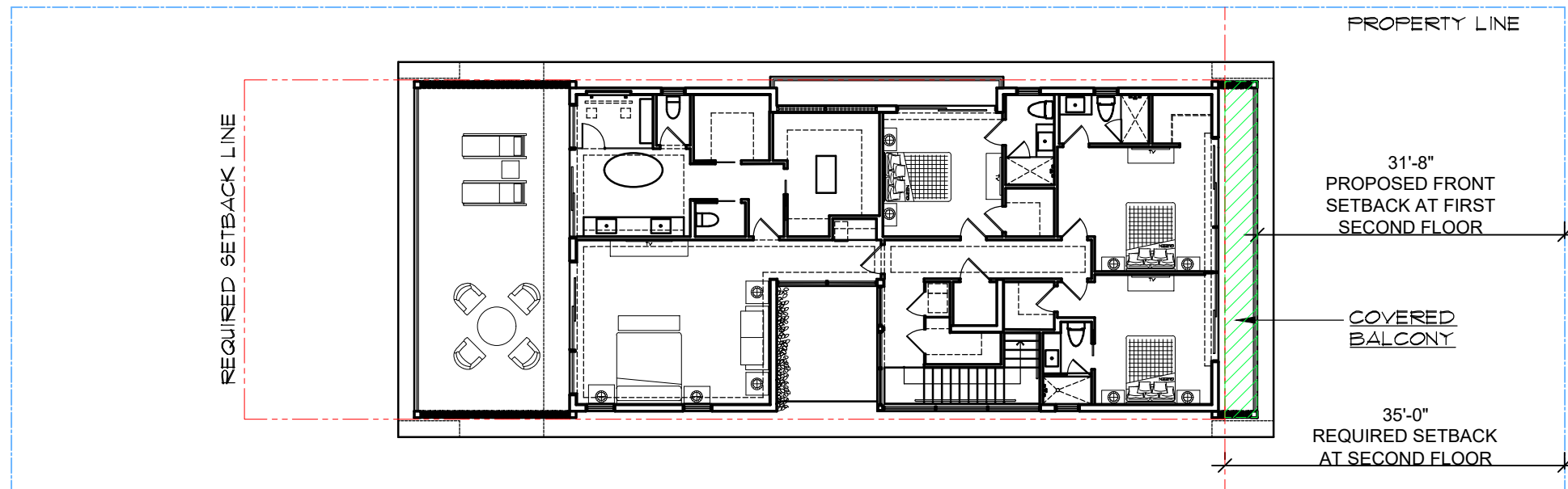




UNDERSTORY LEVEL

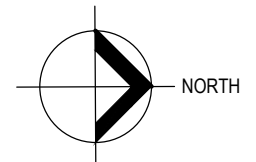


FIRST HABITABLE FLOOR

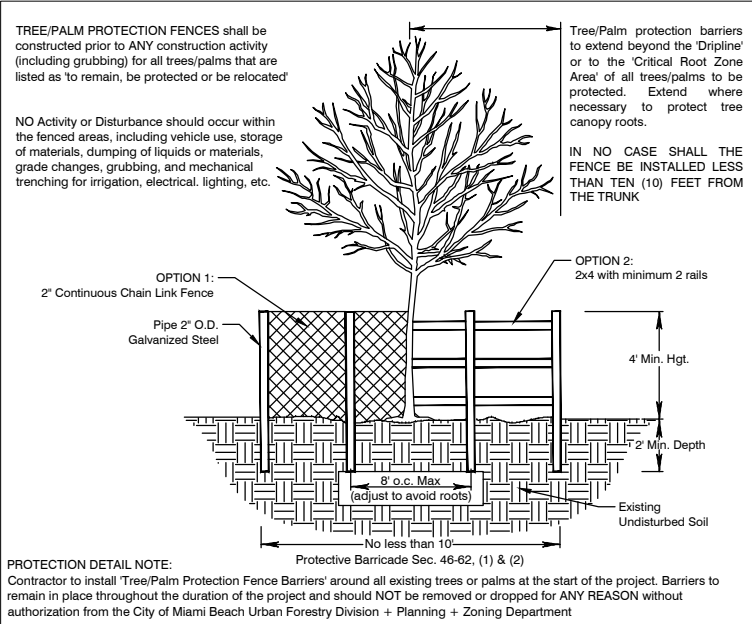
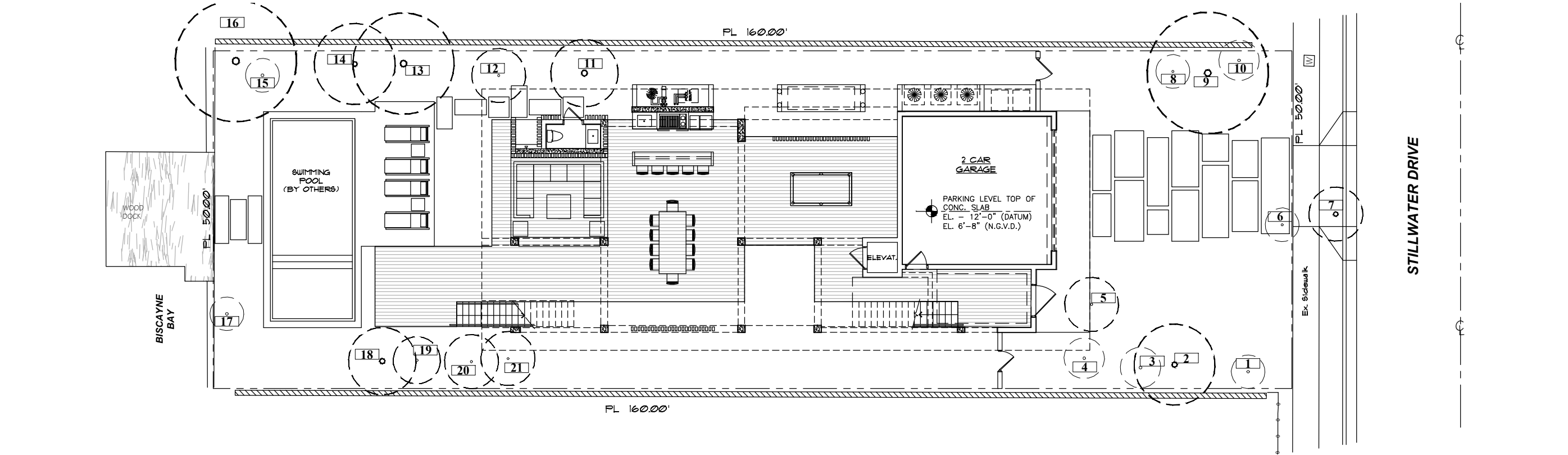


