

Owner C. M. BUSCH

Mailing Address

Permit No.

1421

Date Aug. 18-1925

Lot ~~36-37~~ Block 1

Subdivision PALM ISLAND

Address 94 Palm Island

96

General Contractor Ellis & Company

Address

Architect Pfeifer & Orily

Address

4205-01-0330

Front 110' Depth 87'-6

Height

Stories

Use Residence

Type of construction c-h-s

Cost \$ 75,000.00

Foundation concrete

Roof ?

Plumbing Contractor Sanborn

Address

Date Aug. 15-1925

Plumbing Fixtures 29

Rough approved by

Date

Gas Stoves

#31500 Stolpman Plumbing Co: 1 Gas range, Apr. 19, 1951

Gas Heaters

Address

Date

Final approved by

Date

Sewer connection

Septic tank 1

Make

Date Aug. 15-1925

Electrical Contractor Abbott Electric Co.

Address

Date Dec. 31-1925

Switch 110
OUTLETS Light
ReceptaclesRange 1 Motors 1
HEATERS Water
Space

Fans Temporary service

Centers of Distribution

Electrical Contractor Abbott Electric

Address

Date Jan. 7-1926

No. fixtures set 14

54- Abbott Final approved by
Electric Company -

June 15-1926

Date

Date of service

Alterations or repairs # 6657 - ADDITION of new bedroom -
Knight and Busch, contractors

\$2,500.00-

Date Jan. 2-1935

Fox & Stone PLUMBING PERMIT # 17851 C.R. Martin, 2 gas heaters Nov. 8, 1944

Over

ALTERATIONS & ADDITIONS

Building Permits: #22818 - Repairs to Roof and New Gate and Door Hood Gunn & Gurn \$1,000. 7-22-46
 #41044 Remodeling: no outside work: new door & new partition: owner: Mar30,1953
 #52465 FOR SALE Sign as per Ordinance: Owner: \$5.00: January 11, 1957

#54797 J.M. Montgomery Roofing: Roof Repairs - \$675.00 - Oct. 28, 1957
 #63987 Groner-Youngerman, Inc.: For Sale Sign - \$5.00 - Dec. 29, 1960
 #64352 Owner: Minor repairs & painting - \$2500 - March 7, 1961 Compl. Saperstein 3/27/62
 #83831 - Ferguson Roofing - Reroofing asphalt shingles approx. 63 squares \$4,000.00 33x 3/3/70
 #83832 - Andrews Roofing & Improvement - Reroof main 2 story & breakfast, powder room \$5,000.00 3/4/70
 #05204-Pablo Auilera-Exterior painting-\$2830-3-14-74

#05411-Clark Sales-Fence 110' chain link fence-\$600-4-18-74

#06827-Pai C. Wimbish-For Sale Sign-2-5-75 K.K.

#07921-Owner-For Sale sign-9-9-75

#13715-Owner-For Sale #02276-8-17-78

#14005-Biscayne Roofing-Re-roof 15 sqs-\$900-10-12-78 -#14973-Owner-A partition in garage as per sketch-\$150-5-9-79
Plumbing Permits: #37963 Miami Pioneer Septic Tank Co: 40' block drain April 5, 1956
 #42856 Patterson Plumbing: 1 sewer- size 4" - April 21, 1961 #17017-Miami Beach Realty-For Sale Sign-11-8-79

#49696-Peoples Gas- 1 nat. gas meter-2-5-73

#50246-Fla.Rental Tool of miami- 1 temporary water closet-10-10-73

#57081-Yell for Pennell- 1 heater-new installation, 1 gas piping-3-16-79

#57153-Peoples Gas- 1 meter set(gas)-4-6-79

Electrical Permits:

#61701 Ben's Elec. Corp.: 1 serv. temp.; 1 serv.equip.; 1 violation - 11/16/64 THIS PERMIT VOIDED AS PER BEN'S ELEC.
 LETTER DATED 1/8/65 (Filed in ~~Ben's Elec.~~ file) 1964-Elec.)

#61911 Ben's Elec. Corp.: 1 serv.equip; 1 violation - 1/19/65

#66188 Mr. ~~Long~~ ^{FOSTER} 7 Fixtures, 1 Violation 9/16/68

#75514-Ocean Electric- 400 amps service-5-30-79

BUILDING PERMITS contd.

7/11/80 #18435 Stand. Imp. Co. Demolish patio \$200
 #18707 - 8/12/80 Standard Imp Co. repair and remodel outside patio and pool area 15,000.

BUILDING PERMITS:

#M04785 Owner/Central air conditioning & violation/9-22-80

5/15/81 - #M05224 - 30KW central heating, 12tons central a/c - (Valuation \$11,200) - \$74.00

#22421 6/24/82 Hall Paving Co - construct tennis court and 340' of 10' high fence \$6,200.

PLUMBING PERMITS:

#58879 Bob's Plumbing Co Inc/Water service, sewer connections/9-25-80

1-20-81/#59161/1 bath tub, 1 bidet, 3 lavatory, 1 shower, 1 water closet/Ringemann Plumbing/\$42

1-20-81/#59161/1 bath tub, 1 bidet, 3 lavatory, 1 shower, 1 water closet/Ringemann Plumbing/\$42

2-10-81/#59233/1 new heater installation/Ringemann Plumbing/\$5

ELECTRICAL PERMITS:

1-22-81/#76893/25 switch outlets, 15 light outlets, 60 receptacles, 3-3t air conditioners, 3-10kw strip heater/
Cling Electric/\$104.50

COASTAL CONTROL ZONE

CUMULATIVE COST OF CONSTRUCTION OF PERMITS ISSUED

DATE	PROCESS	DESCRIPTION	WORK	CUMULATIVE	APPRAISED BLDG.			BUILDING
ISSUED	NO.	OF WORK	COST	WORK COST	VALUE BEFORE REMODEL	%	COMMENTS	PERMIT NO.
1-16-89		PEROOF of SPANISH "S" clay Elegante	\$26,450.00					SB890529
2-10-89		INTERIOR demolition + clean up.	\$3,000.00					SB890687
3-10-89		REPAIR floor system	\$3,000.00					SB890768
4-25-89		Remodel Kitchen + one bathroom	\$100,000.00					SB8900266
6-30-89		Boat lift with pile + wood dock	\$7,000.00					SB8900337

BUILDING PERMITS: #SB890529 - 1-16-89 - C.E. Sheppard Roofing - Reroof of spanish "S".clay
elegante- \$26,450.00
#SB890684 - 2-10-89 - Art Construction - Interior demolition and clean up-\$3,000.
#SB890768 - 3-10-89 - Art Construction - Repair floor system - \$3,000.00
#B8900266 - 4-25-89 - Owner - Remodel kitchen and one bathroom - \$100,000.00
#BM890664 - Igloo Air Conditioning - 2 Space heating, 2 a/c central, 2 duct work,
2 condensate drains, remove and relocate 2-air handling units - 5-8-89
#B8900337 - 6-30-89 - Shoreline Foundation Inc. - Boat lift with pile and wood dock-\$7,000.00
#BM890964 - Airko Service Inc. - 4ton A/C central unit, condensing unit replacement - 7-21-89
#BM891160 - Airko Service Inc. - 4 A/C central replacement - 8-31-89

PLUMBING PERMITS: #P8900692 - New Miami Shores Plumbing - New fixtures - 4-27-89

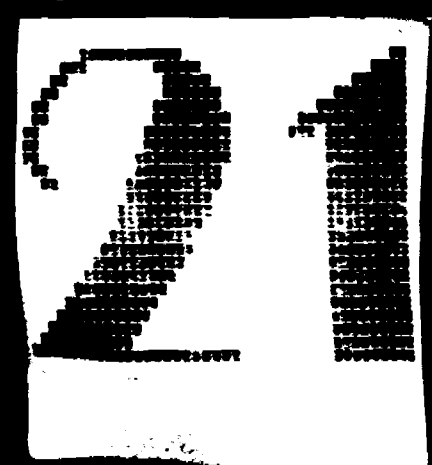
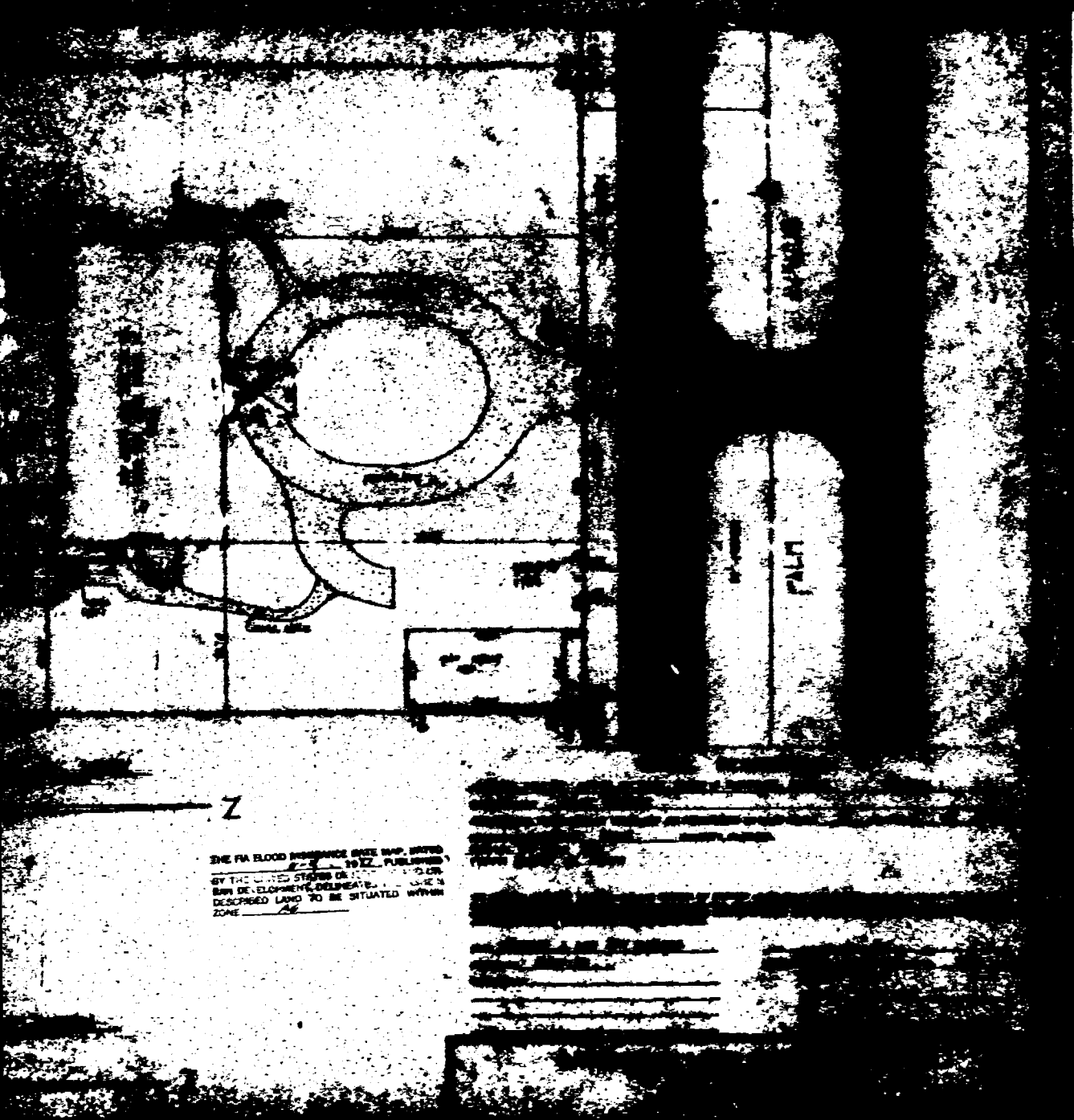
ELECTRICAL PERMITS: #E8900985 - Galaxy Electric - New electrical installation - 5-1-89
#BE891482 - Sun Protection Control Inc. - New light fixtures - 8-4-89

[illegible]

PERMIT #

B89- 00-266

ADDRESS :



BISCAYNE BAY
200.00
200.00

TRAIL COURT

36	36
37	36
38	36
39	36
40	36
41	36
42	36
43	36
44	36
45	36
46	36

TRAIL STREET

LOCATION SKETCH 1"=200'

SITE PLAN 1"=20'

LEGAL DESCRIPTION

LOTS 36 AND 37 AND A 20 FEET STRIP
IN BISCAYNE BAY BLOCK 1 SUBDIVISION PALM BLAND
ACCORDING TO THE PLAT THEREOF AS RECORDED IN
PLAT BOOK 6 AT PAGE 54 OF THE PUBLIC RECORDS
OF DADE COUNTY, FLORIDA

RES NO 94 PALM AVE
MIAMI BEACH, FL 33139

CITY OF MIAMI BEACH
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BUILDING DEPARTMENT

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DATE
WORK ONLY

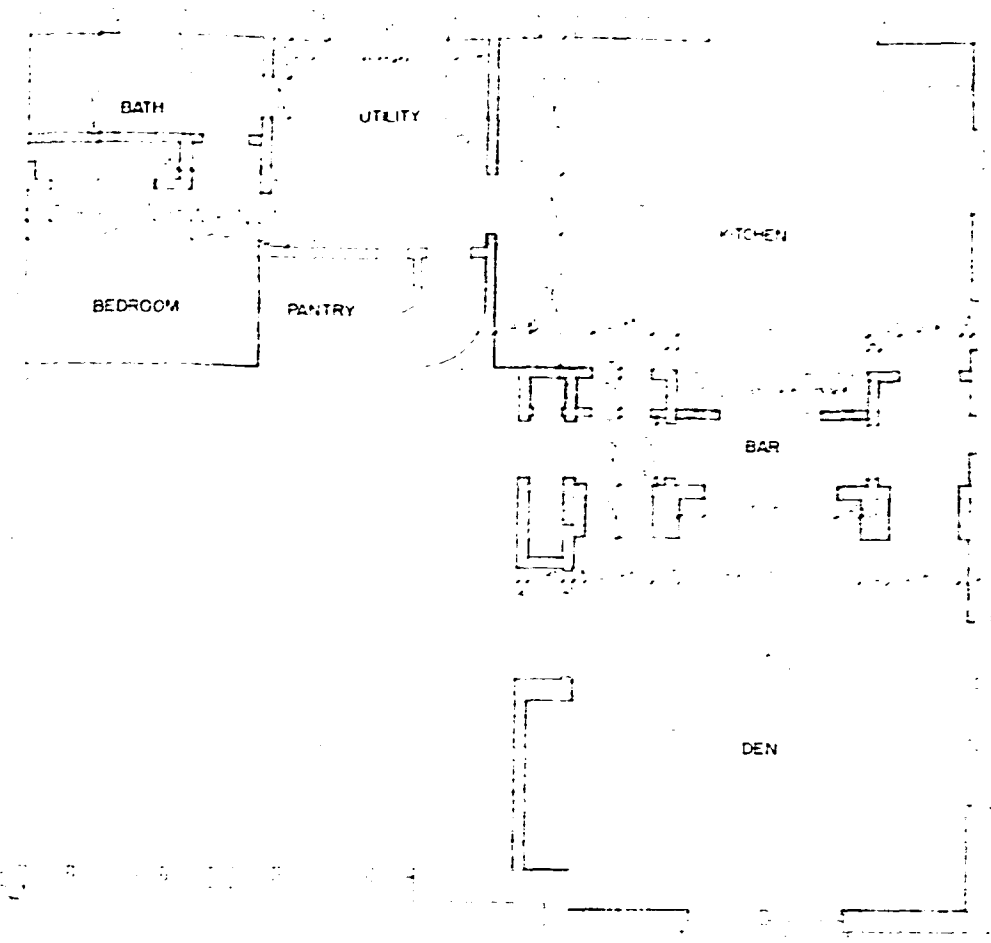
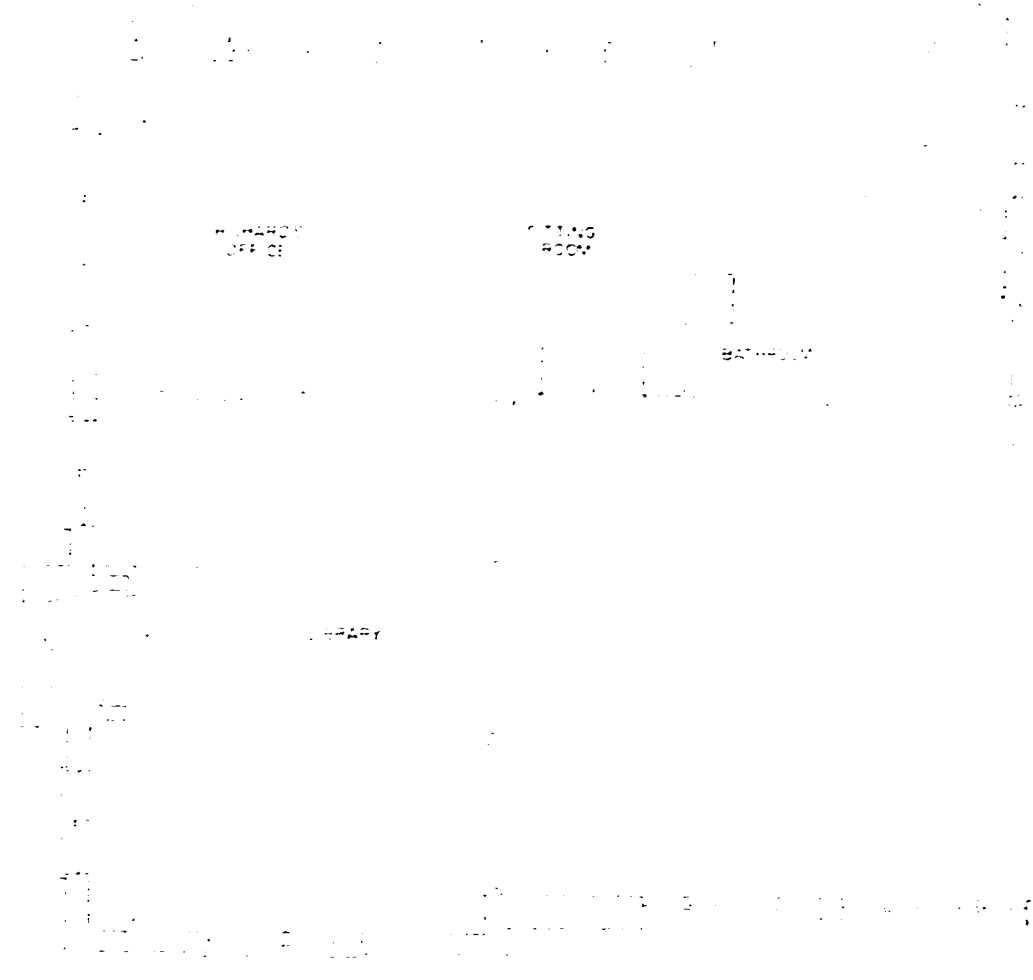
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ZONING: [Signature]
PLUMBING: [Signature]
ELECTRICAL: [Signature]
MECHANICAL: [Signature]
FIRE PREVENTION: [Signature]
ENGINEERING: [Signature]

Portugal & Partners Architects
Architects of Record

BERGER RENOVATION

Date
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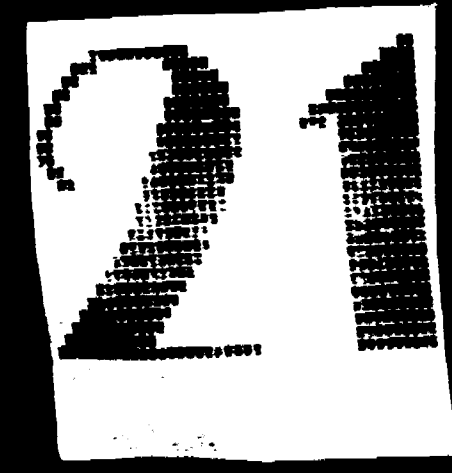


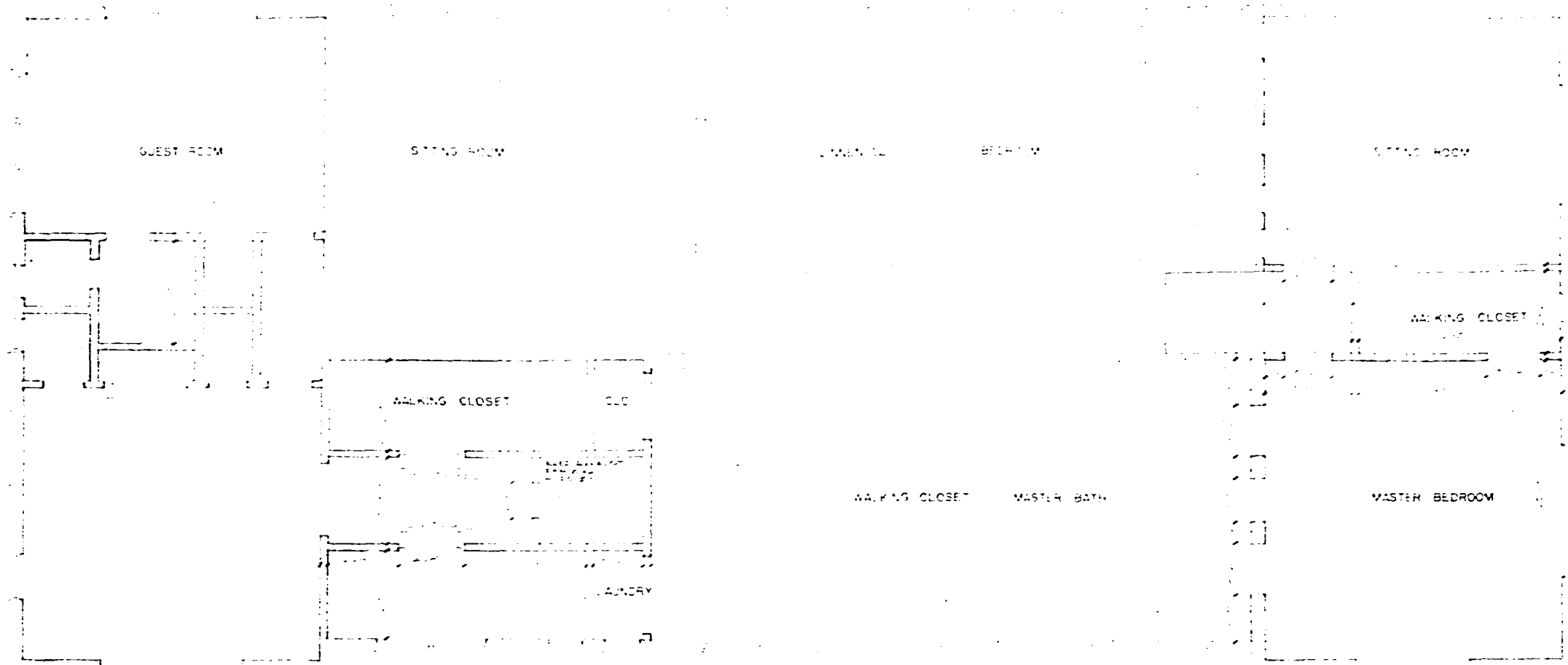
FIRST FLOOR 1/4"=1'-0"

- DEMOLITION NOTES:
1. COMPLY WITH ALL PERTINENT REGULATIONS, GOVERNMENT AGENCIES AND FEDERAL, STATE AND LOCAL ORDINANCES.
 2. GENERAL CONTRACTOR SHALL EXAMINE THE SITE AND BECOME FAMILIAR WITH CONDITIONS AFFECTING THE WORK BEFORE SUBMITTING THE BID.
 3. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS AND PAYING FOR ALL PERMITS FEES.
 4. CONDUCT DEMOLITION OPERATIONS AND REMOVAL OF DEBRIS TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS, OTHER ADJACENT OCCUPIED SPACE OR USED FACILITIES.
 5. ITEMS OF SALVAGEABLE VALUE TO CONTRACTOR MAY BE REMOVED FROM STRUCTURE AS WORK PROGRESSES SALVAGED ITEMS MUST BE STORED AND PROTECTED AS THEY ARE REMOVED. COORDINATED WITH OWNER.
 6. MAINTAIN EXISTING UTILITIES INDICATED TO REMAIN. KEEP IN SERVICE. PROTECT AGAINST DAMAGE DURING DEMOLITION OPERATIONS.
 7. REMOVE FROM SITE DEBRIS, RUBBISH, OTHER MATERIALS RESULTING FROM DEMOLITION OPERATIONS.

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ZONING: *[Signature]*
PLUMBING: *[Signature]*
ELECTRICAL: *[Signature]*
MECHANICAL: *[Signature]*
FIRE PREVENTION: *[Signature]*
ENGINEERING: *[Signature]*

BERGER RENOVATION





SECOND FLOOR

1/4"=1'-0"

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ZONING: *[Signature]*
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MECHANICAL: *[Signature]*
FIRE PROTECTION: *[Signature]*
PLUMBING: *[Signature]*

Portuondo & Perotti Architects
Architects • Interior Design • Planning

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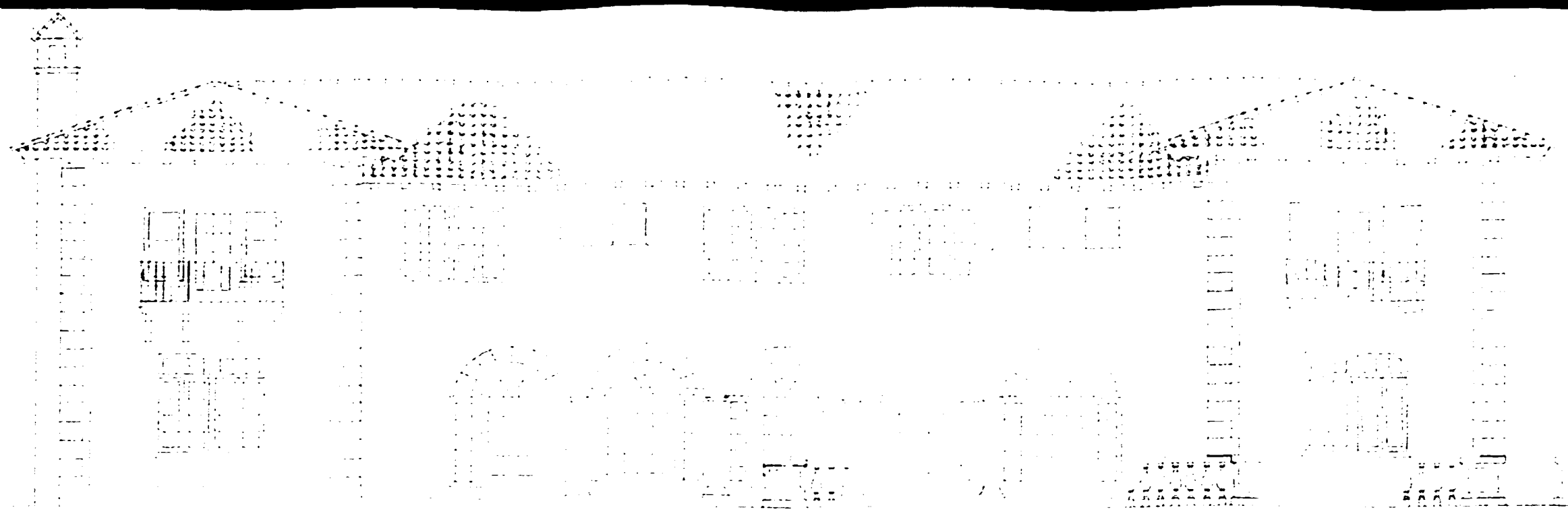
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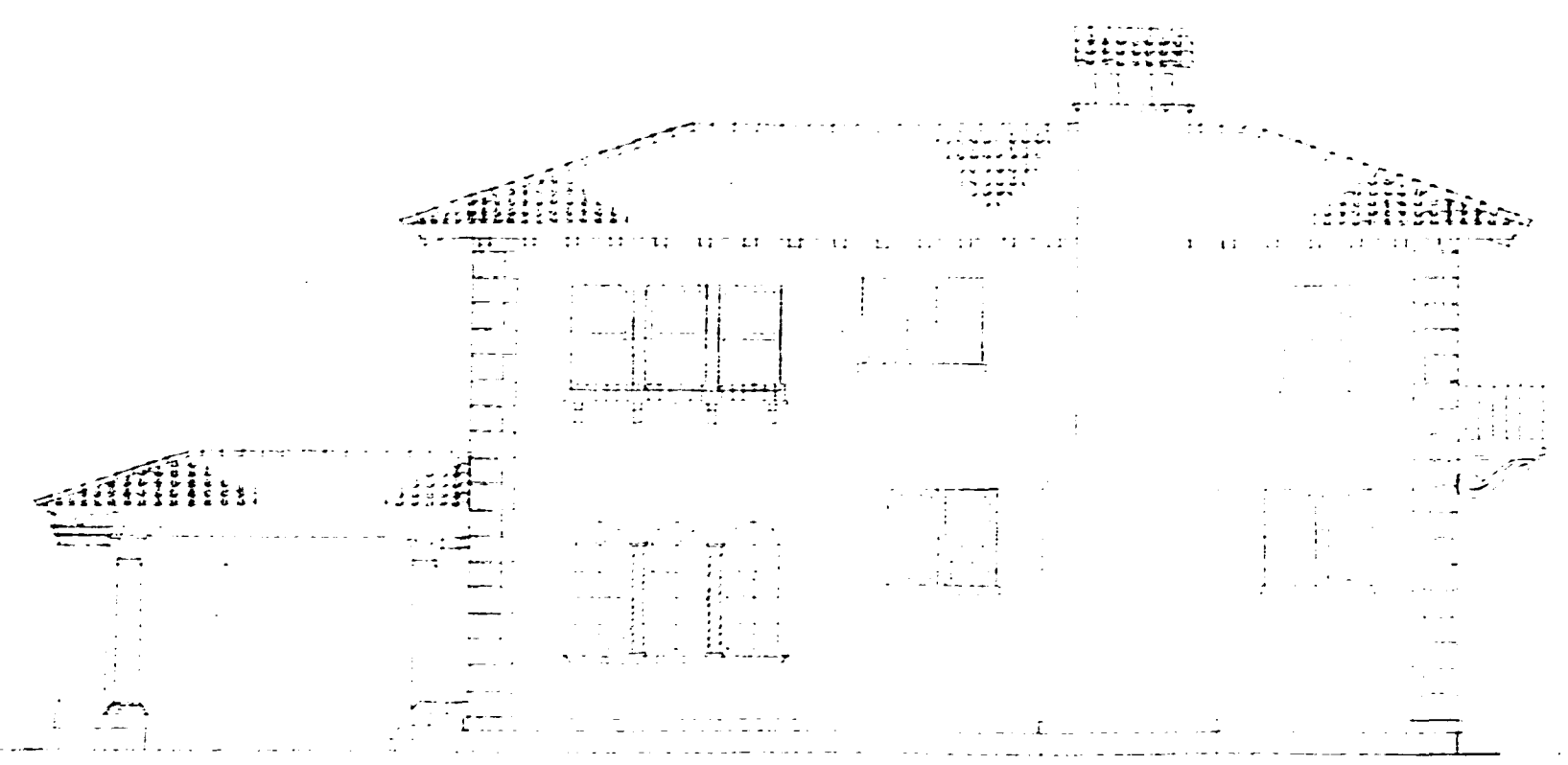
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FRONT ELEVATION

1/4"=1'-0"



LEFT SIDE ELEVATION

1/4"=1'-0"

BERGER RENOVATION

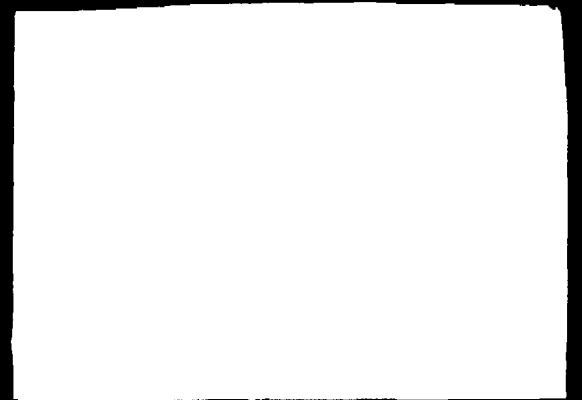
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BUILDING: INT. 4/15/19
ZONING: _____
PLUMBING: _____
ELECTRICAL: _____
MECHANICAL: _____
FIRE PREVENTION: _____
ENGINEERING: John P. C. 19





REAR ELEVATION

1/4"=1'-0"



RIGHT SIDE ELEVATION

1/4"=1'-0"

BERGER RENOVATION

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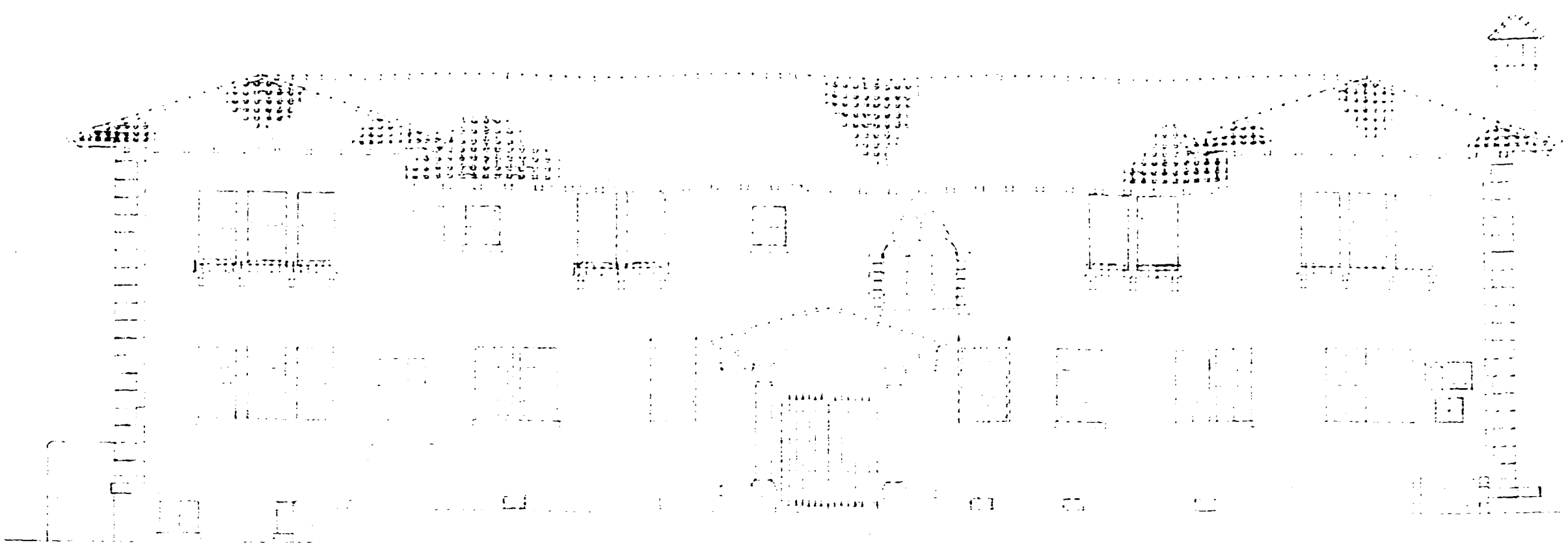
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ELECTRICAL: *[Signature]*
PLUMBING: *[Signature]*
MECHANICAL: *[Signature]*
FIRE PREVENTION: *[Signature]*
ENGINEERING: *[Signature]*

21

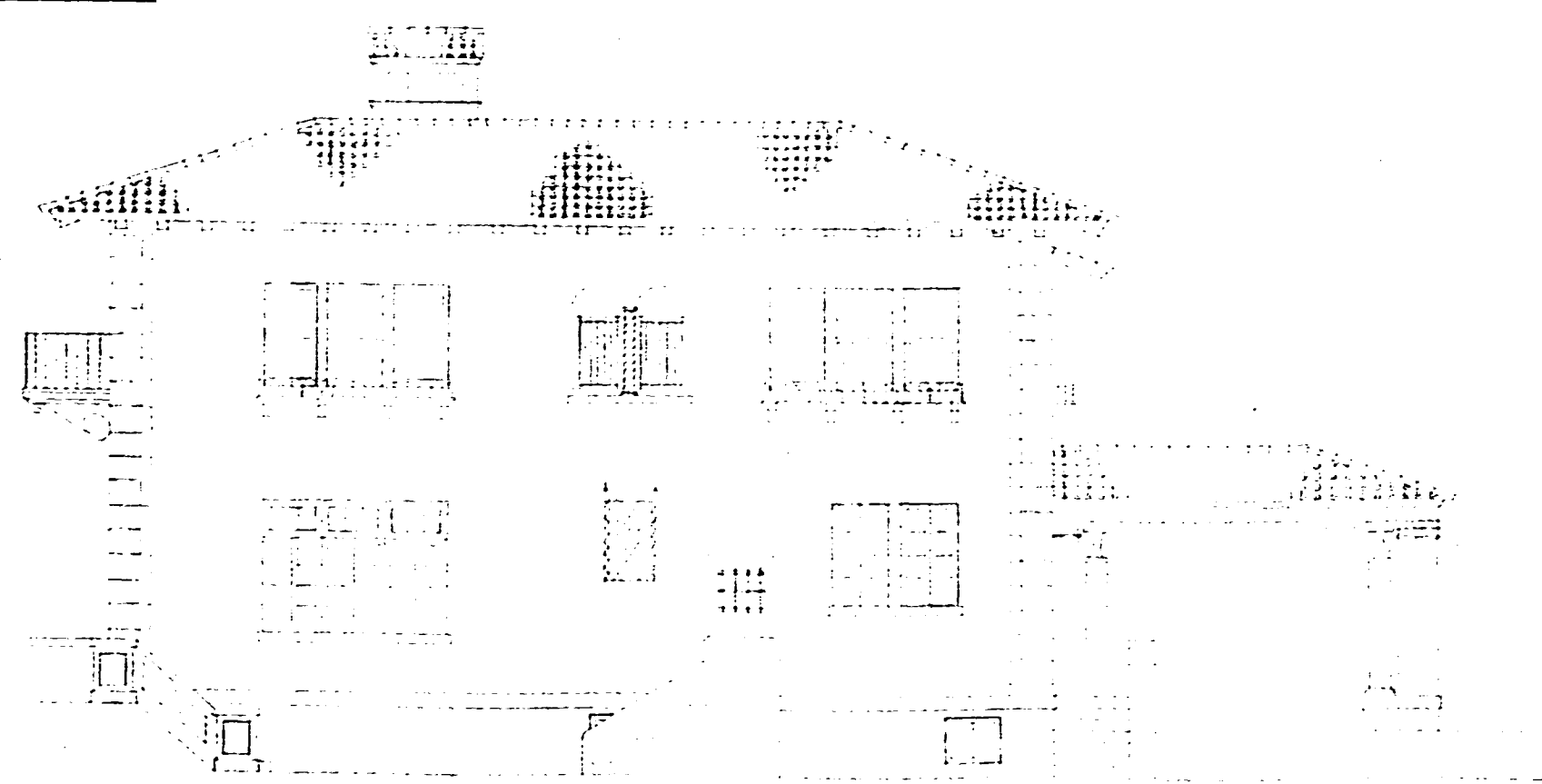
RETAKE
OF
PREVIOUS
DOCUMENT

21



REAR ELEVATION

1/4"=1'-0"



RIGHT SIDE ELEVATION

1/4"=1'-0"

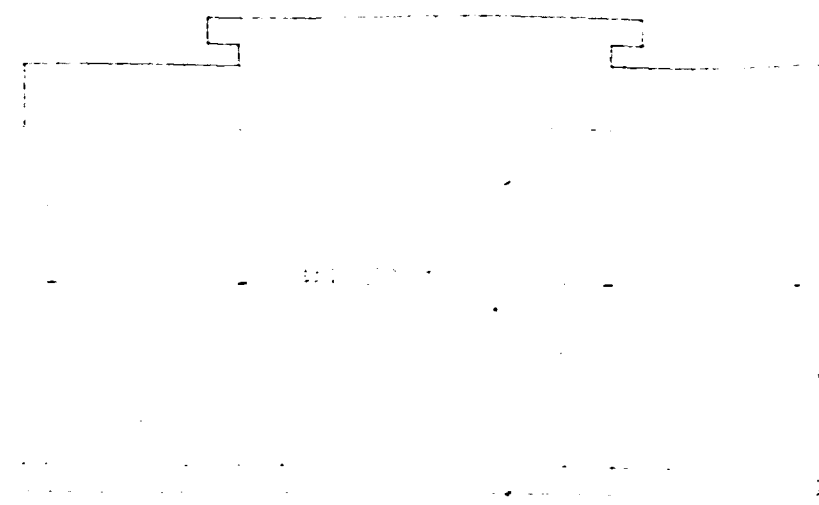
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ZONING: *[Signature]*
PLUMBING: *[Signature]*
ELECTRICAL: *[Signature]*
MECHANICAL: *[Signature]*
FIRE PREVENTION: *[Signature]*
ENGINEERING: *[Signature]*





DEN ELEVATION

1/2"=1'-0"



DEN ELEVATION

1/2"=1'-0"

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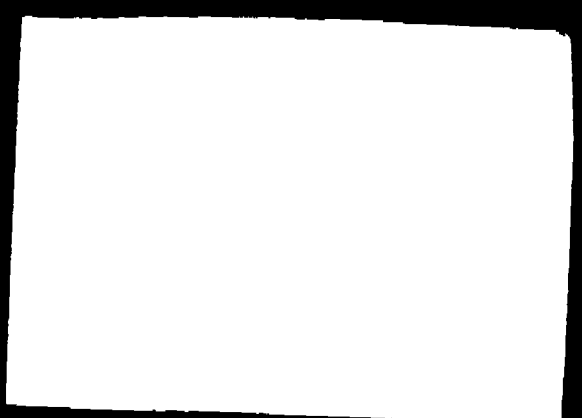
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ZONING: *4/11/14*
PLUMBING: _____
ELECTRICAL: _____
MECHANICAL: _____
FIRE PREVENTION: _____
ENGINEERING: *gwt 4/11/14*

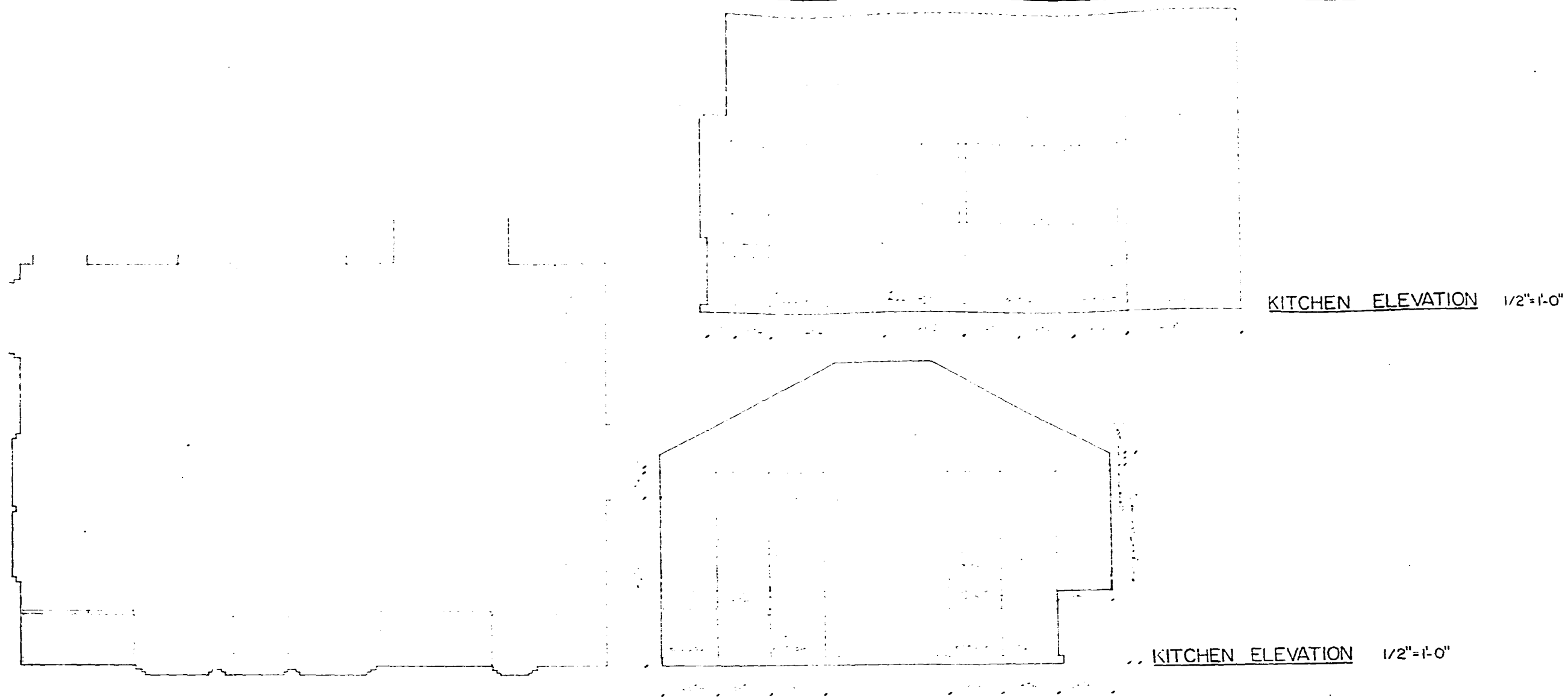
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Architecture • Interior Design • Planning
1100 S.W. 1st Ave., Suite 1000, Miami, FL 33135
(305) 375-1100



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BUILDING *[Signature]*
 ZONING *[Signature]*
 PLUMBING
 ELECTRICAL
 MECHANICAL
 FIRE PREVENTION
 ENGINEERING *[Signature]*

Date

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Sheet 5

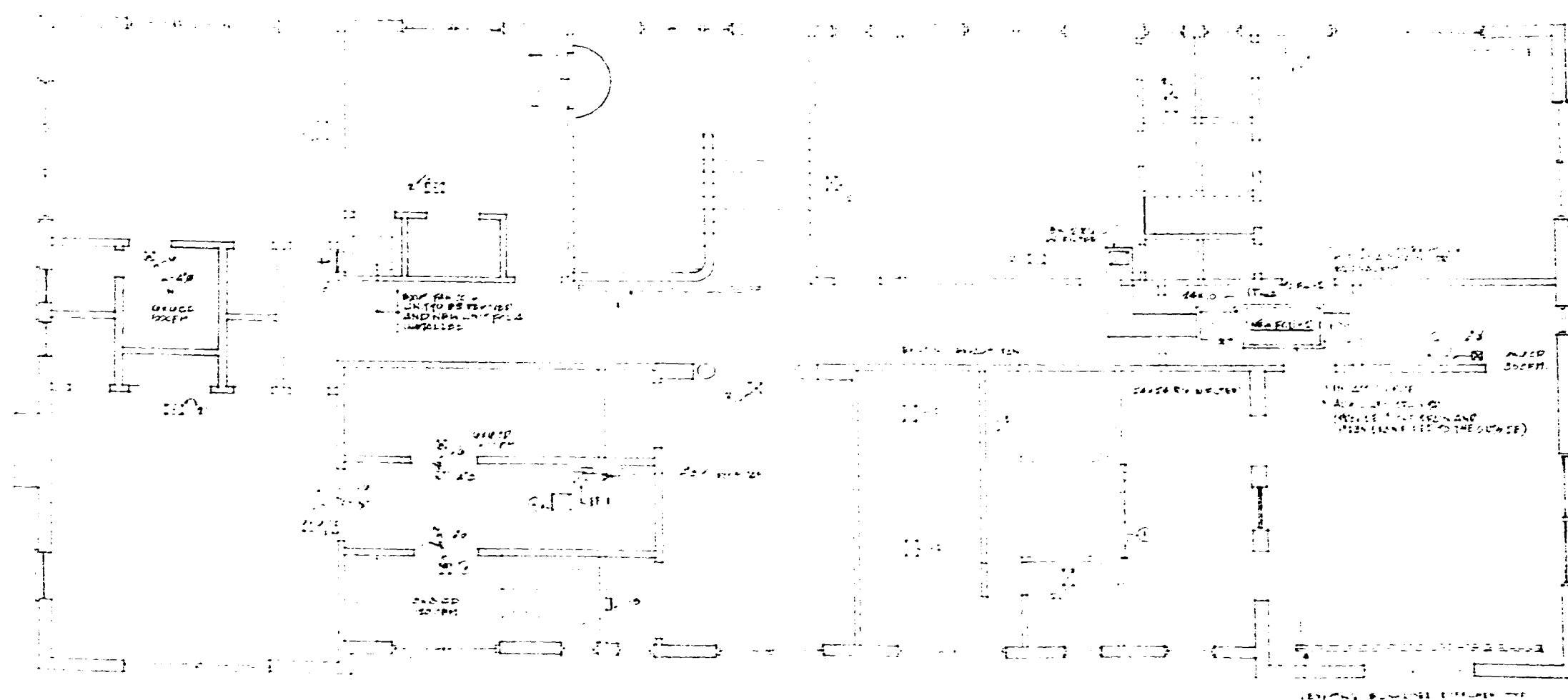
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 Architects + Interior Design + Planning
 1000 Biscayne Blvd., Suite 1000, Miami, FL 33132
 Tel: 305.372.1234 Fax: 305.372.1235
 www.portuondo.com

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BERGER RENOVATION

21



SECOND FLOOR PLAN

SCALE 1/4"=1'-0"

- CONSTRUCTION NOTES
1. EXISTING LINEAR DIFFUSER TO BE REMOVED, WASHED AND REINSTALLED. ADJUST AIR FLOW.
 2. EXISTING CEILING DIFFUSER TO BE REMOVED, WASHED AND REINSTALLED. ADJUST AIR FLOW.
 3. EXISTING RETURN AIR WALL GRILL TO BE REMOVED, WASHED AND REINSTALLED.
 4. EXISTING CEILING DIFFUSER TO BE REMOVED, CAP-OFF SUPPLY DUCT PLUMB.
 5. EXISTING CEILING EXHAUST FAN TO BE REMOVED, CAP-OFF SUPPLY DUCT PLUMB.
 6. NEW FLEXIBLE DUCT TO BE INSTALLED, SUPPLY MAIN.

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BUILDING: 1/15/10
ENGINEER: 1/15/10
PLUMBING: 1/15/10
ELECTRICAL: 1/15/10
MECHANICAL: 1/15/10
FIRE PROTECTION: 1/15/10
LANDSCAPE: 1/15/10

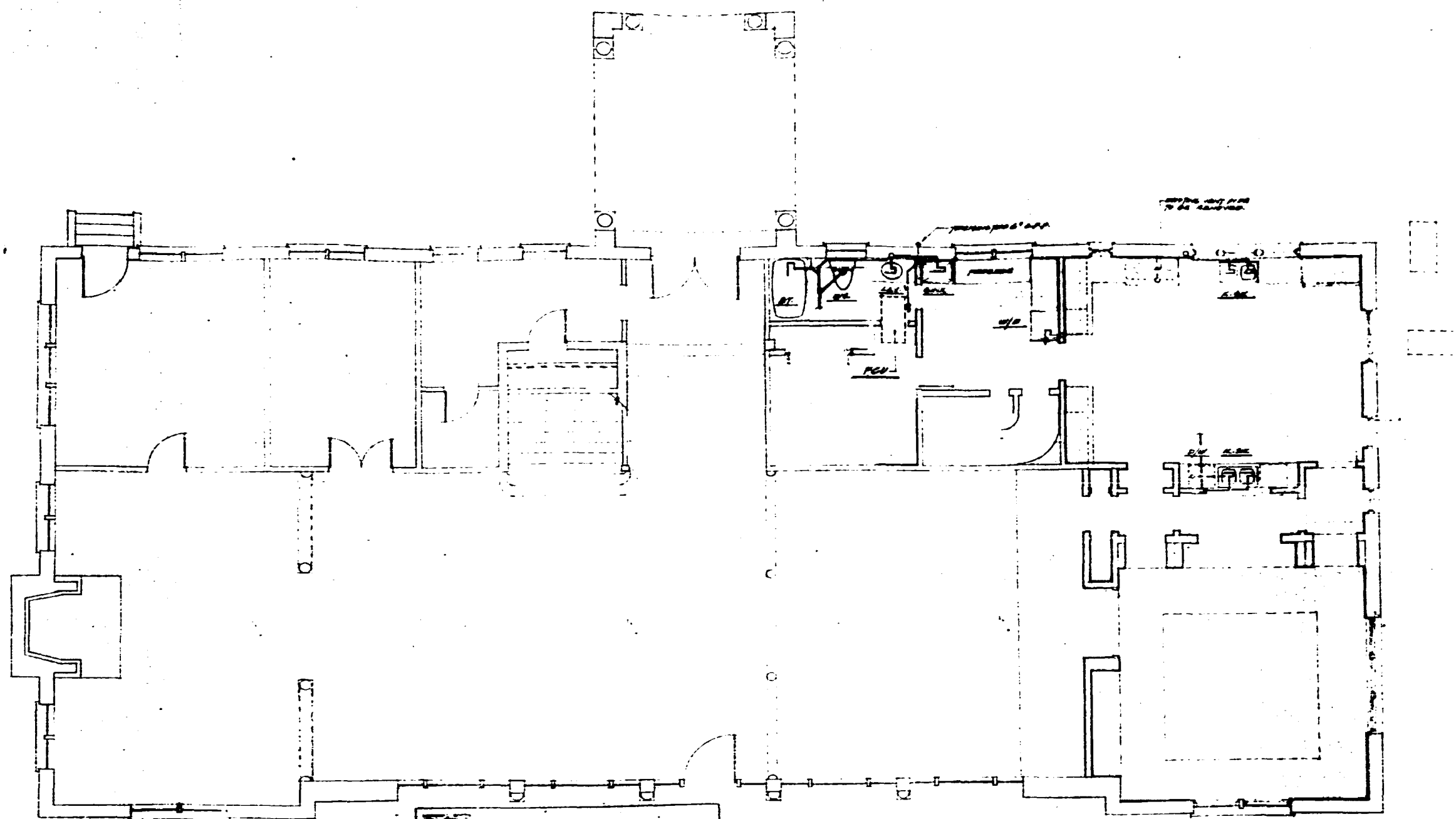
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Reviewed by: 1/15/10

1/15/10

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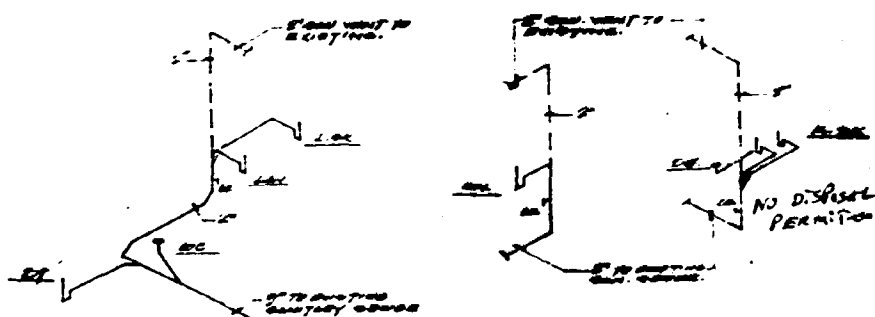
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Checked by: 1/15/10
Revisions: 1/15/10
Comm. no.: 1/15/10
Sheet: 1/15/10
A/C-2





NOTES:

1. EXTENDED EXISTING HOT & COLD WATER TO NEW FLOORING AS REQUIRED. WORK SHALL BE IN PERMITS.



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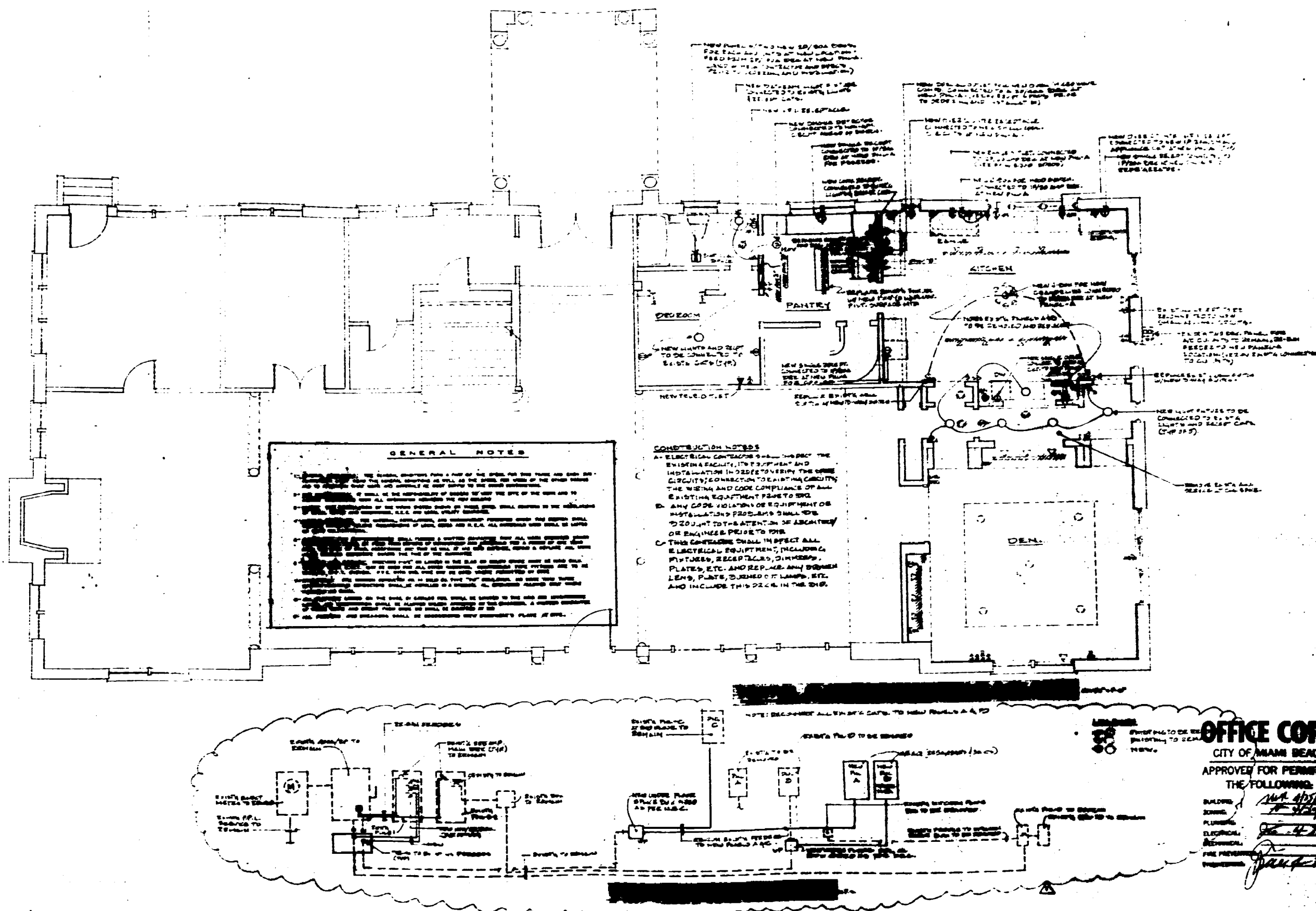
DATE: 1/15/87
BY: [Signature]
TITLE: [Signature]

Permitted - Permit Architects
Architects - Interior Design - Planners
1000 N.W. 10th Ave. Suite 1000, Miami, Florida 33136

[Signature]

Date: 1-15-87
Drawn by: L.A.
Checked by: [Signature]
Revisions:

21



GENERAL NOTES

1. ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL ELECTRICAL CODE (NEC) AND THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) 70B. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE NECESSARY PERMITS FROM THE CITY OF MIAMI BEACH.

2. ALL ELECTRICAL WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY OF MIAMI BEACH ELECTRICAL CODE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE NECESSARY PERMITS FROM THE CITY OF MIAMI BEACH.

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C. ALL ELECTRICAL WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY OF MIAMI BEACH ELECTRICAL CODE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE NECESSARY PERMITS FROM THE CITY OF MIAMI BEACH.

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DATE: 10/10/10

BY: [Signature]

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Architects - Interior Design - Planning

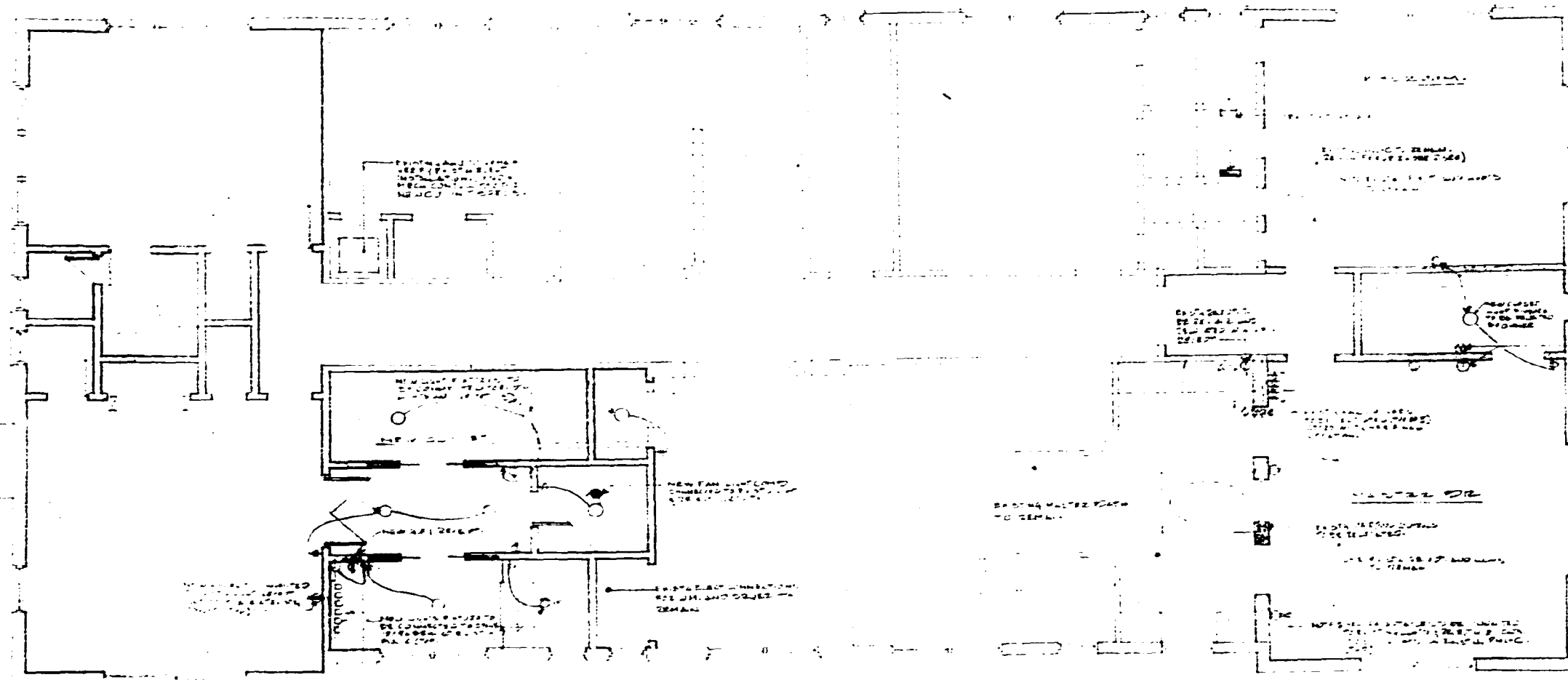
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SECOND FLOOR

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 BUILDING *[Signature]*
 PLUMBING *[Signature]*
 ELECTRICAL *[Signature]*
 MECHANICAL *[Signature]*
 FIRE PROTECTION *[Signature]*
 INSPECTION *[Signature]*



Postumido - Perotti Architects
 Architecture - Interior Design - Planning
 1000 S.W. 1st Ave. Suite 1100 Miami, Florida 33130

BERGER ADDITION

Date: 5-24-89
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 Checked by: M.P.
 Revisions:
 Comm. no.:
 Sheet: E-2
 of:



B8900266

21

23

PERMIT #

B89 00337

ADDRESS

JBA

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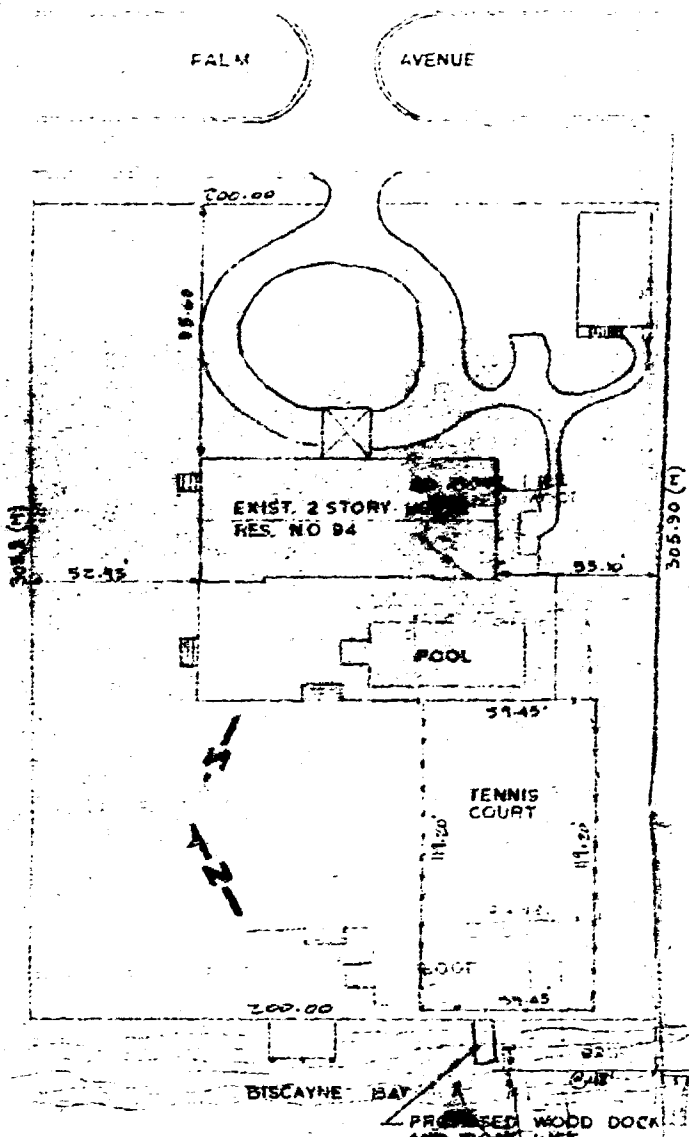
GENERAL NOTES

1. ALL ELEVATION SHOWN ON PLANS ARE REFERRED TO NATIONAL MEAN SEA LEVEL (M.S.L.) OF 1985. M.S.L. 228' ELEVATION 0.00.
2. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO LOCATE AND PROTECT ALL EXISTING UTILITIES AND STRUCTURES ADJACENT TO THE CONSTRUCTION.
3. THE CONTRACTOR SHALL NOT BE A SOURCE OF ANY NOISE OR VIBRATION THAT MAY BE A HARMFUL INTERFERENCE TO THE ADJACENT PROPERTY. THE CONTRACTOR SHALL MAINTAIN A SILENT WATCH FROM 7:00 A.M. TO 7:00 P.M. ON ALL DAYS.
4. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
5. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
6. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
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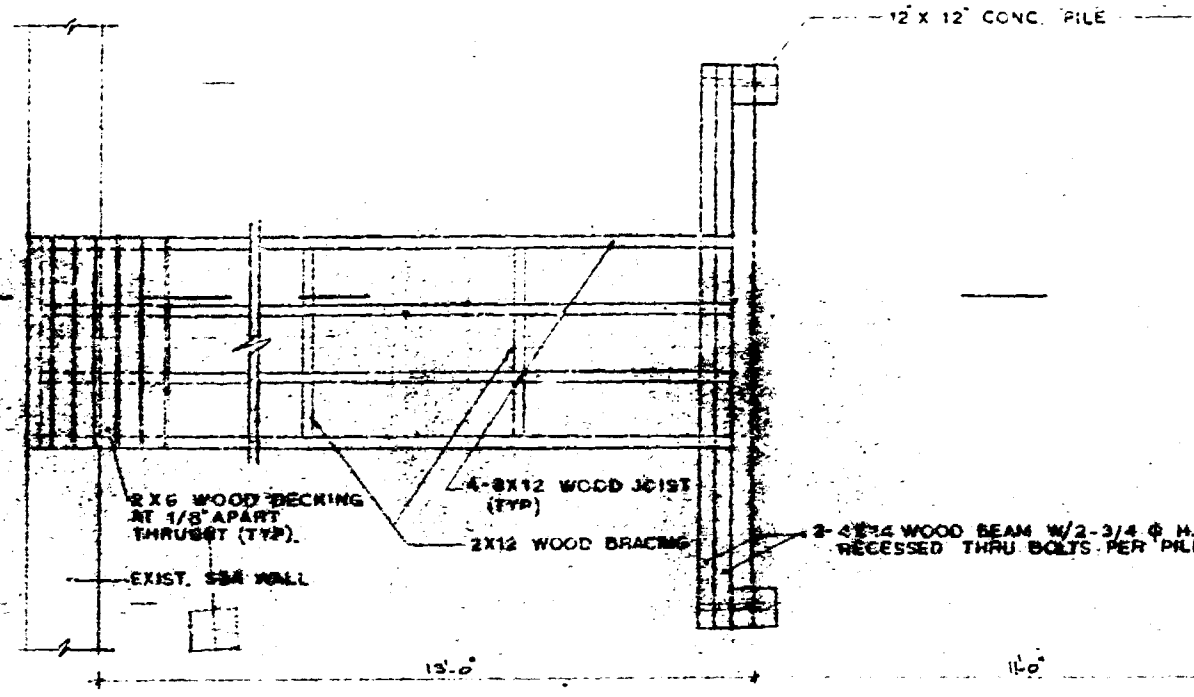
STRUCTURAL NOTES

1. THE CONTRACTOR'S PROVISIONS AND METHODS OF CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE PLANS AND SPECIFICATIONS.
2. DESIGN LOAD SHALL BE TOTAL DEAD LOAD PLUS 100 PSF LIVE LOAD.
3. CONTRACTOR SHALL FURNISH AND INSTALL PRESTRESSED CONCRETE PILES 12" X 12" WITH 10# BARS AND 10# BARS WITH 10# BARS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE PILES.
4. PRESTRESSED PILES ARE TO BE PROVIDED ACCORDING TO SECTION 10.1.1.1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE PILES.
5. CONTRACT PILES SHALL BE PROVIDED TO MEET A DESIGN CAPACITY OF 17 TONS. PILES SHALL BE CONCRETE, 100% COMPACTED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE PILES.
6. EACH PRESTRESSED CONCRETE PILE SHALL BE STAINED WITH RED DATE OF MANUFACTURE AND THE DATE OF CASTING. ALL JOINTS SHALL BE STAINED TO THE SUFFICIENT FOR REVIEW BEFORE CONSTRUCTION.
7. CONCRETE TO BE CLASS IV AS PER DOT SPECIFICATIONS 305-2.3A TO THE MINIMUM STRENGTH AT 28 DAYS OF 5,000 PSI (PILES), 4,000 PSI (PILE CAPS).

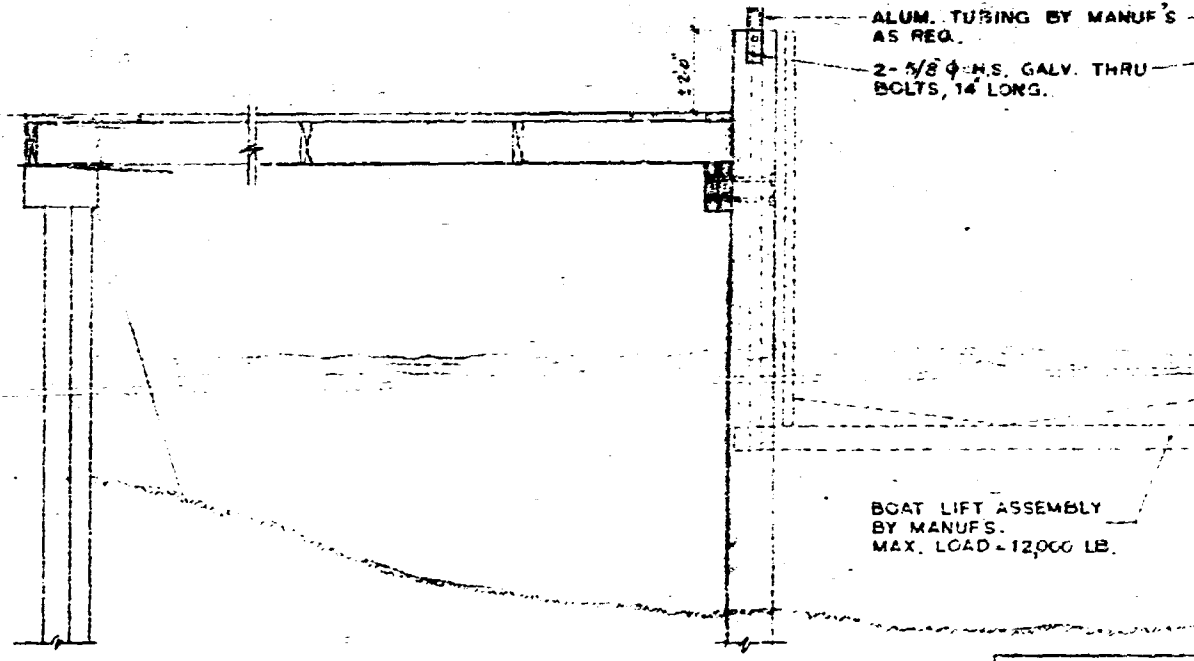
NOTE: Contractor shall Submit Signed & Sealed Shop Drawing for the Proposed Boat Lift to the City of Miami Beach Building Dept. for Approval prior to installation. *Eff. 6/29/89*



SITE PLAN
SCALE: 1/2" = 1'-0"



WOOD DOCK & CONCRETE PILE PLAN
SCALE: 1/2" = 1'-0"



SECTION A-A
SCALE: 1/2" = 1'-0"

OFFICE COPY
CITY OF MIAMI BEACH
APPROVED FOR PERMIT BY THE FOLLOWING:
ENGINEER: *[Signature]*
DATE: *6/29/89*

DR. & MRS. BERGER RESIDENCE
WOOD DOCK AND BOAT LIFT
S-1

23

B8900337

23

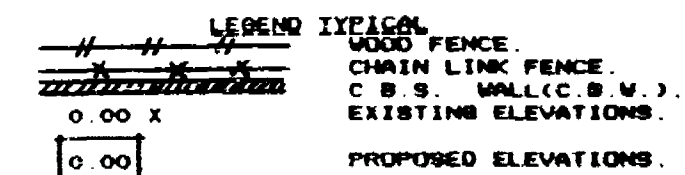
PERMIT NUMBER

B9300400

ADDRESS

3

Scale 1" = 4'



SURVEYOR'S NOTES: 1. IF SHOWN, BEARINGS ARE
 REFERRED TO AN ASSUMED MERIDIAN, BY SAID
 PLAT IN THE DESCRIPTION OF THE
 PROPERTY IF NOT,
 THEN BEARINGS ARE REFERRED TO DADE COUNTY
 MAGNETIC MAPS.
 2. IF SHOWN, ELEVATIONS ARE REFERRED TO
 N.S.V.U.C. 1928.
 3. THIS "SKETCH OF SURVEY" REPRESENTS A
 LAND SURVEY, ALSO REFERRED
 AS A BOUNDARY SURVEY.
 4. THE CLOSURE IN THE BOUNDARY SURVEY IS
 ABOVE 1/4000 FEET.
 I HEREBY CERTIFY THAT THIS "SKETCH OF
 SURVEY" OF THE PROPERTY DESCRIBED
 HEREON, AS RECENTLY SURVEYED AND DRAWN
 UNDER MY SUPERVISION, COMES WITHIN THE
 MINIMUM TECHNICAL STANDARDS ADOPTED BY
 THE FLORIDA STATE BOARD OF PROFESSIONAL
 LAND SURVEYORS PURSUANT TO SECTION
 472 OF THE FLORIDA STATUTES AND ALSO
 CHAPTER 21 HH-5 OF THE FLORIDA
 ADMINISTRATIVE CODE.

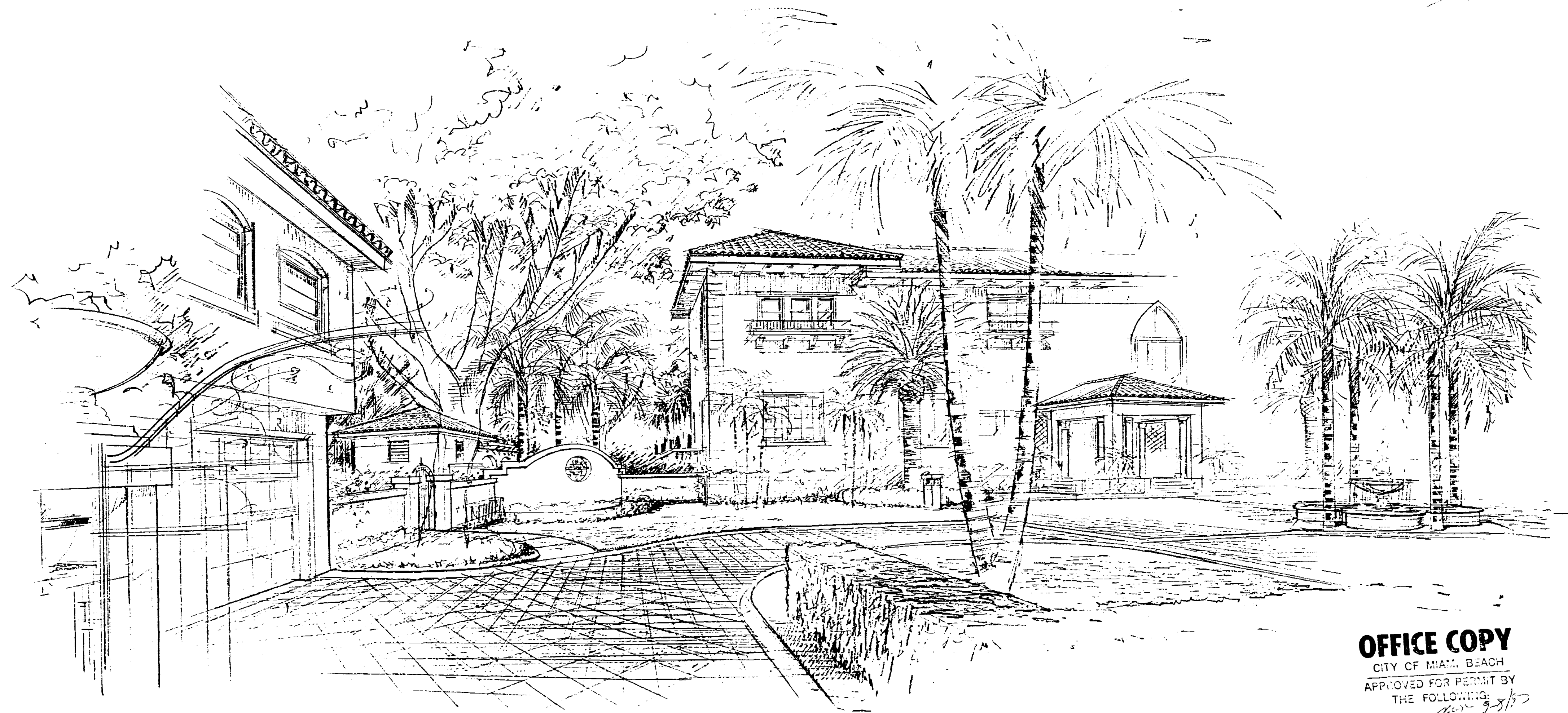
BY: George Ibarra 6/25/93
 GEORGE IBARRA (DATE OF FIELD WORK).
 PROFESSIONAL LAND SURVEYOR NO. 2834
 STATE OF FLORIDA. VALID COPIES OF THIS
 SURVEY WILL BEAR THE EMBOSSED SEAL OF THE
 ATTESTING LAND SURVEYOR.
DCBM N2 KYLE
ELEV. 1.38 FEET

CERTIFIED TO:
YBRAHIM ELIAS HANNA ABEODU.

[illegible]

SURVEY OF LOTS 36 AND 37 BLOCK 1
SUBDIVISION PALM BEACH
ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK NO. 2
AT PAGE NO. 111 OF THE PUBLIC RECORDS OF DADE COUNTY, FLORIDA.
DATE: JUNE 28 1915 FOR: THE PALM BEACH TRUST
PROPERTY ADDRESS: 34 1/2 N. W. 1/4 Sec. 37 T. 25 N. R. 25 E. S. 37

[illegible]



OFFICE COPY

CITY OF MIAMI BEACH
APPROVED FOR PERMIT BY
THE FOLLOWING:

DATE: 8-8-93
APPROVED: [Signature]
FOR: [Signature]
ENGINEER: [Signature]

APPROVED SUBJECT TO
ENGINEERING CRITIQUE

[Signature] 8-7-93

MARTINEZ • POSE
A R C H I T E C T S
4131 LAGUNA • CORAL GABLES • FL • 33146 • (305) 446-1166

Addition and Remodeling for:
RESIDENCE of MR. ELIAS ABOUD

REVISIONS

JOB 002121

DATE 7/98

A-A
1

3

DEMOLITION NOTES

SCOPE : COMPLETE ALL DEMOLITION WORK AS SHOWN ON THE DRAWINGS AND AS SPECIFIED HEREIN.
CONDITIONS AT SITE : VISIT THE SITE AND EXAMINE THE EXISTING STRUCTURE, NOT ALL CONDITIONS AS TO CHARACTER AND EXTENT OF WORK INVOLVED.

PERMITS, ORDINANCES, ETC. : PROPOSE AND PAY FOR ALL NECESSARY PERMITS OR CERTIFICATES REQUIRED TO COMPLETE THE WORK SPECIFIED. MAKE ANY AND ALL REQUIRED NOTIFICATIONS AND COMPLY WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL ORDINANCES.

PROTECTIONS:

- A. EXECUTE ALL DEMOLITION WORK IN AN ORDERLY AND CAREFUL MANNER WITH DUE CONSIDERATION FOR ANY EXISTING STRUCTURES, INCLUDING ANY PARTS OF THE SURROUNDING AREAS WHICH ARE TO REMAIN. BARRICADE AND COVER AS NECESSARY TO PROTECT PEDESTRIANS, WORKMEN AND ADJACENT PROPERTIES. PERIODICALLY SPRINKLE TO ALLAY DUST. PROTECT ANY EXISTING ACTIVE SERVICE LINES, INDICATED OR NOT.
- B. AVOID ANY ENCROACHMENT ON ADJACENT PROPERTIES. REPAIR AND MAKE GOOD ANY DAMAGE TO ADJOINING PROPERTIES OR IMPROVEMENTS CAUSED BY OPERATIONS, INCLUDING ANY DAMAGE OR LOSS TO ADJOINING TENANTS OR PROPERTY OWNERS, WHETHER TO BUILDINGS, STOCKS OF MERCHANDISE, TRADE FIXTURES OR THE LIKE.

EXECUTION:

- A. KEEP ALL THROUGH LANES AND DRIVES CLEAN AND CLEAR AT ALL TIMES.
- B. CONDUCT OPERATIONS SO AS NOT TO INTERFERE WITH ADJACENT ROADS, STREETS, DRIVES, WALKS, SERVICE LINES AND THE LIKE.
- C. DISCONNECT ANY ELECTRIC, TELEPHONE, GAS, WATER, STEAM OR OTHER LINES SERVING THE STRUCTURE PER RULES AND REGULATIONS OF AUTHORITIES HAVING JURISDICTION, AS SPECIFIED, OR AS DIRECTED BY THE ARCHITECT.
- D. BACKFILL ANY TRENCHES CAUSED BY DEMOLITION WORK.

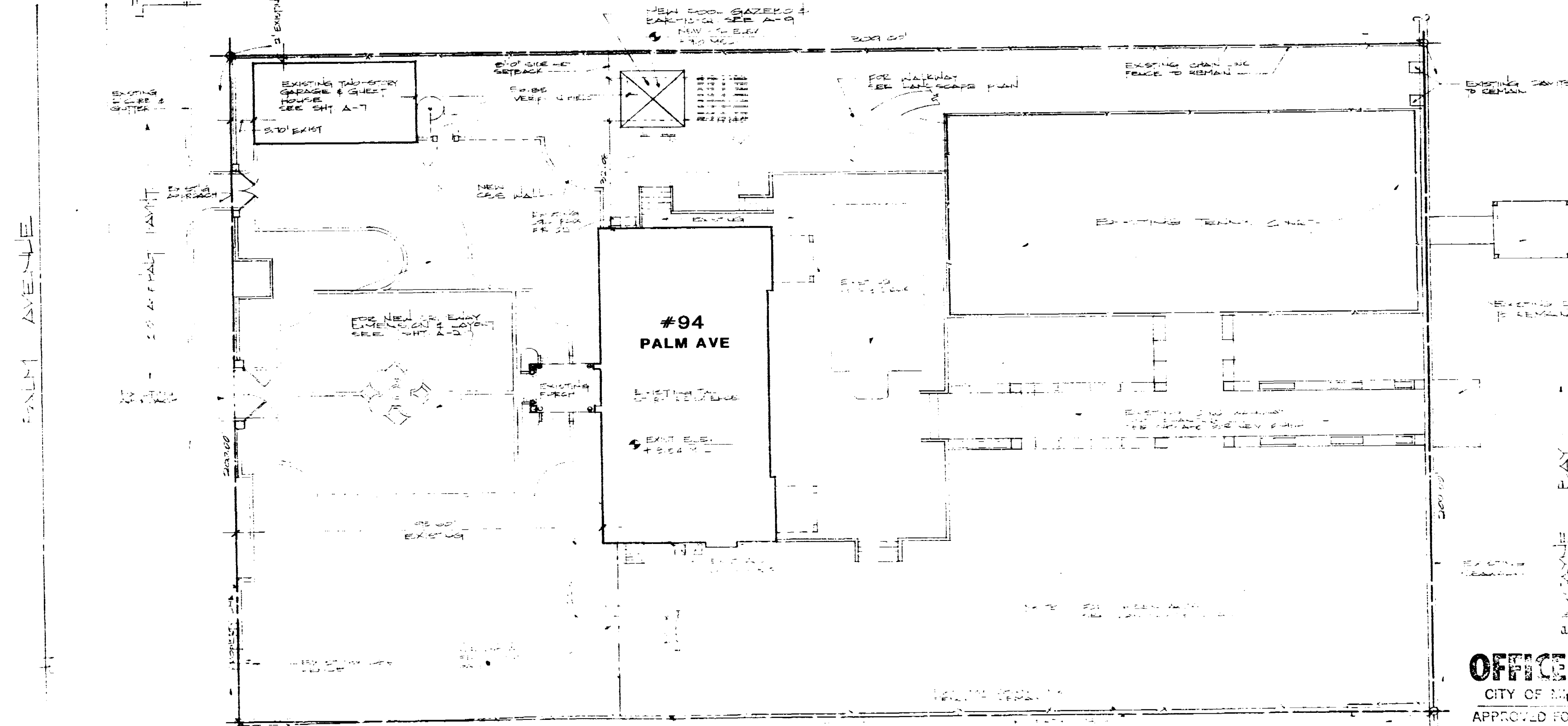
DISPOSITION OF REMOVED MATERIAL : ALL MATERIAL REMOVED UNDER THIS CONTRACT, WHICH IS NOT TO BE SALVAGED OR REUSED, SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND BE PROMPTLY REMOVED FROM THE SITE. AT ALL TIMES USE MOVABLE DEBRIS BOXES, COVERED, TO CONVEY THE MATERIAL THROUGH THE BUILDING. DO NOT STORE OR PERMIT DEBRIS TO ACCUMULATE ON THE SITE.

