

ELECTRIC LEGEND

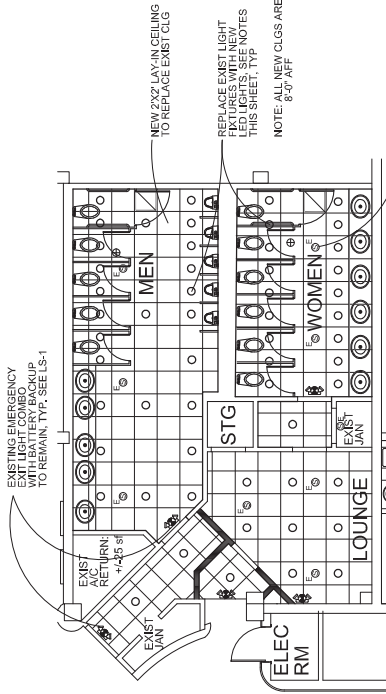
- NEW WALL SCONCE
TIE TO EXISTING LIGHT CIRCUIT
(REPLACES EXIST FLUORESCENT LIGHT)
- NEW RECESSED 4" LED HI-HAT.
TIE TO EXISTING LIGHT CIRCUIT
(REPLACES EXIST FLUORESCENT LIGHT)
- EXIST COMBO EXIT/EMERG LIGHT,
HARDWIRED, 90 MIN BATT BACKUP
- EXIST SPRINKLER HEAD

ELECTRIC SCOPE OF WORK

- 1) THIS IS AN EXISTING NIGHTCLUB WITH EXISTING ELECTRICAL SYSTEMS TO REMAIN.
- 2) REMOVE AND REPLACE ALL BATHROOM LIGHTING. EXISTING LIGHTS ARE INCANDESCENT OR FLUORESCENT AND SHALL BE REPLACED WITH NEW LED LIGHTS, TIED TO EXISTING PANELS WITH EXISTING WIRING.
- 3) EXISTING WATER HEATER SUPPLIES ALL EXISTING BATHROOMS AND SHALL REMAIN.
- 4) EXISTING EXHAUST FANS SUPPLY ALL EXISTING BATHROOMS AND SHALL REMAIN.
- 5) EXISTING EMERGENCY AND EXIT LIGHTS WITH 90 MIN BATTERY BACKUP SHALL REMAIN

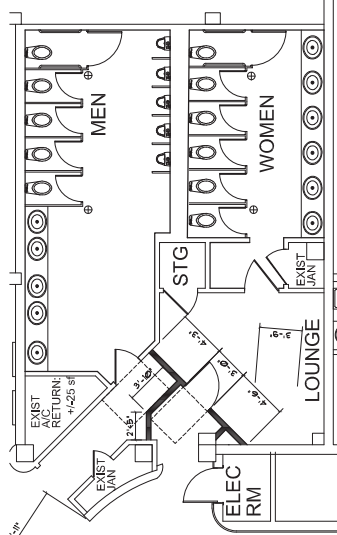
ELECTRICAL NOTES

- 1) FOLLOW ALL APPLICABLE NEC & FBC REQUIREMENTS
- 2) EXISTING LIGHTING & RECEPTACLES NOT INDICATED ON THESE PLANS SHALL REMAIN AT EXIST LOCATIONS AND ARE NOT PART OF SCOPE
- 3) ELECTRICAL PANELS ARE EXISTING TO REMAIN AND COMPLY WITH NEC 240.24
- 4) THESE DRAWINGS ARE SCHEMATIC TO SHOW DESIGN INTENT ONLY.



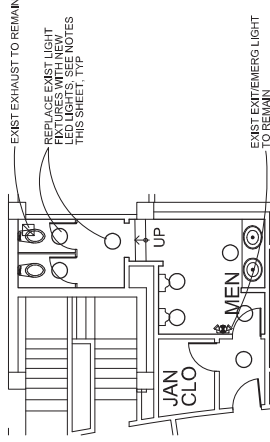
EXISTING MAIN TOILET ROOMS CEILING PLAN

SCALE: 1/4" = 1'-0"



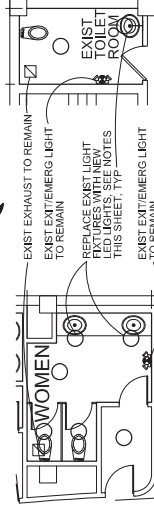
EXISTING MAIN TOILET ROOMS FLOOR PLAN

SCALE: 1/4" = 1'-0"



EXIST MEZZ TOILET RM PLAN (MEN)

SCALE: 1/4" = 1'-0"



EXIST MEZZ TOILET RM PLAN (WOMEN)

SCALE: 1/4" = 1'-0"

EXIST 2ND FL TOILET RM

SCALE: 1/4" = 1'-0"

EXIT CAPACITY ANALYSIS

1ST FLOOR EXIT CALCULATION DETAILS			
EXIT #	NO. WIDTH	NET WIDTH	CAPACITY
1	48" WIDE STAIRS	48 INCHES / 0.30	160 PERSONS
2	48" WIDE STAIRS	48 INCHES / 0.30	160 PERSONS
3	48" WIDE STAIRS	48 INCHES / 0.30	160 PERSONS
4	48" WIDE STAIRS	48 INCHES / 0.30	160 PERSONS
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99	48" WIDE STAIRS	48 INCHES / 0.30	160 PERSONS
100	48" WIDE STAIRS	48 INCHES / 0.30	160 PERSONS

OVERALL OCCUPANT LOAD ANALYSIS

1. EXIT CAPACITY BY DOORS & CORRIDORS @ 1ST FL ALLOWS FOR 2,550 PERSONS
2. OCCUPANT LOAD BY SF ALLOWS FOR 1,466 PERSONS
3. 2,550 > 1,466, THEREFORE OCCUPANT LOAD SHALL BE 1,466 PERSONS