SECOND FLOOR

WAIVER REQUEST
DIAGRAM: FRONT
BALCONIES SETBACK

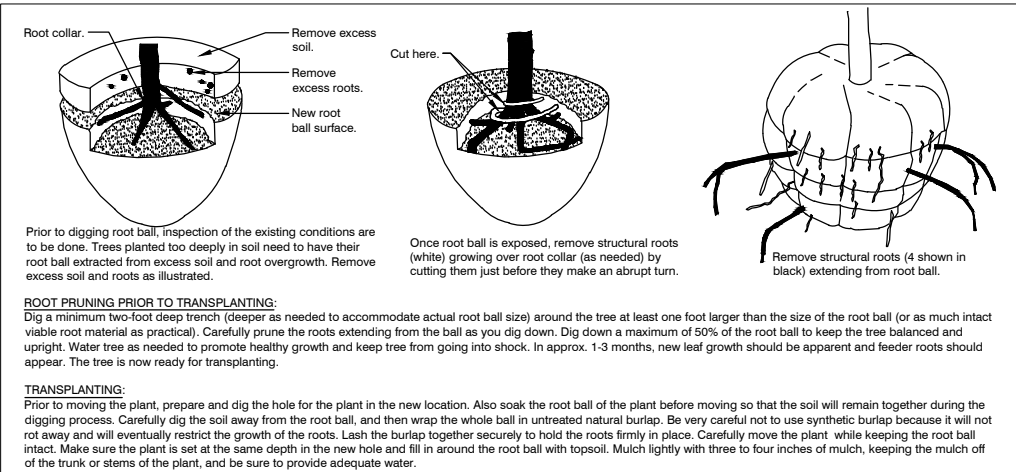


SCALE : 1/16" = 1'-0"



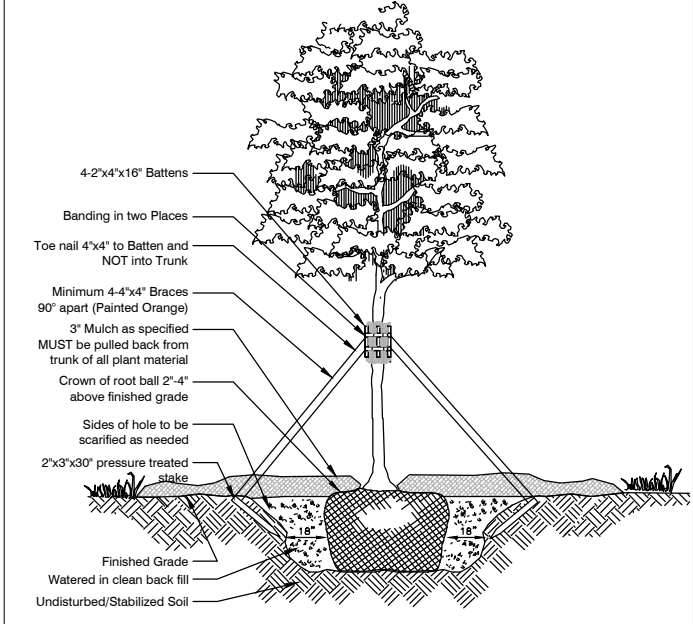
1 Tree Protection Barrier Detail

SCALE: 1/2" = 1' - 0"



3 Tree Root Prune and Transplant Detail

SCALE: N.T.S.



2 Tree Relocation Support and Planting Hole Detail

SCALE: N.T.S.