CLEAN-UP : ON COMPLETION OF DEMOLITION WORK, LEAVE THE PROPERTY AND ADJACENT AREAS CLEAN AND SATISFACTORY TO LOCAL AUTHORITIES AND THE ARCHITECT.

SALVAGE MATERIALS : CERTAIN MATERIAL SHALL BE CAREFULLY REMOVED, PROTECTED AND TURNED OVER TO OWNER OR REUSED AS SHOWN ON DRAWINGS. CONSULT OWNER ABOUT MATERIALS TO BE SALVAGED. EXTREME CARE SHALL BE EXERCISED TO PREVENT CHIPPING, BREAKAGE, BENDING AND MISHANDLING OF ALL MATERIALS.

GENERAL NOTES:

1. CONTRACTOR SUBMITTING PROPOSALS SHALL FIRST EXAMINE THE SITE (PREMISES) AND GET FAMILIAR WITH ALL CONDITIONS THERE-IN AND THERE-ON.
2. IF ANY ERRORS OR OMISSIONS APPEAR ON THE DRAWINGS OR OTHER DOCUMENTS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IN WRITING OF SUCH OMISSIONS OR ERRORS PRIOR TO PROCEEDING WITH ANY WORK THAT APPEARS IN QUESTION.
3. THE CONTRACTOR SHALL HAVE ALL ITEMS OR DETAILS CLARIFIED WITH ARCHITECT PRIOR TO SUBMITTING A BID.
4. FIGURED DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.
5. ALL WORK SHALL BE PERFORMED IN A WORKMAN-LIKE MANNER ACCORDING TO STANDARD PRACTICES.
6. ALL WORK SHALL BE ACCORDING TO THE S.F.B.C. REQUIREMENTS.
7. ALL REQUIREMENTS OF LOCAL AND STATE ORDINANCES, REGULATIONS AND CODES PERTAINING TO BLDG. AND PRESERVATION OF PUBLIC HEALTH AND SAFETY SHALL BE OBSERVED BY ALL CONTRACTORS.



LEGAL DESCRIPTION:

Lots 36 and 37, in Block 1, of PALM ISLAND, according to the Plat thereof, recorded in Plat Book 6, at page 54, of the Public Records of Dade County Florida.

OFFICE COPY

CITY OF MIAMI BEACH

APPROVED FOR PERMIT BY

THE FOLLOWING:

DATE: 7-7-94
BY: [Signature]
TITLE: [Signature]

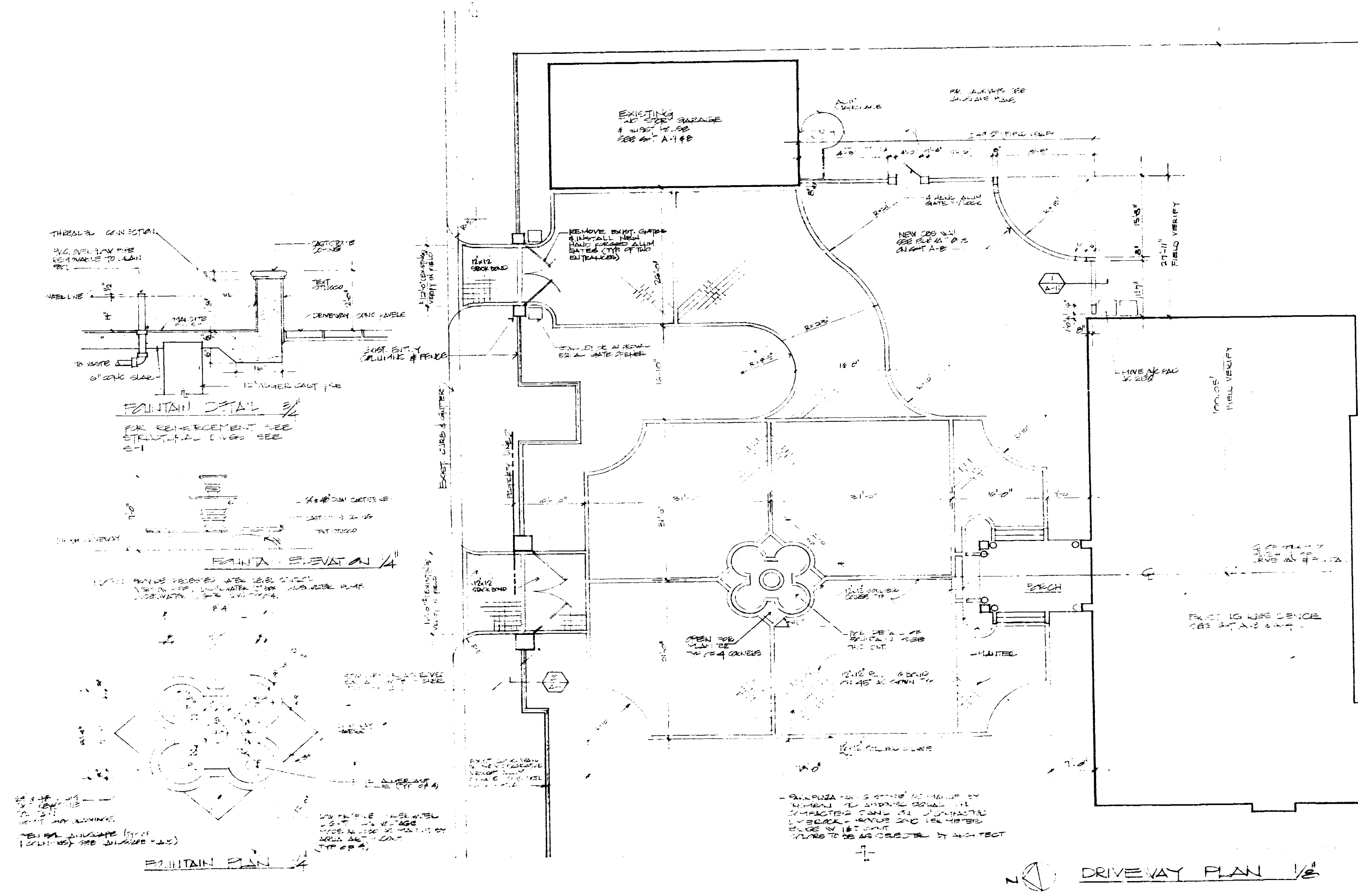
MARTINEZ o POSE
ARCHITECTS
4131 LAGUNA - CORAL GABLES - FL 33146 - (305) 446-1166

Addition and Remodeling for:
RESIDENCE of MR. ELIAS ABOUD

REVISIONS	
NO.	DESCRIPTION
1	7-7-94
2	8-7-94

A-1
2

3

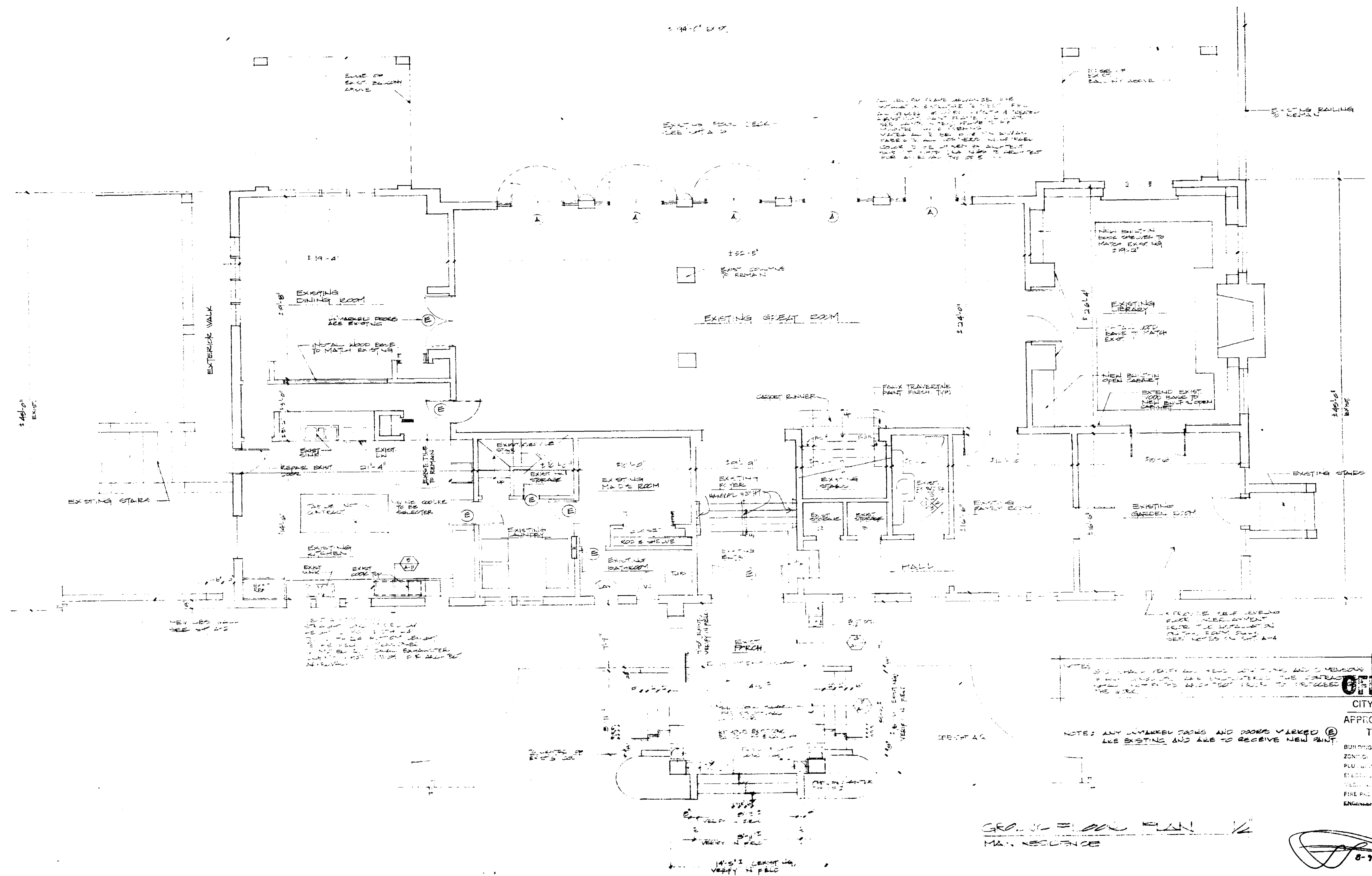


OFFICE COPY
CITY OF MIAMI BEACH
APPROVED FOR PERMIT BY
THE FOLLOWING:
444 G 2107

BUILDING: _____
 ZONE: _____
 FLOOR: _____
 EGRESS: _____
 MECHANICAL: _____
 FIRE PROTECTION: _____
 ENGINEERING: _____

Addition and Remodeling for: RESIDENCE of MR. ELIAS ABOUD		MARTINEZ • POSE A R C H I T E C T S 4131 LAGUNA • CORAL GABLES • FL. 33146 • (305) 446-1166
REVISIONS		
JOB	03212	
DATE	7/83	
A-2 3		

3



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ARCHITECTS
4131 LAGUNA • CORAL GABLES, FL 33146 • (305) 446-1166

Addition and Remodeling for:
RESIDENCE OF MR. ELIAS ABOUD

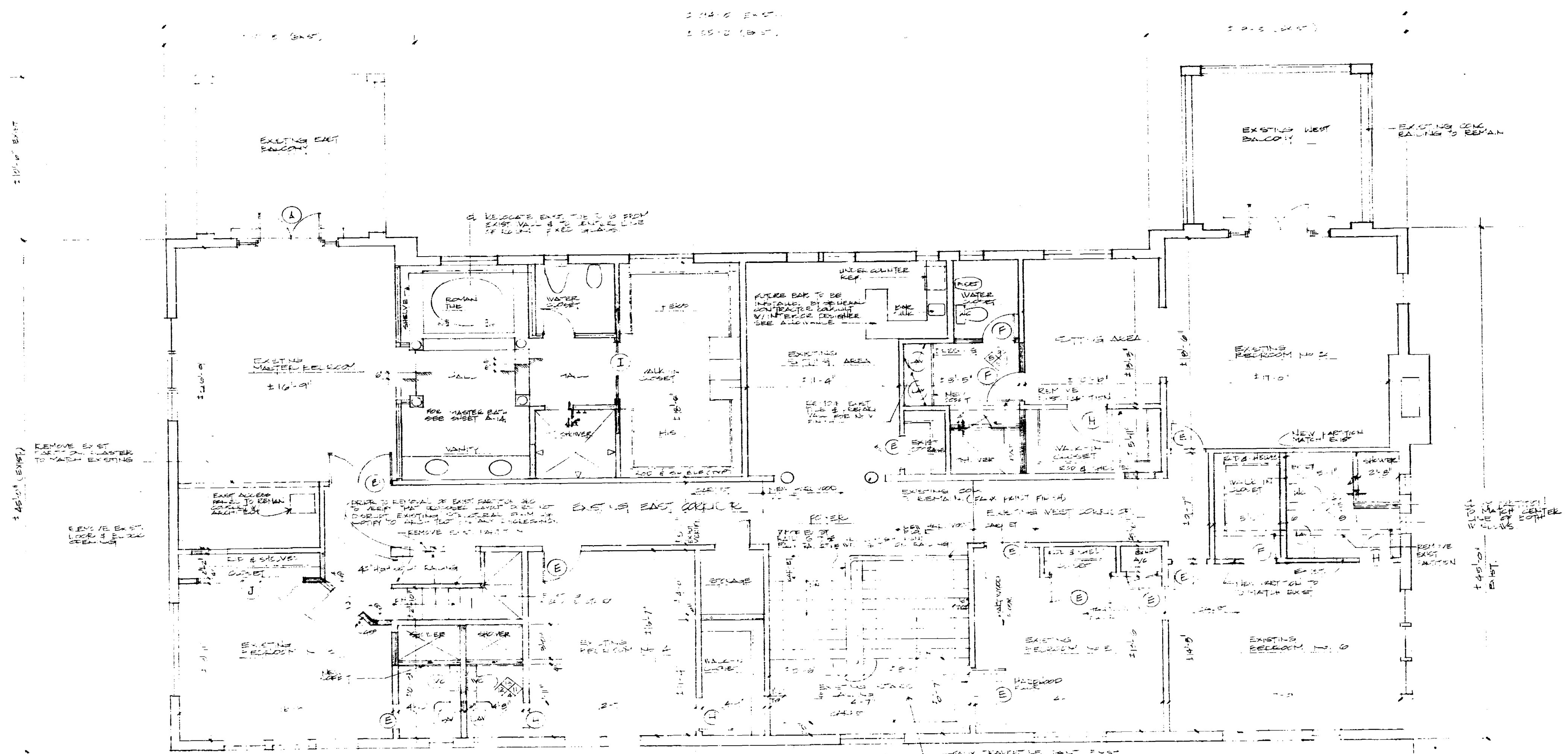


CITY OF MIAMI BEACH

APPROVED FOR REVISIONS BY THE FOLLOWING:

BUILDING	DATE
ZONING	DATE
PLUMBING	DATE
ELECTRICAL	DATE
Mechanical	DATE
FIRE PROTECTION	DATE
ENGINEERING	DATE

A-3
4



NOTE:

- G.C. TO REMOVE EXISTING WOOD BASE ON SECOND FLOOR PRIOR TO INSTALLATION OF SELF LEVELING FLOOR UNDERLAYMENT.
- RE-USE WOOD BASE IF SALVAGEABLE. ALL NEW BASE TO MATCH EXISTING.
- SELF LEVELING FLOOR UNDERLAYMENT TO BE AS MANUF. BY GYP-CRETE AND INSTALLED BY GYP-CRETE DEALER AS PER MANUF. INSTRUCTION. AT THE SECOND FLOOR ONLY.
- GYP-CRETE INSTALLER TO VERIFY ON FIELD THAT EXISTING SUBFLOOR DOES COMPLY W/ MAX-SPAN/JOIST CRITERIA AS REQUIRED BY THE MANUFACTURER. NOTIFY ARCHITECT IF ANY DISCREPANCIES ARE FOUND.

SECOND FLOOR PLAN
VANITY, SINK, STOVE

OFFICE COPY

CITY OF MIAMI BEACH

APPROVED FOR PERMIT BY THE FOLLOWING:

DATE 9-8-97
BY [Signature]

REVISIONS

JOB 93212

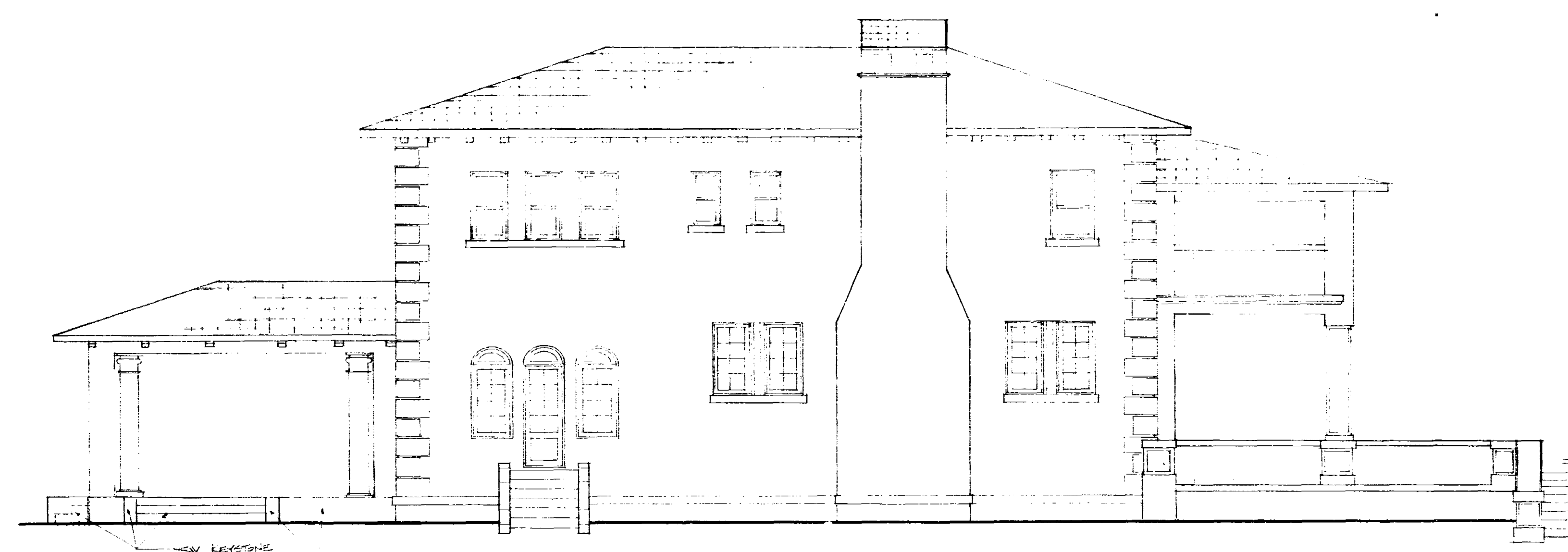
DATE 7/93

A-4

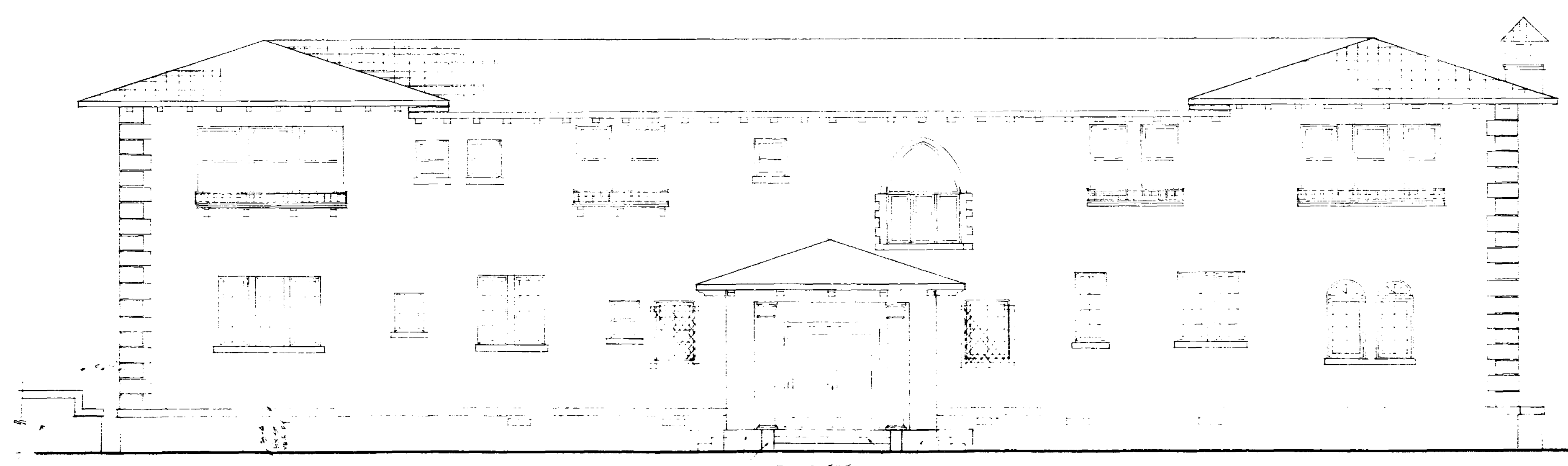
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MARTINEZ • POSE
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Addition and Remodeling for:
RESIDENCE of MR. ELIAS ABOUD



RIGHT SIDE ELEVATION 1/4
WEST



FRONT ELEVATION 1/4
NORTH

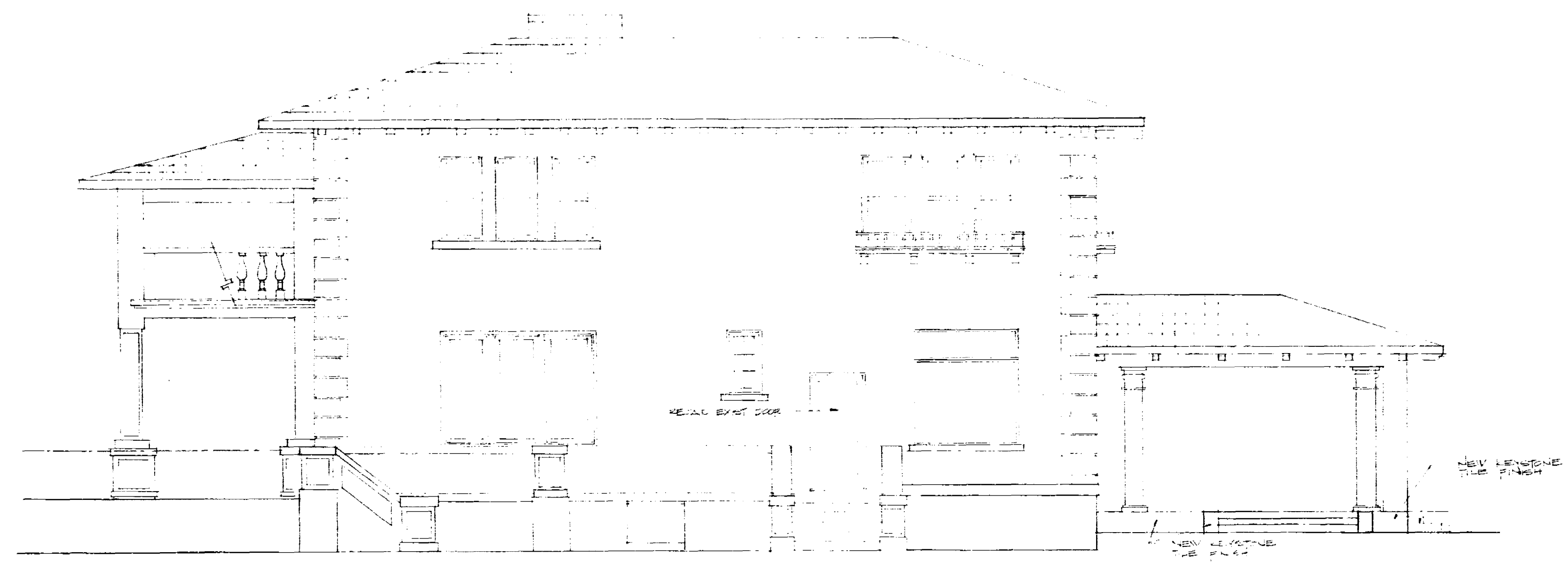
OFFICE COPY
CITY OF MIAMI BEACH
APPROVED FOR PERMIT BY
THE FOLLOWING:
EXPIRED: *8-30/17*
JULY 17, 2017
FLOOR PLAN
ELEVATIONS
SECTION

NOTES:
ELEVATIONS AND FOUND ARE EXISTING EXCEPT AS NOTED
ALL DIMENSIONS TO BE HATCHED ARE HATCH NOTED

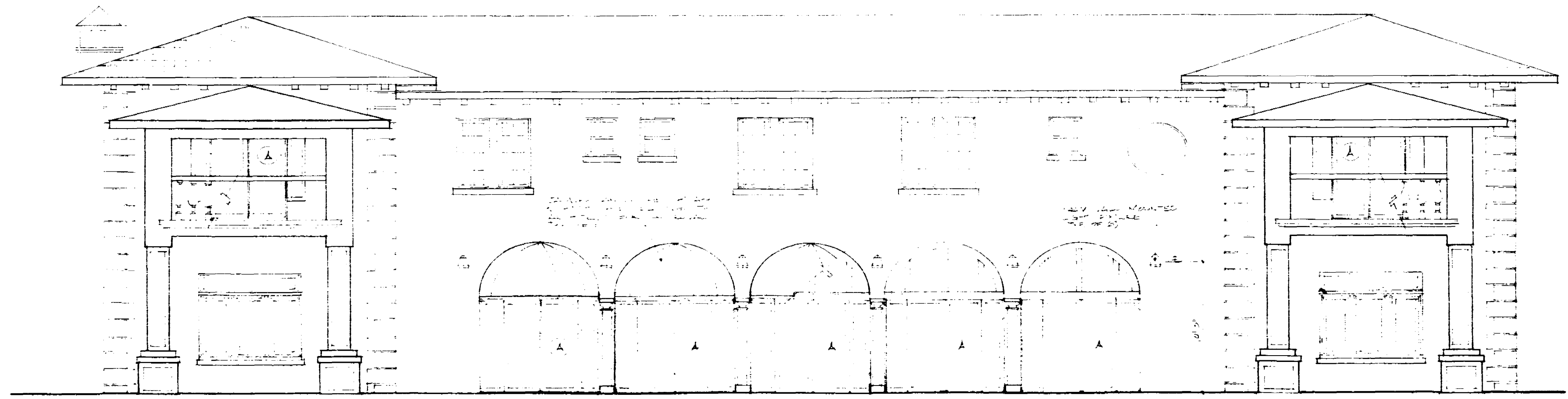
MARTINEZ • POSE
ARCHITECTS
4131 LAGUNA • CORAL GABLES • FL • 33146 • (305) 446-1166

Addition and Remodeling for:
RESIDENCE of MR. ELIAS ABOUD

REVISIONS	
JOB	03212
DATE	7/03
A-5	6



LEFT SIDE ELEVATION 1/4
EAST

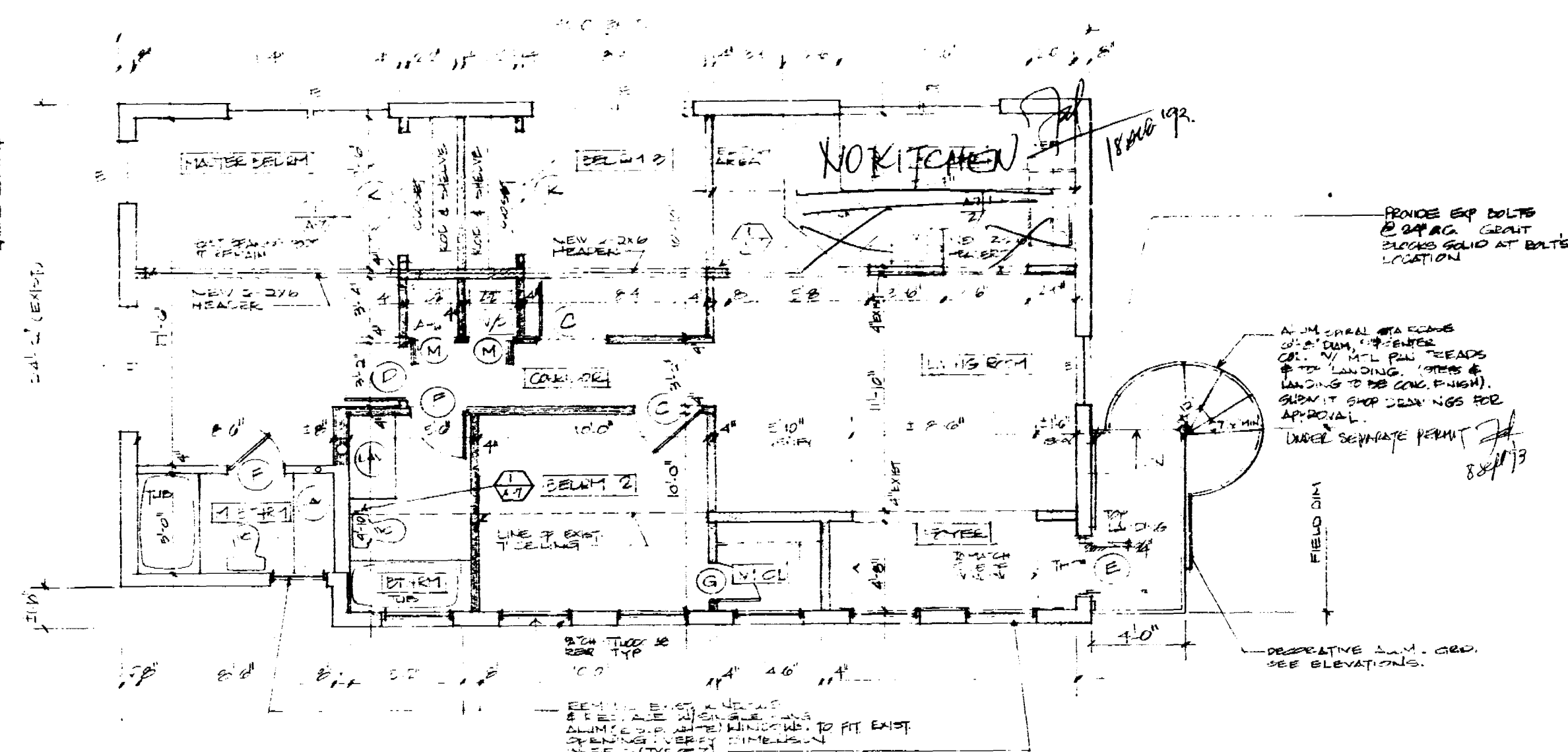
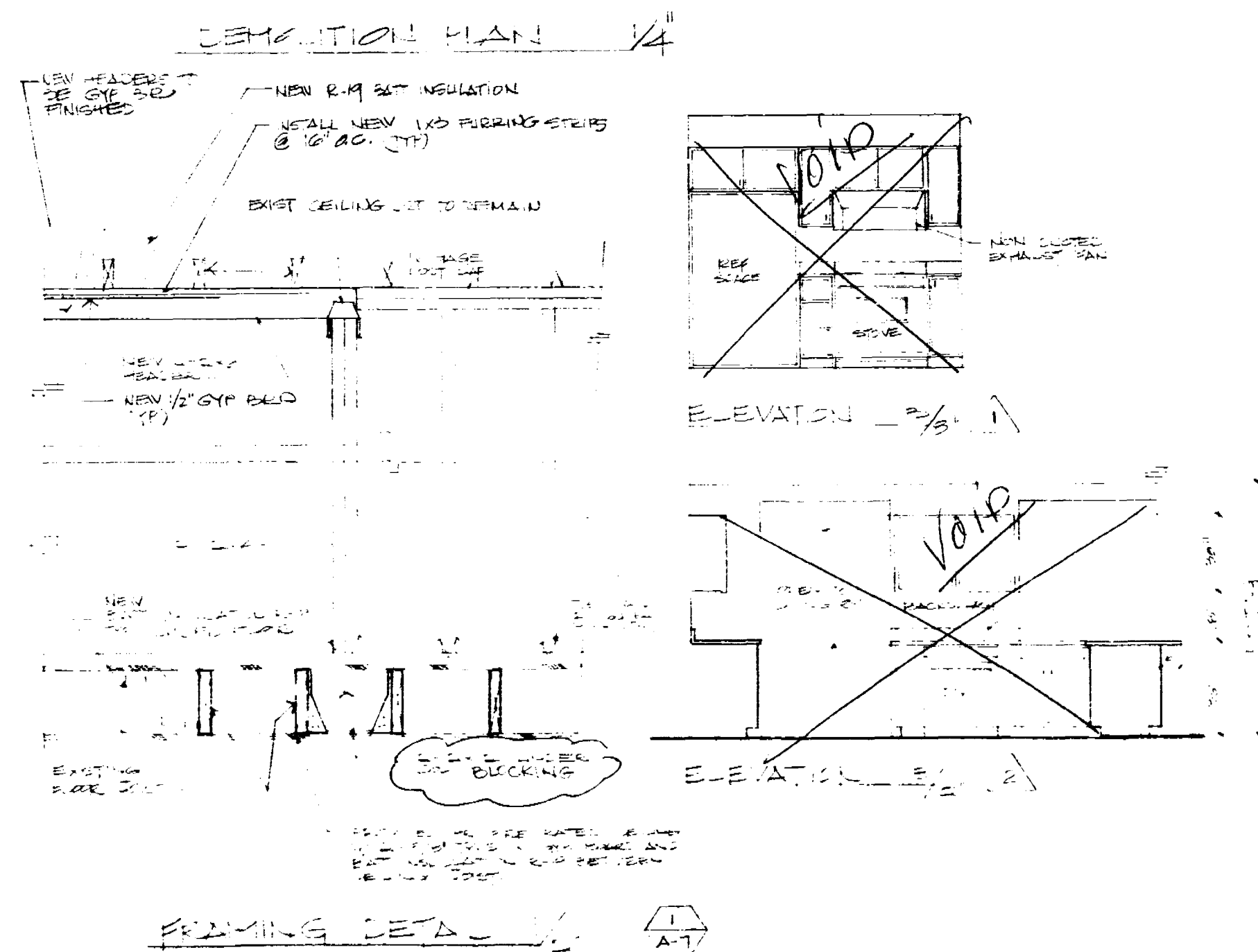
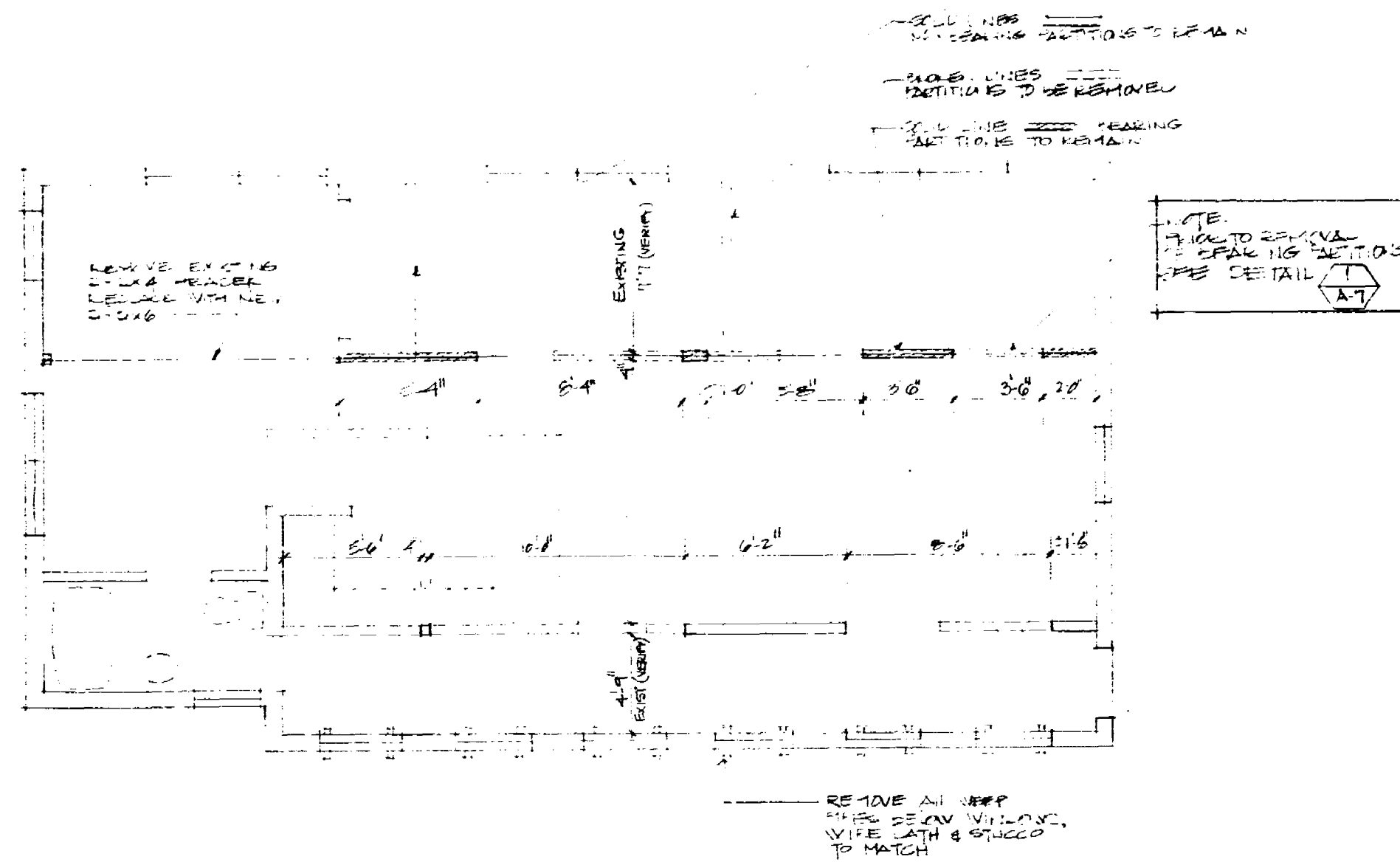


REAR ELEVATION 1/4
SOUTH

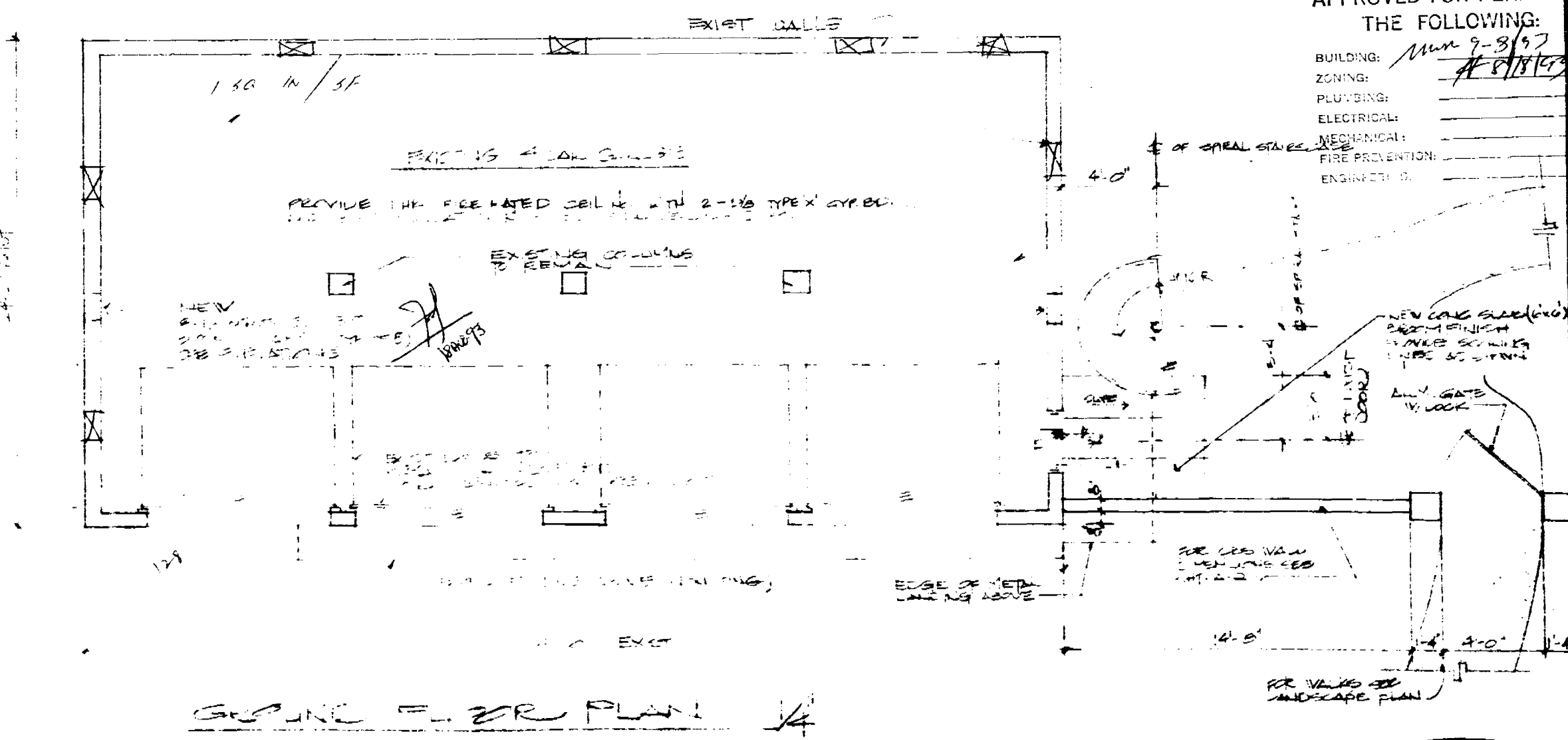
NOTES
ELEVATION AS SHOWN ARE EXISTING EXCEPT AS NOTED
ALL SURFACES TO BE PAINTED - SEE PAINT NOTES

OFFICE COPY
CITY OF MIAMI BEACH
APPROVED FOR PERMIT BY
THE FOLLOWING:
Mr. 7/8/93
#8/8/93

MARTINEZ • POSE ARCHITECTS 4131 LAGUNA • CORAL GABLES • FL • 33146 • (305) 446-1166	Addition and Remodeling for: RESIDENCE of MR. ELIAS ABOUD
JOB 93212	
DATE 7/93	
A-6	
7	



NO COOKING FACILITIES IN GUEST QUARTER



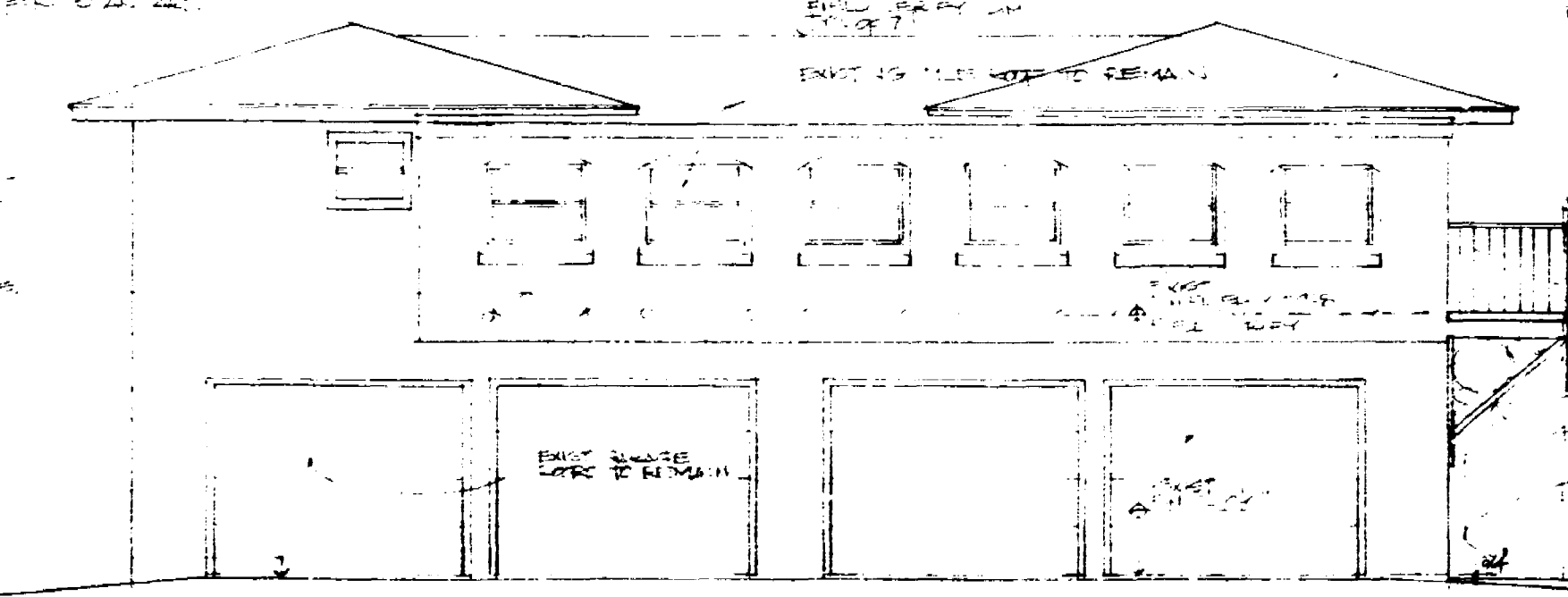
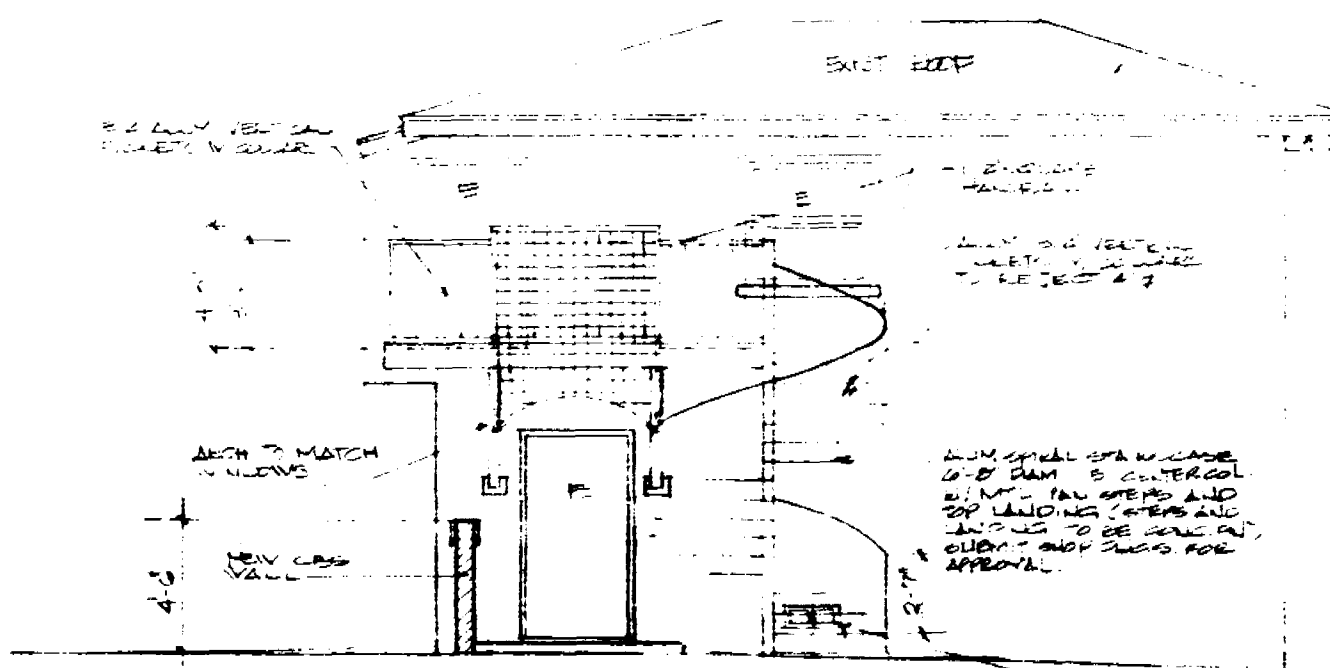
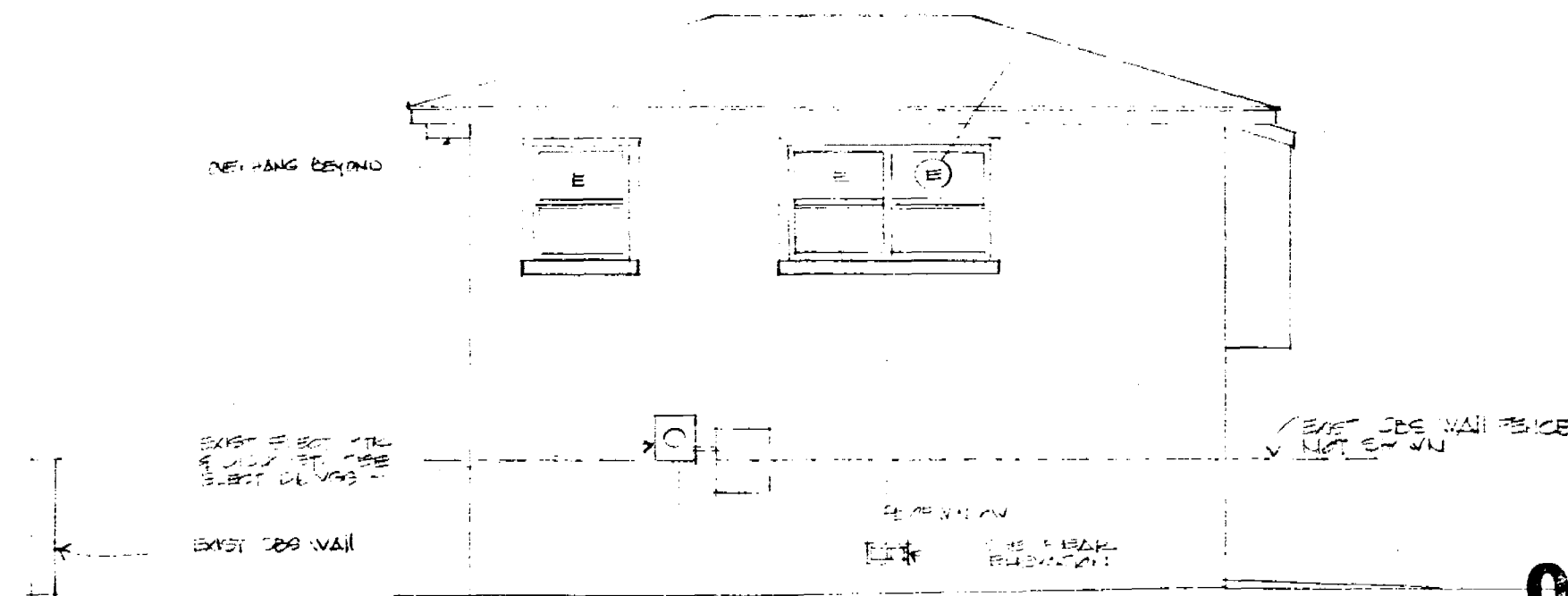
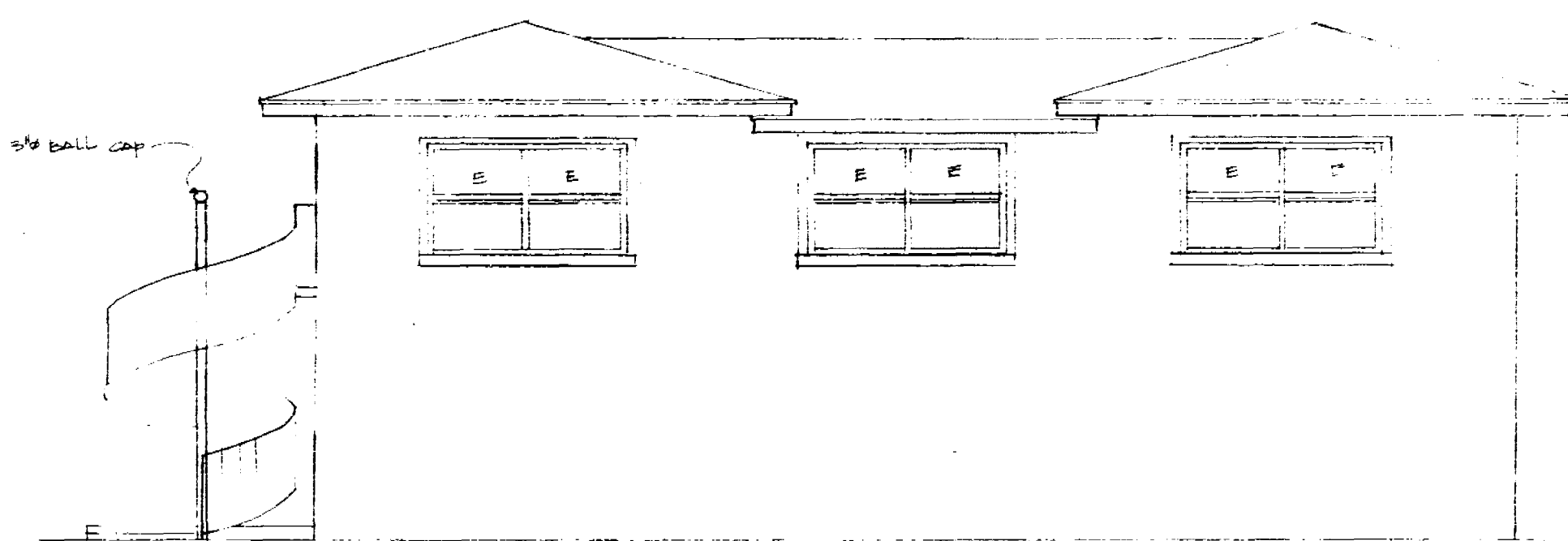
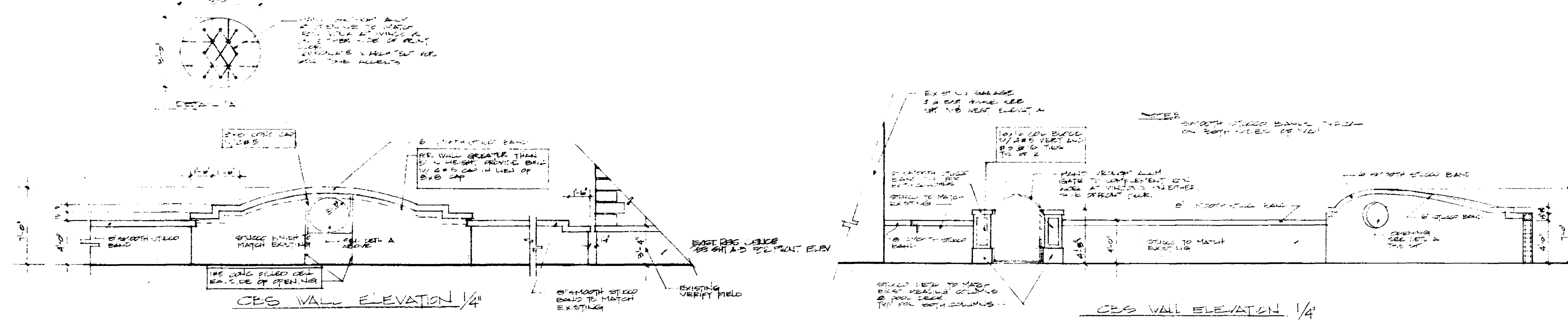
MARTINEZ POSE
ARCHITECTS
4131 LAGUNA - CORAL GABLES - FL 33146 - (305) 446-1166

Addition and Remodeling for:
RESIDENCE of MR. ELIAS ABOUD

OFFICE COPY

CITY OF MIAMI BEACH
APPROVED FOR PERMIT BY THE FOLLOWING:
BUILDING: *mm 7-31-97*
ZONING: *# 811193*
PLUMBING:
ELECTRICAL:
MECHANICAL:
FIRE PREVENTION:
ENGINEERING:

REVISIONS	
JOB #0212	DATE 7/92
A-7	B



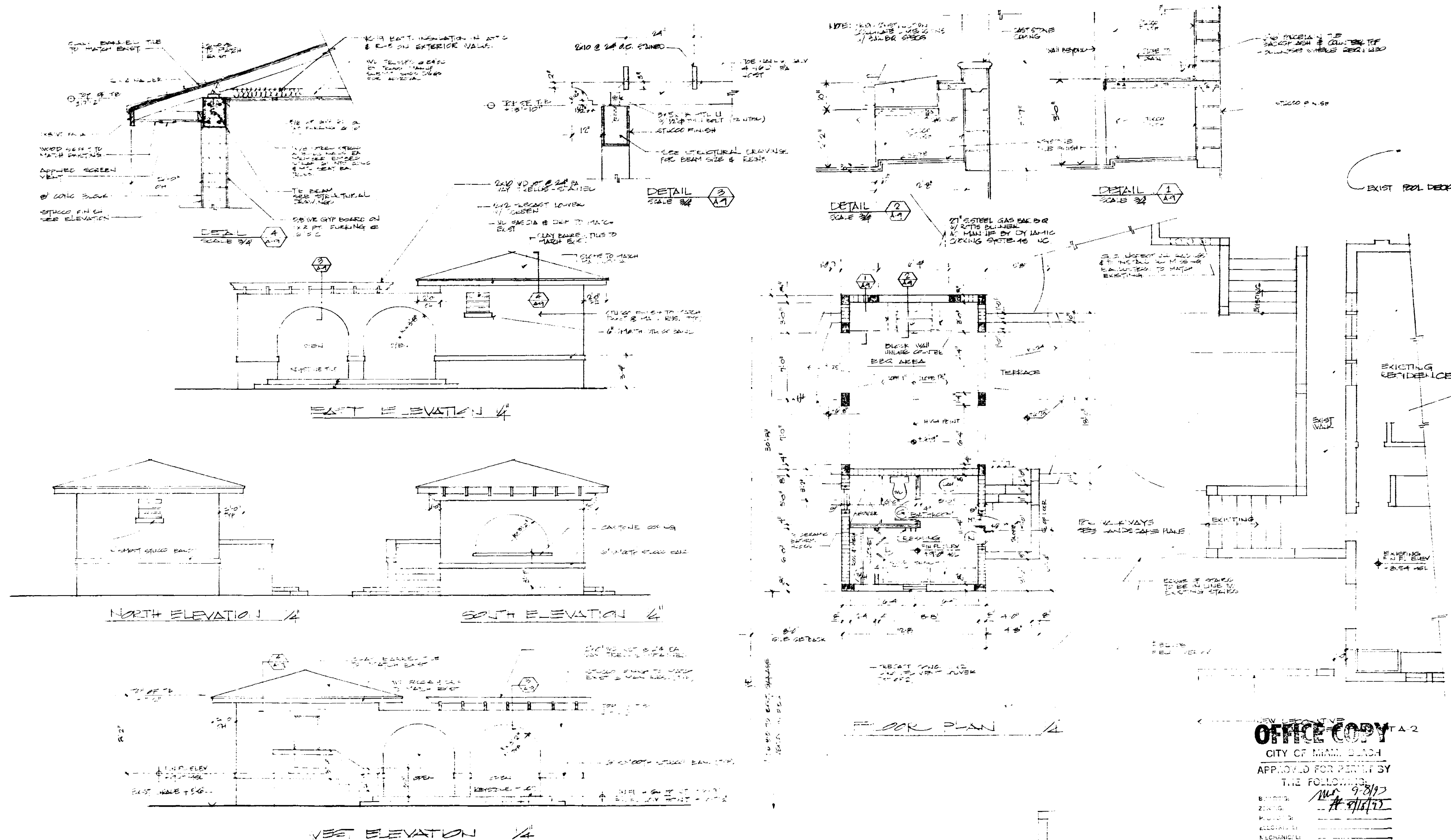
OFFICE COPY
CITY OF MIAMI BEACH
APPROVED FOR PERMIT BY
THE FOLLOWING:
BUILDING: *Per 7-3/17*
ZONING: *AS 18123*
PLUMBING:
ELECTRICAL:
MECHANICAL:
ENVIRONMENTAL:

MARTINEZ • POSE
ARCHITECTS
4131 LACUNA • CORAL GABLES • FL • 33146 • (305) 446-1166

Addition and Remodeling for:

RESIDENCE of MR. ELIAS ABOUD

REVISIONS	
1	JOE 9/22/12
2	DATE 7/98
3	8
4	9



CARINA FLOOR PLAN
AND ELEVATION PLAN

MARTINEZ • POSE
A R C H I T E C T S
4131 LAGUNA • CORAL GABLES • FL. 33146 • (305) 446-1166

**Addition and Remodeling for:
RESIDENCE of MR. ELIAS ABOUD**

NEW NEGATIVE
OFFICE COPY

CITY OF MIAMI BEACH
APPROVED FOR PERMIT BY
THE FOLLOWING:

BUILDING: Mr 9-8/93
ZONING: # 9/16/93
PERMITTING: _____
ELECTRICAL: _____
MECHANICAL: _____
FIRE PREVENTION: _____
ENGINEERING: _____

REVISIONS

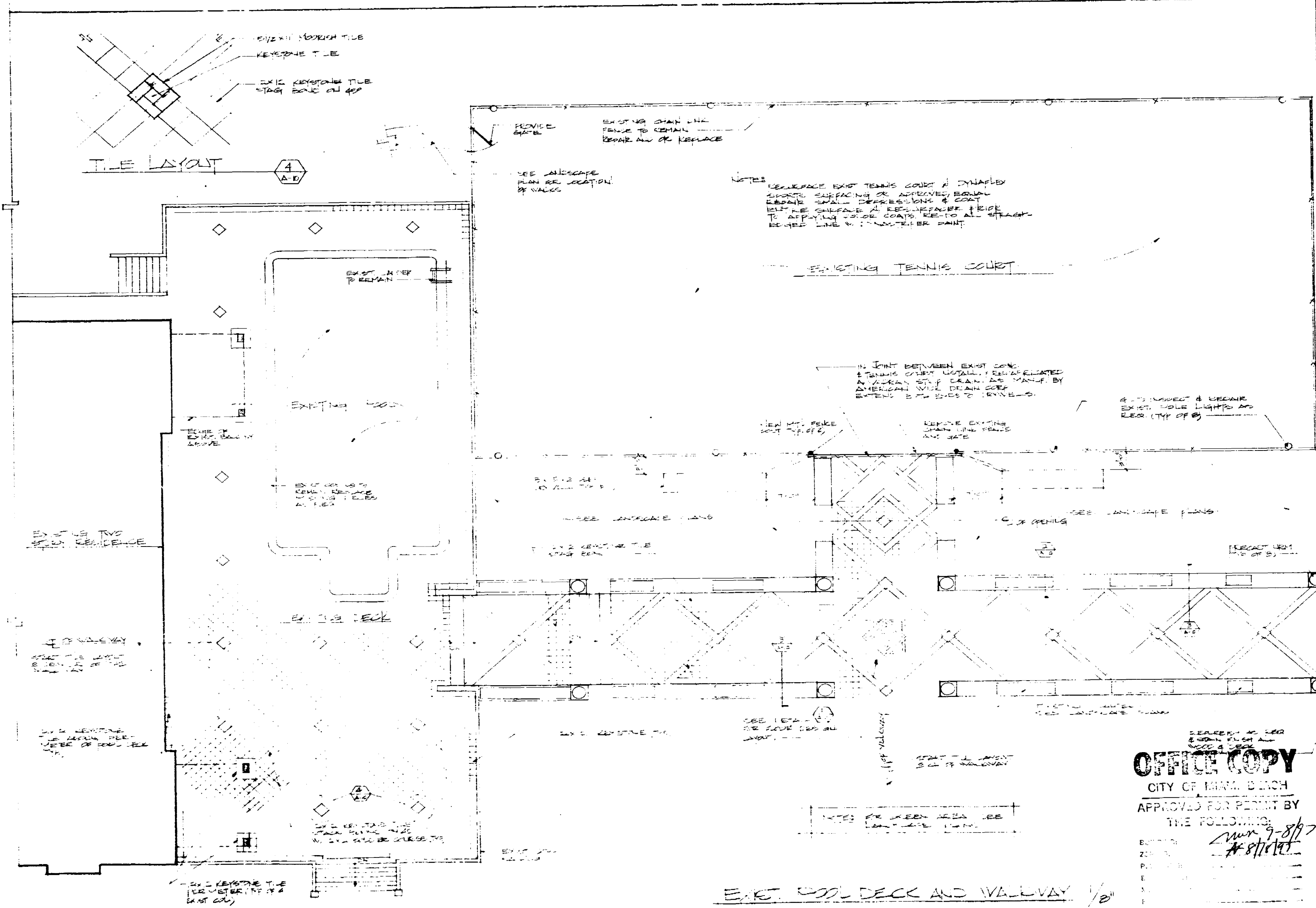
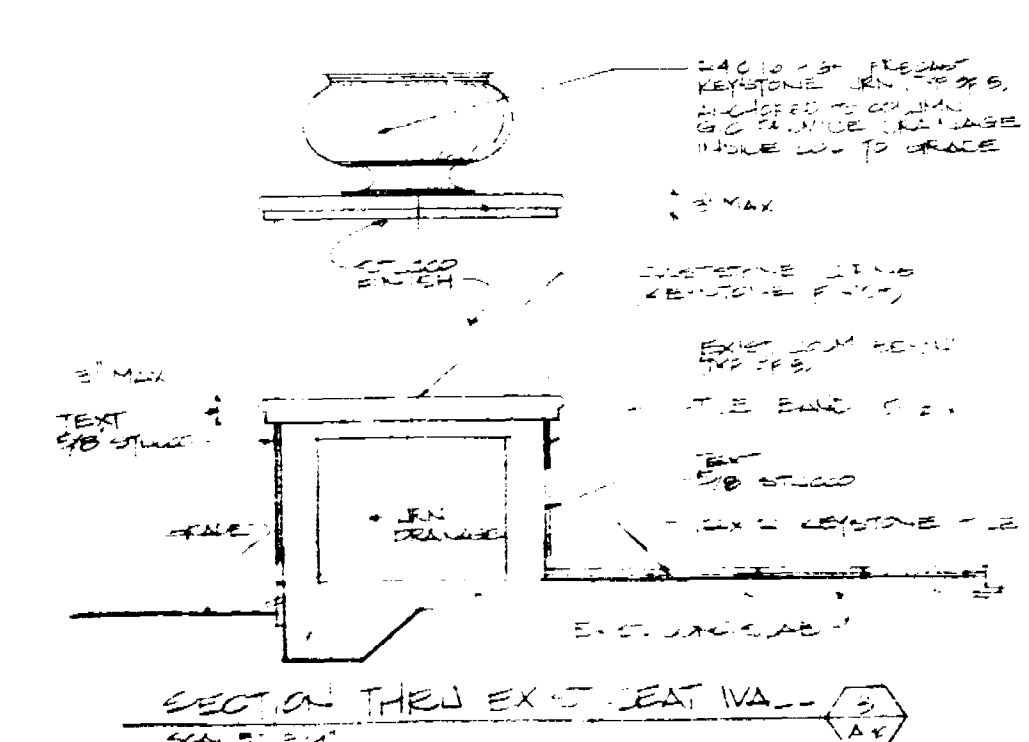
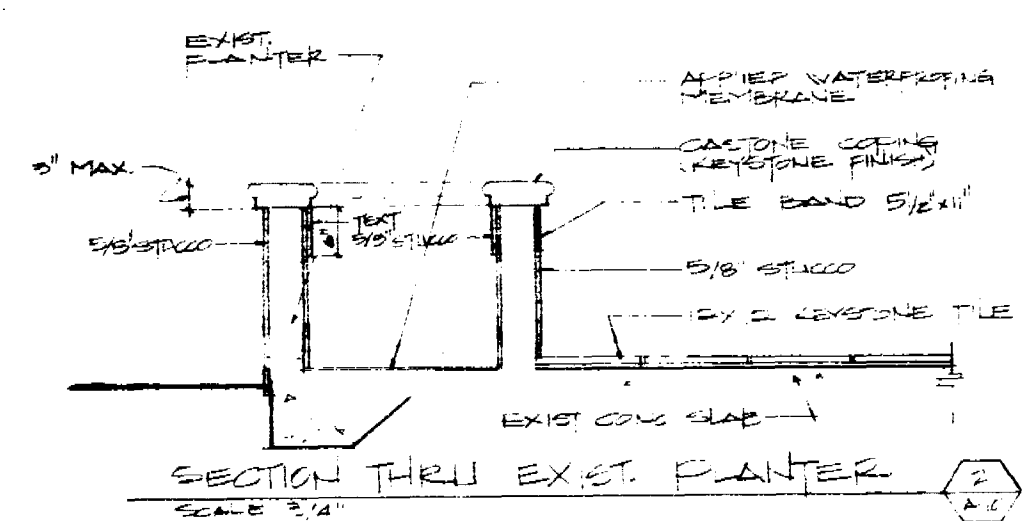
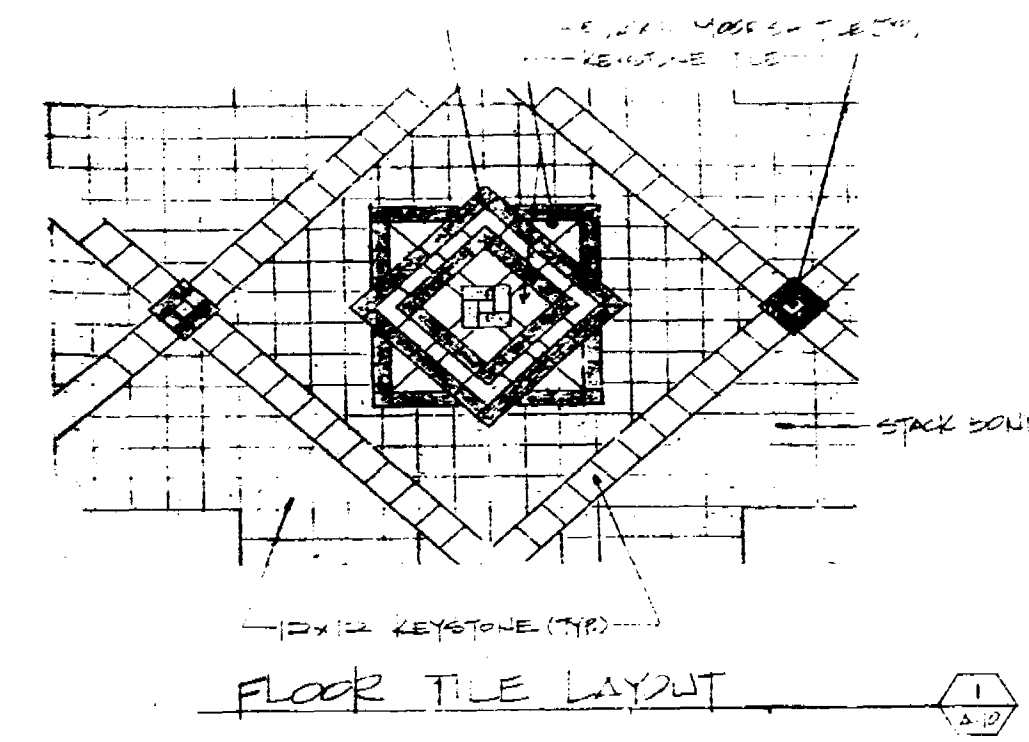
JOB 93212

DATE 7/83

A-9

10

3

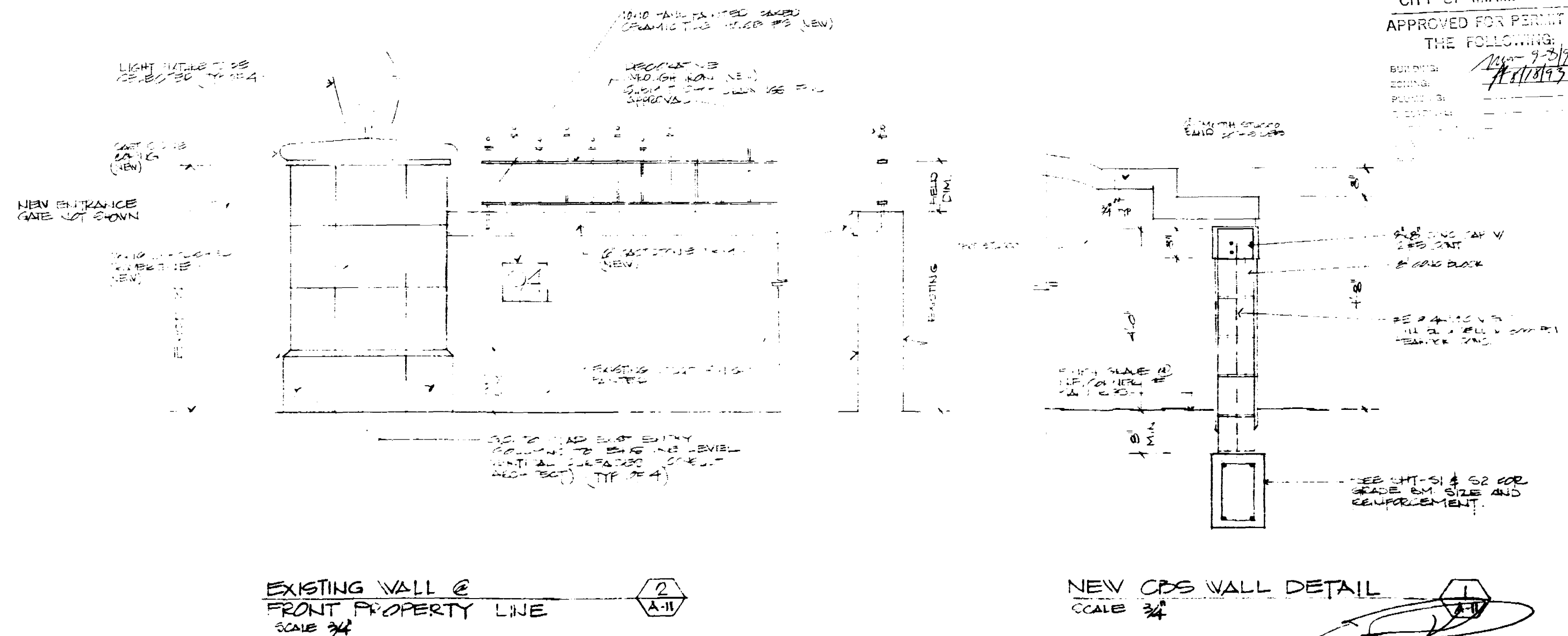
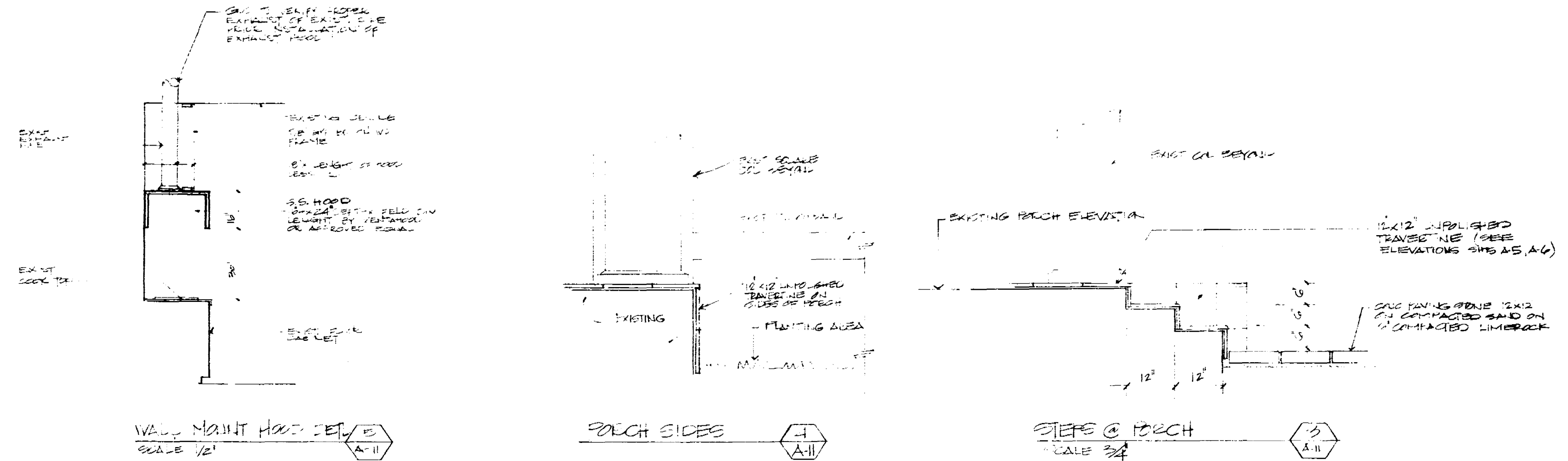


OFFICE COPY
CITY OF MIAMI BEACH
APPROVED FOR PERMIT BY
THE FOLLOWING:
ENGINEER: *[Signature]*
DATE: 7-9-92

MARTINEZ • POSE
ARCHITECTS
4131 LAGUNA • CORAL GABLES • FL • 33146 • (305) 446-1166

Addition and Remodeling for:
RESIDENCE of MR. ELIAS ABOUD

REVISIONS	
JOB	93212
DATE	7/93
A-10	11



OFFICE COPY

CITY OF MIAMI BEACH

APPROVED FOR PERMIT BY
THE FOLLOWING:

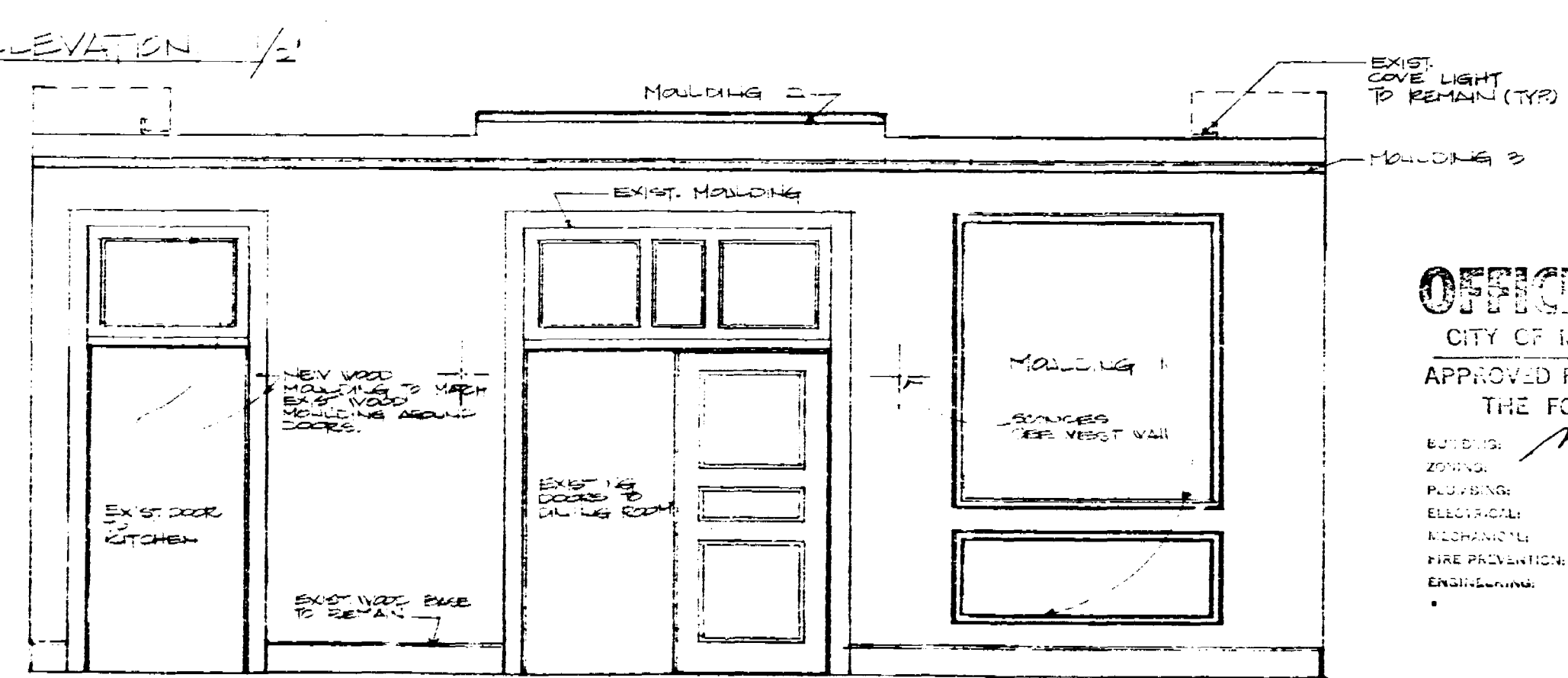
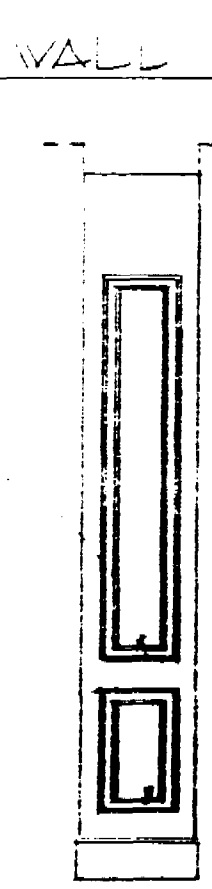
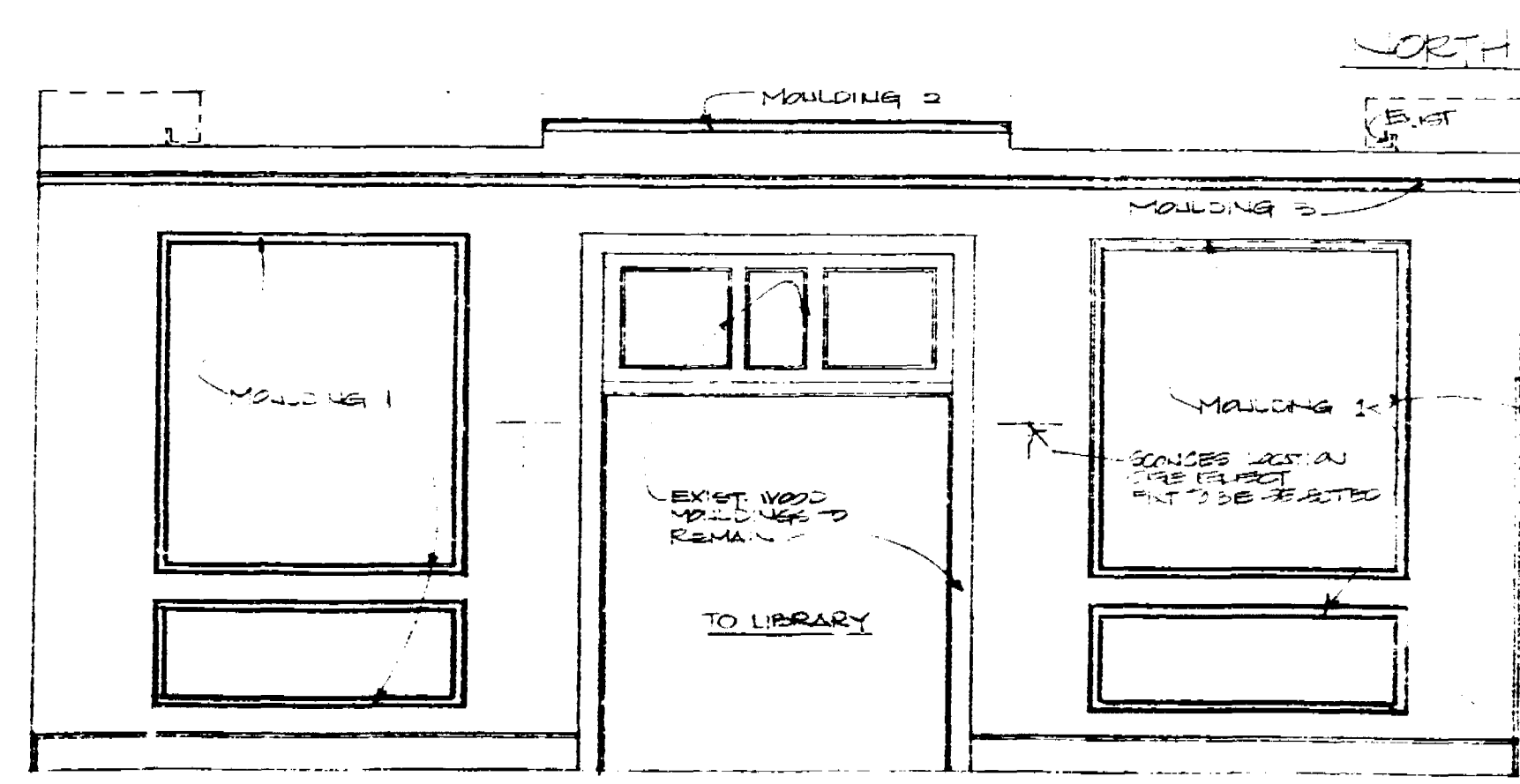
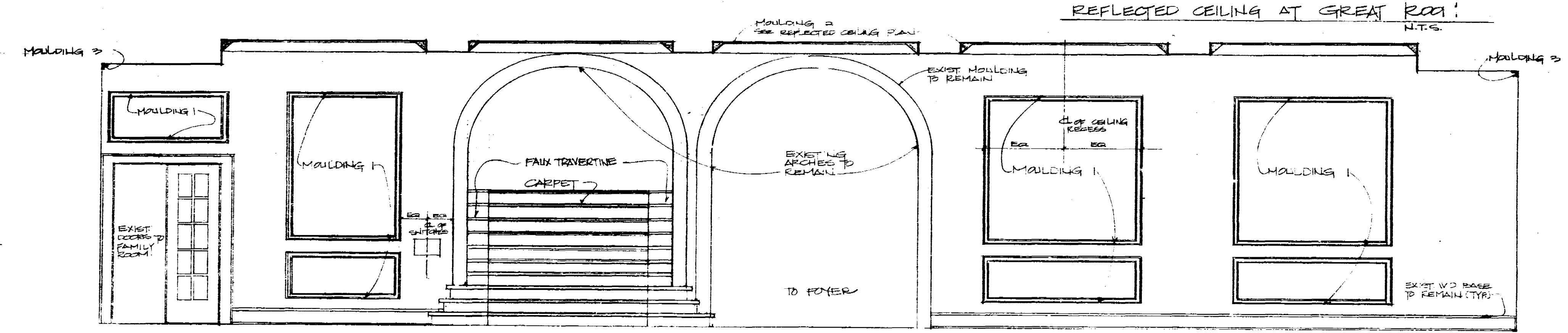
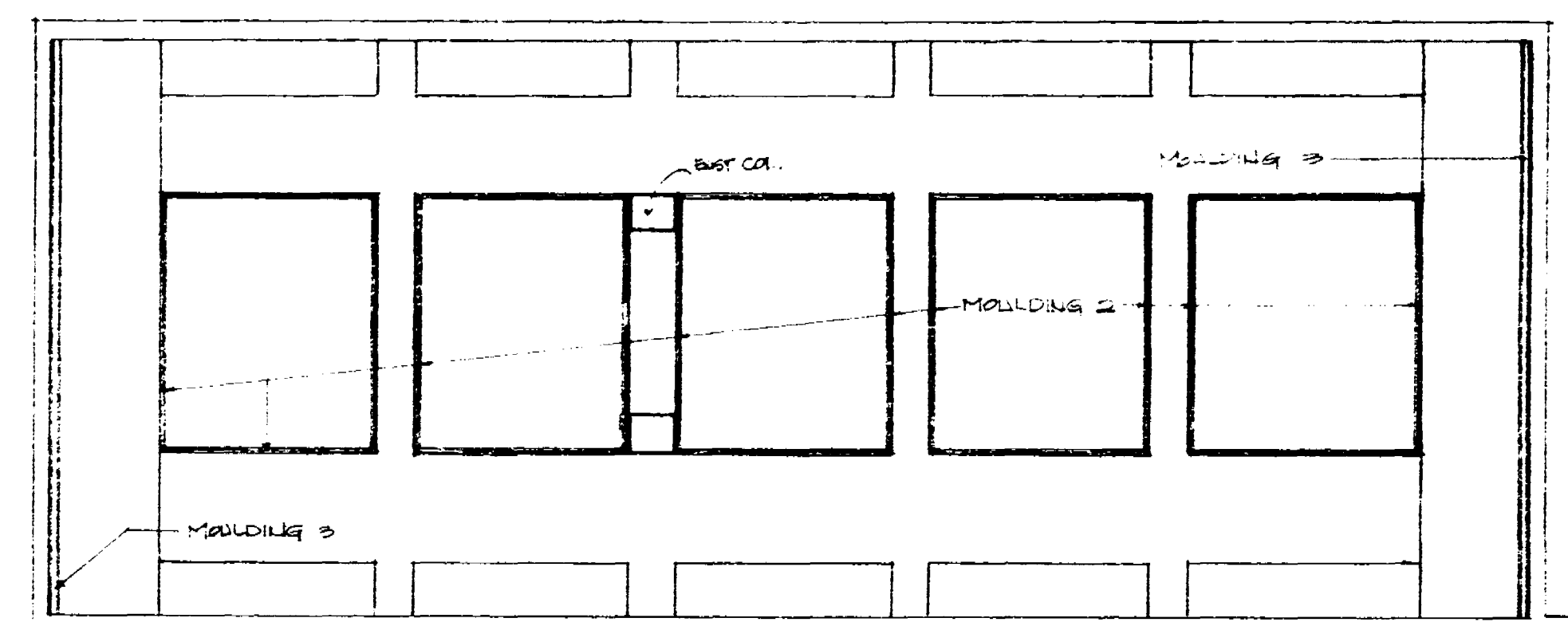
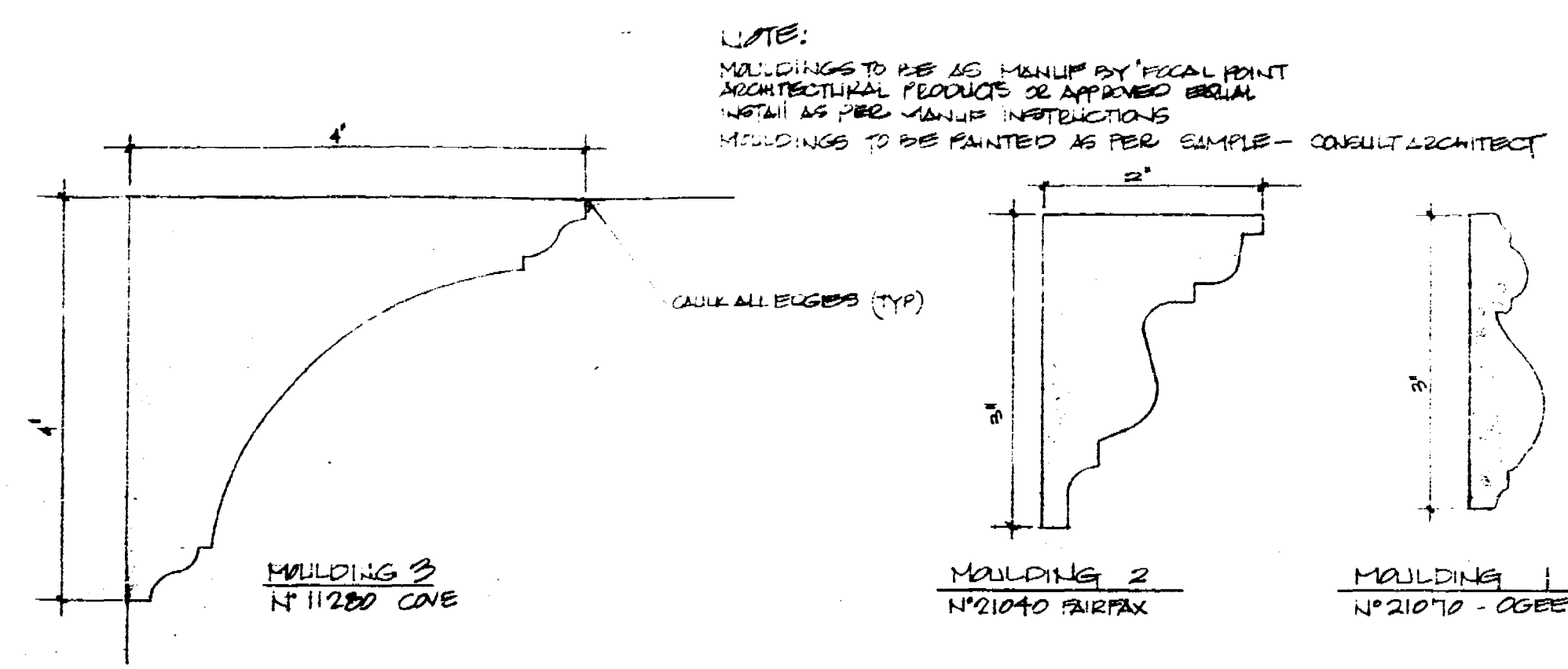
BUILDING: Room 9-5/93
 ZONING: #8/18/93
 RECORD: _____
 COMMENTS: _____