MAX OCCUPANT LOAD SHALL BE 1,466 PERSONS

4. NORTH MEZZANINE & 2ND FLOOR EXIT ANALYSIS: OCC LOAD BY SF ALLOWS FOR 1,449/15=97 PERSONS
5. DOORS 7 & 8 ALLOW FOR 340 PERSONS
6. 340 > 97, THEREFORE OCCUPANT LOAD AT MEZZ & 2ND FLOOR NORTH SHALL BE 97

TRAVEL DISTANCE

1. MAX TRAVEL DISTANCE IN AN A-2 OCCUPANCY WITH AUTOMATIC SPRINKLERS IS 250'
2. MAX TRAVEL DISTANCE PROVIDED IS 171' (2ND FLOOR TO EXTERIOR DOOR AT EAST)

FFPC 7th EDITION, SECTION 43.1.1 (1-6) CATEGORIES

THE WORK CATEGORY OF THIS PERMIT SHALL BE RENOVATION, WITH REPLACEMENT IN KIND OF FINISHES & FIXTURES EXCEPT AT LARGE BATHROOMS WHERE A SCREENING FOYER IS TO BE CONSTRUCTED AS MODIFICATION

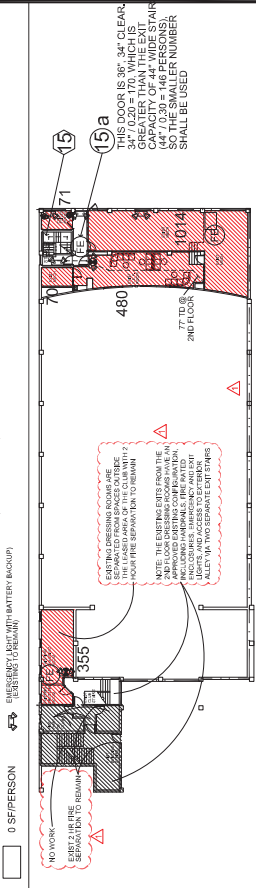
LIFE SAFETY NOTES

1. DESIGN SHALL COMPLY WITH THE FLORIDA FIRE PREVENTION CODE 7TH ED
2. ALL LIFE SAFETY SYSTEMS SHALL REMAIN ACTIVE DURING DEMO
3. AUTOMATIC FIRE SPRINKLERS ARE EXISTING TO REMAIN. NO WORK REQUIRED AS THERE ARE NO NEW PARTITIONS AND ALL EXISTING LAYOUTS ARE TO REMAIN.
4. FIRE ALARM SYSTEM IS EXISTING TO REMAIN. NO WORK REQUIRED AS THERE ARE NO NEW PARTITIONS AND ALL EXISTING LAYOUTS ARE TO REMAIN.
5. PORTABLE FIRE EXTINGUISHERS (AS PER 37.3.5.3) SHALL BE PROVIDED IN ALL ASSEMBLY OCCUPANCIES IN ACCORDANCE WITH 9.7.4.1. (EVERY 75' MIN - SEE PLAN FOR LOCATIONS)
6. EXISTING EMERGENCY LIGHTING AND EXIT LIGHTS SHALL REMAIN. SEE PLAN FOR LOCATIONS THERE SHALL BE NO CHANGES OF FLOOR ELEVATION GREATER THAN 1/2" ALL FLOORING SHALL SLIP RESISTANT
7. ALL INTERIOR FURNISHINGS & FINISHES SHALL COMPLY WITH THE FFPC 7TH ED 101-10.2, CHAP 10; TABLE A.10.2.2; AND FCBB TABLE 603.11 & 806-CLASS "A" OR CLASS "B" (BLDG IS FULLY SPRINKLERED SO CLASS "B" FINISHES AT THE EXIT COMPONENTS ARE ALLOWED)
8. ALL NEW WOOD FLOOR & PATCHES SHALL BE INHERENTLY FIRE RETARDANT
9. ALL EXISTING LIFE SAFETY SYSTEMS SHALL REMAIN OPERATIONAL DURING DEMOLITION AND CONSTRUCTION
10. ALL NEW AND DEMOLITION MATERIAL SHALL ONLY BE STORED WITHIN AREA OF RENOVATION TO MAINTAIN FREE & CLEAR EGRESS PATHS TO THE PUBLIC WAY.
11. THE RATING OF ANY EXISTING SURROUNDING DEMISING WALLS SHALL BE MAINTAINED AS A 2 HOUR FIRE RATED WALL IN COMPLIANCE WITH THE FFPC 7TH ED TABLES 6.1.14-4.1(A)(B)
12. DEMOLITION AND CONSTRUCTION WORK SHALL BE DONE IN UNOCCUPIED SPACES THROUGHOUT THE COURSE OF THE PROJECT. ALL SUCH WORK SHALL COMPLY WITH NFPA 1.2018.16.4.
13. DEMOLITION DEBRIS AND NEW MATERIALS SHALL NOT BE STORED IN PUBLIC AREAS, AND SHALL NOT AFFECT EGRESS IN ANY WAY.
14. ALL EGRESS ROUTES TO THE PUBLIC WAY SHALL BE KEPT FREE AND CLEAR AT ALL TIMES DURING CONSTRUCTION
15. EXISTING ADEQUATE ESCAPE FACILITIES SHALL BE CONTINUOUSLY MAINTAINED FOR THE USE OF CONSTRUCTION WORKERS. SEE 4.6.11.2, A.4.6.11.2, AND NFPA 241, STANDARD FOR SAFEGUARDING CONSTRUCTION, ALTERATION, AND DEMOLITION OPERATIONS
16. THE FRONT ENTRY DOORS (#1) SHALL BE FREE SWINGING, HAVE A KEY OPERATED LOCK ON BOTH SIDES AND SHALL HAVE A SIGN POSTED AT DOORS THAT THEY SHALL REMAIN UNLOCKED DURING BUSINESS HOURS. SIGN COPY SHALL READ, "THESE DOORS SHALL REMAIN UNLOCKED DURING BUSINESS HOURS".
17. ALL OTHER EXIT DOORS (#2 THROUGH #8) HAVE PANIC DEVICES AND SHALL REMAIN