RELOCATION NOTES:

1. Tree canopy to only be pruned to remove dead branches and to provide space for lifting straps to be used without damaging tree.
 2. Root pruning - Root pruning of palms can be done the same day as they are to be relocated unless otherwise noted. For trees, root prune to be for 2 months.
- NOTE: If due to time of year, spring flush of new leaves starts prior to relocation, time frame to be extended for a minimum 1 extra month to allow new growth to harden.
3. New irrigation zone to be created on existing system to allow bubbler/drip rings to be installed around tree to be relocated. Once root prune has begun, tree is to be watered daily. This is to continue for a minimum of 3 months AFTER trees have been relocated.
 4. Tree is to be lifted with straps and tree crane ONLY. Drilling a hole and pinning tree is NOT an acceptable relocation method.
 5. After relocation, braces for trees to be installed as noted in detail #2.
 6. Size of transplant hole as noted in detail #2 is to be 12"-18" wider than root ball size (see 7. below) and edges to be scarified per ANSI A300-Part 6 Planting and Transplanting.
 7. Root Ball size for trees to be relocated to have 8" for every inch of DBH per ANSI A-300-Part 6 Planting and Transplanting. Root ball size to be as shown: Tree #7: 6' diameter
 8. Certified Arborist to perform or supervise relocation process.
 9. Tree MUST survive or be replaced with same size tree.

EXISTING TREE LEGEND						
TREE #	COMMON NAME	SCIENTIFIC NAME	DBH (INCHES)	HEIGHT (FEET)	SPREAD (FEET)	STATUS
1	Christmas Palm (3 Trunk)	<i>Adonidia merrillii</i>	5	8	5	Remove - Not a Tree - No Mitigation
2	Queen Palm	<i>Syagrus romanzoffiana</i>	9	20	12	Remove - Mitigate
3	Christmas Palm (3 Trunk)	<i>Adonidia merrillii</i>	5	8	6	Remove - Not a Tree - No Mitigation
4	Chinese Fan Palm	<i>Livistona chinensis</i>	0	5	6	Remove - Not a Tree - No Mitigation
5	Pygmy Date Palm (2 Trunk)	<i>Phoenix roebelenii</i>	4	8	8	Remove - Not a Tree - No Mitigation
6	Pygmy Date Palm (3 Trunk)	<i>Phoenix roebelenii</i>	4	6	5	Remove - Not a Tree - No Mitigation
7	Crepe Myrtle	<i>Lagerstroemia indica</i>	8	12	8	Relocate
8	Chinese Fan Palm	<i>Livistona chinensis</i>	0	6	5	Remove - Not a Tree - No Mitigation
9	Coconut Palm	<i>Cocos nucifera</i>	11	25	18	Remove - Mitigate
10	Christmas Palm (3 Trunk)	<i>Adonidia merrillii</i>	5	8	6	Remove - Not a Tree - No Mitigation
11	Areca Palm	<i>Dypsis lutescens</i>	10	14	10	Remove - Not a Tree - No Mitigation
12	Chinese Fan Palm	<i>Livistona chinensis</i>	0	6	8	Remove - Not a Tree - No Mitigation
13	Coconut Palm	<i>Cocos nucifera</i>	11	30	15	Remove - Mitigate
14	Coconut Palm	<i>Cocos nucifera</i>	8	10	12	Remove - Not a Tree - No Mitigation
15	Christmas Palm (3 Trunk)	<i>Adonidia merrillii</i>	5	8	5	Remove - Not a Tree - No Mitigation
16	Coconut Palm	<i>Cocos nucifera</i>	12	35	18	Remove - Mitigate
17	Christmas Palm (2 Trunk)	<i>Adonidia merrillii</i>	5	8	5	Remove - Not a Tree - No Mitigation
18	Queen Palm	<i>Syagrus romanzoffiana</i>	9	22	10	Remove - Mitigate
19	Chinese Fan Palm	<i>Livistona chinensis</i>	0	6	7	Remove - Not a Tree - No Mitigation
20	Chinese Fan Palm	<i>Livistona chinensis</i>	0	5	8	Remove - Not a Tree - No Mitigation
21	Chinese Fan Palm	<i>Livistona chinensis</i>	0	6	8	Remove - Not a Tree - No Mitigation

TREE MITIGATION:

There is NO tree DBH to be replaced with this permit.

Palms #: 2, 8, 13, 16, & 18 to be mitigated per City of Miami Beach Code 46-61.(1)(c) with 1 tree per palm removed. Replacing 5 Palms = 5 Trees with 2" DBH and 12' min. height at time of planting

TOTAL of 5 Trees to Mitigate.

Adding 5 Trees:

2 Green Buttonwood w/ 2" dbh / 6' spr. / 12' hgt. =	2 trees
3 Pigeon Plum w/ 2" dbh / 6' spr. / 12' hgt. =	3 trees
TOTAL =	5 trees

NOTE: Palms #: 1, 3, 4, 5, 6, 8, 10, 11, 12, 14, 15, 17, 19, 20, & 21 do not meet the minimum standard set forth in City of Miami Beach code 46-56. Definitions a Palm must be both 16' in height and have a DBH of 6". As these trees do not have the proper DBH or Height they are listed as to be removed without any mitigation. Palms listed with Zero (0) DBH do not have any trunk at a height of 4.5' and as such do not have a DBH to depose.



