



NIGHT CLUB C.U.P.

1235 WASHINGTON AVE.
MIAMI BEACH, FL.

FOR

1235 REDUX, LLC.

1235 WASHINGTON AVE.
MIAMI BEACH, FL 33140

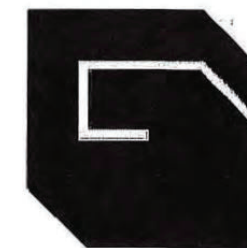
COMM. NO. 21105A
June 2, 2024

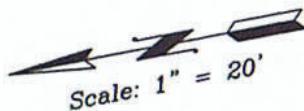
PLANNING BOARD
File # PB24-0656
FINAL SUBMISSION

Giller & Giller, Inc.

The Giller Building
975 Arthur Godfrey Road
Miami Beach, Florida 33140
(305) 538-6324 Reg. #AA C001364

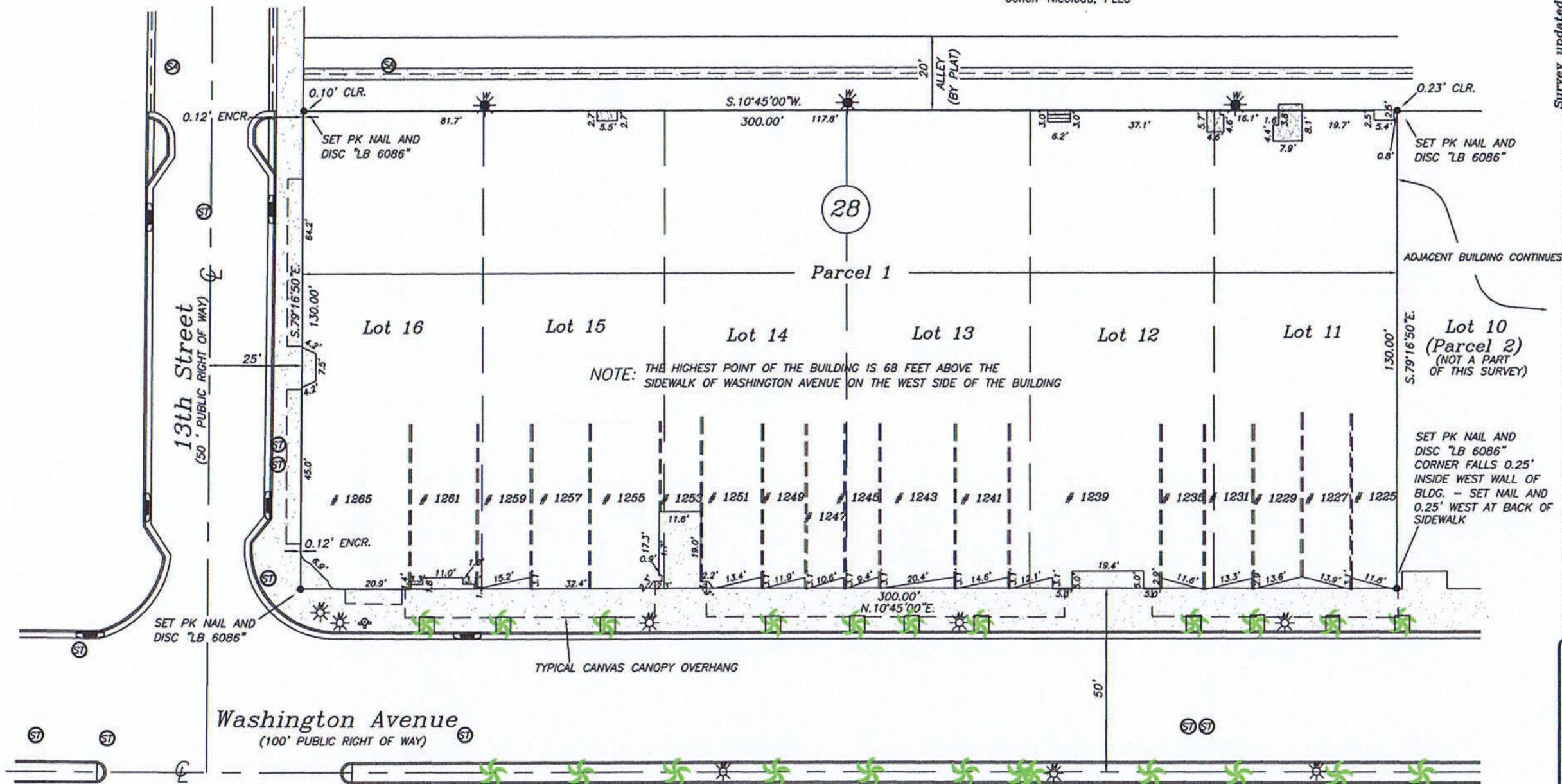
ARCHITECTS INTERIOR DESIGNERS CONSTRUCTION MANAGERS





CERTIFIED TO:

Pix Realty, L.P., a Delaware limited partnership
Chicago Title Insurance Company
Sabadell United Bank, N.A., it's successors and/or assigns
Cohen-Nicoleau, PLLC



This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2011 Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 2, 3, 4, 7(a), 7(b)(1), 7(c), 8, 9, 10(a) (if party walls exist), 11(a) and 20(a) of Table A thereof. The field work was completed on May 13, 2014.

Date: 7-01-2014

By:

William O. High
Professional Land Surveyor No. 4632
State of Florida

PARCEL I

Legal Description

Lots 11 through 16, inclusive, in Block 28 of OCEAN BEACH ADDITION NO. 2 according to the Plat thereof as recorded in Plat Book 2, at page 56 of the Public Records of Miami-Dade County, Florida.

Easement created by Easement Agreement recorded December 2, 1955 in Deed Book 4190, page 225 for the benefit of Parcel 1 over and on a portion of Parcel II which is occupied by an existing building; said Parcel II being described as follows:

PARCEL II

Lpt 10 in Block 28 of OCEAN BEACH ADDITION NO. 2, according to the Plat thereof as recorded in Plat Book 2, at page 56 of the Public Records of Miami-Dade County, Florida.