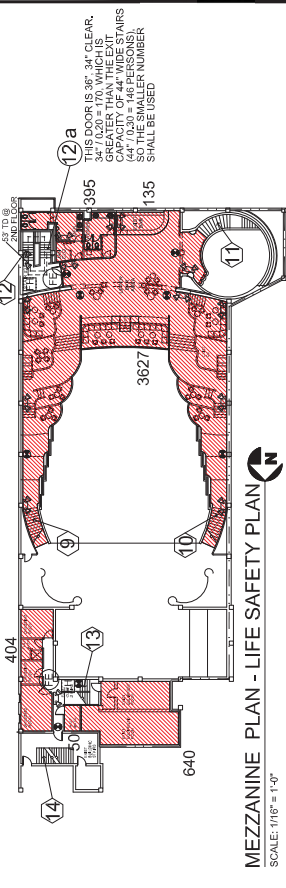
NET SF & OCCUPANT LOAD OVERVIEW (PER FFPC 14.8.1.2)

NET SF & OCCUPANT LOAD OVERVIEW (PER FFPC 14.8.1.2)			
STAGE	AREA	MEZZANINE	BACK OF HOUSE
1ST FLOOR	8,595	1,071	1,917
MEZZANINE	3,627	404	465
SUBTOTALS	12,222	1,475	2,382
OCCUPANT LOAD FACTOR	15	15	15
OCCUPANT LOAD BY AREA	913	98	159
TOTAL	1,466		

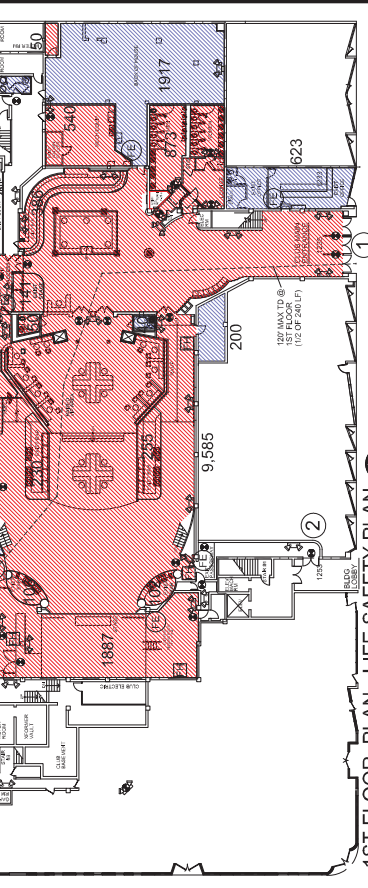
1,466 TOTAL OCC LOAD



2ND FLOOR PLAN - LIFE SAFETY PLAN



MEZZANINE PLAN - LIFE SAFETY PLAN



1ST FLOOR PLAN - LIFE SAFETY PLAN

BUILDING DEPARTMENT

Compliance 7476

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The Glass Building
975 Avenue Locking Road
Miami Beach, Florida 33140

norman m. giller & associates architects

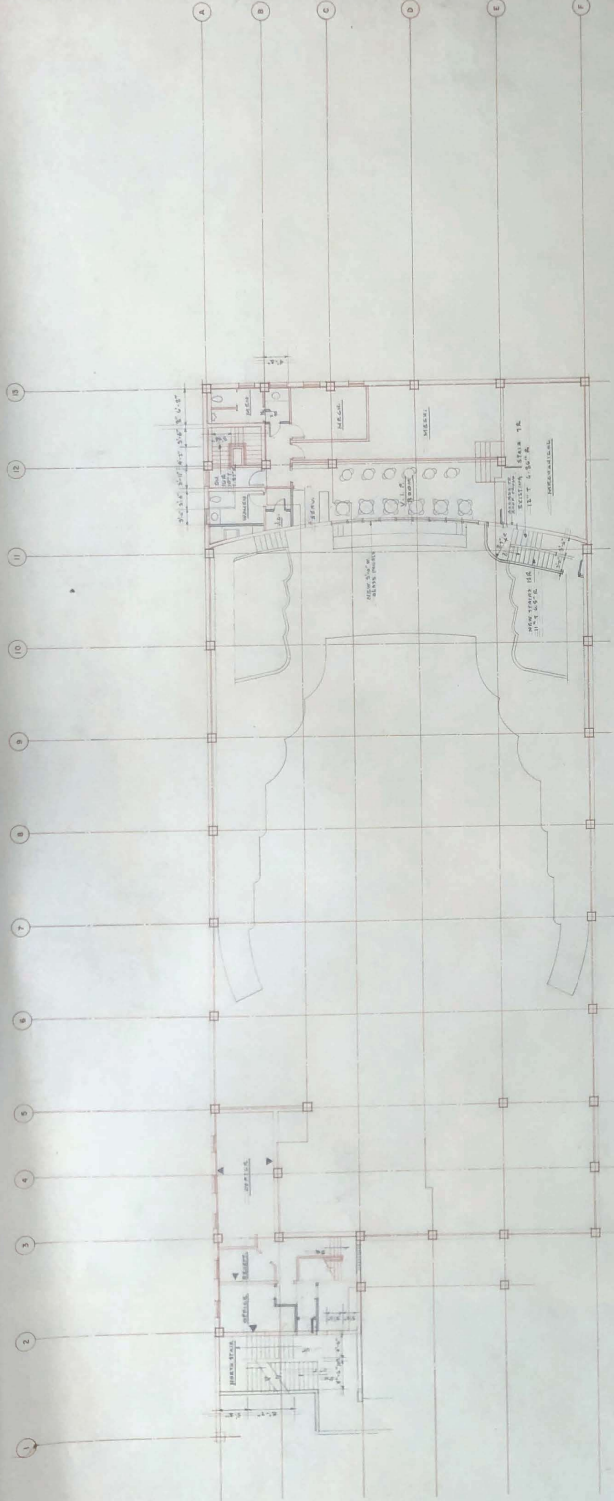


DATE: 08/11
DRAWN BY: J. GILLER
CHECKED BY: J. GILLER
PROJECT: RENOVATION OF THE CINEMA THEATER

EFFX OF MIAMI, INC.
MIAMI BEACH, FLORIDA
1235 WASHINGTON AVE

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THIRD FLOOR PLAN
SCALE: 1/8" = 1'-0"