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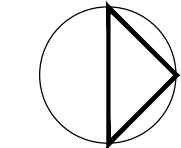
Landscape Architects,
Site Planners &
Innovative Sustainable
Designers

PROJECT: **PRIVATE RESIDENCE**
1520 Stillwater Drive Miami Beach, FL 33141

DRAWING TITLE:

PROPOSED SITE TREE DISPOSITION

DATE: 01-29-2025



NORTH

SCALE: 1/16" = 1'-0"

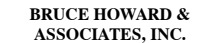
SHEET #
LE-1

11285 SW 211 St. - Ste 301

Cutler Bay, Florida 33189

(305) 668-3196

Fax(305) 668-2871



**Landscape Architects,
Site Planners &
Innovative Sustainable
Designers**

PROJECT:
PRIVATE RESIDENCE
1520 Stillwater Drive Miami Beach, FL 33141

DRAWING TITLE:
PROPOSED SITE LANDSCAPE PLAN

DATE: 01-29-2025



SCALE: 1/16"=1'-0"

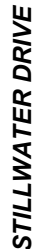
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LANDSCAPE NOTES

1. All plant material to be Florida No. 1 or better per most current version of "Grades and Standards for Nursery Plants, Part I and II," prepared by the State of Florida Department of Agriculture and Consumer Services.
2. All planting beds to be topped with 2" min. mulch "Grade A", unless otherwise noted. A two-inch layer, after watering in, of mulch must be placed and maintained around all newly installed trees, shrubs, and ground cover plantings. Each tree must have a ring of mulch no less than 24 inches beyond its' trunk in all directions. Red mulch is not acceptable. **CYPRESS MULCH WILL NOT BE USED.**
3. All trees to be staked in good workmanlike manner. No nail staking permitted. (Refer to planting details) Landscape contractor is responsible for removing trees stakes once trees are established.
4. Landscape plan shall be installed in compliance with all local codes. Local codes take precedence over Landscape plan.
5. All tree holes to be back filled around and under root ball with planting soil. All shrub beds to be installed with planting soil (see planting details).
6. Sod shall be as specified in the landscape plan. Solid sod shall be laid with alternative and abutting joints, with 2" top soil minimum if required.
7. All trees and palms are to be guaranteed for one year. All shrubs and ground covers shall be guaranteed for six months from date of final acceptance.
8. All planting beds shall be free of weeds, grass, litter, and construction debris prior to planting.
9. All trees, palms, shrubs, and groundcover plants shall be fertilized at installation with slow release fertilizer, according to manufacturer's recommendations (submit sample for approval).
10. Landscape contractor shall review all drawings and prepare his own take off and plant list prior to bid cost, and compare to Landscape Architect's plant list. Sizes specified on drawings are deemed to be minimums. Landscape Contractor is responsible for attaining accurate counts of plant materials specified. In the event of discrepancies, Landscape Contractor shall bring to the attention of the Landscape Architect. Plan shall take precedence over plant list. No Exceptions!
11. Landscape Contractor shall locate and verify all underground utility prior to digging. Plantings in Easements: Utility, power, or drainage easements may overlap required buffers; however no required trees or shrubs may be located in any utility, power, or street easement or right-of-way.
12. All trees, except street trees, shall be a minimum of twelve (12) feet high and have a minimum dbh of two (2) inches at time of planting except that thirty (30) percent of the tree requirement may be met by native species with a minimum height of eight (8) feet and a minimum dbh of one and one-half (1½) inches at time of planting. Street trees shall have a clear trunk of four (4) feet, an overall height of fifteen (15) feet and a minimum dbh of three (3) inches at time of planting, and shall be provided along all roadways at a maximum average spacing of thirty (30) feet on center.
13. All shrubs must be a minimum of 18" in height at time of planting. When used as a visual screen, buffer, or hedge, shrubs shall be planted at a maximum average spacing of thirty (30) inches on center or if planted at a minimum height of thirty-six (36) inches, shall have a maximum average spacing of forty-eight (48) inches on center and shall be maintained so as to form a continuous, unbroken and solid visual screen within one (1) year after time of planting.
14. All material is subject to availability at time of installation. Substitutions **MUST** be cleared with Landscape Architect prior to install.
15. All newly planted areas to receive 100% coverage (with 50% overlap) by automatic irrigation system (refer to irrigation plan).
16. All existing plant material to remain shall be protected (see planting details).
17. All trees to be relocated will get root pruned a minimum of 30 days prior to relocation (more if req. by species). Upon relocation, thin out (under LA direction) 25% of tree canopy.
18. After removal/relocation of existing trees and palms, backfill tree pit with planting soil and sod disturbed area (if needed) to bring them to the same level of the surrounding areas.
19. No changes shall be made without the prior consent of the Landscape Architect and Owner.
20. Nursery Support Poles shall be removed at the Nursery, prior to delivery. Any trees delivered with nursery poles will be rejected.