MARTINEZ • POSE
A R C H I T E C T S
4131 LAGUNA • CORAL GABLES • FL. 33146 • (305) 446-1166

**Addition and Remodelling for :
RESIDENCE of MR. ELIAS ABBOUD**

REVISIONS	
JOB	33212
DATE	7/02
A-11	
12	

3



OFFICE COPY
CITY OF MIAMI BEACH
APPROVED FOR PERMIT BY
THE FOLLOWING:
MAY 2-8/97
A-12/97

BUILDING
ZONING
PLUMBING
ELECTRICAL
MECHANICAL
FIRE PREVENTION
ENGINEERING

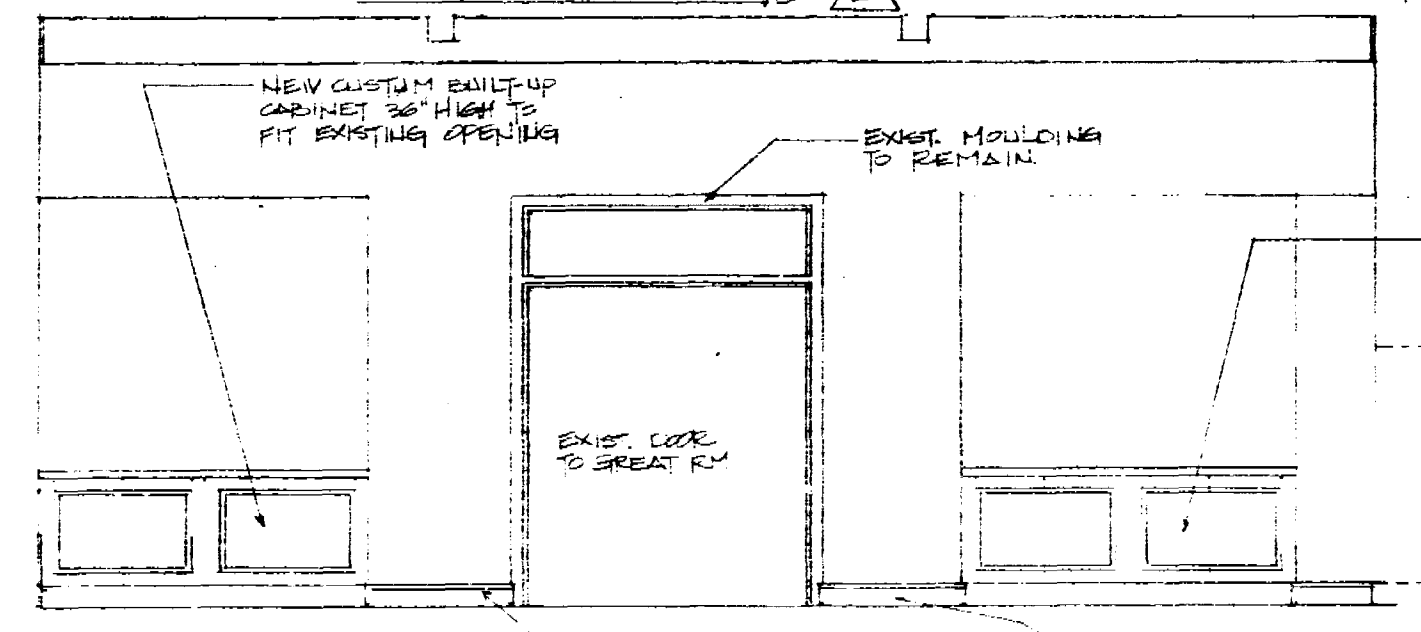
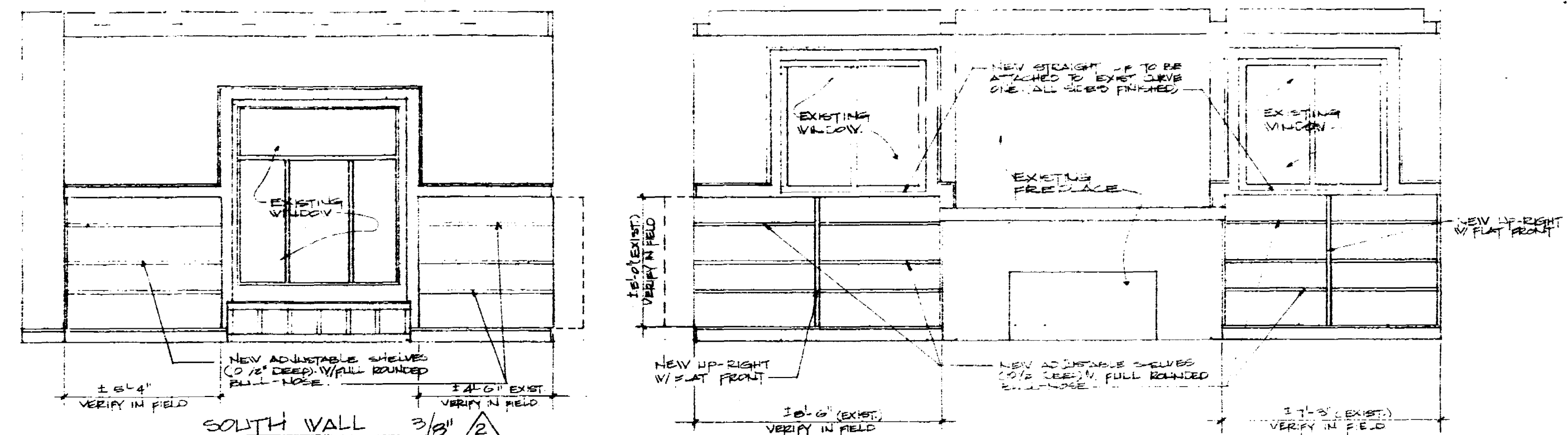
MARTINEZ • POSE
A R C H I T E C T S
4131 LAGUNA • CORAL GABLES • FL 33146 • (305) 445-1166

Addition and Remodeling for:
RESIDENCE of MR. ELIAS ARNONE

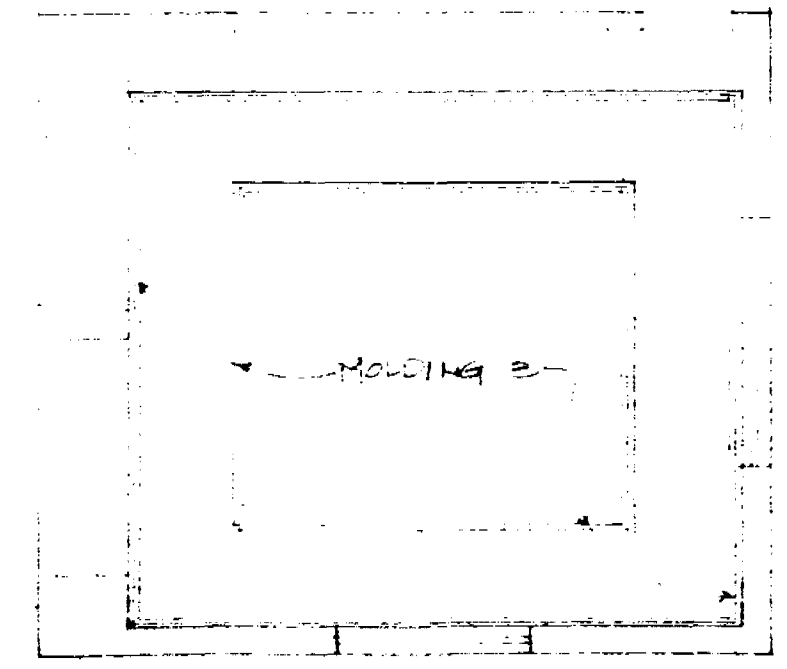
REVISIONS

JOB 90812
DATE 7/99

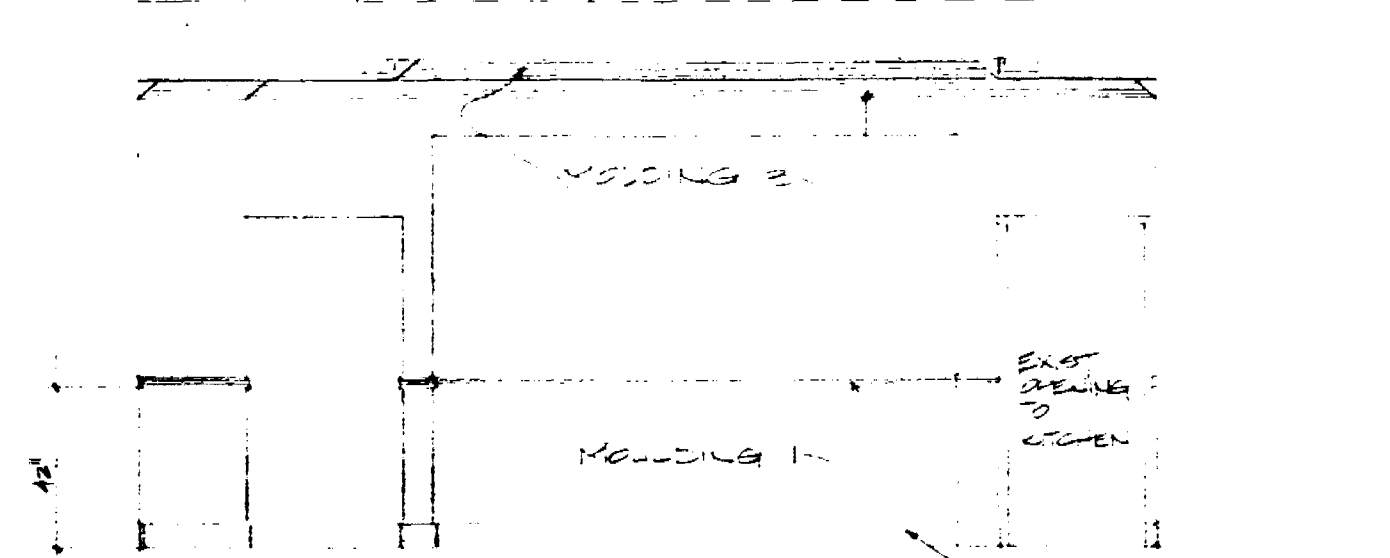
A-12
13



- NOTES
- ALL EXISTING VOID TO BE SAUCED & PREPARED FOR NEW PAINT
 - ALL EXISTING TRAVERTINE FLOOR & SEE PLACES TO BE REPLACED
 - ALL WALLS TO BE PREPARED FOR NEW PAINT
 - CEILING BEAM TO BE REFINISHED AS NEEDED PRESERVING EXISTING HAND PAINT DESIGN
 - PREPARE FLOOR (HARD) FOR NEW HARD-VOID FLOORING

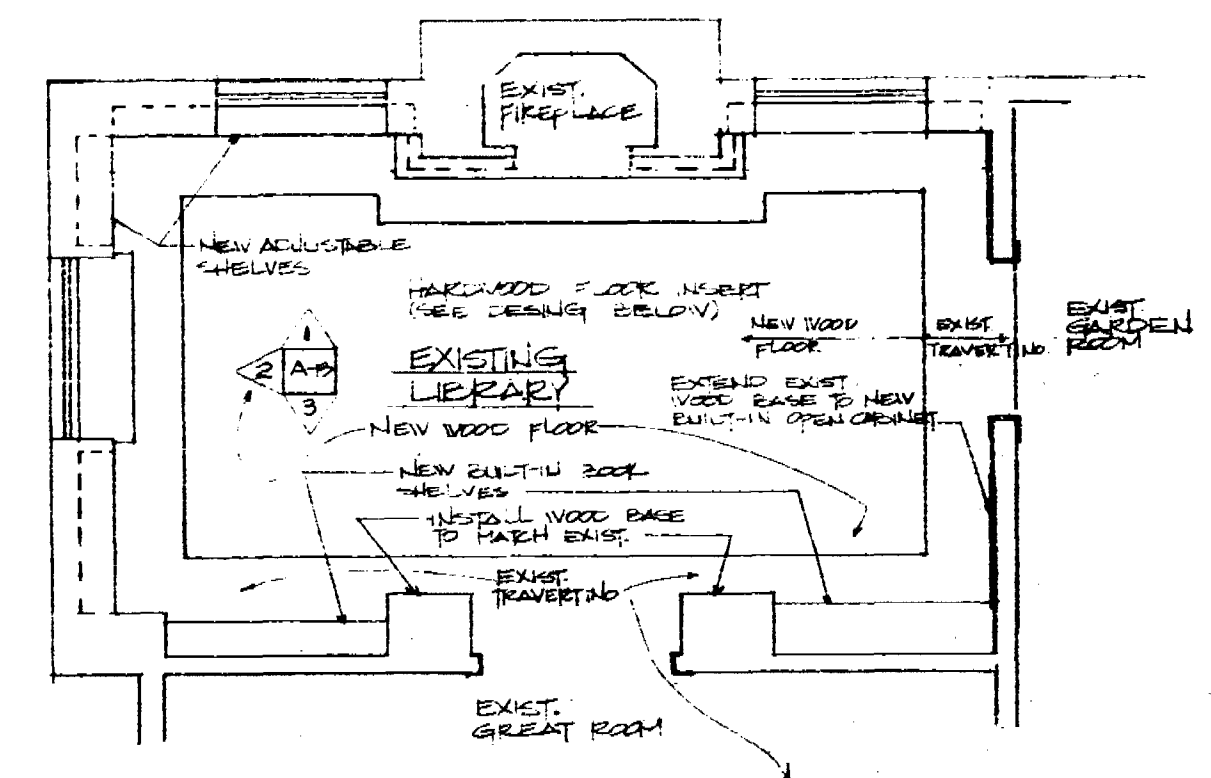


REFLECTED CEILING AT DINING ROOM 1/4"

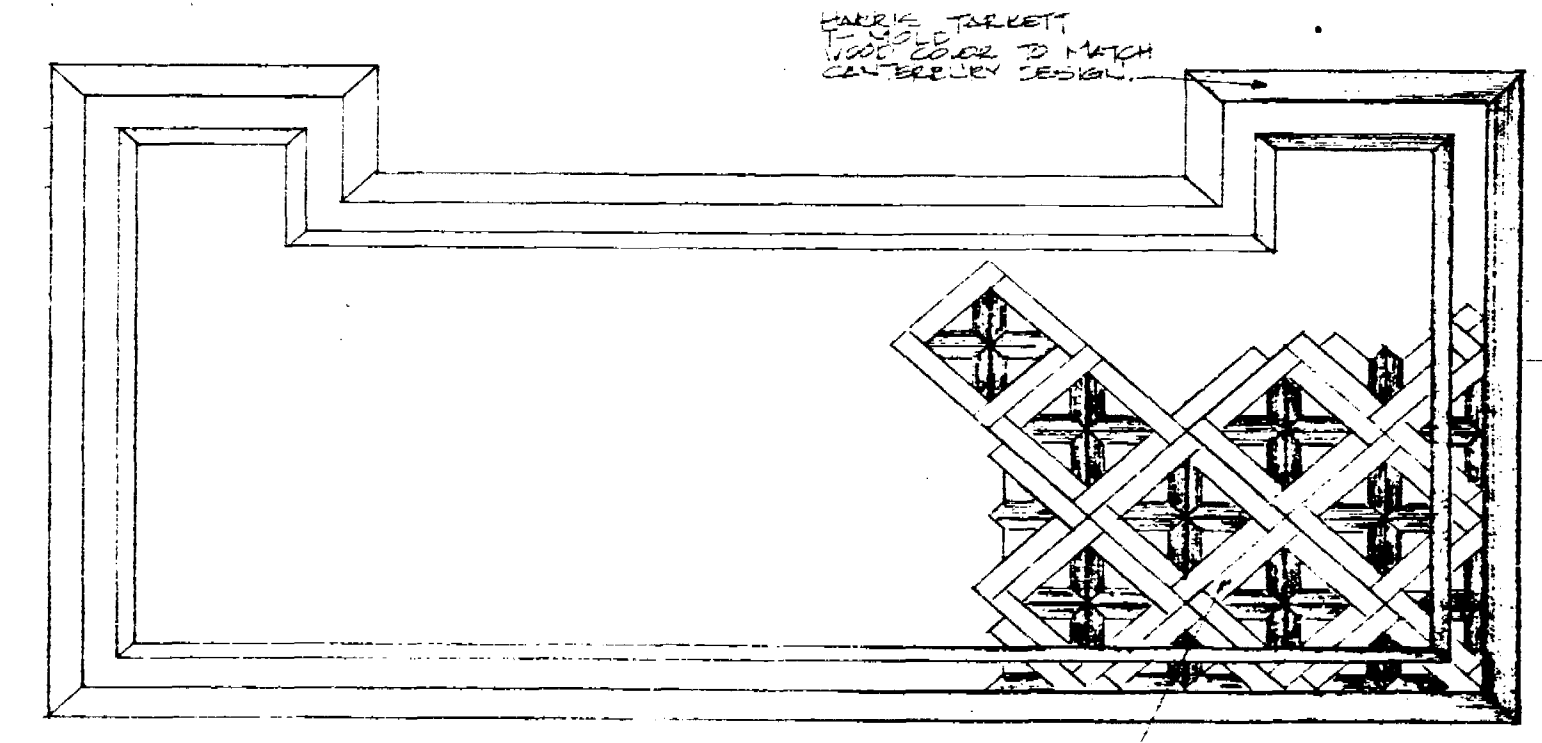


TYPICAL OF 2 WALLS AT DINING ROOM 3/8"

NEW EXPOSURE TO MATCH EXISTING WHERE NEEDED



EXISTING LIBRARY 3/8"



KENTLEY WOOD FLOOR DESIGN - SALT CREEK 5/16\"/>

HARDWOOD FLOOR DESIGN AT LIBRARY

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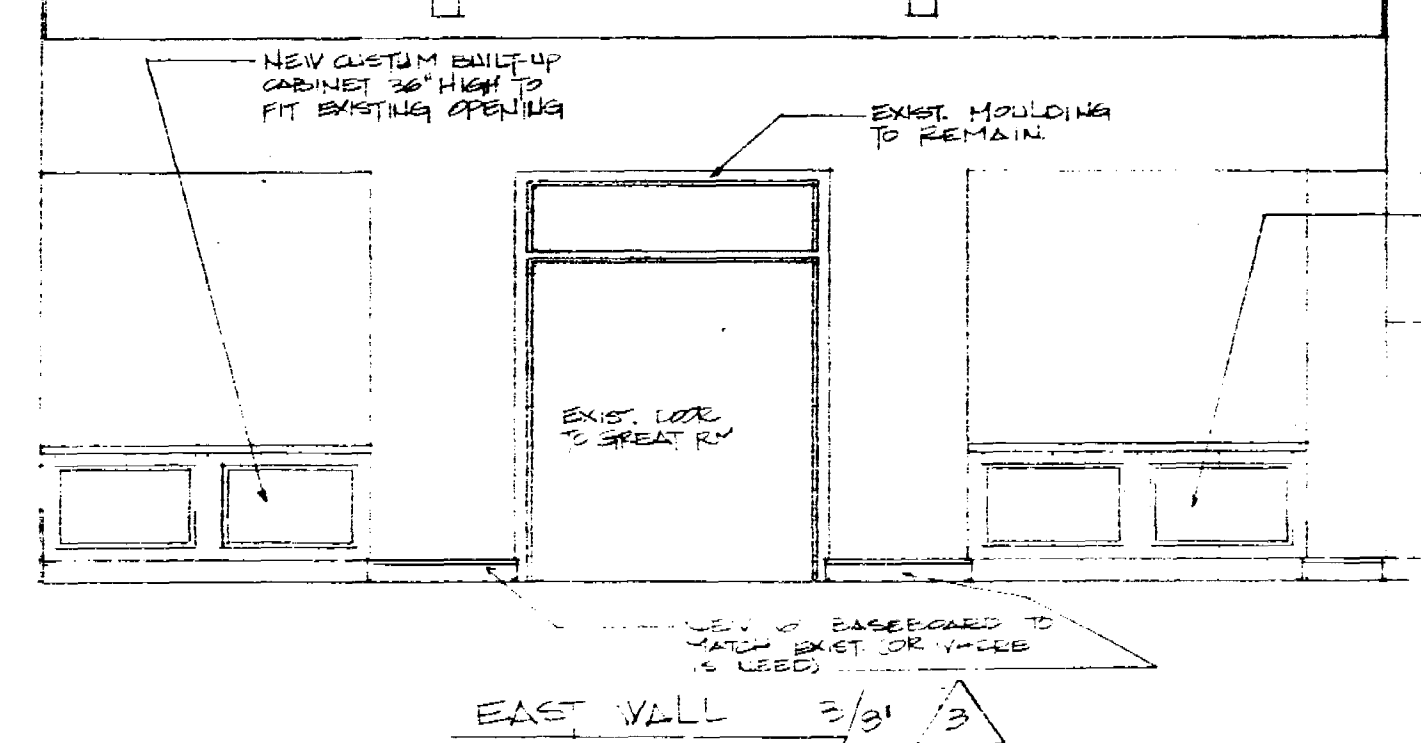
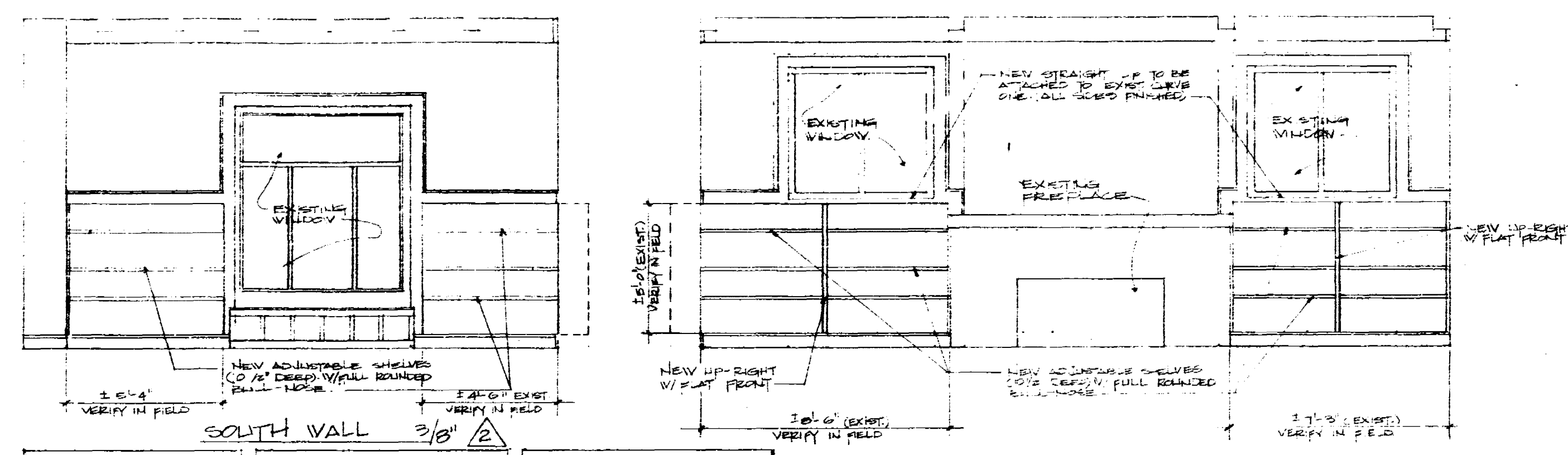
CITY OF MIAMI BEACH
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THE FOLLOWING:

BUILDING: *Mr. J. J. [Signature]*
DATE: *9-8-82*
REVISIONS:

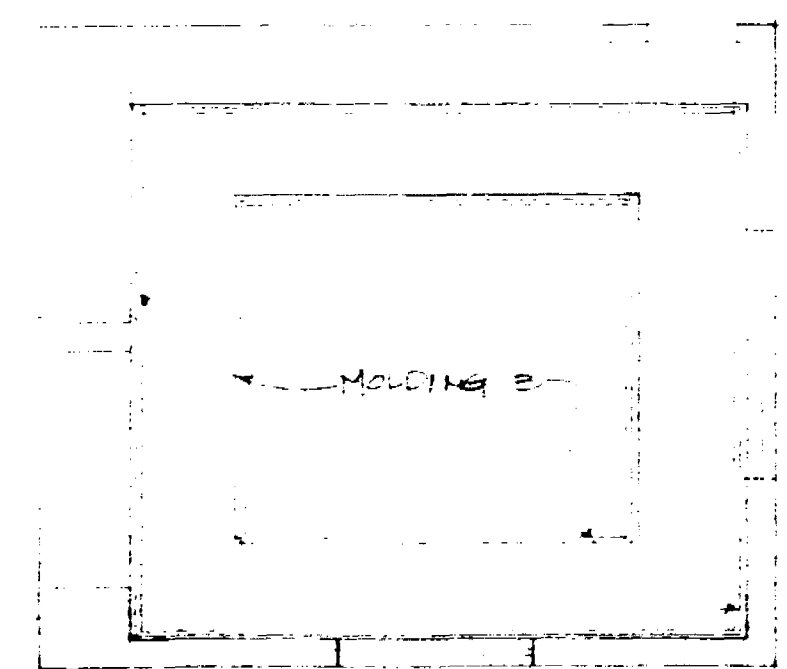
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JOB #0218	DATE 7/82
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ARCHITECTS
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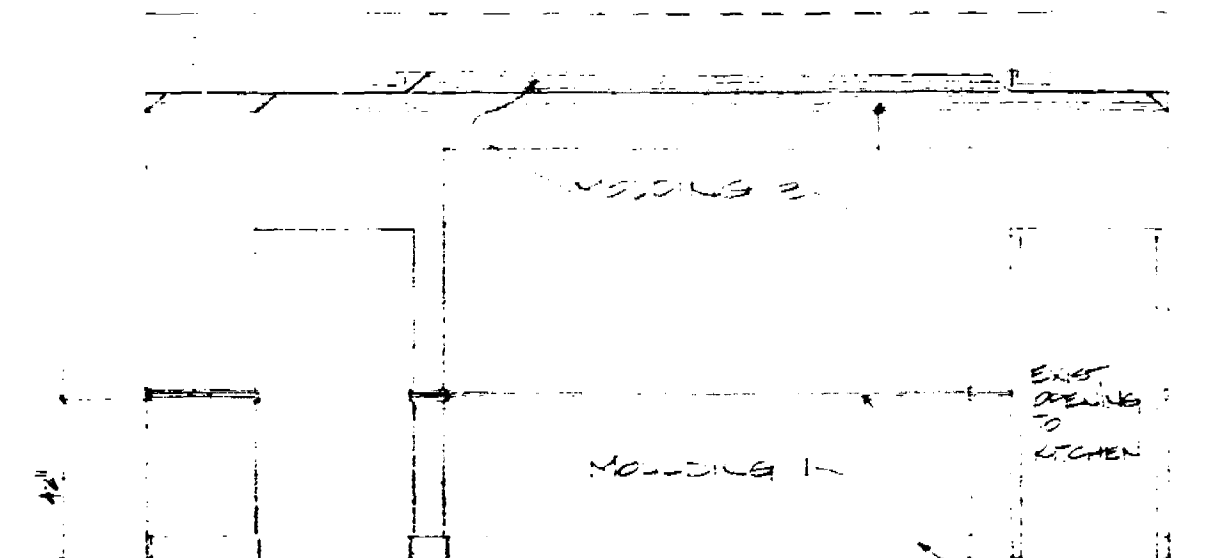
Addition and Remodeling for:
RESIDENCE of MR. ELIAS ARBORE



- NOTES:
- ALL EXISTING VOID TO BE CAULKED & PREPARED FOR NEW SANS.
 - ALL EXISTING TRAVELING FLOOR & FCE PLACE TO BE REPAIRED.
 - ALL VALVE TO BE PREPARED FOR NEW SANS.
 - CEILING BEAM TO BE RESURFISHED AS NECESSARY, PRESERVING EXISTING HAND CARVED DESIGN.
 - PREPARE FLOORING FOR NEW HARDWOOD FLOORING.

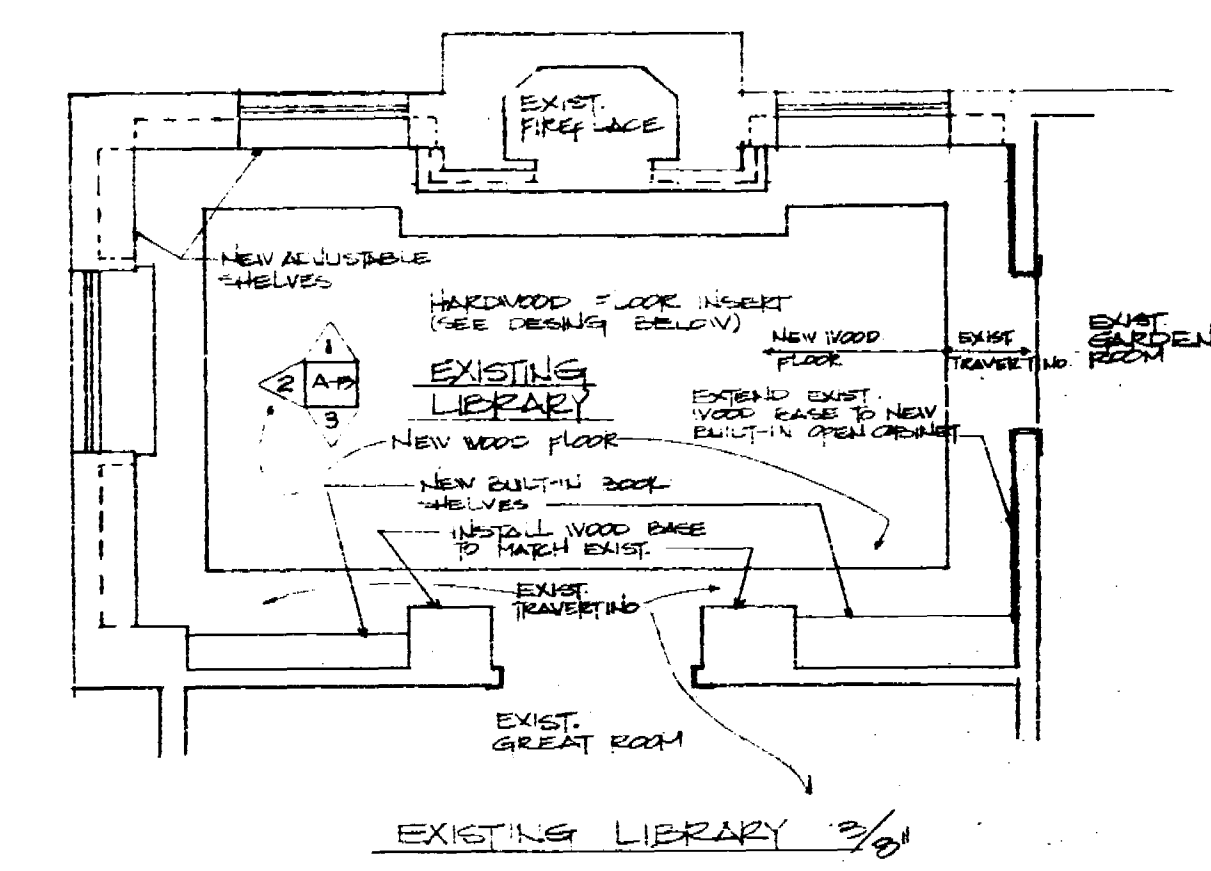


REFLECTED CEILING AT DINING ROOM 1/4"

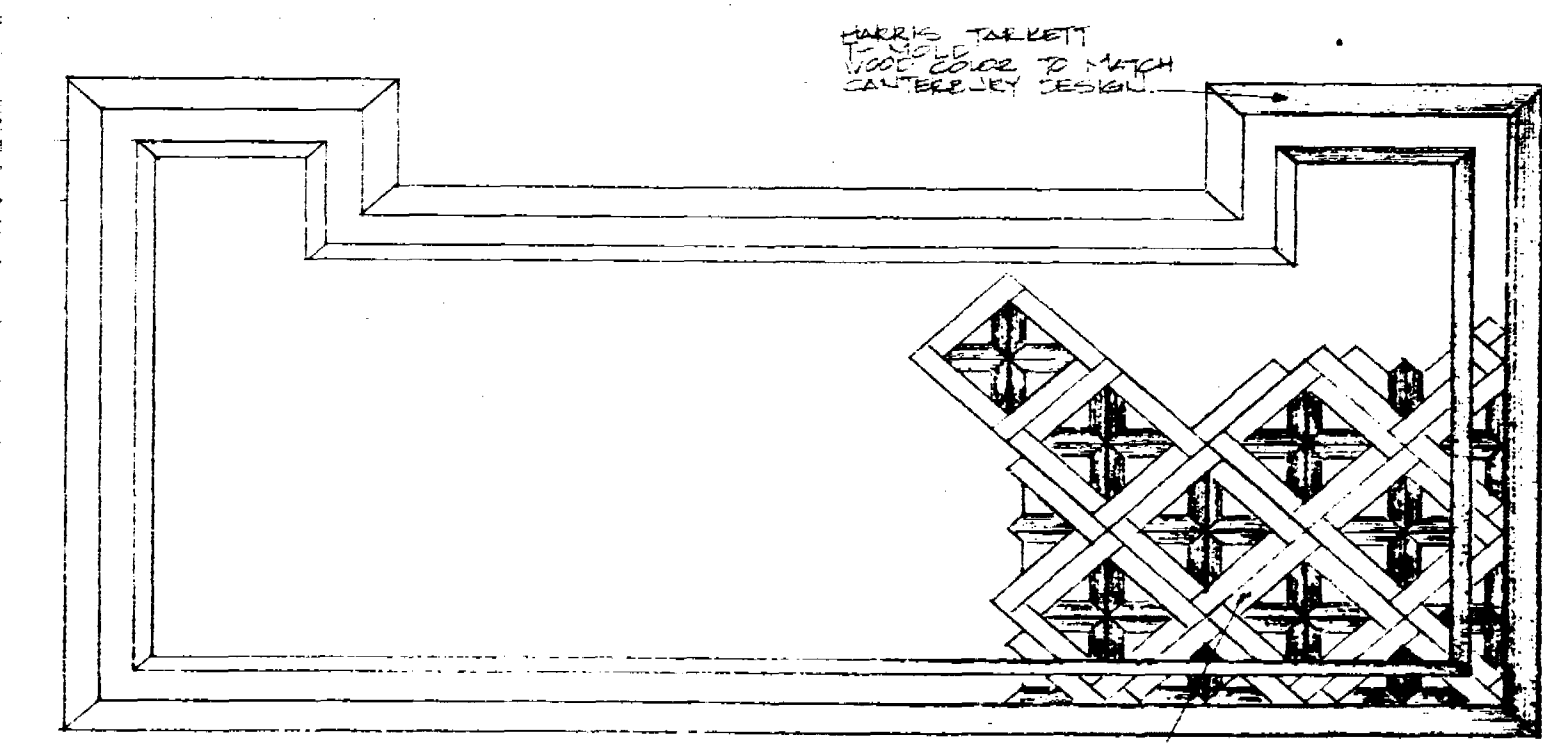


TYPICAL OF A VALVE AT DINING ROOM 3/8"

NEW EXTERIOR TO MATCH EXISTING WHERE NEEDED



EXISTING LIBRARY 3/8"



KEATLEY WOOD FLOOR DESIGN - CAUTERLEY (3/10) FOR COLOR TO BE MATCHED BY ARCHITECT

HARDWOOD FLOOR DESIGN AT LIBRARY

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CITY OF MIAMI, BEACH
APPROVED FOR PERMIT BY THE FOLLOWING:
BUILDING DEPARTMENT
DATE 7/03

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Addition and Remodeling for:
RESIDENCE of MR. ELIAS ARBORE

PAINT NOTES:

PRESSURE CLEAN (min. 2500 psi) ALL EXTERIOR STUCCO AND EXPOSED CONCRETE WALL SURFACES TO BE PAINTED AND/OR WATERPROOFED BEFORE APPLY MILDSEW WASH TO KILL ANY MOLD AND/OR MILDEW BEFORE PRESSURE CLEANING.
CLEAN ALL EXISTING PEELING AREAS AND REMOVE DAMAGED COATING. APPLY WEATHER-FLEX #501 SEALER AT A SPREAD RATE OF 250 SQ. FT. PER GALL. TO ALL PRESSURE CLEANED SURFACES TO INCLUDE ALL VERTICAL SURFACES THAT ARE TO BE COATED WITH ELASTOMERIC WATERPROOFING.
PREPARE AND PATCH ALL CRACK, LOOSE OR BROKEN STUCCO, AND SPALLED CONCRETE.
INSPECT ALL SURFACES AREAS TO DETERMINE WHICH NEED REPAIR BEFORE BEGINNING WORK.
SPOT PRIME EXISTING METAL RAILING AS REQUIRED.
DETAIL ALL HAILLINE CRACKS LESS THAN 1/16 IN. WITH WEATHER-FLEX #200 ELASTOMERIC PATCH; BRIDGE CRACKS WITH MIN. 2 IN. ON BOTH SIDES AND CROWN CENTER DIRECTLY OVER CRACK TO ALLOW FOR THERMAL MOVEMENT.
ROUT OPEN ALL CRACKS GREATER THAN 1/16 IN. TO FORM A "V" OR "U" SHAPE, DUST CLEAN, AND PACK WITH WEATHER-FLEX URETHANE SEALANT; FORCE THE CRACK INTO THE CRACK TO ENSURE PROPER ADHENSION, ALLOW TO TACK CURE, THEN APPLY A DETAILED COAT OF WEATHER-FLEX #200 ELASTOMERIC PATCHING COMPOUND AS OUTLINED IN STEP ABOVE.
REPAIR ALL LOOSE, SPALLING, OR DAMAGED STUCCO, AS REQUIRED; WHEN IN DOUBT ABOUT LOOSE OR POORLY BONDED STUCCO, "SOUND OUT", IF HOLLOW SOUND IS TRANSMITTED, REMOVE SECTION OF AFFECTED STUCCO AS IT IS NOT BONDED TO THE SUBSTRATE.
PRIME ALL FRESH STUCCO REPAIRS WITH # 502 PRIMER.

CAULKING:

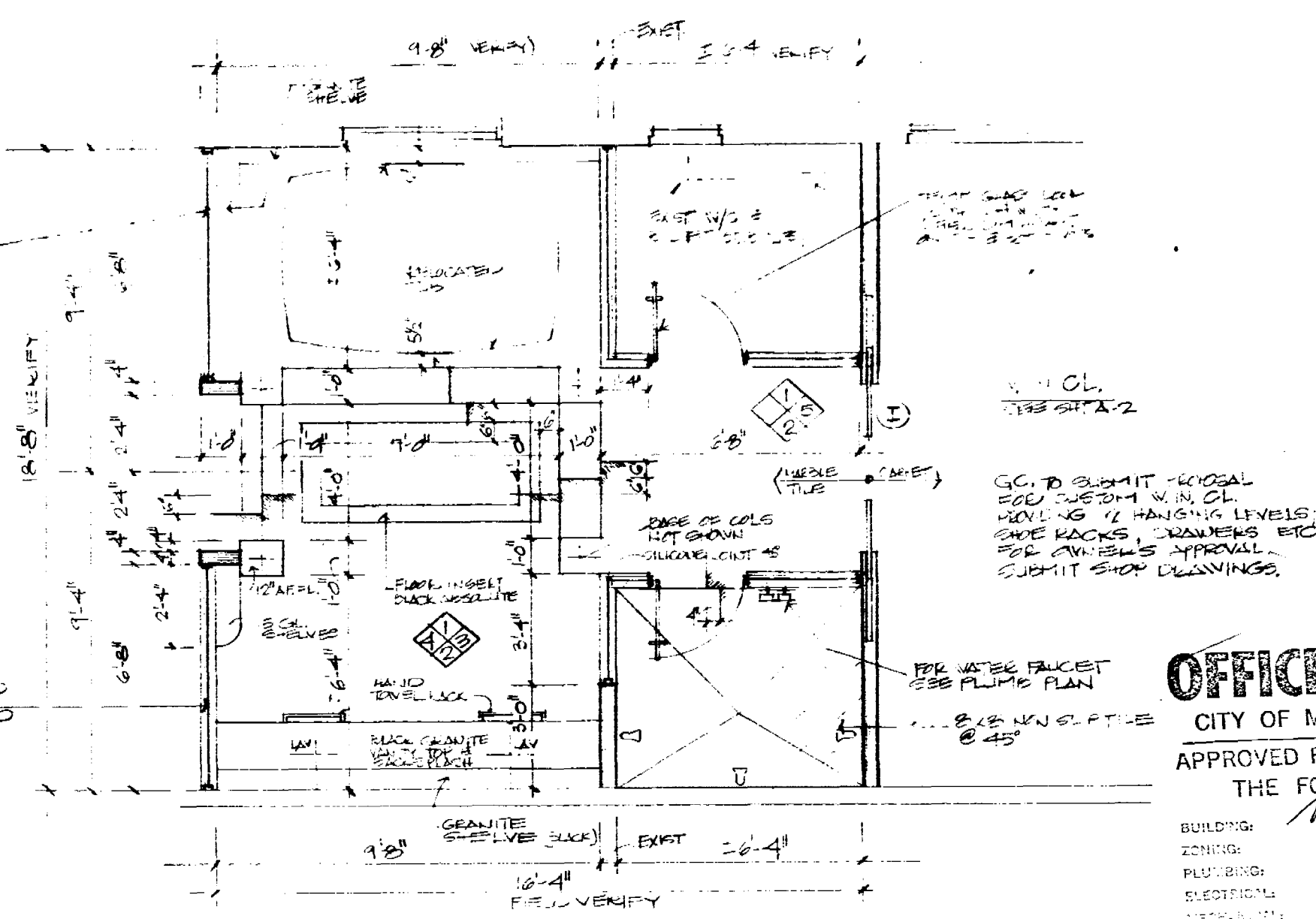
- A. SOLVENT WIPE ALL METAL TO BE CAULKED.
- B. APPLY A COMPLETE AND CONTINUOUS BEAD OF WEATHER-FLEX URETHANE SEALANT CENTERED OVER JOINT FORMER BETWEEN METAL FRAME AND STUCCO SURFACE
- C. TOOL JOINT TO ENSURE PROPER ADHENSION.
- D. CHANGE OF DIRECTION - 90 DEG. ANGLE: APPLY A COMPLETE AND CONTINUOUS APPLICATION OF WEATHER-FLEX URETHANE SEALANT OVER ALL 90 DEG. ANGLES, BOTH HORIZONTALLY AND VERTICALLY.

PAINT TO BE AS MANUFACTURED BY SHERWIN-WILLIAMS OR APPROVED. EQUAL COLORS TO BE SELECTED BY ARCHITECT AND/OR OWNER.

- *STUCCO, CONCRETE:
 - TWO COATS A-100 LATEX-FLAT.
- *METAL GALVANIZED;
 - ONE COAT GALVITE.
- *TWO COATS SILICONE ALKYL ENAMEL-GLOSS.
- *METAL, ORNAMENTAL IRON (REFINISHED):
 - TWO COATS A-100 SATIN LATEX HOUSE AND TRIM.
- *GYPSUM BOARDS (WALLS, CEILINGS):
 - ONE COAT PROMAR 200 LATEX PRIMER.
 - TWO COATS PROMAR 200 LATEX-FLAT.
- *GYPSUM BOARD (BATHROOMS):
 - ONE COAT PROMAR 200 LATEX WALL PRIMER.
 - TWO COATS PROMAR 200 LATEX SEMI-GLOSS.
- *WOOD AND TRIM (EXTERIOR):
 - ONE COAT A-100 ALKYL EXT. WOOD PRIMER.
 - TWO COATS A-100 SATIN LATEX HOUSE AND TRIM.
- *WOOD AND TRIMS (INTERIOR):
 - ONE COAT PROMAR 200 ALKYL ENAMEL UNDERCOATER.
 - TWO COATS PROMAR 200 SEMI-GLOSS ENAMEL.
- *PROVIDE 4' X 8' PANEL SAMPLES ON BUILDING WALL FOR FINAL COLOR APPROVAL.

MILLWORK NOTES:

- Millwork contractor to verify all dimensions and conditions at the job site (building) affecting his work prior to shop drawing submittal.
- Millwork contractor is responsible for all fittings and details. His work shall be set plumb, level and square and it shall sit tight against adjacent surfaces.
- Coordinate with General Contractor for location and installation of wood blocking for anchorage.
- Where electrical work is called for in cabinetry, lighting fixtures to be provided by cabinet contractor. All cut-outs for switches, outlets and wiring, as required, are to be by millwork contractor and coordinated with electrical contractor.
- All cabinets to be constructed of 3/4" plywood throughout.
- General Contractor to provide in-wall blocking for all millwork, counters, wood base, desks, and the like, whether or not indicated on details.

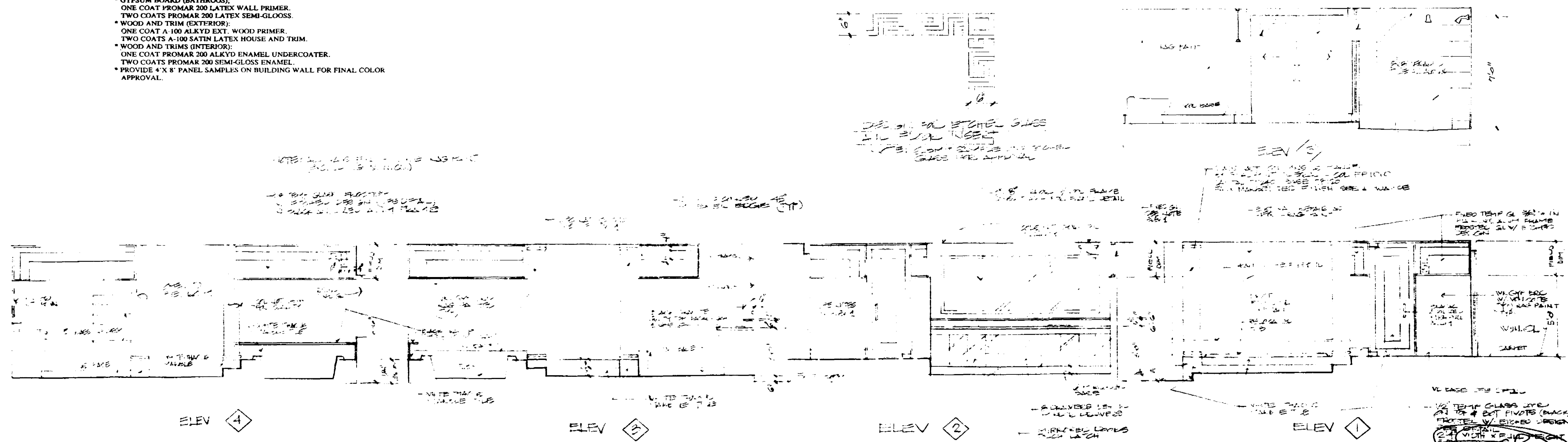


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Building: *9-8/97*
Zoning: *AS 8/8/97*
Planning:
Electrical:
Mechanical:



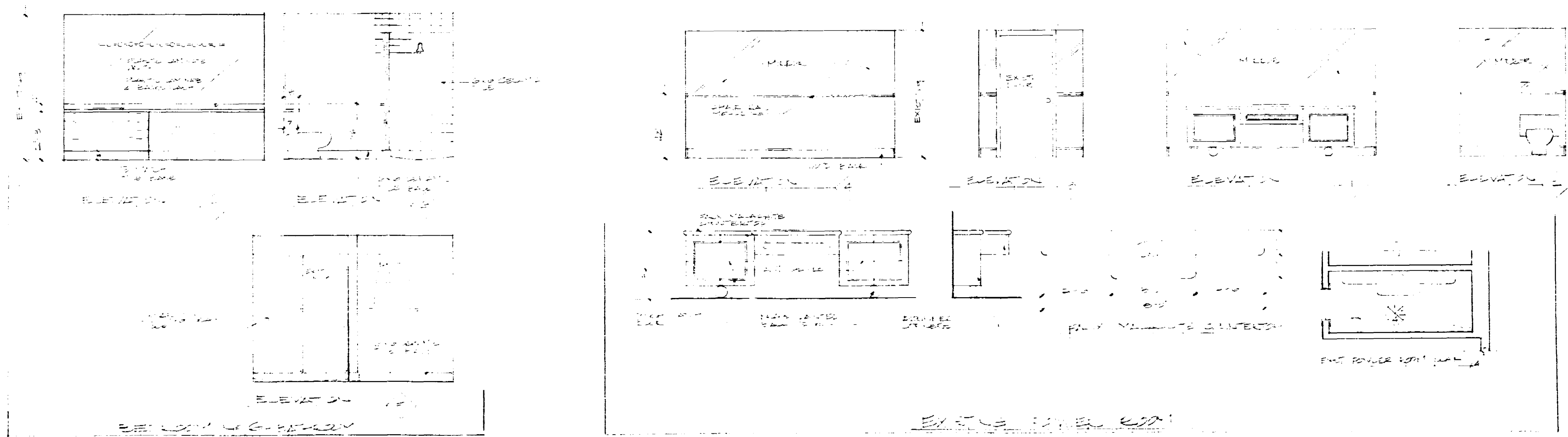
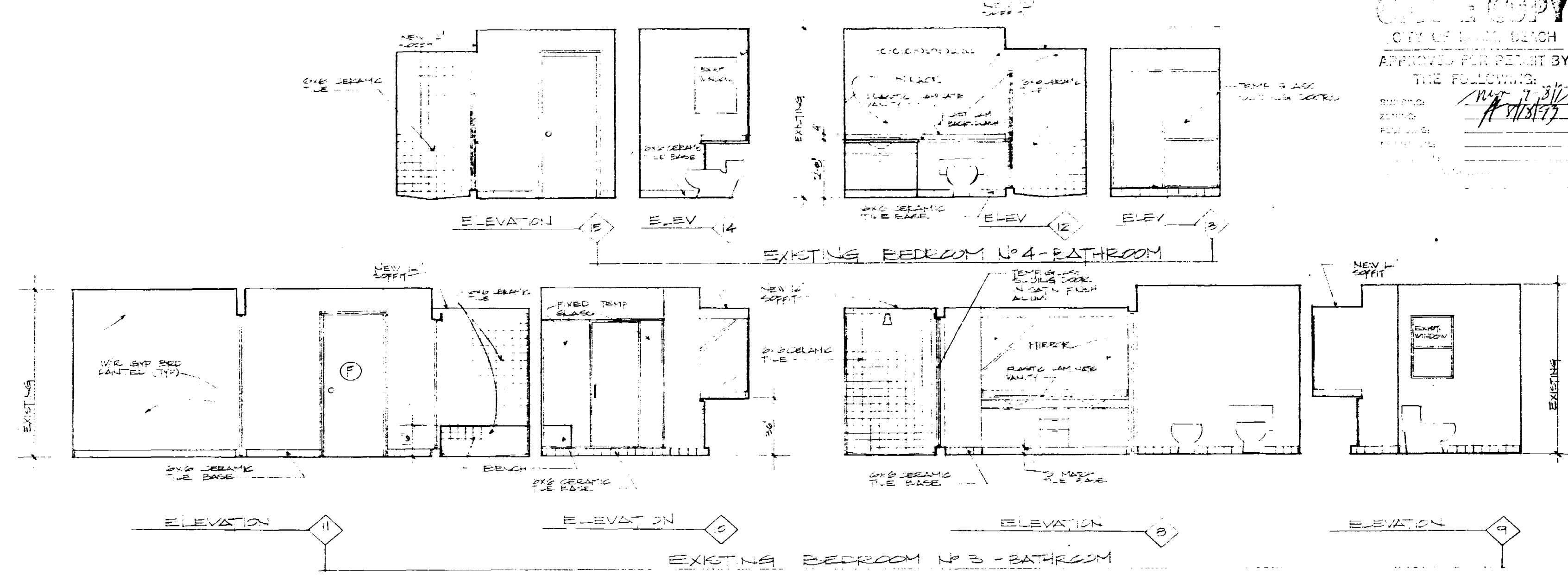
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Addition and Remodeling for:
RESIDENCE of MR. ELIAS ABOUD

REVISIONS	
JOB	93212
DATE	7/93
A-14	15

NOTES FOR ELEVATION AT BEDROOM NO. 2
ELEVATION 14 IS SAME FOR REVERSED

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BUILDING: *7/3/02*
ZONING: *RS-1*
PERMIT NO.: *7/3/02*



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REVISIONS

JOB 93212
DATE 7/02
A-15
16

FINISH SCHEDULE

SPACE	FLOOR	BASE	WALLS	CEILING	HEIGHT	REMARKS
2 CAR GARAGE	EXISTING	---	EXISTING	TEX SYP BO	---	---
POVER	2nd FLOOR	WOOD	GYPSUM BOARD	GYPSUM BOARD	---	* CONSULT ARCHITECT
KITCHEN EATING	---	---	---	---	---	---
MASTER BEDROOM	CARPET	---	---	---	---	---
MASTER BATHROOM	CERAMIC TILE	CERAMIC TILE	W/ GYP BOARD	W/ GYP BOARD	---	---
CLOSET	CARPET	---	---	---	---	---
BEDROOM 2	---	---	---	---	---	---
WALK-IN CLOSET	---	---	---	---	---	---
BEDROOM 3	---	---	---	---	---	---
CLOSET	---	---	---	---	---	---
BATHROOM	CERAMIC TILE	CERAMIC TILE	W/ GYP BOARD	W/ GYP BOARD	---	---
HALL	2nd FLOOR	WOOD	GYPSUM BOARD	GYPSUM BOARD	---	---
WASHER/ DRYER	---	---	---	---	---	---
CORRIDOR	---	---	---	---	---	---

POOL CABANA	W/ GYP BOARD	CERAMIC TILE	CERAMIC TILE	W/ GYP BOARD	W/ GYP BOARD	---	---
BATHROOM	---	---	---	---	---	---	---
CLOSET	---	---	---	---	---	---	---
STAIRS & LANDING	2nd FLOOR	---	---	---	---	---	---
TERRACE	---	---	---	---	---	---	---
BAR-B-Q AREA	---	---	---	---	---	---	---

DOOR SCHEDULE

MARK	DIMENSIONS	TYPE	CONSTR	MATERIAL	FRAME	FINISH	REMARKS
A	36" x 60" x 1 3/4"	FRENCH	1	ENCL PLATE	WOOD/ GLASS	WOOD	PAINT
B	36" x 60" x 1 3/4"	FRENCH	1	SOLID CORE	WOOD	---	---
C	36" x 60" x 1 3/4"	---	---	---	---	---	---
D	36" x 60" x 1 3/4"	---	---	---	---	---	---
E	EXISTING	---	---	---	---	---	---
F	36" x 60" x 1 3/4"	---	---	---	---	---	---
G	36" x 60" x 1 3/4"	---	---	---	---	---	---
H	36" x 60" x 1 3/4"	---	---	---	---	---	---
I	36" x 60" x 1 3/4"	POCKET	1	SOLID CORE	---	---	---
J	36" x 60" x 1 3/4"	---	---	---	---	---	---
K	36" x 60" x 1 3/4"	---	---	---	---	---	---
L	36" x 60" x 1 3/4"	---	---	---	---	---	---
M	36" x 60" x 1 3/4"	---	---	---	---	---	---
N	36" x 60" x 1 3/4"	---	---	---	---	---	---

- APPLICABLE ITEMS OF CHAPTER 30 OF METRO CODE RE: INTRUSION AND BURGLARY SECURITY
- ALL LOCKS ON EXTERIOR DOORS SHALL BE CAPABLE OF RESISTING A FORCE OF 300 LBS. APPLIED IN ANY MOVABLE DIRECTION AND IN ACCORDANCE WITH RESISTANCE STANDARDS SET FORTH IN METRO CODE 30.
 - ALL SINGLE EXTERIOR SWING DOORS SHALL HAVE A LOCK TO BE KEY OPERATED FROM EXTERIOR WITH A MIN. OF 6000 POSSIBLE KEY CHANGES OR LOCKING AUXILIARY SINGLE DEAD BOLT WITH HARDENED BOLT INSERTS.
 - THE ACTIVE LEAF OF PAIRS OF EXTERIOR SWING DOORS SHALL HAVE SAME LOCKS AS REQUIRED FOR SINGLE EXTERIOR SWING DOORS. THE INACTIVE LEAF OF THESE PAIRS OF DOORS SHALL HAVE MULTIPLE POINT LOCKS WITH 5/8" MIN. THROW BOLTS WITH WASER. J.
 - HINGES ON EXTERIOR OUT SWINGING DOORS SHALL HAVE NON-REMOVABLE PINS.
 - PAIRS OF ALL EXTERIOR SWING TYPE IN SWING DOORS SHALL BE RABBETED, OR OF SIMILAR FABRICATION, TO PREVENT DEFEATING THE PURPOSE OF THE STRIKE AND THE INTEGRITY OF LOCKS AND LATCHES.
 - SINGLE SWINGING EXTERIOR DOORS, IF WOOD SHALL BE SOLID CORE OF NOT LESS THAN 1 3/4" THICK.
 - GLASS AND EXTERIOR DOORS SHALL COMPLY WITH THE AMERICAN NATIONAL STANDARDS INSTITUTE'S - STANDARD 297.1.
 - VISION PANELS IN EXTERIOR DOORS OTHER THAN GLAZING WITHIN 48" OF THE INSIDE LOCKING ACTIVATING DEVICE OF LOCKS AND SWINGING DOORS SHALL COMPLY WITH AMERICAN NATIONAL STANDARDS INSTITUTE'S - STANDARD 297.1.
 - FRONT MAIN ENTRANCE DOORS SHALL BE PROVIDED WITH A DOOR LOCK OR VISION PANELS.

NOTES:
1. ALL EXISTING DOORS & FRAMES TO BE REPAIRED OR REPLACED.
2. ALL DOORS, FRAMES, BASES, WALLS AND CEILING TO BE PAINTED.
3. ON SECOND FLOOR: ALL NEW HARDWOOD FLOOR FINISH TO BE GRUED.

FINISH SCHEDULE

SPACE	FLOOR	BASE	WALLS	CEILING	HEIGHT	REMARKS
POVER	2nd FLOOR	WOOD	EXISTING	EXISTING	---	---
STAIRS	---	---	---	---	---	---
EXTERIOR WALK	---	---	---	---	---	---
POOL DECK	---	---	---	---	---	SEE FLOOR PLAN

GROUND FLOOR	ENTRY/ COVER	EXISTING	EXISTING	EXISTING	EXISTING	---	---
STREET ROOM	---	---	---	---	---	---	---
DINING ROOM	---	---	---	---	---	---	---
KITCHEN	---	---	---	---	---	---	---
BREAKFAST ROOM	---	---	---	---	---	---	---
FAMILY ROOM	---	---	---	---	---	---	---
HALL	---	---	---	---	---	---	---
POWDER ROOM	---	---	---	---	---	---	---
KITCHEN	---	---	---	---	---	---	---
LAUNDRY	---	---	---	---	---	---	---
MAID'S ROOM	---	---	---	---	---	---	---
BATHROOM	---	---	---	---	---	---	---
CLOSET	---	---	---	---	---	---	---
STORAGE 1 & 2	---	---	---	---	---	---	---

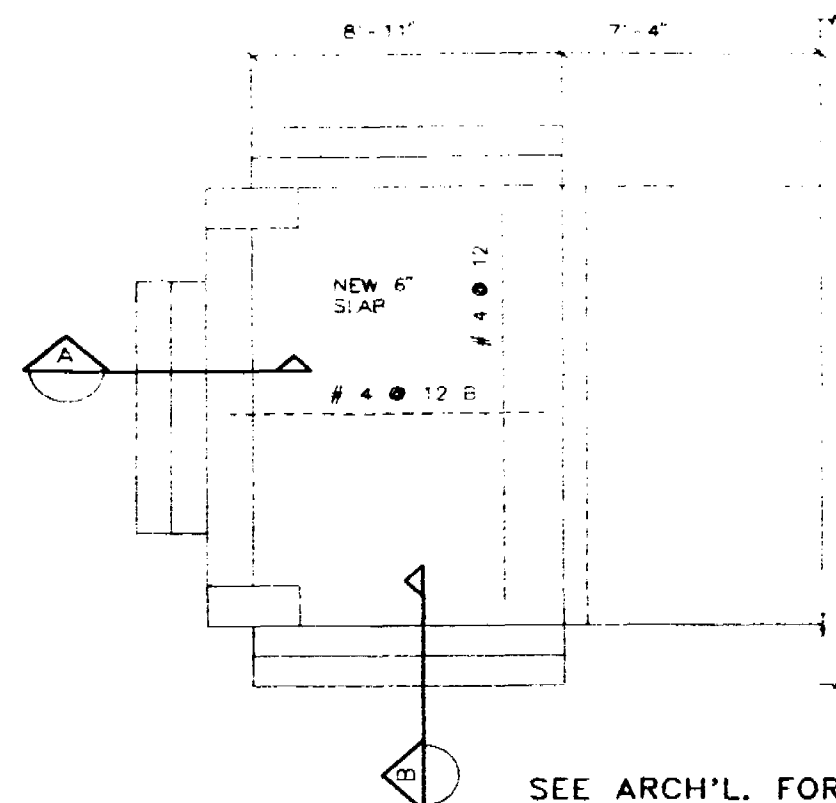
NOTES:
1. ALL NEW DOOR BASES TO MATCH EXISTING.
2. PREPARE ALL EXISTING PAINTED SURFACES TO RECEIVE NEW PAINT.
3. ALL DOORS, FRAMES, BASES, WALLS AND CEILING TO BE PAINTED.
4. ON SECOND FLOOR: ALL NEW HARDWOOD FLOOR FINISH TO BE GRUED.

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ARCHITECTS
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Addition and Remodeling for:
RESIDENCE of MR. ELIAS ABOUD

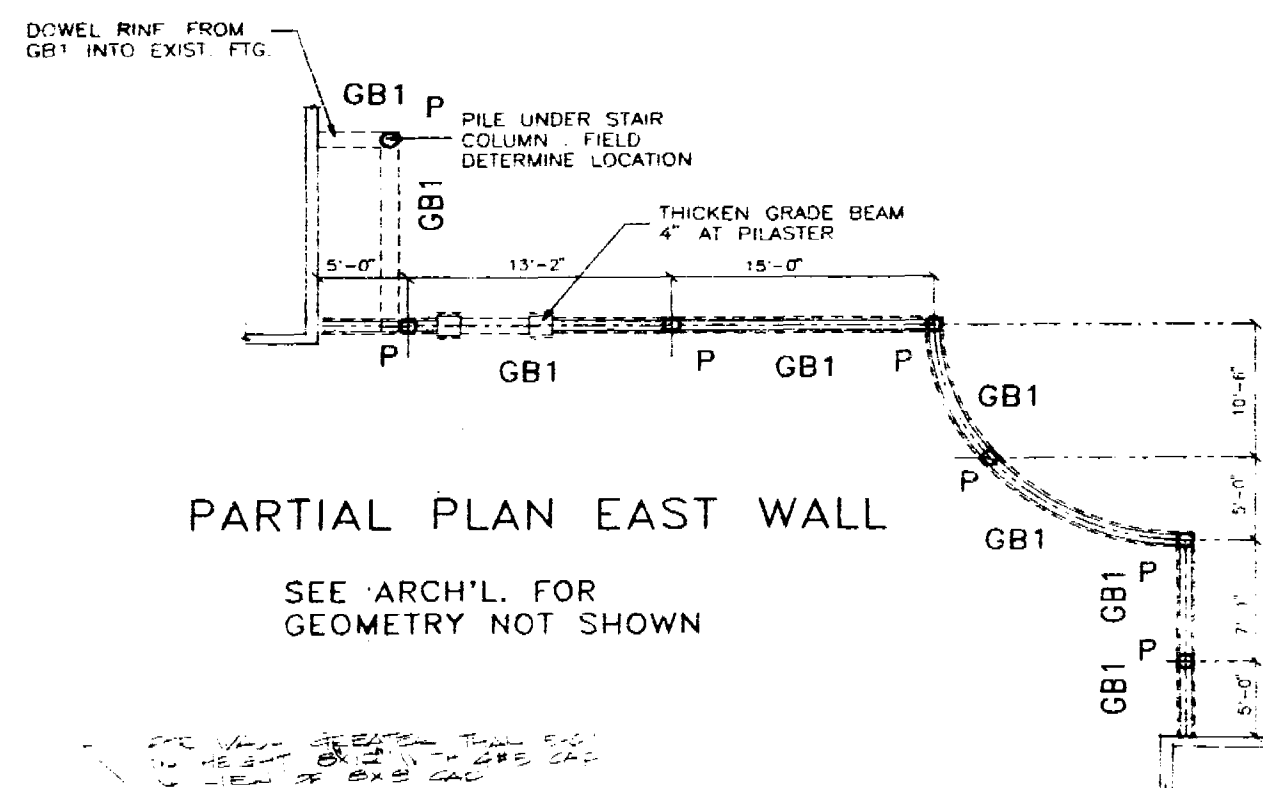
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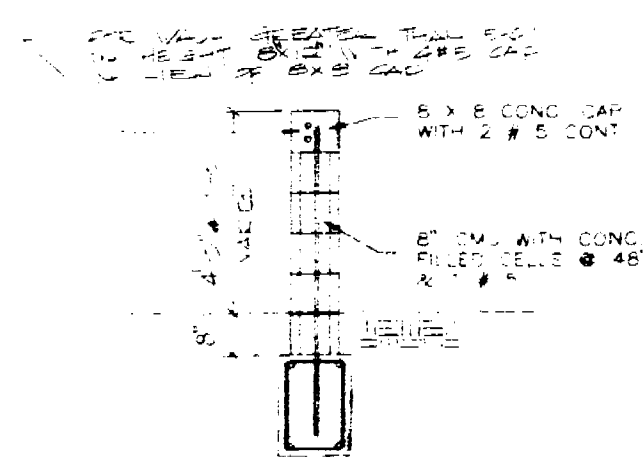
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PARTIAL PLAN FRONT ENTRANCE



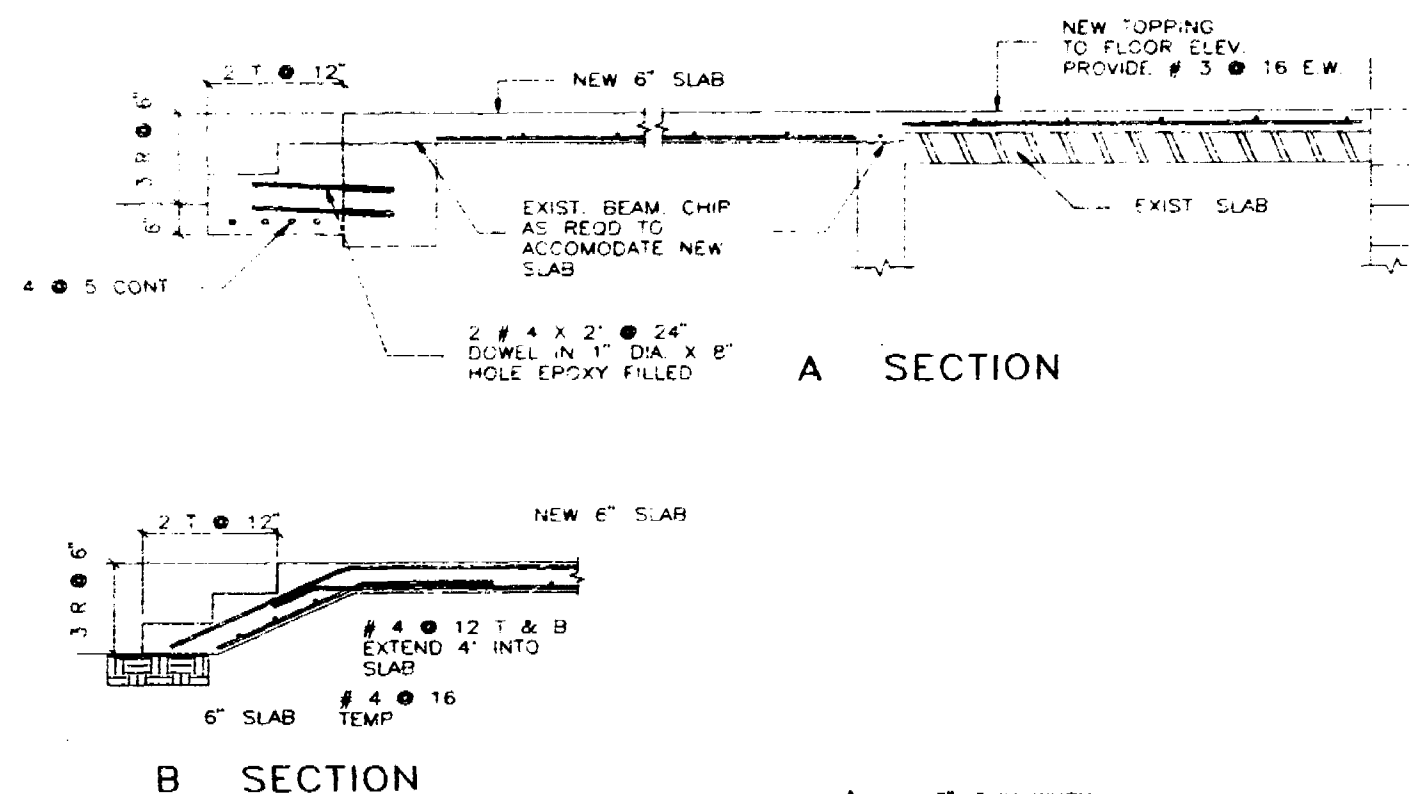
PARTIAL PLAN EAST WALL

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GEOMETRY NOT SHOWN



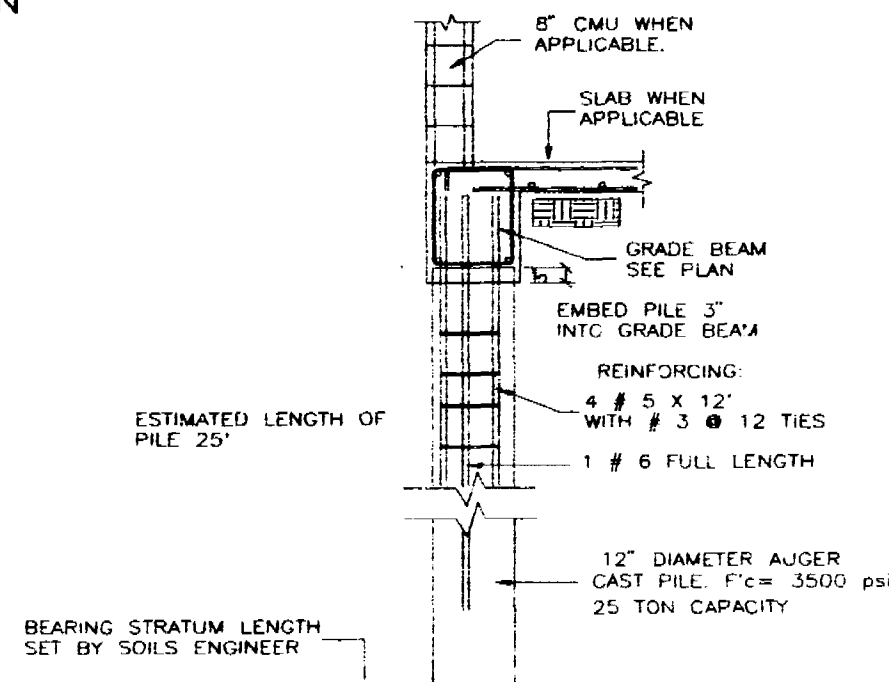
WALL SECTION

SEE ARCH'L. FOR
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SEE DET. A-B



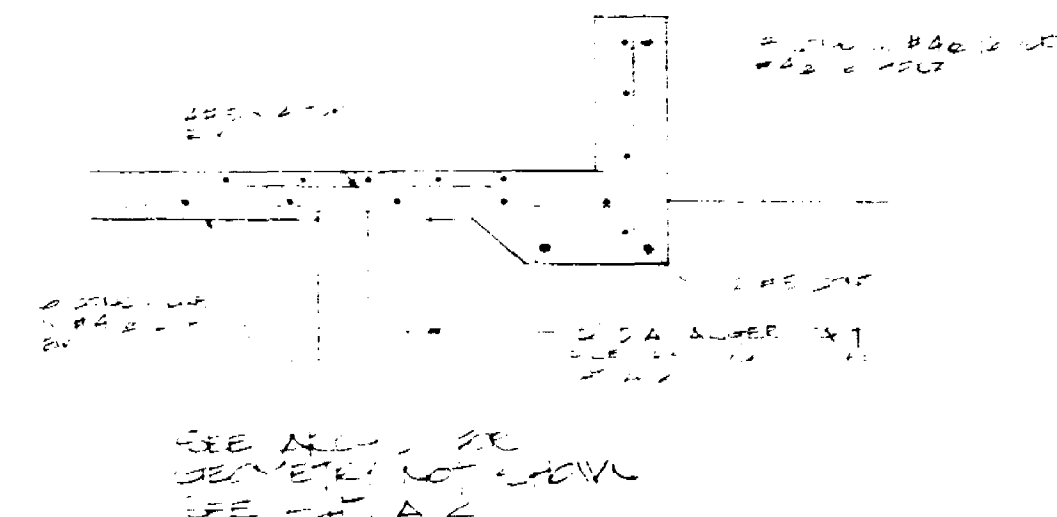
A SECTION

B SECTION



TYPICAL AUGER GROUT INJECTED PILE

- 1- PILE LENGTH BASED ON PILE AUGERED 5' INTO ROCK STRATUM. SOIL ENGINEER SHALL INSPECT ALL PILE INSTALLATIONS.
- 2- ALL PILES SHALL BE CENTERED WITH GRADE BEAM CENTROID. NOTIFY ENGINEER ON ALL ECCENTRICITIES BETWEEN PILE & GRADE BEAMS. IF REQUIRED ADDITIONAL FRAMING WILL BE PROVIDED



SEE ARCH'L. FOR
GEOMETRY NOT SHOWN
SEE DET. A-2

GENERAL STRUCTURAL NOTES

- 1.0 GENERAL:
 - A. STRUCTURAL DRAWINGS SHALL BE WORKED TOGETHER WITH CIVIL, ARCHITECTURAL, MECHANICAL, AND ELECTRICAL DRAWINGS TO LOCATE DERESSED SLABS, SLOPES, DEAIRS, OUTLETS, RECESSES, OPENINGS, BOLT SETTINGS, SLEEVES, DIMENSIONS, ETC.
 1. ALL DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE IN WRITING FOR CLARIFICATION BEFORE PROCEEDING WITH THE WORK.
 - B. ALL MATERIALS AND CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH THE SOUTH FLORIDA BUILDING CODE AND THE LATEST ACI, ASTM, AND ALSO SPECIFICATIONS AND RECOMMENDED PRACTICE.
 - C. CONTRACTORS SHALL VERIFY ALL DIMENSIONS BEFORE PROCEEDING WITH THE WORK.
 - D. NO DIMENSION SHALL BE SCALED FROM THE DRAWINGS.
- 1.02 BUILDING DESIGNED FOR THE FOLLOWING LIVE LOADS:

ROOF	30 PSF.
FLOOR LOADS	40 PSF.
STAIR & CORRIDORS	100 PSF.
WIND	AS PER S.F.B.C. FOR 120 MPH.
- 2.01 FOUNDATIONS:
 - A. FOUNDATIONS ARE BASED ON AUGER CAST CONCRETE PILES. PILES HAVING THE FOLLOWING SIZE AND CAPACITY.
 1. 12" DIAMETER 25 TONS, COMPRESSION
 - B. LENGTH OF PILES SHALL BE BASED ON THE APPROVAL OF THE SOILS ENGINEER MONITORING THE PILE INSTALLATION.
 - C. CENTER LINE OF PILE SHALL BE CENTER LINE OF GRADE BEAM AND COLUMNS (U.O.M.)
- 3.01 GROUND FLOOR SLABS:
 - A. SLAB SHALL BE POURED OVER 1 LAYER OF PLASTIC MEMBRANE, 6 MILL VISQUEEN OR SIMILAR.
- 4.01 CONCRETE:
 - A. CAST IN PLACE CONCRETE SHALL BE A MIX DESIGN IN ACCORDANCE WITH ACI - 318 TO ACHIEVE THE SPECIFIED COMPRESSIVE STRENGTH OF 3000 PSI
 - C. ALL CONCRETE SHALL HAVE A SLUMP OF 4 TO 6 INCHES REINFORCEMENT FOR CONCRETE:
- 5.0 REINFORCEMENT:
 - A. SHALL BE DEFORMED BARS FREE FROM RUST, MILL SCALE, PAINT OR OTHER COATINGS THAT WILL REDUCE BOND AND CONFORMING TO THE STANDARD SPECIFICATIONS FOR DEFORMED BARS FOR CONCRETE REINFORCING, ASTM A 615, GRADE 60
 - B. ALL BARS SHALL BE DETAILLED AND FABRICATED FOLLOWING THE REQUIREMENTS OF ACI-318. PLACING OF BARS SHALL CONFORM TO "CRSI RECOMMENDED PRACTICES FOR PLACING REINFORCING BARS"
 - C. UNLESS OTHERWISE SHOWN ON PLANS, LAP ALL BARS 36 BAR DIAMETERS. BEND ALL HORIZONTAL BEAM AND WALL BARS 12" AROUND CORNERS.
 - D. MINIMUM CONCRETE COVER ON REINFORCING BARS SHALL BE AS FOLLOWS, UNLESS OTHERWISE NOTED.

1. CONCRETE BEAMS AND COLUMNS	1 1/2"
2. FORMED SURFACES EXPOSED TO WEATHER	2"
3. CONCRETE DEPOSIT AGAINST GROUND	3"
4. STRUCTURAL SLABS	3/4"

MASONRY:

- A. NON-LOAD BEARING MASONRY SHALL CONFORM TO ASTM C129 "HOLLOW NON-LOAD BEARING CONCRETE MASONRY UNITS". PLACEMENT SHALL BE MADE AFTER OVERHEAD STRUCTURAL UNIT DEFLECTS DUE TO APPLIED LOADING.
 - B. LOAD-BEARING MASONRY (NON-REINFORCED) SHALL CONFORM TO ASTM C90 "HOLLOW LOAD-BEARING CONCRETE MASONRY UNITS", AND HAVE A COMPRESSIVE STRENGTH OF 1500 PSI. ALL LOAD-BEARING MASONRY SHALL BE PLACED PRIOR TO THE CONCRETE PLACEMENT OF COLUMNS OR BEAMS.
 - C. MORTAR SHALL COMPLY WITH THE PROPERTIES AND PROPORTIONS OF ASTM C270 EXCEPT THAT SLAG CEMENTS SHALL NOT BE USED. MORTAR SHALL BE TYPE M. MINIMUM COMPRESSIVE STRENGTH 28 DAYS OF 2500 PSI. MINIMUM MIXING TIME FIVE MINUTES AFTER ALL INGREDIENTS ARE ADDED.
 - D. ALL EXTERIOR MASONRY WALLS SHALL BE REINFORCED WITH "BUREAU-WALL" TRUSS TYPE, STANDARD No. 8 MASONRY REINFORCEMENT OR A/E APPROVED EQUIVALENT AT EVERY OTHER BLOCK COURSE AND CONNECTED TO COLUMNS WITH DOVETAIL ANCHORS (1" x 5" x 12 GAGE CORRUGATED, GALVANIZED) IN DOVETAIL SLOTS (20 GAGE GALVANIZED). ALL MASONRY CELLS ADJACENT TO COLUMNS SHALL BE FILLED WITH MORTAR TO BOND ANCHOR.
 - E. ALL MASONRY SHALL BE PLACED TRUE AND PLUMB.
- 7.01 TIMBER:
- A. ALL TIMBER DESIGN AND FABRICATION SHALL CONFORM TO THE "NATIONAL DESIGN SPECIFICATION FOR STRESS GRADED LUMBER AND JOINT FASTENINGS"
 - B. SUBMIT SHOP DRAWINGS FOR ALL WOOD STRUCTURAL MEMBERS AND CONNECTIONS TO THE ENGINEER FOR REVIEW PRIOR TO FABRICATION.
 - C. ALL TIMBER SIZES, CONNECTORS, FRAMING PLANS NOT SHOWN ON STRUCTURAL DRAWINGS SHALL BE PROVIDED BY THE FABRICATOR AND DETAILED ON HIS SHOP DRAWINGS.
 - D. ALL MATERIALS AND CONNECTIONS ARE SUBJECT TO THE APPROVAL OF THE STRUCTURAL ENGINEER.
 - E. PROVIDE HURRICANE ANCHOR STRAPS, AS REQUIRED BY LOCAL BUILD CODE, TO ALL MEMBERS SUBJECT TO WIND LOADS.
 - F. USE STRESS-RATED TIMBER FOR ALL STRUCTURAL WOOD MEMBERS. PROVIDE THE MINIMUM PROPERTIES FOR WOOD STRUCTURAL MEMBERS, UNLESS OTHERWISE NOTED ON THE DRAWINGS.