DISMANTLE TO REMAIN

PLUMBING NOTES

- 1) ALL PLUMBING WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITION OF THE "FLORIDA BUILDING CODE, PLUMBING", LOCAL ORDINANCE AND IN COMPLIANCE WITH "FLORIDA ENERGY EFFICIENCY CODE FOR BUILDING CONSTRUCTION.
- 2) CONTRACTOR TO VERIFY AT SITE LOCATION THE ELEVATION AND SIZE OF EXISTING WATER AND SEWER LINES BEFORE INSTALLATION OF ANY NEW FIXTURES, NOTIFY ARCHITECT OF ANY DISCREPANCIES.
- 3) PLUMBING FIXTURES SHALL BE "KOHLER" OR APPROVED EQUAL. ALL FIXTURE TRIM SHALL BE CHROME PLATED. FIXTURES SHALL BE PROVIDED WITH SUPPORTS, HANGERS, ETC., AND SHALL COMPLY WITH FBC P2701.1.
- 4) PROVIDE NEW CONTROL VALVES TO EACH PLUMBING FIXTURE
- 5) ALL NEW FIXTURES SHALL COMPLY WITH DADE COUNTY AMENDMENTS 08-14 FOR WATER CONSERVATION & REFERENCE STANDARDS:
TOILETS: 1.0 GALLONS PER MINUTE
SINKS: 1.0 GALLONS PER MINUTE
- 6) PROVIDE ANTI-SCALD VALVE AT HOT WATER CONNECTIONS TO ALL NEW LAVS

PLUMBING SCOPE OF WORK

- 1) THIS IS AN EXISTING NIGHTCLUB WITH EXISTING PLUMBING SYSTEMS TO REMAIN.
- 2) REPLACE PLUMBING FIXTURES, FAUCETS & FLUSHOMETERS AS SHOWN IN PLAN.
- 3) ALL NEW FAUCETS, FLUSH VALVE TOILETS & URINALS SHALL HAVE BATTERY OPERATED SENSOR ACTIVATION.
- 4) EXISTING WATER HEATERS SUPPLY ALL EXISTING BATHROOMS AND SHALL REMAIN
- 5) EXIST FLOOR TILES SHALL BE REMOVED AND REPLACED WITH NEW FLOOR TILE ON EXIST CONC SLAB. SLOPED TO EXISTING FLOOR DRAINS TO REMAIN
- 6) REPLACEMENT OF TOILETS & URINALS INCLUDES REPLACEMENT OF FIXTURES & VALVES

ITEM	WASTE & SOIL	WATER
WATER CLOSET	4" @ 1/8" / FT.	COLD / HOT
URINAL	2" @ 1/4" / FT.	1/2"
LAVATORY	1.1/4" @ 1/4" / FT.	1/2" 1/2"

FIXTURE CONNECTION SCHEDULE

REPLUMBING DEPARTMENT

Compliance

15-2717476

3/18/2022 3:31:07 AM

Giller & Giller, Inc.

NIGHT CLUB RENOVATIONS

1235 WASHINGTON AVE. WASHINGTON AVE

MIAMI BEACH, FL

Digitally signed by Giller & Giller, Inc.

DN: c=US, o=Giller & Giller, Inc.

EMAIL=giller@gillerinc.com

DATE: 2022.03.18.10:07

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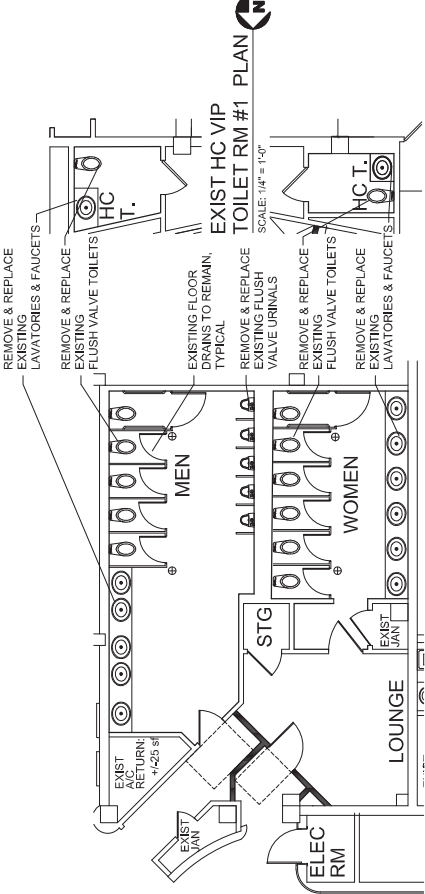
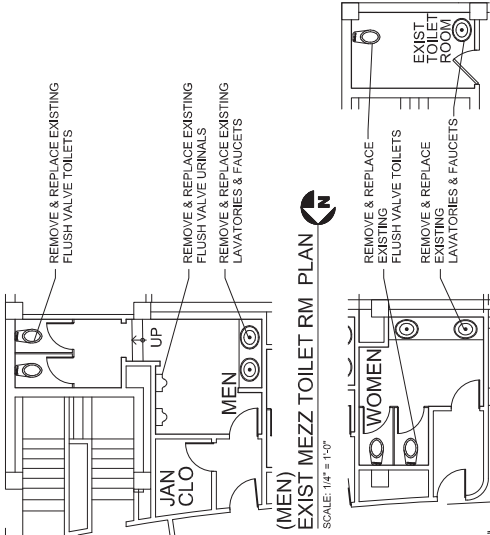
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EXISTING MAIN TOILET ROOMS PLAN

SCALE: 1/4" = 1'-0"

EXIST HC VIP TOILET RM #2 PLAN

SCALE: 1/4" = 1'-0"

EXIST MEZZ TOILET RM PLAN (WOMEN)

SCALE: 1/4" = 1'-0"

EXIST 2ND FL TOILET RM

SCALE: 1/4" = 1'-0"

PERMIT DRAWINGS

HVAC RETURN PLENUM NOTES, PER FBC-M 602.2.1 (MATERIALS WITHIN PLENUMS):

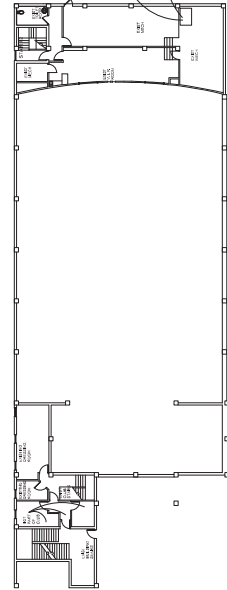
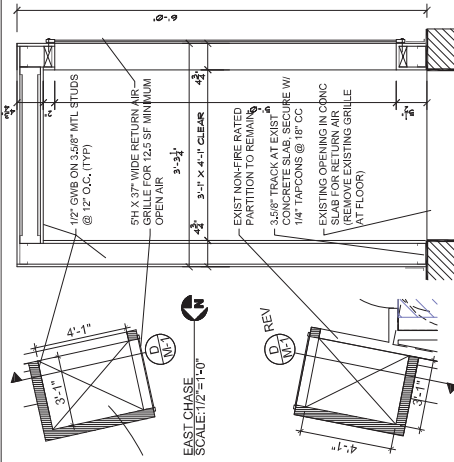
- 1. EXISTING UNDERFLOOR RETURN AIR PLENUM IS CONSTRUCTED OF BARE CONCRETE AND IS NONCOMBUSTIBLE.
- 2. EXISTING VERTICAL RETURN AIR PLENUM IS CONSTRUCTED OF BARE CONCRETE AND CEMENT PLASTER AND IS NONCOMBUSTIBLE.
- 3. NEW RETURN AIR PLENUM AS DETAILED IN D/A-7 & DIM-1 IS CONSTRUCTED OF GWB, AND IS NONCOMBUSTIBLE.
- 4. THERE ARE AND SHALL BE NO COMBUSTIBLE MATERIALS WITHIN THESE EXISTING AND NEW PLENUMS
- 5. NO FIRE-RATED ASSEMBLIES ARE OR SHALL BE PENETRATED BY RETURN PLENUMS.

HVAC SCOPE OF WORK:

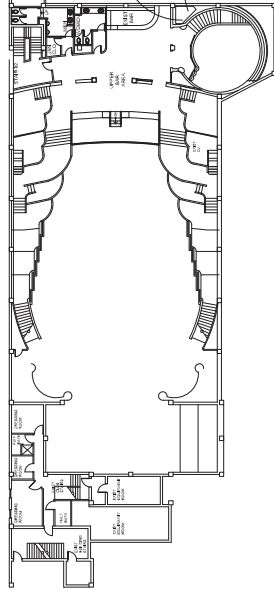
- 1. NO CHANGE TO EXISTING HVAC SYSTEMS EXCEPT AS NOTED BELOW.
- 2. MAIN RETURN AIR PLENUM - THE EXISTING R/A GRILLES AT THE UNDERFLOOR RETURN AIR PLENUM FOR THE MAIN AC UNIT SHALL BE RESTORED TO ITS ORIGINAL CROSS-SECTIONAL AREA OF 12.5 SF EACH. THE RETURN AIR PLENUM SHALL BE EXTENDED VERTICALLY AS SHOWN ON SHT. A-7 WITH SIDEWALL RETURN AIR GRILLES (12.5 MIN S.F. FREE OPENING EACH).

HVAC DESIGN SCHEDULE			REMARKS
HVAC DESIGN REQUIRED:			
DUCT SMOKE DETECTOR(S)	YES	EXISTING TO REMAIN	
FIRE DAMPER(S)	NO		
SMOKE DAMPER(S)	NO		
FIRE RATED PARTITION	YES	EXISTING TO REMAIN AT TENANT SEPARATION	
FIRE RATED ROOF/FLOOR CEILING ASSEMBLY	NO		
FIRE STOPPING	YES	EXISTING TO REMAIN AT TENANT SEPARATION	
SMOKE CONTROL	NO		

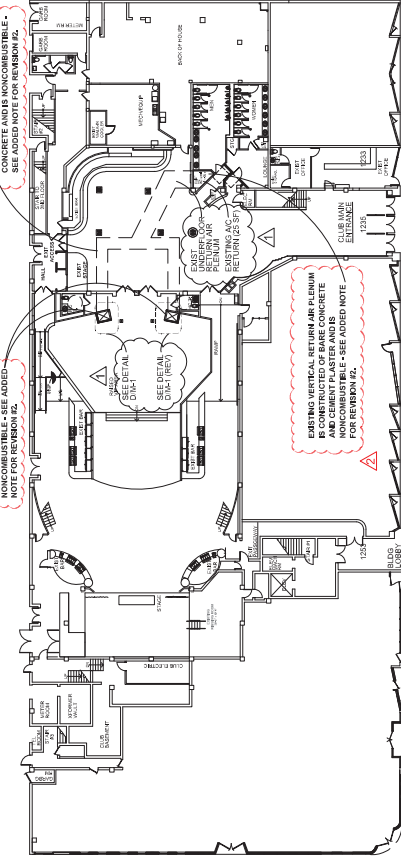
RETURN AIR GWB CHASES, UPPER VIP



2ND FLOOR PLAN
SCALE: 1/16" = 1'-0"



MEZZANINE PLAN
SCALE: 1/16" = 1'-0"



1ST FLOOR PLAN
SCALE: 1/16" = 1'-0"

NEW SHEET
PERMIT DRAWINGS

Giller & Giller, Inc.

NIGHT CLUB RENOVATIONS
FOR JSG MIAMI ENTERTAINMENT LLC

1235 WASHINGTON AVE. WASHINGTON AVE
MIAMI BEACH, FL

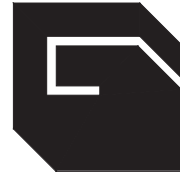
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DATE: 12/18/21
DRAWN BY: JSG
CHECKED BY: JSG
APPROVED BY: JSG

MECHANICAL FLOOR PLANS:
SHEET 1 OF 1

Giller & Giller, Inc.

The Giller Building
975 Arthur Godfrey Road
Miami Beach, Florida 33140
(305) 538-6324 fax/modem (305) 538-5921
Reg. #AA C001364



NARRATIVE RESPONSE
PROCESS #BC2117476
NIGHTCLUB @ 1235 WASHINGTON AVENUE
BRANDT BUILDING

MECHANICAL

BC2117476 1235 WASHINGTON AVE Miami Beach, FL 33139-4613
11/09/2021

In order to properly evaluate response to comments,
provide a narrative showing location of corrections
(Sheet XX, Floor Plan or Sheet XX, Note #, etc.).

RESPONSE: SEE THIS NARRATIVE AND SHEET M-1, REVISION #2, 11/11/21.

Cloud-in and number in bold the latest revision number.

RESPONSE: ALL REVISIONS ARE CLOUDED IN RED, WITH REVISION #2 MARK, AND THE SHEET IS NOW DATED 11/11/21.

1. Comply with FBC-M 602.2.1 (materials within plenums). Materials within plenums shall be noncombustible or shall be listed and labeled as having a flame spread index of not more than 25 and a smoke-developed index of not more than 50 when tested in accordance with ASTM E84 or UL 723. Provide note on the plans and remove materials that do not comply. Verify that no fire-rated assemblies are penetrated. If so, provide fire/smoke dampers and update "HVAC Design Requirements" table.

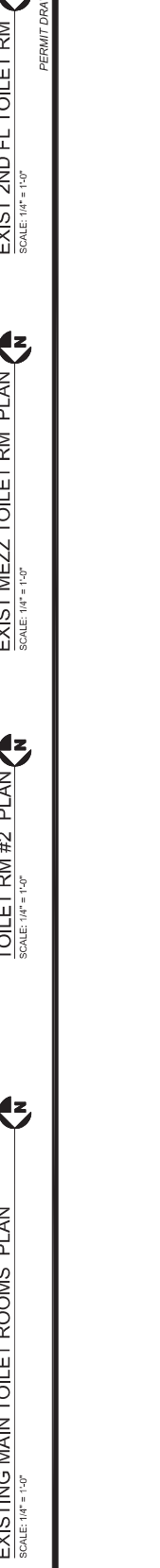
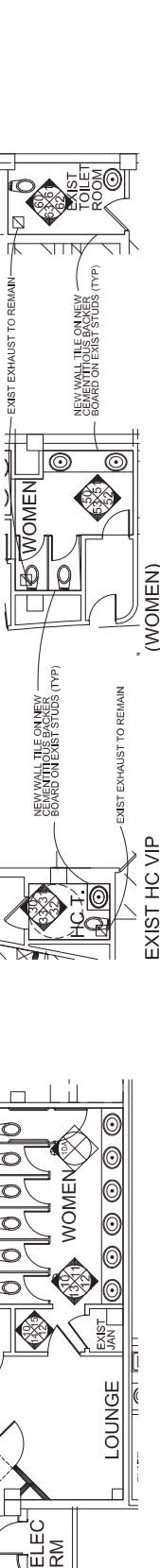
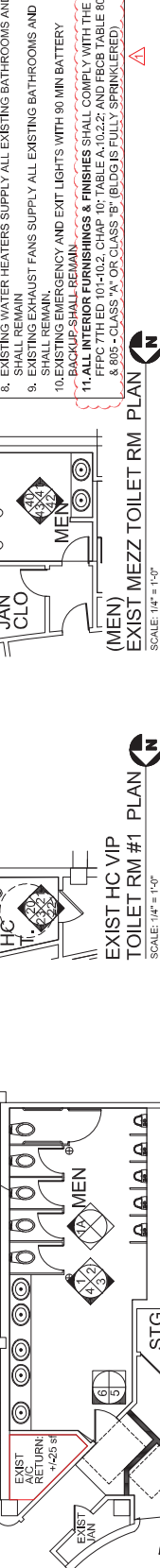
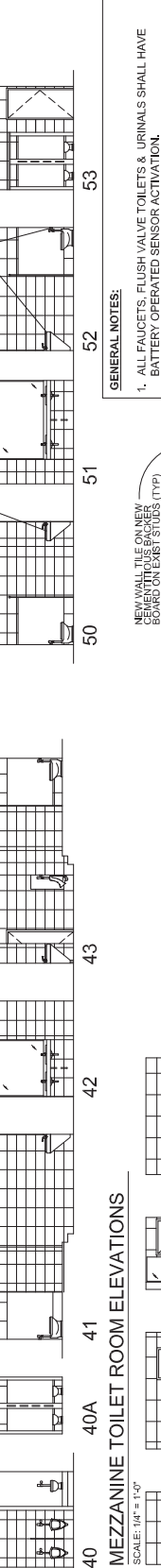
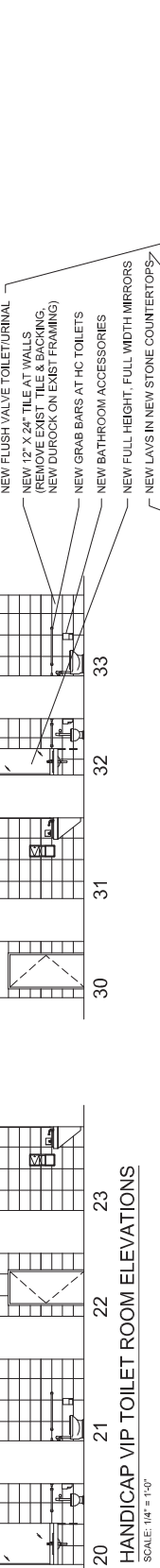
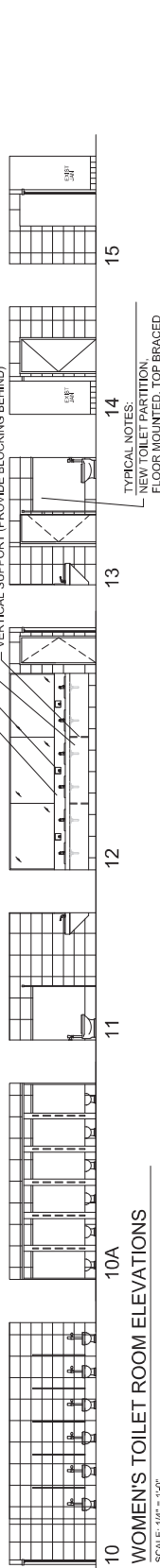
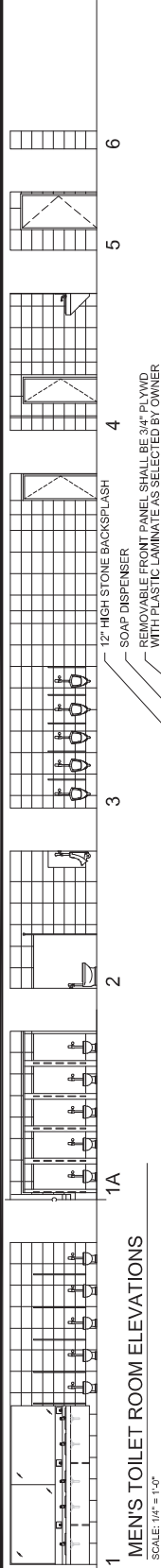
RESPONSE: SEE ADDED NOTES ON SHEET M-1 THAT STATE THE NEW AND EXISTING RETURN AIR PLENUMS ARE CONSTRUCTED OF NON-COMBUSTIBLE MATERIALS, THAT NO COMBUSTIBLE MATERIALS SHALL BE ALLOWED IN RETURN PLENUMS, AND THAT NO FIRE-RATED ASSEMBLIES ARE PENETRATED.

Antonio Bruscantini, P.E., Senior Mechanical Plans Examiner BUILDING DEPARTMENT 1700
Convention Center Drive, Miami Beach, FL 33139 Tel: 305-673-7610 ext 26548
/ antoniobruscantini@miamibeachfl.gov

Giller & Giller, Inc.

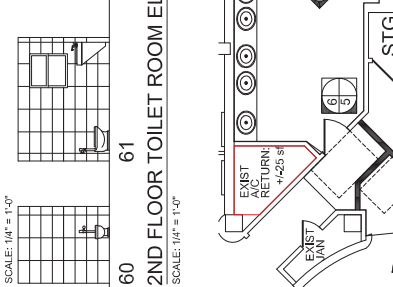
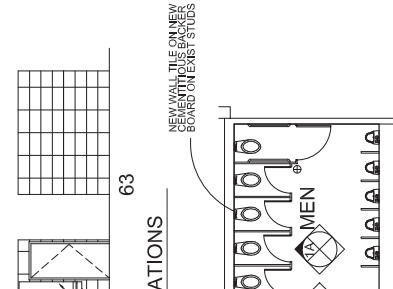
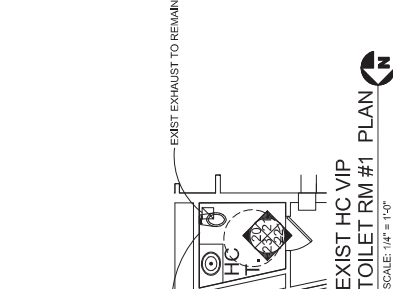
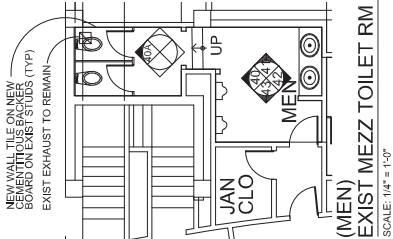
NIGHT CLUB RENOVATIONS
 FOR JSG MIAMI ENTERTAINMENT LLC
 1235 WASHINGTON AVE. WASHINGTON AVE
 MIAMI BEACH, FL

NO.	DATE	REVISION	DESCRIPTION
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GENERAL NOTES:

1. ALL FAUCETS, FLUSH VALVE TOILETS & URINALS SHALL HAVE BATTERY OPERATED SENSOR ACTIVATION.
2. ALL EXISTING BATHROOM ACCESSORIES, INCLUDING TOILET PARTITIONS SHALL BE REMOVED & REPLACED.
3. EXIST FLOOR TILES SHALL BE REMOVED AND REPLACED WITH NEW 12" X 24" POLISHED PORCELAIN TILES ON NEW CEMENTITIOUS BOARD.
4. EXIST WALL TILES & WALL SUBSTRATE SHALL BE REMOVED AND REPLACED WITH NEW TILE ON NEW CEMENTITIOUS BOARD ON EXISTING STUDS.
5. REMOVE & REPLACE EXISTING COUNTERS WITH NEW STONE TOPS & BACKSPLASHES
6. PROVIDE BLOCKING AT ALL WALL MOUNTED ELEMENTS
7. REMOVE AND REPLACE ALL BATHROOM LIGHTING. EXISTING LIGHTS ARE INCANDESCENT OR FLUORESCENT AND SHALL BE REPLACED WITH NEW LED LIGHTS. TIED TO EXISTING PANELS WITH EXIST WIRING.
8. EXISTING EXHAUST FANS SHALL REMAIN. EXISTING EXHAUST FANS SHALL SUPPLY ALL EXISTING BATHROOMS AND SHALL REMAIN.
9. EXISTING EXHAUST FANS SHALL SUPPLY ALL EXISTING BATHROOMS AND SHALL REMAIN.
10. EXISTING EMERGENCY AND EXIT LIGHTS WITH 90 MIN BATTERY BACKUP SHALL REMAIN
11. ALL INTERIOR FURNISHINGS & FINISHES SHALL COMPLY WITH THE FFPC 7TH ED 101-102, CHAP 10; TABLE A-10.2.2; AND FBCB TABLE 803.11 & 805 - CLASS "A" OR CLASS "B" (BLDG IS FULLY SPRINKLERED)

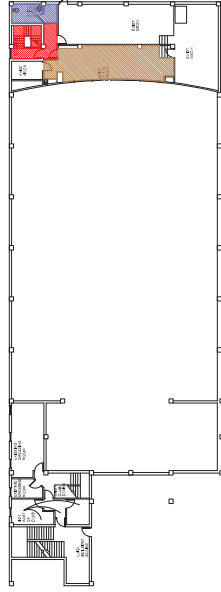


FLOORING LEGEND

- A) POLISHED CONCRETE FLOOR (NOTE #1)
- B) WOOD FLOOR (NOTE #2)
- C) CARPET (NOTE #3)
- D) VINYL TILE (NOTE #4)
- E) TILE (NOTE #5)

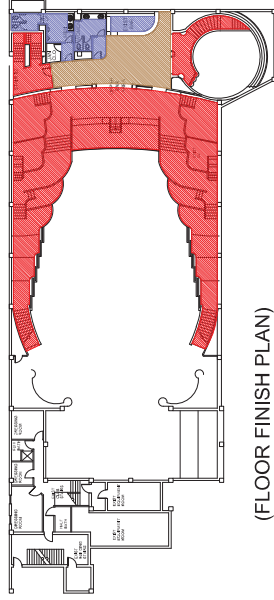
NOTES:

- 1) AREAS NOTED ARE EXISTING CONCRETE AND SHALL BE CLEANED & POLISHED. AREAS ARE NOTED ARE EXISTING CARPET AND SHALL BE REMOVED & REPLACED WITH NEW CARPET. AREAS NOTED ARE EXISTING WOOD FLOORING AND SHALL BE REFINISHED. ANY NEW WOOD FLOORING USED FOR PATCHING SHALL BE INHERENTLY FIRE RETARDANT. (AREA IS APPROX 4,819 SF)
- 2) ALL EXISTING CARPET SHALL BE REPLACED WITH NEW CARPET. CLASS "B" (AREA IS APPROX 6,176 SF)
- 3) NEW VINYL TILE ON EXISTING CONCRETE, CLASS "B". (AREA IS APPROX 435 SF)
- 4) NEW TILE SHALL REPLACE EXISTING TILE, AND INSTALLED OVER CEMENTitious BOARD. AREAS NOTED ARE EXISTING VINYL TILE AND SHALL BE REPLACED WITH NEW VINYL TILE. (AREA IS APPROX 4,819 SF)
- 5) ALL FLOORING SHALL BE LEVEL AND SLIP RESISTANT



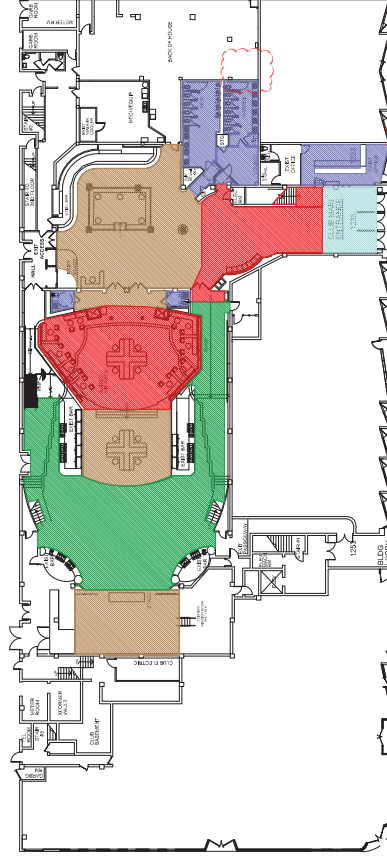
(FLOOR FINISH PLAN)
2ND FLOOR PLAN

SCALE: 1/16" = 1'-0"



(FLOOR FINISH PLAN)
MEZZANINE PLAN

SCALE: 1/16" = 1'-0"



(FLOOR FINISH PLAN)
1ST FLOOR PLAN

SCALE: 1/16" = 1'-0"

NOTE: ALL INTERIOR FURNISHINGS & FINISHES SHALL COMPLY WITH THE FBBC 7TH ED. 101-10.2, CHAP. 10, TABLE A.10.2.2, AND FBBC TABLE 803.11 & 805 - CLASS "A" OR CLASS "B" (BLDG IS FULLY SPRINKLERED)

PERMIT DRAWINGS