TREE MAINTENANCE NOTES

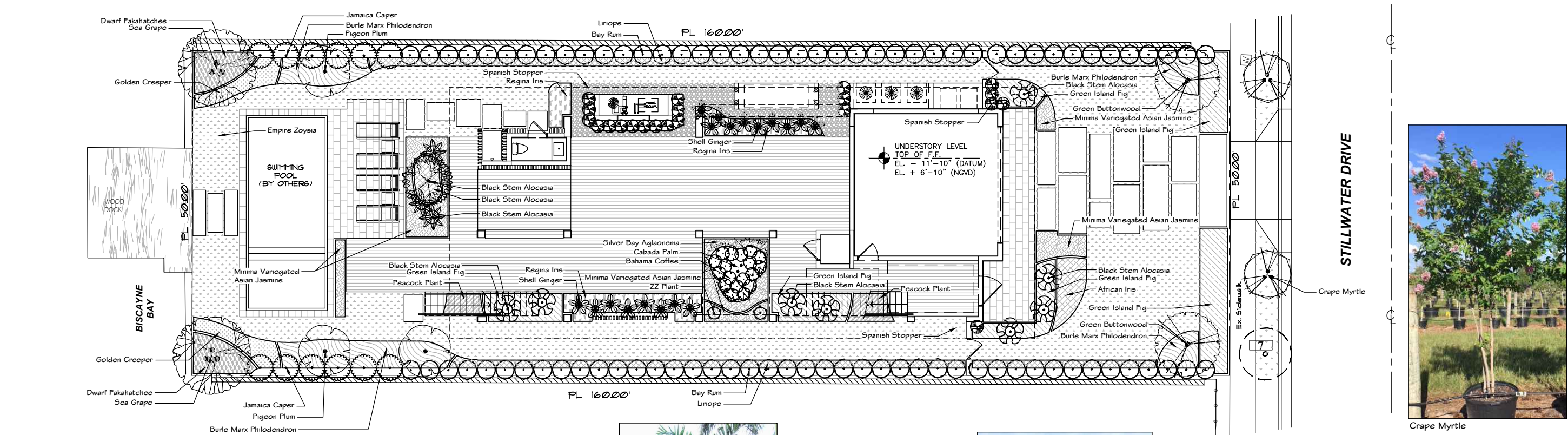
1. Begin maintenance immediately after planting. Maintain all plant material until final acceptance and for a maintenance and warranty period of twelve (12) months after final acceptance.
2. Maintenance shall include but is not limited to pruning, cultivating, mowing, weeding, fertilizing, watering, and application of appropriate pesticides necessary to maintain plants in healthy condition.
 - 1) Reset settled plants to proper grade and position.
 - 2) Restore soil berm and mulch layer.
 - 3) Tighten and repair elastic guys or other supports
 - 4) Correct defective work.
 - 5) Remove and replace rejected material within one (1) working day from notification.
 - 6) Maintain mulch surface weed-free.
3. The contractor is entirely responsible for the irrigation through final acceptance and twelve- (12) month warranty period. Plant material shall receive water in accordance with the water schedule established per Irrigation Notes.

LANDSCAPE LEGEND							
TAG	QTY	BOTANICAL NAME	COMMON NAME	SIZE DBH	INSTALL HGT / SPR	SPACING	NATIVE
STREET TREE S							
LAJN	2	Lagerstroemia indica	Crape Myrtle	3"	14' / 6'	20' OC	NO
SITE TREE S							
CODI	3	Coccoloba diversifolia	Pigeon Plum	2"	12' / 6'	N/A	YES
COUJ	2	Coccoloba uvifera	Sea Grape	6" multi-trunk	16' / 8'	N/A	YES
COER	2	Conocarpus erectus	Green Buttonwood	2"	12' / 6'	N/A	YES
GUOF	1	Guaiacum officinale	Lignum Vitae	2"	8' OA	N/A	YES
SITE PALMS							
DYCA	1	Drypis cabadae	Cabada Palm	8"	14' OA	N/A	NO
SHRUBS							
AGSB	9	Aqlaonema x 'Silver Bay'	Silver Bay Aqlaonema	3 gal	18"-24"	30" OC	NO
ALZE	18	Alpinia zerumbet	Shell Ginger	7 gal	42"-48"	36" OC	NO
AMBS	8	Alocasia macrorrhizos 'Black Stem'	Black Stem Alocasia	7 gal	42"-48"	N/A	NO
CACY	12	Capparis cynophallophora	Jamaica Caper	25 gal	72"	48" OC	YES
CALM	23	Calathea makoyana	Peacock Plant	1 gal	12"	18" OC	NO
DIR	34	Dietsia indioides	African Iris	3 gal	18"	18" OC	NO
ERLI	23	Ernodea littoralis	Golden Creeper	3 gal	18"	24" OC	YES
EUFO	21	Eugenia foetida	Spanish Stopper	7 gal	36"	24" OC	YES
FIGI	93	Ficus 'Green Island'	Green Island Fig	3 gal	18"-24"	24" OC	NO
LMBB	212	Liriope muscari 'Big Blue'	Liriope	1 gal	8"	15" OC	NO
NECR	38	Neomaria caerulea 'Regina'	Regina Iris	3 gal	18"	24" OC	NO
PHBM	42	Philodendron x 'Burlie Marx'	Burlie Marx Philodendron	3 gal	18"	30" OC	NO
PIRA	85	Pimenta racemosa	Bay Rum	15 gal	6' ftb	36" OC	NO
PSLI	18	Psychotria lioustrifolia	Bahama Coffee	3 gal	36"	24" OC	YES
STRE	3	Strelitzia reginae	Bird Of Paradise	7 gal	36"	N/A	NO
TAMV	107	Trachelospermum asiaticum 'Minima Variegata'	Minima Variegated Asian Jasmine	1 gal	4"	15" OC	NO
TRFL	26	Tripsacum floridanum	Dwarf Fakahatchee	3 gal	12"	24" OC	YES
ZAZA	2	Zamiaulcas zamifolia	ZZ Plant	3 gal	18"	N/A	NO
MISCELLANEOUS							
89GG	154 sf	#89 Gray Granite	Loose Gravel	NA	NA	N/A	NA
ROW	116 sf	Stenotaphrum secundatum	St. Augustine Grass	sod	NA	N/A	NO
SOD	1,990 sf	Zoysia japonica 'Empire'	Empire Zoysia	sod	NA	N/A	NO