Surveyor's Notes

- 1) Bearings are based on the centerline of Washington Avenue which bears N10°45'00"E.
- 2) Only those easements and other matters of record which appear in Chicago Title Insurance Company Commitment for Title, NBU No. 21401613, Local No. 4804408, Issued 5/15/2014 Effective Date: April 28, 2014 at 11:00 PM are reflected here.
- 3) Subject property is subject to an Easement Agreement as recorded in Deed Book 4190 page 225, Public Records of Miami-Dade County, Florida.
- 4) Total area of subject property = 39,000 square feet, more or less.
- 5) Subject property falls in FEMA Zone AE, having a Base Flood Elevation of 8.0, N.G.V.D. per FEMA Map No. 12086C0317L, revised Sept. 11, 2009.
- 6) This Survey is not valid unless it bears the signature and embossed seal of the surveyor.

- STORM SEWER MANHOLE
- SANITARY SEWER MANHOLE
- WOOD UTILITY POLE
- METAL PUMP POST
- FIRE HYDRANT
- DRAINAGE INLET
- PALM TREE

Symbols Legend

1415.DWG
WASHINGTON.CRD

Survey updated 4-27-15

Date 6-13-14
Proj. 1415
F.B. 191
Pg. 47

ALTA/ACSM Survey
1225 - 1265 Washington Avenue,
Miami Beach, Florida

Certificate of Authorization No. LB 6086
HIGH SURVEYING & MAPPING
12380 S.W. 132nd Court, Suite 216, Miami, FL 33186
Tel: (305) 252-0698, Fax: (305) 252-9551

Sheet
1 of 1

Planning Department
1700 Convention Center Drive, 2nd Floor
Miami Beach, Florida 33139, www.miamibeachfl.gov
305.673.7550

COMMERCIAL - ZONING DATA SHEET

ALL INFORMATION REQUIRED BELOW MUST BE SUBMITTED AS REQUESTED. THE FORMAT OF THIS DOCUMENT MAY NOT BE MODIFIED OR ALTERED IN ANY WAY. SUBMITTALS FOUND INSUFFICIENT OR INCOMPLETE MAY RESULT IN A FAILED REVIEW

ITEM #	Project Information				
1	Address:	Folio number(s):	02-3234-008-1091	Year built:	1934
2	Board file number(s), Determination of Architectural Significance:			Lot Area:	39,000
3	Located within a Local Historic District (Yes or No): Yes	Zoning District:	CD-3	Lot width:	300'
4	Individual Historic Site (Yes or No):	No		Lot Depth:	130'
5	Base Flood Elevation:	+8.0' NGVD	Grade value in NGVD:		+5.0
6	Future Adjusted Grade (BFE+Grade / 2):	N/A	Free board:		N/A
7	Proposed Use:	NIGHT CLUB			
8	Proposed Accessory Use:				
9	Signed and sealed Landscape Plans (Tree/Vegetation Survey, Tree Disposition Plan, and Irrigation Plan):	N/A			
ZONING INFORMATION / CALCULATION		Required	Existing	Proposed	Deficiencies
13	Floor Area Ratio (FAR)	2.25	1.96	1.96	
14	Building Height	75' MAX	68'	68'	
15	At grade parking lot on the same lot	N/A			
a	Front setbacks	0'	0'	0'	
b	Side interior setback	0'	0'	0'	
c	Side facing street setback	0'	0'	0'	
d	Rear setback	0'	0'	0'	
16	Subterranean, Pedestal & Tower (non-Oceanfront)	Required	Existing	Proposed	Deficiencies
a	Front setbacks	0'	0'	0'	
b	Side interior setback	0'	0'	0'	
c	Side facing street setback	0'	0'	0'	
d	Rear setback	0'	0'	0'	
17	Subterranean, Pedestal & Tower (non-Oceanfront)	Required	Existing	Proposed	Deficiencies
a	Front setbacks	0'	0'	0'	
b	Side interior setback	0'	0'	0'	
c	Side facing street setback	0'	0'	0'	
d	Rear setback	0'	0'	0'	
18	Minimum Apartment Unit Size	Required	Existing	Proposed	Deficiencies
a	New Construction	N/A			
b	Rehabilitated Buildings				
c	Hotel Unit				
19	Average Apartment Unit Size	Required	Existing	Proposed	Deficiencies
a	New Construction	N/A			
b	Rehabilitated Buildings				
c	Hotel Unit				
20	Required Open-space ratio (RPS, CPS)	N/A			
21	Parking	0	0	0	
22	Loading	0	0	0	

DRAWING INDEX

COVER SHEET
SURVEY

A-1 DRAWING INDEX,SCOPE, LEGAL, ZONING, AERIAL
A-2 CONTEXT LOCATION PLAN

A-3 SITE PLAN
A-4 FIRST FLOOR PLAN & SECTION
A-5 MEZZANINE & SECOND FLOOR PLANS
A-6 LIFE SAFETY PLAN

A-7 ENTRY DETAILS

A-8 SECTION

A-1 ROUGH DIMENSIONS - 1ST FL

A-2 ROUGH DIMENSIONS - 2ND FL.

PH-1 EXTERIOR PHOTOS
PH-2 CONTEXT PHOTO
PH-3 INTERIOR PHOTOS

SCOPE OF CONDITIONAL USE PERMIT REQUEST:

CONDITIONAL USE PERMIT TO INCREASE THE OCCUPANT LOAD OF AN EXISTING 24,366 SF NIGHT CLUB FROM 1,466 TO 2,471 PERSONS. NO INCREASE IN AREA. THE NIGHT CLUB WILL BECOME A NEIGHBORHOOD IMPACT ESTABLISHMENT

LEGAL DESCRIPTION:

FOLIO #02-3234-008-1091.
LOTS 11 THRU 16, BLK 28, OCEAN BEACH ADDITION NO, 2, PB 2-6 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FL.