BENDING STRESS:	1,200 PSI
MODULUS OF ELASTICITY:	1,700,000 PSI
- 10.0 PLYWOOD SHEATHING:
- A. SHEATHING SHALL HAVE A MINIMUM THICKNESS OF 5/8" PLYWOOD PANEL SHALL BE NAILED TO SUPPORTS WITH 8d NAILS AT SPACING OF 6" O.C. AT PANEL EDGES AND 12" O.C. AT INTERMEDIATE SUPPORTS.

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CITY OF MIAMI BEACH
APPROVED FOR PERMIT BY
THE FOLLOWING:

BUILDING *M.A. 9-28/92*
ZONING
PLANNING
ELECTRICAL
MECHANICAL
FIRE
ENGINEERING

REVISIONS

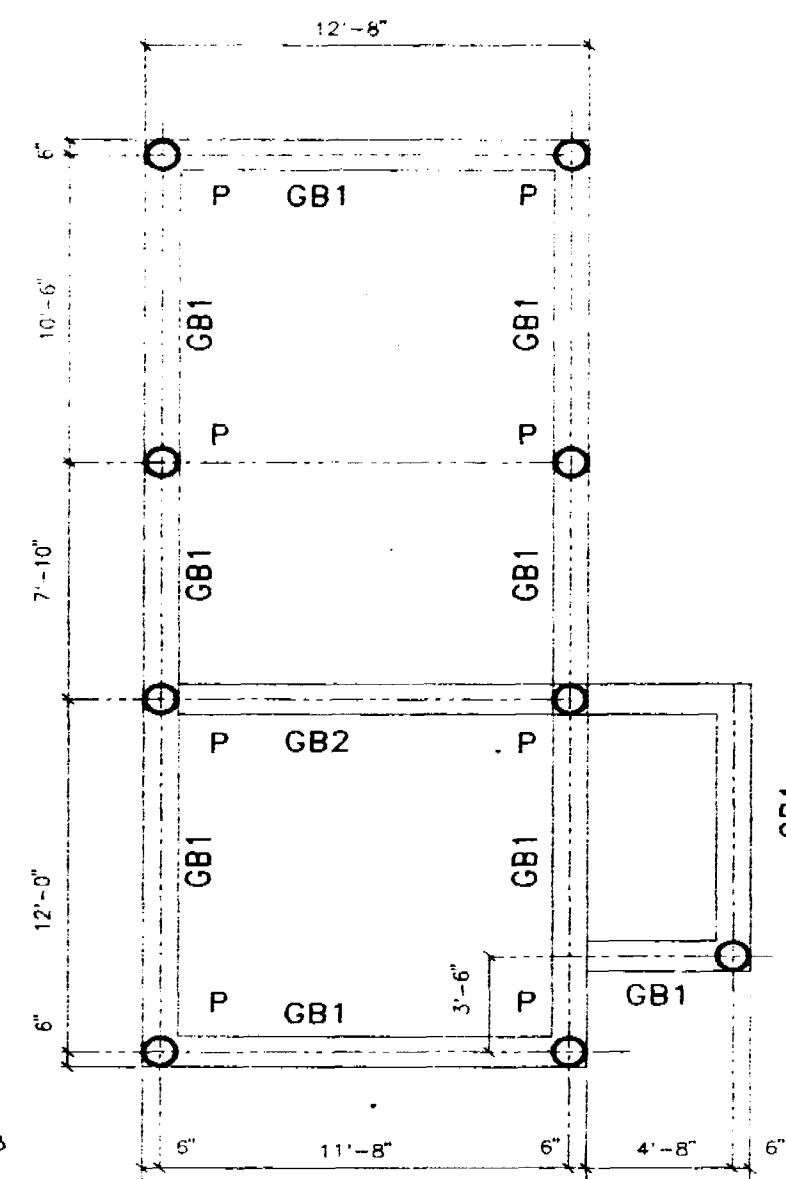
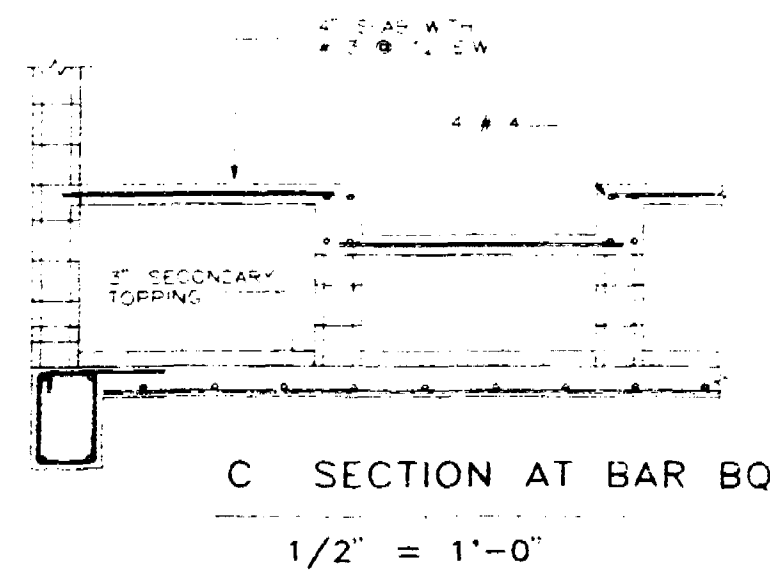
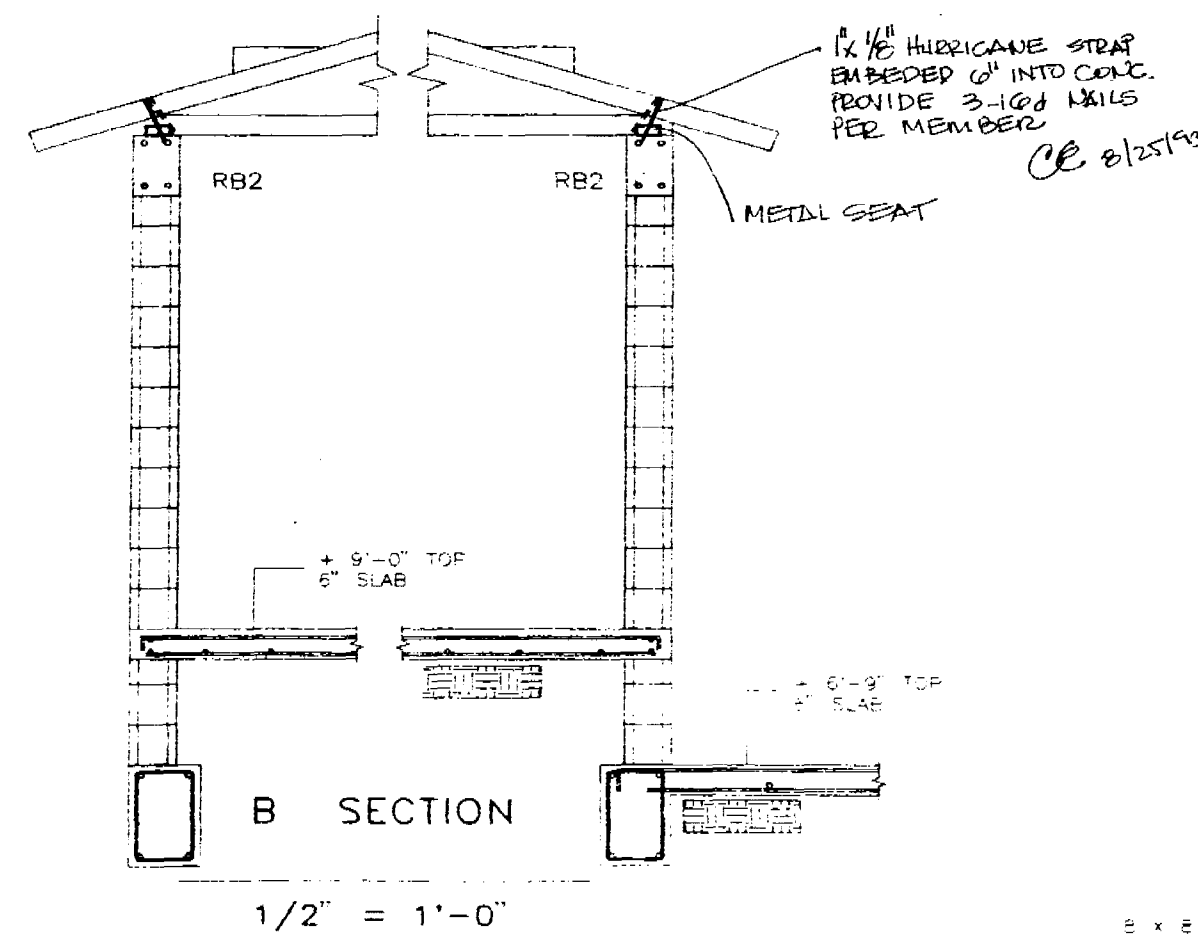
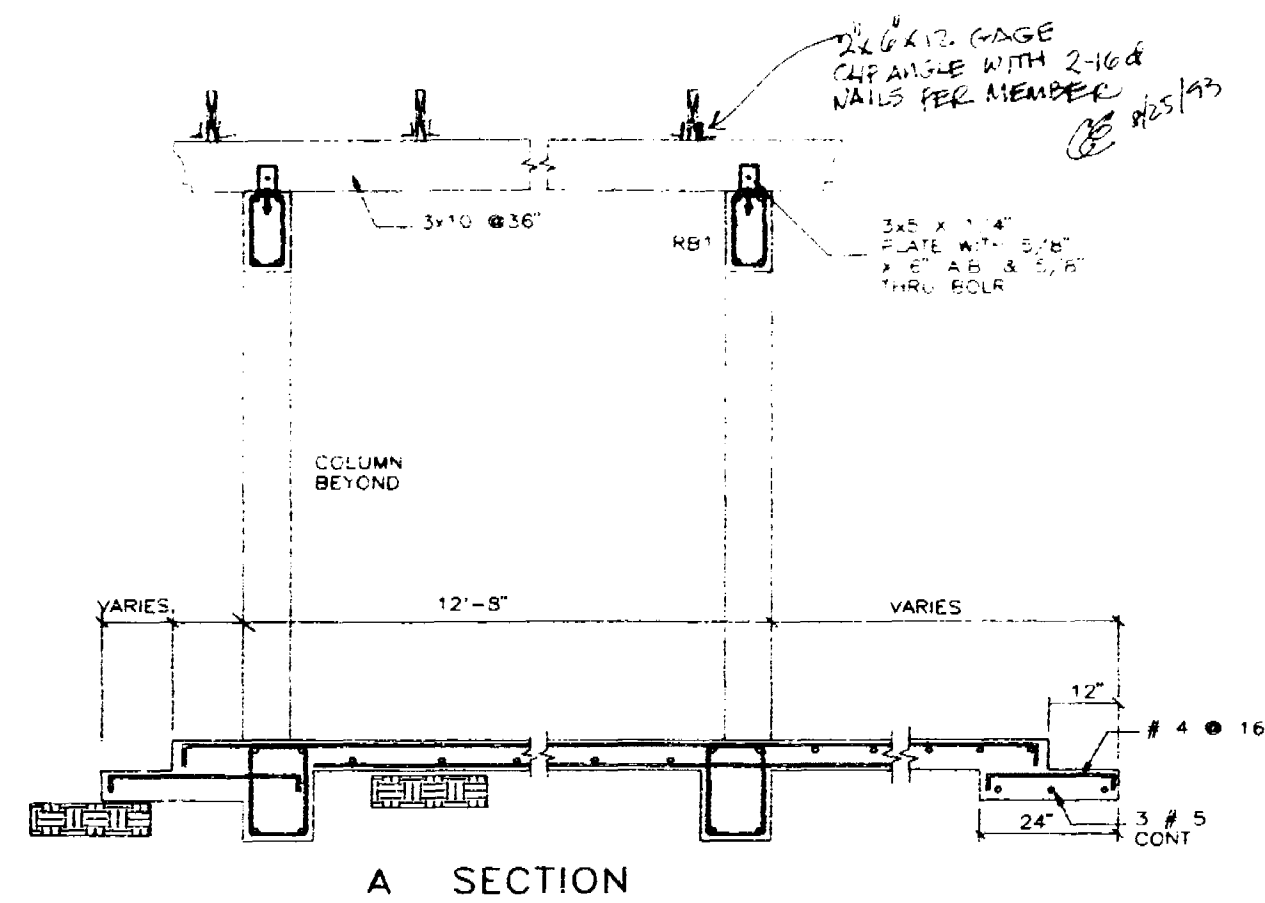
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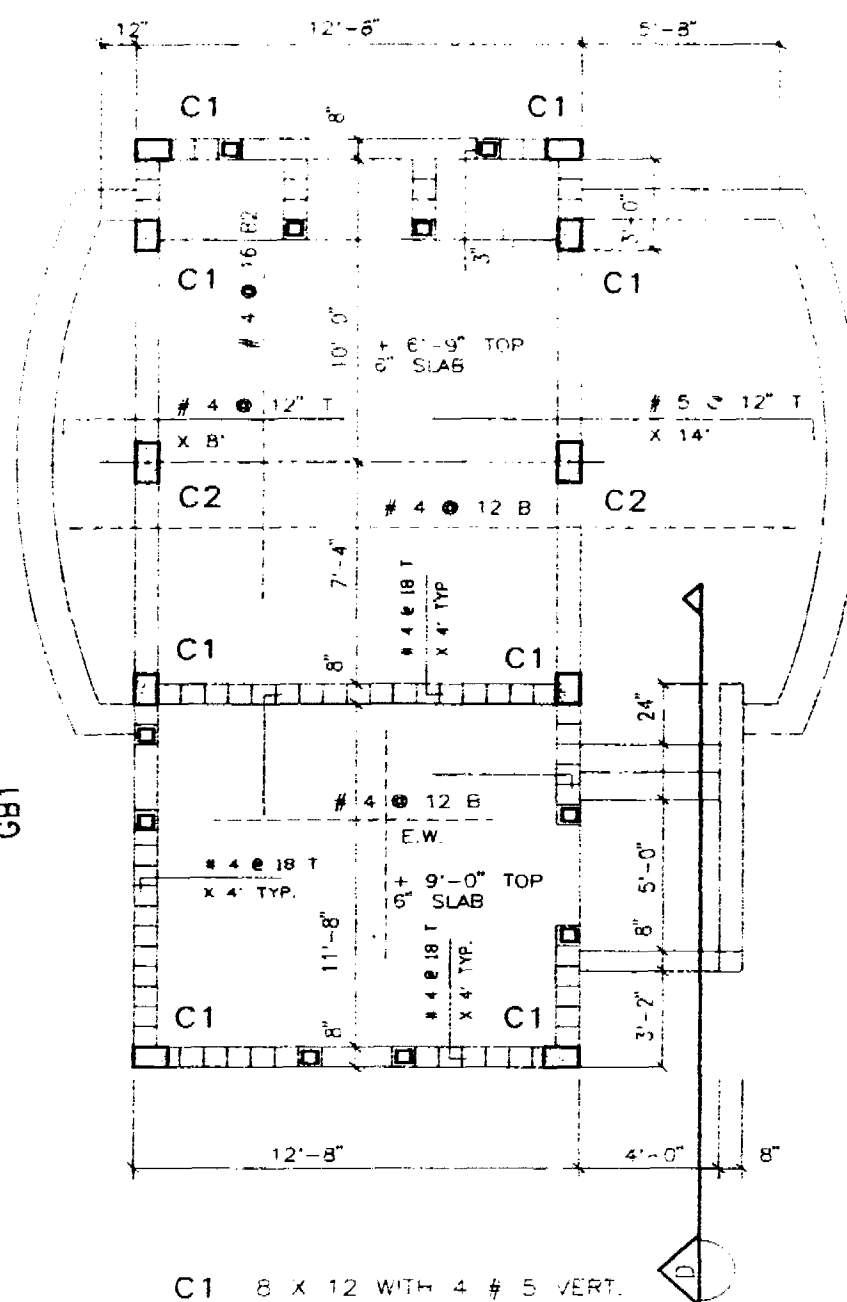
S-1
18

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ARCHITECTS
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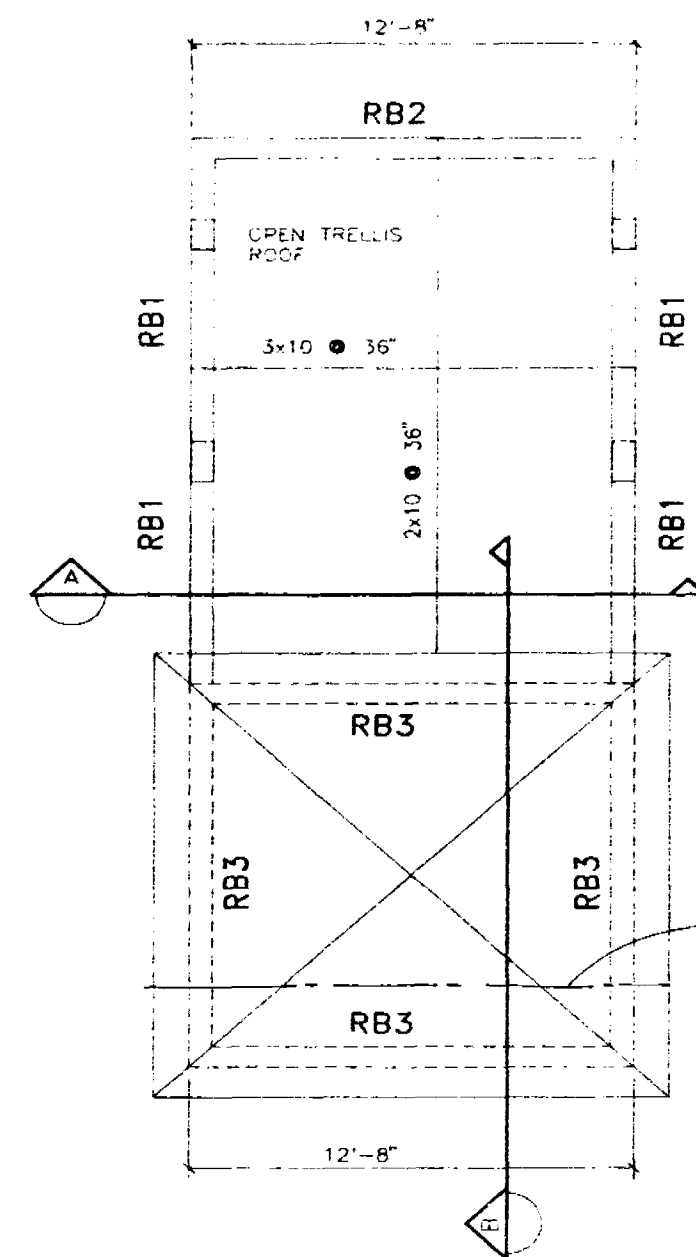
Addition and Remodeling for:
RESIDENCE of MR. ELIAS ABOUD



P 12" DIAMETER AUGER CAST PILE
25 TON CAPACITY



C1 8 X 12 WITH 4 # 5 VERT.
3 @ 12 TIES
C2 8 X 16 WITH 4 # 5 VERT.
3 @ 8 TIES

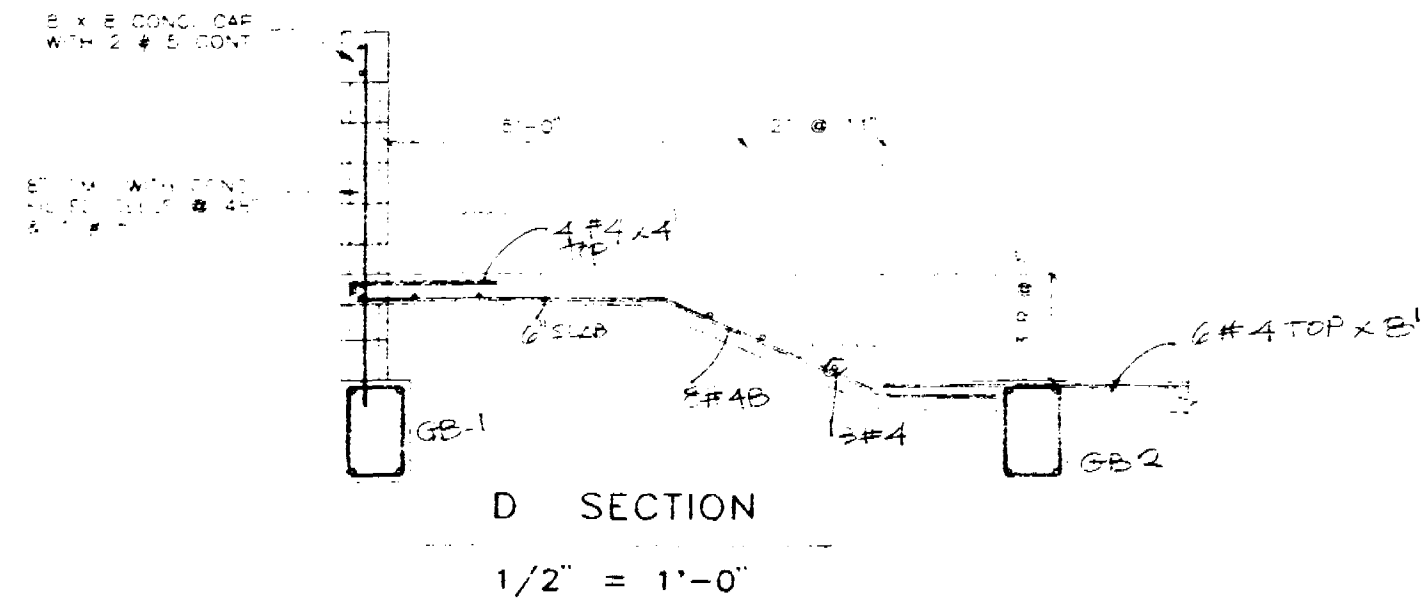


WOOD TRUSSES
@ 24" O.C. UNDER
5/8" EXT. PLYND.
CE 8/25/93

CONCRETE BEAM SCHEDULE

MARK	SIZE B" X H"	ELEV.	REINFORCING		STIRRUPS
			BOT	TOP	
GB1	12 X 20		3 # 6	3 # 6	# 3 @ 12
GB2	12 X 20		3 # 6	3 # 7	# 3 @ 12
RB1	8 X 12	15'-10"	2 # 5	2 # 5	# 3 @ 9
RB2	8 X 12	15'-10"	2 # 5	2 # 5	# 3 @ 48
RB3	8 X 12	17'-2"	2 # 5	2 # 5	# 3 @ 48

NOTES: RB1 HALLWAY SEE ARCH. FOR GEOMETRY
PROVIDE 2 # 4 DIAGONAL AT ARC SIDE



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CITY OF MIAMI BEACH
APPROVED FOR PERMIT BY
THE FOLLOWING:

DESIGNED: Mr. 9-8/93
CHECKED: [Signature]
APPROVED: [Signature]
DATE: 8/93

MARTINEZ POSE
ARCHITECTS
4131 LACUNA - CORAL GABLES - FL 33146 - (305) 446-1166

Addition and Remodeling for:
RESIDENCE of MR. ELIAS ABOUD

REVISIONS	
IOB 83212	
DATE 8/93	
S-2	
19	

COMBINED ENGINEERING SCIENCES
270 - 9101

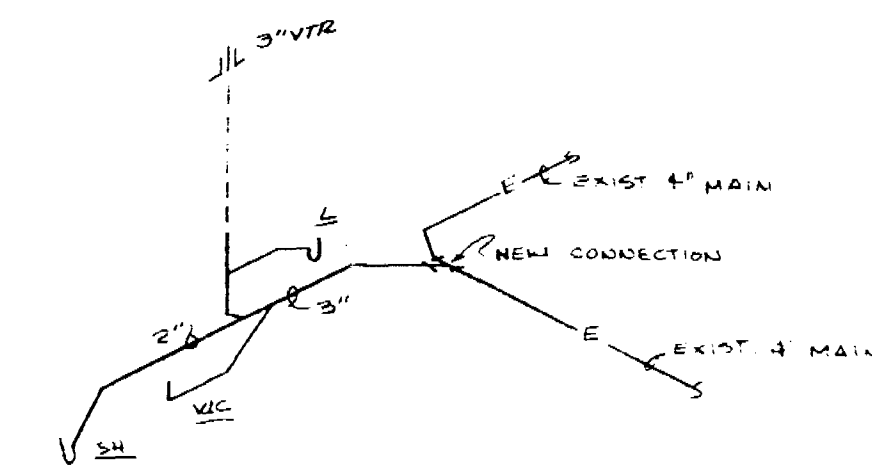
8-11-93

GENERAL NOTES

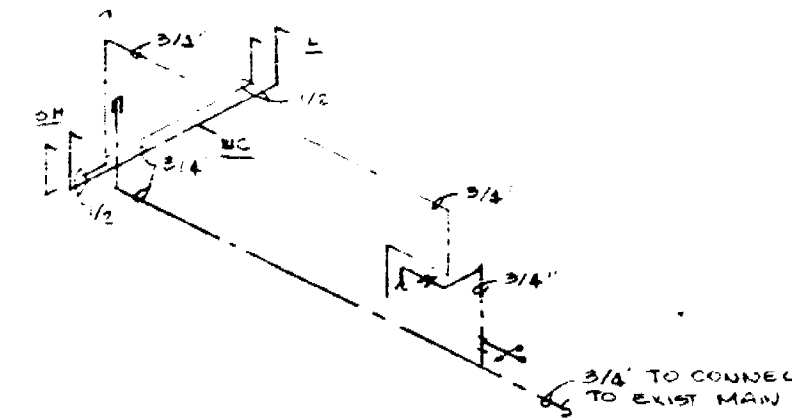
1. SCOPE OF WORK:
 - A. CONTRACTOR SHALL PROVIDE ALL EQUIPMENT, MATERIALS AND LABOR FOR A COMPLETE HVAC INSTALLATION IN ACCORDANCE TO THESE DIAGRAMMATICAL DRAWINGS.
 - B. MATERIAL AND WORKMANSHIP SHALL BE IN ACCORDANCE TO THE LATEST EDITION OF THE STANDARD BUILDING CODE.
 - C. CONTRACTOR SHALL BASED HIS BID AFTER FAMILIARIZING HIMSELF WITH ALL EXISTING AS-BUILT CONDITIONS.
 - D. EXISTING PLUMBING AND AC EQUIPMENT AT THE GUEST HOUSE SHALL BE REMOVED AND REPLACED BY NEW ONE AS SHOWN. IN MAIN HOUSE REMOVE ALL EXISTING PLUMBING IN THE WAY OF NEW BATHROOM LAYOUT. REPLACE EXISTING GALVANIZED STEEL WATER PIPING WITH NEW COPPER PIPING.
 - E. CONTRACTOR SHALL CHECK ALL CAST IRON PIPING AND REPLACE DAMAGED PORTIONS WITH PVC AS NECESSARY.
 - F. CONTRACTOR SHALL CHECK ALL NEW AND EXISTING WATER AND SANITARY CONNECTIONS PRIOR TO PATCHING SO AS TO AVOID ANY LEAKS WHICH ARE PRESENTLY EXISTING OR MAY ARISE AS A DIRECT RESULT OF THESE NEW REMODELING.
 - G. CONTRACTOR SHALL SUPPLY AND INSTALL ALL MISSING LINEAR AND CEILING DIFFUSERS PRESENTLY MISSING IN THE MAIN HOUSE AC SYSTEM. CONTRACTOR SHALL ALSO STARTUP EXISTING AC SYSTEMS AND FURNISH A LIST OF NECESSARY REPAIRS TO BE DONE TO EACH UNIT AND SUBSEQUENT COST OF REPAIRS FOR OWNER'S APPROVAL.
 - H. CONTRACTOR TO REPLACE ALL THERMOSTATS IN MAIN HOUSE.
 - I. CONTRACTOR SHALL FLUSH OUT EXISTING MAIN HOUSE WATER HEATER AND REPLACE ELECTRIC RESISTANCE IF NECESSARY.
 - J. CONTRACTOR SHALL OBTAIN APPROVAL OF SHOP DRAWINGS SUBMITTALS OF MATERIAL AND EQUIPMENT TO SUBSTITUTE BASIS OF DESIGN EQUIPMENT AND MATERIALS NOTED ON THESE DRAWINGS TEN DAYS PRIOR TO BID DATE. AFTER THIS DATE NO SUBSTITUTIONS SHALL BE ADMITTED.
2. CONTRACTOR SHALL VERIFY ALL EQUIPMENT, DUCTWORK, DIFFUSERS AND GRILLES TO WORK AND FIT PROPERLY WITH ALL OTHER TRADES AND ASSURE THAT THESE ITEMS DO NOT CONFLICT WITH ELECTRICAL FIXTURE LOCATIONS.
3. VERIFY EXACT ROUTING OF GUEST HOUSE DUCTWORK AND CONDENSATE DRAINS WITH STRUCTURAL ELEMENTS. LOCATION AND SIZE OF ALL SLEEVES THROUGH STRUCTURAL ELEMENTS SHALL BE SUBMITTED TO ARCHITECT FOR APPROVAL PRIOR TO EXECUTION.
4. COORDINATE EXACT LOCATION OF ALL SUPPLY AND RETURN AIR CEILING DEVICES WITH ARCHITECTURAL CEILING AND LIGHT FIXTURE LOCATIONS.
5. EQUIPMENT SHALL HAVE CAPACITIES REQUIRED TO OBTAIN A SUITABLE OPERATING BALANCE BETWEEN ASSOCIATED ITEMS OF EQUIPMENT. ALL DAMPER & CONTROLS SHALL BE ADJUSTED TO OBTAIN THE REQUIRED CAPACITIES UNDER ACTUAL OPERATING CONDITIONS OF EACH SYSTEMS AS INSTALLED. OPERATING POWER REQUIREMENTS FOR EACH ITEM OF EQUIPMENT SHALL NOT EXCEED THE RATED MOTOR HORSEPOWER.
6. CONSTRUCT DUCTWORK FROM ONE INCH & ONE HALF INCH THICK FIBERGLASS DUCTBOARD AND METAL SHEET FOR EXHAUST SYSTEM. FABRICATE, SEAL AND INSTALL PER LATEST SMACNA LOW VELOCITY DUCT MANUAL RECOMMENDATIONS. SIZES NOTED ARE CLEAR INSIDE DIMENSIONS. PROVIDE AIR VOLUME EXTRACTORS, SPLITTER DAMPERS OR ADJUSTABLE TURNING VALVES AT ALL BRANCH TAKE-OFFS AS REQUIRED FOR PROPER AIR BALANCING.
7. AIR DISTRIBUTION DEVICES SHALL BE CONSTRUCTED OF ALUMINUM, AS MANUFACTURED BY TITUS. CEILING DIFFUSER TO BE TITUS SERIES 250 WITH OPPOSED SLAT DAMPERS AND ALL GRILLES SHALL BE PAINTED OF SAME COLOR OF THE CEILING IN WHICH IT IS LOCATED.
8. COORDINATE ALL WORK WITH OTHER TRADES INVOLVED. THIS INCLUDES WALL AND ROOF PENETRATIONS AND REQUIRED ELECTRICAL SERVICE AND CONTROL WIRING. PLUMBER IS TO PROVIDE A MINIMUM 1 1/4 INCH CONDENSATE TRAP SEAL AT AC DUCT TO DISCHARGE OUTSIDE OF GUEST HOUSE 6" ABOVE FINISHED GRADE.
9. THERMOSTAT SHALL HAVE A MAGNUM HEATING MODE TEMPERATURE SETTING OF 78 F. AND A MINIMUM COOLING MODE TEMPERATURE SETTING OF 70 F. IT SHALL BE ADJUSTABLE TO PROVIDE A TEMPERATURE RANGE OF UP TO 10° BETWEEN FULL HEATING AND FULL COOLING. HEATING AND COOLING TO BE NON-CONCURRENT. THERMOSTAT TO HAVE REQUIRED STAGES OF COOLING AND HEATING FOR COMPATIBILITY WITH AIR CONDITIONING EQUIPMENT. PROVIDED, ALL THERMOSTATS SHALL HAVE A "COOL-AUTO-HEAT-OFF" AND FAN "ON-AUTO" SELECTOR SWITCHES.
10. PROVIDE NEW FILTERS FOR ALL AIR CONDITIONING AND VENTILATING EQUIPMENT BEFORE STARTING THEM. THESE FILTERS MUST ALSO BE REPLACED PRIOR TO FINAL ACCEPTANCE BY OWNER.
11. CONTRACTOR SHALL FURNISH THE OWNER WITH ALL OPERATING MANUALS AND MAINTENANCE INSTRUCTIONS FOR EQUIPMENT INSTALLED. MANUALS SHALL BE BOUNDED IN THREE RING LOOSE LEAVE BINDERS AND INDEX BY PRODUCT TYPE. ALSO A SECTION WITHIN THE MANUAL SHALL BE INDEX WITH NAME, TELEPHONE NUMBER AND ADDRESS OF ALL LOCAL SUPPLIERS OF ALL MATERIAL AND EQUIPMENT INSTALLED TOGETHER WITH NAME, TELEPHONE AND ADDRESS OF ALL CONTRACTORS OF THE PROJECT. PROVIDE 3 SET TO BE APPROVED BY ENGINEER.
12. CONTRACTOR SHALL GUARANTEE ALL WORK INSTALLED UNDER THE CONTRACT TO BE FREE FROM THE DEFECTIVE WORKMANSHIP AND MATERIALS USUAL NEAR EXPECTED, AND SHOULD ANY SUCH DEFECTS DEVELOP WITHIN A PERIOD OF ONE YEAR AFTER ACCEPTANCE OF THE BUILDING BY THE OWNER. THIS CONTRACTOR SHALL REPAIR AND OR REPLACE ANY DEFECTIVE ITEMS AND ALL DAMAGE RESULTING FROM FAILURE OF THESE ITEMS. AT NO EXPENSE WHATSOEVER TO THE OWNER.
13. CONTRACTOR SHALL PROVIDE 6 SETS OF SHOP DRAWINGS SUBMITTALS FOR ALL MATERIAL AND EQUIPMENT TO BE USED IN THESE PROJECT FOR APPROVAL BY ARCHITECT/ENGINEER.
14. CONTRACTOR SHALL MAINTAIN A SET OF REPRODUCIBLE SHOP DRAWINGS SHOWING AS-BUILT CONDITIONS AS THEY OCCUR. A COMPLETE SET OF AS-BUILT REPRODUCIBLE DRAWINGS SHALL BE SUBMITTED BY THE CONTRACTOR TO THE ARCHITECT/ENGINEER PRIOR TO FINAL ACCEPTANCE OF INSTALLATION. THESE DRAWINGS SHALL HAVE ALL INSTALLATIONS REFERENCED BY DIMENSIONS TO A SET REFERENCED POINT OR POINTS.
15. CONTRACTOR SHALL REMOVE AND DISPOSE OF ANY EXISTING MATERIALS THAT WILL NOT BE REUSED AND THAT ARE IN THE WAY OF THE NEW LAYOUT AND WHICH AFFECTS ANY TRADE INVOLVED IN THE NEW TENANT LAYOUT.
16. ALL MATERIALS WORKMANSHIP SHALL BE IN STRICT ACCORDANCE TO THE LATEST EDITION OF THE SOUTH FLORIDA BUILDING CODE.
17. SANITARY, AND AC CONDENSATE DRAIN LINES SHALL BE PVC. A. LINES SHALL SLOPE A MINIMUM OF 1/8" PER FOOT.
18. WATER LINE SHALL BE COPPER.
19. OWNER SHALL SELECT TYPE AND COLOR OF ALL PLUMBING FIXTURES. CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR APPROVAL.
20. PROVIDE SHUT-OFF VALVES AT EACH FIXTURE UNIT AND EACH FIXTURE GROUP.
21. ALL SYSTEMS SHOWN ON THE DRAWINGS ARE DIAGRAMMATICAL. CONTRACTOR SHALL PROVIDE ALL VALVES, FITTINGS AND MATERIAL FOR A COMPLETE INSTALLATION OF ALL SYSTEMS.
22. CONTRACTOR TO SECURE EXACT LOCATION OF EXISTING UTILITIES LINES AND MAKE ANY NECESSARY DEVIATION FROM THESE PLANS TO OBTAIN A FINAL CONNECTION.

LEGEND

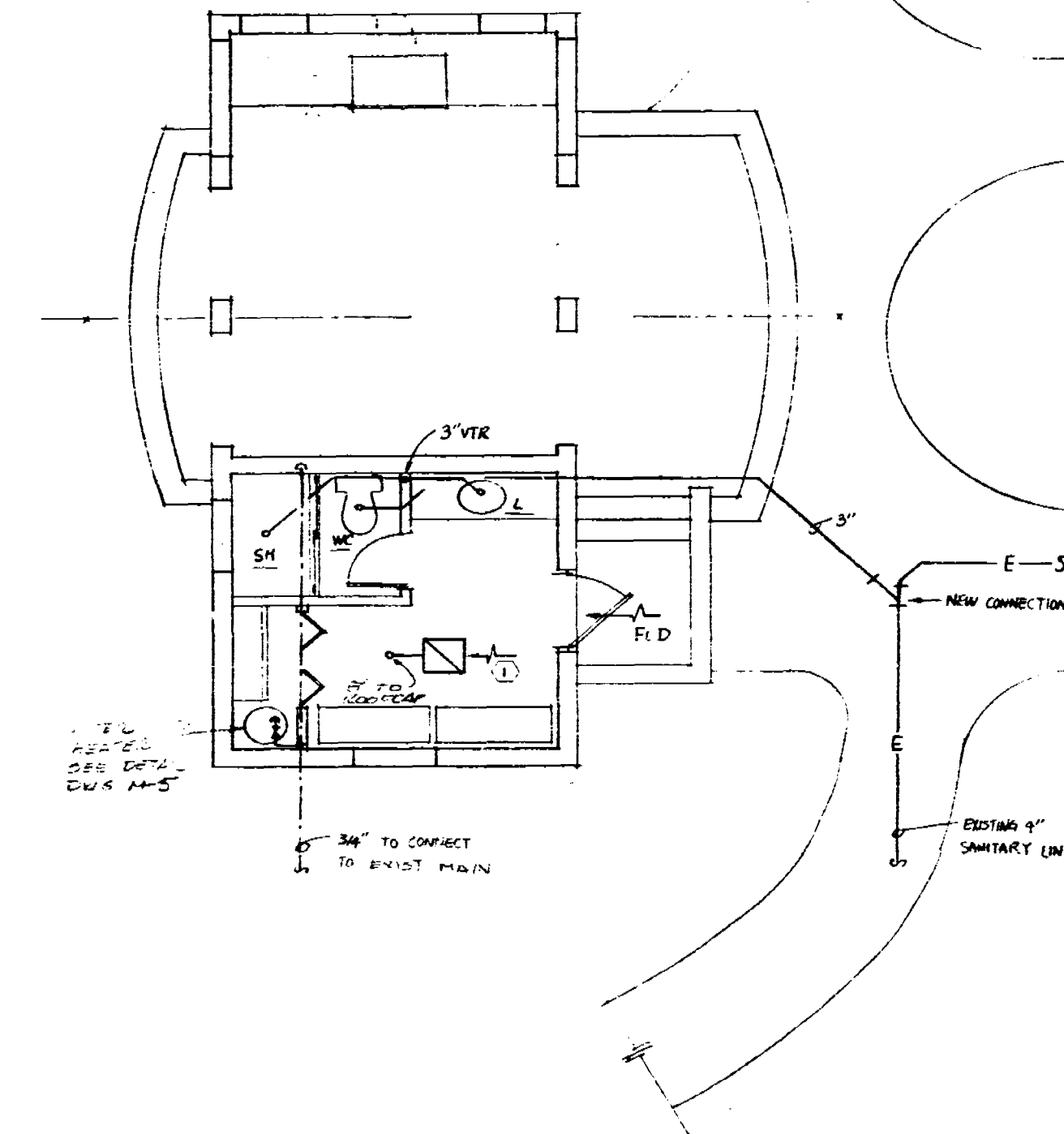
---	REFRIGERANT SUCTION & LIQUID LINE
---	RECTANGULAR DUCTWORK
---	FLEXIBLE DUCT
⊙	THERMOSTAT
CD	CEILING DIFFUSER
CFM	CUBIC FEET PER MINUTE
CU	CONDENSING UNIT
EA	EACH
FC	FAN COIL UNIT
FLD	FULL COVERED DOOR
UC	3/4" UNDERCUT DOOR
①	CEILING MOUNTED EXHAUST FAN BROWN 36.5 300 CFM, 120 V, 1 PH
---	EXISTING SANITARY LINE
---	NEW SANITARY LINE
---	VENT LINE
---	COLD WATER
---	HOT WATER LINE
⊙	HOSE BIBB WITH VACUUM BREAKER
⊙	AIR CHAMBER
⊙	GATE VALVE
BT	BATHTUB
DW	DISHWASHER
FCC	FLOOR CLEANOUT
HB	HOSE BIBB WITH VACUUM BREAKER
GD	GARBAGE DISPOSAL
KS	KITCHEN SINK
L	LAVATORY
NTS	NOT TO SCALE
VTR	VENT THRU ROOF
WC	WATER CLOSET
WCO	WALL CLEANOUT



CABANA BATH SAN RISER
NTS



CABANA BATH WATER RISER
NTS



CABANA BATH FLOOR PLAN
SCALE: 1/8"

NOTE: CONTRACTOR TO PROVIDE 1/2" WATER SERVICE TO NEW FRONT FOUNTAIN - SEE ARCHITECTURAL PLANS FOR EXACT LOCATION

NOTE: NO DISPOSAL ALLOWED

OFFICE COPY

CITY OF MIAMI BEACH

APPROVED FOR PERMIT BY

THE FOLLOWING:

DATE 5-1-23

LAUREDO ENGINEERING CO.
CONSULTING ENGINEERS
3800 SW 11th Ave., Suite 100, Miami, FL 33135
PH (305) 859-2800
FAX (305) 859-2800
PROJECT 17-000000-0000-0000

MARTINEZ POSE
ARCHITECTS
4131 LAGUNA • CORAL GABLES • FL 33146 • (305) 446-1166

Addition and Remodeling for:
RESIDENCE of MR. ELIAS ABOUD

REVISIONS

DATE 5-1-23

106 93218

DATE 5-1-23

106 93218

DATE 5-1-23

106 93218

DATE 5-1-23

106 93218

DATE 5-1-23

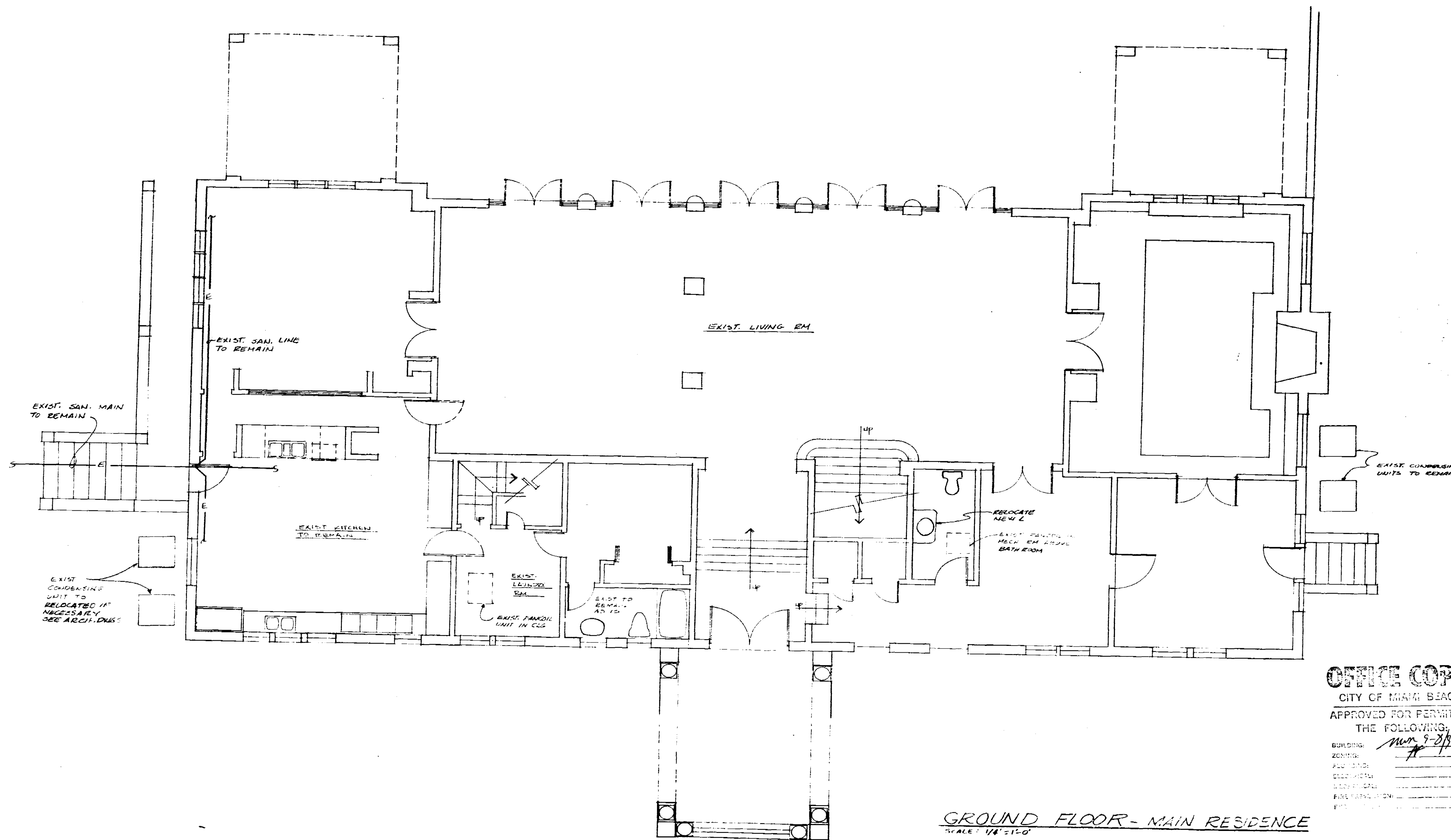
106 93218

DATE 5-1-23

106 93218

DATE 5-1-23

106 93218



GROUND FLOOR - MAIN RESIDENCE
SCALE: 1/8" = 1'-0"

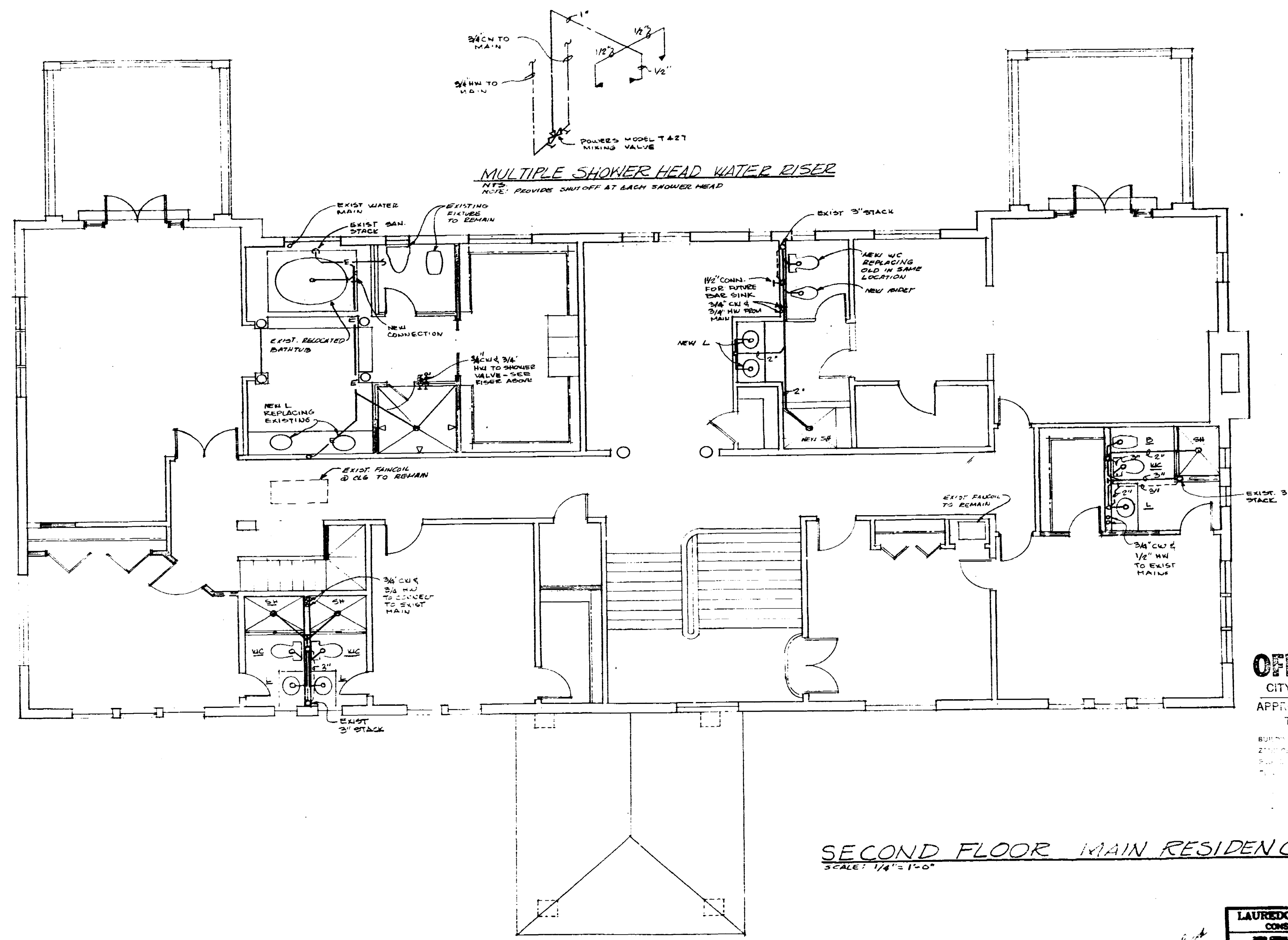
OFFICE COPY
CITY OF MIAMI BEACH
APPROVED FOR PERMIT BY
THE FOLLOWING:
BUILDING: *mm 9-28-92*
ZONING: *#*
FLOODING:
ELECTRICAL:
MECHANICAL:
FIRE PROTECTION:
ENVIRONMENTAL:

MARTINEZ POSE
ARCHITECTS
4137 LACUNA - CORAL GABLES - FL 33146 • (305) 446-1166

Addition and Remodeling for:
RESIDENCE of MR. ELIAS ABOUD

REVISIONS	JOB 99212
	DATE 8-3-93
	N-2
	24

LAUREDO ENGINEERING CO.
CONSULTING ENGINEERS
2120 CORAL WAY SUITE 100 CORAL GABLES, FL 33134
PH (305) 550-2132
FAX (305) 550-2132
PROJECT 99212 DATE 8-3-93



SECOND FLOOR MAIN RESIDENCE
SCALE: 1/4" = 1'-0"

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CITY OF MIAMI BEACH
APPROVED FOR PERMIT BY
THE FOLLOWING:

BUILDING
ZONING
FLOODING
FIRE
DATE 5-1-92

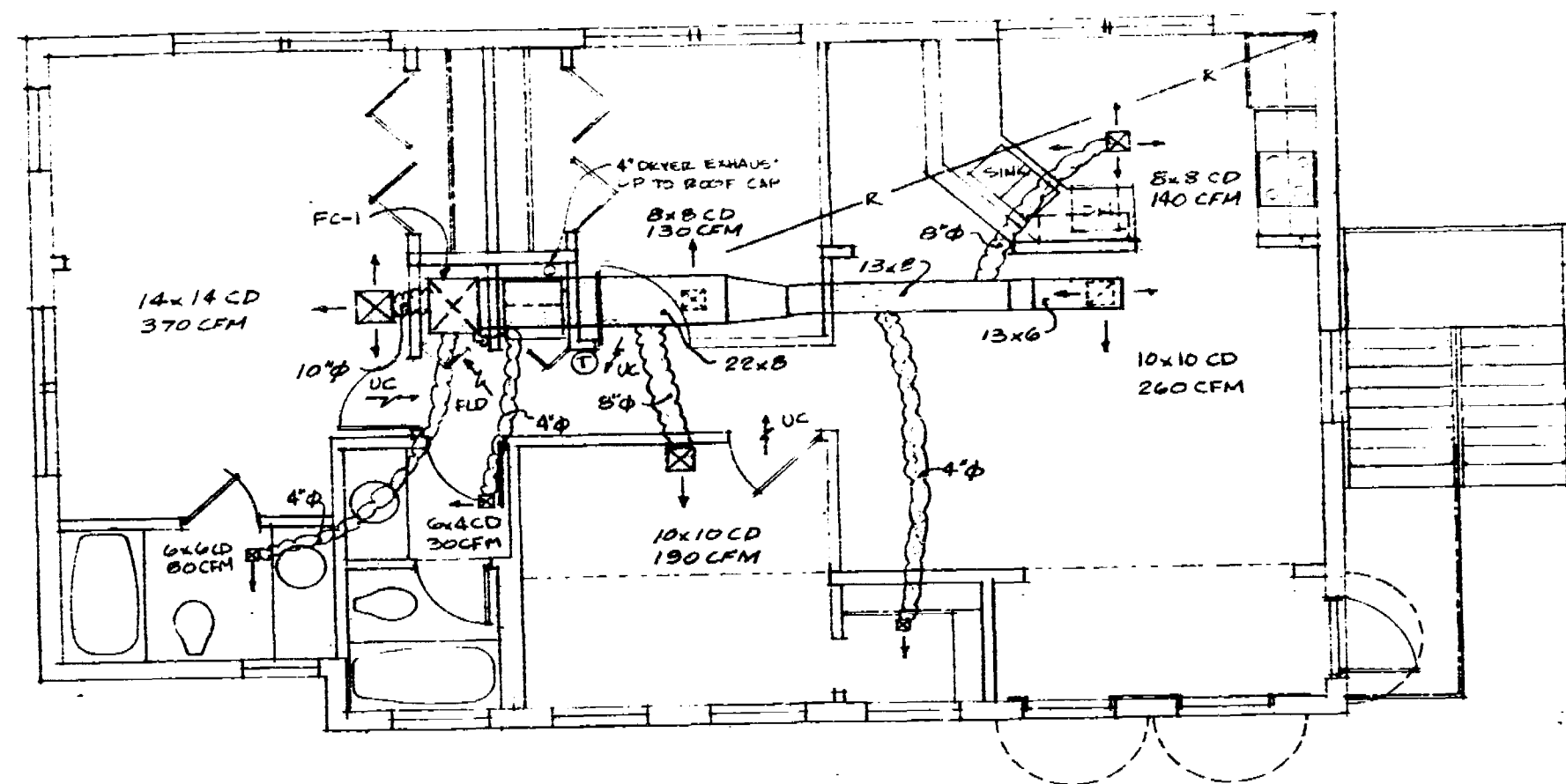
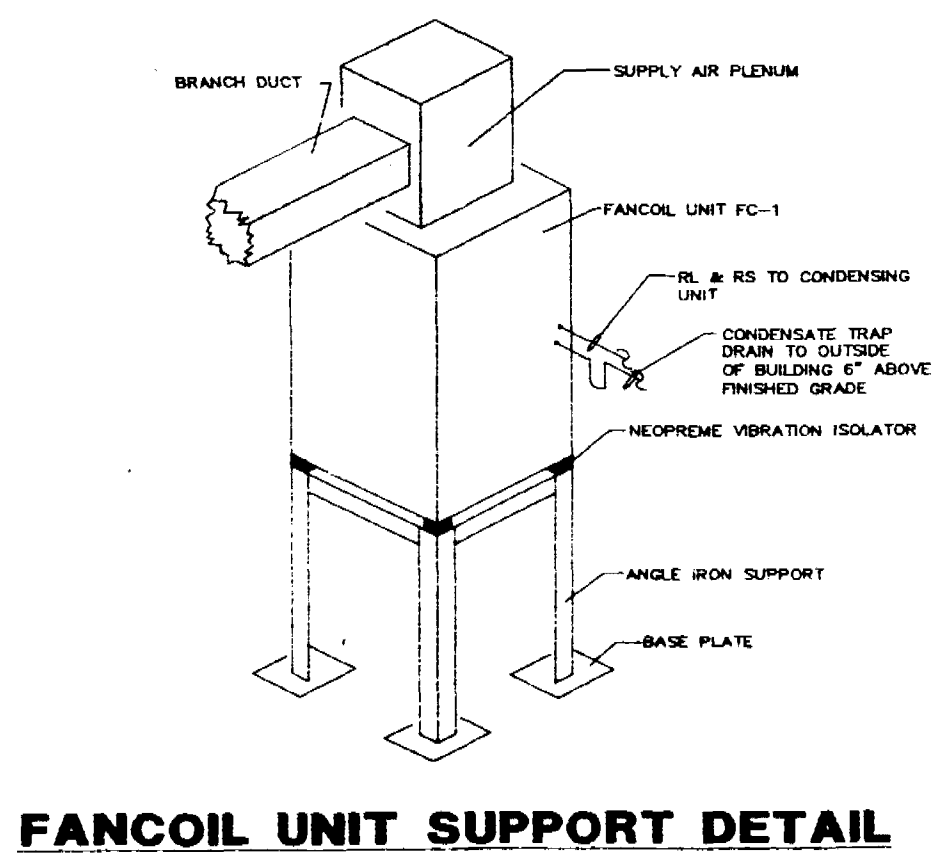
LAUREDO ENGINEERING CO.
CONSULTING ENGINEERS
2800 CORAL GATE BLVD. SUITE 100, MIAMI BEACH, FL 33146
PH (305) 656-2400
FAX (305) 656-2401
PROJECT 95-06-02

MARTINEZ POSE
ARCHITECTS
4131 LAGUNA - CORAL GABLES - FL 33146 - (305) 446-1166

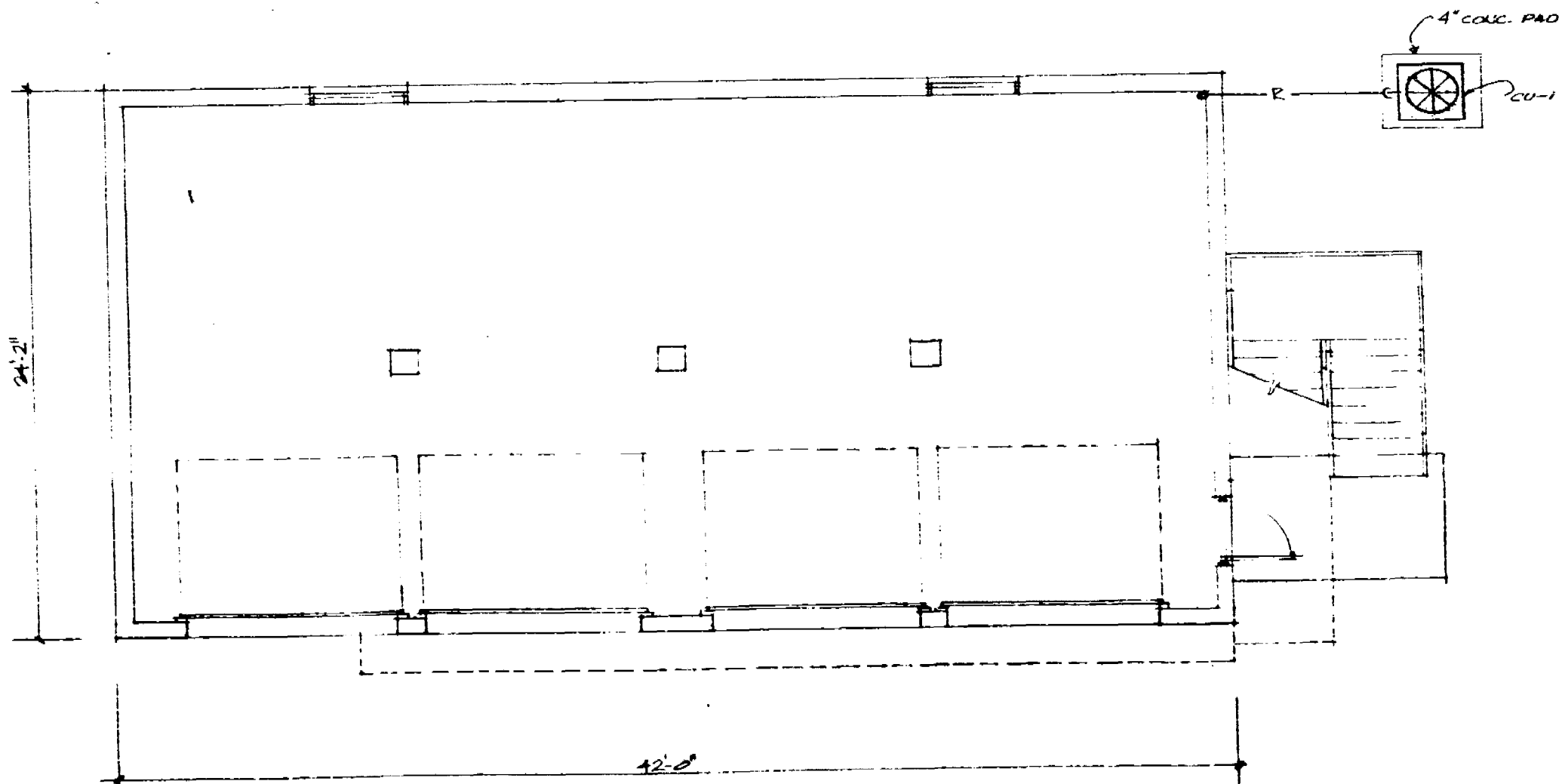
Addition and Remodeling for:
RESIDENCE of MR. ELIAS ARBORE

REVISIONS	

AC SPLIT UNIT SCHEDULE		
CONDENSING UNIT	MARK	CU-1
	SENSIBLE CAPACITY, BTUH	28,000
	TOTAL CAPACITY, BTUH	36,400
	COMPRESSOR, QUANTITY/FLA. EA.	1/15.5
	CONDENSER FAN, FLA. EA.	2.0
	VOLTAGE/PHASE	240/1
	DESIGN SELECTION MODEL	RALA
FANCOIL UNIT	DESIGN SELECTION MODEL	036JA
	UNIT WEIGHT, LBS	197
	MARK	FC-1
	SUPPLY AIR VOLUME, CFM	1,200
	FRESH AIR VOLUME, CFM	-
	EXTERNAL STATIC PRESSURE, INCH W.G.	.35
	ELECTRIC HEATER, KW	8
SYSTEM	MOTOR, HP	1/3
	VOLTAGE/PHASE	240/1
	DESIGN SELECTION MODEL	REAB
SYSTEM	SEER	11.0
	REFRIGERANT LINES SUCTION/LIQUID	7/8" / 5/16"



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CITY OF MIAMI BEACH
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THE FOLLOWING:
BUILDING: *MR. 8-2-83*
ZONING: *GR. 8/16/83*
PLUMBING: *GR. 8/16/83*
ELECTRICAL: *GR. 8/16/83*
MECHANICAL: *GR. 8/16/83*
FIRE PREVENTION: *GR. 8/16/83*
ENGINEERING: *GR. 8/16/83*

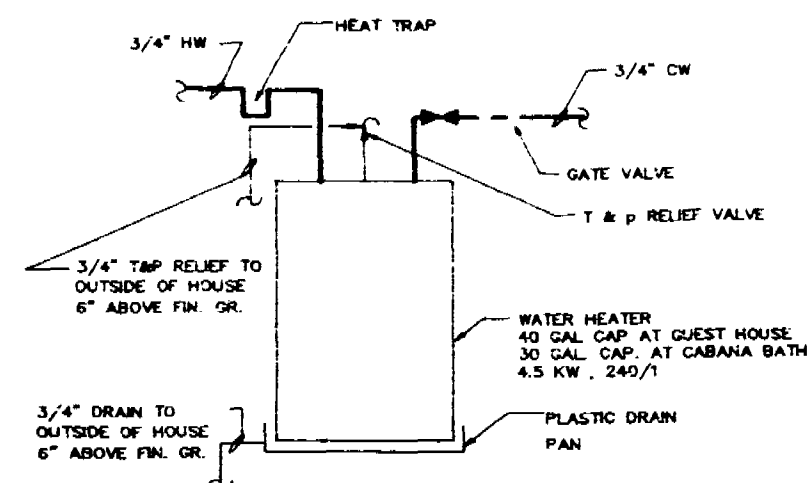


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Addition and Remodeling for:
RESIDENCE of MR. ELIAS ABOUD

LAUREDO ENGINEERING CO.
CONSULTING ENGINEERS
2150 CORAL WAY 6TH FL. MIAMI FL 33145
PH (305) 858-2638
DRAWING
PROJECT 930602 DATE 8-3-93

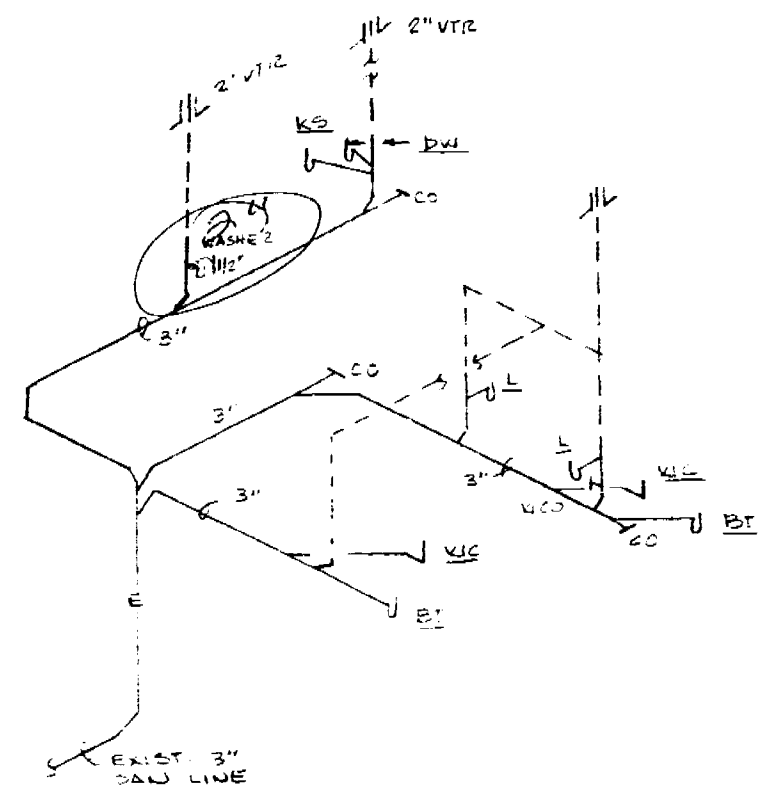
REVISIONS
JOB 93212
DATE 8-3-93
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23



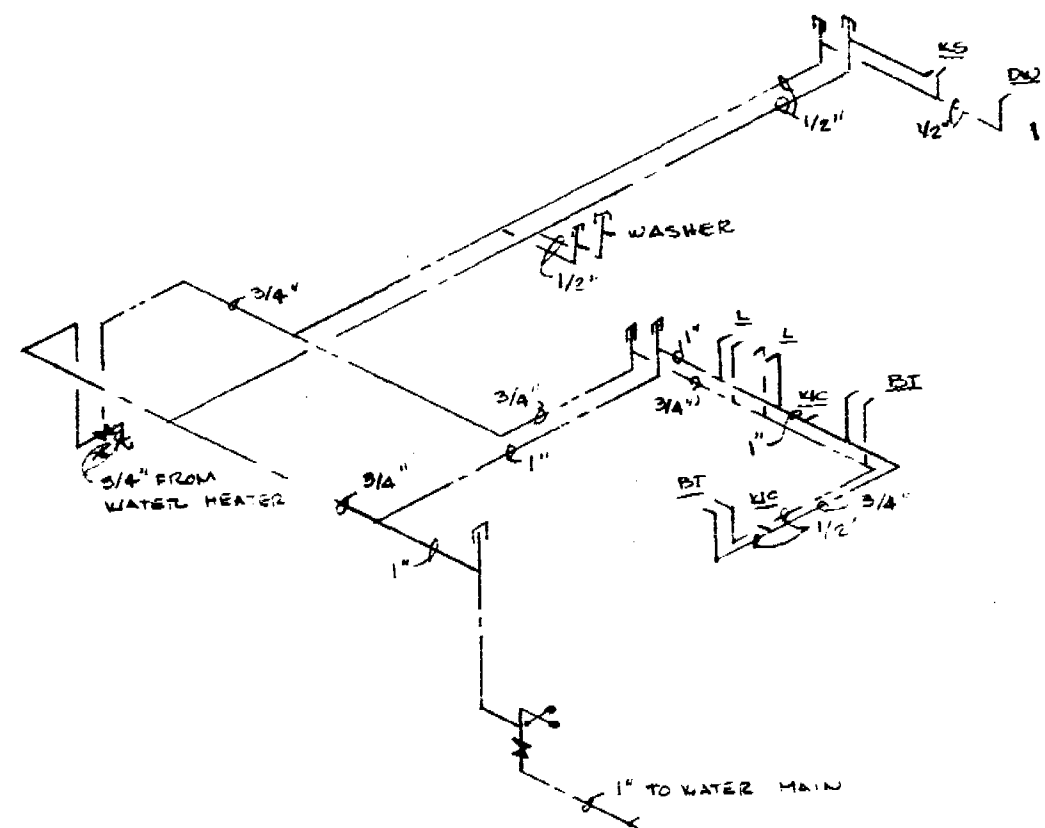
WATER HEATER DETAIL

NTS
NOTE: PROVIDE CONNECTION FOR FUTURE SOLAR COLLECTOR.

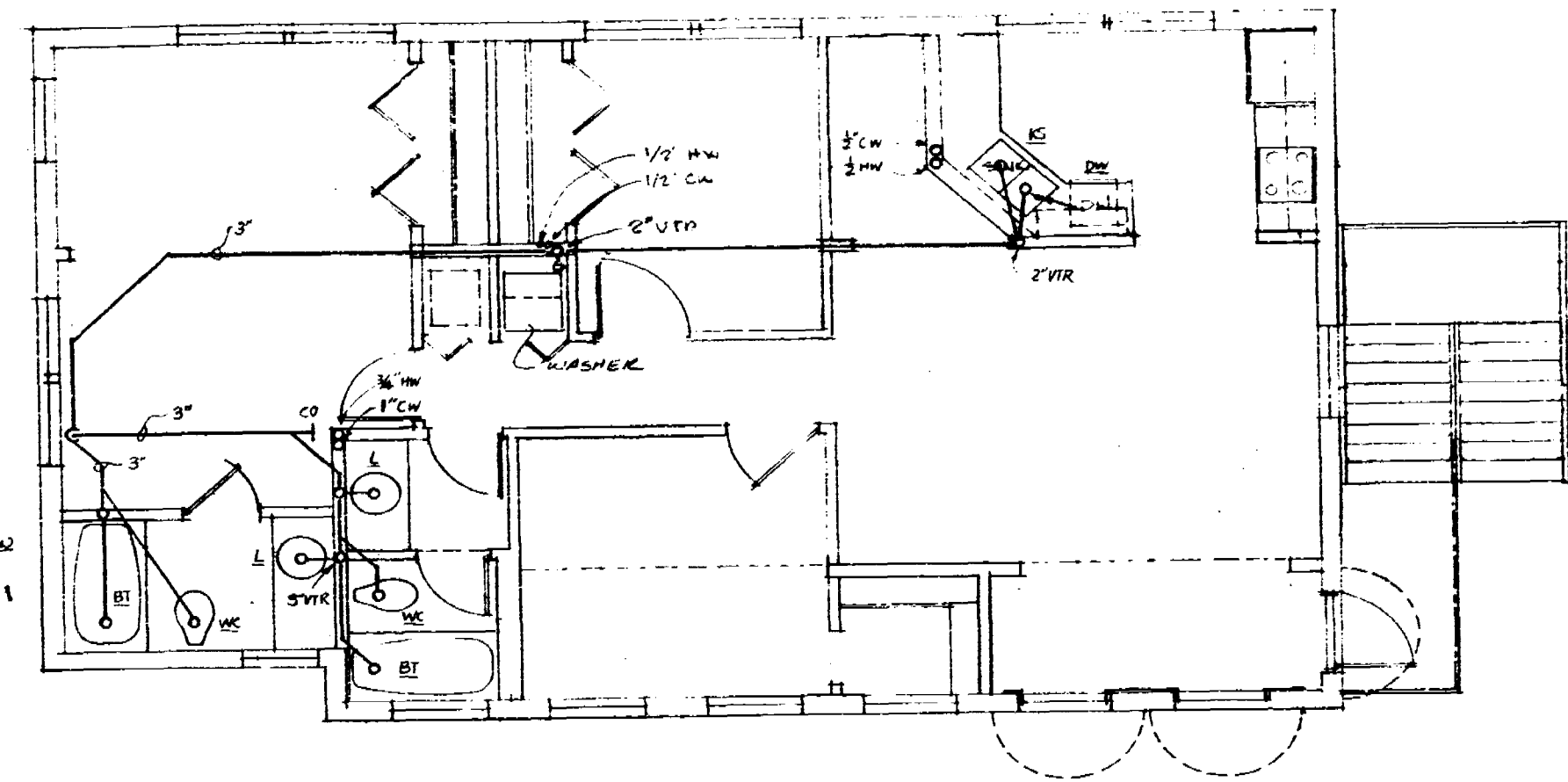
FIXTURE CONNECTION SCHEDULE					
MARK	DESCRIPTION	CW IN	HW IN	WASTE IN	INDIRECT IN WASTE
B	BIDET	1/2	1/2	1-1/2"	
BT	BATHTUB	1/2	1/2	1-1/2"	
DW	DISHWASHER	-	1/2		1"
L	LAVATORY	1/2	1/2	1-1/4"	
KS	KITCHEN SINK	1/2	1/2	1-1/2"	
SH	SHOWER STALL	1/2	1/2	2"	
WC	WATER CLOSET (TANK)	1/2	-	3"	



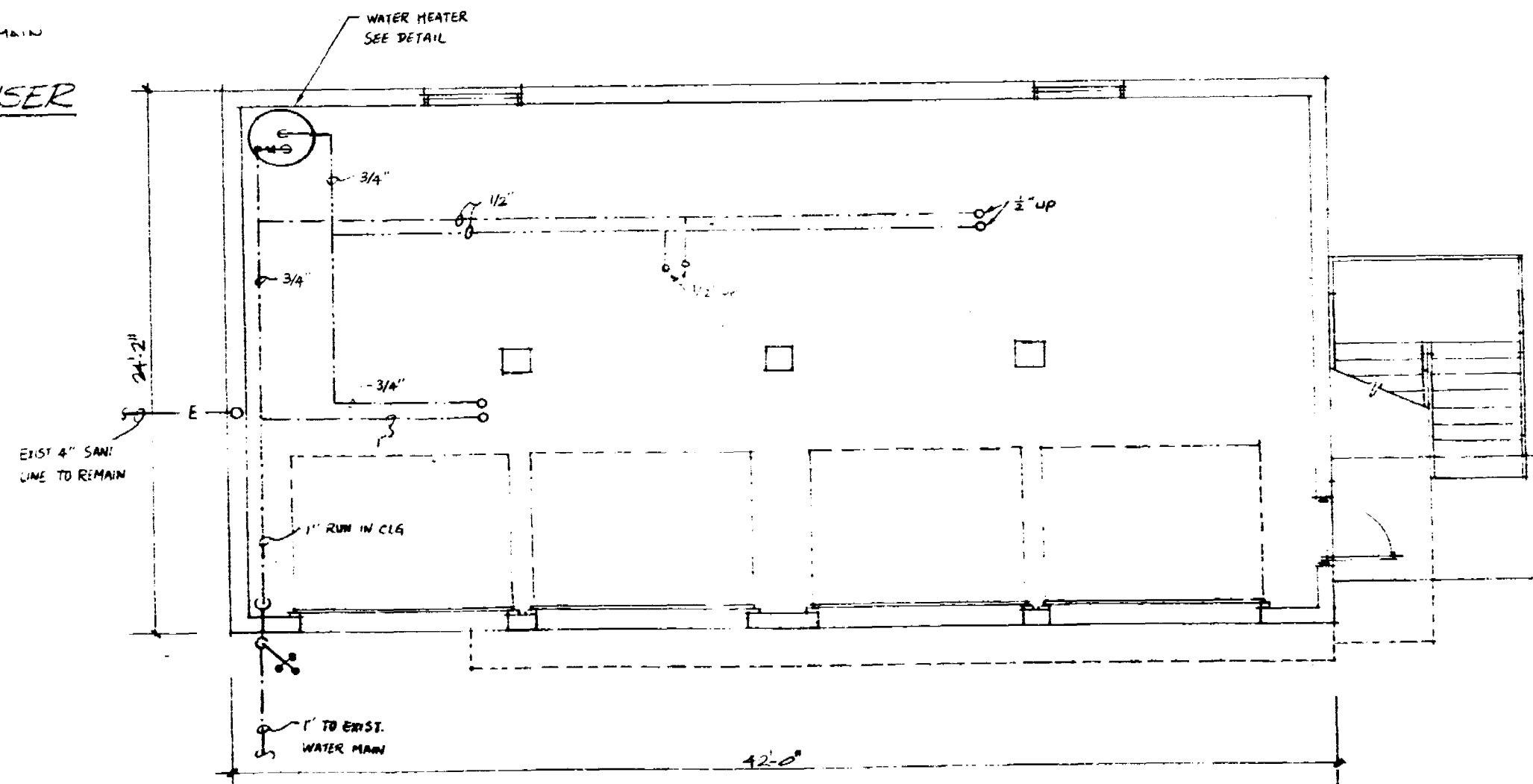
GUEST HOUSE SANITARY RISER
NTS



GUEST HOUSE WATER RISER
NTS



SECOND FLOOR PLAN
SCALE 1/4" = 1'-0"



FIRST FLOOR PLAN
SCALE 1/4" = 1'-0"

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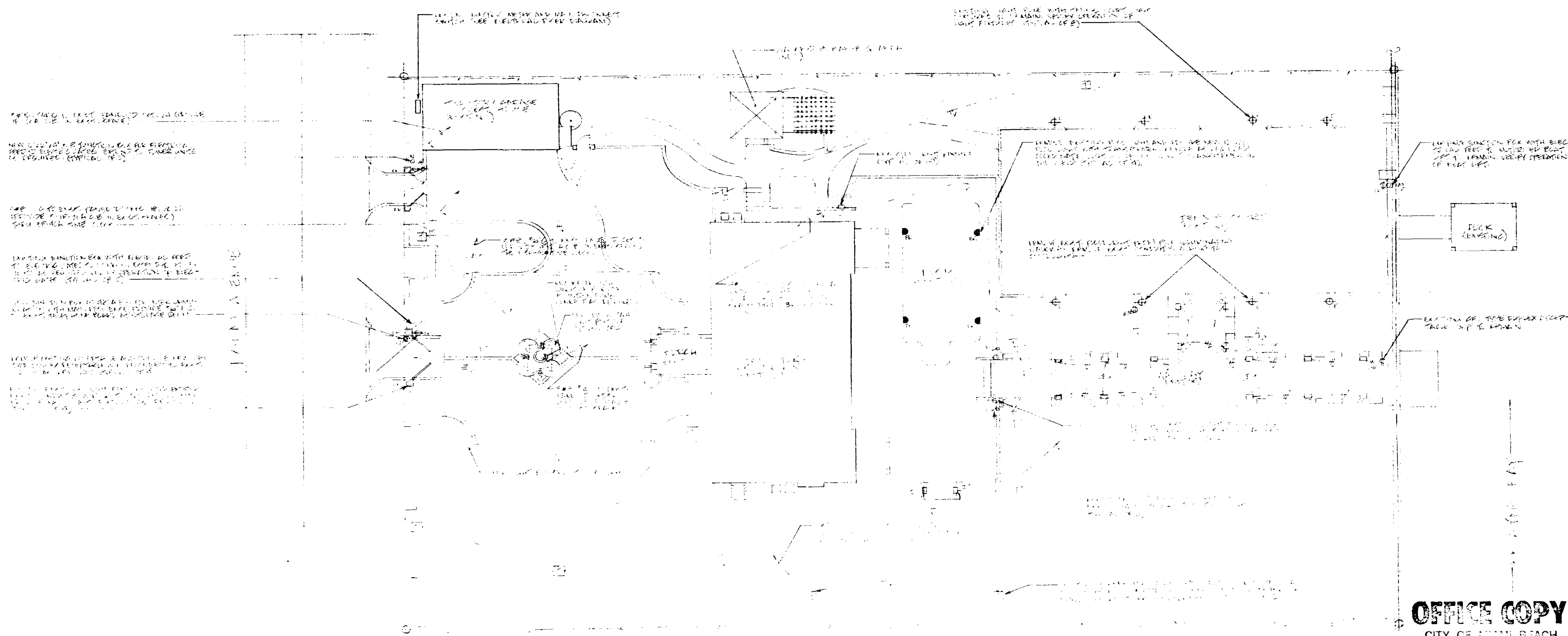
CITY OF MIAMI BEACH
APPROVED FOR PERMIT BY
THE FOLLOWING:
BUILDING: *Mon 9-8-92*
ZONING: *RE*
PLUMBING: *RE*
ELECTRICAL: *RE*
MECHANICAL: *RE*
FIRE: *RE*
ENVIRONMENTAL: *RE*

LAUREDO ENGINEERING CO.
CONSULTING ENGINEERS
2150 CARMEL WAY, SUITE 101, MIAMI, FL 33145
PH (305) 858-2638
DRAWING
PROJECT 930002 DATE 8-3-93

REVISIONS	
FOR 08212	
DATE 8-3-93	
1	
2	

MARTINEZ POSE
ARCHITECTS
4131 LAGUNA - CORAL GABLES - FL 33146 - (305) 446-1168

Addition and Remodeling for:
RESIDENCE of MR. ELIAS ABOUD



SITE PLAN
SCALE: 1/16" = 1'-0"

Nelson-Lital
8/9/93

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CITY OF MIAMI BEACH

APPROVED FOR PERMIT BY
THE FOLLOWING:

BUILDING: Room 9-8/5
ZONING: A
PLU. BKG: _____
ELECTRIC: 5/18/93
MECHANICAL: _____
FIRE PREVENTION: _____
ENGINEERING: _____

VITAL ENGINEERING, P.A.
CONSULTING ENGINEERS
405 Baltimore Way • Suite 300 • Coral Gables, FL 33134
Phone: (305) 461-9991 • Fax: (305) 461-6746

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A R C H I T E C T S
4131 LAGUNA • CORAL GABLES • FL • 33146 • (305) 446-1166

**Addition and Remodeling for :
RESIDENCE of MR. ELIAS ABOUD**

REVISIONS

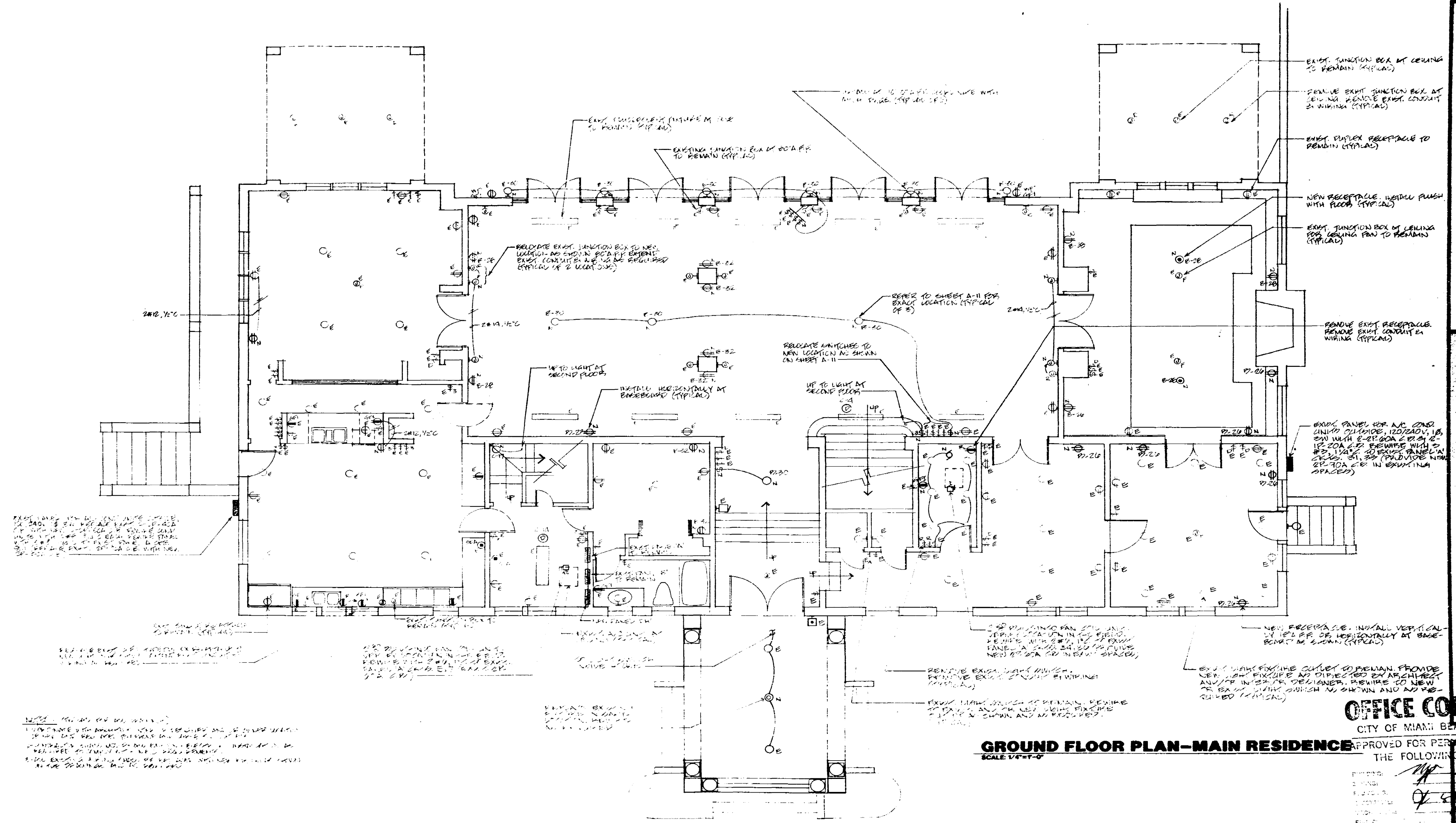
JOE 93212

DATE 8-3-67

E-1

25

3



1. The purpose of the procedure was to determine the effect of the amount of water on the growth of the plants.

2. The hypothesis was that the plants that received more water would grow taller than the plants that received less water.

3. The results of the experiment showed that the plants that received more water did indeed grow taller than the plants that received less water.

4. The conclusion of the experiment was that the amount of water does have a significant effect on the growth of the plants.

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GROUND FLOOR PLAN-MAIN RESIDENCE

OFFICE COPY
CITY OF MIAMI BEACH

APPROVED FOR PERSON BY REVISIONS
THE FOLLOWING: 2/10/7

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 FLYING S. _____
 COUNTRY _____
 WHICH IS THE _____
 FIRST TIME _____
 ELECTRICITY _____

DATE 8-3-9

VHA ENGINEERING, P.A.
CONSULTING ENGINEERS
475 Wilshire Way • Suite 300 • Costa Mesa, CA 92626
Phone (714) 441-6941 • Fax (714) 441-6142

Nelson Mital
8/5/93

MARTINEZ • POSE
A R C H I T E C T S

**Addition and Remodelling for:
RESIDENCE of MR. ELIAS ABROUD**

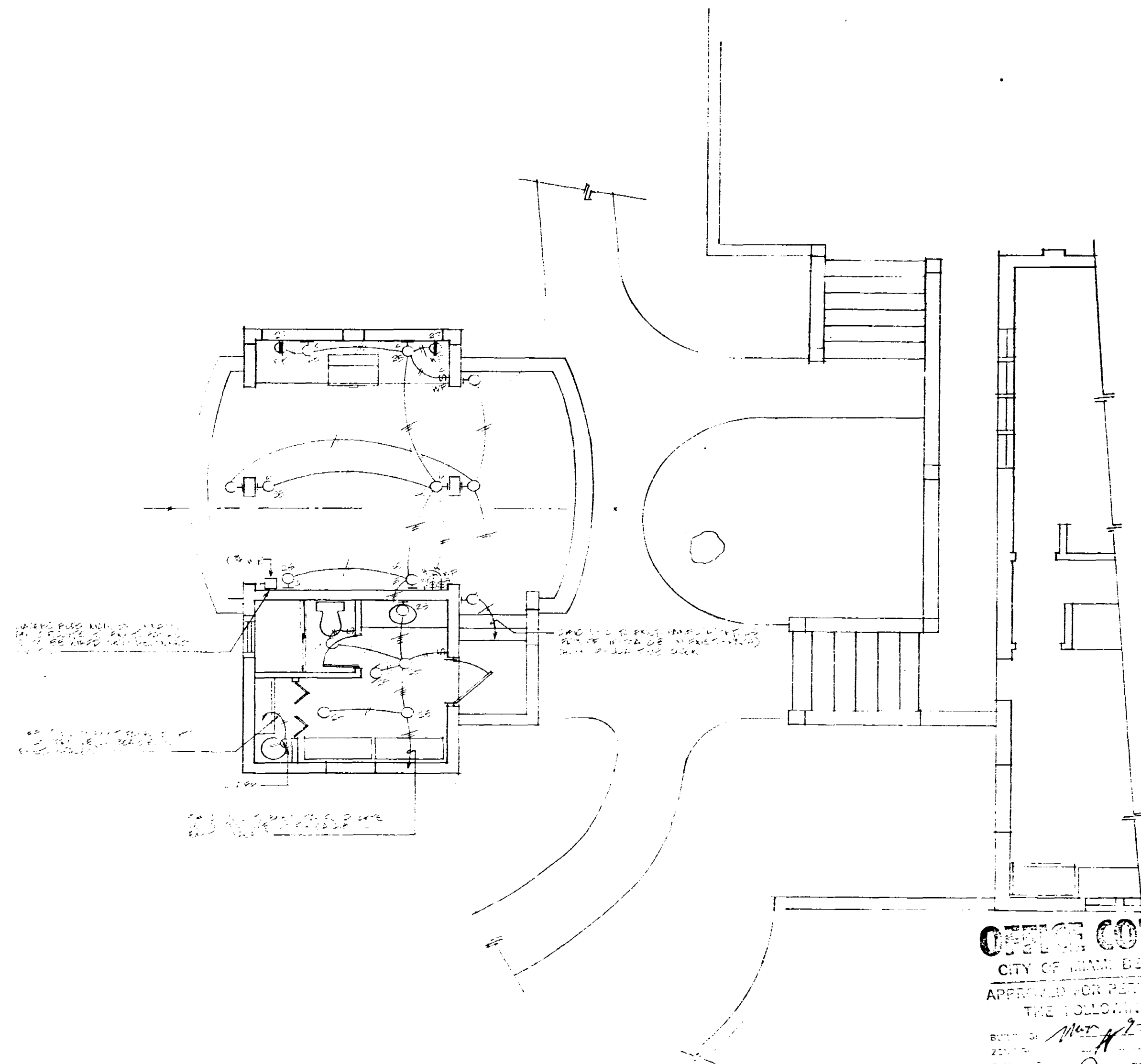
3-



VHA ENGINEERING, P.A.
CONSULTING ENGINEERS
475 Blinnville Way • Suite 300 • Coral Gables, FL 33134
Phone: (305) 494-9961 • Fax: (305) 494-9946

3-

| SYMBOL | DESCRIPTION |
|--------|--|
| ○ | INCANDESCENT OR FLUORESCENT LIGHT FIXTURE, CEILING OR RECESSED MOUNTED. |
| ⊙ | INCANDESCENT LIGHT FIXTURE, STEM MOUNTED. |
| ⊕ | INCANDESCENT, FLUORESCENT OR H.I.D. LIGHT FIXTURE, WALL MOUNTED ABOVE MIRROR OR 8'-0" A.F.F., UNLESS OTHERWISE INDICATED. |
| \$ | SINGLE POLE LIGHT SWITCH, QUIET-TYPE, 120 VOLTS, 20 AMPS, FOR OUTDOOR AND DISPOSAL CIRCUITS, 15 AMPS ELSEWHERE. INSTALL 48" A.F.F. |
| \$> | THREE-WAY LIGHT SWITCH, QUIET-TYPE, 120 VOLTS, 20 AMPS FOR OUTDOOR CIRCUITS, 15 AMPS ELSEWHERE. INSTALL 48" A.F.F. |
| \$A | FOUR-WAY LIGHT SWITCH, QUIET-TYPE, 120 VOLTS, 20 AMPS FOR OUTDOOR CIRCUITS, 15 AMPS ELSEWHERE. INSTALL 48" A.F.F. |
| \$D | DIMMER SWITCH, SINGLE POLE, WATT RATING TO MATCH LOAD, 120 VOLTS. INSTALL 48" A.F.F. |
| \$M | MANUAL MOTOR STARTER SWITCH, SINGLE POLE WITH OVERLOAD PROTECTION. INSTALL 48" A.F.F. OR AS REQUIRED. |
| \$P | SINGLE POLE LIGHT SWITCH, QUIET-TYPE, 120 VOLTS, 20 AMPS, WITH LONG LASTING NEON PILOT LIGHT. INSTALL 48" A.F.F. |
| ⊕ | DUPLEX RECEPTACLE OUTLET, 125 VOLTS, 3-WIRE, GROUNDING TYPE, 20 AMPS FOR APPLIANCES CKTS., 15 AMPS ELSEWHERE. INSTALL 18" A.F.F. UNLESS OTHERWISE INDICATED. |
| ⊕ | DUPLEX RECEPTACLE OUTLET, 125 VOLTS, 3-WIRE, GROUNDING TYPE, 20 AMPS FOR APPLIANCES CKTS., 15 AMPS ELSEWHERE. INSTALL 48" A.F.F. |
| ⊕ | SINGLE RECEPTACLE OUTLET, 125 VOLTS, 3-WIRE, GROUNDING TYPE, 20 AMPS. INSTALL 18" A.F.F. UNLESS OTHERWISE INDICATED. |
| ⊕ | DUPLEX RECEPTACLE OUTLET, WITH TOP RECEPTACLE SWITCHED, 125 VOLTS, 3-WIRE, GROUNDING TYPE, 15 AMPS. INSTALL 18" A.F.F. |
| ⊕ | DUPLEX RECEPTACLE OUTLET. INSTALL FLUSH WITH FLOOR. |
| ⊕ | SPECIAL RECEPTACLE OUTLET, 250 VOLTS, 3-WIRE, GROUNDING TYPE, AMPS AS SHOWN. INSTALL 18" A.F.F. UNLESS OTHERWISE INDICATED. |
| ⊕ | TELEPHONE OUTLET. INSTALL 18" A.F.F. UNLESS OTHERWISE INDICATED. |
| ⊕ | T.V. ANTENNA OUTLET. INSTALL 18" A.F.F. UNLESS OTHERWISE INDICATED. |
| ⊕ | JUNCTION BOX. INSTALL AS SHOWN OR AS REQUIRED. |
| ⊕ | EMPTY CONDUIT. |
| ⊕ | ABOVE FINISHED FLOOR. |
| ⊕ | WEATHER RESISTANT. |
| ⊕ | GROUND FAULT INTERRUPTOR. |
| ⊕ | VAPOR PROOF. |
| ⊕ | CONDUIT RUN CONCEALED IN CEILING OR WALL. |
| ⊕ | CONDUIT RUN UNDERGROUND OR IN FLOOR SLAB. |
| ⊕ | CONDUIT UP. |
| ⊕ | CONDUIT DOWN. |
| ⊕ | FLEXIBLE CONDUIT. |
| ⊕ | HOMERUN TO ELECTRIC PANEL. MATCH MARKS INDICATE NUMBER OF WIRES. ✓ DENOTES GROUND WIRE. |
| ⊕ | DISCONNECT SWITCH. 2-DIGIT NUMBER OF POLES (FOR NAME SIZE) AND FLUKE (FLUKE SIZE). |
| ⊕ | MOTOR, SIZE AS INDICATED ON DRAWINGS. |
| ⊕ | SMALL FIXTURE WITH ULTRAVIOLET RAY. |
| ⊕ | SMALL DETECTOR, CEILING MOUNTED, 120 VOLTS, WITH VISIBLE POWER UNIT INDICATOR, TEST BUTTON AND RE-CONTAINED, GROUNDING DEVICE (MIN. RATING 250 AMP AT 120V). ALL 10 SHOWN AS INTERCONNECTED. |
| ⊕ | ELECTRICAL PANEL. |
| ⊕ | DOOR CHIME. INSTALL 7'-6" A.F.F. UNLESS OTHERWISE INDICATED. |
| ⊕ | PUSHBUTTON. INSTALL 48" A.F.F. |



FLOOR PLAN-GAZEBO & BAR-B-Q AREA
SCALE 1/4"=1'-0"

Holmstedt
8/9/93

VITAL CONSULTING ENGINEERS, P.A.
CONSULTING ENGINEERS
415 Broward Way • Suite 300 • Coral Gables, FL 33134
Phone (305) 446-1166 • Fax (305) 446-1166

OFFICE COPY
CITY OF MIAMI BEACH

APPROVED FOR PERMIT BY
THE FOLLOWING:

BUILT BY: *Met A 2-892*
250175
PLN: *Q 5/11/93*
EST: *Q*

| REVISIONS |
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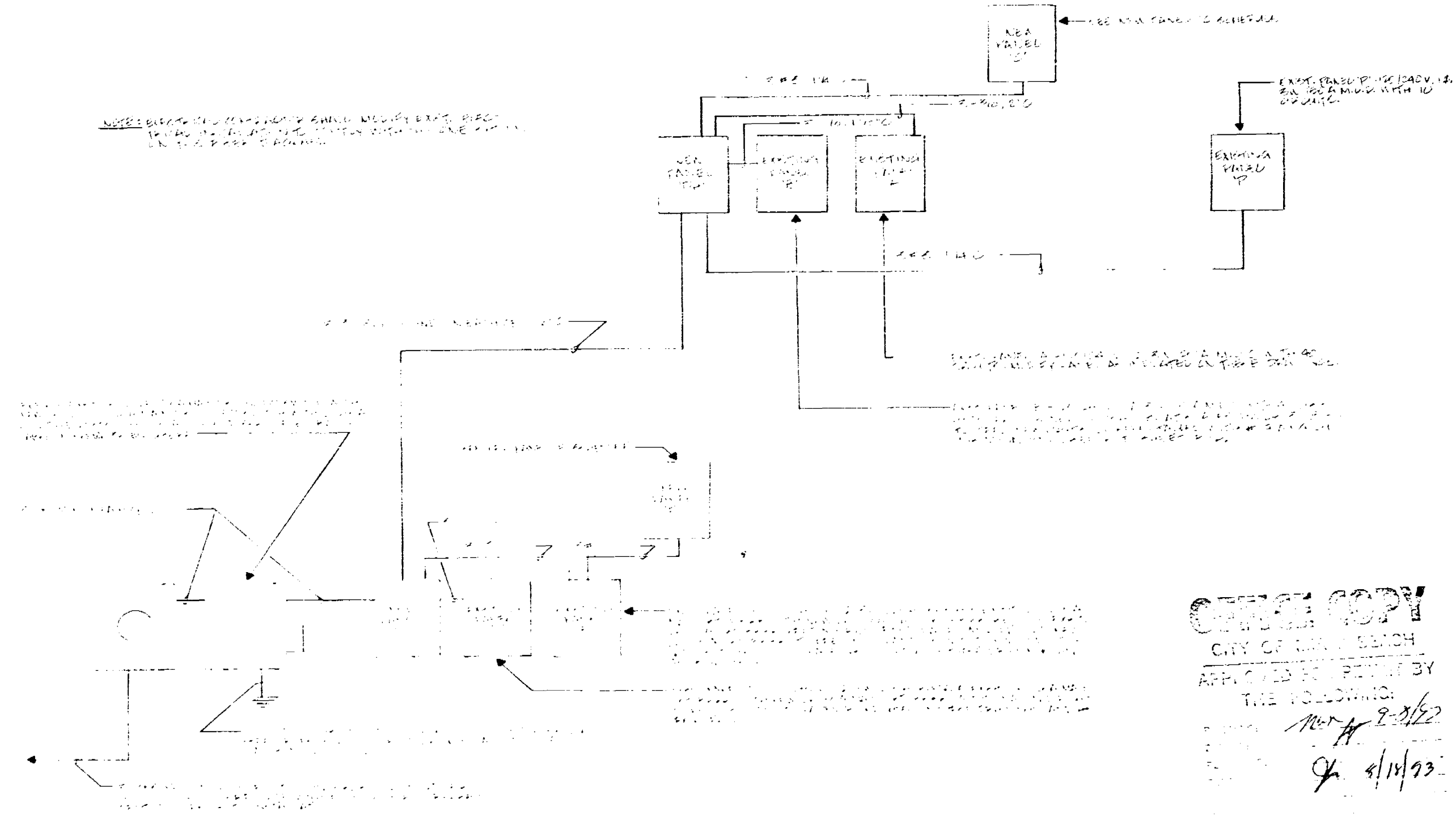
Addition and Remodeling for:
RESIDENCE of MR. ELIAS ABOUD

MARTINEZ • POSE
ARCHITECTS
4131 LAGUNA • CORAL GABLES • FL 33146 • (305) 446-1166

1. ALL ELECTRICAL WORK SHALL COMPLY WITH THE NATIONAL ELECTRICAL CODE, 1993 EDITION, FLORIDA BUILDING CODE AND OTHER APPLICABLE CODES.
2. ALL MATERIAL SHALL BE NEW AND SHALL BEAR UNDERWRITERS' AND UNDERLAINERS' LABELS, WHERE APPLICABLE.
3. DO NOT SCALE ELECTRICAL DRAWINGS. REFER TO ARCHITECTURAL PLANS AND ELEVATIONS FOR EXACT LOCATION OF ALL EQUIPMENT AND CONDUIT WITH OWNERS' REPRESENTATIVE AND/OR ARCHITECT.
4. CABLE AND WIRE INDICATED ON DRAWINGS SHALL BE COPPER, STRANDED, THIRTYTHREE INCHES IN SIZE, NO. 14 TO 12 AND 10 AWG, AND COPPER, STRANDED, THIRTYTHREE INCHES IN SIZE, NO. 14 AWG AND 10 AWG. MINIMUM SIZE WIRE SHALL BE NO. 14 AWG, MAXIMUM SIZE SHALL BE 600 MCM. ALL WIRING SHALL BE INSTALLED IN CONDUIT.
5. RACEWAYS INSTALLED UNDERGROUND, IN CONCRETE SLABS, AND/OR LARGER THAN 2 INCHES IN DIAMETER SHALL BE GALVANIZED RIGID STEEL. PVC PIPE SCHEDULE 40 IS ACCEPTABLE FOR UNDERGROUND INSTALLATION ONLY IF APPROVED BY LOCAL AUTHORITIES. RACEWAY 2 INCHES AND SMALLER IN DIAMETER SHALL BE IMC IF EXPOSED TO WEATHER. ETC. ELSEWHERE. FLAMMABLE CONDUIT USED WHERE INDICATED SHALL BE METAL. FOR INDOOR LOCATIONS, LIQUID-TIGHT FOR OUTDOOR LOCATIONS. USE SILENT COMPRESSION TYPE FITTING.
6. RACEWAYS INSTALLED IN OR THRU ANY CONCRETE SLABS SHALL BE SPACED A MINIMUM OF 3 DIA. OF THE LARGEST RACEWAY. METALLIC RACEWAYS INSTALLED UNDERGROUND OR UNDER SLABS SHALL BE COATED WITH TWO COATS OF AN ASPHALTIC PAINT.
7. OUTLETS SHALL BE FLUSHED WITH FINISHED SURFACES. TWO OR MORE LIGHT SWITCHES IN SAME WALL SHALL BE INSTALLED IN GANG-TYPE BOXES.
8. JUNCTION BOXES SHALL BE GALVANIZED STEEL WITH SCREW OR HINGED COVERS FOR INDOOR LOCATIONS AND WEATHER-PROOF WITH EXPOSED TO WEATHER. OUTLET BOXES SHALL BE PRESSED STEEL IN DRY LOCATIONS. CAST ALLOY WITH THREADED HUBS IN WET OR DAMP LOCATIONS AND SPECIAL ENCLOSURES FOR OTHER CLASSIFIED AREAS.
9. ELECTRICAL CONTRACTOR SHALL PERFORM ALL NECESSARY WORK FOR A COMPLETE ELECTRICAL INSTALLATION AND SHALL PROVIDE ALL NECESSARY INSTRUMENTS AND SPECIAL APPARATUS TO CONDUCT ANY TEST THAT MAY BE REQUIRED TO INSURE THE SYSTEM IS FREE OF ALL SHORTS, GROUNDINGS AND SHORT CIRCUITS, AND THAT ALL FEEDERS ARE PROPERLY BALANCED.
10. ELECTRICAL CONTRACTOR SHALL INSTALL AIR CONDITIONING AND VENTILATION CONTROL SYSTEM IN ACCORDANCE WITH CONTROL WIRING DIAGRAM FURNISHED BY MECHANICAL CONTRACTOR. THERMOSTAT LOCATIONS ARE SHOWN ON MECHANICAL DRAWINGS, MAKE CONNECTIONS AS REQUIRED BY CONTROL WIRING DIAGRAM.
11. ALL GROUND CONNECTIONS TO BE DONE AS PER 1993 EDITION OF NATIONAL ELECTRICAL CODE.
12. LOAD DATA IS BASED ON INFORMATION GIVEN TO THE ENGINEER AT THE TIME OF DESIGN. VERIFY ALL EQUIPMENT AND PANEL SIZES BEFORE ORDERING.
13. ALL WORK SHALL BE COORDINATED WITH OTHER TRADES TO AVOID INTERFERENCE WITH THE PROGRESS OF CONSTRUCTION.
14. DISCONNECT SWITCHES SHALL BE H.P., RATED, HEAVY DUTY, QUICK-MAKE, QUICK-BREAK, ENCLOSURE AS REQUIRED BY EXPOSURE. MOTOR STARTERS SHALL BE MANUAL OR MAGNETIC WITH OVERLOAD RELAYS IN EACH LEG.
15. PANELBOARDS SHALL BE DEAD FRONT CIRCUIT BREAKER TYPE WITH COPPER BUS AND AS SCHEDULED ON DRAWINGS. CIRCUIT BREAKERS SHALL BE BOLT-ON AND HAVE A MINIMUM INTERRUPTING RATING OF 10,000 AMPERES AT 120 VOLTS, 10,000 AMPERES AT 277 VOLTS. ALL PANELS SHALL HAVE BREAK CATCH DOORS WITH CLEAR PLASTIC ENCLOSED TYPE WRITTEN "DIRECTOR" INSIDE.
16. FUSIBLE SHALL BE DUAL ELEMENT, COMBINING TIME-DELAY WITH CURRENT LIMITING.
17. CORRECTIONS OF ANY DEFECTS SHALL BE COMPLETED WITHOUT CHARGE AND SHALL INCLUDE, BUT NOT BE LIMITED TO, REPAIR OF ANY OTHER PHASE OF THE INSTALLATION WHICH MAY HAVE BEEN DAMAGED.
18. CONTRACTOR SHALL PAY FOR ALL PERMITS, FEES, INSPECTIONS AND TESTING AND ALL REQUIRED INSURANCE. SHALL BE PROVIDED FOR PROTECTION AGAINST PUBLIC LIABILITY AND PROPERTY DAMAGE FOR THE DURATION OF THE WORK.
19. CONTRACTOR SHALL GUARANTEE ALL MATERIAL AND WORKMANSHIP FREE OF DEFECT FOR A PERIOD NOT LESS THAN ONE YEAR FROM THE DATE OF ACCEPTANCE.
20. CONTRACTORS' WORK PRACTICES AND CONDITIONS MUST CONFORM WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970.
21. ELECTRICAL CONTRACTOR SHALL PROVIDE SUBJECTS TO MATCH EQUIPMENT FLUOR.
22. THE CONTRACTOR SHALL VISIT THE SITE BEFORE SUBMITTING HIS BID IN ORDER THAT HE BE AWARE OF ALL EXISTING CONDITIONS. NOT ALLOWANCES WILL BE MADE FOR ANY EXISTING CONDITIONS OF WHICH THE CONTRACTOR WAS NOT AWARE.
23. THE TELEPHONE, INSTALLATION SHALL MEET ALL STANDARD REQUIREMENTS FOR LOCAL POWER, TELEPHONE AND CABLE UTILITIES.
24. FURNISH AND INSTALL ALL LIGHTING FIXTURES, WALL LAMPS, TYPES SHALL BE AS SELECTED BY THE ARCHITECT AND/OR THE INTERIOR DESIGNER.
25. WORKS DESCRIBED SHALL BE ATTENDED, SUPERVISION BY ADE. VERIFICATION WITH ARCHITECTURAL DRAWINGS PRIOR TO BEGINNING.
26. CONTRACTOR SHALL DO ALL ELECTRICAL, PLUMBING, AND MECHANICAL AND SPECIAL CONTRACTOR SHALL DO ALL PLUMBING, MECHANICAL, PLUMBING, PLUMBING, AND CUTTINGS. REPAIR ANY DAMAGE DONE TO OTHERS' EQUIPMENT OR MATERIAL.

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MARTINEZ • POSE
A R C H I T E C T S
4131 LAGUNA • CORAL GABLES • FL • 33146 • (305) 446-1166

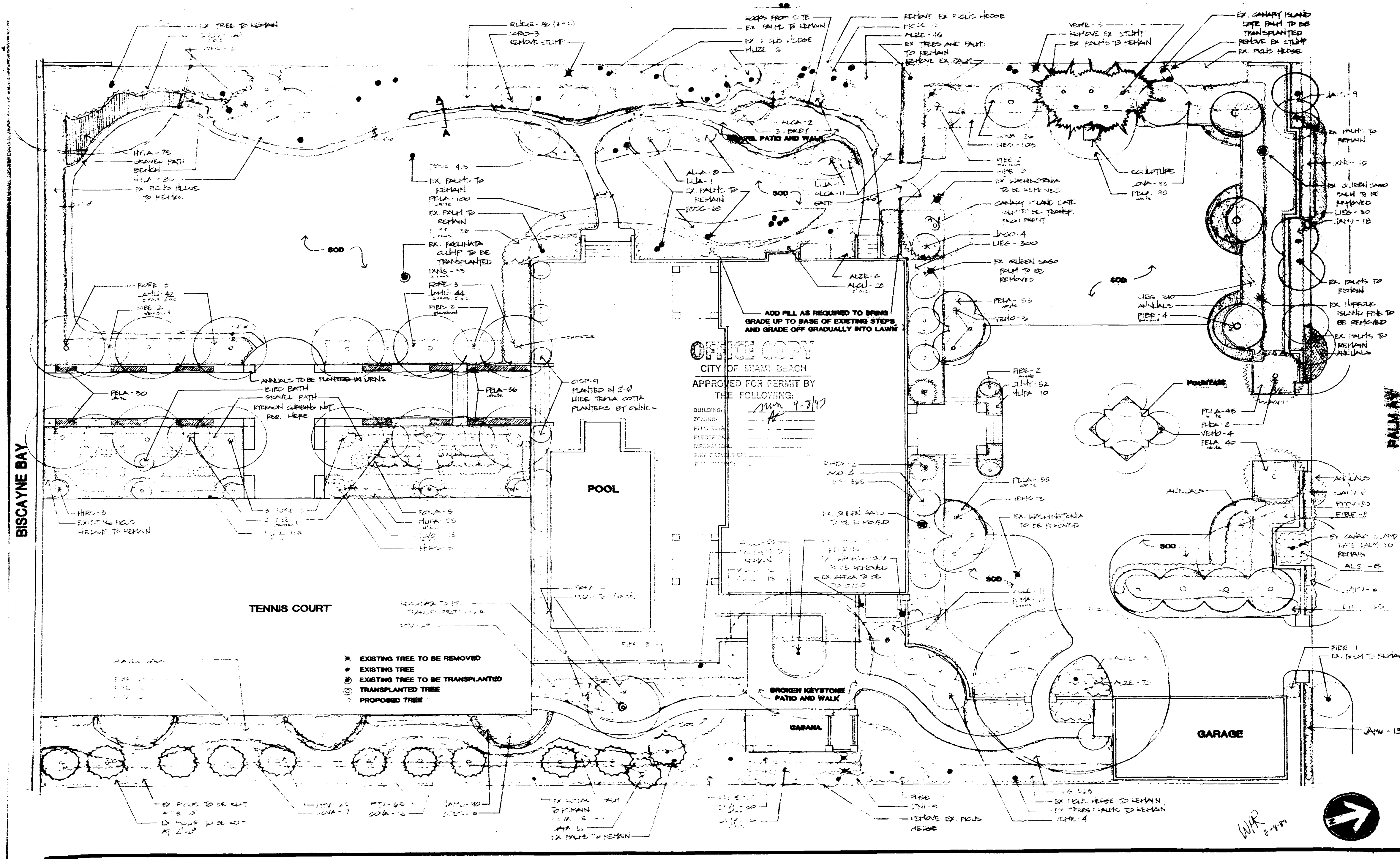
**Addition and Remodeling for:
RESIDENCE of MR. ELIAS ABOUD**

| |
|--------------------|
| REVISIONS |
| JOB 93212 |
| DATE 6-7-68 |
| E-6 |
| 30 |

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CITY OF NEW LONDON
APPROVED FOR RELEASE BY
THE FOLLOWING:
[Signature] 8-8/92
[Signature] 4/14/93

VHAL ENGINEERING, P.A.
CONSULTING ENGINEERS
475 Birmore Way • Suite 300 • Coral Gables, FL 33134
Phone: (305) 461-5961 • Fax: (305) 461-6018

3



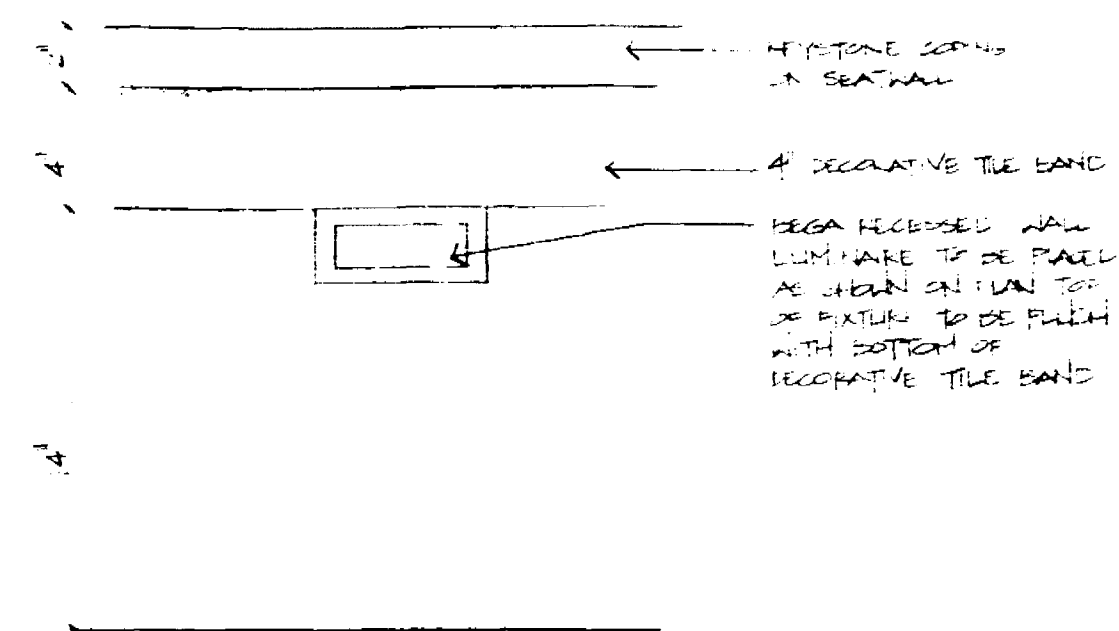
rosenberg design group
LAND PLANNING & LANDSCAPE ARCHITECTURE
MEMBER AMERICAN SOCIETY OF LANDSCAPE ARCHITECTS

ABERDARE RESIDENCE

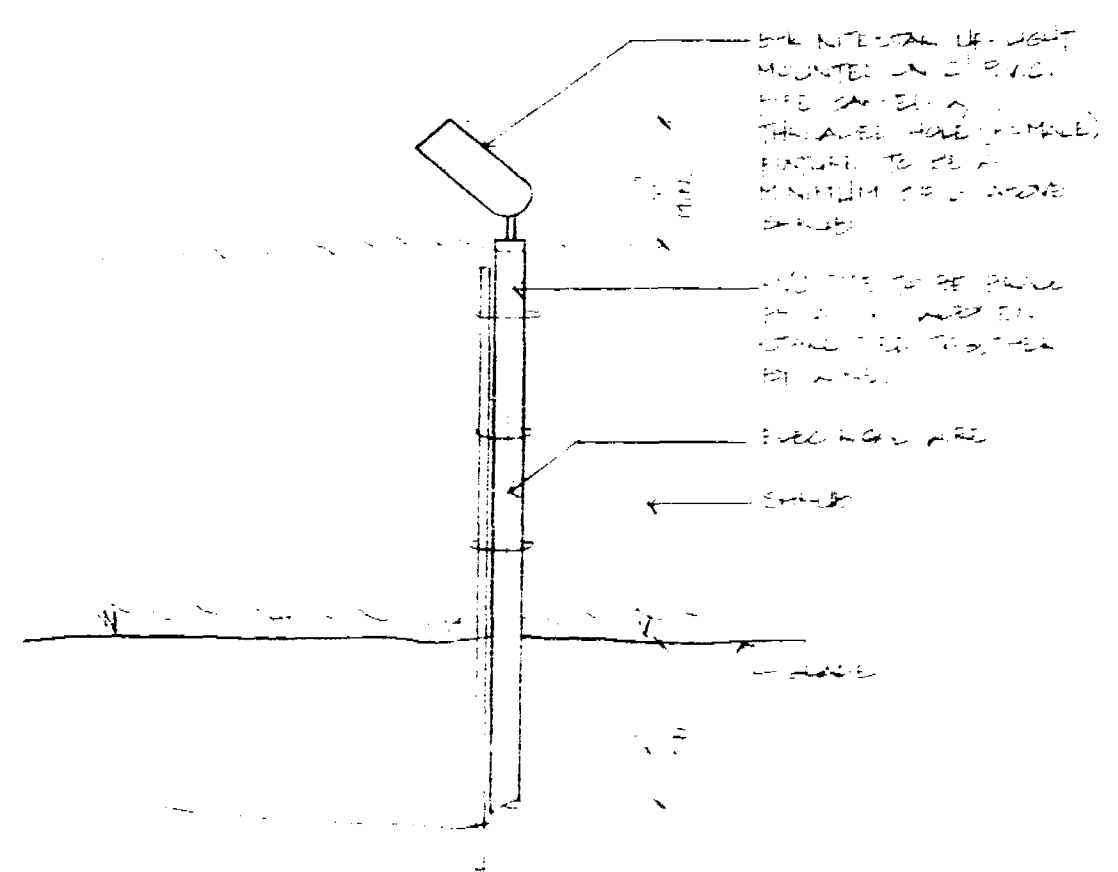
| DATE | REVISIONS |
|---------|-----------|
| 7-16-95 | 0-2-95 |

SCALE
1"=10'-0"

SHEET
LA-1 31



DETAIL A



DETAIL B

LIGHTING SCHEDULE

| KEY | DESCRIPTION | QUANTITY |
|-----|--|----------|
| ● | B-K NITE STAR "DOWNLIGHT"
N/5-2 - BLP-9-11; ATTACHED
TO TREE WITH B-K TREE STRAP
#TS-TMC-BLM (STRAP LENGTH AS
NECESSARY) | 11 |
| ▲ | B-K NITE STAR "UPLIGHT"
N/5-4-BLP-9-11 MOUNTED ON
PVC STEMS. SEE DETAIL "A" | 52 |
| ● | BECA RECESSED WALL LUMINAIRE
#1322 WHITE IN COLOR. HEIGHT
OF LUMINAIRE IN WALL IS AS
SHOWN IN DETAIL "B" | 18 |
| ■ | BECA LOW VOLTAGE BOLLARD PATH
LIGHT #8680 | 16 |
| ● | BOLLARD LIGHT TO BE CHOSEN
BY ARCHITECT | 4 |
| ⊠ | HADCO T500-12
500 WATT T MER | 8/13 |

- NOTES:
- 1) DOWN LIGHTS IN PALMS WILL BE PLACED JUST BELOW THE FRONDS. THE WIRE WILL BE KEPT ON THE BACKSIDE OF THE PALM TO HIDE IT FROM VIEW. DOWNLIGHTS IN TREES WILL BE SITUATED SO THAT THEY ARE HIDDEN AS POSSIBLE WITHOUT IMPEDING THE FUNCTIONING OF THE FIXTURES.
 - 2) TRANSFORMERS WILL BE ON 2"6" STAKES AND HIDDEN IN SHRUB BEDS WHERE THEY CAN'T BE MOUNTED ON WALLS.

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CITY OF MIAMI BEACH
APPROVED FOR REVIEW BY
THE FOLLOWING:
BUILDING _____
ZONING _____
PLANNING _____
ELECTRICAL _____
MECHANICAL _____
FIRE PREVENTION _____
ENGINEERING _____

ABBOUD
RESIDENCE

DATE
7/16/93
REVISIONS
5-2-93

LANDSCAPE LIGHTING
NOTES AND DETAILS

SCALE
AS SHOWN

PERMIT #

B 9902670

BIMS 92549

BMS0000974

ADDRESS

94 Palm Av

000382

BRADLEY J. CASH - PROFESSIONAL CONSULTANT
17880 NORTHEAST 31 COURT
AVENTURA, FLORIDA 33160

PROJECT LOCATED AT: 94 PALM AVENUE, MIAMI BEACH, FLORIDA

FOR: ROBERT WADE AND ASSOCIATES, P.A.
330 BRICKELL KEY DRIVE
OFFICE PLAZA 201
MIAMI, FLORIDA

DATE: AUG 3, 1999

Lateral Pressures Due to Wind
Low-rise buildings (buildings with a mean roof height less than 60 feet)
Calculations are based on the requirements of the South Florida Building Code (SFBC) and American Society of Civil Engineers (ASCE) Standard 7-88, Minimum Design Loads for Buildings and Other Structures.

Building mean roof height (h): 40 feet
Building minimum width (b): 10 feet
Roof slope: 2 on 12

Exposure: Category I at hurricane coastline.

Basic Wind Speed (mph): 110 mph
Importance Factor: 1.0
Area of component or cladding to be considered: 100 sq ft

GCW (Internal Pressure): 0.0
GCW (External Pressure): 0.0

Windload (psf): 10.0

This opening is in zone 4

WINDOW B, SHEET A-2

Build 12/1/99

BRADLEY J. CASH - PROFESSIONAL CONSULTANT
17880 NORTHEAST 31 COURT
AVENTURA, FLORIDA 33160

PROJECT LOCATED AT: 94 PALM AVENUE, MIAMI BEACH, FLORIDA

FOR: ROBERT WADE AND ASSOCIATES, P.A.
330 BRICKELL KEY DRIVE
OFFICE PLAZA 201
MIAMI, FLORIDA

DATE: AUG 3, 1999

Lateral Pressures Due to Wind
Low-rise buildings (buildings with a mean roof height less than 60 feet)
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Building minimum width (b): 10 feet
Roof slope: 2 on 12

Exposure: Category I at hurricane coastline.

Basic Wind Speed (mph): 110 mph
Importance Factor: 1.0
Area of component or cladding to be considered: 100 sq ft

GCW (Internal Pressure): 0.0
GCW (External Pressure): 0.0

Windload (psf): 10.0

This opening is in zone 4

WINDOW D, SHEET A-2

Build 12/1/99

BRADLEY J. CASH - PROFESSIONAL CONSULTANT
17880 NORTHEAST 31 COURT
AVENTURA, FLORIDA 33160

PROJECT LOCATED AT: 94 PALM AVENUE, MIAMI BEACH, FLORIDA

FOR: ROBERT WADE AND ASSOCIATES, P.A.
330 BRICKELL KEY DRIVE
OFFICE PLAZA 201
MIAMI, FLORIDA

DATE: AUG 3, 1999

Lateral Pressures Due to Wind
Low-rise buildings (buildings with a mean roof height less than 60 feet)
Calculations are based on the requirements of the South Florida Building Code (SFBC) and American Society of Civil Engineers (ASCE) Standard 7-88, Minimum Design Loads for Buildings and Other Structures.

Building mean roof height (h): 40 feet
Building minimum width (b): 10 feet
Roof slope: 2 on 12

Exposure: Category I at hurricane coastline.

Basic Wind Speed (mph): 110 mph
Importance Factor: 1.0
Area of component or cladding to be considered: 100 sq ft

GCW (Internal Pressure): 0.0
GCW (External Pressure): 0.0

Windload (psf): 10.0

This opening is in zone 4

DOOR 2, SHEET A-2

Build 12/1/99

BRADLEY J. CASH - PROFESSIONAL CONSULTANT
17880 NORTHEAST 31 COURT
AVENTURA, FLORIDA 33160

PROJECT LOCATED AT: 94 PALM AVENUE, MIAMI BEACH, FLORIDA

FOR: ROBERT WADE AND ASSOCIATES, P.A.
330 BRICKELL KEY DRIVE
OFFICE PLAZA 201
MIAMI, FLORIDA

DATE: AUG 3, 1999

Lateral Pressures Due to Wind
Low-rise buildings (buildings with a mean roof height less than 60 feet)
Calculations are based on the requirements of the South Florida Building Code (SFBC) and American Society of Civil Engineers (ASCE) Standard 7-88, Minimum Design Loads for Buildings and Other Structures.

Building mean roof height (h): 40 feet
Building minimum width (b): 10 feet
Roof slope: 2 on 12

Exposure: Category I at hurricane coastline.

Basic Wind Speed (mph): 110 mph
Importance Factor: 1.0
Area of component or cladding to be considered: 100 sq ft

GCW (Internal Pressure): 0.0
GCW (External Pressure): 0.0

Windload (psf): 10.0

This opening is in zone 4

WINDOW C, SHEET A-2

Build 12/1/99

000005

BRADLEY J. CASH - PROFESSIONAL CONSULTANT
17880 NORTHEAST 31 COURT
AVENTURA, FLORIDA 33160

PROJECT LOCATED AT: 94 PALM AVENUE, MIAMI BEACH, FLORIDA

FOR: ROBERT WADE AND ASSOCIATES, P.A.
330 BRICKELL KEY DRIVE
OFFICE PLAZA 201
MIAMI, FLORIDA

DATE: AUG 3, 1999

Lateral Pressures Due to Wind
Low-rise buildings (buildings with a mean roof height less than 60 feet)
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Building mean roof height (h): 40 feet
Building minimum width (b): 10 feet
Roof slope: 2 on 12

Exposure: Category I at hurricane coastline.

Basic Wind Speed (mph): 110 mph
Importance Factor: 1.0
Area of component or cladding to be considered: 100 sq ft

GCW (Internal Pressure): 0.0
GCW (External Pressure): 0.0

Windload (psf): 10.0

This opening is in zone 4

WINDOW G, SHEET A-3

Build 12/1/99

BRADLEY J. CASH - PROFESSIONAL CONSULTANT
17880 NORTHEAST 31 COURT
AVENTURA, FLORIDA 33160

PROJECT LOCATED AT: 94 PALM AVENUE, MIAMI BEACH, FLORIDA

FOR: ROBERT WADE AND ASSOCIATES, P.A.
330 BRICKELL KEY DRIVE
OFFICE PLAZA 201
MIAMI, FLORIDA

DATE: AUG 3, 1999

Lateral Pressures Due to Wind
Low-rise buildings (buildings with a mean roof height less than 60 feet)
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Building mean roof height (h): 40 feet
Building minimum width (b): 10 feet
Roof slope: 2 on 12

Exposure: Category I at hurricane coastline.

Basic Wind Speed (mph): 110 mph
Importance Factor: 1.0
Area of component or cladding to be considered: 100 sq ft

GCW (Internal Pressure): 0.0
GCW (External Pressure): 0.0

Windload (psf): 10.0

This opening is in zone 4

WINDOW H, ZONE 4 SHEET A-3

Build 12/1/99

BRADLEY J. CASH - PROFESSIONAL CONSULTANT
17880 NORTHEAST 31 COURT
AVENTURA, FLORIDA 33160

PROJECT LOCATED AT: 94 PALM AVENUE, MIAMI BEACH, FLORIDA

FOR: ROBERT WADE AND ASSOCIATES, P.A.
330 BRICKELL KEY DRIVE
OFFICE PLAZA 201
MIAMI, FLORIDA

DATE: AUG 3, 1999

Lateral Pressures Due to Wind
Low-rise buildings (buildings with a mean roof height less than 60 feet)
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Building mean roof height (h): 40 feet
Building minimum width (b): 10 feet
Roof slope: 2 on 12

Exposure: Category I at hurricane coastline.

Basic Wind Speed (mph): 110 mph
Importance Factor: 1.0
Area of component or cladding to be considered: 100 sq ft

GCW (Internal Pressure): 0.0
GCW (External Pressure): 0.0

Windload (psf): 10.0

This opening is in zone 4

WINDOW H, ZONE 4 SHEET A-3

Build 12/1/99

BRADLEY J. CASH - PROFESSIONAL CONSULTANT
17880 NORTHEAST 31 COURT
AVENTURA, FLORIDA 33160

PROJECT LOCATED AT: 94 PALM AVENUE, MIAMI BEACH, FLORIDA

FOR: ROBERT WADE AND ASSOCIATES, P.A.
330 BRICKELL KEY DRIVE
OFFICE PLAZA 201
MIAMI, FLORIDA

DATE: AUG 3, 1999

Lateral Pressures Due to Wind
Low-rise buildings (buildings with a mean roof height less than 60 feet)
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Building mean roof height (h): 40 feet
Building minimum width (b): 10 feet
Roof slope: 2 on 12

Exposure: Category I at hurricane coastline.

Basic Wind Speed (mph): 110 mph
Importance Factor: 1.0
Area of component or cladding to be considered: 100 sq ft

GCW (Internal Pressure): 0.0
GCW (External Pressure): 0.0

Windload (psf): 10.0

This opening is in zone 4

WINDOW C, SHEET A-3

Build 12/1/99

BRADLEY J. CASH - PROFESSIONAL CONSULTANT
17880 NORTHEAST 31 COURT
AVENTURA, FLORIDA 33160

AUG 31, 1999

FOR: ROBERT WADE AND ASSOCIATES, P.A.
530 BRICKELL KEY DRIVE
OFFICE PLAZA 201
MIAMI, FLORIDA

PROJECT LOCATED AT: 84 PALM AVENUE
MIAMI BEACH, FLORIDA

Lateral Pressures Due to Wind
Low-rise buildings (buildings with a mean roof height less than 60 feet)
Calculations are based on the requirements of the South Florida Building Code (SFBC) and American Society of Civil Engineers (ASCE) Standard 7-88, Minimum Design Loads for Buildings and Other Structures.

Building mean roof height (ft)
Building maximum width (ft)
Building maximum height (ft)
Building maximum height (ft) to roof edge greater than 2 on 12

Exposure
Buildings with height less than or equal to 60 feet are classified into three exposure categories based on the ground surface and the distance from the building to the nearest large body of water.

Basic Wind Speed (mph)
SFBC requires the use of 110 mph for design wind speed.

Importance Factor
Based on building occupancy. For residential buildings, Category I at hurricane coastline.

Area A (psf)
Area of component or cladding to be considered.

GC (Internal Pressure)
For windows or doors designed to the wind pressures calculated herein and covered by protective hurricane shutters, GCs need not be applied.

For windows or doors designed to the wind pressures calculated herein and additionally designed against large debris impact, GCs shall not be applied.

ASCE 7-88, Commentary, Section 6.7

GC (External Pressure)

Windload (psf)

This opening is in zone 4

WINDOW A, SHEET A-3

BRADLEY J. CASH - PROFESSIONAL CONSULTANT
17880 NORTHEAST 31 COURT
AVENTURA, FLORIDA 33160

AUG 31, 1999

FOR: ROBERT WADE AND ASSOCIATES, P.A.
530 BRICKELL KEY DRIVE
OFFICE PLAZA 201
MIAMI, FLORIDA

PROJECT LOCATED AT: 84 PALM AVENUE
MIAMI BEACH, FLORIDA

Lateral Pressures Due to Wind
Low-rise buildings (buildings with a mean roof height less than 60 feet)
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Building maximum width (ft)
Building maximum height (ft)
Building maximum height (ft) to roof edge greater than 2 on 12

Exposure
Buildings with height less than or equal to 60 feet are classified into three exposure categories based on the ground surface and the distance from the building to the nearest large body of water.

Basic Wind Speed (mph)
SFBC requires the use of 110 mph for design wind speed.

Importance Factor
Based on building occupancy. For residential buildings, Category I at hurricane coastline.

Area A (psf)
Area of component or cladding to be considered.

GC (Internal Pressure)
For windows or doors designed to the wind pressures calculated herein and covered by protective hurricane shutters, GCs need not be applied.

For windows or doors designed to the wind pressures calculated herein and additionally designed against large debris impact, GCs shall not be applied.

ASCE 7-88, Commentary, Section 6.7

GC (External Pressure)

Windload (psf)

This opening is in zone 4

WINDOW C, SHEET A-3

BRADLEY J. CASH - PROFESSIONAL CONSULTANT
17880 NORTHEAST 31 COURT
AVENTURA, FLORIDA 33160

AUG 31, 1999

FOR: ROBERT WADE AND ASSOCIATES, P.A.
530 BRICKELL KEY DRIVE
OFFICE PLAZA 201
MIAMI, FLORIDA

PROJECT LOCATED AT: 84 PALM AVENUE
MIAMI BEACH, FLORIDA

Lateral Pressures Due to Wind
Low-rise buildings (buildings with a mean roof height less than 60 feet)
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Building maximum height (ft)
Building maximum height (ft) to roof edge greater than 2 on 12

Exposure
Buildings with height less than or equal to 60 feet are classified into three exposure categories based on the ground surface and the distance from the building to the nearest large body of water.

Basic Wind Speed (mph)
SFBC requires the use of 110 mph for design wind speed.

Importance Factor
Based on building occupancy. For residential buildings, Category I at hurricane coastline.

Area A (psf)
Area of component or cladding to be considered.

GC (Internal Pressure)
For windows or doors designed to the wind pressures calculated herein and covered by protective hurricane shutters, GCs need not be applied.

For windows or doors designed to the wind pressures calculated herein and additionally designed against large debris impact, GCs shall not be applied.

ASCE 7-88, Commentary, Section 6.7

GC (External Pressure)

Windload (psf)

This opening is in zone 5

WINDOW F, SHEET A-3

BRADLEY J. CASH - PROFESSIONAL CONSULTANT
17880 NORTHEAST 31 COURT
AVENTURA, FLORIDA 33160

AUG 31, 1999

FOR: ROBERT WADE AND ASSOCIATES, P.A.
530 BRICKELL KEY DRIVE
OFFICE PLAZA 201
MIAMI, FLORIDA

PROJECT LOCATED AT: 84 PALM AVENUE
MIAMI BEACH, FLORIDA

Lateral Pressures Due to Wind
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Building mean roof height (ft)
Building maximum width (ft)
Building maximum height (ft)
Building maximum height (ft) to roof edge greater than 2 on 12

Exposure
Buildings with height less than or equal to 60 feet are classified into three exposure categories based on the ground surface and the distance from the building to the nearest large body of water.

Basic Wind Speed (mph)
SFBC requires the use of 110 mph for design wind speed.

Importance Factor
Based on building occupancy. For residential buildings, Category I at hurricane coastline.

Area A (psf)
Area of component or cladding to be considered.

GC (Internal Pressure)
For windows or doors designed to the wind pressures calculated herein and covered by protective hurricane shutters, GCs need not be applied.

For windows or doors designed to the wind pressures calculated herein and additionally designed against large debris impact, GCs shall not be applied.

ASCE 7-88, Commentary, Section 6.7

GC (External Pressure)

Windload (psf)

This opening is in zone 4

WINDOW A, SHEET A-3

BRADLEY J. CASH - PROFESSIONAL CONSULTANT
17880 NORTHEAST 31 COURT
AVENTURA, FLORIDA 33160

AUG 31, 1999

FOR: ROBERT WADE AND ASSOCIATES, P.A.
530 BRICKELL KEY DRIVE
OFFICE PLAZA 201
MIAMI, FLORIDA

PROJECT LOCATED AT: 84 PALM AVENUE
MIAMI BEACH, FLORIDA

Lateral Pressures Due to Wind
Low-rise buildings (buildings with a mean roof height less than 60 feet)
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Basic Wind Speed (mph)
SFBC requires the use of 110 mph for design wind speed.

Importance Factor
Based on building occupancy. For residential buildings, Category I at hurricane coastline.

Area A (psf)
Area of component or cladding to be considered.

GC (Internal Pressure)
For windows or doors designed to the wind pressures calculated herein and covered by protective hurricane shutters, GCs need not be applied.

For windows or doors designed to the wind pressures calculated herein and additionally designed against large debris impact, GCs shall not be applied.

ASCE 7-88, Commentary, Section 6.7

GC (External Pressure)

Windload (psf)

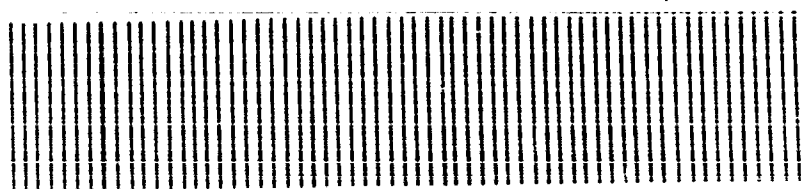
This opening is in zone 4

WINDOW A, SHEET A-3

LASON
The Information Management Company
6954 N.W. 12 STREET, MIAMI, FLORIDA 33126
305-477-9149 • 800-287-4799 • FAX 305-477-7526

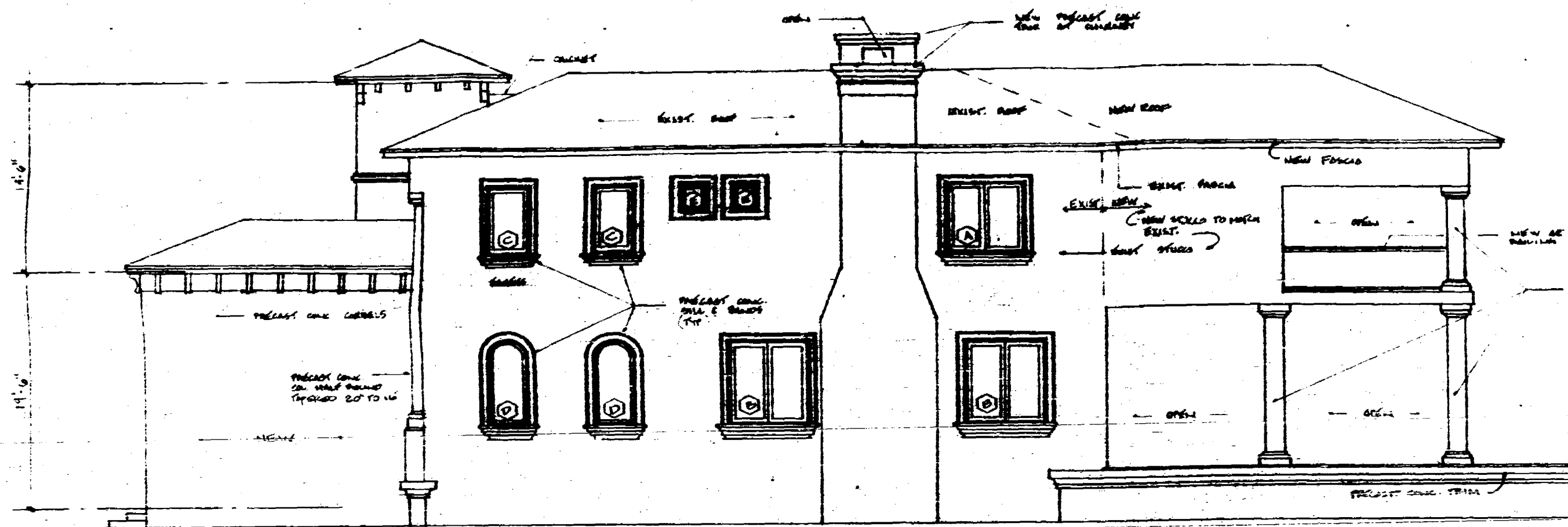
PREVIOUS DOCUMENT

IS
a photocopy in poor
condition



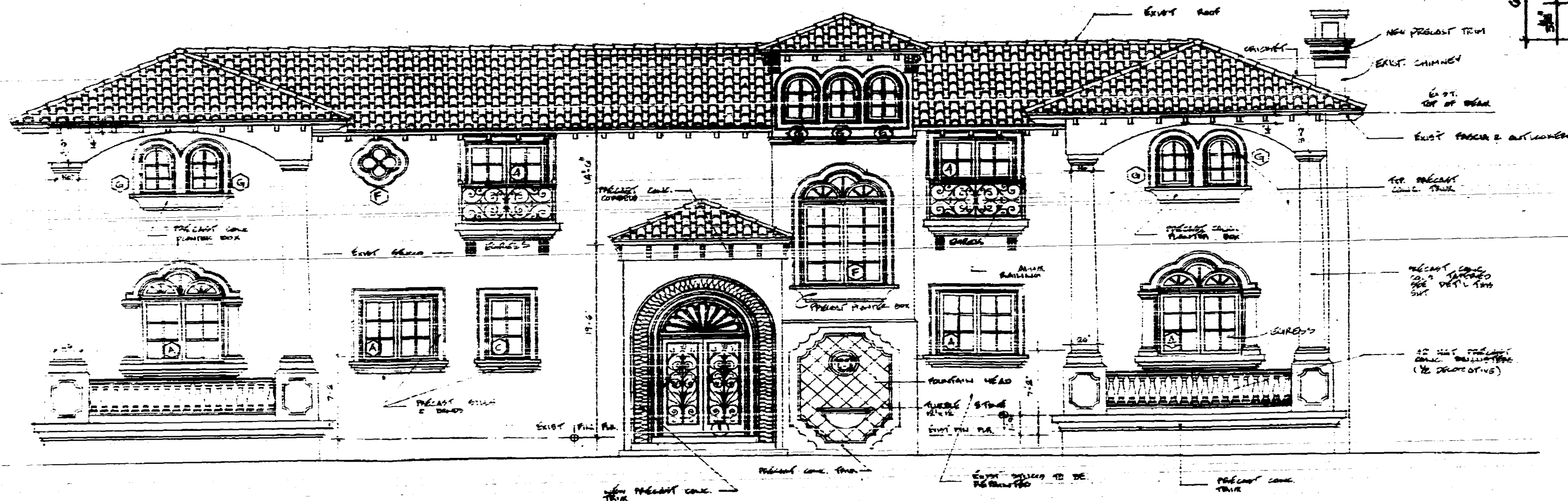
FC 017

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RIGHT SIDE ELEVATION

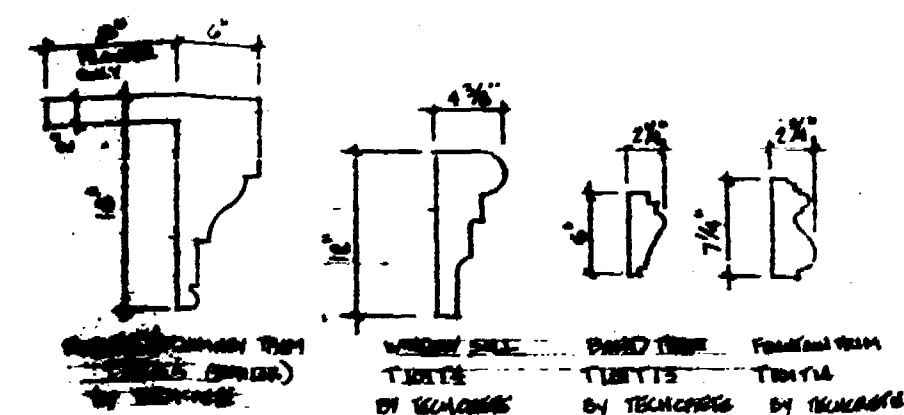
NOTE
ALL WINDOWS & DOORS TO HAVE
1/2" LATCH PRESTRESS BLIND



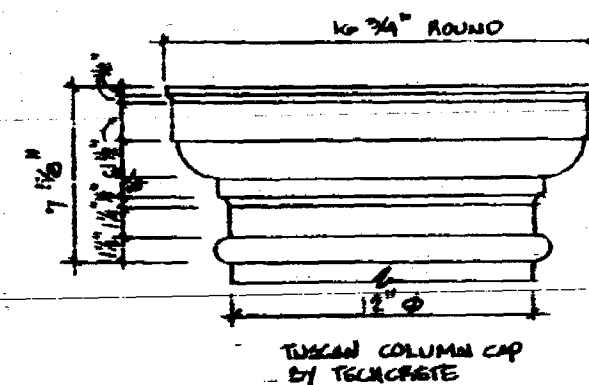
FRONT ELEVATION

SCALE 1/4" = 1'-0"

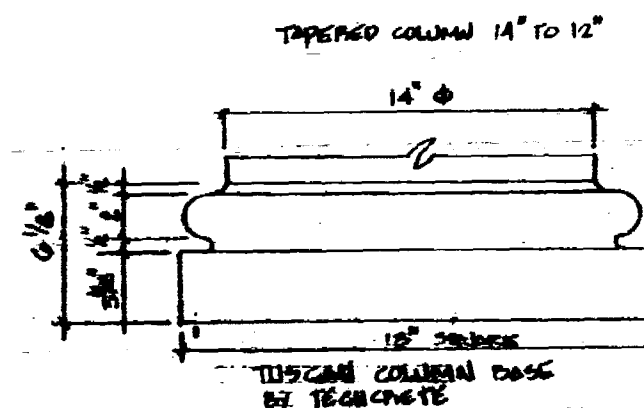
NOTE
ALL WINDOWS & DOORS TO HAVE
1/2" LATCH PRESTRESS BLIND



PRECAST TRIM PROFILES



TAPERED COLUMN CAP
BY TECHCONCRETE



TAPERED COLUMN BASE
BY TECHCONCRETE

OFFICE COPY

CITY OF MIAMI BEACH
APPROVED FOR PERMIT BY
THE FOLLOWING:

DATE: 12/1/74
PLANNING: [Signature]
ENGINEERING: [Signature]
ARCHITECT: [Signature]
APPROVED: [Signature]
SUBMITTED: [Signature]



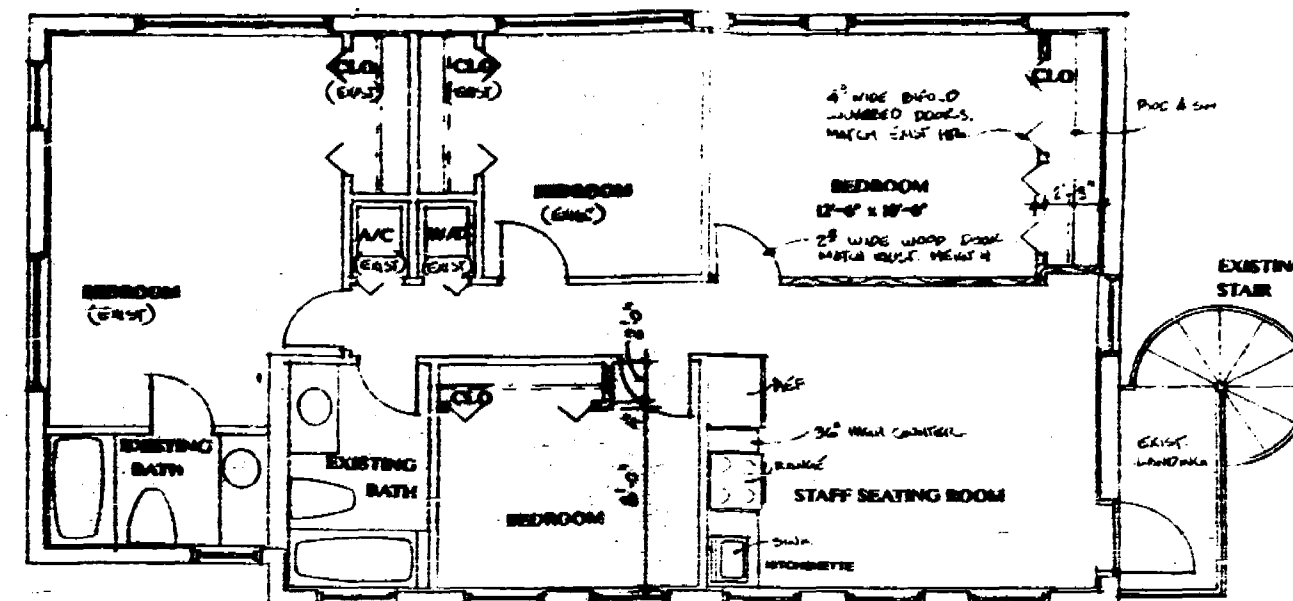
ROBERT WADE AND ASSOCIATES, P.A.
PLANNERS
ARCHITECTS

RENOVATION FOR
DOMINION INDUSTRIAL HOLDINGS

MIAMI BEACH, FLORIDA
94 PALM AVENUE

REVISION
DATE
BY
CHECKED
DATE

12/1/74
A-4



(EXISTING WINDOWS TO REMAIN)

NEW STAIR PORTION W/ RAIL
PART INSULATION

FLOOR PLAN

SCALE 1/4\"/>

FOR ELECTRICAL, MECHANICAL AND PLUMBING SIZES AND INFORMATION
REFER TO ENGINEER'S DRAWINGS.

OFFICE COPY CITY OF MIAMI BEACH APPROVED FOR PERMIT BY THE FOLLOWING:

BUILDING: _____
 CODE: _____
 PLUMBING: _____
 ELECTRICAL: _____
 MECHANICAL: _____
 FIRE PROTECTION: _____
 ENGINEERING: _____
 PERMITS: _____
 INSPECTION: _____
 APPROVED: _____
 DATE: _____

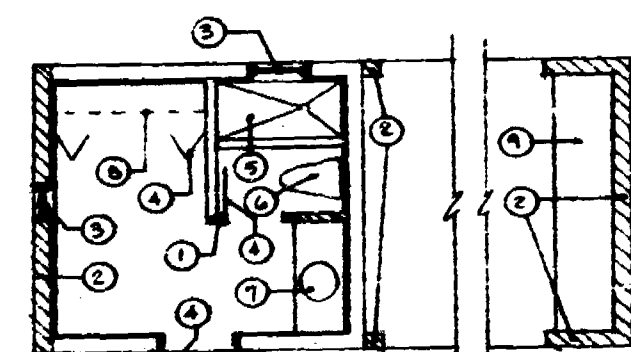
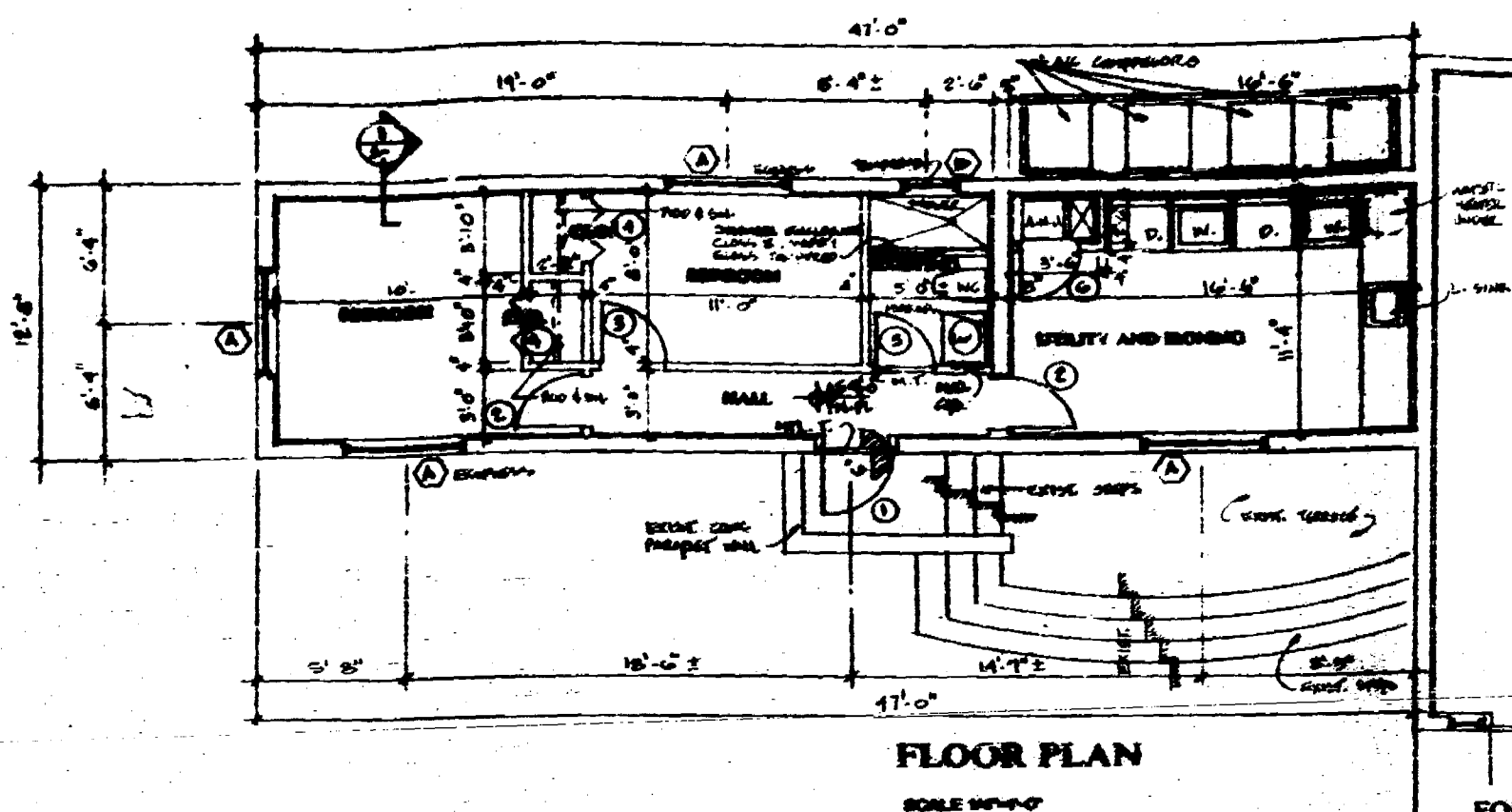
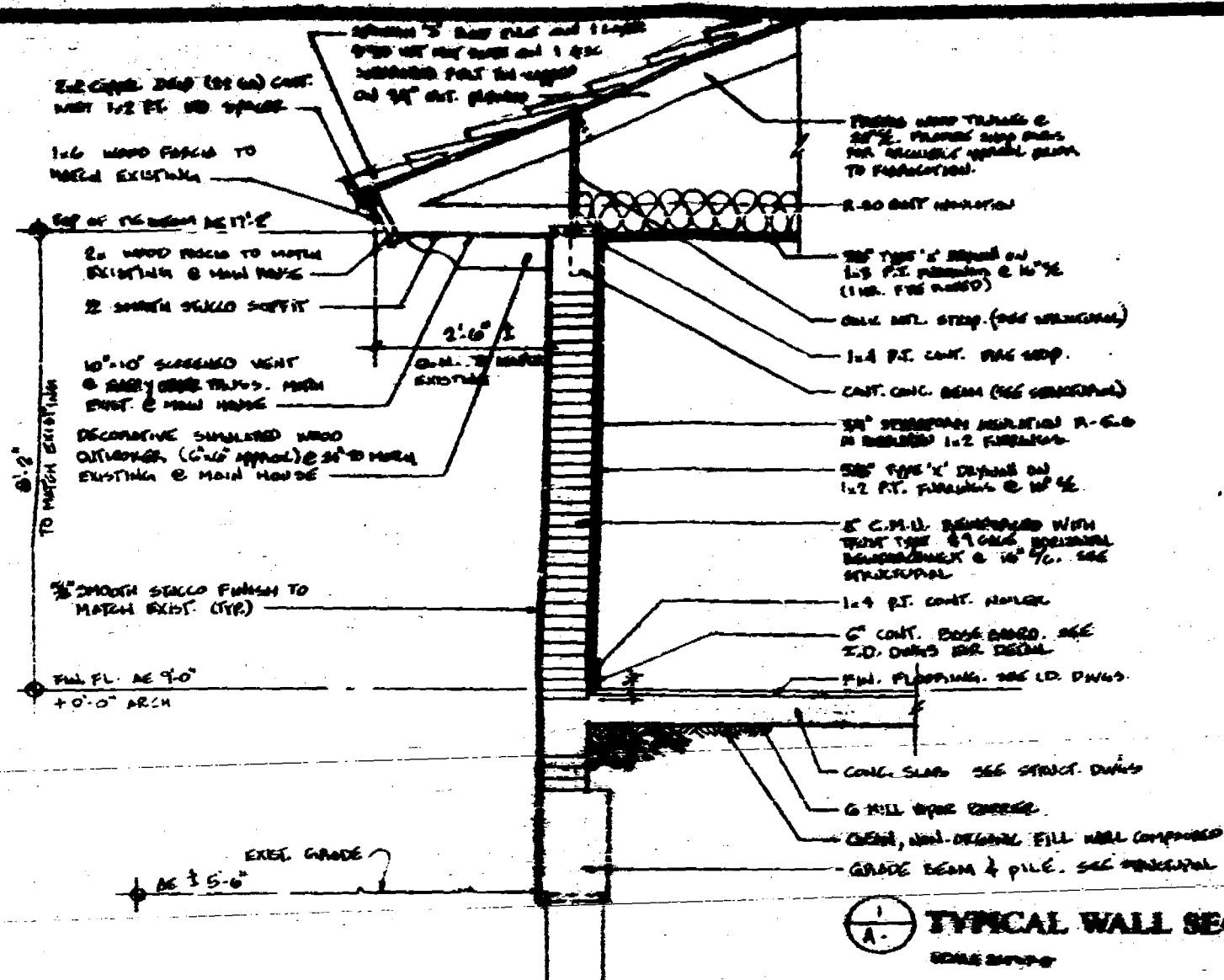
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OF
6

ROBERT WADE AND ASSOCIATES, P.A.
ARCHITECTS
PLANNERS

RENOVATION FOR
DOMINION INDUSTRIAL HOLDINGS
MIAMI BEACH 94 PALM AVENUE FLORIDA

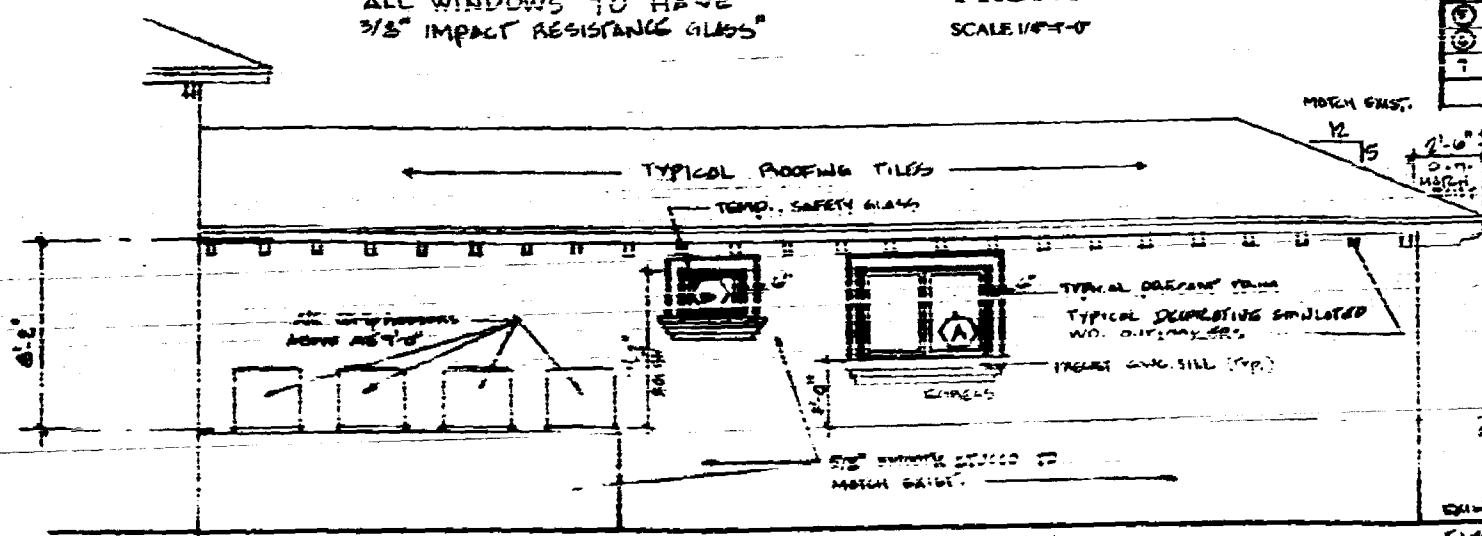
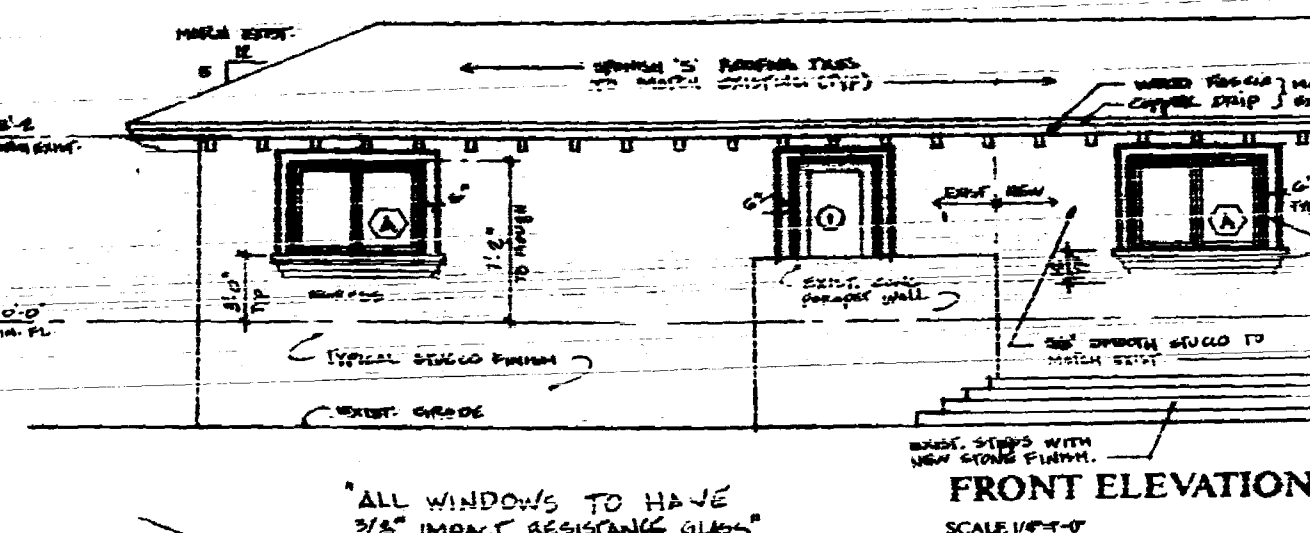
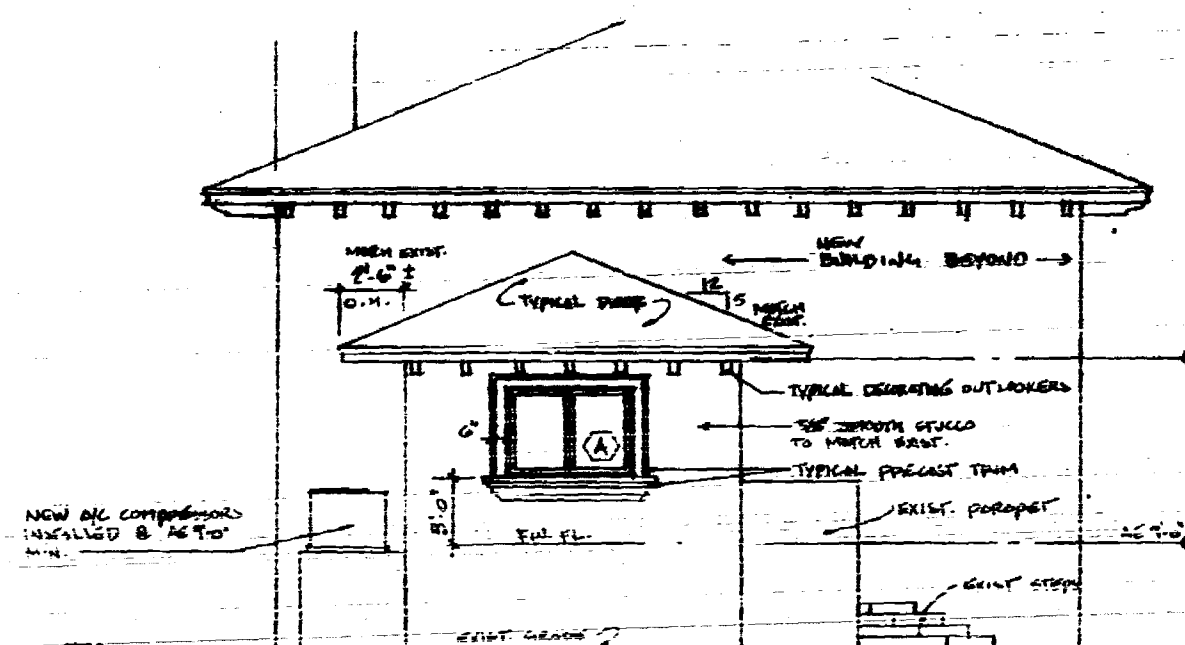
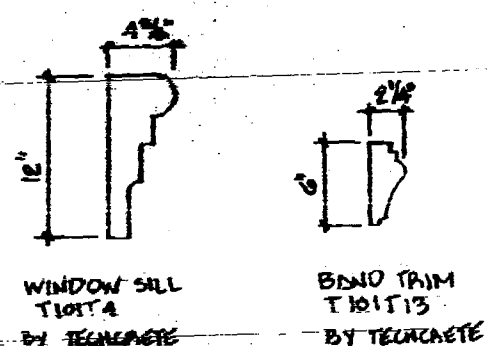
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KEY NOTES

DEMOLITION PLAN

FOR ELECTRICAL, MECHANICAL AND PLUMBING
SIZES AND INFORMATION REFER TO ENGINEER'S
DRAWINGS.



| WINDOW SCHEDULE | | | | | | |
|-----------------|--------|--------|-------|--------------|---------|----------------------|
| NO. | INCHES | HEIGHT | PANES | DESCRIPTION | REMARKS | REMARKS |
| ① | 60" | 42" | - | ALUM. CASING | C&S | 75" IMPACT GLASS, 20 |
| ② | 30" | 24" | - | " | C&S | 25" IMPACT GLASS, 20 |

| DOOR SCHEDULE | | | | | | | |
|---------------|-------|--------|--------|-----------------|---------|----------|------------------|
| NO. | WIDTH | HEIGHT | THICK | MATERIAL & TYPE | NO. HDS | FINISHES | OUTSIDE FINISHES |
| 1 | 30" | 80" | 1 7/8" | WOOD, PINECORE | 1 | SLMT | 24" SGT. |
| 2 | 30" | 80" | 1 7/8" | WOOD, PINECORE | 2 | - | - |
| 3 | 32" | 80" | 1 7/8" | WOOD, PINECORE | 2 | - | - |
| 4 | 36" | 80" | 1 7/8" | WOOD, PINECORE | 2 | MODERN | - |
| 5 | 30" | 80" | 1 7/8" | WOOD, PINECORE | 2 | MODERN | - |
| 6 | 32" | 80" | 1 7/8" | " | 3 | - | - |
| 7 | | | | | | | AR. DOOR |

KEY NOTE

1. Phenomenon: FULL WEATHER STRIPPING; DID NOT SOFT PER. CURE, BUT STRIPPING
2. Phenomenon: WEIRD, BUT
3. Phenomenon: AIR TIGHT, POSITIVE A/C RETURN

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PLANNING DEPARTMENT

DOMINION INDUSTRIAL HOLDINGS

MIAMI BEACH, FL 33139
94 PALM AVENUE, APT. 101

FLORIDA

APPENDIX

PLAN

GENERAL NOTES

- GENERAL CONTRACTOR AND SUBCONTRACTORS MUST VISIT THE JOB SITE AND BE FAMILIAR WITH THE WORK CONTAINED ON THESE DRAWINGS PRIOR TO SUBMITTING ESTIMATES. VISIT WITH THE ARCHITECT IN WRITING ANY OMISSIONS OR DISCREPANCIES ARISING FROM THE INFORMATION CONTAINED IN THE DRAWINGS. EXISTENT FANS MUST BE EQUIPPED WITH DAMPERS.
- SMOKE DETECTORS MUST BE CONNECTED TO NEAREST NON-G.F.A. CIRCUIT.
- ALL WINDOW SILLS AT SECOND FLOOR TO BE A MINIMUM OF 3" FROM FLOOR FLOOR, OR PROVIDE SECURITY BAR 4" HIGH FROM FLOOR FLOOR.
- SECOND MEANS OF ESCAPE S.F.B.C. SECTION SHALL: THE SECOND MEANS OF ESCAPE OR ALTERNATE PROTECTION SHALL BE ONE OF THE FOLLOWING: (A) A DOOR, STAIRWAY, PASSAGE OR RAIL, PROVIDING A WAY, INDEPENDENT OF AND REMOTE FROM THE PRIMARY MEANS OF ESCAPE, OF UNOBSTRUCTED TRAVEL TO THE OUTSIDE OF THE BUILDING AT STREET OR GROUND LEVEL. (B) A PASSAGE THROUGH ADJACENT NON-LOCKABLE SPACES SUBORDINATE OF AND REMOTE FROM THE PRIMARY MEANS OF ESCAPE TO ANY APPROVED MEANS OF ESCAPE. (C) AN OUTSIDE WINDOW OR DOOR OPERABLE FROM THE INSIDE WITHOUT THE USE OF TOOLS AND PROVIDING CLEAR OPENING OF NOT LESS THAN 20 INCHES IN WIDTH, 24 INCHES IN HEIGHT AND 5' 0" FT. IN AREA. THE BOTTOM OF THE OPENING SHALL NOT BE MORE THAN 4 INCHES OFF THE FLOOR. SUCH MEANS OF ESCAPE SHALL BE ACCEPTABLE IF: (C1) THE WINDOW IS WITHIN 20 FEET OF GRADE, OR (C2) THE WINDOW IS DIRECTLY ACCESSIBLE TO THE FIRE DEPARTMENT RESCUE APPARATUS AS APPROVED BY THE HOLDING ADOPTED FIRE OFFICIAL, OR (C3) THE WINDOW OR DOOR OPENS TO AN EXTERIOR BALCONY.
- ALL OUTSIDE FLOOR GLASS TO COMPLY WITH S.F.B.C. SECTION

3586.2

- WINDOWS AT ALL SHOWER AREAS SHALL HAVE TEMPERED GLASS.
- ALL ALUMINUM RAILINGS AT SECOND FLOOR MUST BE 42" HIGH. PICKETS MUST BE SPACED 4" DIA. SPHERE. ALL HAND RAILING MUST BE 4" HIGH. PROVIDE ENGINEERED SHOP DRAWINGS FOR ARCHITECT'S APPROVAL PRIOR TO FABRICATION AND/OR BUILDING DEPARTMENT PERMITTING.
- PROVIDE ROOF TIEING SHOP DRAWINGS FOR ARCHITECT'S APPROVAL PRIOR TO FABRICATION.
- PROVIDE PRECAST SHOP DRAWINGS AND MATERIAL SAMPLES FOR ARCHITECT'S APPROVAL PRIOR TO FABRICATION.
- PROVIDE WINDOWS AND DOORS SHOP DRAWINGS ALONG WITH MATERIALS DESCRIPTION FOR ARCHITECT'S APPROVAL PRIOR TO FABRICATION.
- ALL SHOWER ENCLOSURES SHALL HAVE CATEGORY B TEMPERED SAFETY GLASS.
- ALL BATHROOM WINDOWS SHALL BE WITH TEMPERED GLASS.

WINDOW SCHEDULE

| MARK | WIDTH | HEIGHT | REMARKS | DESCRIPTION | MANUFACTURER | REMARKS |
|------|-------|--------|---------|-----------------|--------------|-------------------|
| A | 30" | 36" | 12" | ALUMINUM, FIXED | CGI | 3/8" IMPACT GLASS |

NOTES

- ALL GLASS IN WINDOWS TO BE 3/8" GRAY TINTED, IMPACT RESISTANCE.
- SIZES ARE APPROXIMATE, VERIFY DIMENSIONS WITH WINDOW MANUFACTURER.
- PROVIDE SHOP DRAWINGS FOR ARCHITECT'S APPROVAL PRIOR TO FABRICATION.

DOOR SCHEDULE

| MARK | WIDTH | HEIGHT | THICK | MATERIAL & TYPE | KEY MARK | TYPE/DOOR | REMARKS |
|------|-------|--------|--------|--------------------|----------|-----------|-------------|
| 1 | 60" | 90" | | 1/2" S.S.D., RESUM | 1 | ALUM. | 3/8" IMPACT |
| 2 | 30" | 90" | 1 3/4" | WOOD, PANELED | 2 | WOOD | — |
| 3 | 30" | 90" | 1 3/4" | " | 2 | — | — |
| 4 | 72" | 90" | 1 3/4" | ALUM., PANELED | 2 | ALUM. | — |
| 5 | 30" | 90" | | GLASS | 3 | MARBLE | 1/2" S.S.D. |

KEY NOTES

1. FULL WOODEN STEPPING, DEAD END PER CODE, ALUM. THRESHOLD
2. PREMIUM, AUTOMATIC CLOSER
3. ALUM. FRAME, STEEL ROOF
4. ENGINEER, FULLY DR. TIGHT, 3/8" WITH POSITIVE RESTRAINTS.

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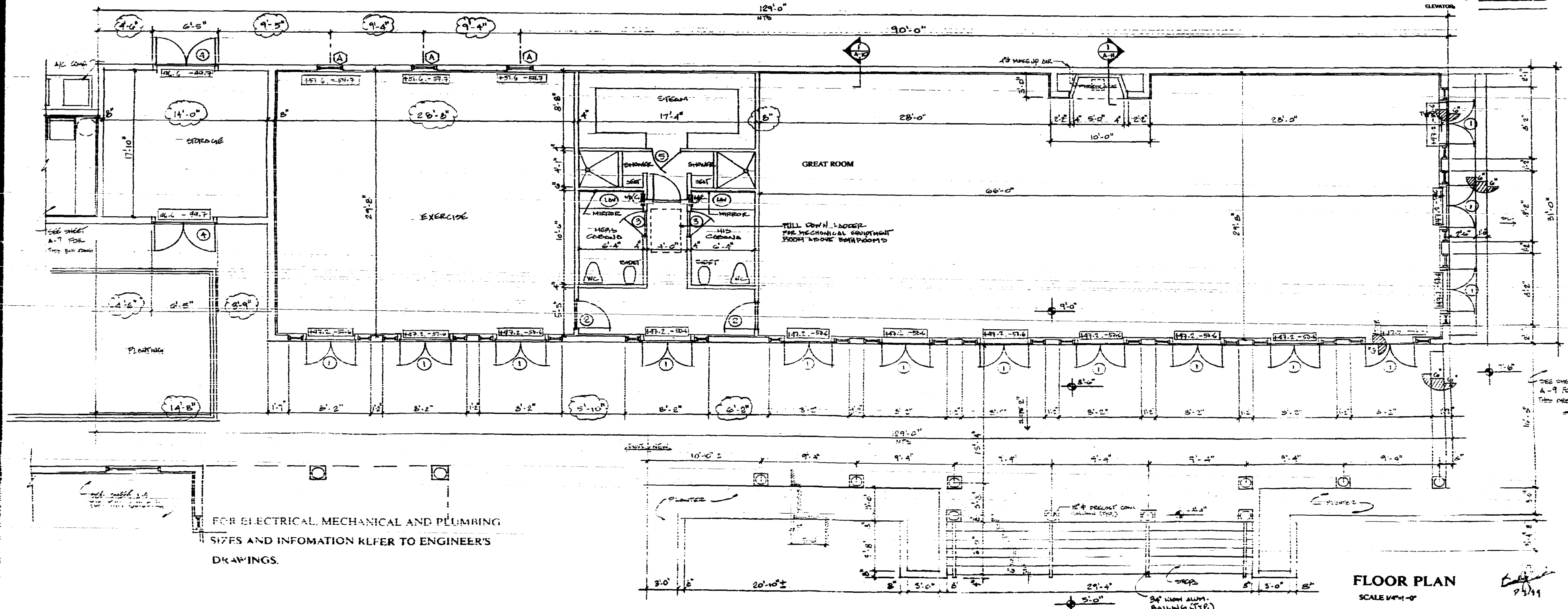
BUILDING
ZONING
PLUMBING
ELECTRICAL
MECHANICAL
FIRE PREVENTION
ENGINEERING
PUBLIC WORKS
STRUCTURAL
ACCESSIBILITY
ELEVATOR

ROBERT WADE AND ASSOCIATES, P.A.
PLANNER

RENOVATION FOR
DOMINION INDUSTRIAL HOLDINGS

MIAMI BEACH, 94 PALM AVENUE
FLORIDA

DATE
SHEET
A-8
OF



- * GENERAL CONTRACTOR AND SUBCONTRACTORS AGREE WITH THE AIA AND AIA-CES AGREEMENTS THAT THE WORK CONTAINED ON THESE DRAWINGS SHALL BE SUBMITTING TO AIA/CES. VERIFY WITH THE ARCHITECT IF THERE ARE ANY CHANGES OR DISCREPANCIES ARISING FROM THE INFORMATION CONTAINED ON THE DRAWINGS.
- * EXISTING PANS MUST BE REMOVED WITH CAREFUL.

* FURTHER DETAIL SHOULD BE CONTACTED TO REARRANGE THIS CASE
CENTRE

* ALL WINDOW SILLS AT SECOND FLOOR TO BE A MINIMUM OF 2" ABOVE FINISH FLOOR, OR PROVIDE SECURITY BAR OR EMBLEMED STEEL GLASS.

* SECOND-CLASS TO BECOME CLASS SECTION 2443 -
THE SECOND MEANS OF BECOMING A TITHEE IN THE SECTION
SHALL BE ONE OF THE FOLLOWING:

(B) A FOREIGN TRAVELER, TRAVELING OUTSIDE HIS COUNTRY OF ORIGIN, OF UNRESTRICTED TRAVEL TO THE OFFICE OF THE SELLING AT SIGHT OR CREDIT LEVEL.

(2) AN OPENING THROUGH CENTER OF DOOR LEADING FROM THE DRIVE
WARRANTY THE SIZE OF DOOR AND FORWARD CLEAR OPENING ON
NOT LESS THAN 20 INCHES IN WIDTH, 24 INCHES IN HEIGHT AND AT
SQ. FT. IN AREA. THE BOTTOM OF THE OPENING SHALL NOT BE
MORE THAN 24 INCHES OFF THE FLOOR. SUCH HINGES OF SPECIAL

(C.1) THE WINDOW IS WITHIN 20 FEET OF GRADE, OR
(C.2) THE WINDOW IS DIRECTLY ACCESSIBLE TO THE PUBLIC
REGARDLESS OF THE ELEVATION AS APPROVED BY THE BUILDING
DEPARTMENT.

* ALL OUTLINE FIBER GLASS TO COMPLY WITH S.F.A.C. SECTION

* ALL STUDENT FEES SAME TO COMPANY WITH S.E.C. APPROVAL

| PLANT | WIDTH | HEIGHT | SEEDS | DESCRIPTION | MANUFACTURE | REMARKS |
|-------|-------|--------|-------|----------------|-------------|----------------|
| A | 30" | 36" | 10" | ALUMINUM FIBER | C.G. I | 26" WIDE GLASS |
| | | | | | | |
| | | | | | | |

| MEASURE | WIDTH | HEIGHT | DEPTH | MATERIAL & TYPE | KEY MARK | TERMINAL | NOTES | REMARKS |
|---------|-------|--------|---------|--------------------|----------|----------|----------|---|
| ① | 60" | 90" | | 1/2" D. C&G PIPING | 1 | ALUM. | NO MARKS | WITH 2" DIA. & 3" DIA. W/TH. 1/2" DIA. C&G PIPING |
| ② | 30" | 90" | 13 1/2" | NORCO, PANDA PANEL | 2 | UNPAID | - | CONTAINS CLOSER |
| ③ | 90" | 90" | 13 1/2" | " | 2 | - | - | ATMATIC CLOSER |
| ④ | 20" | 90" | 13 1/2" | " | 2 | - | - | " |
| ⑤ | 30" | 90" | - | GLASS | 3 | MARKED | NO MARKS | TERMINAL, C&G & 3/4" DIA. C&G PIPING |
| ⑥ | 30" | 90" | 13 1/2" | WOOD, FLUSH | 4 | ALUM. | - | AK DOOR |
| ⑦ | 72" | 90" | 13 1/2" | " | 4 | ALUM. | - | " |

Handwritten:

1. FULL WEEDENESS TRIPPING, DEAD BOAT PER GPE, DUM THRESHOLD
2. PREWINDING, NO MARK CLOSE
3. ANIM. PHASE, STIMULI FROM
4. PREWINDING, FULL NR. EXHAUST. 4K WITH POSITIVE RETURNS.

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 ADDRESS _____
 PHONE _____
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PAGE: 1
SUBJECT: [REDACTED]
AUTHORITY: [REDACTED]

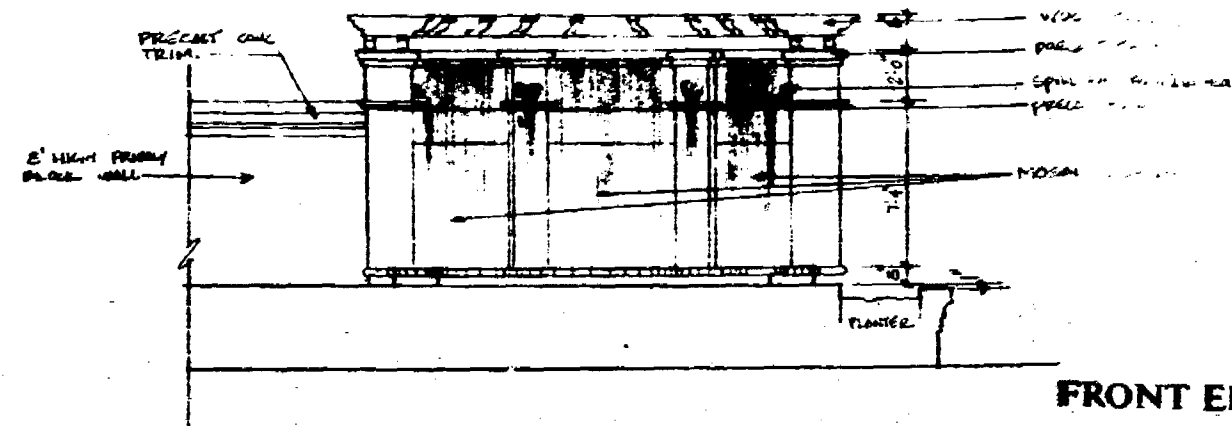
**FOR ELECTRICAL, MECHANICAL AND PLUMBING
SIZES AND INFORMATION REFER TO ENGINEER'S
DRAWINGS.**

FLOOR PLAN
SCALE 1/4"=1'-0"

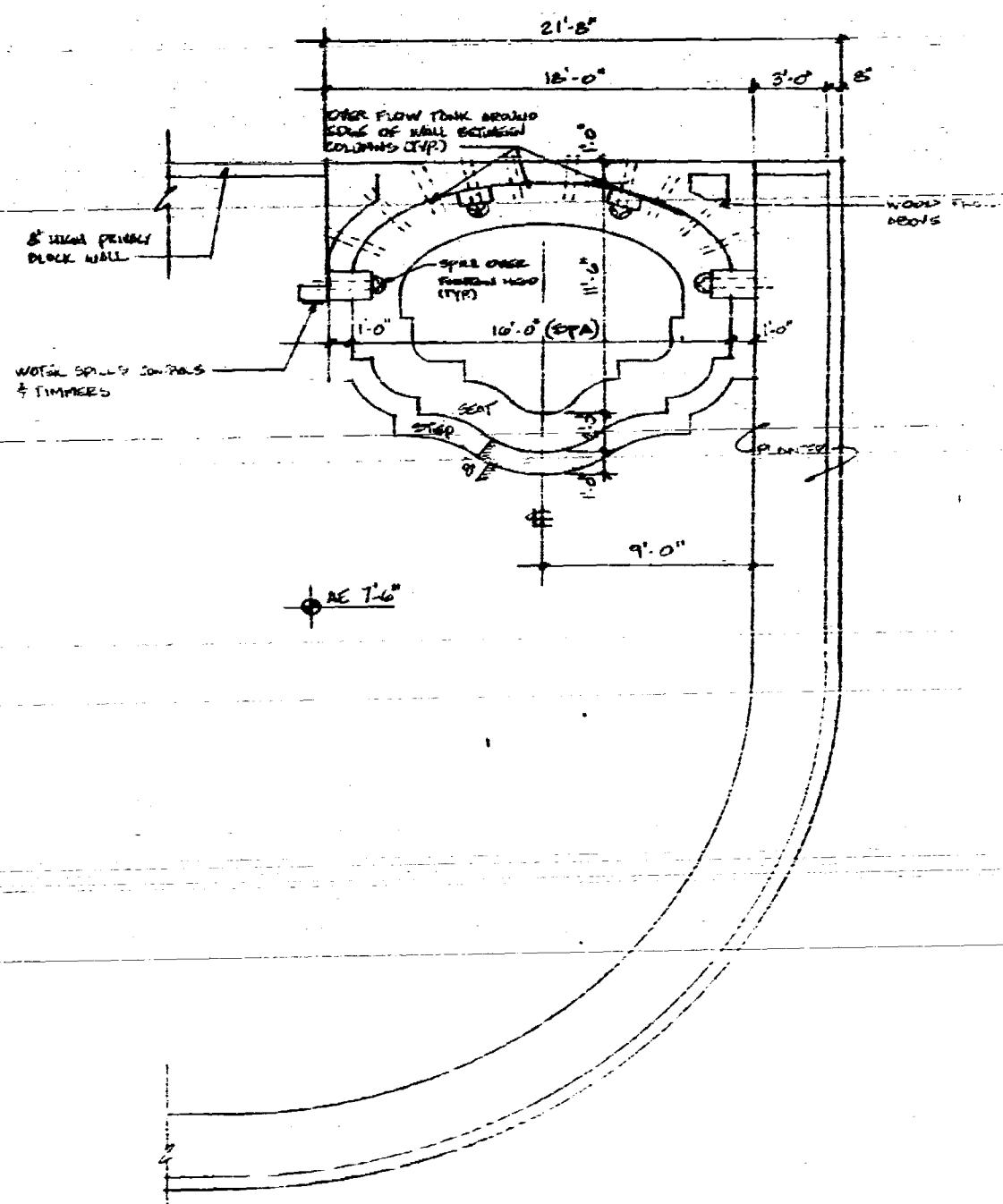
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ARCHITECTS
PLANNERS

RENOVATION FOR
DOMINION INDUSTRIAL HOLDINGS
MIAMI BEACH, FLORIDA
94 PALM AVENUE

**PAGE 3-7-2
SHEET A-8**



FRONT ELEVATION
SCALE 1/4"=1'-0"



PARTIAL FLOOR PLAN
SCALE 1/4"=1'-0"

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RENOVATION FOR
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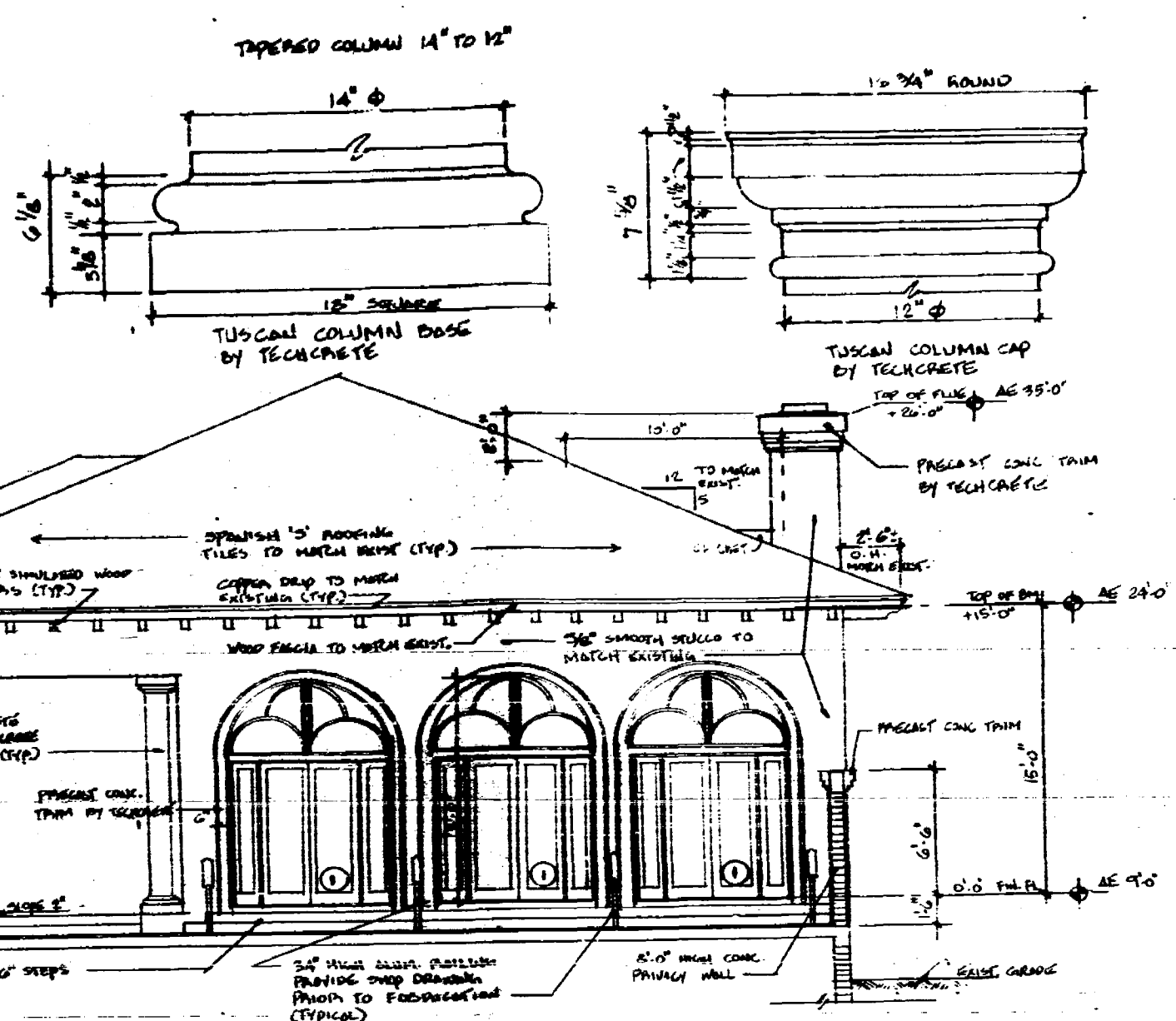
MIAMI BEACH 94 PALM AVENUE FLORIDA

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| ARCHITECT | |
| PLANNING | |
| ENGINEERING | |
| MECHANICAL | |
| ELECTRICAL | |
| PAINT | |
| STRUCTURAL | |
| LANDSCAPE | |
| INTERIOR | |
| EXTERIOR | |
| FINISHES | |
| DETAILS | |

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MAY 07 1999

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PRECAST TRIM PROFILES

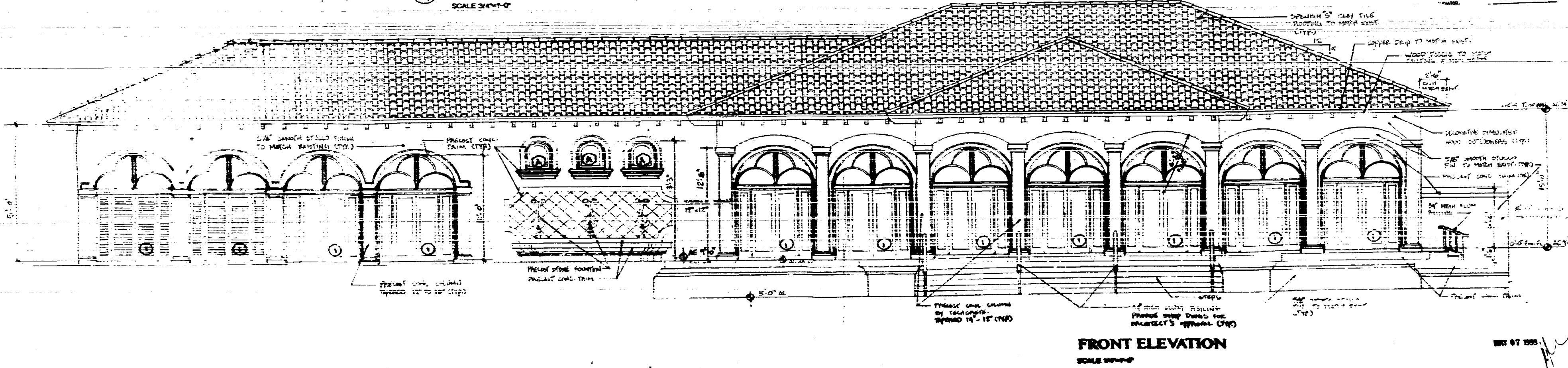
RIGHT SIDE ELEVATION

"ALL WINDOWS + DOORS TO
HAVE 3/8" IMPACT RESISTANCE GLASS"

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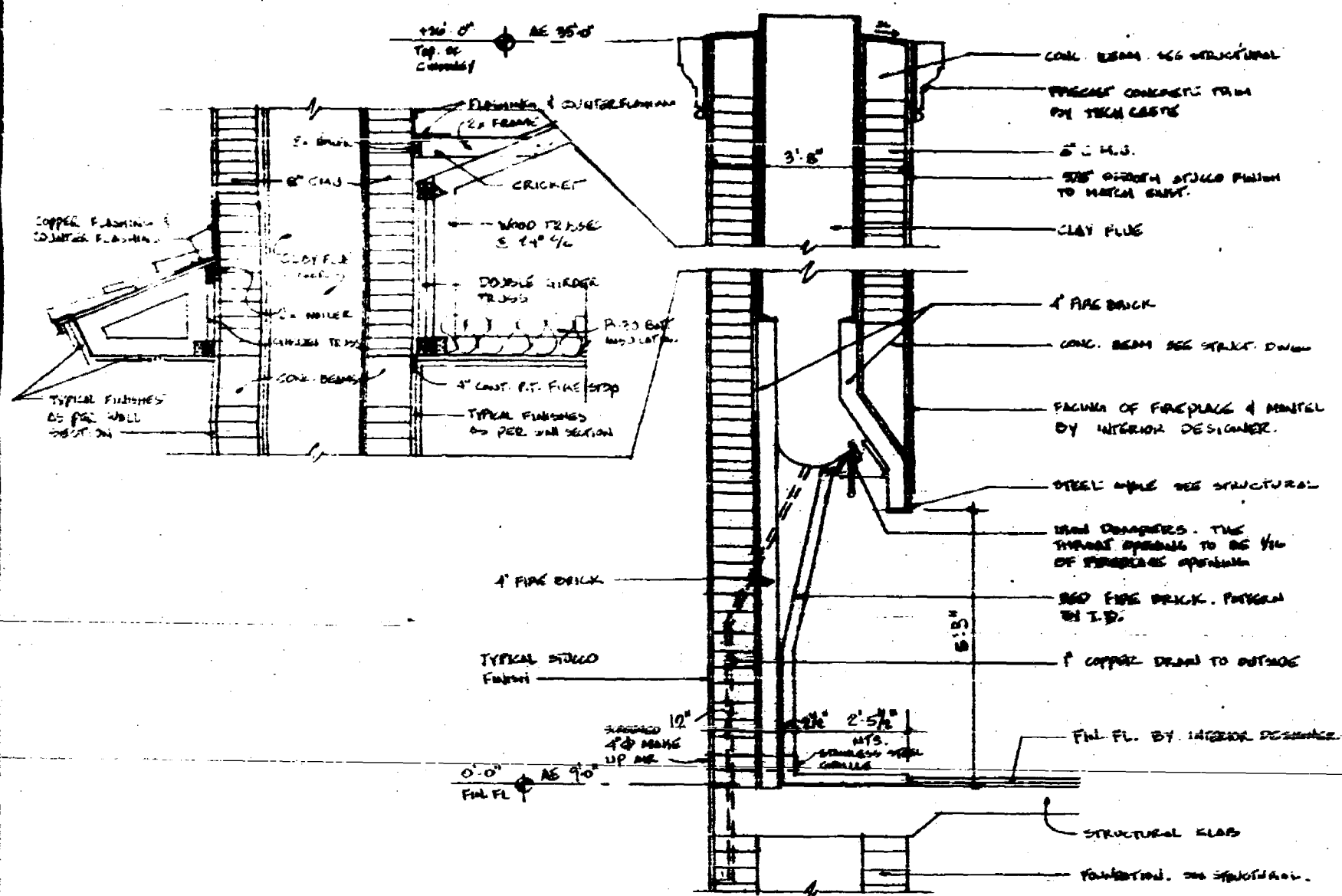
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DESIGN: _____
PLUMBING: _____
ELECTRICAL: _____
Mechanical: _____
FIRE PROTECTION: _____
ENGINEERING: _____
PUBLIC WORKS: _____
STRUCTURAL: _____
ACCESSIBILITY: _____
OWNER: _____

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[Signature]
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ENGINEERING CRITIQUE

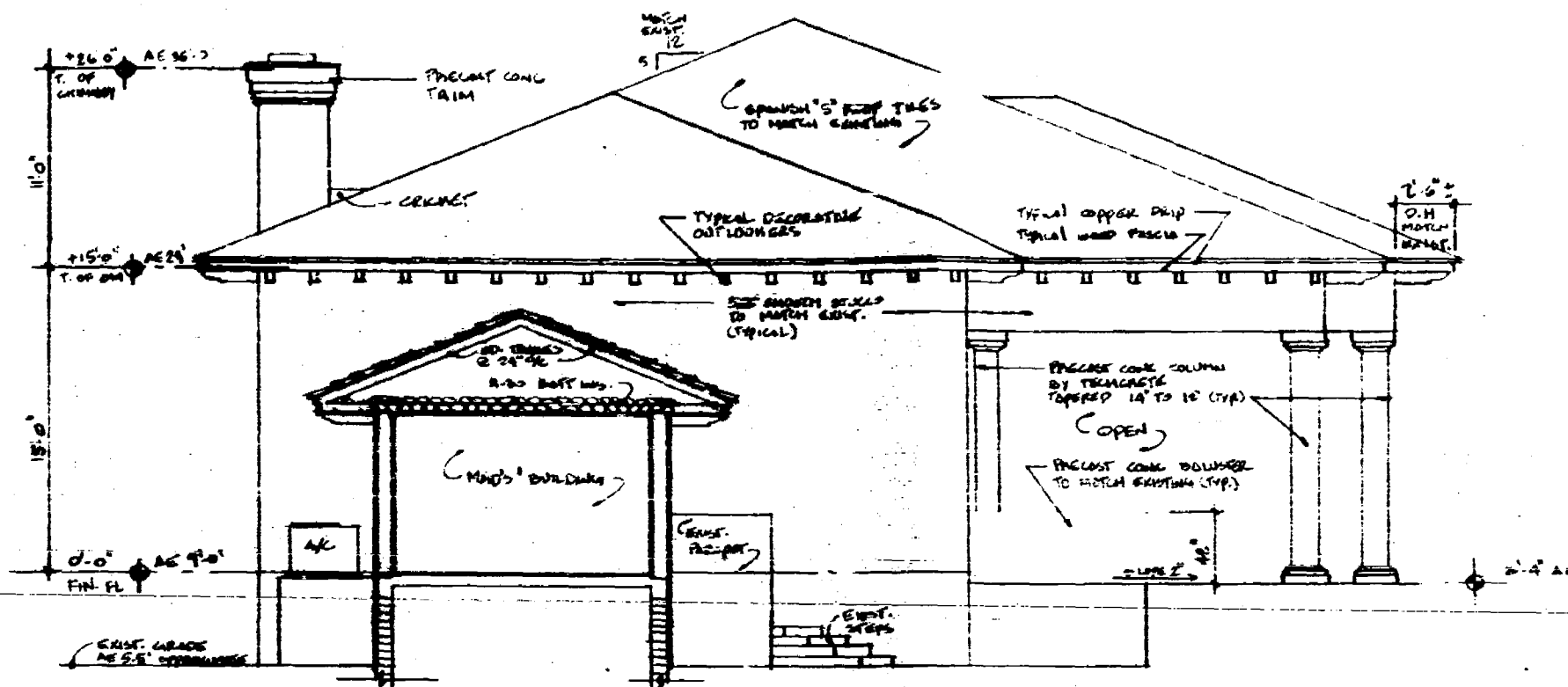


FRONT ELEVATION

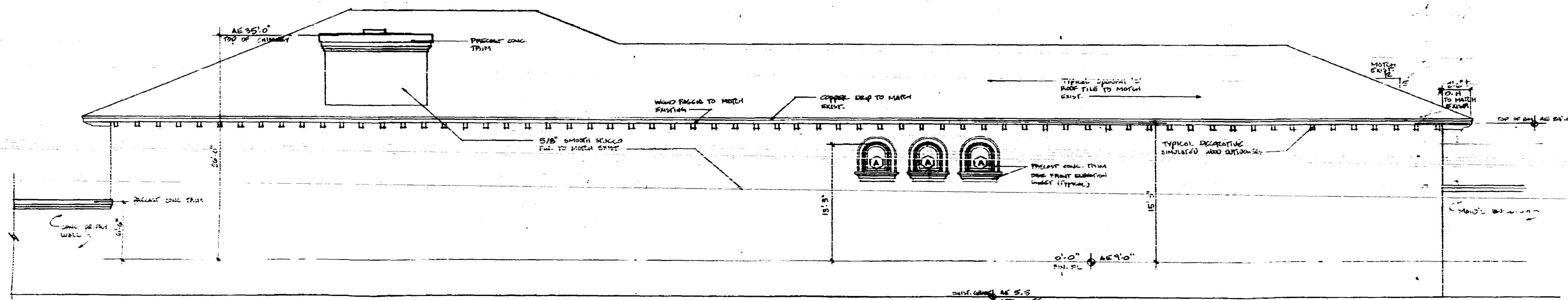
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| RATE
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A-10
ON | RENOVATION FOR
DOMINION INDUSTRIAL HOLDINGS
MIAMI BEACH | FLORIDA
94 PALM AVENUE | ROBERT WADE AND ASSOCIATES, P.A.
ARCHITECTS
PLANNERS |
|--|--|---|---|



FIREPLACE DETAIL
SCALE 3/4" = 1'-0"



LEFT SIDE ELEVATION
SCALE 1/8" = 1'-0"



REAR ELEVATION
SCALE 1/8" = 1'-0"

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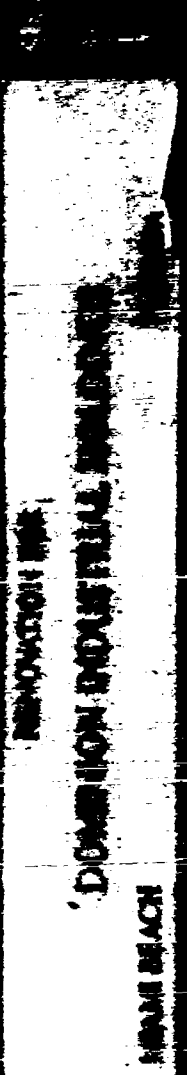
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MIAMI BEACH 94 PALM AVENUE

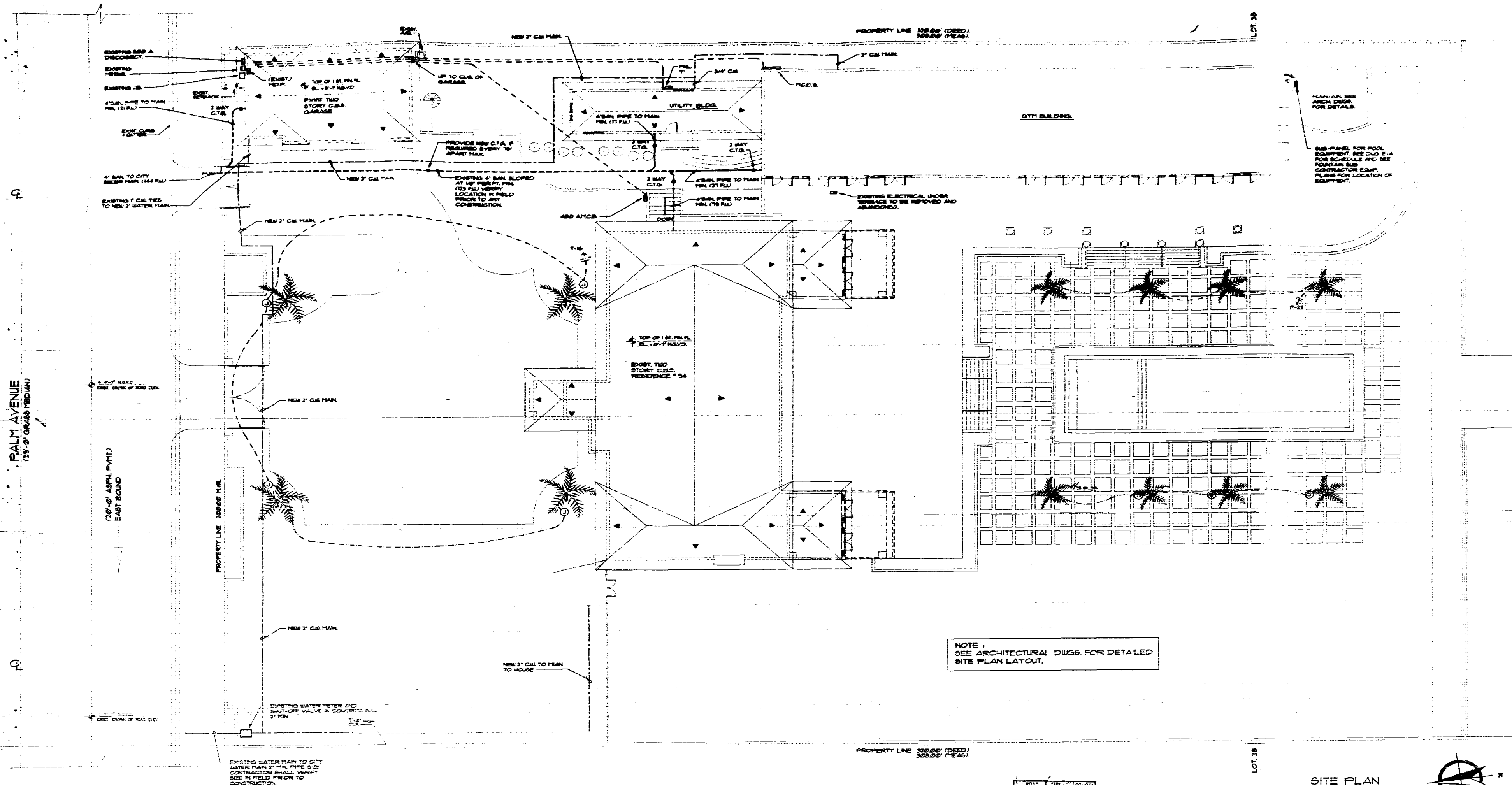
FLORIDA

REVISIONS

DATE: 5/11/99
BY: A-11
OF: 01



00004000



NOTE :
SEE ARCHITECTURAL DWGS. FOR DETAILED
SITE PLAN LAYOUT.

SITE PLAN
SCALE: 1/8" = 1'-0"

LEGAL DESCRIPTION :
LOTS 36 AND 37, IN BLOCK 1, OF PALM ISLAND, ACCORDING TO THE
PLAT THEREOF, RECORDED IN PLAT BOOK 6, AT PAGE 84, OF THE PUBLIC
RECORDS OF DADE COUNTY, FLORIDA.

GUSTAVO SOLANO, P.E.
consulting engineer
fla registration # : 3 4 9 2 3
4836 s.w. 74th. court, miami, fl. 33155
tel. (305) 665 - 615

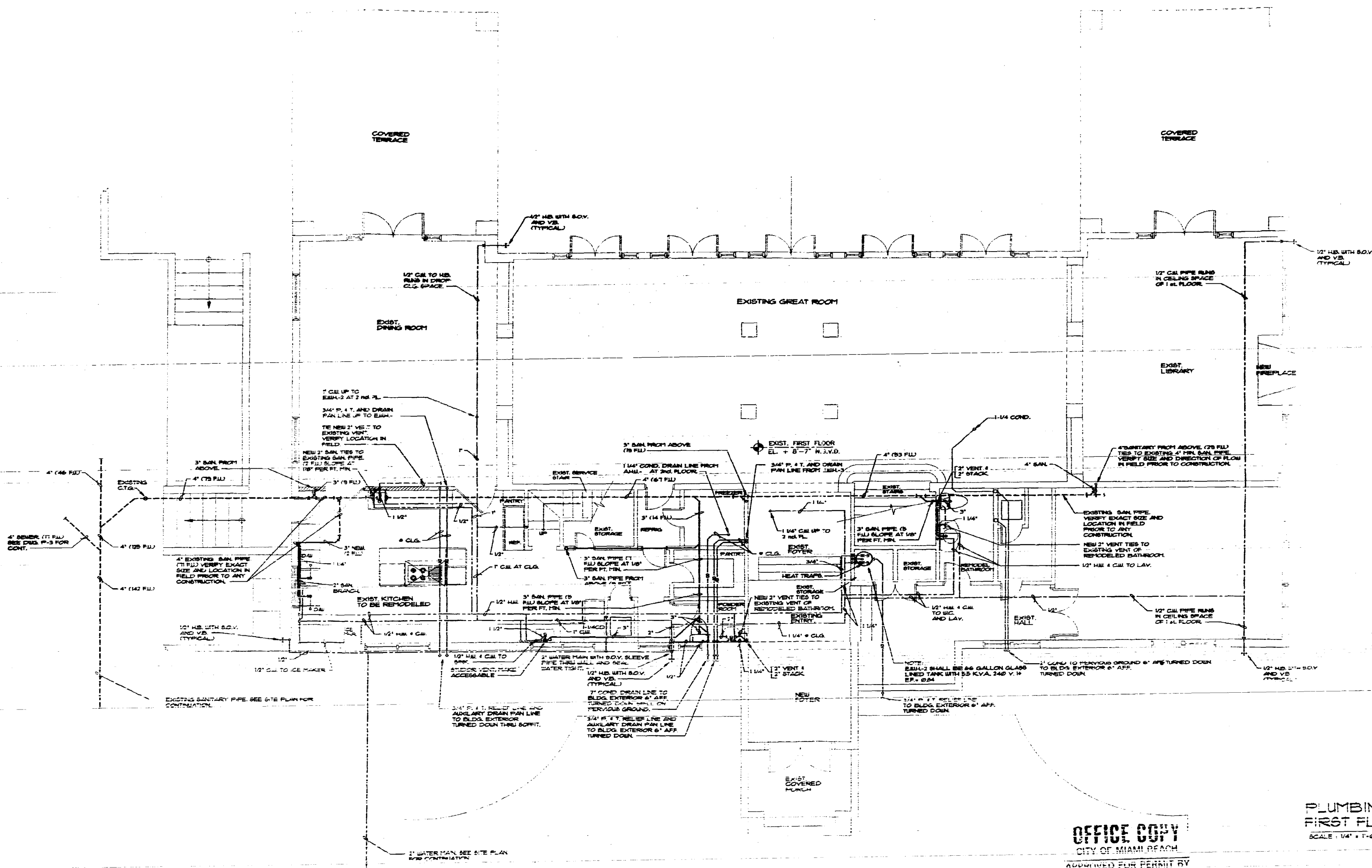
BISCAYNE BAY

ROBERT WADE AND ASSOCIATES, P.A.
ARCHITECTS

320 BRICKELL KEY DRIVE, OFFICE PLAZA 201
MIAMI, FLORIDA. (305) 371-2832
AAC000875

MIAMI BEACH, 94 PALM AVE
FLORIDA.

MIAMI BEACH, 94 PALM AVE
FLORIDA.



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BUILDING
ELECTRICAL
MECHANICAL
PLUMBING
FIRE
HAZARDOUS WASTE
WATER
SEWER
TELEPHONE
CABLE
TELEVISION
RADIO
OTHER

PLUMBING
FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

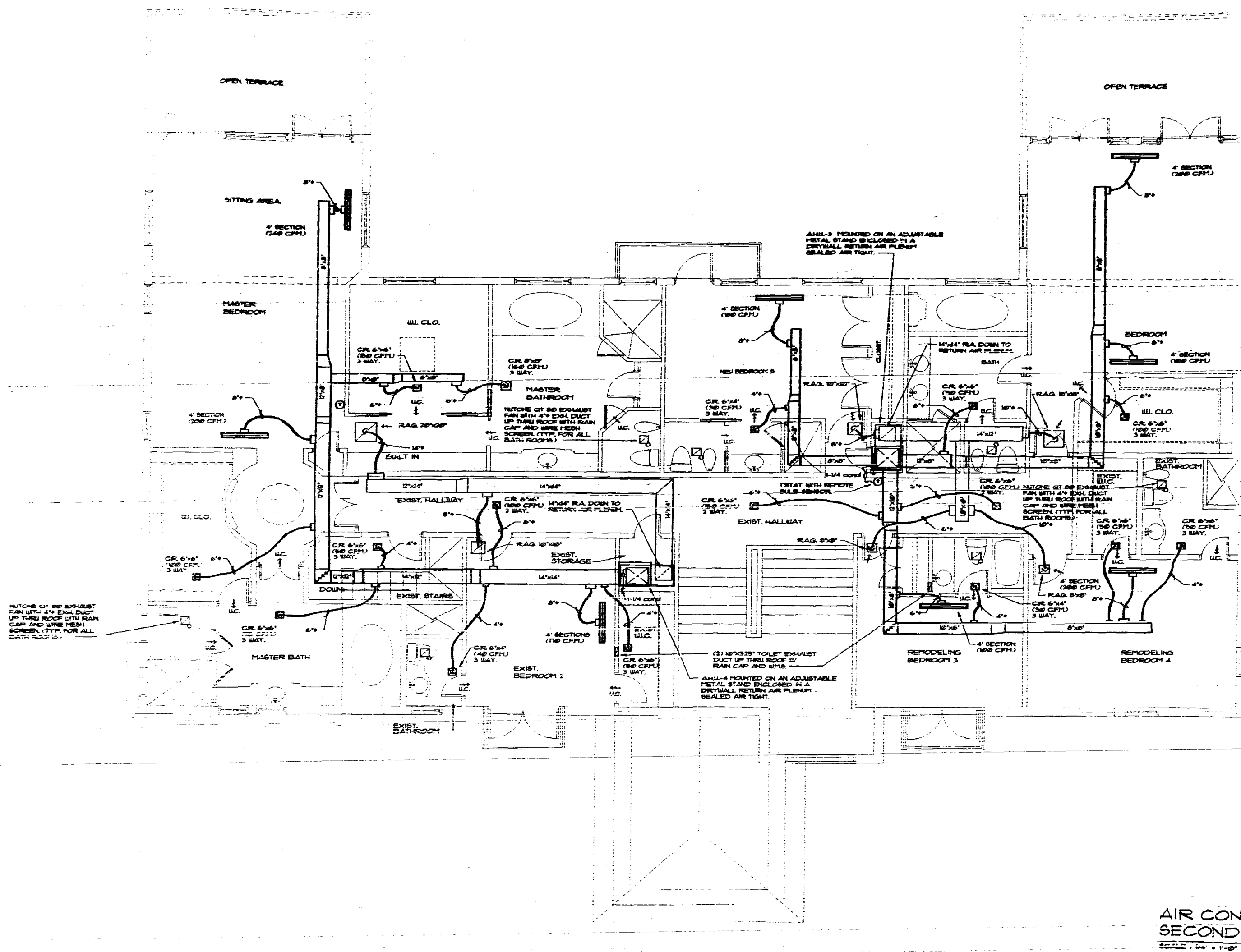
GUSTAVO MOLANO, P.E.
consulting engineer
fla. registration # 34923
4836 S.W. 74th Court, Miami, FL 33155
tel. (305) 665-6151

ROBERT WADE AND ASSOCIATES, P.A.
ARCHITECTS
PLANNERS
520 BRICKELL KEY DRIVE, OFFICE PLAZA 200
MIAMI, FLORIDA 33130
(305) 371-2832
ARC00075

RENOVATION FOR
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FLORIDA.

| date | by | checked | project no. |
|------|----|---------|-------------|
| | | | |

SHEET
P
OF 2



AIR CONDITIONING
SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

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THE FOLLOWING:

DATE: 10/1/83
BY: [Signature]
TITLE: [Blank]
PROJECT: [Blank]
SHEET: [Blank]

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consulting engineer
reg. registration # 34923
4856 S.W. 74th Court, Miami, FL 33156
tel. (305) 665-6151

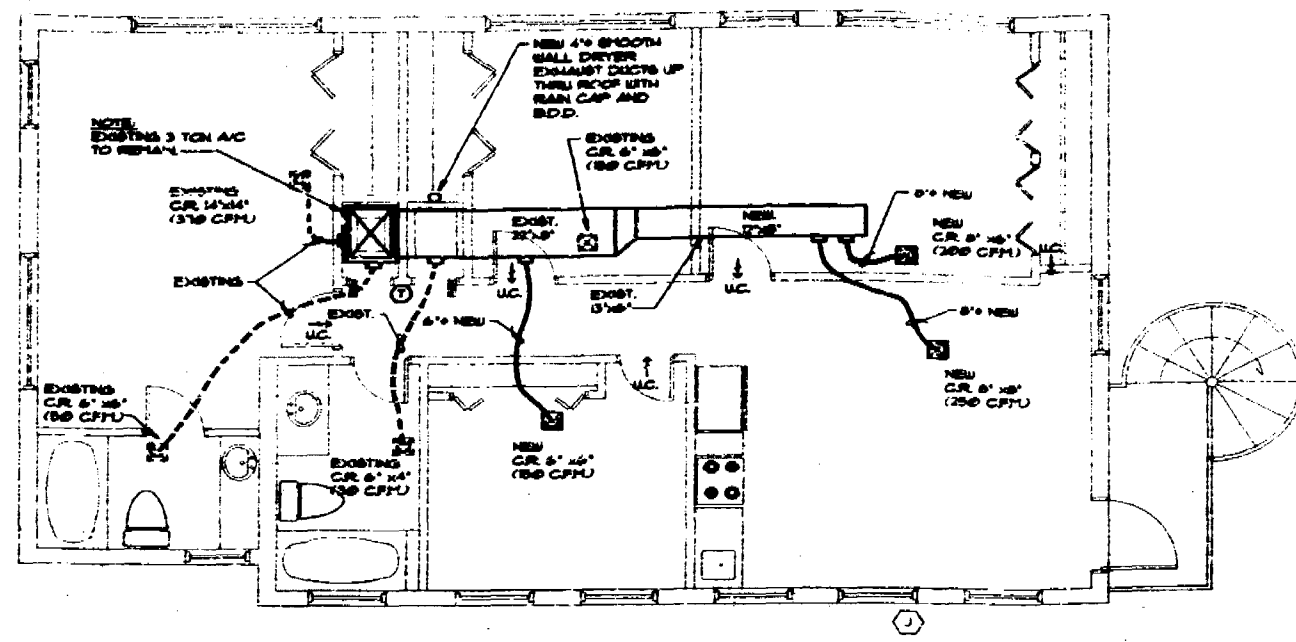
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520 BRICKELL KEY DRIVE, OFFICE FLAXA 201
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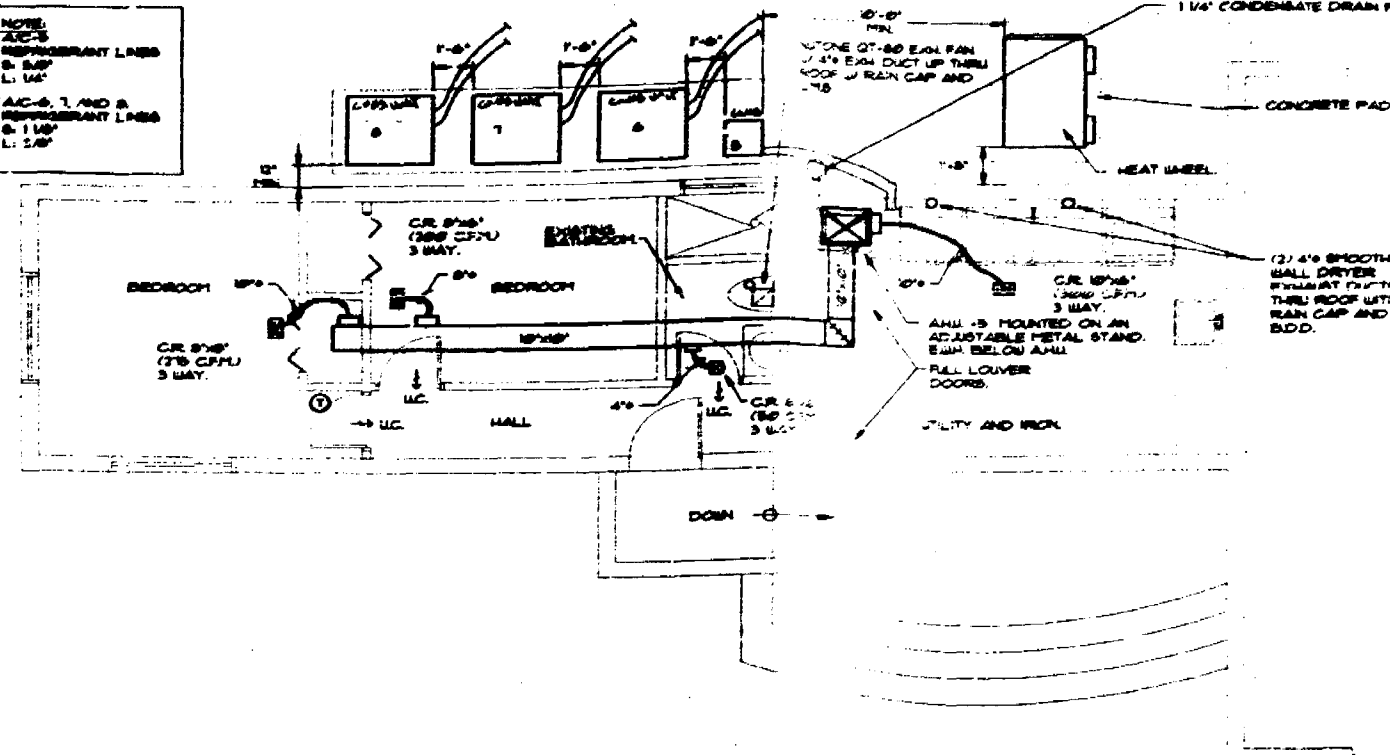
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OF 4

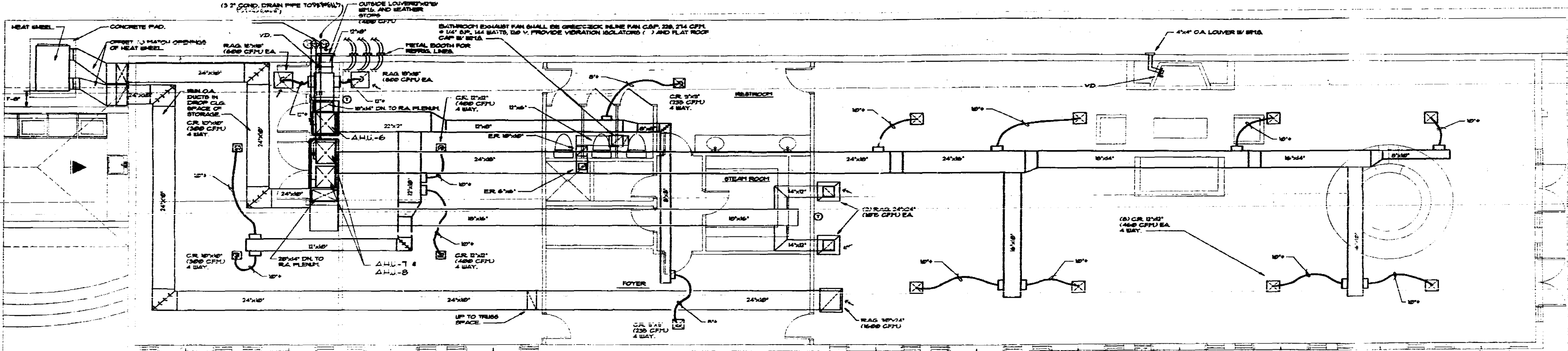
604000



ABOVE GARAGE
SECOND FLOOR PLAN - AIR CONDITIONING
SCALE: 1/4" = 1'-0"



AIR CONDITIONING
FLOOR PLAN
SCALE: 1/4" = 1'-0"



AIR CONDITIONING
DANCE HALL
SCALE: 1/4" = 1'-0"

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THE FOLLOWING:
BUILDING: ☒
ZONING: ☒
PLUMBING: ☒
ELECTRICAL: ☒
MECHANICAL: ☒
FIRE PROTECTION: ☒
ENGINEERING: ☒
PUBLIC WORKS: ☒
STREET, SANITARY: ☒
ACCESSIBILITY: ☒
ELEVATOR: ☒

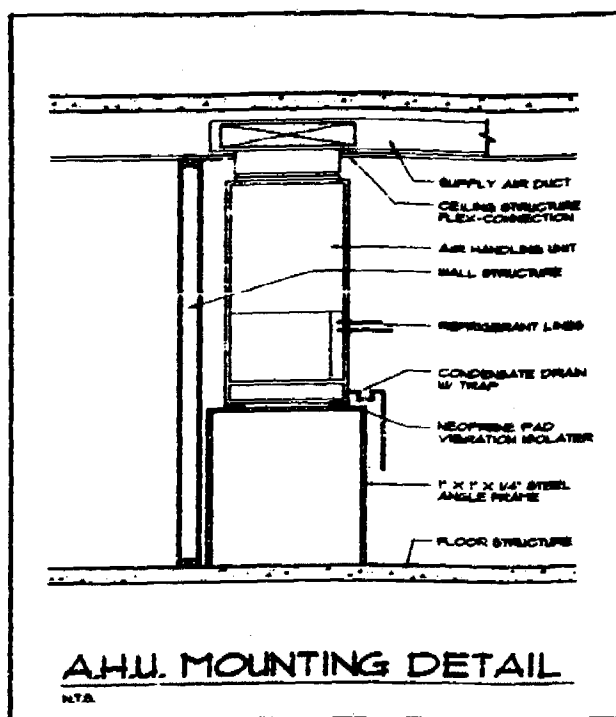
GUSTAVO SOLANO, P.E.
Consulting Engineer
Reg. No. 34923
4806 S.W. 74th Court, Miami, FL 33155
Tel. (305) 665-6151

ROBERT WADE AND ASSOCIATES, P.A.
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PLANNERS
520 BRICKELL KEY DRIVE, OFFICE PLAZA 201
MIAMI, FLORIDA
(305) 371-2832
AK000576

RENOVATION FOR
DOMINION INDUSTRIAL HOLDINGS
MIAMI BEACH, 94 PALM AVE
FLORIDA

| DATE | BY | REVISIONS |
|---------|----|-----------------------|
| 10/1/89 | AS | 1. ISSUED FOR PERMIT |
| 10/1/89 | AS | 2. ISSUED FOR PERMIT |
| 10/1/89 | AS | 3. ISSUED FOR PERMIT |
| 10/1/89 | AS | 4. ISSUED FOR PERMIT |
| 10/1/89 | AS | 5. ISSUED FOR PERMIT |
| 10/1/89 | AS | 6. ISSUED FOR PERMIT |
| 10/1/89 | AS | 7. ISSUED FOR PERMIT |
| 10/1/89 | AS | 8. ISSUED FOR PERMIT |
| 10/1/89 | AS | 9. ISSUED FOR PERMIT |
| 10/1/89 | AS | 10. ISSUED FOR PERMIT |

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OF 4

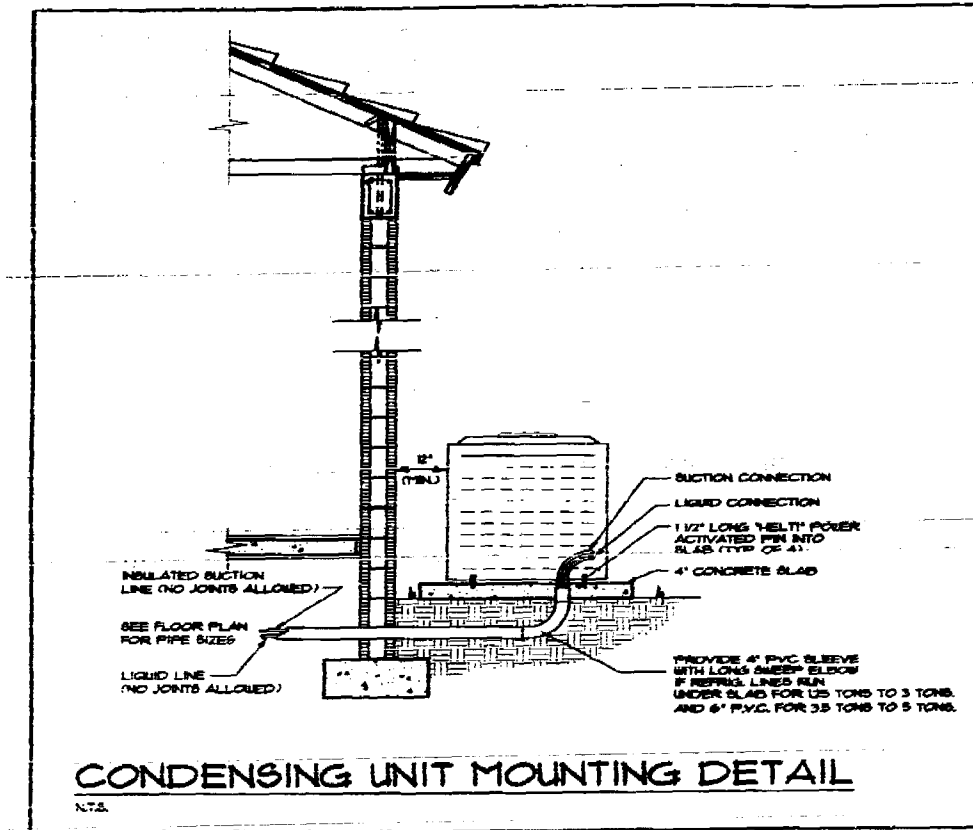
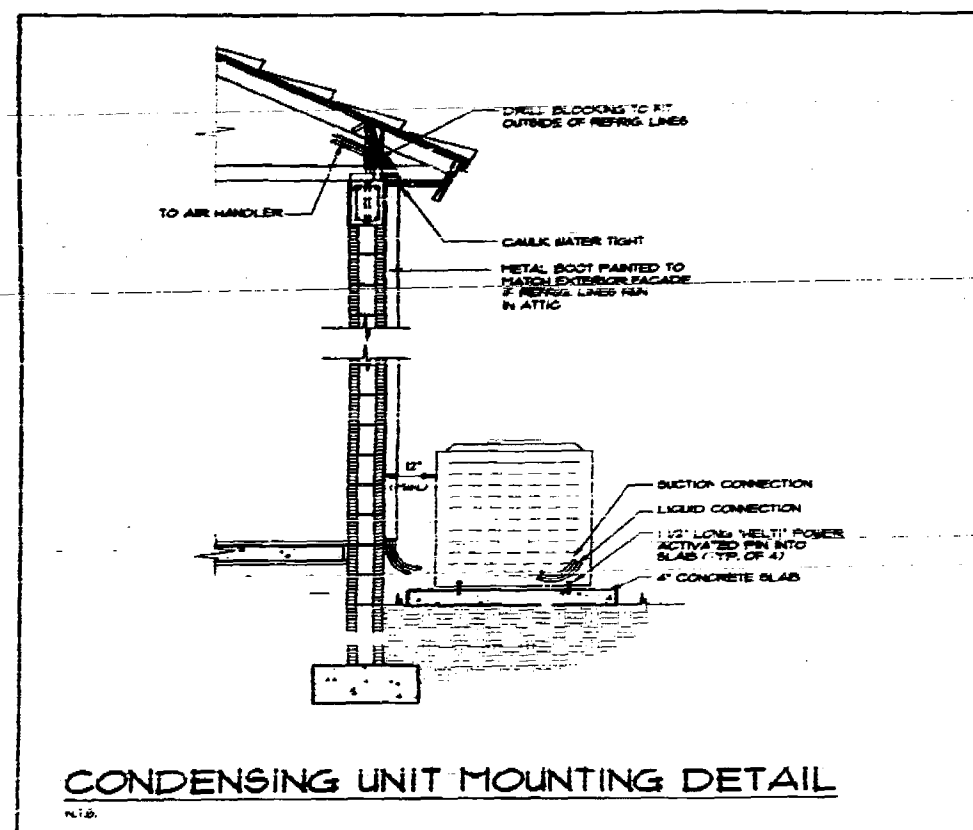


H.V.A.C. LEGEND :

| | | | |
|-----|------------------------------------|------|---------------------------------------|
| TO | TRANSFER GRILLE | ACCU | AIR-COOLED CONDENSING UNIT |
| DO | DOOR GRILLE | SD | SMOKE DETECTOR C.L.G. W/D. |
| CO | CEILING SUPPLY DIFFUSER | SD | DUCT SMOKE DETECTOR |
| OR | CEILING SUPPLY REGISTER | OA | OUTSIDE AIR |
| RA | RETURN AIR REGISTER | RA | RETURN AIR |
| ER | EXHAUST AIR REGISTER | SA | SUPPLY AIR |
| EO | EXHAUST AIR GRILLE | OA | OUTSIDE AIR INTAKE |
| TH | THERMOSTAT | OR | REFRIG. PIPING (ABSL. SUCOM & LIQUID) |
| TR | THERMOSTAT W/ REMOTE BULB SENSOR | — | OUTDOOR TRANSITION |
| FD | FIRE DAMPER W/ ACCESS DOOR | — | VOLUME EXTRACTION |
| OD | OPPOSED BLADE MANUAL VOLUME DAMPER | — | SUPPLY AIR FLOW |
| VO | VOLUME DAMPER | — | RETURN AIR FLOW |
| SD | SPLITTER DAMPER | W.S. | WIRE MESH SCREEN |
| UC | UNDER-CUT (DOOR) | S.R. | SEMI-RIGID REGISTER |
| AHU | AIR HANDLING UNIT | AD | AUTOMATIC DRAINAGE DAMPER |

- ### H.V.A.C. GENERAL NOTES :
- USE VANE ELBOWS IN ALL CASES. SPLITTER DAMPERS WHERE INDICATED ON DRAWINGS AND CONTROLS IN ALL BRANCH DUCTS.
 - PROVIDE FIRE DAMPERS IN ALL DUCTS PENETRATING CEILING AND EXCEEDING 100 IN. 20 IN. 100 FT. 50 IN. ALL DUCTS PENETRATING FIRE RATED WALLS AND PARTITIONS AND FLOOR OR ROOF SLABS AND AT FRESH AIR INTAKES (SEE PLANS). ALL FIRE DAMPERS SHALL BE RATED FOR USE IN CEILING ASSEMBLY SPECIFIED BY ARCHITECT.
 - ALL DUCT SIZES ARE CLEAR INSIDE DIMENSIONS.
 - SEAL ALL DUCTS IN AN APPROVED MANNER AND INSURE AGAINST LEAKAGE.
 - COORDINATE LOCATION OF CEILING DIFFUSERS, GRILLES, AND REGISTERS IN THE FIELD, WITH ELECTRICAL, LIGHTS, AND ARCHITECTURAL ELEMENTS.
 - CONTRACTOR SHALL COORDINATE ALL DUCT LOCATIONS WITH ALL TRADES SO THAT NO INTERFERENCES OCCUR.
 - THERMOSTAT LOCATIONS SHALL BE APPROVED BY OWNER AND ENGINEER BEFORE INSTALLATION.
 - COMPLY WITH NFPA-90A AND ALL APPLICABLE CODES. THIS IS CONTRACTOR'S RESPONSIBILITY.
 - TERMINAL AIR DISTRIBUTION DEVICES SHALL BE TITUS AS FOLLOWS :
1. 2\"/>

ROBERT WADE AND ASSOCIATES, P.A.
PLANNERS
 520 BRICKELL KEY DRIVE, OFFICE PLAZA 201
 MIAMI, FLORIDA 33130
 (305) 371-2832
 FACSIMILE



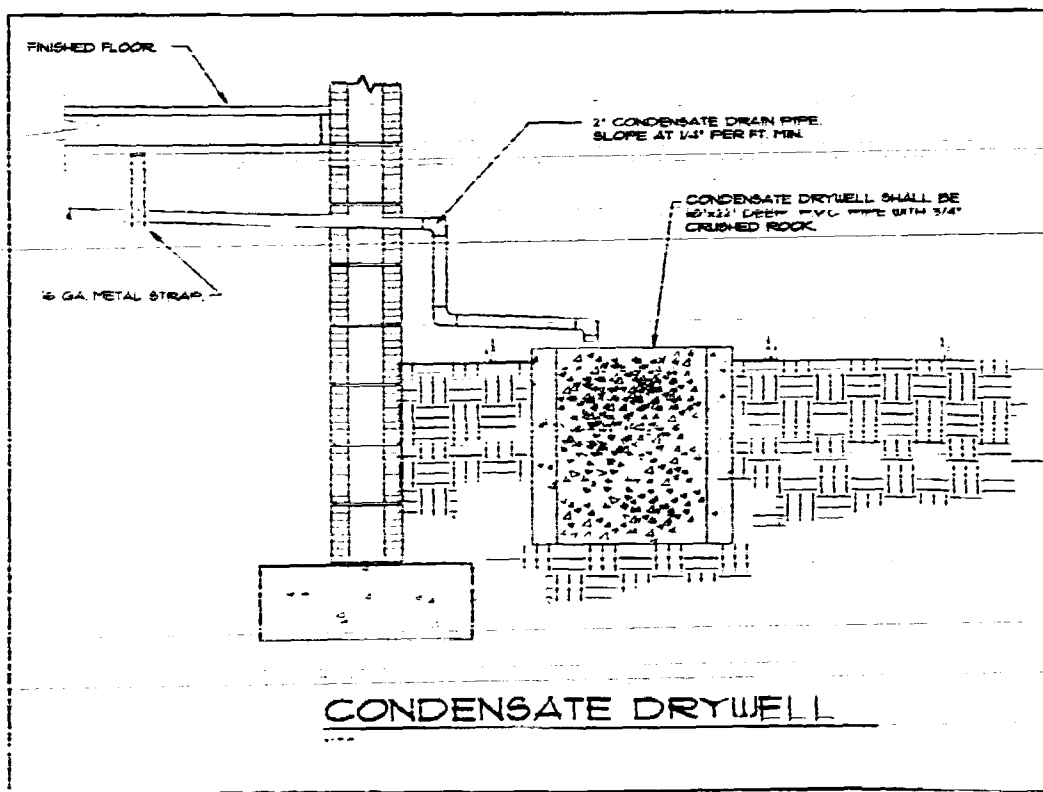
HEAT WHEEL SCHEDULE

DESIGNED AS STD. (CORROSION & ASSOCIATED PH. (305) 280-0043)

| ITEM | MODEL | WEIGHT (lbs.) | CAPACITY (C.F.M.) | SUPPLY STATIC (IN H2O) | RETURN STATIC (IN H2O) | PURGE AIR (C.F.M.) | TOTAL AIR (C.F.M.) | H.P. | F.L.A. | VOLT/PH/HZ | FUSE |
|------|-----------------|---------------|-------------------|------------------------|------------------------|--------------------|--------------------|------|--------|------------|------|
| HW | HEWCO HW 2000 H | 2000 | 1000 | 0.5 | 0.5 | | 1000 | 3/4 | 83 | 240 V. - 1 | 20 |

| AIR CONDITIONING SYSTEMS SCHEDULE | | | | | | | | | | | | | | |
|-----------------------------------|-------------|---------------|------|--------|---------------------|-------|-----------------------|------------|----------|-----------|-----------------|------|-----------|------|
| AIR HANDLING UNIT | | | | | | | AIR COOLED COND. UNIT | | | | SYSTEM | | | |
| UNIT NO. | C.F.M. O.A. | E.S.P. IN H2O | H.P. | F.L.A. | ELECTRIC HEATING KW | MODEL | COMPRESSOR | TOTAL UNIT | MAX FUSE | WGT. LBS. | CAPACITY (METH) | | SEER | |
| | | | | | | | F.L.A. | FUSE SIZE | NO. | WT. LBS. | TOT. | SEN. | | |
| 1st FL. UNIT | 1000 | 0.5 | 1.0 | 1.0 | 0.0 | 1 | 1000 | 22.0 | 30 | 350 | 950 | 435 | 240 V. 12 | 12.7 |
| | 1000 | 0.5 | 1.0 | 1.0 | 0.0 | 1 | 1000 | 22.0 | 30 | 350 | 950 | 435 | 240 V. 12 | 12.7 |
| 2nd FL. UNIT | 1000 | 0.5 | 1.0 | 1.0 | 0.0 | 1 | 1000 | 22.0 | 30 | 350 | 950 | 435 | 240 V. 12 | 12.7 |
| | 1000 | 0.5 | 1.0 | 1.0 | 0.0 | 1 | 1000 | 22.0 | 30 | 350 | 950 | 435 | 240 V. 12 | 12.7 |
| 3rd FL. UNIT | 1000 | 0.5 | 1.0 | 1.0 | 0.0 | 1 | 1000 | 22.0 | 30 | 350 | 950 | 435 | 240 V. 12 | 12.7 |
| | 1000 | 0.5 | 1.0 | 1.0 | 0.0 | 1 | 1000 | 22.0 | 30 | 350 | 950 | 435 | 240 V. 12 | 12.7 |
| 4th FL. UNIT | 1000 | 0.5 | 1.0 | 1.0 | 0.0 | 1 | 1000 | 22.0 | 30 | 350 | 950 | 435 | 240 V. 12 | 12.7 |
| | 1000 | 0.5 | 1.0 | 1.0 | 0.0 | 1 | 1000 | 22.0 | 30 | 350 | 950 | 435 | 240 V. 12 | 12.7 |
| 5th FL. UNIT | 1000 | 0.5 | 1.0 | 1.0 | 0.0 | 1 | 1000 | 22.0 | 30 | 350 | 950 | 435 | 240 V. 12 | 12.7 |
| | 1000 | 0.5 | 1.0 | 1.0 | 0.0 | 1 | 1000 | 22.0 | 30 | 350 | 950 | 435 | 240 V. 12 | 12.7 |
| 6th FL. UNIT | 1000 | 0.5 | 1.0 | 1.0 | 0.0 | 1 | 1000 | 22.0 | 30 | 350 | 950 | 435 | 240 V. 12 | 12.7 |
| | 1000 | 0.5 | 1.0 | 1.0 | 0.0 | 1 | 1000 | 22.0 | 30 | 350 | 950 | 435 | 240 V. 12 | 12.7 |
| 7th FL. UNIT | 1000 | 0.5 | 1.0 | 1.0 | 0.0 | 1 | 1000 | 22.0 | 30 | 350 | 950 | 435 | 240 V. 12 | 12.7 |
| | 1000 | 0.5 | 1.0 | 1.0 | 0.0 | 1 | 1000 | 22.0 | 30 | 350 | 950 | 435 | 240 V. 12 | 12.7 |
| 8th FL. UNIT | 1000 | 0.5 | 1.0 | 1.0 | 0.0 | 1 | 1000 | 22.0 | 30 | 350 | 950 | 435 | 240 V. 12 | 12.7 |
| | 1000 | 0.5 | 1.0 | 1.0 | 0.0 | 1 | 1000 | 22.0 | 30 | 350 | 950 | 435 | 240 V. 12 | 12.7 |
| 9th FL. UNIT | 1000 | 0.5 | 1.0 | 1.0 | 0.0 | 1 | 1000 | 22.0 | 30 | 350 | 950 | 435 | 240 V. 12 | 12.7 |
| | 1000 | 0.5 | 1.0 | 1.0 | 0.0 | 1 | 1000 | 22.0 | 30 | 350 | 950 | 435 | 240 V. 12 | 12.7 |
| 10th FL. UNIT | 1000 | 0.5 | 1.0 | 1.0 | 0.0 | 1 | 1000 | 22.0 | 30 | 350 | 950 | 435 | 240 V. 12 | 12.7 |
| | 1000 | 0.5 | 1.0 | 1.0 | 0.0 | 1 | 1000 | 22.0 | 30 | 350 | 950 | 435 | 240 V. 12 | 12.7 |
| 11th FL. UNIT | 1000 | 0.5 | 1.0 | 1.0 | 0.0 | 1 | 1000 | 22.0 | 30 | 350 | 950 | 435 | 240 V. 12 | 12.7 |
| | 1000 | 0.5 | 1.0 | 1.0 | 0.0 | 1 | 1000 | 22.0 | 30 | 350 | 950 | 435 | 240 V. 12 | 12.7 |
| 12th FL. UNIT | 1000 | 0.5 | 1.0 | 1.0 | 0.0 | 1 | 1000 | 22.0 | 30 | 350 | 950 | 435 | 240 V. 12 | 12.7 |
| | 1000 | 0.5 | 1.0 | 1.0 | 0.0 | 1 | 1000 | 22.0 | 30 | 350 | 950 | 435 | 240 V. 12 | 12.7 |
| 13th FL. UNIT | 1000 | 0.5 | 1.0 | 1.0 | 0.0 | 1 | 1000 | 22.0 | 30 | 350 | 950 | 435 | 240 V. 12 | 12.7 |
| | 1000 | 0.5 | 1.0 | 1.0 | 0.0 | 1 | 1000 | 22.0 | 30 | 350 | 950 | 435 | 240 V. 12 | 12.7 |
| 14th FL. UNIT | 1000 | 0.5 | 1.0 | 1.0 | 0.0 | 1 | 1000 | 22.0 | 30 | 350 | 950 | 435 | 240 V. 12 | 12.7 |
| | 1000 | 0.5 | 1.0 | 1.0 | 0.0 | 1 | 1000 | 22.0 | 30 | 350 | 950 | 435 | 240 V. 12 | 12.7 |
| 15th FL. UNIT | 1000 | 0.5 | 1.0 | 1.0 | 0.0 | 1 | 1000 | 22.0 | 30 | 350 | 950 | 435 | 240 V. 12 | 12.7 |
| | 1000 | 0.5 | 1.0 | 1.0 | 0.0 | 1 | 1000 | 22.0 | 30 | 350 | 950 | 435 | 240 V. 12 | 12.7 |
| 16th FL. UNIT | 1000 | 0.5 | 1.0 | 1.0 | 0.0 | 1 | 1000 | 22.0 | 30 | 350 | 950 | 435 | 240 V. 12 | 12.7 |
| | 1000 | 0.5 | 1.0 | 1.0 | 0.0 | 1 | 1000 | 22.0 | 30 | 350 | 950 | 435 | 240 V. 12 | 12.7 |
| 17th FL. UNIT | 1000 | 0.5 | 1.0 | 1.0 | 0.0 | 1 | 1000 | 22.0 | 30 | 350 | 950 | 435 | 240 V. 12 | 12.7 |
| | 1000 | 0.5 | 1.0 | 1.0 | 0.0 | 1 | 1000 | 22.0 | 30 | 350 | 950 | 435 | 240 V. 12 | 12.7 |
| 18th FL. UNIT | 1000 | 0.5 | 1.0 | 1.0 | 0.0 | 1 | 1000 | 22.0 | 30 | 350 | 950 | 435 | 240 V. 12 | 12.7 |
| | 1000 | 0.5 | 1.0 | 1.0 | 0.0 | 1 | 1000 | 22.0 | 30 | 350 | 950 | 435 | 240 V. 12 | 12.7 |
| 19th FL. UNIT | 1000 | 0.5 | 1.0 | 1.0 | 0.0 | 1 | 1000 | 22.0 | 30 | 350 | 950 | 435 | 240 V. 12 | 12.7 |
| | 1000 | 0.5 | 1.0 | 1.0 | 0.0 | 1 | 1000 | 22.0 | 30 | 350 | 950 | 435 | 240 V. 12 | 12.7 |
| 20th FL. UNIT | 1000 | 0.5 | 1.0 | 1.0 | 0.0 | 1 | 1000 | 22.0 | 30 | 350 | 950 | 435 | 240 V. 12 | 12.7 |
| | 1000 | 0.5 | 1.0 | 1.0 | 0.0 | 1 | 1000 | 22.0 | 30 | 350 | 950 | 435 | 240 V. 12 | 12.7 |

NOTES:
1. OUTSIDE AIR DESIGN CONDITIONS: 81 FDB - 75 FDB.
2. PROVIDE HEATING AND COOLING THERMOSTATS TO BE LOCATED WITH FAN ON - OFF CONTROL.
3. SIZE AND RUN REFRIGERANT PIPING AS PER MANUFACTURER'S RECOMMENDATION.
4. PROVIDE VIBRATION ISOLATION WITH RUBBER IN SUCT LINE.
5. INSULATE REFRIGERANT SUCT LINE WITH 3/4\"/>



CITY OF MIAMI BEACH
 APPROVED FOR PERMIT BY THE FOLLOWING:
 ENGINEER: [Signature]
 ELECTRICAL: [Signature]
 MECHANICAL: [Signature]
 PLUMBING: [Signature]
 STRUCTURAL: [Signature]
 FIRE PROTECTION: [Signature]

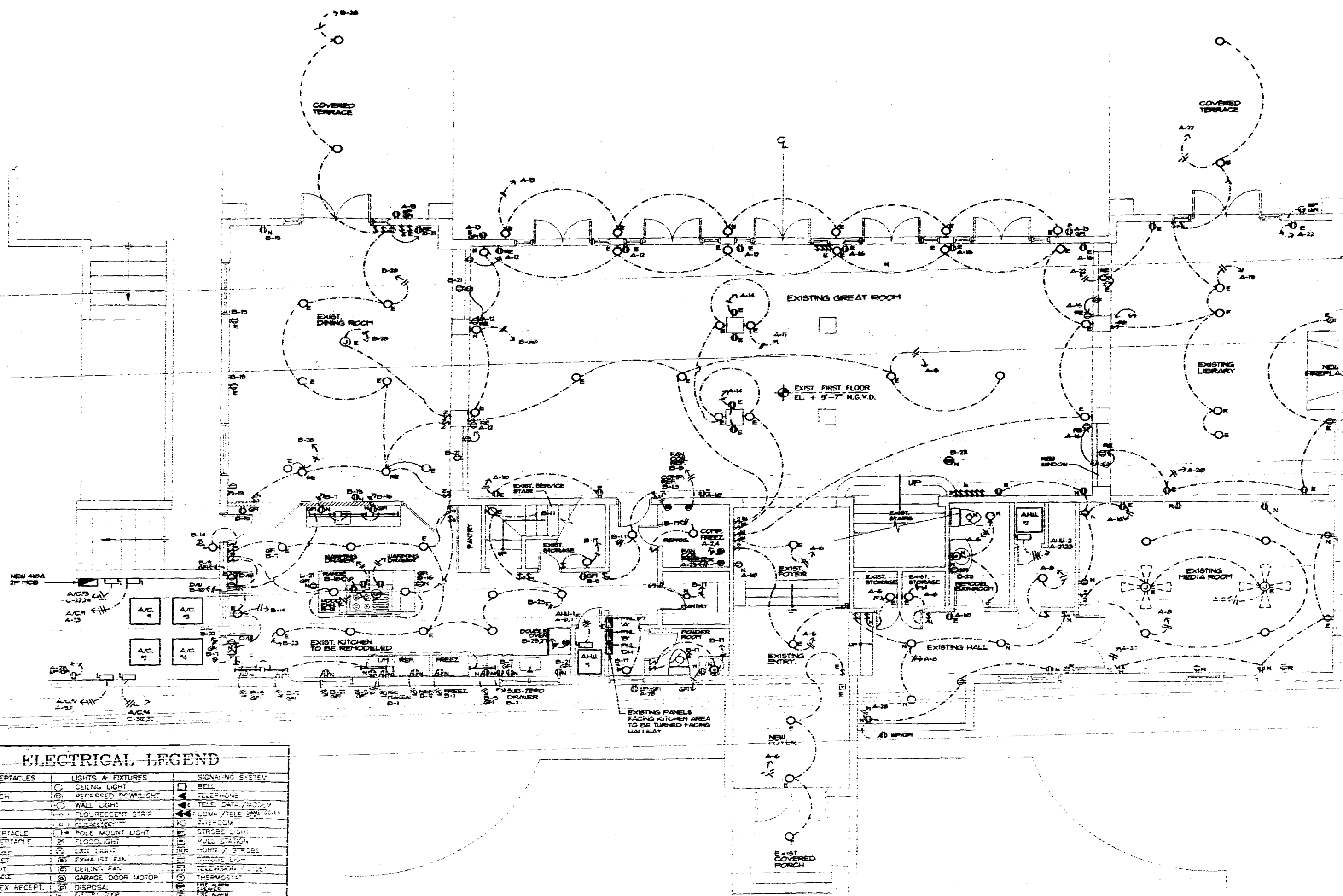
CUSTAVO SOLANO, P.E.
 Consulting Engineer
 Fla. Registration # 34923
 4836 S.W. 74th Court, Miami, FL 33155
 Tel: (305) 665-6151

RENOVATION FOR
DOMINION INDUSTRIAL HOLDINGS
 MIAMI BEACH, FLORIDA

| | |
|-----------|---------|
| Revisions | |
| 1 | 10/2/88 |
| 2 | 10/2/88 |
| 3 | 10/2/88 |
| 4 | 10/2/88 |
| 5 | 10/2/88 |
| 6 | 10/2/88 |
| 7 | 10/2/88 |
| 8 | 10/2/88 |
| 9 | 10/2/88 |
| 10 | 10/2/88 |

A/C 4
 OF 4

| ELECTRICAL LEGEND | | |
|------------------------|------------------------|-------------------------|
| SWITCHES & RECEPTACLES | LIGHTS & FIXTURES | SIGNALING SYSTEM |
| 1. SWITCH | 1. CEILING LIGHT | 1. BELL |
| 2. 3-WAY SWITCH | 2. RECESSED DOWNLIGHT | 2. BELL |
| 3. 4-WAY SWITCH | 3. WALL LIGHT | 3. TELE. DATA / VIDEO |
| 4. 120V. OUTLET | 4. FLOURESCENT STRIP | 4. TELE. DATA / VIDEO |
| 5. 240V. OUTLET | 5. FLOURESCENT STRIP | 5. TELE. DATA / VIDEO |
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ELECTRICAL
FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

GUSTAVO SOLANO, P.E.
REGISTERED ELECTRICAL ENGINEER
No. 34923
ARCH. & ENG. FIRM, INC.
1111 S.W. 15th Ave., Suite 200
Miami, FL 33135

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CITY OF MIAMI BEACH
APPROVED FOR PERMIT BY
THE FOLLOWING:

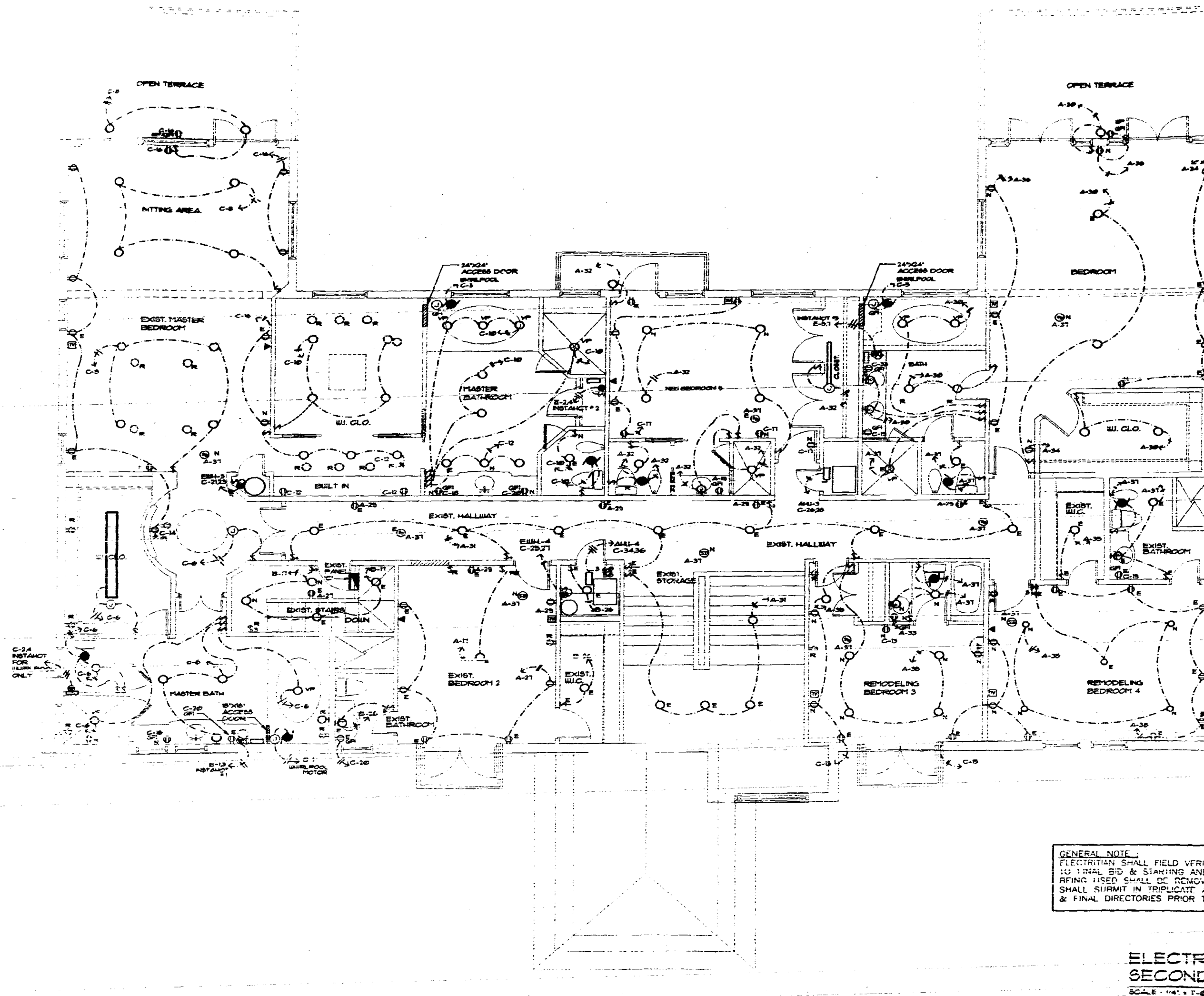
Building
Electrical
Mechanical
Plumbing
Fire Protection
Hazardous Waste
Elevation

ROBERT WADE AND ASSOCIATES, P.A.
ARCHITECTS
PLANNERS
530 BRICKELL KEY DRIVE, OFFICE PLAZA 201
MIAMI, FLORIDA 33131
(305) 371-2832
AAC000875

RENOVATION FOR
DOMINION INDUSTRIAL HOLDINGS
MIAMI BEACH, 64 PALM AVE. FLORIDA

REVISIONS
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BY
ISSUED
CHECKED
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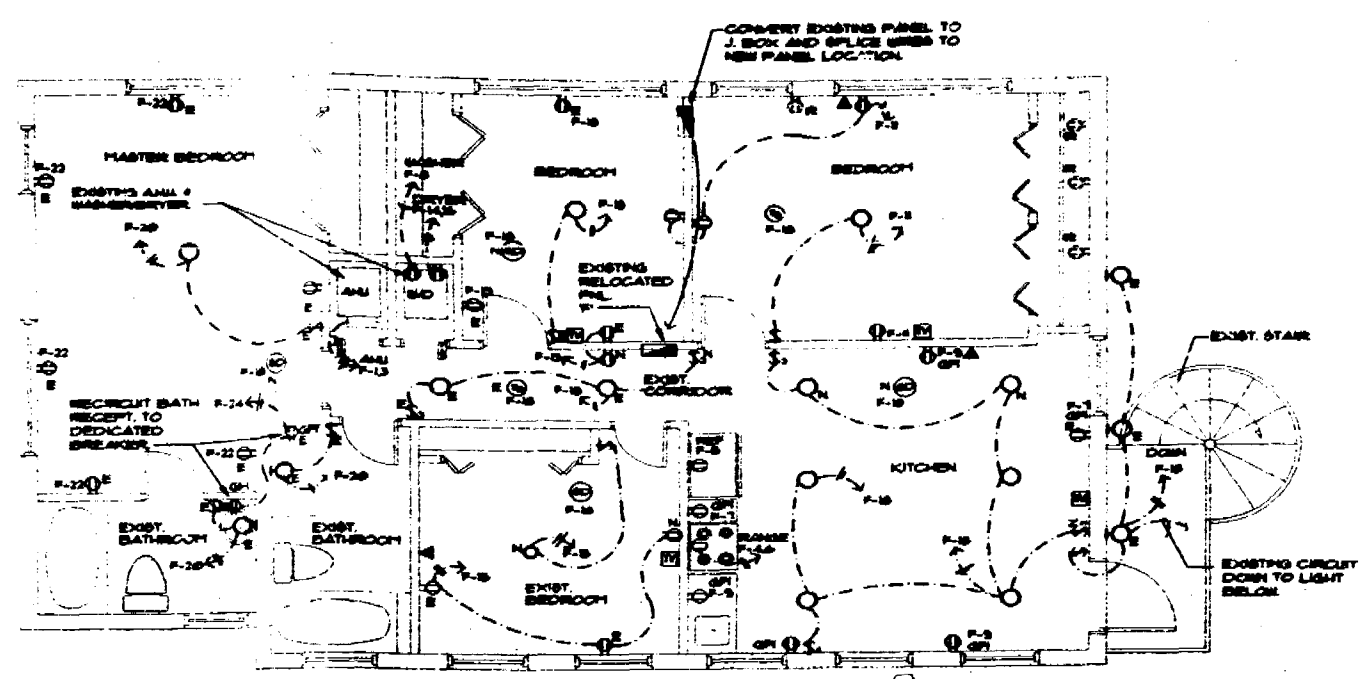
GENERAL NOTE:
ELECTRICIAN SHALL FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO PERMITTING ANY WORK. ALL EQUIPMENT NOT BEING USED SHALL BE REMOVED AND DISPOSED OF. ELECTRICIAN SHALL SUBMIT IN TRIPLICATE AS BUILT DRAWINGS OF ALL PANEL RISERS & FINAL DIRECTORIES PRIOR TO FINAL INSPECTION.

ELECTRICAL
SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

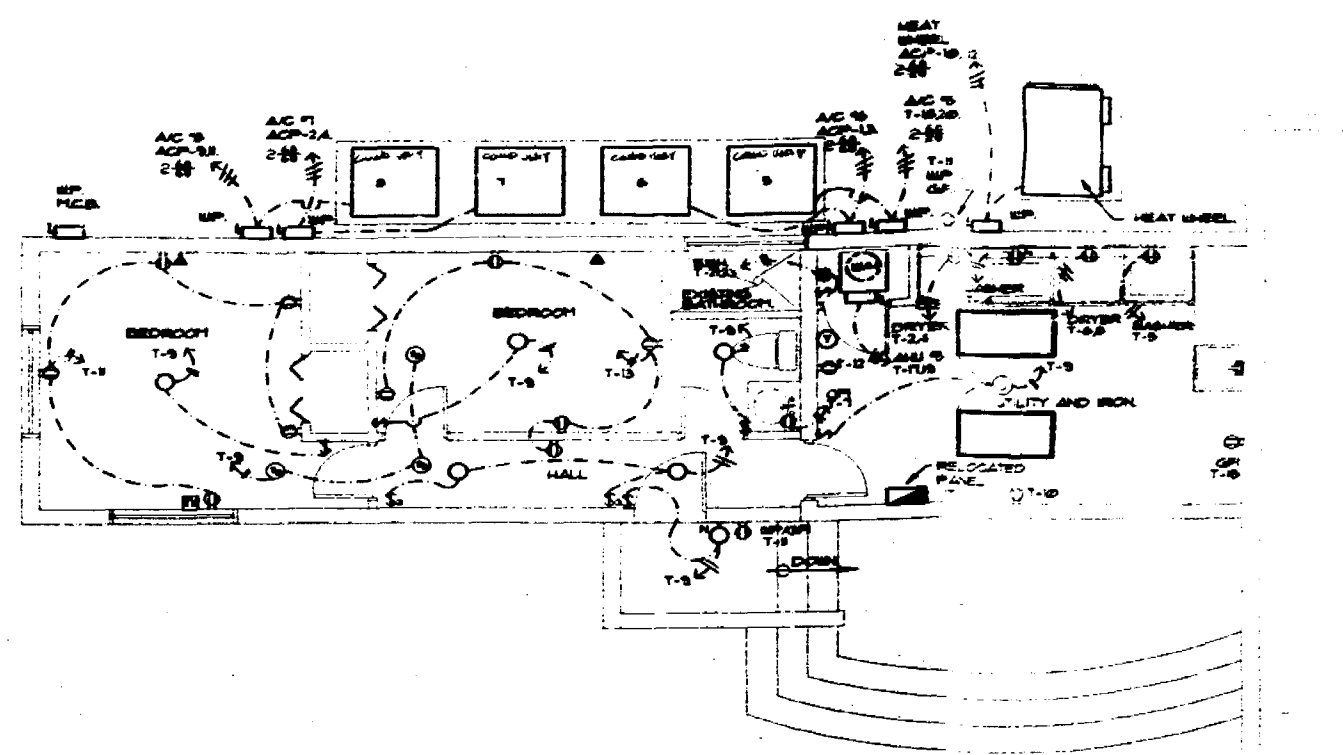
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CITY OF MIAMI BEACH
APPROVED FOR PERMIT BY THE FOLLOWING:
BUILDING: [Signature]
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FIRE ALARM: [Signature]
ELEVATOR: [Signature]

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|--|--|
| ROBERT WADE AND ASSOCIATES, P.A.
ARCHITECTS
1220 BRICKELL KEY DRIVE OFFICE PLAZA 201
MIAMI, FLORIDA 33131
(305) 371-2632
AKC0000176 | |
| RENOVATION FOR
DOMINION INDUSTRIAL HOLDINGS
MIAMI BEACH, 94 PALM AVE
FLORIDA | |
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OF 5 | DRAWN BY: [Signature]
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PROJECT NO. 2-18 |

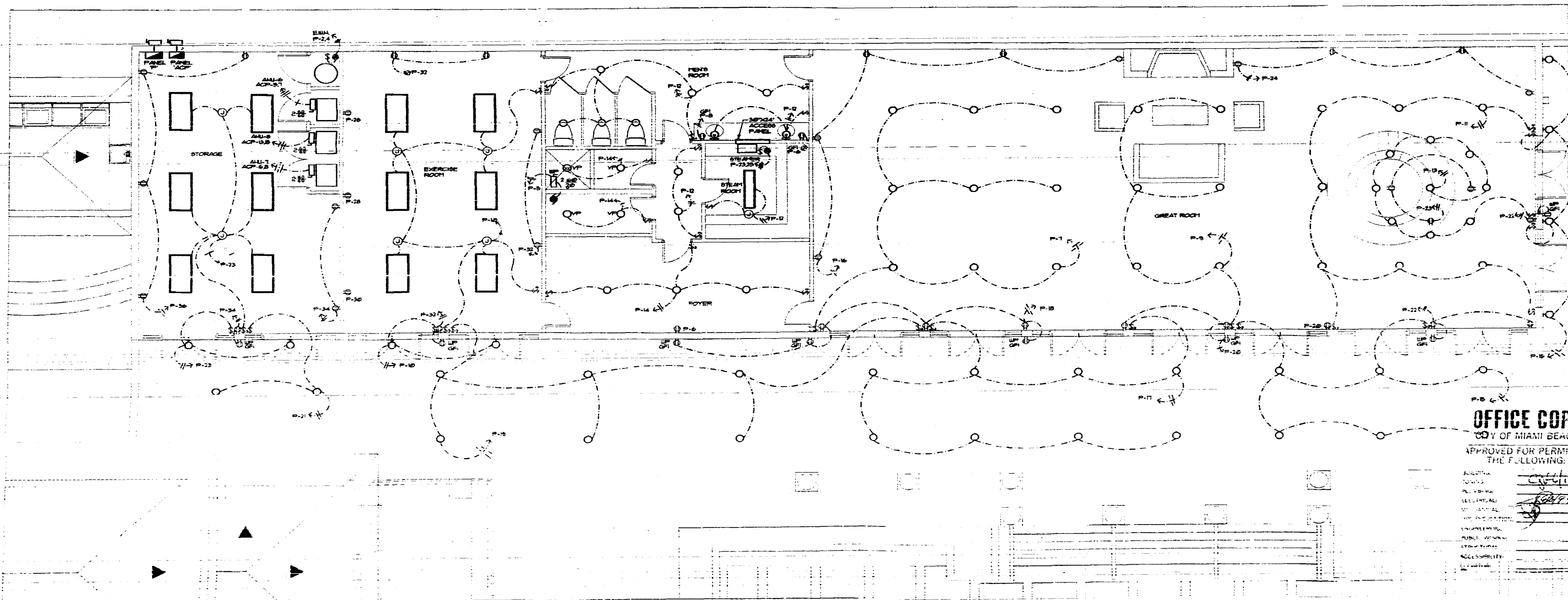
GUSTAVO SOLANO, P.E.
CONSULTING ENGINEER
FLA. REGISTRATION # 54923
4836 S.W. 74th COURT, MIAMI, FL 33155
(305) 665-6151



SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"



ELECTRICAL FLOOR PLAN
SCALE: 1/4" = 1'-0"



ELECTRICAL DANCE HALL
SCALE: 1/4" = 1'-0"

OFFICE COPY

APPROVED FOR PERMIT BY THE FOLLOWING:

ELECTRICAL
 CHECKED BY: [Signature]
 DATE: 10/1/99
 PROJECT NO. 99-00

GUSTAVO SOLANO, P.E.
 Consulting Engineer
 Registration # 34923
 Tel. (305) 665-6151

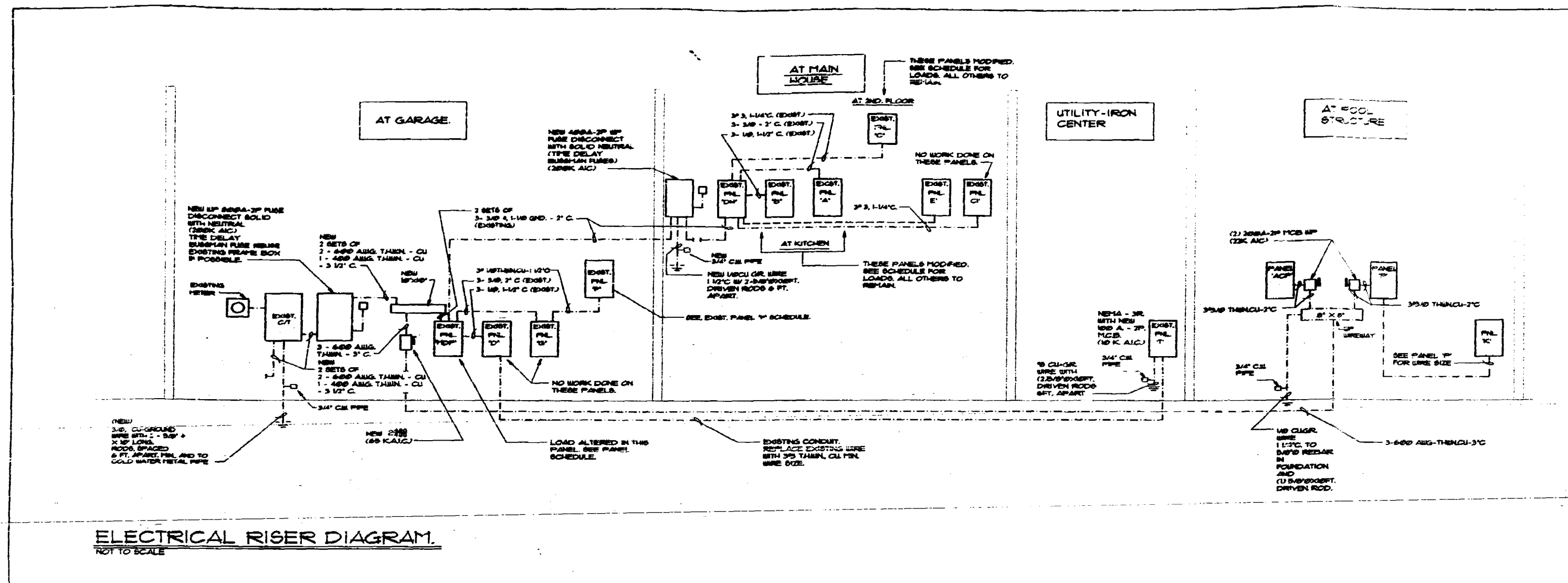
ROBERT WADE AND ASSOCIATES, P.A.
 ARCHITECTS
 550 BRICKELL KEY DRIVE, OFFICE PLAZA 201
 MIAMI, FLORIDA 33131
 (305) 371-2832
 FAX (305) 371-2832

RENOVATION FOR
 DOMINION INDUSTRIAL HOLDINGS
 24 PALM AVE
 MIAMI BEACH, FLORIDA

| Revisions | Date | By | Project No. |
|-----------|---------|----|-------------|
| 1 | 10/1/99 | AS | 99-00 |
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| ELECTRICAL LEGEND | | |
|------------------------|----------------------|--------------------------|
| SWITCHES & RECEPTACLES | LIGHTS & FIXTURES | SIGNALING SYSTEM |
| 1 SWITCH | 1 CEILING LIGHT | 1 BELL |
| 2 3-WAY SWITCH | 2 RECESSED DOWNLIGHT | 1 TELEPHONE |
| 3 4-WAY SWITCH | 1 WALL LIGHT | 1 TELE. PHONE / MODEM |
| 4 DIMMER | 1 FLUORESCENT STRIP | 1 COMM. TELE. EXCH. CORD |
| 5 SINGLE RECEPTACLE | 1 POLE MOUNT | 1 INTERCOM |
| 6 DUPLEX RECEPTACLE | 2 POLE MOUNT LIGHT | 1 STROBE LIGHT |
| 7 3-PRONG GFCI | 1 FLOODLIGHT | 1 PULL STATION |
| 8 2-PRONG GFCI | 1 EX-LIGHT | 1 HORN / STROBE |
| 9 2-PRONG GFCI | 1 EX-LIGHT | 1 STROBE LIGHT |
| 10 2-PRONG GFCI | 1 EX-LIGHT | 1 EMERGENCY OUTLET |
| 11 2-PRONG GFCI | 1 GARAGE DOOR | 1 THERMISTAT |
| 12 2-PRONG GFCI | 1 DISPO. | 1 SMOKE DETECTOR |
| 13 2-PRONG GFCI | 1 DISPO. | 1 SMOKE DETECTOR |
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| 309 2-PRONG GFCI | 1 DISPO. | 1 SMOKE DETECTOR |
| 310 2-PRONG GFCI | 1 DISPO. | 1 SMOKE DETECTOR |
| 311 2-PRONG GFCI | 1 DISPO. | 1 SMOKE DETECTOR |
| 312 2-PRONG GFCI | 1 DISPO. | 1 SMOKE DETECTOR |
| 313 2-PRONG GFCI | 1 DISPO. | 1 SMOKE DETECTOR |
| 314 2-PRONG GFCI | 1 DISPO. | 1 SMOKE DETECTOR |
| 315 2-PRONG GFCI | 1 DISPO. | 1 SMOKE DETECTOR |
| 316 2-PRONG GFCI | 1 DISPO. | 1 SMOKE DETECTOR |
| 317 2-PRONG GFCI | 1 DISPO. | 1 SMOKE DETECTOR |
| 318 2-PRONG GFCI | 1 DISPO. | 1 SMOKE DETECTOR |
| 319 2-PRONG GFCI | 1 DISPO. | 1 SMOKE DETECTOR |
| | | |

ELECTRICAL LOAD SUMMARY (A)

A. GENERAL LIGHTING LOAD AND SMALL APPLIANCE
14,428 S.F. @ 3W/SF = 43,284 + 7,500 = **50,784 WATTS**

B. PLUMBING FIXTURES

| | |
|---------------|--------------|
| CHINA | 24,000 WATTS |
| REFRIGERATORS | 9,500 WATTS |
| WATER HEATER | 4,500 WATTS |
| WASHERS | 2,000 WATTS |
| DISHWASHER | 1,000 WATTS |
| WATER HEATER | 60,000 WATTS |
| SHOWER DRESS | 2,400 WATTS |
| MICROWAVE | 2,400 WATTS |
| STOVE COOKTOP | 3,600 WATTS |
| PUMP/FAIRY | 2,000 WATTS |
| WATER HEATER | 2,000 WATTS |
| SHOWER EXH. | 2,400 WATTS |
| SHOWER MOTORS | 1,100 WATTS |

C. CONNECTED LOAD LESS A/C = 211,868 WATTS
150 WATT @ 100% = 15,000 WATTS
REST W = 80% = 169,868 WATTS

D. RANGE HEATING = 75,000 WATTS
DEMAND LOAD = 167,000 WATTS @ 240 WATTS = **696 AMPS** @ 240/120
NEUTRAL SIZ = 350 AMPS

C. NEUTRAL LOAD
*SINCE ALL SMALL APPLIANCE & WASHER 50,784 WATTS
FIRST 3,000 WATTS @ 100% = 1,000 AMPS
REST W = 30% = 159,868 WATTS
FIRST 3,000 WATTS @ 100% = 1,000 AMPS
DIVERSE @ 67% = 12,500 WATTS
OTHER 120V APPLIANCE = 25,000 WATTS
TOTAL NEUTRAL WATTS = 80,368 WATTS = 335 AMPS

[illegible]

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ELECTRICAL
 MECHANICAL
 FIRE PREVENTION
 ENGINEERING
 PUMP WORKS
 STRUCTURAL
 NECESSARILY
 INVENTED

GUSTAVO SOLANO, P.E.
consulting engineer
fla. registration # : 3 4 9 2 3
4836 s.w. 74th. court, miami, fl. 33155
tel. (305) 665-6151

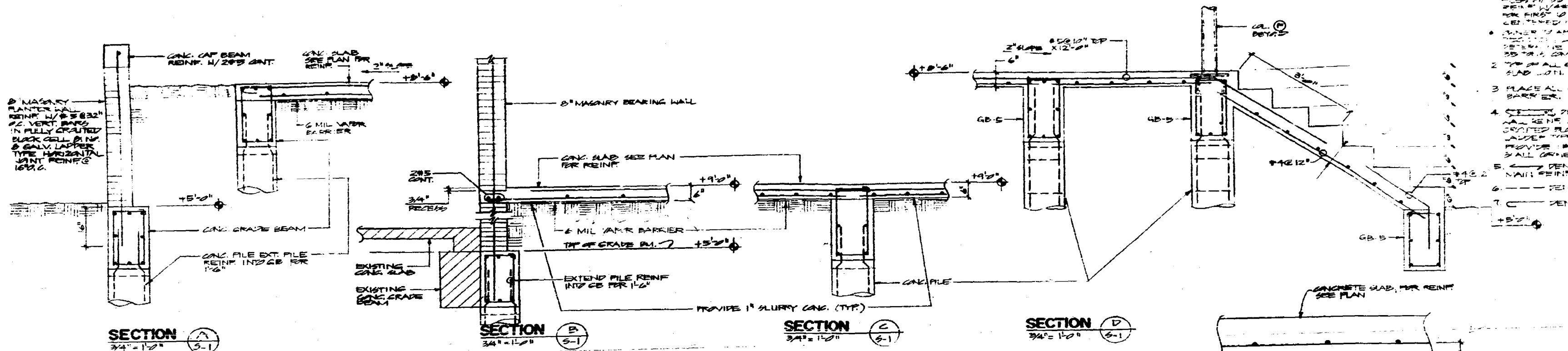
ROBERT WADE AND ASSOCIATES, P.A.
ARCHITECTS
PLANNERS
3520 BRICKELL KEY DRIVE, OFFICE PLAZA 201
MIAMI, FLORIDA.
(305) 371-2832
AAC000875

RENOVATION FOR
DOMINION INDUSTRIAL HOLDINGS
MIAMI BEACH, 94 PALM AVE FLORIDA.

date 12-1-41 drawn 43
 checked 64
 project no. 5-0

revisions

5-5
SHEET
OF 5

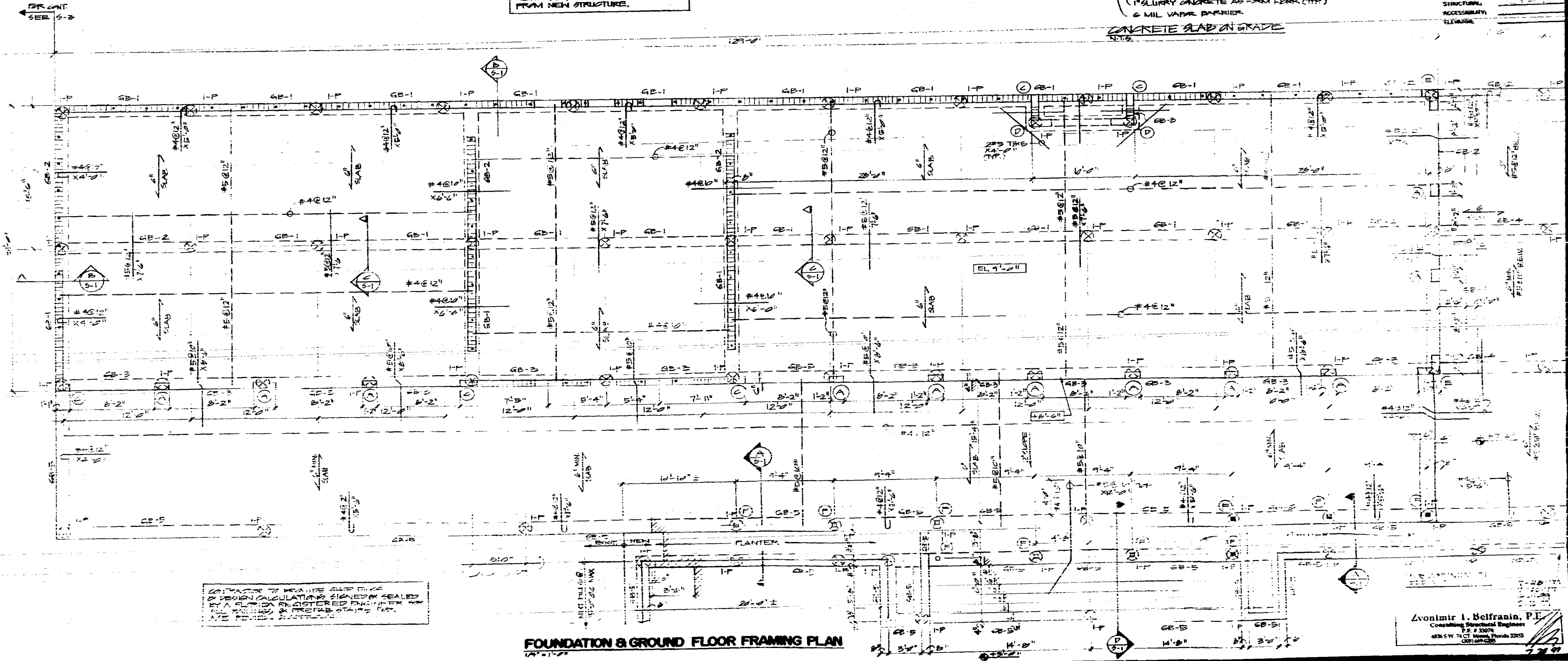


- FOUNDATION PLAN NOTES:**
1. ALL FOUNDATION ELEMENTS SHALL BE CONCRETE UNLESS OTHERWISE NOTED.
 2. ALL FOUNDATION ELEMENTS SHALL BE REINFORCED WITH #4 BARS.
 3. ALL FOUNDATION ELEMENTS SHALL BE PROTECTED WITH 2" SLURRY CONCRETE.
 4. ALL FOUNDATION ELEMENTS SHALL BE PROTECTED WITH 6 MIL VAPOR BARRIER.
 5. ALL FOUNDATION ELEMENTS SHALL BE PROTECTED WITH 1" SLURRY CONCRETE.
 6. ALL FOUNDATION ELEMENTS SHALL BE PROTECTED WITH 6 MIL VAPOR BARRIER.
 7. ALL FOUNDATION ELEMENTS SHALL BE PROTECTED WITH 1" SLURRY CONCRETE.
 8. ALL FOUNDATION ELEMENTS SHALL BE PROTECTED WITH 6 MIL VAPOR BARRIER.
 9. ALL FOUNDATION ELEMENTS SHALL BE PROTECTED WITH 1" SLURRY CONCRETE.
 10. ALL FOUNDATION ELEMENTS SHALL BE PROTECTED WITH 6 MIL VAPOR BARRIER.

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| ARCHITECT | |
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| Fire Prevention | |
| Engineering | |
| Public Works | |
| Structural | |
| Accessibility | |
| Other | |

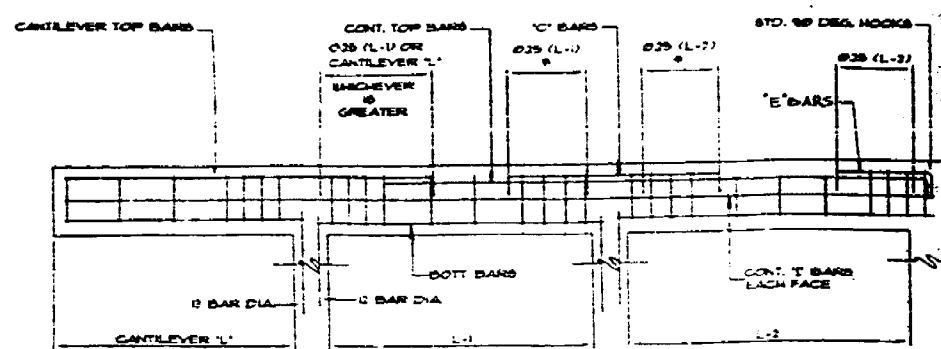


ROBERT WADE AND ASSOCIATES, P.A.
PLANNERS
ARCHITECTS

RENOVATION FOR
DOMINION INDUSTRIAL HOLDINGS
MIAMI BEACH, FLORIDA

DATE
SHEET
5-1

Zvonimir I. Beltramo, P.E.
Professional Engineer
4001 S.W. 7th Street, Suite 200
Miami, FL 33135
(305) 555-1234

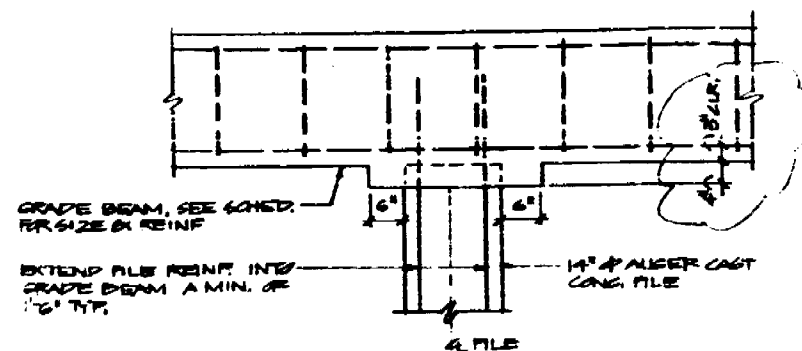


NOTES:
1. WHERE NECESSARY CONT. TOP BARS SHALL BE LAPPED 24 BAR DIA. IN MIDDLE 1/3 OF SPAN.
2. A. BARS OVER 10 GREATER.
3. BARS & THE PERIMETER OF THIS STRUCTURE SHALL HAVE AT LEAST 1/2 OF THE TENSION REIN. REQUIRED FOR NEGATIVE MOMENT AT THE SUPPORT AND 1/4 OF THE POSITIVE MOMENT REIN. REQUIRED AT MIDSPAN MADE CONTINUOUS AROUND THE PERIMETER AND TIED WITH CLOSED STIRRUPS.

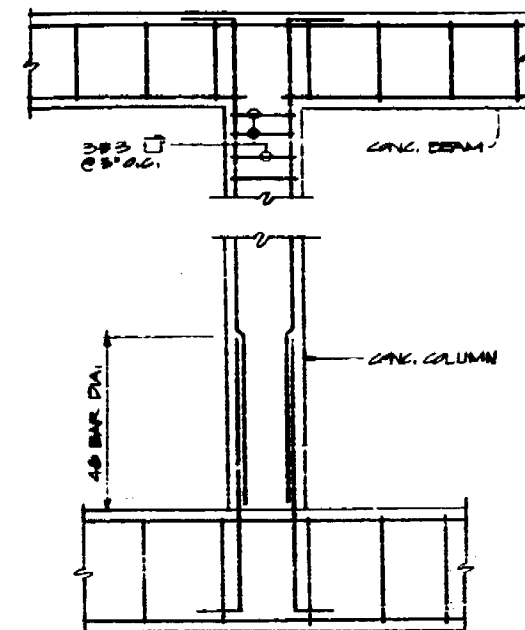
BEAM STEEL PLACEMENT DIAGRAM

| CONCRETE BEAM SCHEDULE | | | | | | | | | | | |
|------------------------|-----------|------------|-------------|-----------|-----|---|------------------|-----|------|---------|-------------------|
| MARK | TOP ELEV. | SIZE W X H | REINFORCING | | | | TIES OR STIRRUPS | | | | REMARKS |
| | | | CONT. TOP | CONT. BOT | C | E | I | NO. | TYPE | SPACING | |
| CB-1 | PLAN | 14" X 24" | 3#6 | 3#6 | 1#6 | | 1#5 | 3 | □ | ①0" | |
| CB-2 | | 14" X 24" | 3#6 | 3#6 | | | | | □ | ①0" | |
| CB-3 | | 14" X 24" | 3#6 | 3#6 | 1#7 | | | | □ | ①0" | |
| CB-4 | | 14" X 24" | 3#6 | 3#6 | | | | | □ | ①0" | |
| CB-5 | | 14" X 24" | 3#6 | 3#6 | | | ↓ | ↓ | □ | ①0" | |
| CB-6 | | 14" X 24" | 3#6 | 3#6 | | | 1#5 | 3 | □ | ①0" | |
| B-1 | | 16" X 14" | 3#6 | 3#6 | | | | 3 | □ | ①0" | |
| B-2 | | 8" X 14" | 2#5 | 2#5 | | | | 4 | □ | ①4" | |
| TB | | 8" X 12" | 2#5 | 2#5 | | | 4# | 3 | □ | ①2" | EA. END BAL. ①24" |
| TB-1 | | 12" X 12" | 3#5 | 3#5 | | | 4# | 3 | □ | ①2" | EA. END BAL. ①24" |
| RB-1 | | 12" X 12" | 3#5 | 3#5 | | | 1#5 | 3 | □ | ①2" | SEE ARCH'L DWGS. |
| RB-2 | | 8" X 12" | 2#5 | 2#5 | | | 1#5 | 3 | □ | ①2" | SEE ELEV. 1/5-5 |
| RB-3 | | 16" X 12" | 3#7 | 3#7 | | | 2#5 | 3 | □ | ①0" | SEE ARCH'L DWGS. |
| RB-4 | | 16" X 12" | 3#5 | 3#5 | | | 3#5 | 3 | □ | ①2" | |
| RB-5 | | 8" X 12" | 2#5 | 2#5 | | | 3#5 | 3 | □ | ①2" | |
| RB-6 | | 16" X 12" | 4#5 | 4#5 | | | 1#5 | 3 | □ | ①2" | SEE ELEV. 1/5-6 |
| RB-7 | ↓ | 8" X 12" | 2#5 | 2#5 | | | 1#5 | 3 | □ | ①2" | SEE ELEV. 2/5-6 |

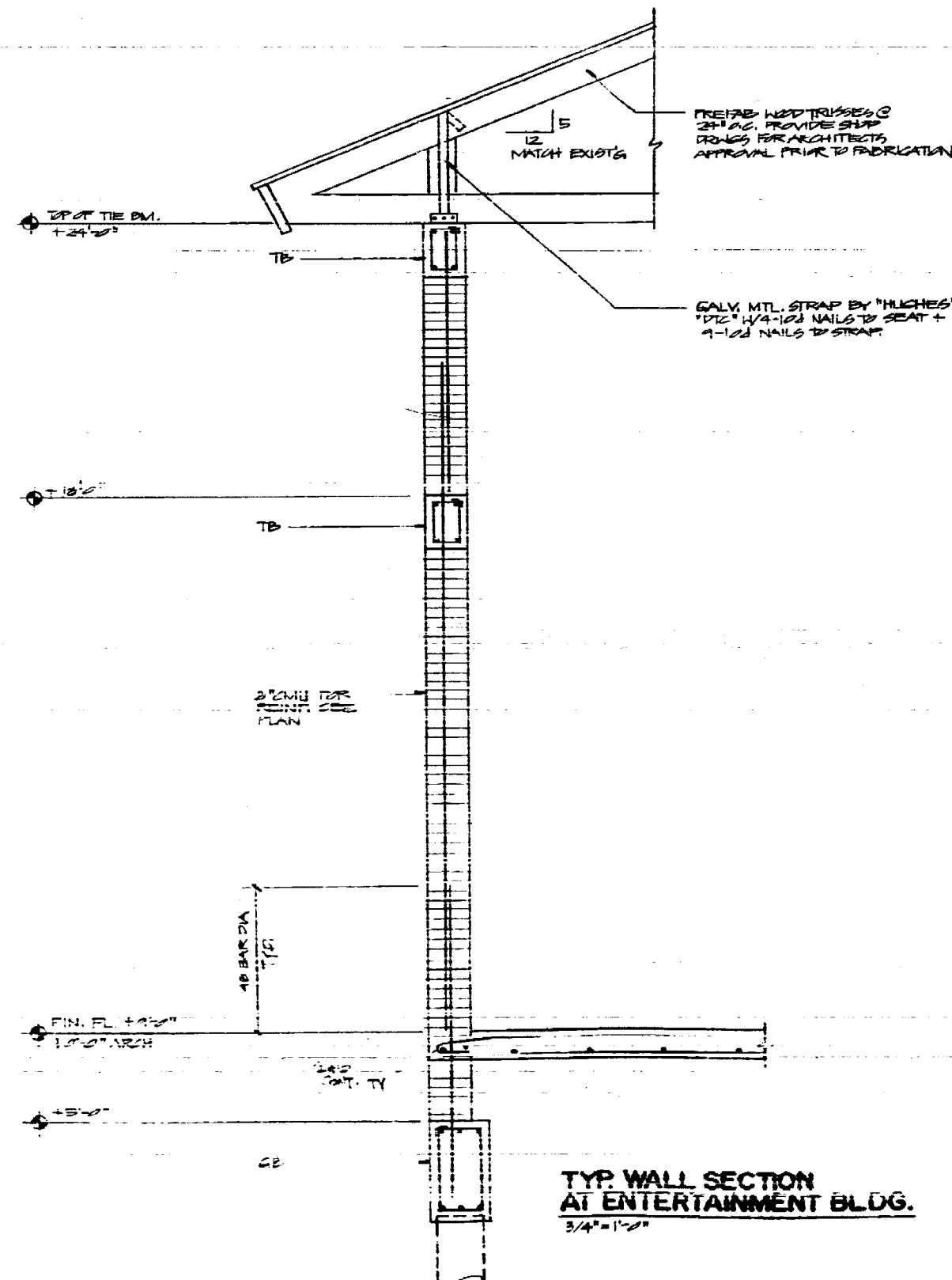
| MARK | SIZE | REINFORCEMENT | | REINFORCEMENT | TIES OR CAP PLATE | REMARKS |
|------|-------------------|---|------------|------------------|-------------------|-----------------------------------|
| | | VERTICAL OR BASE PLATE | BASE PLATE | | | |
| (A) | 8" X 14" | 4#6 | | 3#3 | 12" | |
| (B) | 8" X 24" | 4#6 | | 4#3 | 12" | 33 J.H.F. 24" |
| (C) | 8" X 12" | 4#5 | | 3#3 | 12" | SAME AS (A) |
| (D) | 8" X 12" | 4#6 | | 3#3 | 12" | |
| (E) | 8" X 17" X 25" | 2#5 | | 3#3 | 12" | |
| (F) | 16" X 5" X 5 1/2" | 12" X 2" 3/4" W/4 50# 1/2" RAILING - 6" TO 1/2" HILL | | SAME AS BASE PL. | | FOR TRELLED CAP PL. 12" X 5" X 5" |
| (G) | 12" X 23" | 8#6 | | 3#3 | 12" | |
| (H) | 16" X 24" X 1/4" | 8" X 5" X 1/2" PLATE W/4 50# 1/2" RAILING - 6" TO 1/2" HILL | | SAME AS BASE PL. | | |
| (I) | FILLED CELL | 1#5 | | | | FULLY GRADED |
| (J) | 8" X 24" | 1#5 | | 3#3 | 12" | 33 J.H.F. 24" |



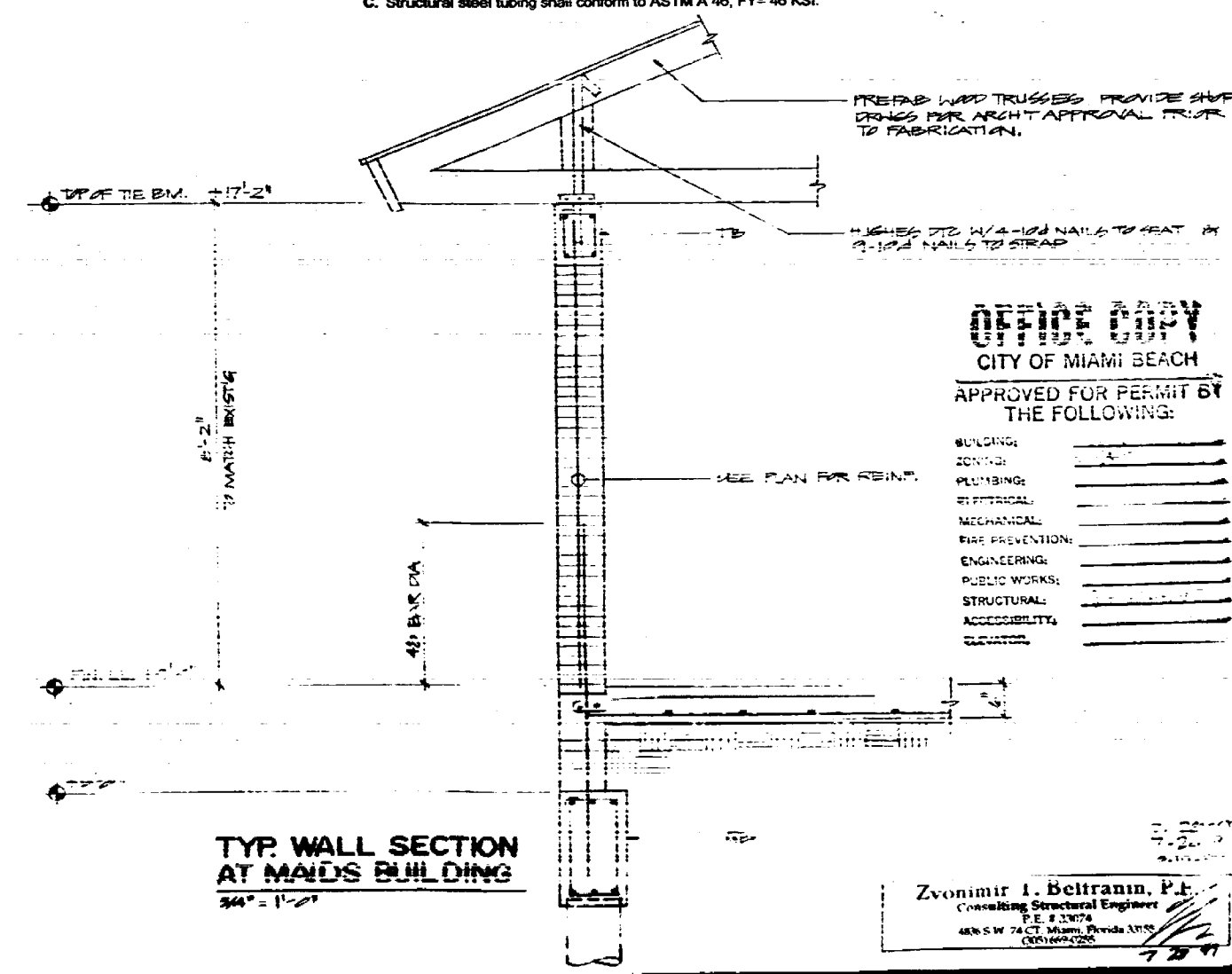
TYPICAL GRADE BEAM TO PILE CONN.



CONCRETE COLUMN TO CONG. GRADE BEAM CONNECTION DETAIL



TYP. WALL SECTION AT ENTERTAINMENT BLDG.
3/4" = 1'-0"



TYP. WALL SECTION AT MAIDS BUILDING
3/4" = 1'-0"

GENERAL STRUCTURAL NOTES

- General**
 - The Contractor shall field check all dimensions on the structural drawings and verify same on the architectural set. Architectural details such as, slab depressions, waterproofing, curbs, mechanical openings, facade framing and bracing shall be installed as shown on the architectural set.
 - The Contractor shall be responsible for showing and bracing to ensure safe working conditions at all times. All construction shall conform to the South Florida Building Code.
- Concrete**
 - All cast-in-place concrete in the job shall attain a minimum compressive strength (f'c) at 28 days of 3000 p.s.i.
 - Concrete work shall conform to all requirements of ACI 301-latest edition specifications for structural concrete for building.
- Reinforcing Steel**
 - Reinforcing steel shall be detailed and placed in accordance with ACI 318-latest ed.
 - Reinforcing steel shall be deformed bars conforming to ASTM A 615 grade 60, unless otherwise noted.
 - All welded wire fabric shall conform to ASTM A 185.
 - Reinforcing to be securely in position with standard accessories during placing of concrete.
 - All bottom bars shall bear 6" minimum over supports.
- Minimum Concrete Over Reinforcing**

| | Minimum Clear Cover, (in.) |
|---|----------------------------|
| A. Concrete against and permanently exposed to earth (unformed faces) | 3 |
| B. Concrete exposed to earth or weather (formed faces) | |
| a. #5 bars and larger | 2 |
| b. #5 bars and smaller | 1 1/2 |
| C. Not in contact with ground | |
| a. Structural slabs & walls | 3/4 |
| b. Beams and Columns | 1 1/2 |
| c. Slabs on grade over vapor barrier | 1 1/2 |
- Masonry**
 - Hollow concrete masonry units shall be of a quality of at least equal to that required by ASTM C 90 "standard specifications for hollow load bearing concrete masonry units".
 - All mortar shall comply with the property and proportion specifications of ASTM C 270. Except that slag cements shall not be used. Mortar for exterior walls shall be type M. For interior load bearing walls the mortar shall be type M or S. For interior walls above grade and not supporting loads the mortar shall be type M, S, or N.
 - Whenever anchor bolts are to be set in masonry, two cells at the setting location shall be filled with concrete.
 - Grout for masonry units shall conform to ASTM C 476 and shall attain a compressive strength of f'c = 3000 p.s.i. at 28 days.
 - Prism strength of masonry units shall be minimum of f'm = 1500 p.s.i.
 - Maximum pour lift for masonry units and grout pour height shall be 4'-0".
 - Slump 9" ± 1".
- Structural Steel**
 - Structural steel work shall comply with AISC "specifications for the design, fabrication and erection for buildings" as it appears on the manual of steel construction, latest edition.
 - Structural steel shapes, bars, plates and pipes shall conform to ASTM A 36, Fy = 36 KSI.
 - Structural steel tubing shall conform to ASTM A 46, Fy = 46 KSI.

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| PLUMBING | |
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| MECHANICAL | |
| FIRE PREVENTION | |
| ENGINEERING | |
| PUBLIC WORKS | |
| STRUCTURAL | |
| ACCESSIBILITY | |
| SECURITY | |

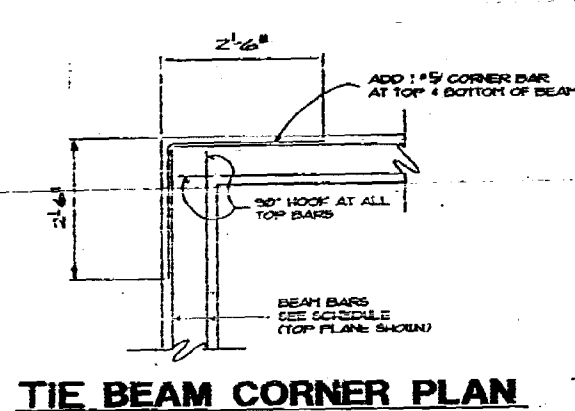
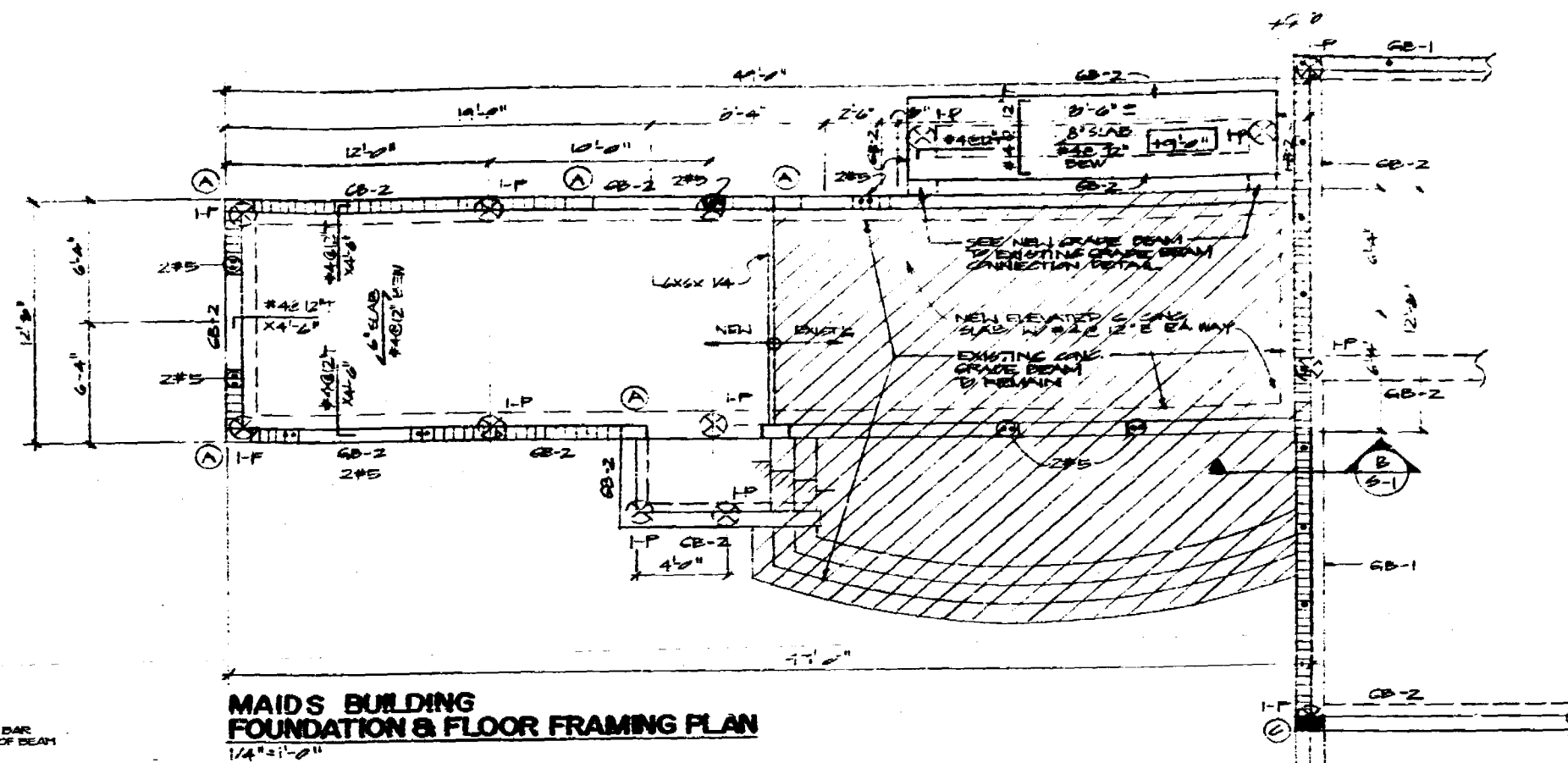
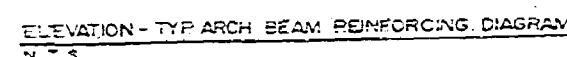
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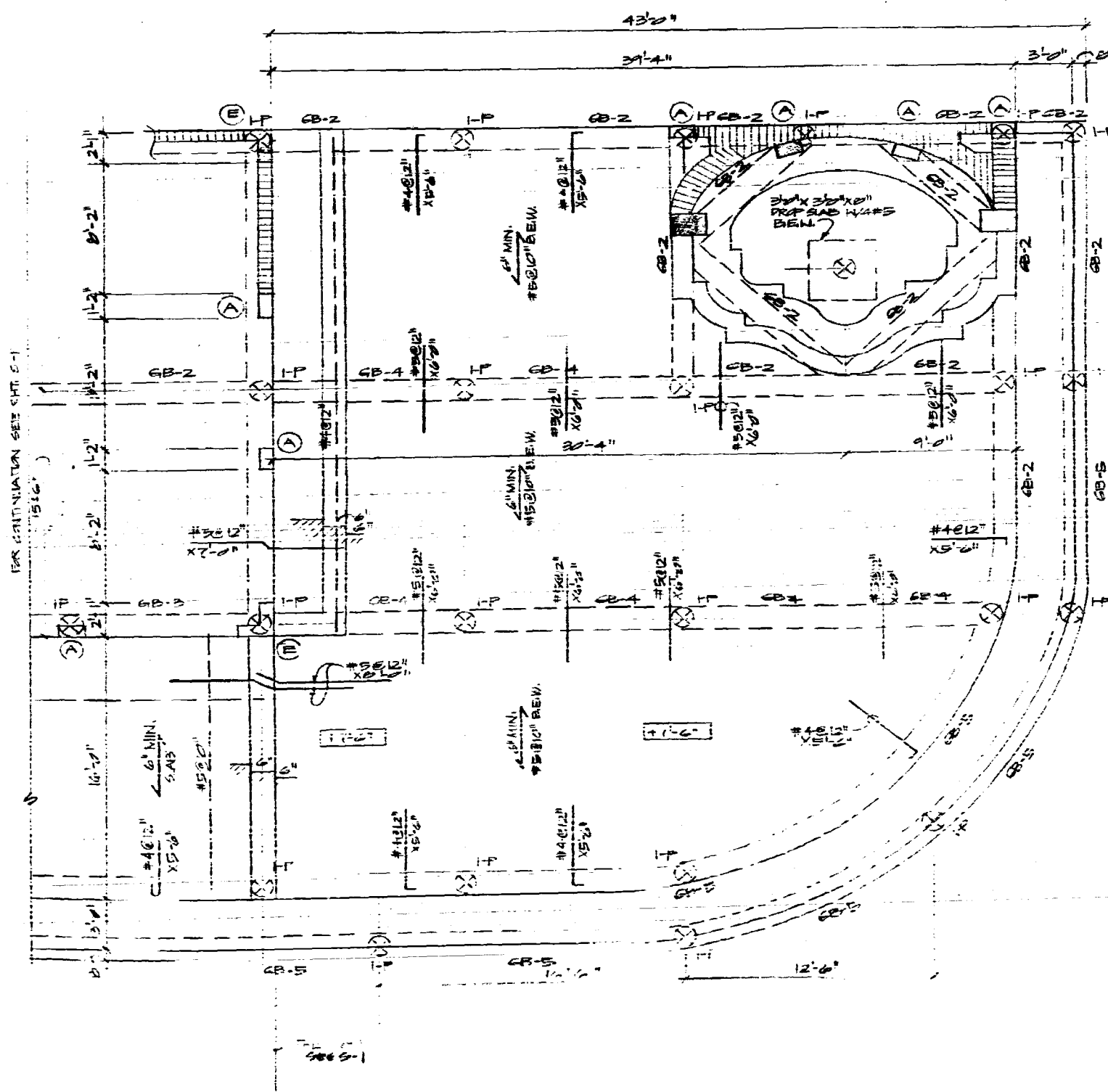
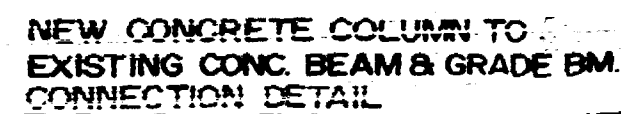
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ARCHITECTS

RENOVATION FOR
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 MECHANICAL
 FIRE PROTECTION,
 ENGINEERING
 SPECIAL TRAINING
 OTHER TRAINING
 AND THE ISSUANCE OF THE
 LICENSE

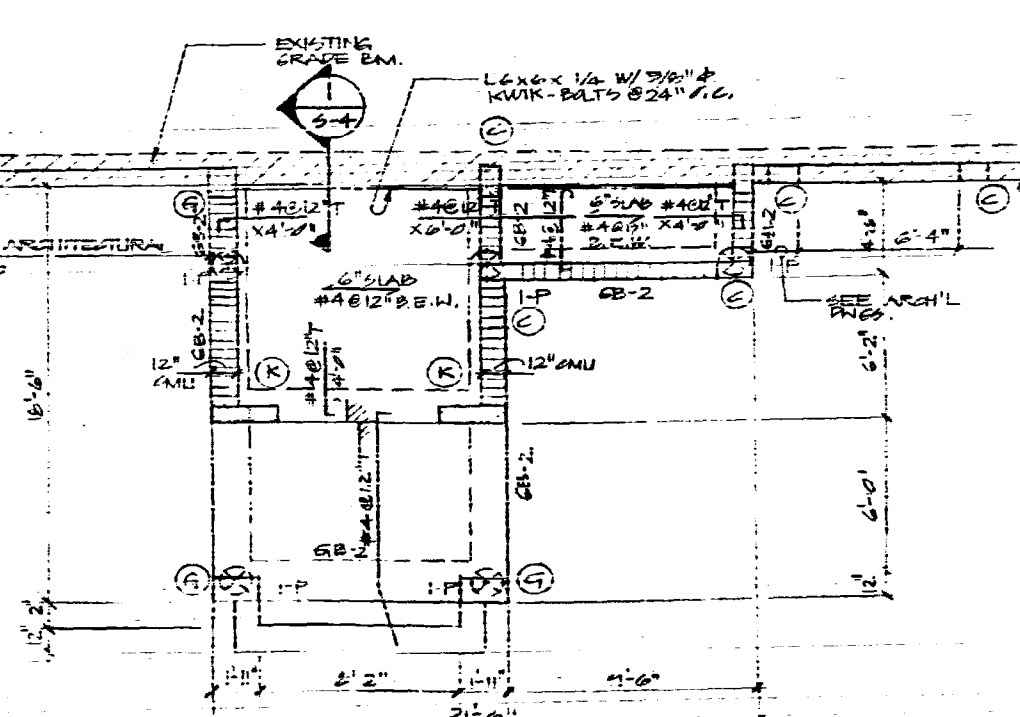
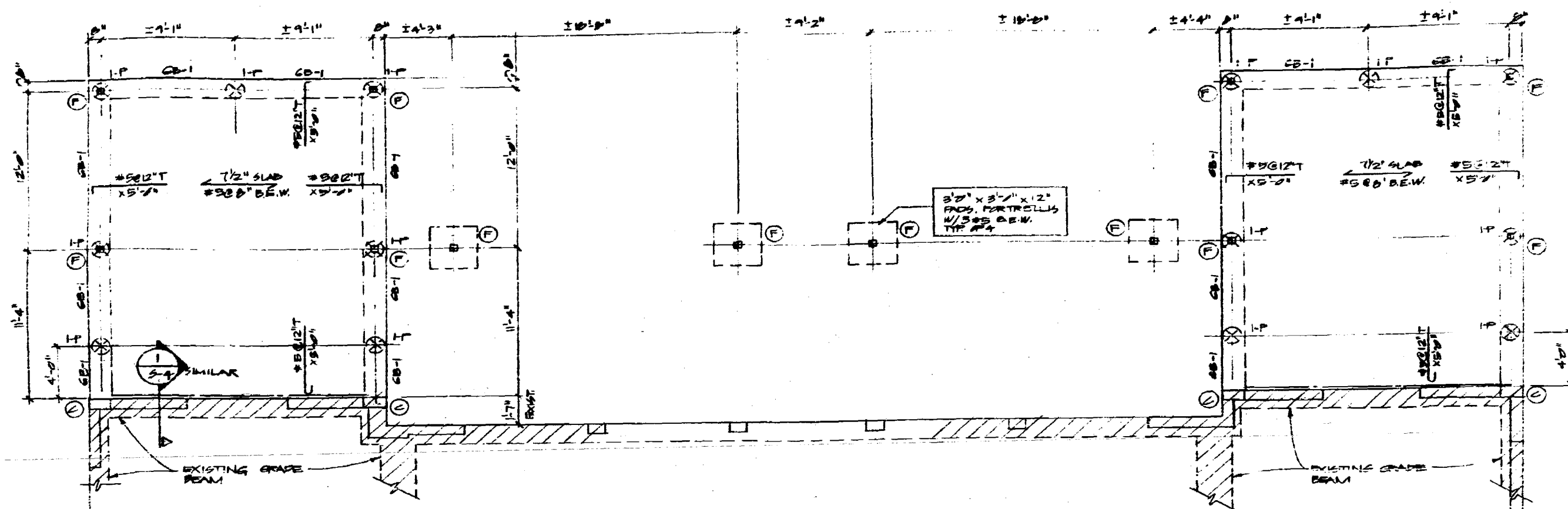
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(305) 669-0255

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MIAMI BEACH, FLORIDA

ENVIRONMENTAL

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FOUNDATION & FIRST FLOOR FRAMING PLAN

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| ZONING | |
| PLANNING | |
| ENVIRONMENTAL | |
| RECREATION | |
| ENGINEERING | |
| ARCHITECTURE | |
| STRUCTURAL | |
| MECHANICAL | |
| ELECTRICAL | |
| PLUMBING | |
| HAZARDOUS WASTE | |
| OTHER | |

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Miami, Florida 33156

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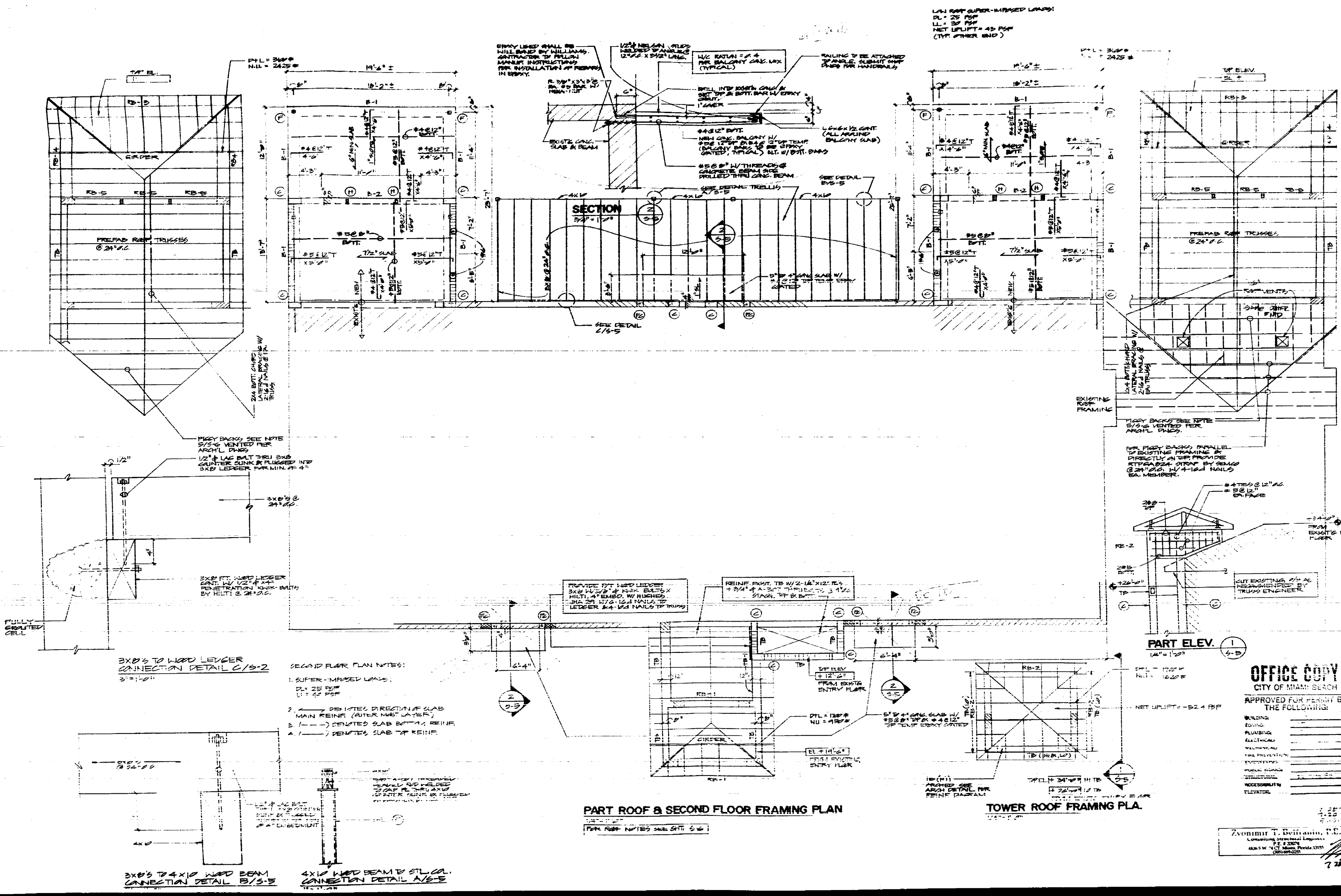
RENOVATION FOR
DOMINION INDUSTRIAL HOLDINGS
MIAMI BEACH, 94 PALM AVENUE
FLORIDA

DATE
5-4
OF
8

REVISIONS

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FLORIDA
MIAMI BEACH

DOMINION INDUSTRIAL HOLDINGS

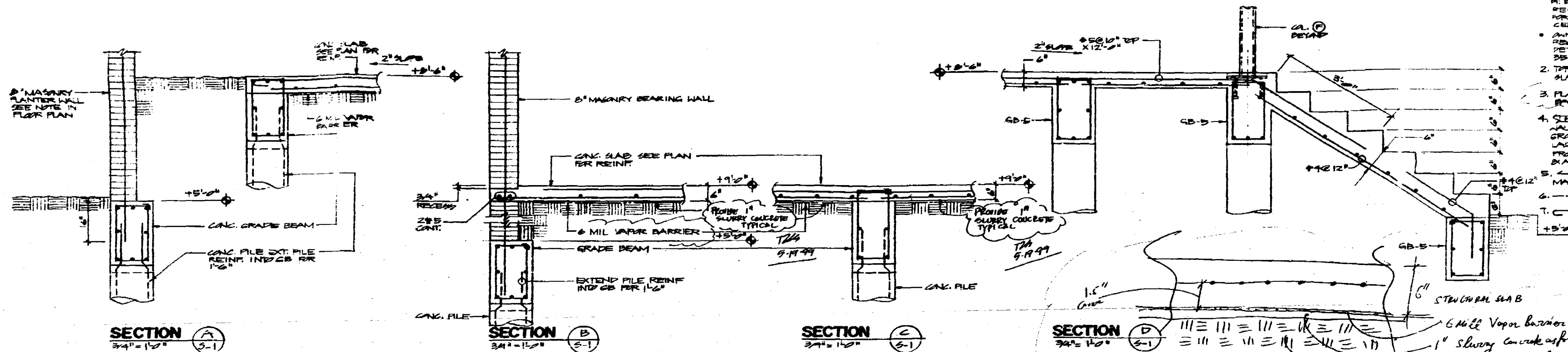
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ACCESSIBILITY
ELEVATOR

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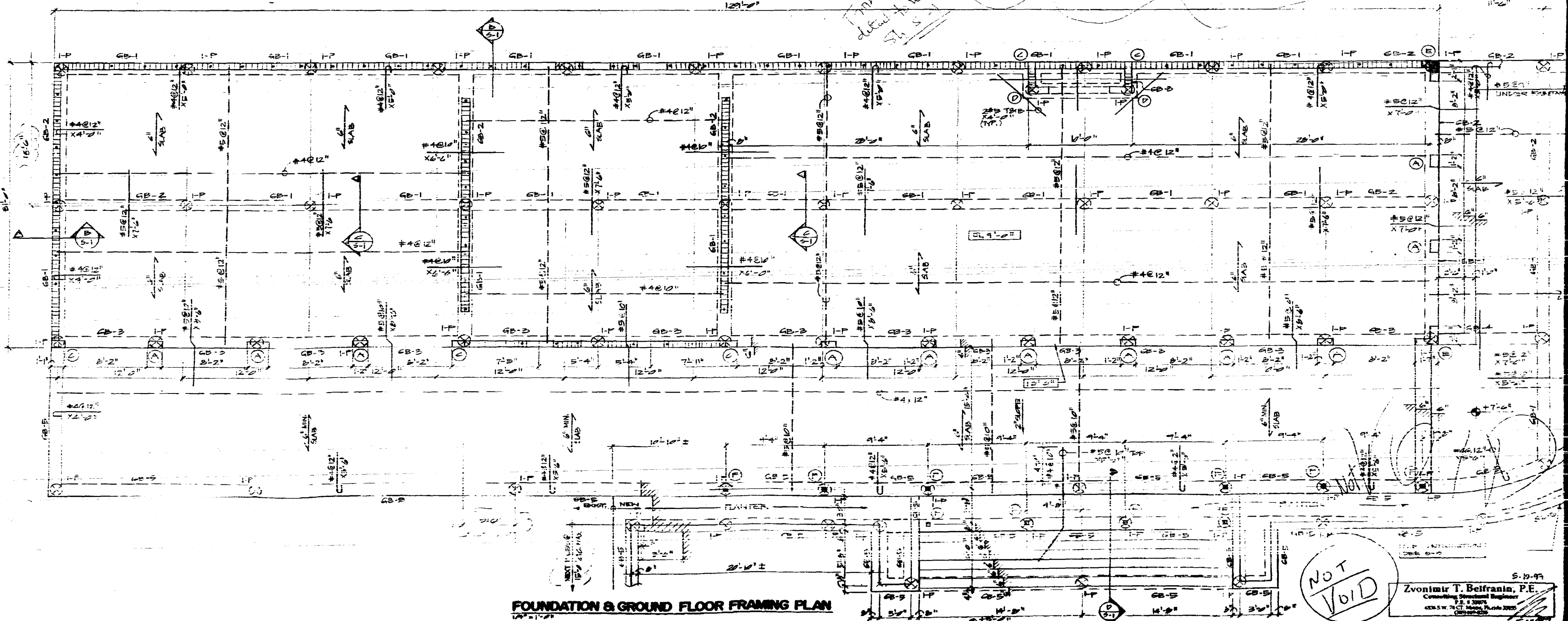


FOUNDATION PLAN NOTES:

1. IF (S) DENOTES 1" X 12" ALUMINUM PILE, 25' LONG, 12" DIA. CAPACITY 10,000 LBS. FOR FIRST 10' FT. OF PILE LENGTH & 18,000 LBS. FOR REMAINING 15' FT. OF PILE LENGTH. ALL PILES TO BE CENTERED IN FILE FOR FULL LENGTH. SEE PLAN.
2. ANCHOR TO ADJUST A CORRECTIONAL BEARING RESISTANCE. A 1/2" DIA. ANCHOR TO BE DETERMINED BY TEST. SEE PLAN FOR BEARING RESISTANCE CAPACITY.
3. TOP OF ALL GRADE BEAMS & TOP OF CONCRETE SLAB, IN PLAN & SECTION.
4. ALL REINFORCED 2" MASONRY BEARING WALL REIN. 1/2" X 5' VERT. @ 32" O.C. IN FULLY GRADED BLOCK CELL. ON NO. 5 ONLY. LOWER TYPE REIN. 1/2" X 5' VERT. @ 32" O.C. PROVIDE 1/2" VERT. @ 32" O.C. AT OTHER WALL CORNERS & INTERSECTIONS.
5. --- DENOTES DIRECTION OF SLAB MAIN REIN. (OTHER MAIN REIN.)
6. --- DENOTES SLAB BOTTOM REIN.
7. C --- DENOTES SLAB TOP REIN.

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BUILDING: []
CONCRETE: []
ELECTRICAL: []
MECHANICAL: []
FIRE PREVENTION: []
PUBLIC WORKS: []
STRUCTURAL: []
ACCESSIBILITY: []
UNIFORM: []



FOUNDATION & GROUND FLOOR FRAMING PLAN
1/4" = 1'-0"

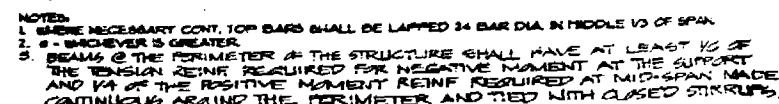
RENOVATION FOR
DOMINION INDUSTRIAL HOLDINGS
MIAMI BEACH, 94 PALM AVE
FLORIDA

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ARCHITECTS

DATE 5-10-99
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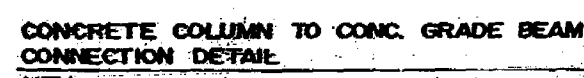
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Zvonimir T. Beltranto, P.E.
Consulting Structural Engineer
1000 S.W. 7th St., Suite 2000
Miami, FL 33135



| CONCRETE BEAM SCHEDULE | | | | | | | | | | | | |
|------------------------|-----------|------------|-------------|------|-----|---|------------------|----|-----|---------|--------------------|-----------------|
| MARK | TOP ELEV. | SIZE W X H | REINFORCING | | | | TIES OR STIRRUPS | | | REMARKS | | |
| | | | NO. | DOY. | TOP | C | E | T | NO. | | TYPE | WAGING |
| CB-1 | SEE PLAN | 14" X 24" | 3#6 | 3#6 | 1#6 | | 1#5 | 3 | □ | C 10" | | |
| CB-2 | | 14" X 24" | 3#6 | 3#6 | | | | | □ | C 10" | | |
| CB-3 | | 14" X 24" | 3#6 | 3#6 | 1#7 | | | | □ | C 10" | | |
| CB-4 | | 14" X 24" | 3#6 | 3#6 | | | | | □ | C 10" | | |
| CB-5 | | 14" X 24" | 3#6 | 3#6 | | | | ↓ | ↓ | C 10" | | |
| CB-6 | | 14" X 24" | 3#6 | 3#6 | | | 1#5 | 3 | □ | C 8" | | |
| B-1 | | 16" X 14" | 3#6 | 3#6 | | | | 3 | □ | C 6" | | |
| B-2 | | 8" X 14" | 2#8 | 2#8 | | | | 4 | □ | C 4" | | |
| TB | | 8" X 12" | 2#5 | 2#5 | | | 1# | 3 | □ | C 12" | EA. END BAL. C 24" | |
| TB-1 | | 12" X 12" | 3#5 | 3#5 | | | 1# | 3 | □ | C 12" | EA. END BAL. C 24" | |
| RB-1 | | 12" X 14" | 3#5 | 3#5 | | | 1#5 | 3 | □ | C 12" | SEE ARCH'L DWGS. | |
| RB-2 | | 8" X | 2#5 | 2#8 | | | 1#5 | 12 | 4 | □ | C 12" | SEE ELEV. 1/4-5 |
| RB-3 | | 16" X 14" | 3#7 | 3#7 | | | 2#5 | 3 | □ | C 8" | SEE ARCH'L DWGS. | |
| RB-4 | | 12" X 26" | 3#5 | 3#5 | | | 3#5 | 3 | □ | C 12" | | |
| RB-5 | | 8" X 26" | 2#5 | 2#5 | | | 3#5 | 3 | □ | C 12" | | |
| RB-6 | | 16" X 14" | 4#5 | 4#5 | | | 1#5 | 12 | 3 | □ | C 12" | SEE ELEV. 1/5-6 |
| RB-7 | ↓ | 8" X 14" | 2#5 | 2#5 | | | 1#5 | 12 | 3 | □ | C 12" | SEE ELEV. 2/5-6 |

| COLUMN SCHEDULE | | | | |
|-----------------|-----------------|--|--------------------------------------|------------------------|
| MARK | SIZE | REINFORCEMENT
VERTICAL OR
BASE PLATE | REINFORCEMENT
TIE OR
CAP PLATE | REMARKS |
| (A) | 5" x 14" | 4 #6 | #3 □ 2 3/4" | |
| (B) | 8" x 24" | 6 #6 | #3 □ 6 1/2" | #3 J.H.F. E
2" x 1" |
| (C) | 5" x 13" | 4 #5 | #2 □ 2 1/2" | |
| (D) | 8" x 26" | 6 #6 | #3 □ 6 1/2" | SAME AS COL (B) |
| (E) | 20" x 17" x 25" | 3 #6 | #3 □ 6 1/2" | |
| (F) | 75 5 X 5 1/2" | 2X 12 3/4 W/ 4 3/8" x 1/2" CHNK BOLTS x HLT 2" EMBD. | SAME AS BASE F | |
| (G) | 12" x 23" | 2 #6 | #3 □ 12" | |
| (H) | 75 2X6 x 1/4" | 2X6X 3/8" PLATE W/ 4 3/8" x 1/2" CHNK BOLTS x HLT 6" EMBD. | #3 □ 12" | SAME AS BASE F |
| (I) | FILED CHIL | 1 #5 | — | FULLY GROUTED |



- ### GENERAL STRUCTURAL NOTES

1. General

- A. The Contractor shall field check all dimensions on the structural drawings and verify same on the architectural set. Architectural details such as, slab depressions, waterproofing, curbs, mechanical openings, fascia framing and bracing shall be installed as shown on the architectural set.**

2 Concrete

- A. All cast-in-place concrete in this job shall attain a minimum compressive strength (fc) at 28 days of 3000 p.s.i.
- B. Concrete work shall conform to all requirements of ACI 301-latest edition specifications for structural concrete for building.

3. Reinforcing Steel

- A. Reinforcing steel shall be detailed and placed in accordance with ACI 318-1990, ed.
- B. Reinforcing steel shall be deformed bars conforming to ASTM A 615 grade 60, unless otherwise noted.
- C. All welded wire fabric shall conform to ASTM A 185.
- D. Reinforcing to be securely in position with standard accessories during placing of concrete.
- E. All bottom bars shall bear 6" minimum over supports.

4. Minimize Concrete Over Reinforcing

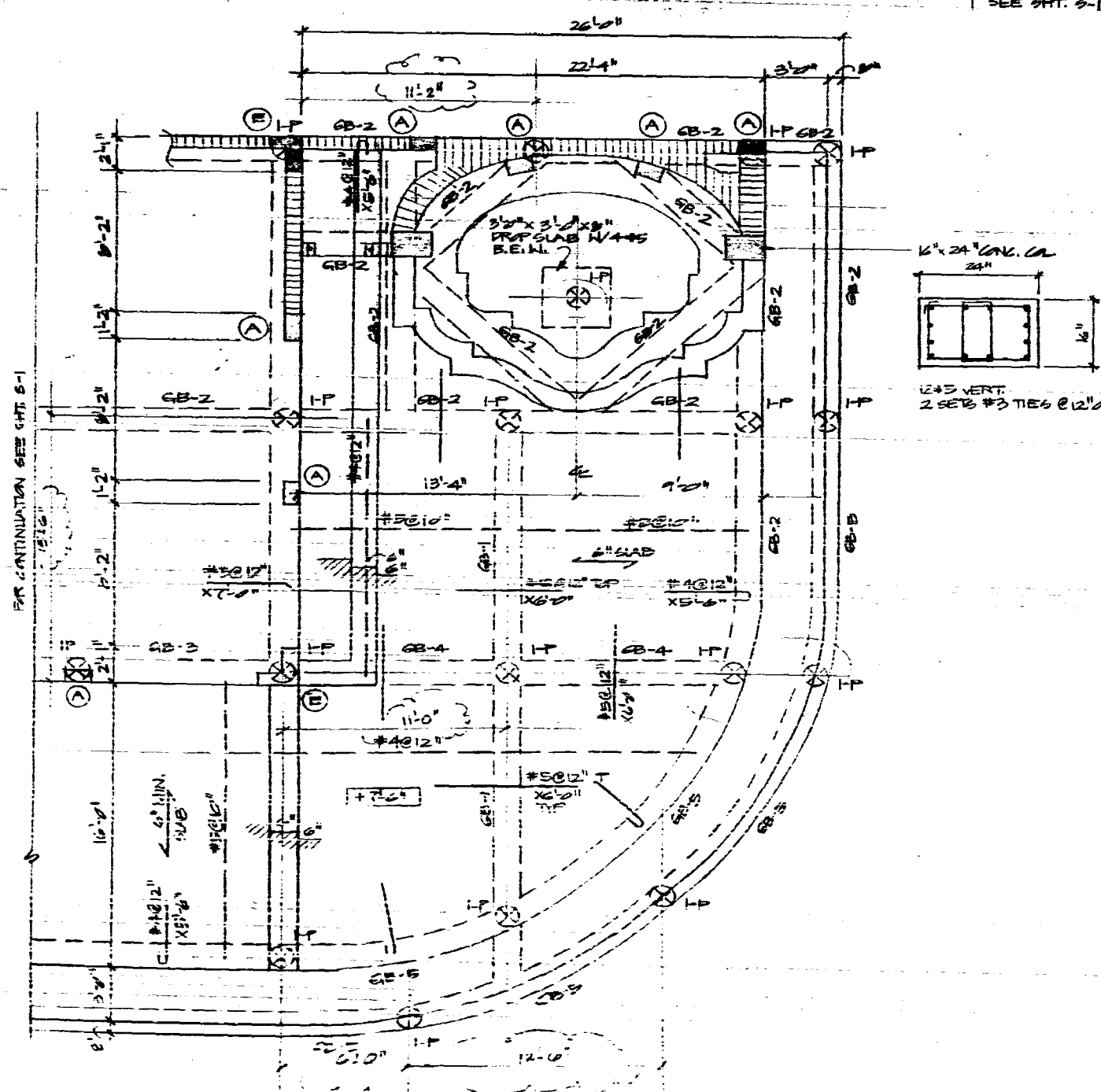
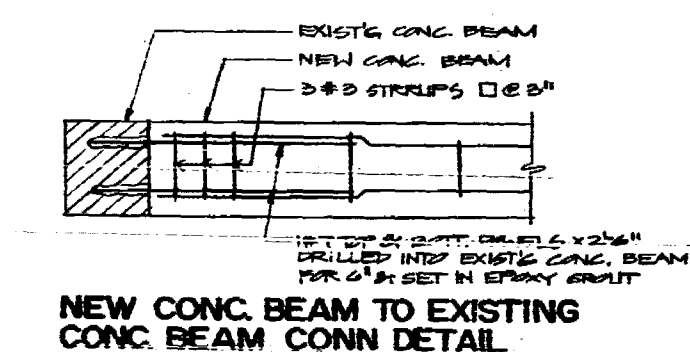
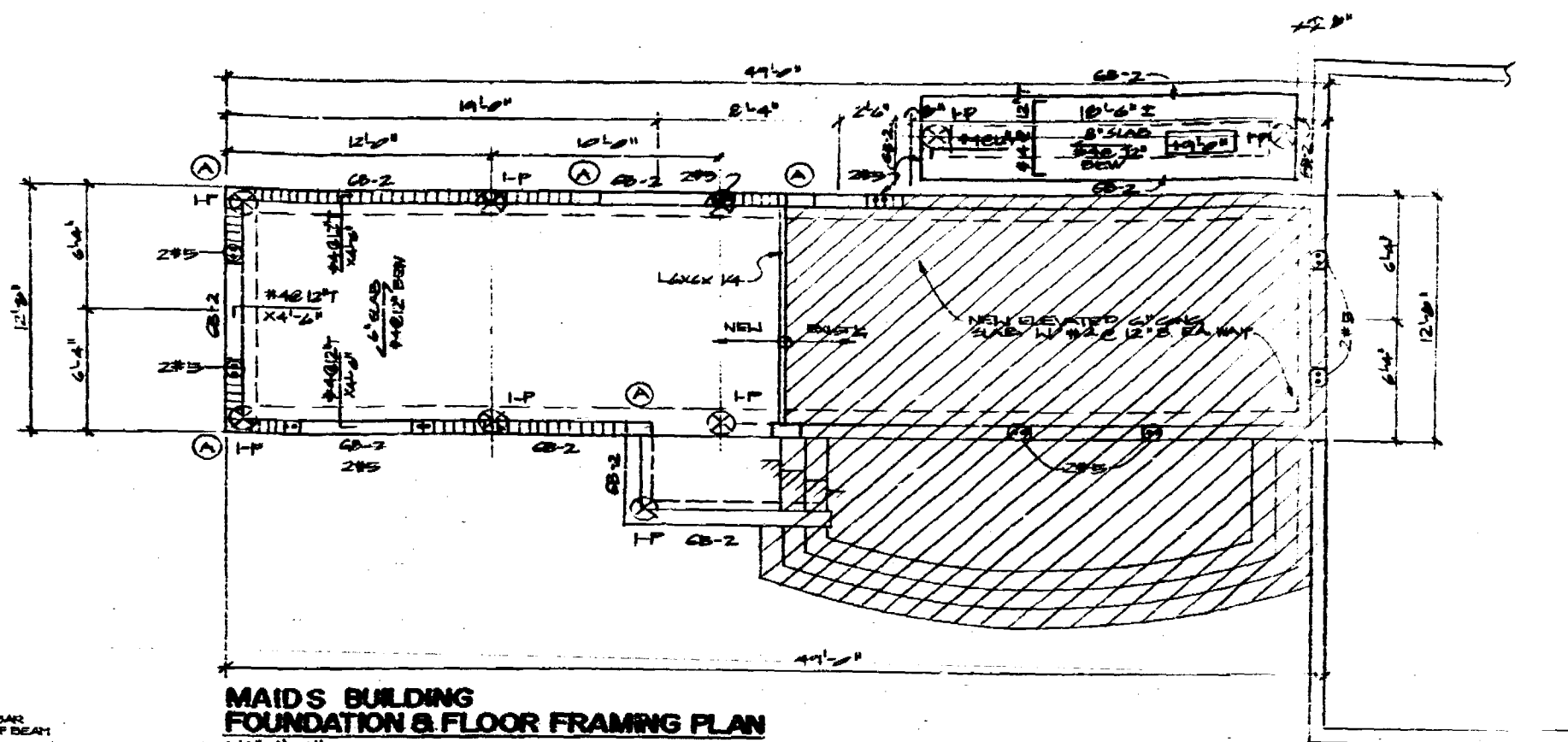
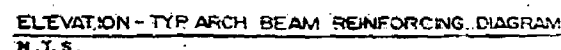
| 4. Minimum Concrete Over Reinforcing | | Minimum Clear Cover, (in.) |
|---|--|----------------------------|
| A. Concrete against and permanently exposed to earth (unformed faces) | | 3 |
| B. Concrete exposed to earth or weather (formed faces) | | 2 |
| a. #3 bars and larger | | 1 1/2 |
| b. #3 bars and smaller | | 1 1/2 |
| C. Not in contact with ground | | 3/4 |
| a. Structural steel & walls | | |
| b. Beams and Columns | | |
| (Primary reinforcement, ties stirrups & spirals) | | 1 1/2 |
| a. Slabs on grade over | | 1 1/2 |

6. Masonry

- A. Hollow concrete masonry units shall be of a quality at least equal to that required by ASTM C 90 "standard specifications for hollow load bearing concrete masonry units."
- B. All mortar shall comply with the property and proportion specifications of ASTM C 270. Except that dry contents shall not be used. Mortar for exterior walls shall be type M. For interior load bearing walls the mortar shall be type M or S. For interior walls above grade and not supporting loads the mortar shall be type M, S, or N.
- C. Whenever anchor bolts will be set in masonry, two cells at the setting location shall be filled with concrete.
- D. Grout for masonry units shall conform to ASTM C 476 and shall attain a compressive strength of $f'c = 3000$ p.s.i. at 28 days.
- E. Ties or strength of masonry units shall be minimum of $f'm = 1500$ p.s.i.
- F. Minimum mortar life for masonry units and grout pour height shall be 4'-0".
- G. Slump 9" \pm 1".

6. Structural Steel

- A. Structural steel work shall comply with AISC "specifications for the design, fabrications and erections for buildings" as it appears on the manual of steel construction, latest edition.
- B. Structural steel shapes, bars, plates and pipes shall conform to ASTM A 36, Fy= 36 KSI.
- C. Structural steel tubing shall conform to ASTM A 46, Fy= 45 KSI.



| MARK | | MARK | |
|-------------|--|-------------|---|
| DESCRIPTION | | DESCRIPTION | |
| 1 | Angle 3/8"x1/2" waterstrapped brick (rigid) battline strip | 5 | 1/2" steel, steel reinforcement (1/2" x 1/2" x 1/2" x 1/2") |
| 2 | Steel plate 1/2"x1/2" (rigid) x 36 inch | 6 | Precast concrete slab on steel plate (rigid) |
| 3 | Steel plate 1/2"x1/2" (rigid) x 36 inch | 7 | 1/2" x 1/2" waterstrapped brick (rigid) battline strip |
| 4 | One (1) 1/2" x 1/2" battline strip for steel plate track | 8 | 1/2" x 1/2" waterstrapped brick (rigid) battline strip |
| | One (1) 1/2" x 1/2" battline strip for steel plate track | 9 | Concrete masonry block |

GIRDER TRUSS ANCHORAGE

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~~THE CITY~~
CITY OF MIAMI BEACH
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BUILDING
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PAINTING
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REPAIRS
AND MAINTENANCE
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PLUMBING WORKS
IRON TUBES.
& many other
services

wif foundations

5-10-99
Evonim T. Beltrami, P.E.
 Consulting Structural Engineer
 P.E. # 10076
 400 S.W. 74 CT. Miami, Florida 33135
 (305) 495-0294

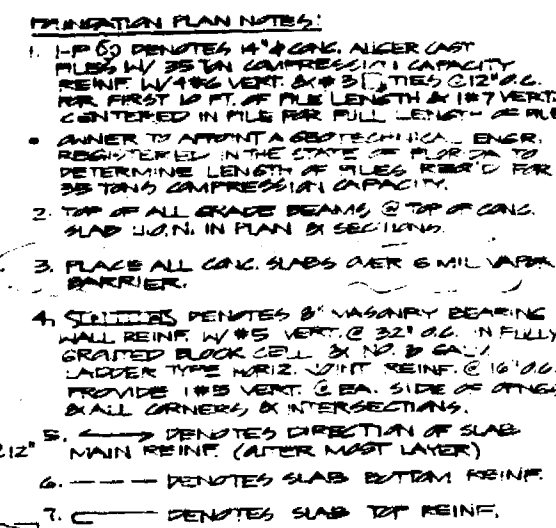


ROBERT WADE AND ASSOCIATES, P.A.
ARCHITECTS **PLANNERS**

RENOVATION FOR
DOMINION INDUSTRIAL HOLDINGS
MIAMI BEACH, FLORIDA

ENCLOSURE

DATE 1-15-68



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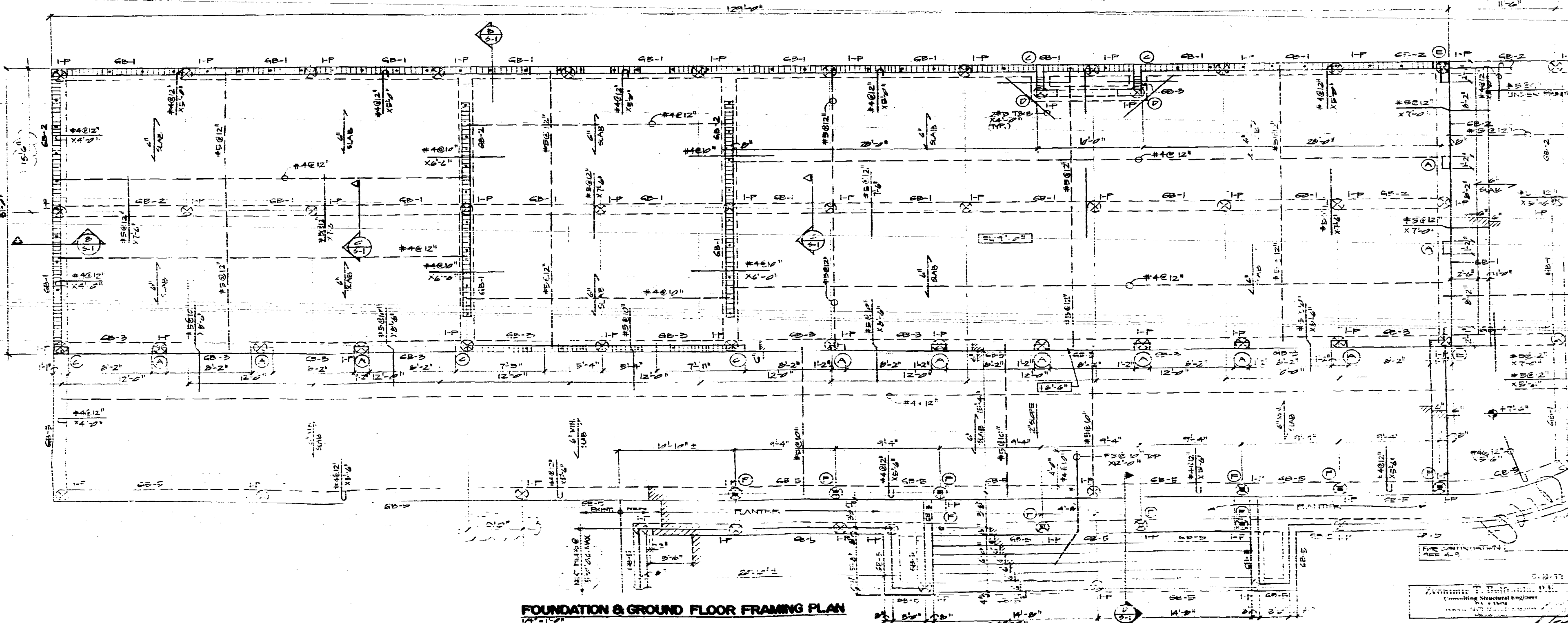
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CITY _____
STATE _____
ZIP _____
PHONE _____
FAX _____
E-MAIL _____
DATE _____

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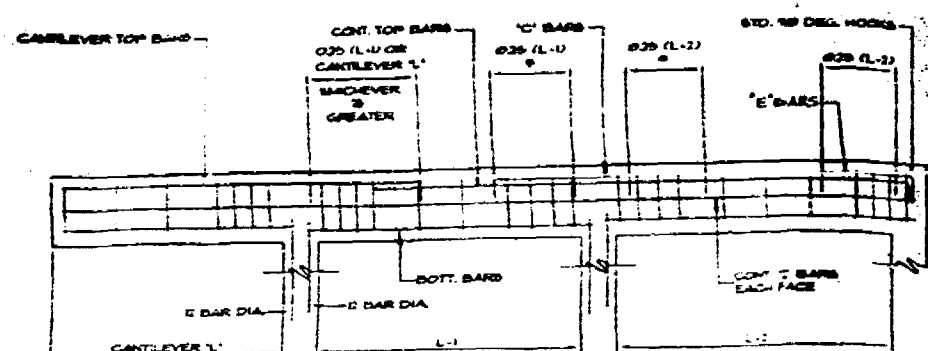
ROBERT WADE AND ASSOCIATES, P.A.
ARCHITECTS PLANNERS

DOMINION INDUSTRIAL HOLDINGS
MIAMI BEACH, FLORIDA

522403



FOUNDATION & GROUND FLOOR FRAMING PLAN

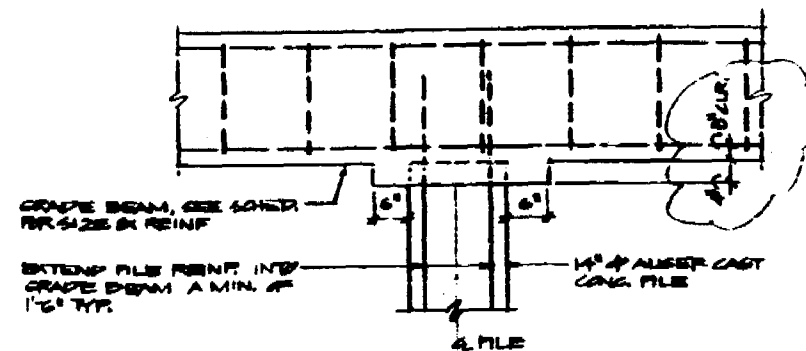


NOTES:
1. WHERE NECESSARY, CONT. TOP BARS SHALL BE LAPPED 34 BAR DIA. IN MIDDLE 1/3 OF SPAN.
2. IF LAP JOINTS ARE USED, THEY SHALL BE LAPPED 34 BAR DIA. IN MIDDLE 1/3 OF SPAN.
3. BEAMS @ THE PERIMETER OF THE STRUCTURE SHALL HAVE AT LEAST 1/2 OF THE TENSILE REIN. REQUIRED FOR NEGATIVE MOMENT AT THE SUPPORT AND 1/4 OF THE POSITIVE MOMENT REIN. REQUIRED AT MID-SPAN MADE CONTINUOUS AROUND THE PERIMETER AND TIED WITH CLOSED STIRRUPS.

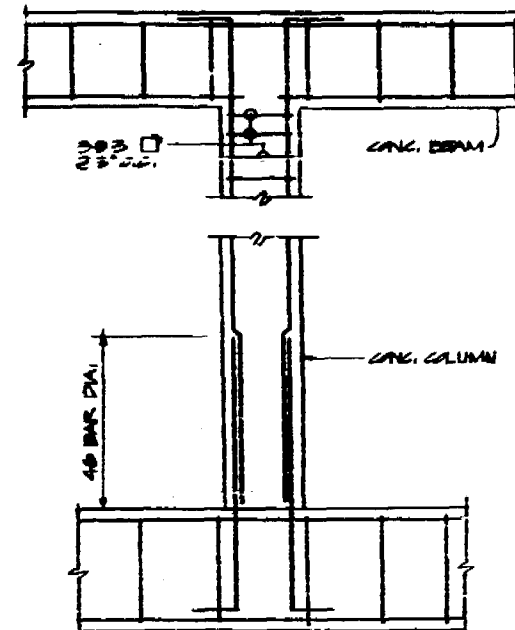
BEAM STEEL PLACEMENT DIAGRAM

| CONCRETE BEAM SCHEDULE | | | | | | | | | |
|------------------------|-----------|------------|-------------|-------------|-------------|-------------|-------------|-------------|-------------------|
| MARK | TOP ELEV. | SIZE W X H | REINFORCING | REINFORCING | REINFORCING | REINFORCING | REINFORCING | REINFORCING | REMARKS |
| CB-1 | SEE PLAN | 14" X 24" | 3#6 | 3#6 | 1#6 | 1#5 | 3 | 10" | |
| CB-2 | | 14" X 24" | 3#6 | 3#6 | | | | 10" | |
| CB-3 | | 14" X 24" | 3#6 | 3#6 | 1#7 | | | 10" | |
| CB-4 | | 14" X 24" | 3#6 | 3#6 | | | | 10" | |
| CB-5 | | 14" X 24" | 3#6 | 3#6 | | | | 10" | |
| CB-6 | | 14" X 24" | 3#6 | 3#6 | | | | 10" | |
| B-1 | | 14" X 14" | 3#6 | 3#6 | | | | 10" | |
| B-2 | | 8" X 14" | 2#6 | 2#6 | | | | 10" | |
| TD | | 8" X 12" | 2#5 | 2#5 | | | | 12" | EA. END BAR @ 24" |
| TD-1 | | 12" X 12" | 3#5 | 3#5 | | | | 12" | EA. END BAR @ 24" |
| RD-1 | | 12" X 12" | 3#5 | 3#5 | | | | 12" | SEE ARCH'L DWGS. |
| RD-2 | | 8" X 12" | 2#5 | 2#5 | | | | 12" | SEE ARCH'L DWGS. |
| RD-3 | | 16" X 12" | 3#7 | 3#7 | | | | 12" | SEE ARCH'L DWGS. |
| RD-4 | | 16" X 12" | 3#5 | 3#5 | | | | 12" | |
| RD-5 | | 8" X 12" | 2#5 | 2#5 | | | | 12" | SEE ELEV. 1/5-5 |
| RD-6 | | 16" X 12" | 3#5 | 3#5 | | | | 12" | SEE ELEV. 1/5-6 |
| RD-7 | | 8" X 12" | 2#5 | 2#5 | | | | 12" | SEE ELEV. 2/5-2 |

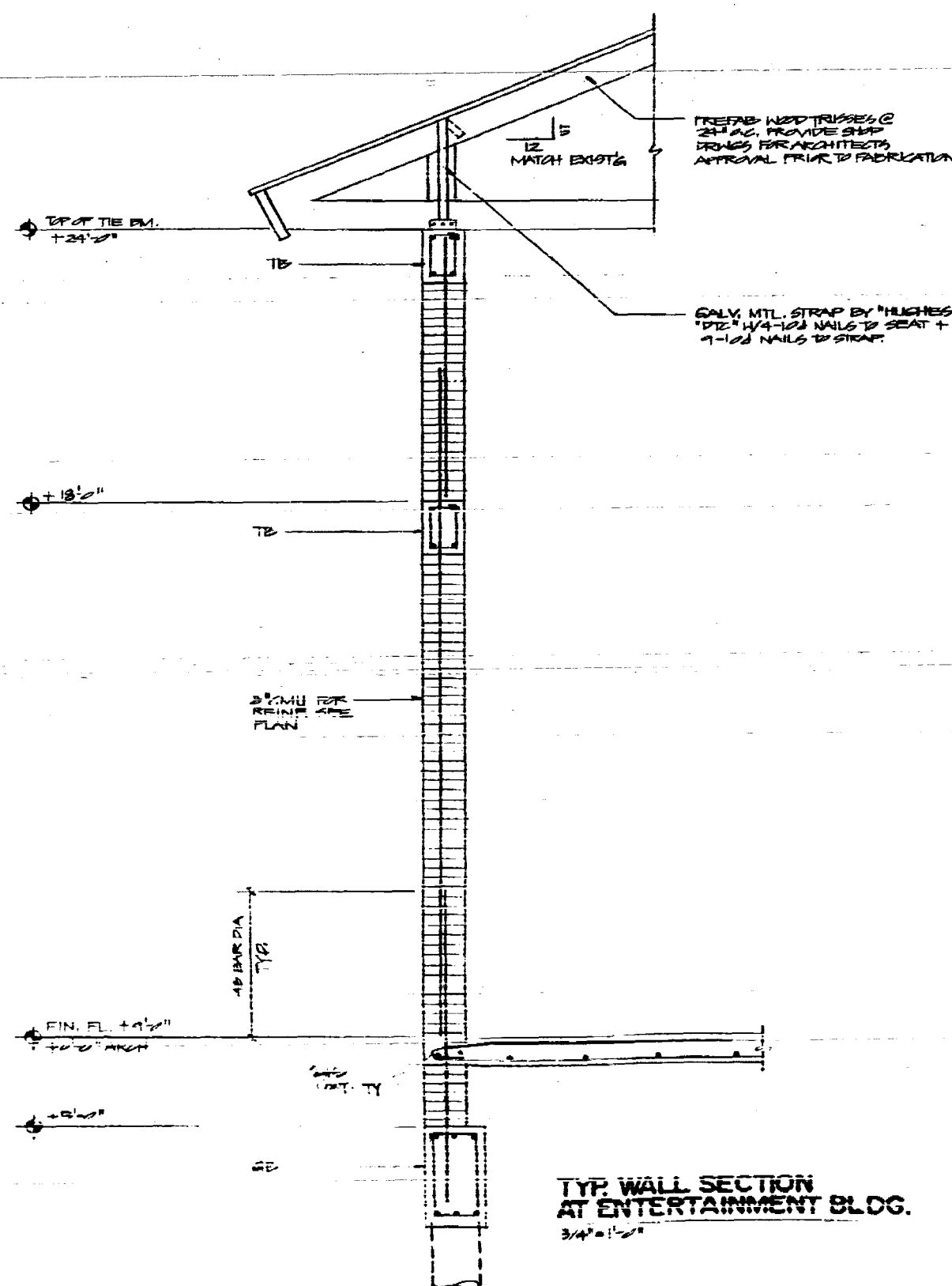
| COLUMN SCHEDULE | | | | |
|-----------------|------------------|--|----------------|-----------------|
| MARK | SIZE | REINFORCEMENT | REINFORCEMENT | REMARKS |
| (A) | 8" X 14" | 4#6 | 3#3 @ 8" | |
| (B) | 8" X 24" | 6#6 | 3#3 @ 8" | 3#3 H.P.E. @ 8" |
| (C) | 8" X 12" | 4#5 | 3#3 @ 8" | |
| (D) | 8" X 24" | 6#6 | 3#3 @ 8" | SAME AS (B) |
| (E) | 8" X 17" X 25" | 6#6 | 3#3 @ 8" | |
| (F) | TD 8 X 5 X 5/16" | 12" X 2" 3/4" X 1/4" 3/4" X 1/4" MULTI | SAME AS BASE # | |
| (G) | 12" X 22" | 8#6 | 3#3 @ 12" | |
| (H) | TD 20 X 1/4" | 8#6 X 1/4" PLATE W/ 4-1/2" X 1/4" BOLT @ 1/4" MULTI @ 8" ELEV. | SAME AS BASE # | |
| (I) | FILED CELL | #5 | | ALL GRATED |



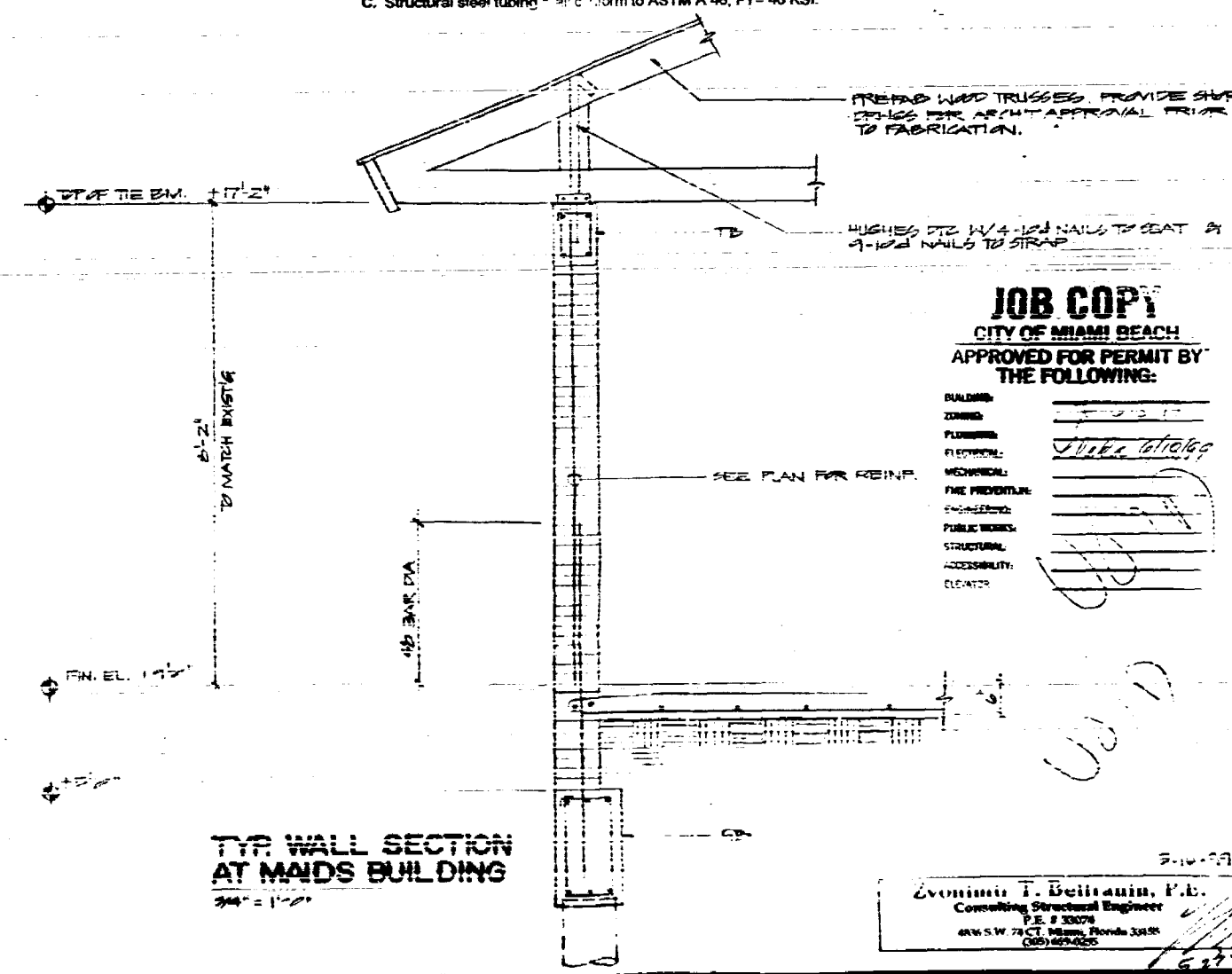
TYPICAL GRADE BEAM TO PILE CONN.



CONCRETE COLUMN TO CONC. GRADE BEAM CONNECTION DETAIL



TYP. WALL SECTION AT ENTERTAINMENT BLDG.



TYP. WALL SECTION AT MIDS BUILDING

GENERAL STRUCTURAL NOTES

- General
 - The Contractor shall field check all dimensions on the structure drawings and verify same on the architectural set. Architectural details such as, slab depressions, waterproofing, curbs, floor finish openings, base framing and bracing shall be installed as shown on the architectural set.
 - The Contractor shall be responsible for shoring and bracing to ensure safe working conditions at all times. All shoring shall conform to the South Florida Building Code.
- Concrete
 - All cast-in-place concrete shall be placed in accordance with ACI 318-latest ed. (7'0" at 28 days of 3000 p.s.i.)
 - Concrete work shall conform to the requirements of ACI 301-latest edition specifications for structural concrete for building.
- Reinforcing Steel
 - Reinforcing steel shall be detailed and placed in accordance with ACI 318-latest ed.
 - Reinforcing steel shall be detailed bars conforming to ASTM A 615 grade 60, unless otherwise noted.
 - All welded wire fabric shall conform to ASTM A 185.
 - Reinforcing to be securely in position with standard accessories during placing of concrete.
 - All bottom bars shall bear 6" minimum over supports.
- Minimum Concrete Over Reinforcing

| | Minimum Clear Cover, (in.) |
|---|----------------------------|
| A. Concrete against and permanently exposed to earth (unformed faces) | 3 |
| B. Concrete exposed to earth or weather (formed faces) | 2 |
| a. #5 bars and larger | 1 1/2 |
| b. #5 bars and smaller | 1 1/2 |
| C. Not in contact with ground | 3/4 |
| a. Structural slabs & walls | 1 1/2 |
| b. Beams and Columns | 1 1/2 |
| c. Slabs on grade over vapor barrier | 1 1/2 |
- Masonry
 - Hollow concrete masonry units shall be of a quality of at least equal to that required by ASTM C 90 "standard specifications for hollow load bearing concrete masonry units".
 - All mortar shall comply with the property and proportion specifications of ASTM C 270. Except that sag cement shall not be used. Mortar for exterior walls shall be type M. For interior load bearing walls the mortar shall be type M or S. For interior walls above grade and not supporting loads the mortar shall be type M, S, or N.
 - Whenever anchor bolts are to be set in masonry, two cells at the setting location shall be filled with concrete.
 - Grout for masonry units shall conform to ASTM C 476 and shall attain a compressive strength of 3000 p.s.i. at 28 days.
 - Prism strength of masonry units shall be minimum of 1500 p.s.i.
 - Maximum pour lift for masonry units and grout pour height shall be 4'-0".
 - Slump 9" + 1".
- Structural Steel
 - Structural steel work shall comply with AISC "specifications for the design, fabrications and erection for buildings" as it appears on the manual of steel construction, latest edition.
 - Structural steel shapes, bars, plates and pipes shall conform to ASTM A 36, FY= 36 KSI.
 - Structural steel tubing shall conform to ASTM A 46, FY= 46 KSI.

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ACCESSIBILITY
CLIMATE

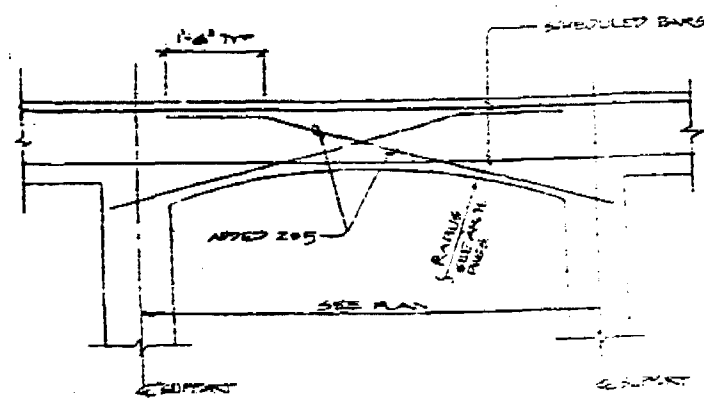
Zvonimir T. Beltrami, P.E.
Consulting Structural Engineer
125 S.W. 76th St., Suite 300
Miami, Florida 33156
(305) 551-1111



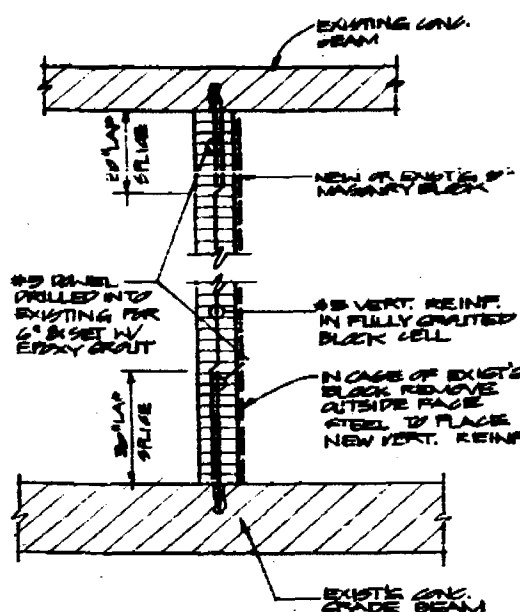
ROBERT WADE AND ASSOCIATES, P.A.
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RENOVATION FOR
DOMINION INDUSTRIAL HOLDINGS
FLORIDA
MIAMI BEACH

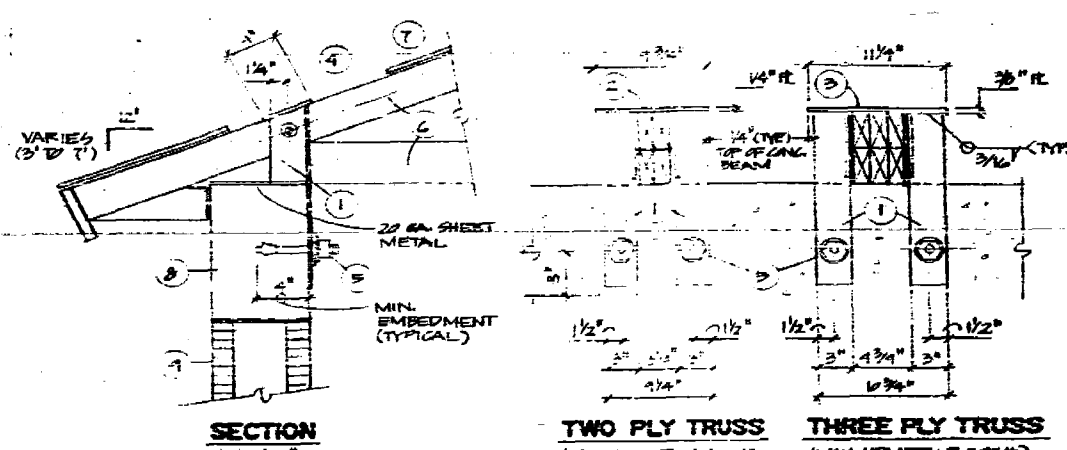
DATE
SHEET
S-2



ELEVATION - TYP ARCH BEAM REINFORCING DIAGRAM
N.T.S.



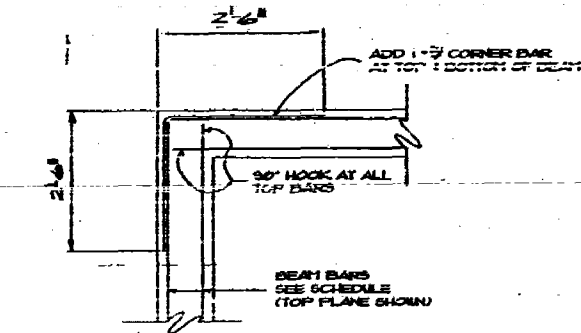
NEW FILLED CELL TO EXIST'G
CONNECTION DETAIL
N.T.S.



SECTION
1/2" = 1'-0"

TWO PLY TRUSS
(MAX. UPLIFT: 9,500 LB)

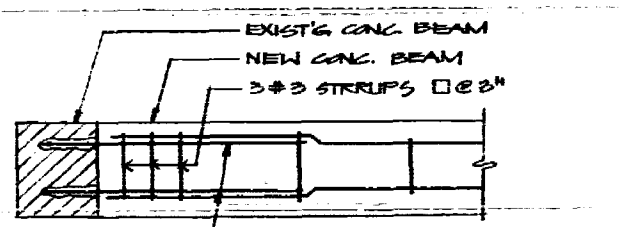
THREE PLY TRUSS
(MAX. UPLIFT: 7,500 LB)



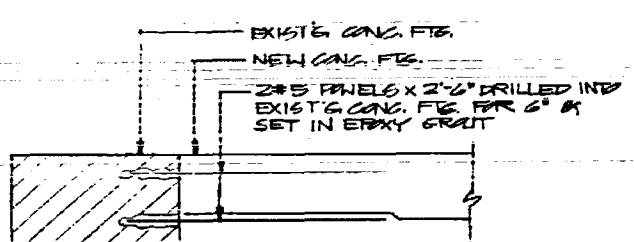
TIE BEAM CORNER PLAN

| MARK | DESCRIPTION | MARK | DESCRIPTION |
|------|---|------|---|
| 1 | Angle 3"x3"x1/4" (welded leg 3/16" thick) | 5 | 1/2" dia. steel bar (welded to 3/16" thick) |
| 2 | Steel plate 3/16" x 3/16" (welded leg 3/16" thick) | 6 | 1/2" dia. steel bar (welded to 3/16" thick) |
| 3 | Steel plate 3/16" x 3/16" (welded leg 3/16" thick) | 7 | 1/2" dia. steel bar (welded to 3/16" thick) |
| 4 | One (1) 1/2" dia. steel bar (welded to 3/16" thick) | 8 | 1/2" dia. steel bar (welded to 3/16" thick) |
| | | 9 | Concrete encasement |

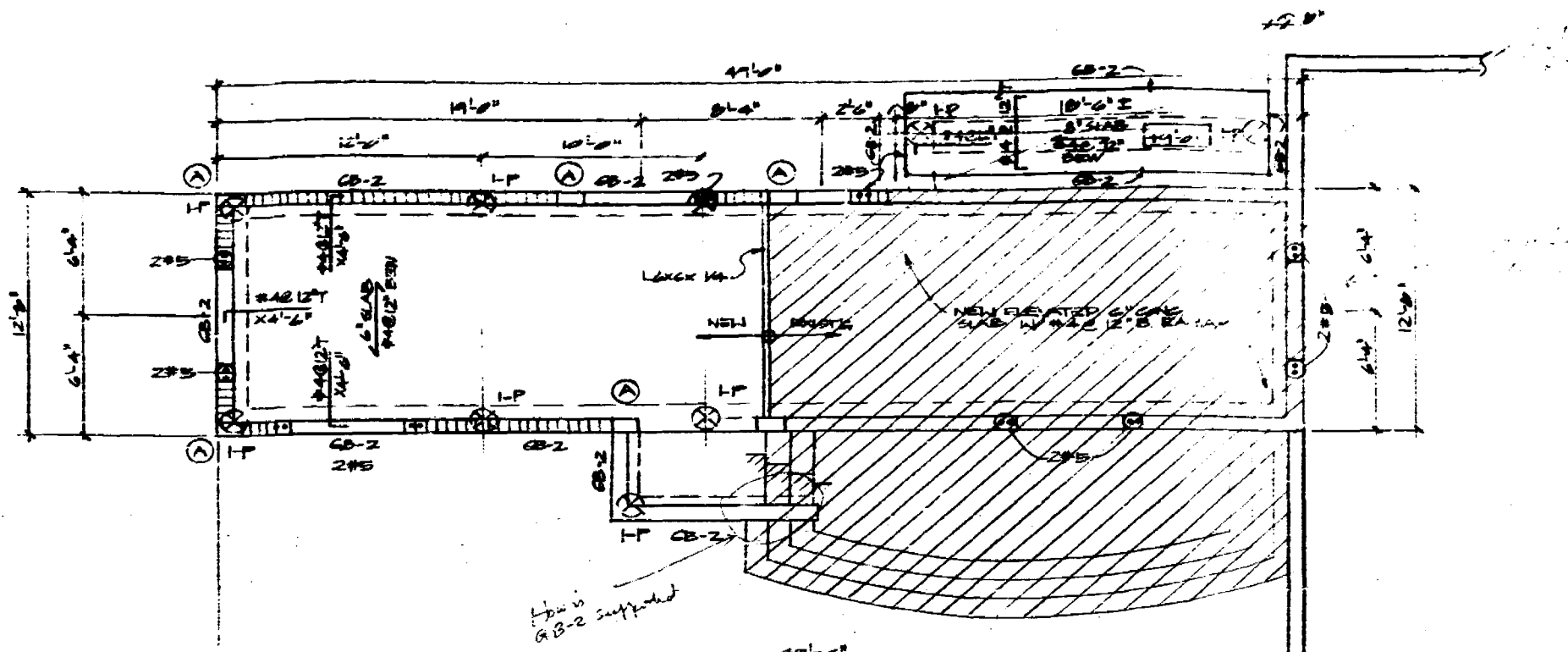
GIRDER TRUSS ANCHORAGE



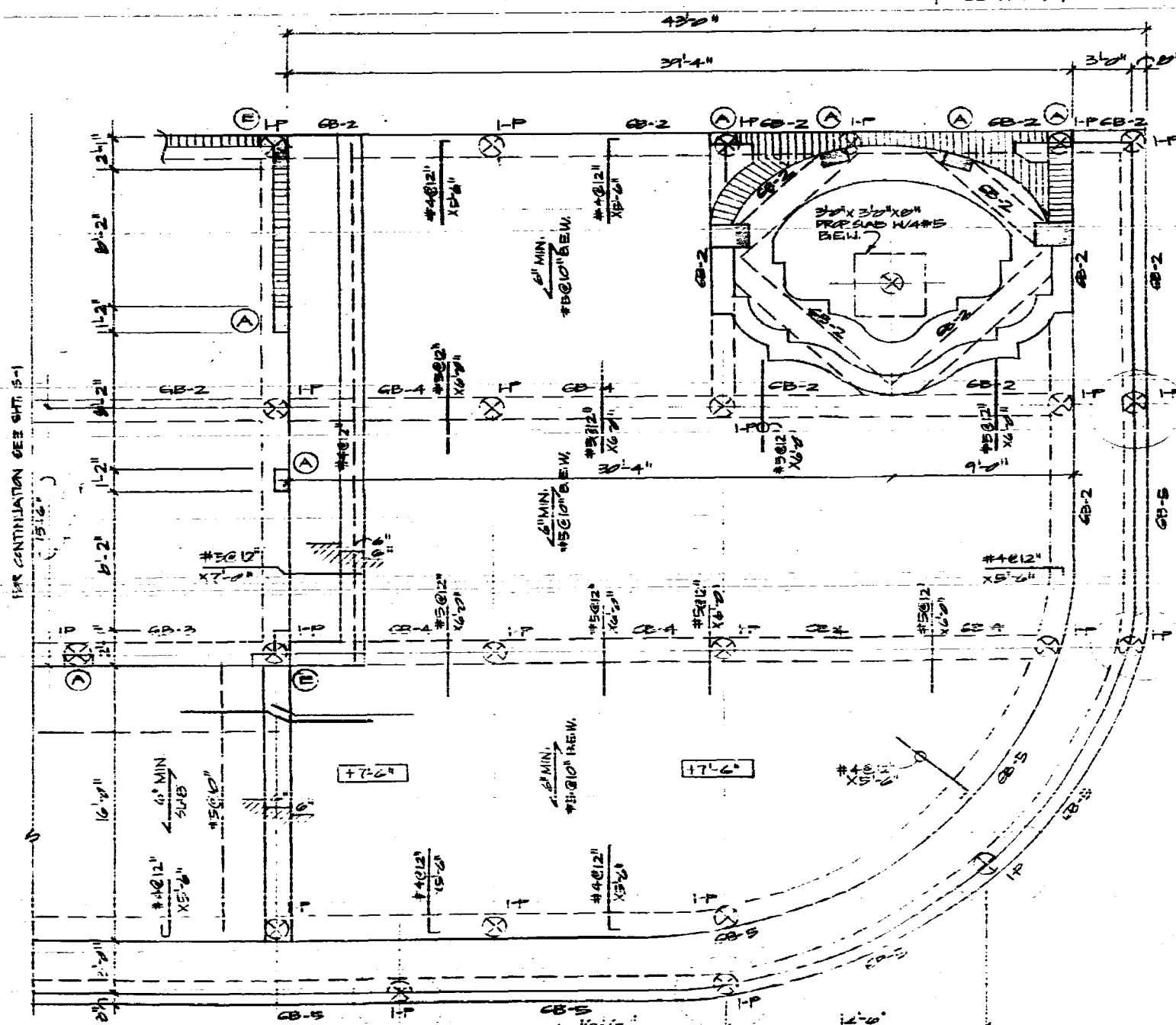
NEW CONC. BEAM TO EXISTING
CONC. BEAM CONN DETAIL



NEW CONC. GRADE BEAM TO
EXISTING CONC. G.B. CONNECTION
DETAIL



MAIDS BUILDING
FOUNDATION & FLOOR FRAMING PLAN
1/4" = 1'-0"



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DATE: 10/1/88

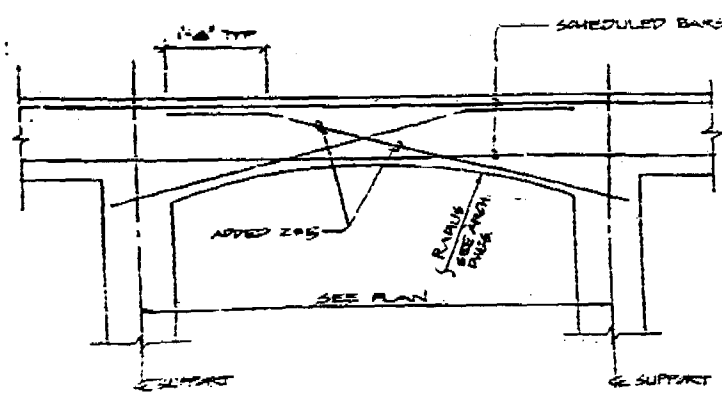
Zvonimir T. Dettmann, P.E.
Consulting Structural Engineer
P.E. # 33078
200 S.W. 74th Ave., Suite 100
Miami, Florida 33155
(305) 674-0000

ROBERT WADE AND ASSOCIATES, P.A.
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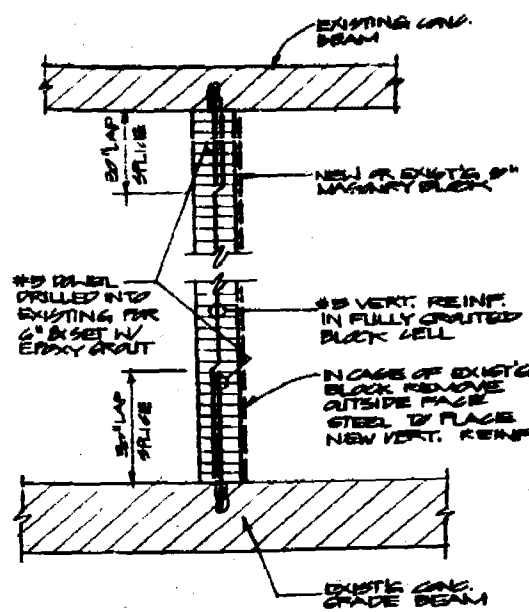
RENOVATION FOR
DOMINION INDUSTRIAL HOLDINGS
MIAMI BEACH, 94 Miami Ave.
FLORIDA

| DATE | REVISION |
|------|----------|
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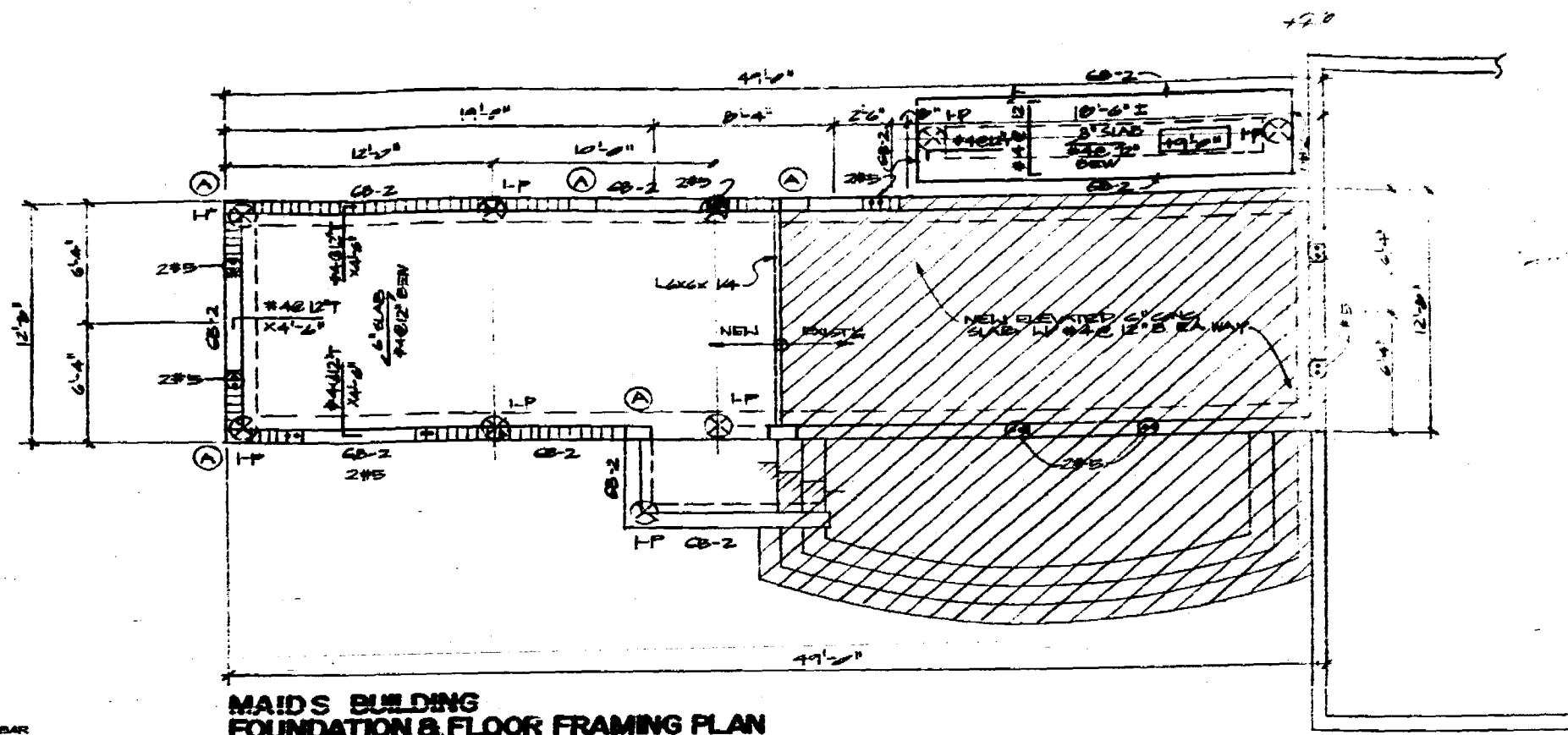
SHEET
S-3



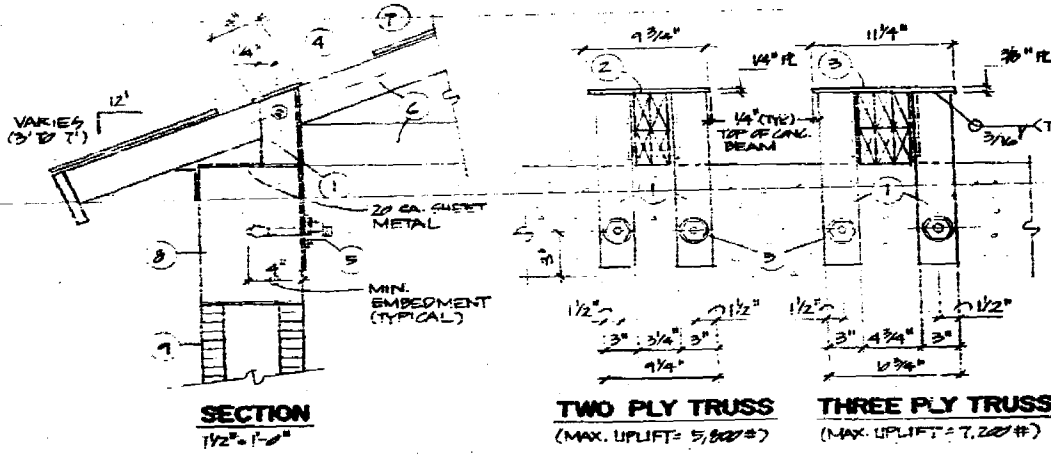
ELEVATION - TYP ARCH BEAM REINFORCING DIAGRAM
N.T.S.



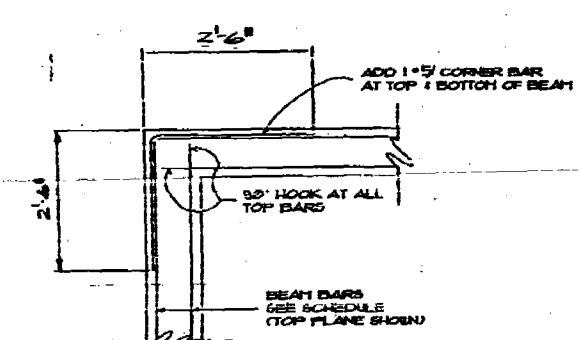
NEW FILLED CELL TO EXIST'G
CONNECTION DETAIL
N.T.S.



MAIDS BUILDING
FOUNDATION & FLOOR FRAMING PLAN
1/4\"/>



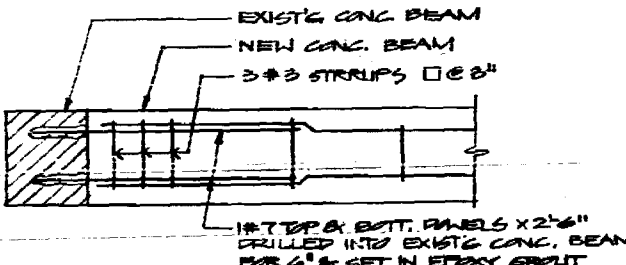
TWO PLY TRUSS
(MAX. UPLIFT = 5,800#)
THREE PLY TRUSS
(MAX. UPLIFT = 7,200#)



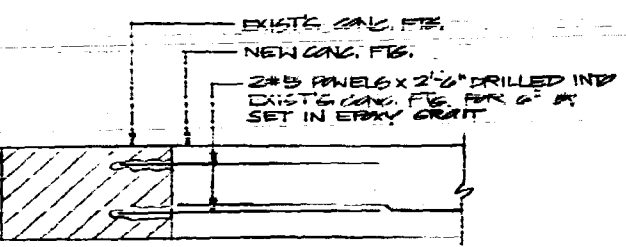
TIE BEAM CORNER PLAN

| SCHEDULE | | | |
|----------|--|------|--|
| MARK | DESCRIPTION | MARK | DESCRIPTION |
| 1 | Angle 3"x3"x1/2" uncoated leg (1/2" x 36 hole) clasp | 5 | 1/2" diam. HERS RAIL Bolt (1" Carbon steel) 2 req'd |
| 2 | Uncoated 3/8"x3/8"x1/2" (1/2" x 36 hole) | 6 | Uncoated 2" or 3" pipe 1/2" req'd |
| 3 | Steel plate 1/2" x 3/8" x 1/2" (1/2" x 36 hole) | 7 | 1/2" exterior grade plywood, 1/2" x 1/2" for each of 2 req'd |
| 4 | One (1) 1/2" diameter bolt for two pipe lines | 8 | 1/2" 3/8" concrete tie beam (1/2" x 3/8" x 1/2" x 1/2") |
| | One (1) 1/2" dia. 1/2" x 1/2" for three pipe lines | 9 | Concrete mixing block |

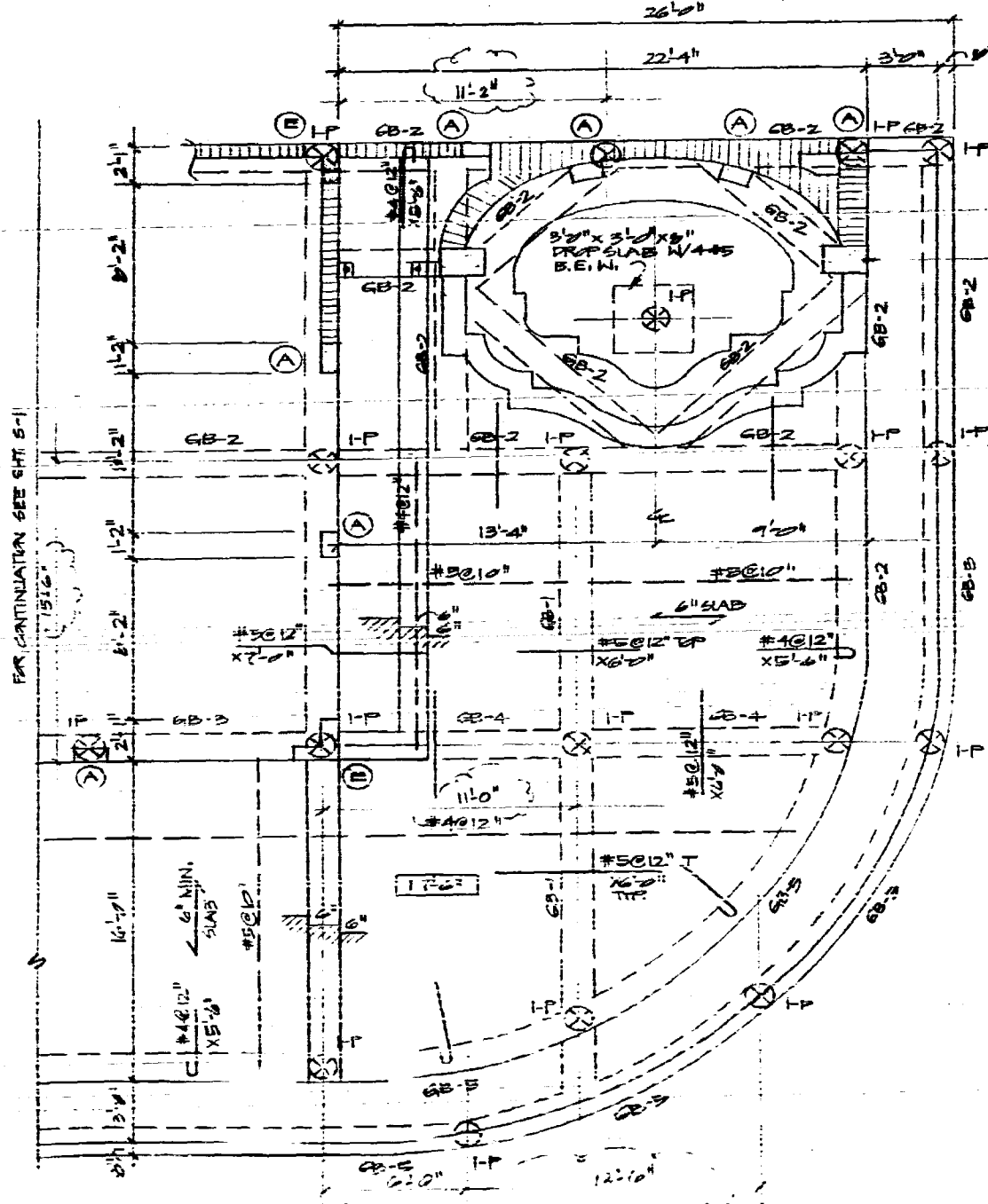
GIRDER TRUSS ANCHORAGE



NEW CONC. BEAM TO EXISTING
CONC. BEAM CONN DETAIL



NEW CONC. GRADE BEAM TO
EXISTING CONC. G.B. CONNECTION
DETAIL



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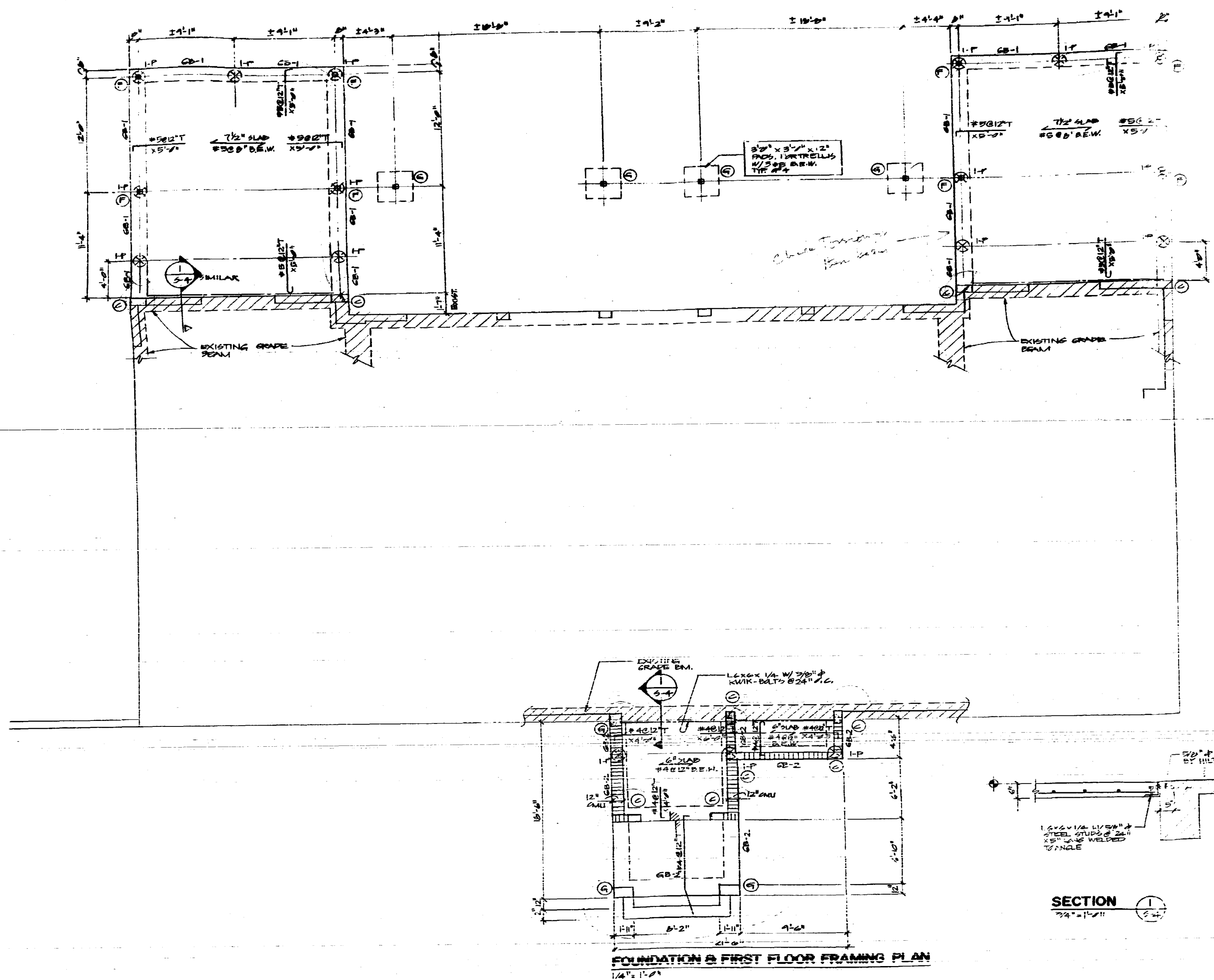
| | |
|----------|------------------------------|
| DATE | 5.10.99 |
| BY | Zvonimir T. Beltracchi, P.E. |
| FOR | DOMINION INDUSTRIAL HOLDINGS |
| PROJECT | RENOVATION FOR |
| LOCATION | MIAMI BEACH, FLORIDA |

ROBERT WADE AND ASSOCIATES, P.A.
PLANNERS
ARCHITECTS

RENOVATION FOR
DOMINION INDUSTRIAL HOLDINGS
MIAMI BEACH, FLORIDA

DATE
BY
FOR
PROJECT
LOCATION

5.10.99
Zvonimir T. Beltracchi, P.E.
Consulting Structural Engineer
P.E. # 23874
4006 S.W. 74th Ct. Miami, Florida 33155
(305) 551-0000



SECTION
1
1/4" = 1'-0"

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ENGINEER: [Signature]
PLUMBING: [Signature]
ELECTRICAL: [Signature]
MECHANICAL: [Signature]
FIRE PROTECTION: [Signature]
PUBLIC WORKS: [Signature]
UNIVERSITY: [Signature]
ELEVATION: [Signature]

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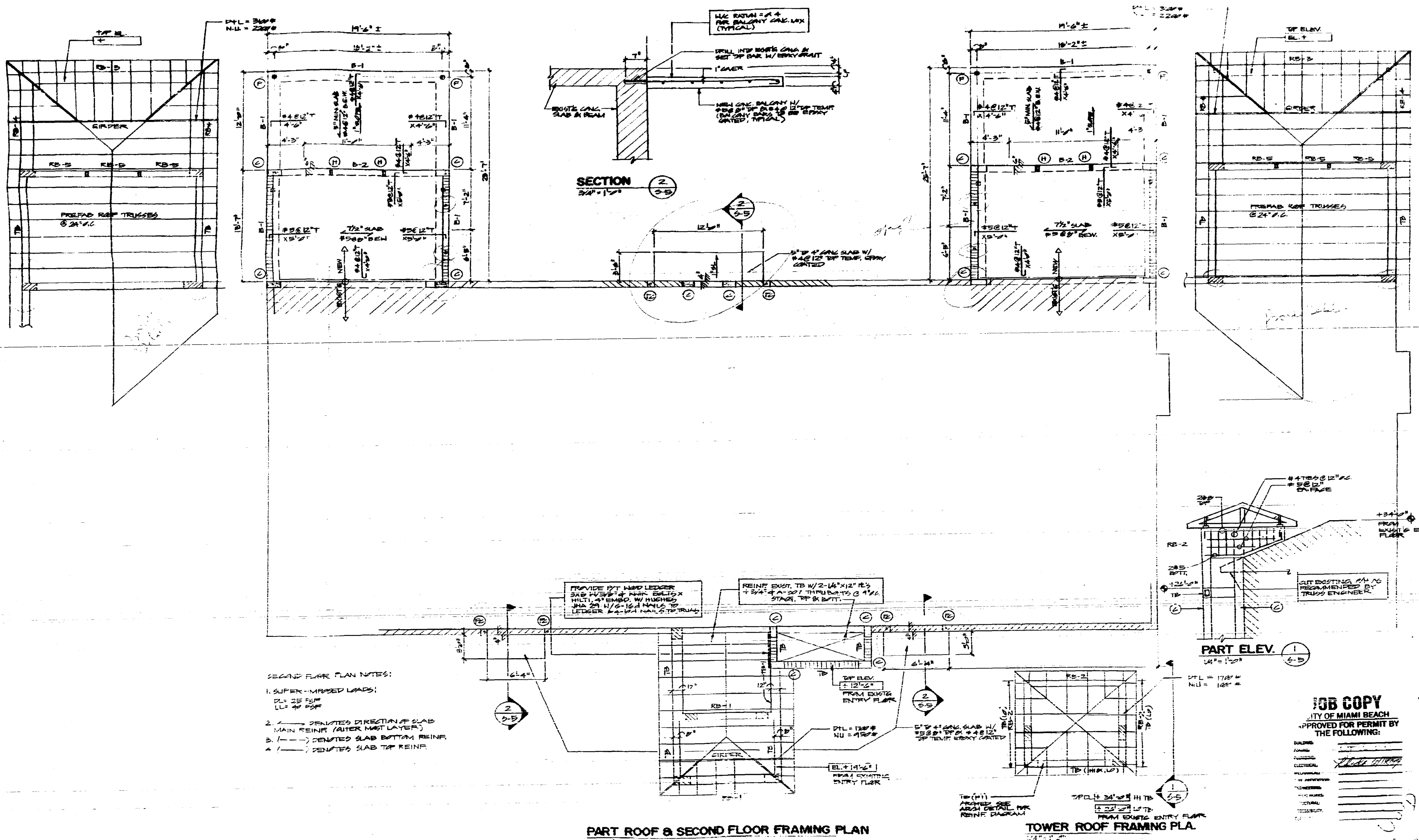
5-10-99
Zachariah T. Beltramo, P.E.
Consulting Structural Engineer
P.E. # 3074
400 S.W. 74th Avenue, Suite 100
Miami, Florida 33155

ROBERT WADE AND ASSOCIATES, P.A.
ARCHITECTS
PLANNERS

RENOVATION FOR
DOMINION INDUSTRIAL HOLDINGS
MIAMI BEACH, FLORIDA
94 PALM AVENUE

DATE
S-4
SHEET
OF

60750000

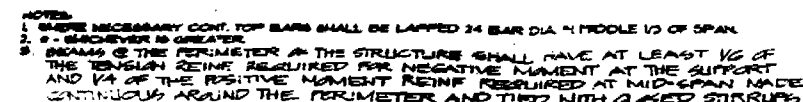


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RENOVATION FOR
DOMINION INDUSTRIAL HOLDINGS
MIAMI BEACH, FLORIDA

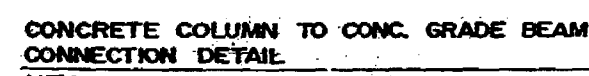
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BEAM STEEL PLACEMENT DIAGRAM

| COLUMN SCHEDULE | | | | |
|-----------------|-----------------|--|---------------------------------------|-------------------------|
| MARK | SIZE | REINFORC. MEDIA
VERTICAL OR
BASE PLATE. | REINFORCEMENT
TOP OR
CAP PLATE. | REMARKS |
| (A) | 8" x 14" | 4 #6 | #3 □ @ 8" | |
| (B) | 8" x 24" | 4 #6 | #3 □ @ 8" | #3 J.H.F.C.
8" x 14" |
| (C) | 8" x 12" | 4 #6 | #3 □ @ 8" | |
| (D) | 8" x 26" | 4 #6 | #3 □ @ 8" | SAME AS COL. (D) |
| (E) | 8" x 17" x 25" | 4 #6 | #3 □ @ 8" | |
| (F) | 12" 5X5 x 5/16" | 12" x 24" 3/4" 1/4" 1/2" 1/4"
4 #6 @ 8" x 12" x 1/4" 1/2" 1/4"
2 #6 @ 8" | SAME AS BASE PL. | |
| (G) | 12" x 23" | 2 #6 | #3 □ @ 12"
#3 □ @ 12" | |
| (H) | 12" 2X6 x 1/4" | 8" x 12" 5/16" PLATE W/4--
5/16" x 1/4" BOLTS TO
1/4" x 1/2" @ 8" | SAME AS BASE PL. | |
| (I) | FILLED CELL | 1 #5 | — | FULLY GRATED |
| (J) | 8" x 24" | 1 #5 | #3 □ @ 8" | 8" x 12" 1/4" |



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THE FOLLOWING:

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- ### GENERAL STRUCTURAL NOTES

1. Control

2. The Contractor shall field check all dimensions on the structural drawings and verify same on the architectural set. Architectural details such as; slab depressions, waterproofing, curb mechanical openings, fascia framing and bracing shall be installed as shown on the architectural set.

3. The Contractor shall be responsible for shoring and bracing to ensure safe working conditions at all times. All construction shall conform to the South Florida Building Code.

2. Concrete

A. All cast-in-place concrete in this job shall attain a minimum compressive strength (fc) at 28 days of 3000 p.s.i.

B. Concrete work shall conform to all requirements of ACI 301-latest edition specifications for structural concrete for building.

3. Reinforcing Steel

- A. Reinforcing steel shall be detailed and placed in accordance with ACI 318-latest ed.
- B. Reinforcing steel shall be deformed bars conforming to ASTM A 615 grade 60, unless otherwise noted.
- C. All welded wire fabric shall conform to ASTM A 185.
- D. Reinforcing to be securely in position with standard accessories during placing of concrete.

4. Minimum Concrete Over Reinforcing

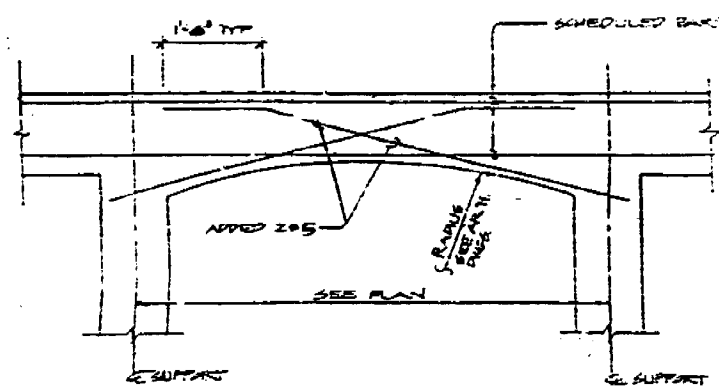
| | |
|--|-------|
| A. Concrete against and permanently exposed to earth (uniform faces) | 3 |
| B. Concrete exposed to earth or weather (formed faces): | 2 |
| a. #5 bars and larger | 1 1/2 |
| b. #5 bars and smaller | |
| C. Not in contact with ground: | 3/4 |
| a. Structural slabs & walls | |
| b. Beams and Columns
(Primary reinforcement, ties stirrups & spirals) | 1 1/2 |
| c. Slabs on grade over vapor barrier | 1 1/2 |

5. Ministry

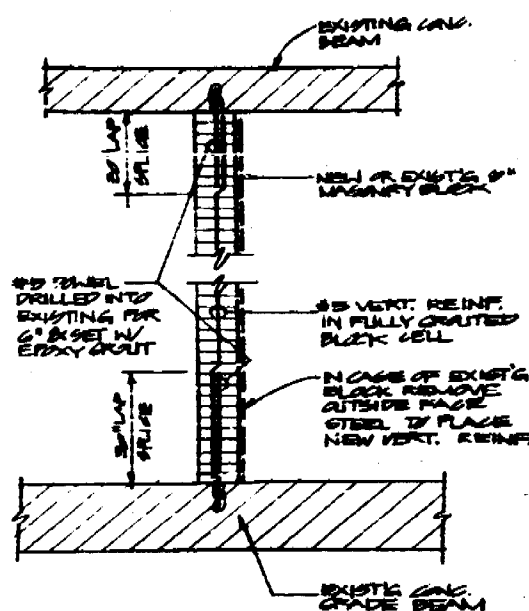
- A. **ASTM concrete masonry units** shall be of a quality at least equal to that required by ASTM C 90 standard specifications for hollow load bearing concrete masonry units.
- B. **All masonry** shall comply with the property and proportion specifications of ASTM C 90 and that the masonry units shall be type M. **Mortar for exterior walls** shall be type M. **For interior load bearing walls** the mortar shall be type M or S. **For interior walls above grade and not supporting loads** the mortar shall be type M, S, or F.
- C. **Wherever anchor bolts are** to be set in masonry, two cells at the setting location shall be cut out with concrete.
- D. **Grout for masonry units** shall conform to ASTM C 476 and shall attain a compressive strength of $f'c = 3000$ p.s.i. at 28 days.
- E. **Priam strength of masonry units** shall be minimum of $f'm = 1500$ p.s.i.
- F. **Maximum pour lift for masonry units and grout** pour height shall be 4'-0".
- G. **Sump** $30" \times 14"$.

6. Structural Steel

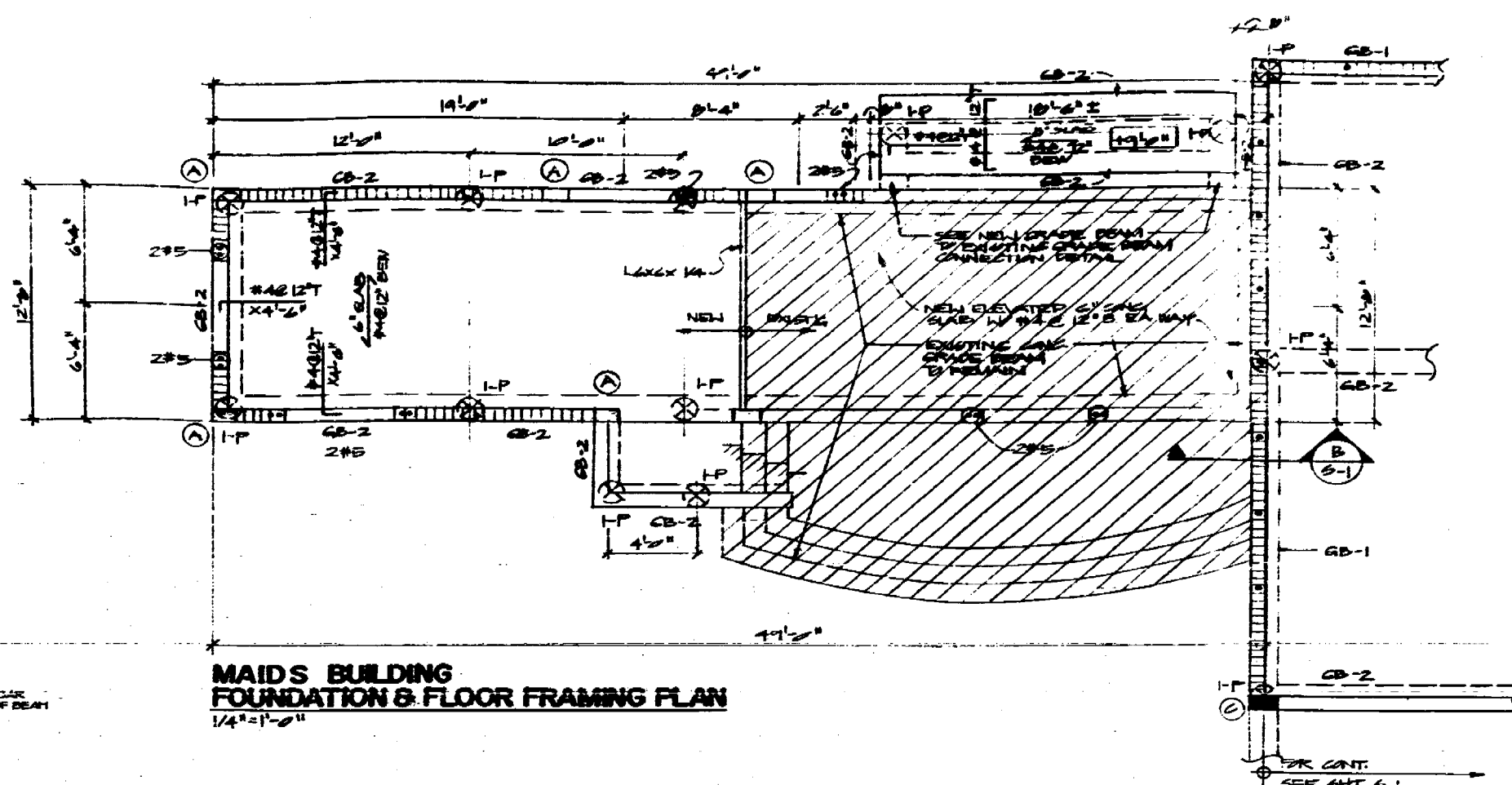
- A. Structural steel work shall comply with AISC "specifications for the design, fabrications and erections for buildings" as it appears on the manual of steel construction, latest edition.
- B. Structural steel shapes, bars, plates and pipes shall conform to ASTM A 36, FY= 36 KSI.
- C. Structural steel tubing shall conform to ASTM A 46, FY= 46 KSI.



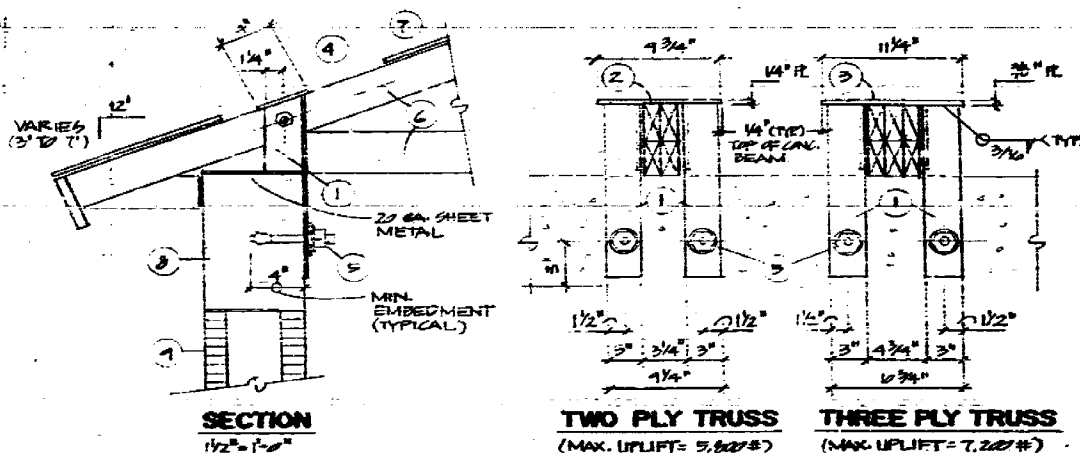
ELEVATION - TRUSS BEAM REINFORCING DIAGRAM
N.T.S.



NEW FILLED CELL TO EXIST'G
CONNECTION DETAIL
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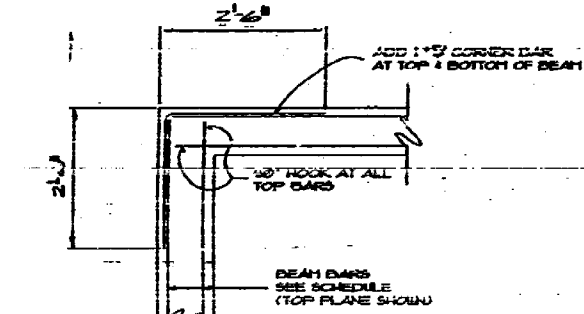
MAIDS BUILDING
FOUNDATION & FLOOR FRAMING PLAN
1/4"=1'-0"



SECTION
1/2"=1'-0"

TWO PLY TRUSS
(MAX. UPLIFT=5,500 LB.)

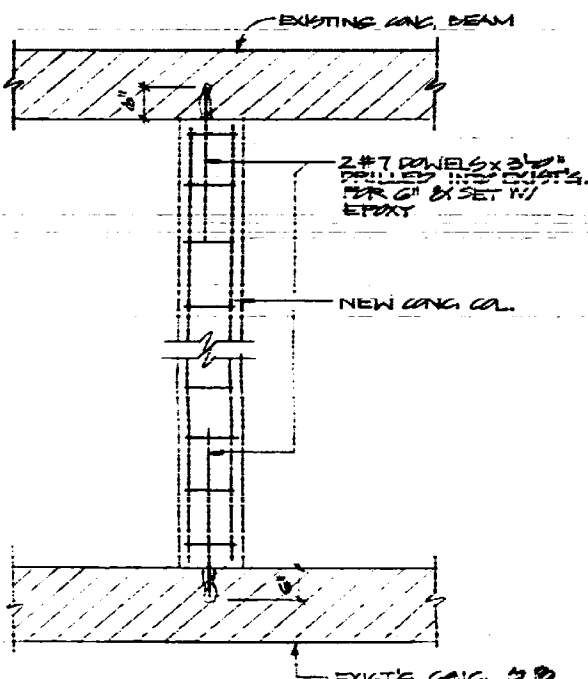
THREE PLY TRUSS
(MAX. UPLIFT=7,500 LB.)



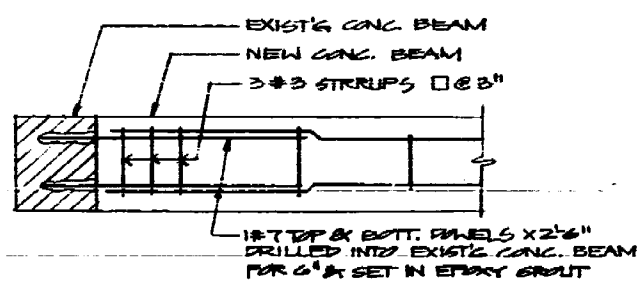
TIE BEAM CORNER PLAN

| MARK | DESCRIPTION | MARK | DESCRIPTION |
|------|--|------|---|
| 1 | Angle 3"x3"x1/2" extended 18" by 36" base plate | 5 | 1/2" diam. steel bar (2) (center steel) 2' req'd |
| 2 | Steel plate 3"x3"x1/2" (2) x 36" bar | 6 | Precast concrete two or three ply truss |
| 3 | Steel plate 3"x3"x1/2" (2) x 36" bar | 7 | 1/2" x 1/2" exterior grade sheetrock. See plan for setting register |
| 4 | One (1) 1/2" diameter bolt for two ply truss | 8 | 1/2" x 1/2" concrete tie beam (1' x 3,000 psi, minimum) |
| | One (1) 1/2" diam. thru bolt for three ply truss | 9 | Concrete setting block |

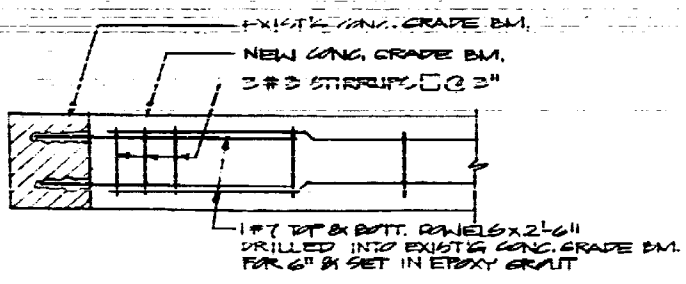
GIRDER TRUSS ANCHORAGE



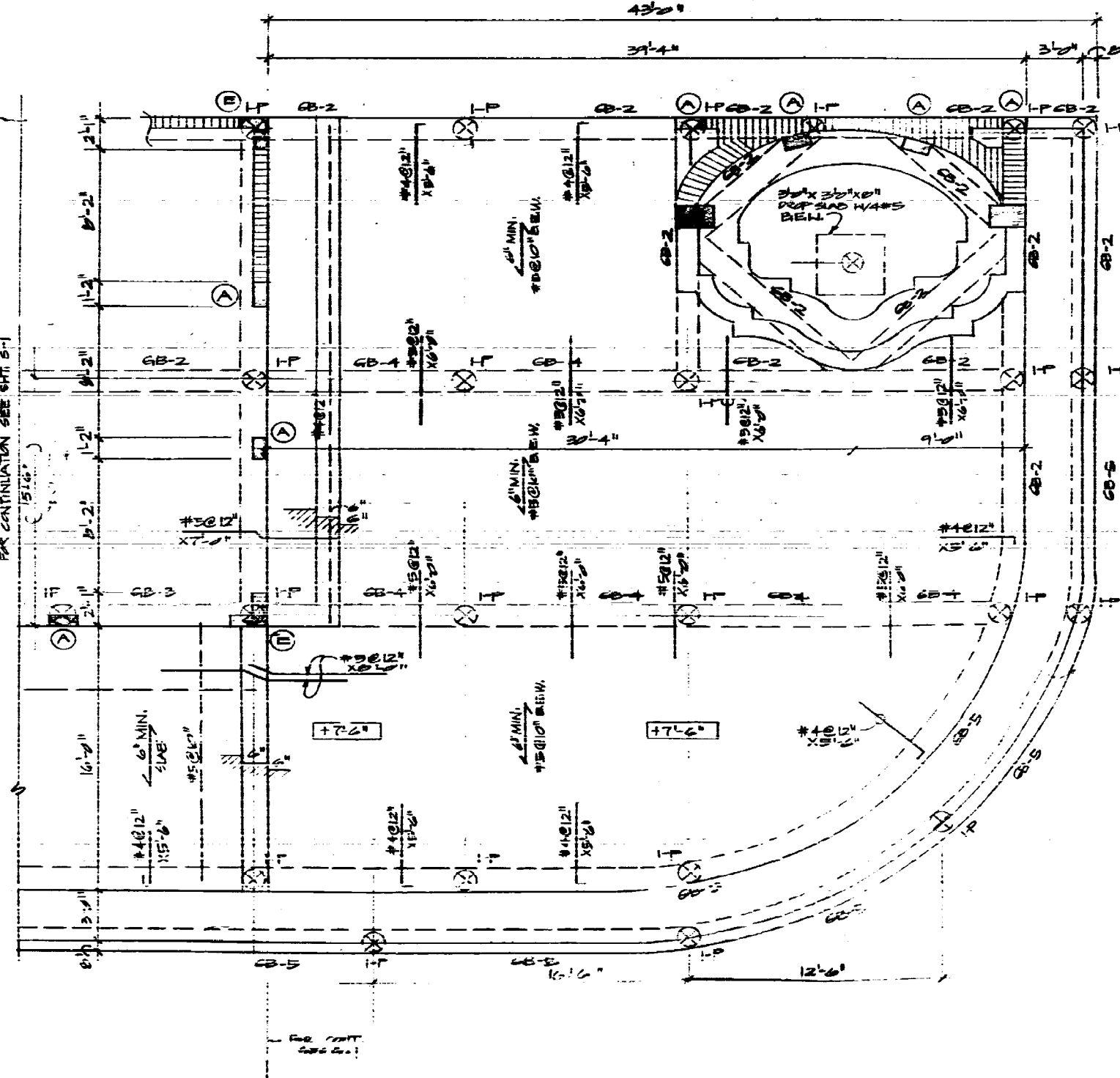
NEW CONCRETE COLUMN TO
EXISTING CONC. BEAM & GRADE BM.
CONNECTION DETAIL



NEW CONC. BEAM TO EXISTING
CONC. BEAM CONN DETAIL



NEW CONC. GRADE BEAM TO
EXISTING CONC. G.B. CONNECTION
DETAIL



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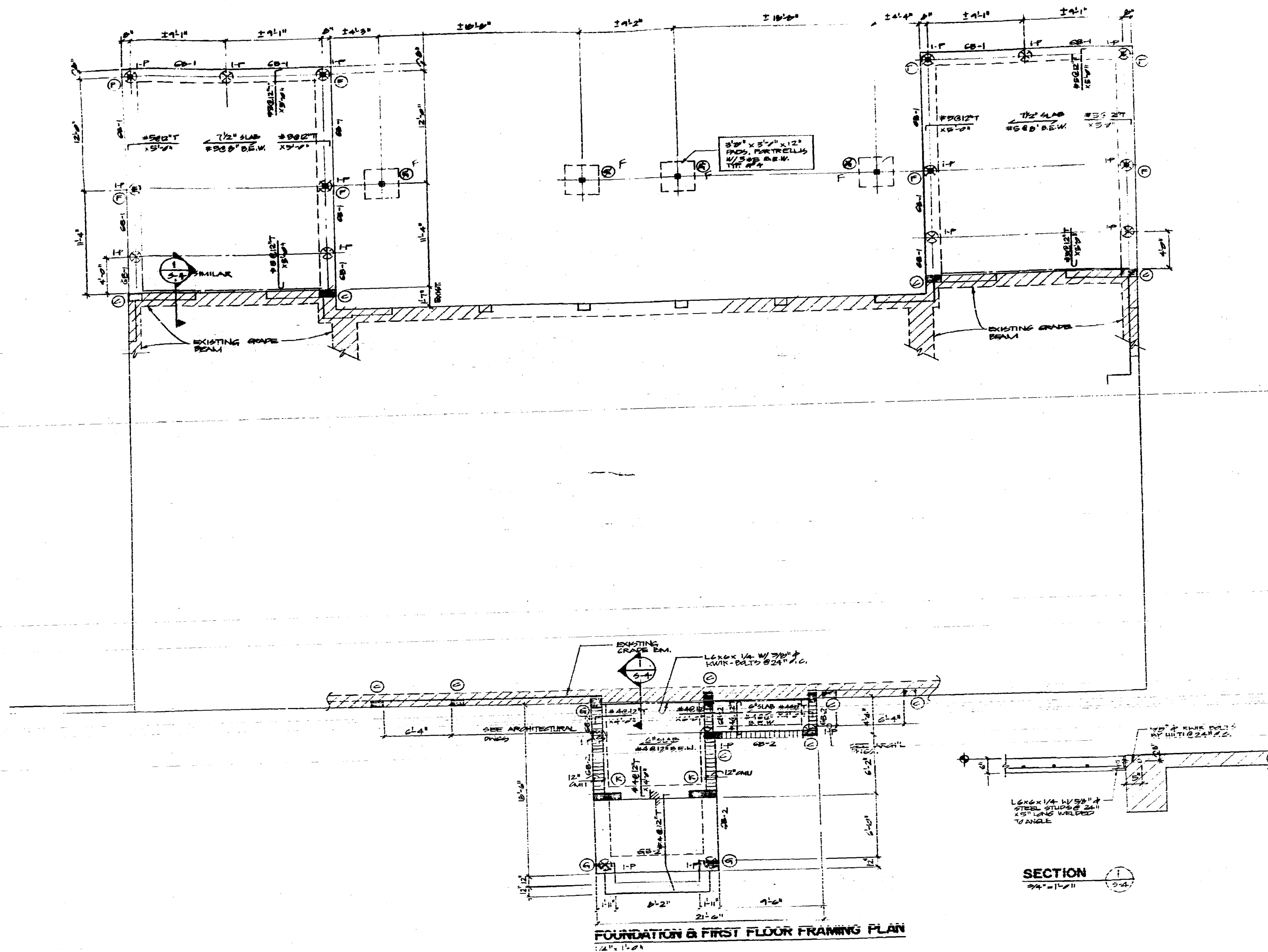
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PLANNERS
ARCHITECTS

RENOVATION FOR
DOMINION INDUSTRIAL HOLDINGS
MIAMI BEACH, FLORIDA

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BUILDING
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WATERWORKS
SEWERWORK
ACCESSIBILITY
ELEVATOR

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RENOVATION FOR
DOMINION INDUSTRIAL HOLDINGS
MIAMI BEACH, FLORIDA
94 PALM AVENUE

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