LANDSCAPE CALCULATIONS

Zoning District: RS-4
Net Lot Area: 0.184 acres 8,000 square feet

<u>OPEN SPACE</u>		<u>REQUIRED</u>	<u>PROVIDED</u>
A. Square feet of open space as indicated on site plan			
Front Yard Total: <u>1,500</u> square feet x 70% =	<u>1,050</u> s.f.	<u>1,050</u> s.f.	
Rear Yard Total: <u>1,200</u> square feet x 70% =	<u>840</u> s.f.	<u>889</u> s.f.	
 <u>LAWN AREA CALCULATION</u>			
A. Maximum lawn area (St. Augustine sod) permitted = <u>50</u> % x <u>4,017</u> square feet	<u>2,009</u> s.f.	<u>1,990</u> s.f.	
 <u>TREES</u>			
A. # of trees required per lot (5 for 1st 6,000 s.f. + 1 for each ad. 1,000 s.f.)	<u>7</u> trees per lot		
the existing number of trees that meet minimum requirements		<u>0</u> existing trees	
Total lot trees required/provided <u>7</u> lot trees - <u>0</u> existing trees =	<u>7</u> trees	<u>7</u> trees	
B. Percentage of native trees required (trees per lot <u>7</u>) x 30% =	<u>2</u> trees	<u>7</u> trees	
C. Low maintenance / drought and salt tolerant required (trees per lot <u>7</u>) x 50% =	<u>4</u> trees	<u>7</u> trees	
D. Street trees (max. average spacing of 20' o.c.): <u>50</u> linear feet along street ÷ 20 =	<u>3</u> trees	<u>3</u> trees	
	(1 Existing (#7 Crape Myrtle) + 2 New		
E. Total number of trees Required =	<u>10</u> trees	<u>10</u> trees	
 <u>SHRUBS</u>			
A. The total number of trees required x 12 = the number of shrubs required	<u>120</u> shrubs	<u>268</u> shrubs	
B. The number of shrubs required x 50% = the number of native shrubs required	<u>60</u> shrubs	<u>88</u> shrubs	
 <u>LARGE SHRUBS OR SMALL TREES</u>			
A. The total number of shrubs required x 10% = the # of large shrubs small trees required	<u>12</u> large shrubs	<u>12</u> large shrubs	
B. The number of large shrubs required x 50% = the number of native large shrubs required	<u>6</u> large shrubs	<u>12</u> large shrubs	



STILLWATER DRIVE



Crape Myrtle



Sea Grape



Minima Variegated Asian Jasmine



ZZ Plant



Golden Creeper



Dwarf Fakahatchee



Peacock Plant



Shell Ginger



Cabada Palm



Silver Bay Aglaonema



Bahama Coffee



Lignum Vitae



Bird Of Paradise



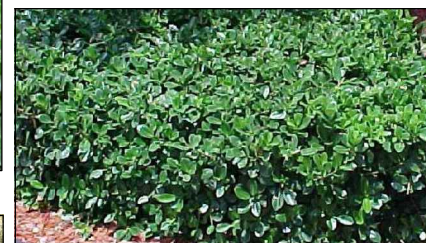
Spanish Stopper



Burle Marx Philodendron



Green Buttonwood



Green Island Fig



Minima Variegated Asian Jasmine



Pigeon Plum



Jamaica Caper



Bay Rum



Linope



Regina Ins



Black Stem Alocasia

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PROJECT: **PRIVATE RESIDENCE**
1520 Stillwater Drive Miami Beach, FL 33141