Giller & Giller, Inc.
The Giller Building
1700 Convention Center Drive, 2nd Floor
Miami Beach, Florida 33139
(305) 673.7550

ARCHITECTS INTERIOR DESIGNERS CONSTRUCTION MANAGERS

NIGHT CLUB C.U.P.
FOR 1235 REDUX, LLC

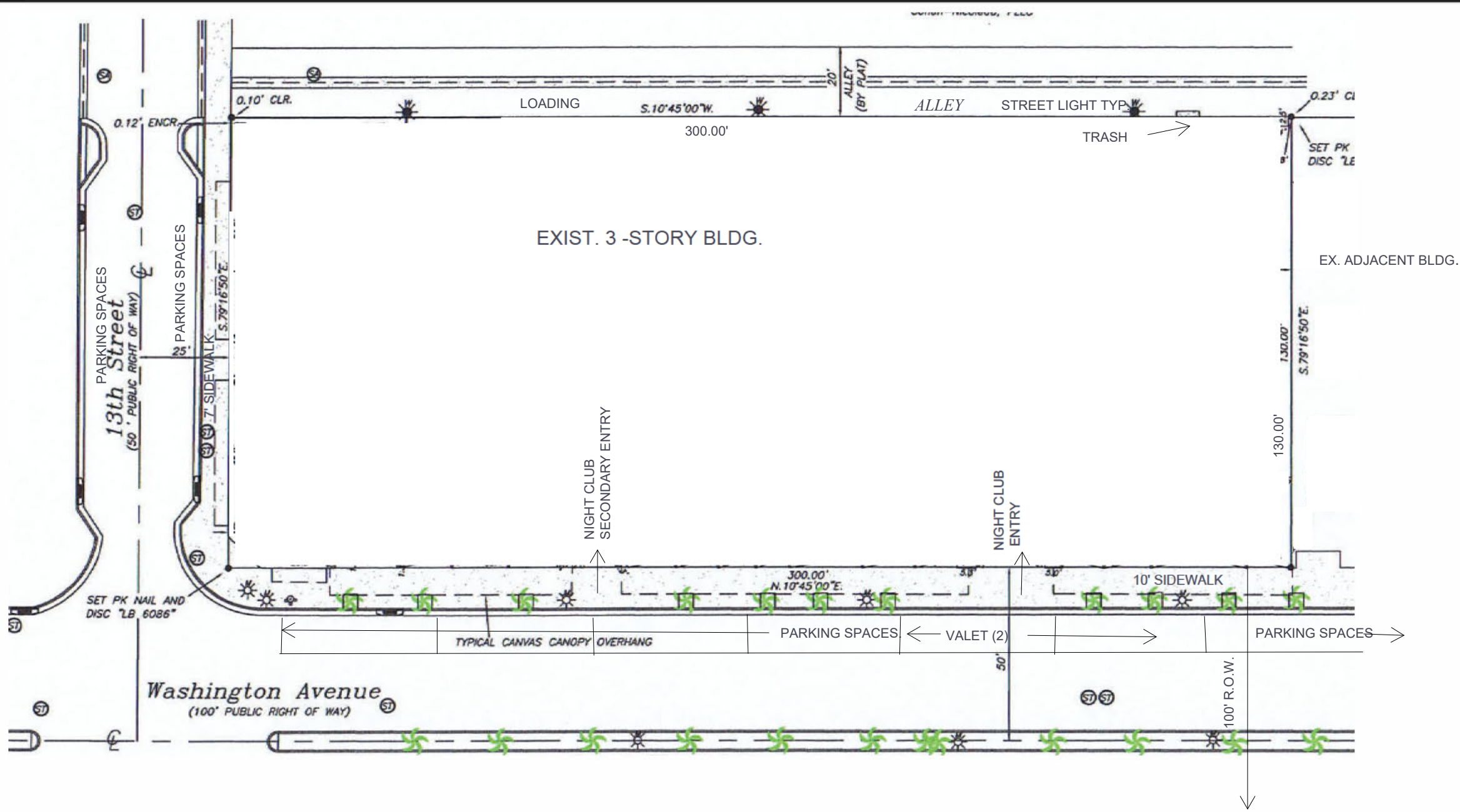
MIAMI BEACH, FL

1235 WASHINGTON AVE, WASHINGTON AVE

DATE REVISION DESCRIPTION

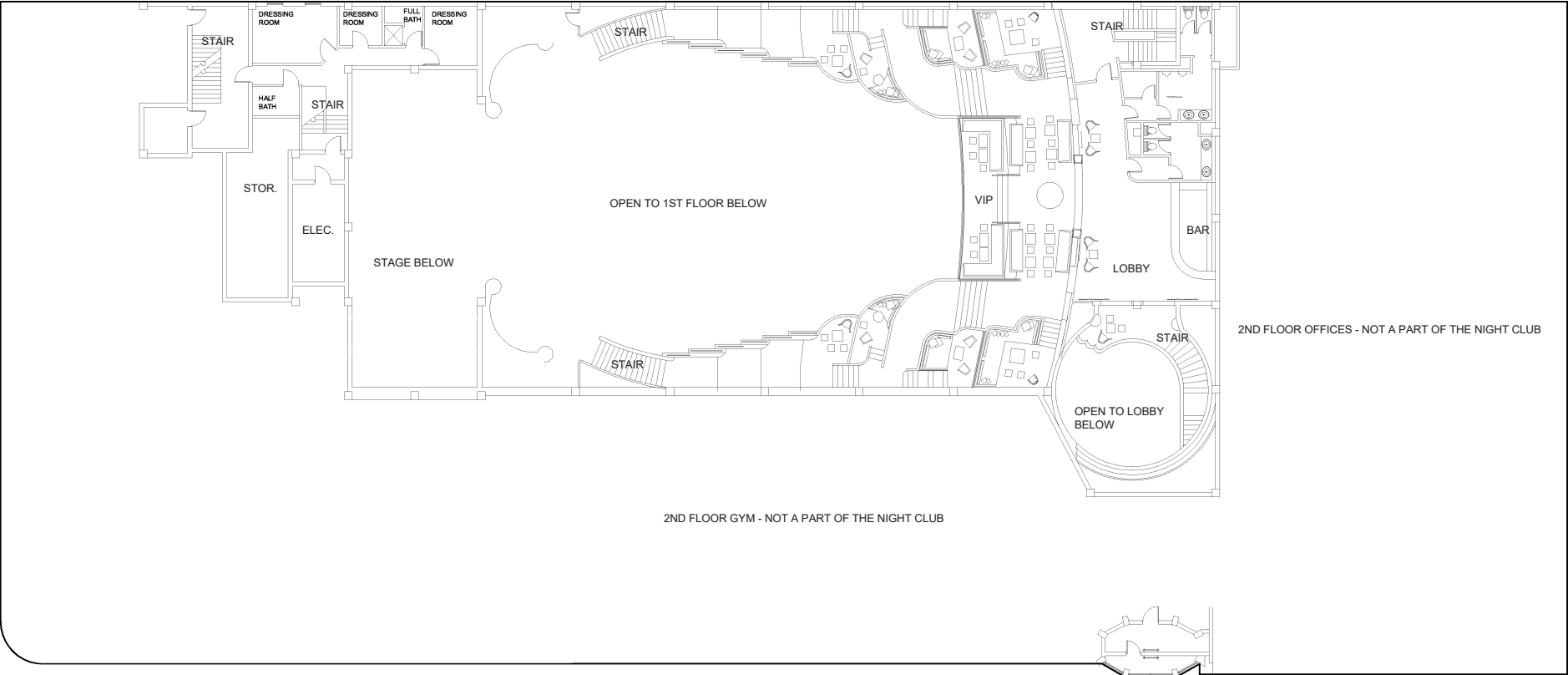
SHEET #
A-1
INDEX, SCOPE, LEGAL,
ZONING, AERIAL

APPROVED BY
4/20/24

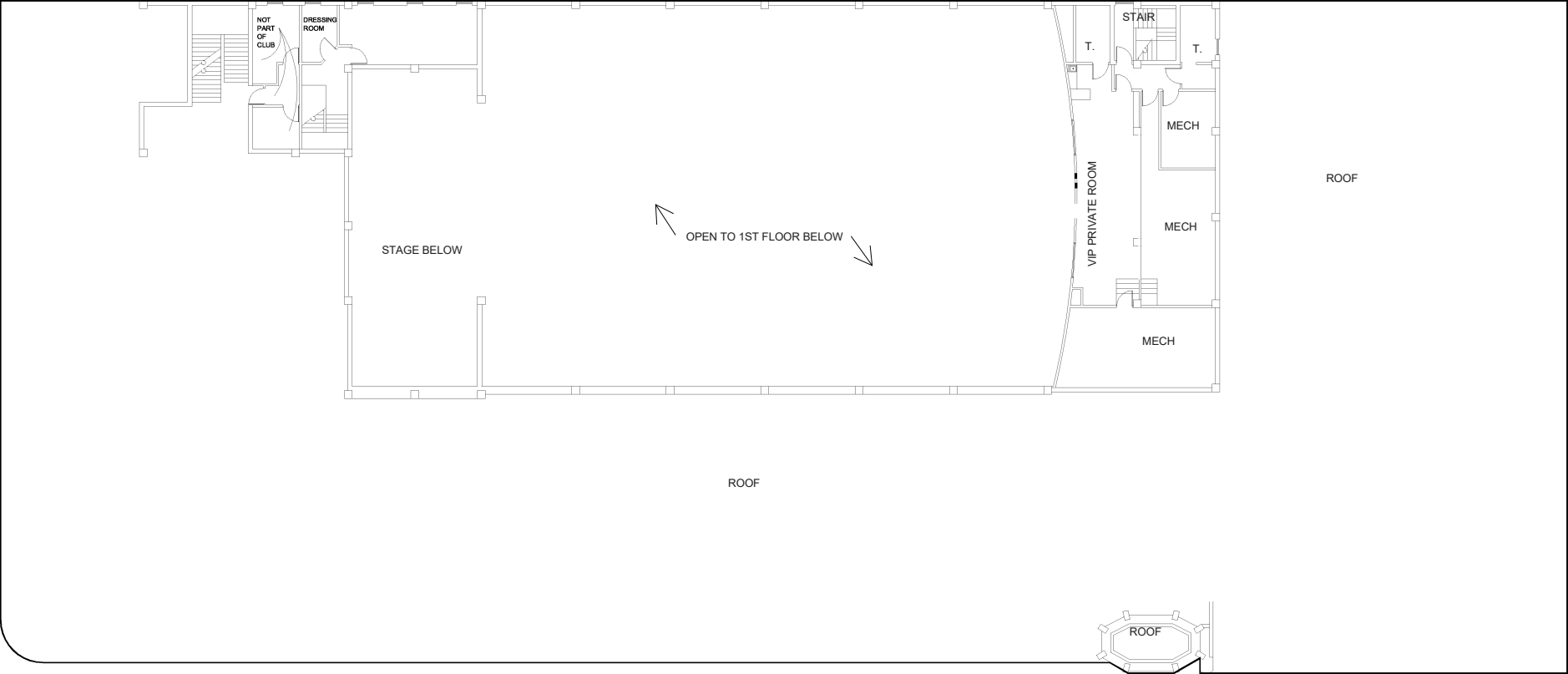


SITE PLAN
SCALE - 1/16"= 1'-0"

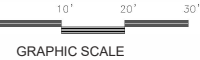
Giller & Giller, Inc. The G & G Building Miami Beach, Florida 33146 305.638.6336 ARCHITECTS INTERIOR DESIGNERS CONSTRUCTION MANAGERS	
NIGHT CLUB C.U.P. FOR 1235 REDUX, LLC 1235 WASHINGTON AVE, WASHINGTON AVE MIAMI BEACH, FL	
SHEET TITLE SITE PLAN	
SHEET # A-2	DATE 4/23/24
OF 21 TOTAL	CHECKED BY APPROVED BY CAD ID NAME



MEZZANINE FLOOR PLAN



2ND FLOOR PLAN



SHEET #

A-5

OF

MEZZANINE & 2ND FLOOR PLANS

DATE

5/10/2024

CHECKED BY

APPROVED BY

CAD TO NAME

DATE	REVISION DESCRIPTION

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IN E&G

ANAD0909

Giller & Giller, Inc.

The Giller Building
1235 Washington Ave.
Miami Beach, Florida 33146
(305) 559-6324

ARCHITECTS

INTERIOR DESIGNERS

CONSTRUCTION MANAGERS

NIGHT CLUB C.U.P.
FOR 1235 REDUX, LLC

1235 WASHINGTON AVE, WASHINGTON AVE

MIAMI BEACH, FL

1ST FLOOR EXIT CALCULATION DETAILS

EXIT #	NO	WIDTH	NET WIDTH	CAPACITY
①	6 DOORS, 3' EACH	204 INCHES / 0.20	1020 PERSONS	
②	2 DOORS, 3' EACH	68 INCHES / 0.20	340 PERSONS	
③	1 DOOR, 3'	34 INCHES / 0.20	170 PERSONS	
④	2 DOORS, 3' EACH	68 INCHES / 0.20	340 PERSONS	
⑤	2 DOORS, 3' EACH	68 INCHES / 0.20	340 PERSONS	
⑥	2 DOORS, 3' EACH	68 INCHES / 0.20	340 PERSONS	
			2550 PERSONS	
⑦	1 DOOR, 3'	34 INCHES / 0.20	170 PERSONS	
⑧	1 DOOR, 3'	34 INCHES / 0.20	170 PERSONS	
			340 PERSONS	

MEZZ FLOOR EXIT CALCULATION DETAILS			
EXIT #	NOM WIDTH	NET WIDTH	CAPACITY
⑨	48" WIDE STAIRS	48 INCHES / 0.30	160 PERSONS
⑩	44" WIDE STAIRS	44 INCHES / 0.30	147 PERSONS
⑪	50" WIDE STAIRS	50 INCHES / 0.30	167 PERSONS
⑫	50" WIDE STAIRS	50 INCHES / 0.30	167 PERSONS
			640 PERSONS

2ND FLOOR EXIT CALCULATION DETAILS			
EXIT #	NOM WIDTH	NET WIDTH	CAPACITY
15	44" WIDE STAIRS	44 INCHES / 0.30	147 PERSONS
			147 PERSONS

OCCUPANT LOAD AT 2ND FLOOR = 1,635 / 15 = 109 PERSONS OK!!!

OCCUPANT LOAD AT MEZZANINE = $4,157 / 15 = 277$ PERSONS OK!!!

1. EXIT CAPACITY BY DOORS & CORRIDORS @ 1ST FL ALLOWS FOR 2,550 PERSONS
2. OCCUPANT LOAD BY SF ALLOWS FOR 2,471 PERSONS
3. $2,550 > 2,471$, THEREFORE OCCUPANT LOAD SHALL BE 2,471 PERSONS

MAX OCCUPANT LOAD SHALL BE 2,471 PERSONS

4. **NORTH MEZZANINE & 2ND FLOOR EXIT ANALYSIS:** OCC LOAD BY SF ALLOWS FOR 1,449/15=97 PERSONS
5. DOORS 7 & 8 ALLOW FOR 340 PERSONS
6. $340 > 97$, THEREFORE OCCUPANT LOAD AT MEZZ & 2ND FLOOR NORTH SHALL BE 97





1. MAX TRAVEL DISTANCE IN AN A-2 OCCUPANCY WITH AUTOMATIC SPRINKLERS IS 250'
2. MAX TRAVEL DISTANCE PROVIDED IS 171' (2ND FLOOR TO EXTERIOR DOOR AT EAST)

1. DESIGN SHALL COMPLY WITH THE FLORIDA FIRE PREVENTION CODE 8TH ED
2. **AUTOMATIC FIRE SPRINKLERS** ARE EXISTING TO REMAIN AT ALL EXISTING LAYOUTS.
3. **FIRE ALARM SYSTEM** IS EXISTING TO REMAIN AT ALL EXISTING LAYOUTS.
4. **PORTABLE FIRE EXTINGUISHERS** (AS PER 37.3.5.3) SHALL BE PROVIDED IN ALL ASSEMBLY OCCUPANCIES IN ACCORDANCE WITH 9.7.4.1. (EVERY 75', MIN - SEE PLAN FOR LOCATIONS)
5. **EXISTING EMERGENCY LIGHTING AND EXIT LIGHTS** SHALL REMAIN, SEE PLAN FOR LOCATIONS THERE SHALL BE NO CHANGES OF **FLOOR ELEVATION** GREATER THAN 1/2", ALL FLOORING SHALL SLIP RESISTANT
6. **ALL INTERIOR FURNISHINGS & FINISHES** SHALL COMPLY WITH THE FFPC 7TH ED 101-10.2, CHAP 10; TABLE A.10.2.2; AND FBCB TABLE 803.11 & 805 - CLASS "A" OR CLASS "B" (BLDG IS FULLY SPRINKLERED SO CLASS "B" FINISHES AT THE EXIT COMPONENTS ARE ALLOWED)
7. THE RATING OF ANY EXISTING SURROUNDING DEMISING WALLS SHALL BE MAINTAINED AS A 2 HOUR FIRE RATED WALL, IN COMPLIANCE WITH THE FFPC 7TH ED TABLES 6.1.14.4.1(A)(B)
8. THE FRONT ENTRY DOORS (#1) SHALL BE FREE SWINGING, HAVE A KEY OPERATED LOCK ON BOTH SIDES AND SHALL HAVE A SIGN POSTED AT DOORS THAT THEY SHALL REMAIN UNLOCKED DURING BUSINESS HOURS. SIGN COPY SHALL READ, "THESE DOORS SHALL REMAIN UNLOCKED DURING BUSINESS HOURS".
9. ALL OTHER EXIT DOORS (#2 THROUGH #8) HAVE PANIC DEVICES AND SHALL REMAIN







NET SF & OCCUPANT LOAD OVERVIEW (PER FFPC 14.8.1.2)

	PUBLIC		STAGE / BACK		DRESS		MECH / EQUIP		BACK OF HOUSE		OFFICE		BASEMENT & STORAGE		CORRIDORS		STAIRS			
1ST FLOOR	9,585	1,079	2,028		1,051	590	1,917	623		241		-	-		17,114				1ST FLOOR SUBTOTAL NSF	
MEZZANINE	3,627	135			404	445	640					-	-		5,251				MEZZ FLOOR SUBTOTAL NSF	
2ND FLOOR	480				355	71	1,084					-	-		1,990				2ND FLOOR SUBTOTAL NSF	
SUBTOTALS	13,692	1,214	2,028	759	1,567	2,314	1,917	623		241		-	-		24,355				TOTAL NSF	
OCCUPANT LOAD FACTOR	7	7	7	15	15	15	100	100	100	100										
OCCUPANT LOAD BY AREA	1,956	173	135	51	104	23	19	6		2					2,471				TOTAL OCC LOAD	

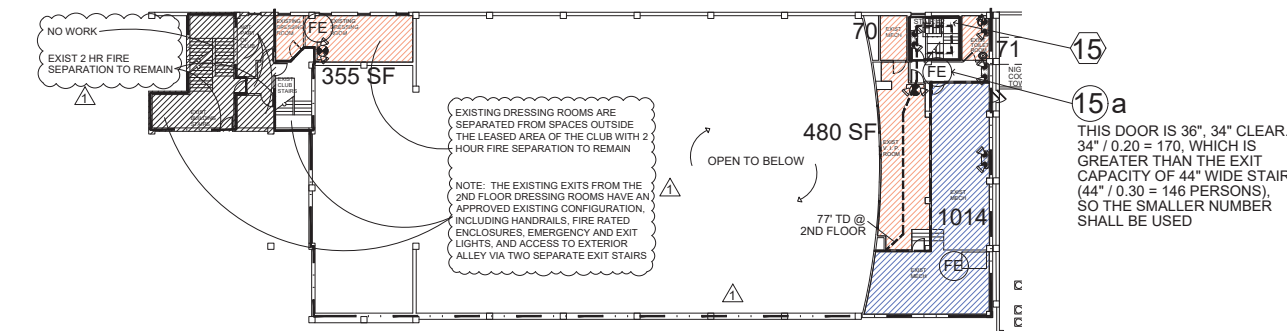
NSF AREA LEGEND

	7 SF/PERSON
	15 SF/PERSON
	100 SF/PERSON
	0 SF/PERSON

LIFE SAFETY DEVICES LEGEND

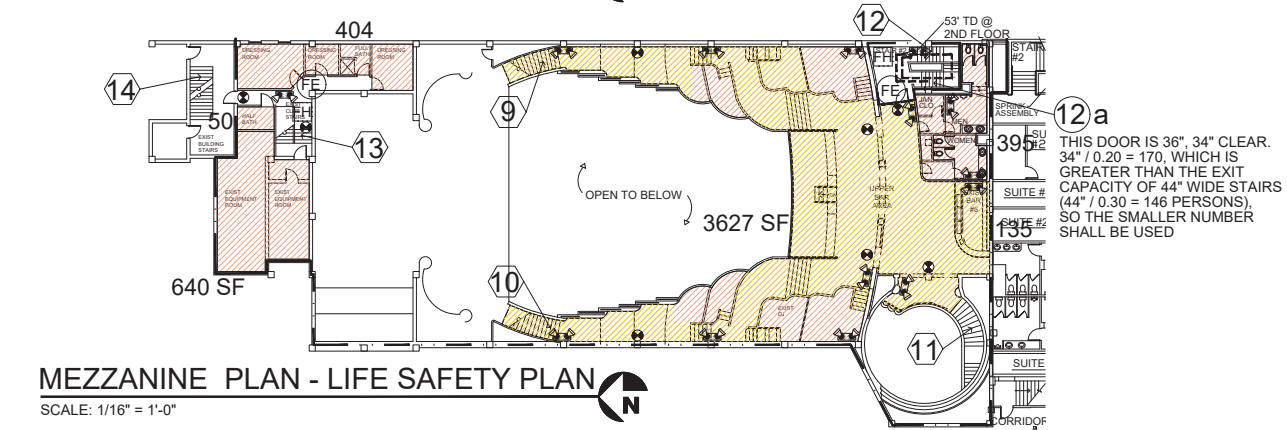
	EXIT LIGHT WITH BATTERY BACKUP (EXISTING TO REMAIN)		FIRE HOSE
	EXIT LIGHT WITH COMBO EMERG LIGHT WITH BATTERY BACKUP (EXISTING TO REMAIN)		FIRE EXTINGUISHER (EXISTING TO REMAIN)
	EMERGENCY LIGHT WITH BATTERY BACKUP (EXISTING TO REMAIN)		EMERGENCY LIGHT WITH BATTERY BACKUP (NFW_SFF E-3)

LIFE SAFETY GRAPHIC LEGEND			
-----	TRAVEL DISTANCE	⑧	EXIT CAPACITY (DOOR)
---	2 HR FIRE RATED TENANT SEPARATION	⑭	EXIT CAPACITY (STAIRS)
—	1 HR FIRE RATED WALL		
480	NSF FOR LIFE SAFETY PLAN		



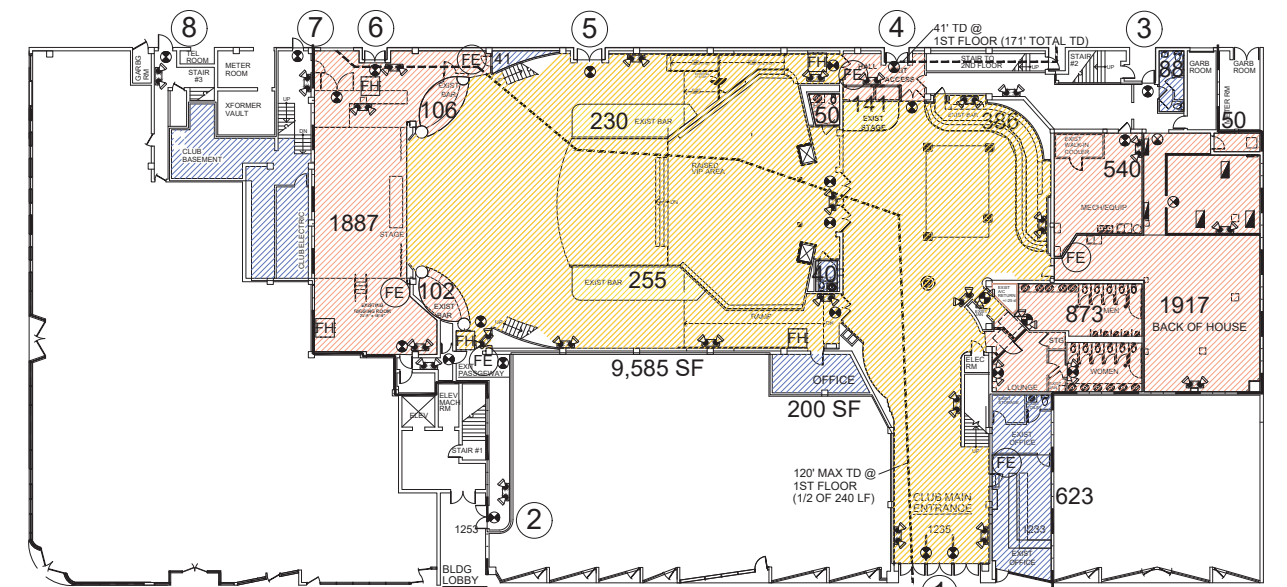
2ND FLOOR PLAN - LIFE SAFETY PLAN

SCALE: 1/16" = 1'-0"



MEZZANINE PLAN - LIFE SAFETY PLAN

SCALE: 1/16" = 1'-0"



1ST FLOOR PLAN - LIFE SAFETY PLAN

SCALE: 1/16" = 1'-0"

PERMIT DRAWINGS



Giller & Giller, Inc.

Gillier & Gillier
The Gillier Building
975 Arthur Godfrey Road
Miami Beach, Florida 33140
(305) 538-6324 FAX (305) 538-5921

NIGHT CLUB C.U.P.:

FOR 1235 REDUX, LLC

1235 WASHINGTON AVE, WASHINGTON AVE

000005960

D. GIER

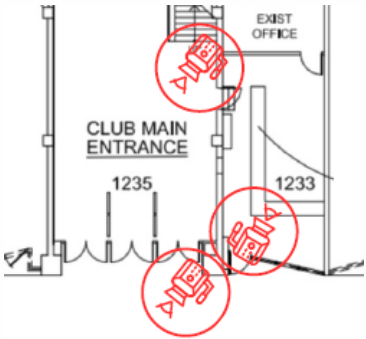
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SHEET TITLE: LIFE SAFETY PLANS

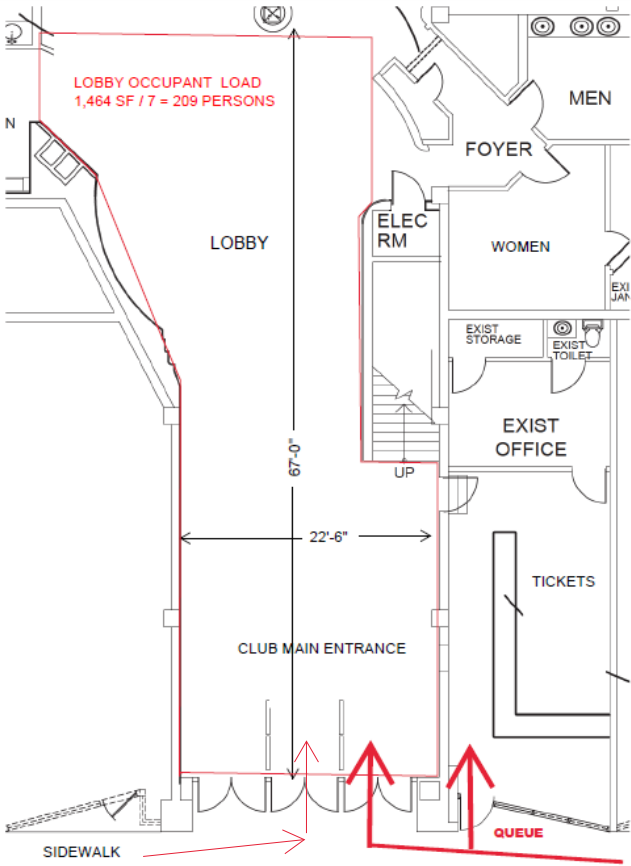
SHEET #
A-6

ENTRY LINE PROCEDURES:

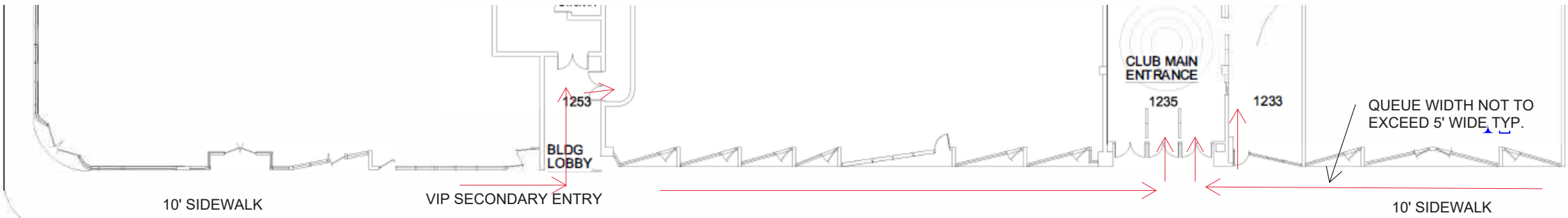
- 1. MAIN ENTRANCE WILL BE AT THE FRONT DOORS TO THE LOBBY. TICKETS WILL BE CHECKED AT THE DOOR. MOST TICKETING IS ELECTRONIC VIA SMARTPHONES.
- 2. LINES WILL BE FORMED IN FRONT OF THE MAIN ENTRANCE AS NEEDED AND EXTEND NORTH AND SOUTH ALONG THE STOREFRONTS AS SHOWN. THE LINE WILL BE MAINTAINED NEXT TO THE STOREFRONTS SO THAT 5' OF THE SIDEWALK IS CLEAR.
- 3. A SECONDARY/V.I.P. ENTRANCE WILL BE PROVIDED AT BUILDNG LOBBY (1253) TO RELIEVE THE MAIN ENTRANCE LINE BACK-UP.
- 4. SECURITY WILL BE POSTED AT BOTH ENTRANCES (7 @ MAIN AND 3@ V.I.P.) TO MANGE THE DOOR AS WELL AS THE SIDEWALK QUEUES.
- 5. TCIKETS CAN BE PURCHASED AT THE OFFICE WITH INTERNAL ACCESS TO THE LOBBY. THIS IS LIMITED AS MOST TICKETS ARE PRE-PURCHASED AND SMARTPHONE BASED.
- 6. TEMPORARY REMOVEABLE, ROPE & STANCHIONS MAY BE PROVIDED TO DIRECT THE LINES PARALLEL WITH THE STOREFRONTS.
- 7. SECURITY CAMERAS ARE PROVIDED AT THE ENTRY AS SHOWN.



ENTRY CAMERAS



ENTRY DETAIL



1ST FLOOR PLAN - 1235 WASHINGTON AVENUE



WASHINGTON AVENUE



Giller & Giller, Inc.

The Giller Building
1235 Washington Ave.
Miami Beach, Florida 33146
(305) 559-6324
ARCHITECTS INTERIOR DESIGNERS CONSTRUCTION MANAGERS

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FOR 1235 REDUX, LLC

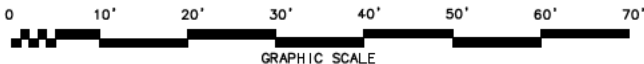
1235 WASHINGTON AVE, WASHINGTON AVE MIAMI BEACH, FL

ENTRY DETAILS

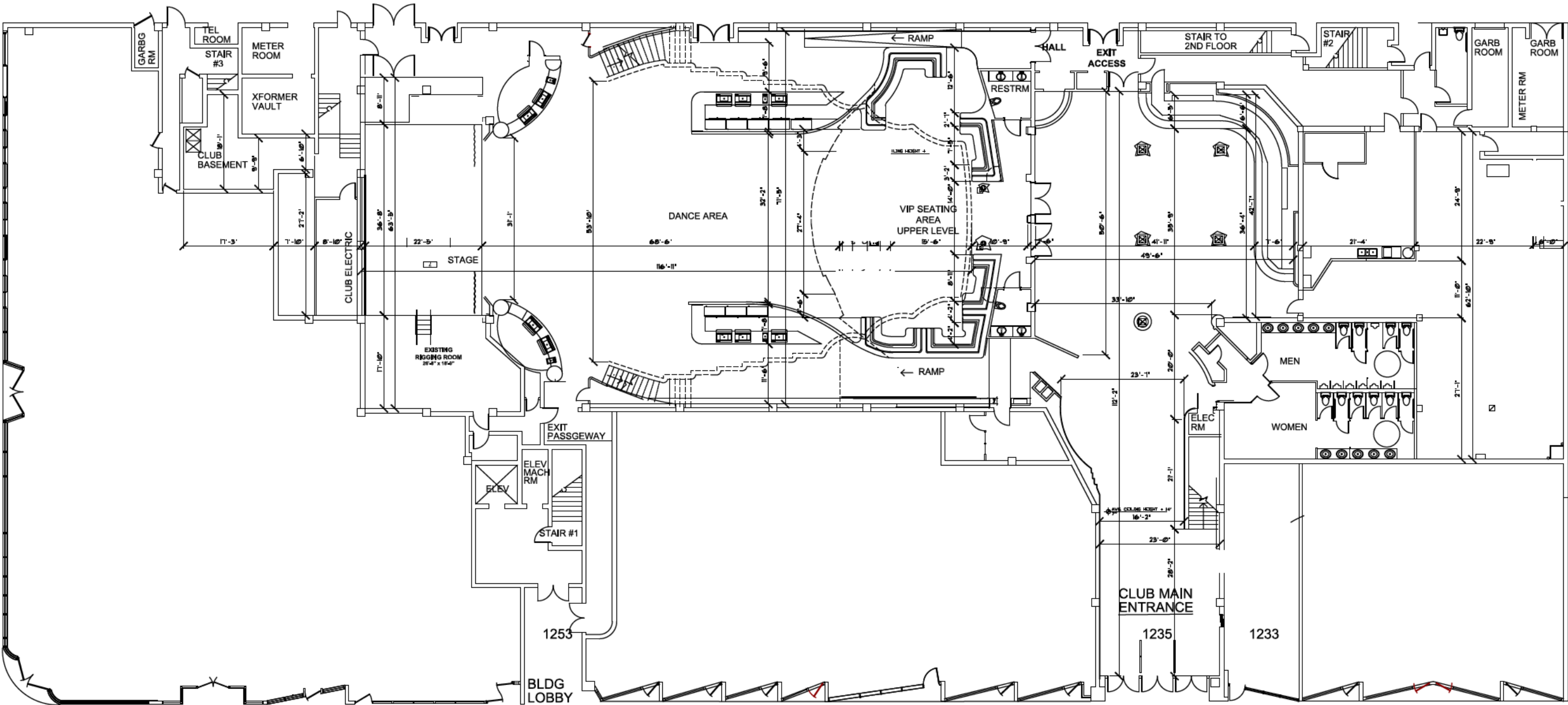
SHEET #
A-7
OF
2100A
DATE
4/2/24
CHECKED BY
APPROVED BY
CAD ID NAME

1ST FLOOR PLAN

SCALE: 1/8" = 1'-0"



NOTE: DIMENSIONS SHOWN ARE APPROXIMATE AND SHOULD BE FIELD VERIFIED



SHEET # A-1	SHEET TITLE: 1ST FLOOR PLAN	DATE: 10/1/15	CHECKED BY: —	APPROVED BY: —	ARCH. COMM. # XXXX	COPYRIGHT © 2015 GILLER & GILLER, INC. ALL RIGHTS RESERVED	DESIGNED BY: —	DRAWN BY: —	DATE: 10/1/15	PROJECT: 1235 WASHINGTON AVE. AT 1235 WASHINGTON AVE. MB, FL	NIGHTCLUB ROUGH DIMENSIONS FOR PIX REALTY LP	Giller & Giller, Inc. 1235 WASHINGTON AVE. MB, FL 33501 TEL: 813-555-1234 FAX: 813-555-5678 ARCHITECTS INTERIOR DESIGNERS CONSTRUCTION MANAGERS





NIGHT CLUB

SHEET #
PH-2
OF TOTAL

SHEET TITLE
PHOTOS - AERIAL

ARCH COMM #
21103A
DATE
4/26/24
CHECKED BY:
APPROVED BY:
CAD ID NAME:

DATE	REVISION DESCRIPTION

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IN THE CITY OF MIAMI

NIGHT CLUB C.U.P.
FOR 1235 REDUX, LLC

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Giller & Giller, Inc.

775 Arthur Godfrey Road
Miami Beach, Florida 33140
(305) 538-6324 FAX (305) 538-6921
ARCHITECTS INTERIOR DESIGNERS CONSTRUCTION MANAGERS





ENTRY LOBBY



MAIN ROOM FROM BALCONY



DANCE FLOOR & STAGE



BALCONY MEZZANINE



MAIN LEVEL VIP AREA



LOBBY BAR