DRAWING TITLE: **LANDSCAPE PLANT PHOTOS**

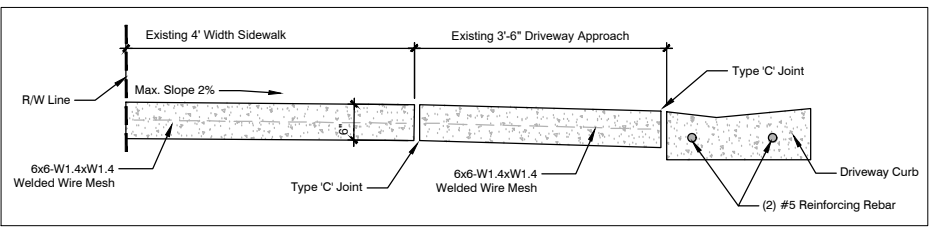
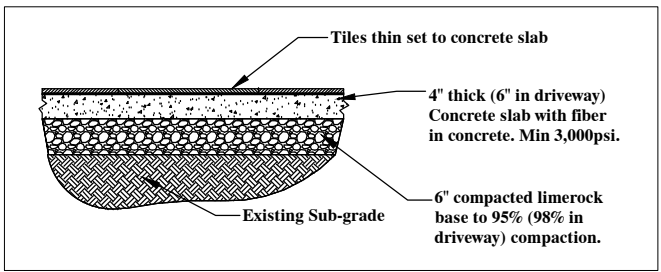
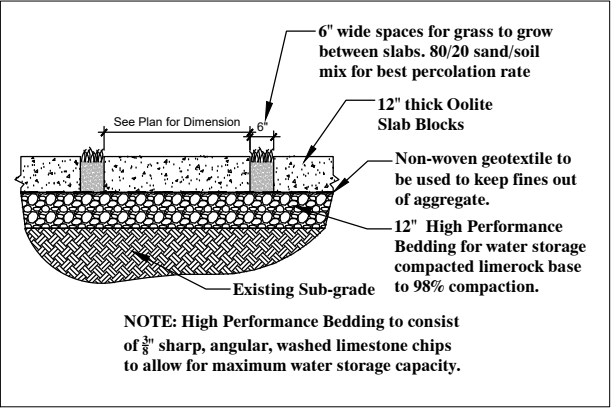
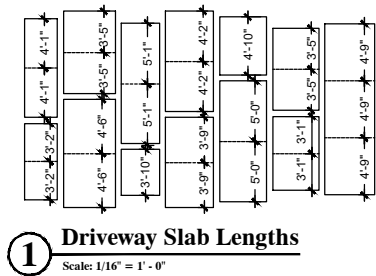
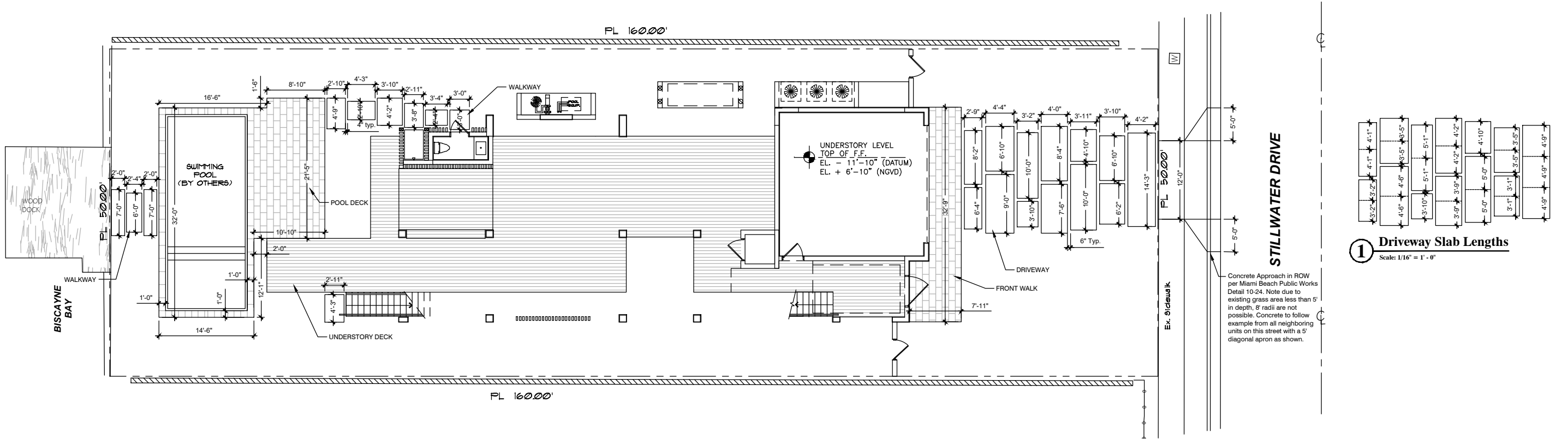
DATE: 01-29-2025

NORTH

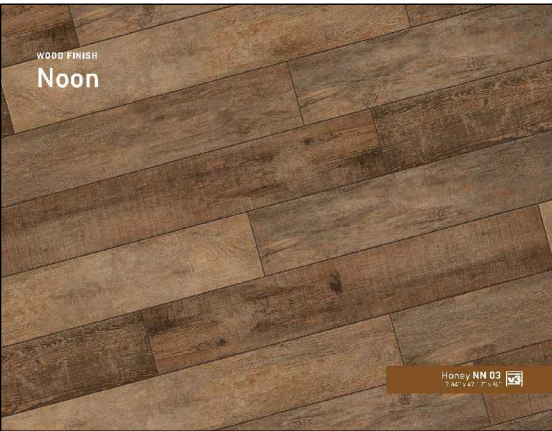
SCALE: 1/16" = 1'-0"

SHEET #
LP-2

11285 SW 211 St. - Ste 301
Cutler Bay, Florida 33189
(305) 668-3196
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POOL DECK / FRONT WALK / WALKWAY - Dominican Stone



UNDERSTORY DECK - Porcelain tile "Aged Wood" Look



DRIVEWAY - Oolite Slabs

Hardscape Materials Schedule		
PATTERN	QTY.	SPECIFICATIONS
DRIVEWAY	± 382 sq. ft.	12" thick Oolite Shellstone Slabs saw cut to dimensions as per plan. Each piece to be cut to length shown dimension layout 1 with a max length of 5'. Butt pieces together to make the solid slabs shown.
POOL DECK & FRONT WALK	± 510 sq. ft.	12"x24"x 3/4" thick mud set Dominican Coralstone tiles in running bond pattern as shown. Align to deck to minimize cut pieces.
WALKWAY	± 123 sq. ft.	1 1/2" thick mud set Dominican Coralstone tiles. Solid pieces in the dimensions as shown on plan.
UNDERSTORY DECK	± 1,542 sq. ft.	12"x48"x 3/4" thick mud set porcelain tiles by Belgard. Aged wood look to match Mahogany shown on house. "Noon" in color Honey (NN03). Install in a random running bond to mimic real wood.

HARDSCAPE NOTES
* Paver quantities are actual amounts and do not allow for cuts or broken pieces. Contractors to do their own 'take-off' and quantifying of material.
* Paving contractor to meet with Landscape Architect on site to review all paving conditions and patterns, prior to ordering material.

- General Sediment and Erosion Control Notes (Per MBPW - SES14)
- The contractor is responsible for following the best erosion and sediment control practices as outlined in the plans, specification, applicable permit(s), and the prevention, correction, control, and abatement of erosion and water pollution in accordance with chapter 62-302, Florida Administrative Code.
 - Erosion and sediment control barriers shall be placed where there is potential for downstream water quality degradation.
 - The site contractor is responsible for removing the temporary erosion and sediment control devices after completion of construction and only when areas have been stabilized.
 - The site contractor is responsible for the maintenance of BMPs to make sure they are functioning as designed at all times.
 - The BMP structures shall be inspected after each rain and repairs made as needed. Sediment deposits should be removed after each rainfall. They must be removed when the level of deposition reaches approximately one-half the height of the barrier.
 - Correctly installed silt fences will be used along the limits of construction to minimize offsite siltation migration.
 - Sod shall be placed in areas which may require immediate erosion protection to ensure water quality standards are maintained and where no active construction is occurring.
 - The contractor shall pay for any water quality control violations from any agency that results in fines being assessed to the owner because of the contractor's failure to eliminate turbid runoff from leaving the site and raising background levels of turbidity above existing background levels.

- Inlet Protection
- Wire mesh shall be laid over the top drop inlet so that the wire extends a minimum of 1 foot beyond each side of the inlet structure. Hardware cloth or comparable wire mesh with 1/2 - inch opening shall be used. If more than one strip of mesh is necessary the strips shall be overlapped.
 - FDOT NO. 1 coarse aggregate shall be placed over the wire mesh as indicated on detail. The depth of stone shall be at least 12 inches over the entire inlet opening. The stone shall extend beyond the inlet opening at least 18 inches on all sides.
 - If the stone filter becomes clogged with sediment so that it no longer adequately performs its function, the stone must be pulled away from the inlet, cleaned and replaced.
 - The filter barrier shall be entrenched and backfilled. A trench shall be excavated around the inlet and width of a bale to a minimum depth of four inches. After the bales are stacked, the excavated soil shall be backfilled and compacted against the filter barrier.
 - Bale shall be either wire-bound or string-tied with the bindings oriented around the sides rather than over and under the bales.
 - Bales shall be placed lengthwise in single row surrounding the inlet with the ends of adjacent bales pressed together.
 - Each bale shall be securely anchored and held in place by at least two stakes or rebars driven through the bale.
 - Loose straw should be wedged between bales to prevent water from entering between bales.

- Turbidity Barriers
- Floating turbidity barriers will be placed at all outfall locations connected to the work area during active construction. If seagrasses are present barriers will not be placed over them. The floating turbidity barriers shall be installed in a manner to prevent manatee entanglement.
 - Turbidity barriers to be marked with site contractor's company name using permanent markings no smaller than 3 inches in height on the top of the barrier.

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PROJECT:

PRIVATE RESIDENCE

1520 Stillwater Drive

Miami Beach, FL 33141

DATE: 01-29-2025

SCALE: 1/16" = 1'-0"

SHEET #

LH-1

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PROPOSED SITE HARDSCAPE PLAN

DRAWING TITLE: