



NIGHT CLUB C.U.P.

1235 WASHINGTON AVE.
MIAMI BEACH, FL.

FOR

1235 REDUX, LLC.

1235 WASHINGTON AVE.
MIAMI BEACH, FL 33140

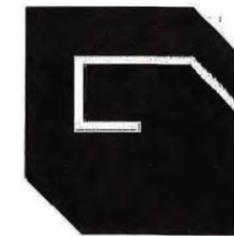
COMM. NO. 21105A
June 2, 2024

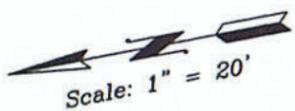
PLANNING BOARD
File # PB24-0656
FINAL SUBMISSION

Giller & Giller, Inc.

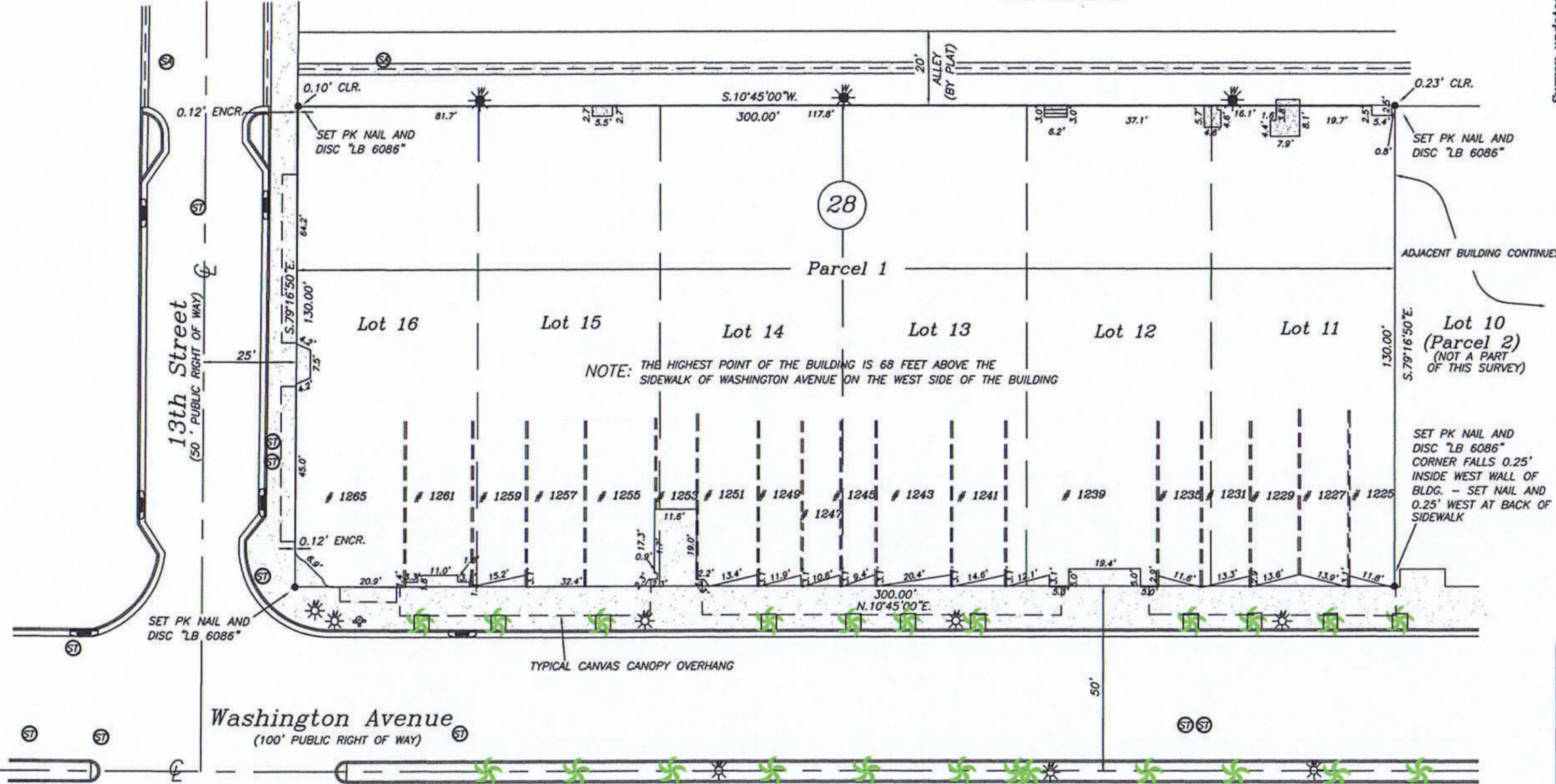
The Giller Building
975 Arthur Godfrey Road
Miami Beach, Florida 33140
(305) 538-6324 Reg. #AA C001364

ARCHITECTS INTERIOR DESIGNERS CONSTRUCTION MANAGERS





CERTIFIED TO:
 Pix Realty, L.P., a Delaware limited partnership
 Chicago Title Insurance Company
 Sabadell United Bank, N.A., it's successors and/or assigns
 Cohen-Nicoleau, PLLC



NOTE: THE HIGHEST POINT OF THE BUILDING IS 68 FEET ABOVE THE SIDEWALK OF WASHINGTON AVENUE ON THE WEST SIDE OF THE BUILDING

PARCEL I
Legal Description
 Lots 11 through 16, inclusive, in Block 28 of OCEAN BEACH ADDITION NO. 2 according to the Plat thereof as recorded in Plat Book 2, at page 56 of the Public Records of Miami-Dade County, Florida.

Easement created by Easement Agreement recorded December 2, 1955 in Deed Book 4190, page 225 for the benefit of Parcel I over and on a portion of Parcel II which is occupied by an existing building; said Parcel II being described as follows:

PARCEL II
 Lpt 10 in Block 28 of OCEAN BEACH ADDITION NO. 2, according to the Plat thereof as recorded in Plat Book 2, at page 56 of the Public Records of Miami-Dade County, Florida.

Surveyor's Notes

- 1) Bearings are based on the centerline of Washington Avenue which bears N10°45'00"E.
- 2) Only those easements and other matters of record which appear in Chicago Title Insurance Company Commitment for Title, NBU No. 21401613, Local No. 4804408, Issued 5/15/2014 Effective Date: April 28, 2014 at 11:00 PM are reflected here.
- 3) Subject property is subject to an Easement Agreement as recorded in Deed Book 4190 page 225, Public Records of Miami-Dade County, Florida.
- 4) Total area of subject property = 39,000 square feet, more or less.
- 5) Subject property falls in FEMA Zone AE, having a Base Flood Elevation of 8.0, N.G.V.D. per FEMA Map No. 12086C0317L, revised Sept. 11, 2009.
- 6) This Survey is not valid unless it bears the signature and embossed seal of the surveyor.

- Symbols Legend**
- STORM SEWER MANHOLE
 - SANITARY SEWER MANHOLE
 - WOOD UTILITY POLE
 - METAL PUMP POST
 - FIRE HYDRANT
 - DRAINAGE INLET
 - PALM TREE

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2011 Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 2, 3, 4, 7(a), 7(b)(1), 7(c), 8, 9, 10(a) (if party walls exist), 11(a) and 20(a) of Table A thereof. The field work was completed on May 13, 2014.

Date: 7-01-2014

By: William O. High
 Professional Land Surveyor No. 4632
 State of Florida

Survey updated 4-27-15

Date	6-13-14
Proj.	1415
F.B.	191
Pg.	47

ALTA/ACSM Survey
 1225 - 1265 Washington Avenue,
 Miami Beach, Florida

Certificate of Authorization No. LB 6086
HIGH SURVEYING & MAPPING
 12280 S.W. 132nd Court, Suite 216, Miami, FL 33186
 Tel:(305) 252-0698, Fax:(305) 252-9551

Sheet
 1 of 1

1415.DWG
 WASHING.CRD

COMMERCIAL - ZONING DATA SHEET

ALL INFORMATION REQUIRED BELOW MUST BE SUBMITTED AS REQUESTED. THE FORMAT OF THIS DOCUMENT MAY NOT BE MODIFIED OR ALTERED IN ANY WAY. SUBMITTALS FOUND INSUFFICIENT OR INCOMPLETE MAY RESULT IN A FAILED REVIEW

ITEM #	Project Information				
1	Address:	Folio number(s):	02-3234-008-1091	Year built:	1934
2	Board file number(s), Determination of Architectural Significance:			Lot Area:	39,000
3	Located within a Local Historic District (Yes or No): Yes	Zoning District:	CD-3	Lot width:	300'
4	Individual Historic Site (Yes or No):	No		Lot Depth:	130'
5	Base Flood Elevation:	+8.0' NGVD	Grade value in NGVD:		+5.0
6	Future Adjusted Grade (BFE+Grade / 2):	N/A	Free board:		N/A
7	Proposed Use:	NIGHT CLUB			
8	Proposed Accessory Use:				
9	Signed and sealed Landscape Plans (Tree/Vegetation Survey, Tree Disposition Plan, and Irrigation Plan):	N/A			
ZONING INFORMATION / CALCULATION		Required	Existing	Proposed	Deficiencies
13	Floor Area Ratio (FAR)	2.25	1.96	1.96	
14	Building Height	75' MAX	68'	68'	
15	At grade parking lot on the same lot	N/A			
a	Front setbacks	0'	0'	0'	
b	Side interior setback	0'	0'	0'	
c	Side facing street setback	0'	0'	0'	
d	Rear setback	0'	0'	0'	
16	Subterranean, Pedestal & Tower (non-Oceanfront)	Required	Existing	Proposed	Deficiencies
a	Front setbacks	0'	0'	0'	
b	Side interior setback	0'	0'	0'	
c	Side facing street setback	0'	0'	0'	
d	Rear setback	0'	0'	0'	
17	Subterranean, Pedestal & Tower (non-Oceanfront)	Required	Existing	Proposed	Deficiencies
a	Front setbacks	0'	0'	0'	
b	Side interior setback	0'	0'	0'	
c	Side facing street setback	0'	0'	0'	
d	Rear setback	0'	0'	0'	
18	Minimum Apartment Unit Size	Required	Existing	Proposed	Deficiencies
a	New Construction	N/A			
b	Rehabilitated Buildings				
c	Hotel Unit				
19	Average Apartment Unit Size	Required	Existing	Proposed	Deficiencies
a	New Construction	N/A			
b	Rehabilitated Buildings				
c	Hotel Unit				
20	Required Open-space ratio (RPS, CPS)	N/A			
21	Parking	0	0	0	
22	Loading	0	0	0	

DRAWING INDEX

COVER SHEET
SURVEY

A-1 DRAWING INDEX, SCOPE, LEGAL, ZONING, AERIAL
A-2 CONTEXT LOCATION PLAN

A-3 SITE PLAN
A-4 FIRST FLOOR PLAN & SECTION
A-5 MEZZANINE & SECOND FLOOR PLANS
A-6 LIFE SAFETY PLAN

A-7 ENTRY DETAILS

A-8 SECTION

A-1 ROUGH DIMENSIONS - 1ST FL

A-2 ROUGH DIMENSIONS - 2ND FL.

PH-1 EXTERIOR PHOTOS
PH-2 CONTEXT PHOTO
PH-3 INTERIOR PHOTOS

SCOPE OF CONDITIONAL USE PERMIT REQUEST:

CONDITIONAL USE PERMIT TO INCREASE THE OCCUPANT LOAD OF AN EXISTING 24,366 SF NIGHT CLUB FROM 1,466 TO 2,471 PERSONS. NO INCREASE IN AREA. THE NIGHT CLUB WILL BECOME A NEIGHBORHOOD IMPACT ESTABLISHMENT

LEGAL DESCRIPTION:

FOLIO #02-3234-008-1091.
LOTS 11 THRU 16, BLK 28, OCEAN BEACH ADDITION NO. 2, PB 2-6 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FL.



Giller & Giller, Inc.
The Giller Building
1700 Convention Center Drive
Miami Beach, Florida 33139
(305) 673-7550
ARCHITECTS - INTERIOR DESIGNERS - CONSTRUCTION MANAGERS

NIGHT CLUB C.U.P.
FOR 1235 REDUX, LLC
1235 WASHINGTON AVE, WASHINGTON AVE
MIAMI BEACH, FL

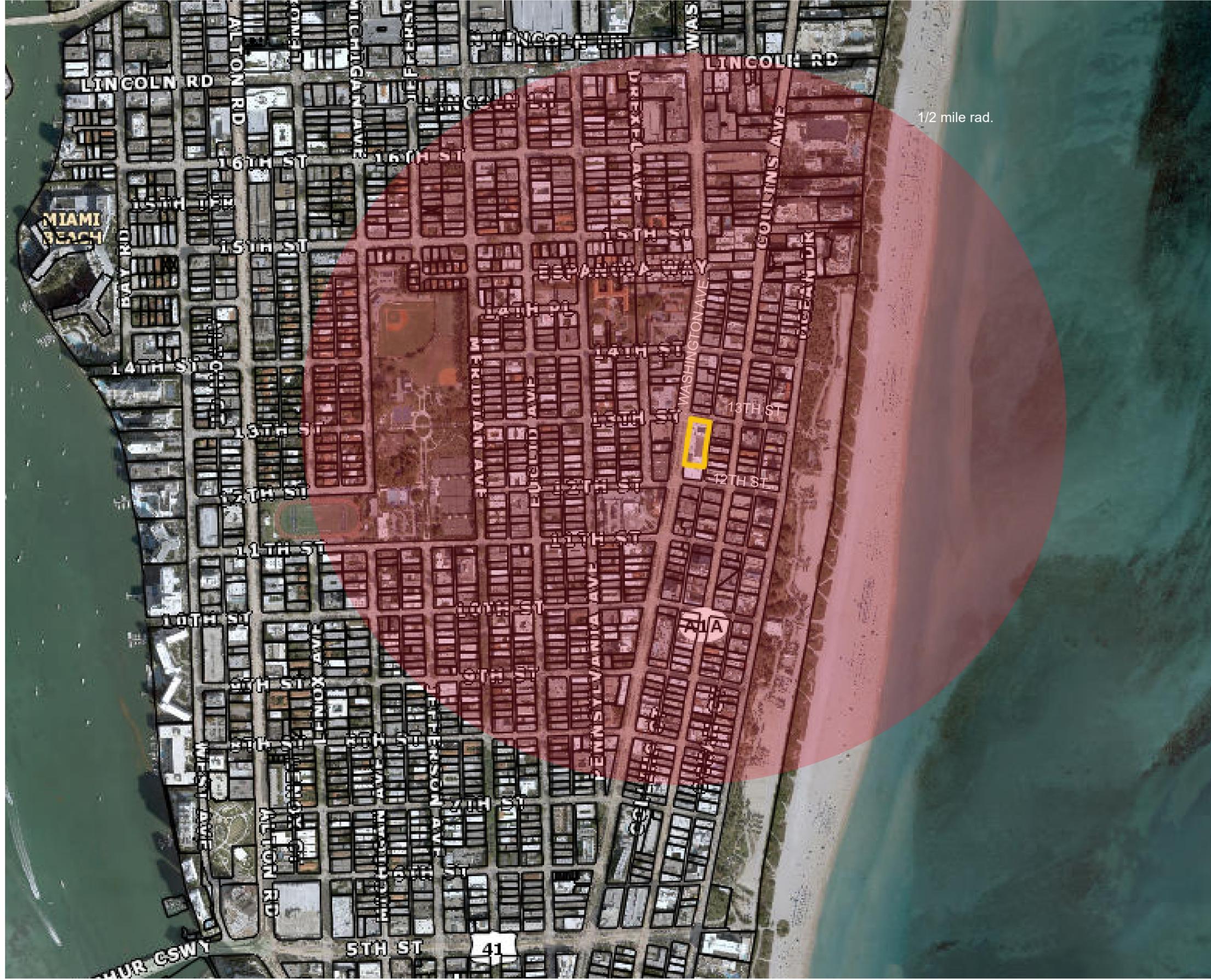
DATE	REVISION DESCRIPTION

SHEET #
A-1
OF TOTAL
21/00A

INDEX, SCOPE, LEGAL,
ZONING, AERIAL

DATE: 8/23/24
DRAWN BY: [Name]
CHECKED BY: [Name]
APPROVED BY: [Name]

CD: 10 NAME



1/2 mile rad.



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 The Giller Building
 1200 Brickell Ave.
 Miami Beach, Florida 33140
 (305) 658-6524
 ARCHITECTS, INTERIOR DESIGNERS, CONSTRUCTION MANAGERS

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 FOR 1235 REDUX, LLC

1235 WASHINGTON AVE, WASHINGTON AVE MIAMI BEACH, FL

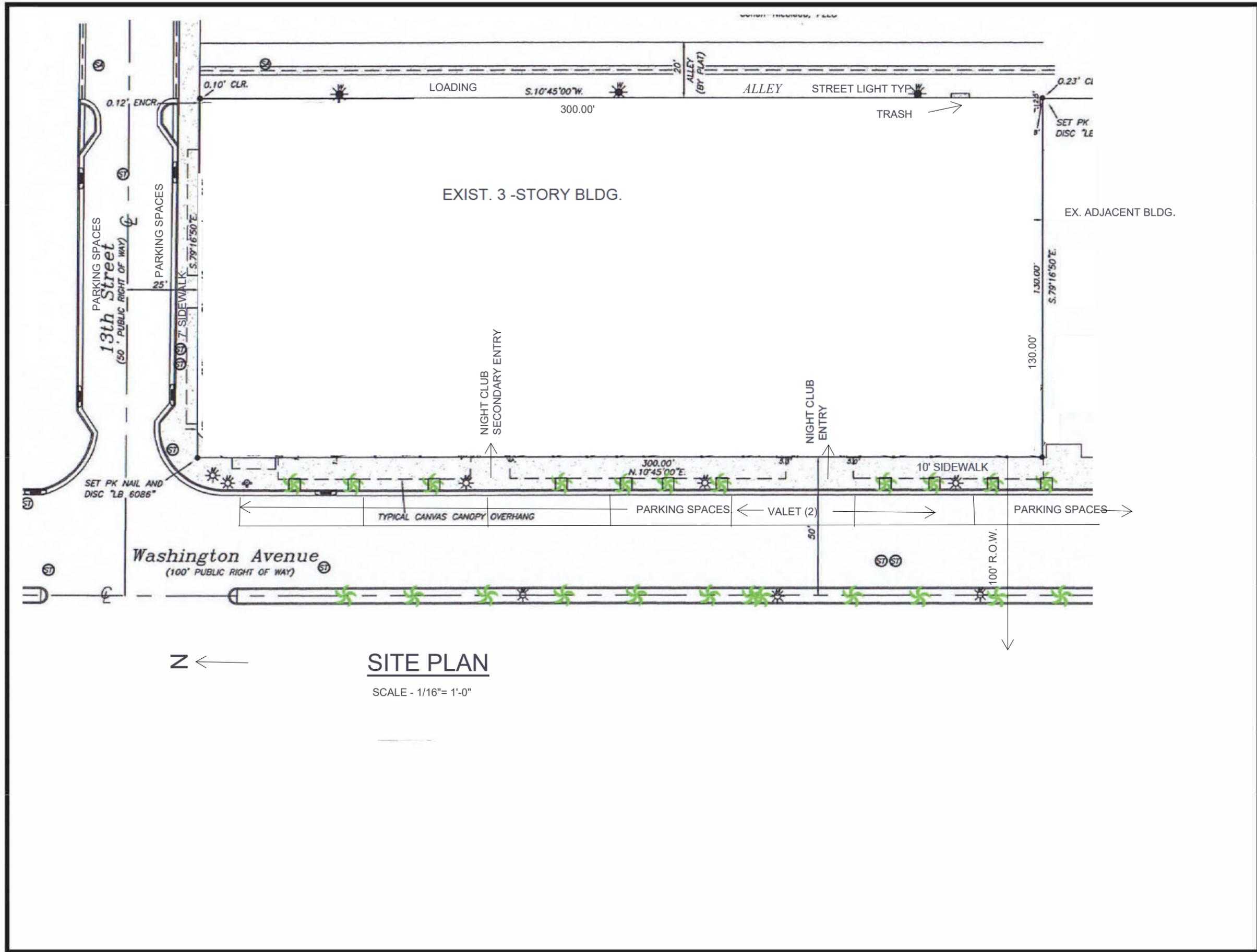
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CONTEXT LOCATION PLAN

SHEET #
A-2
 TOTAL
 2/100A

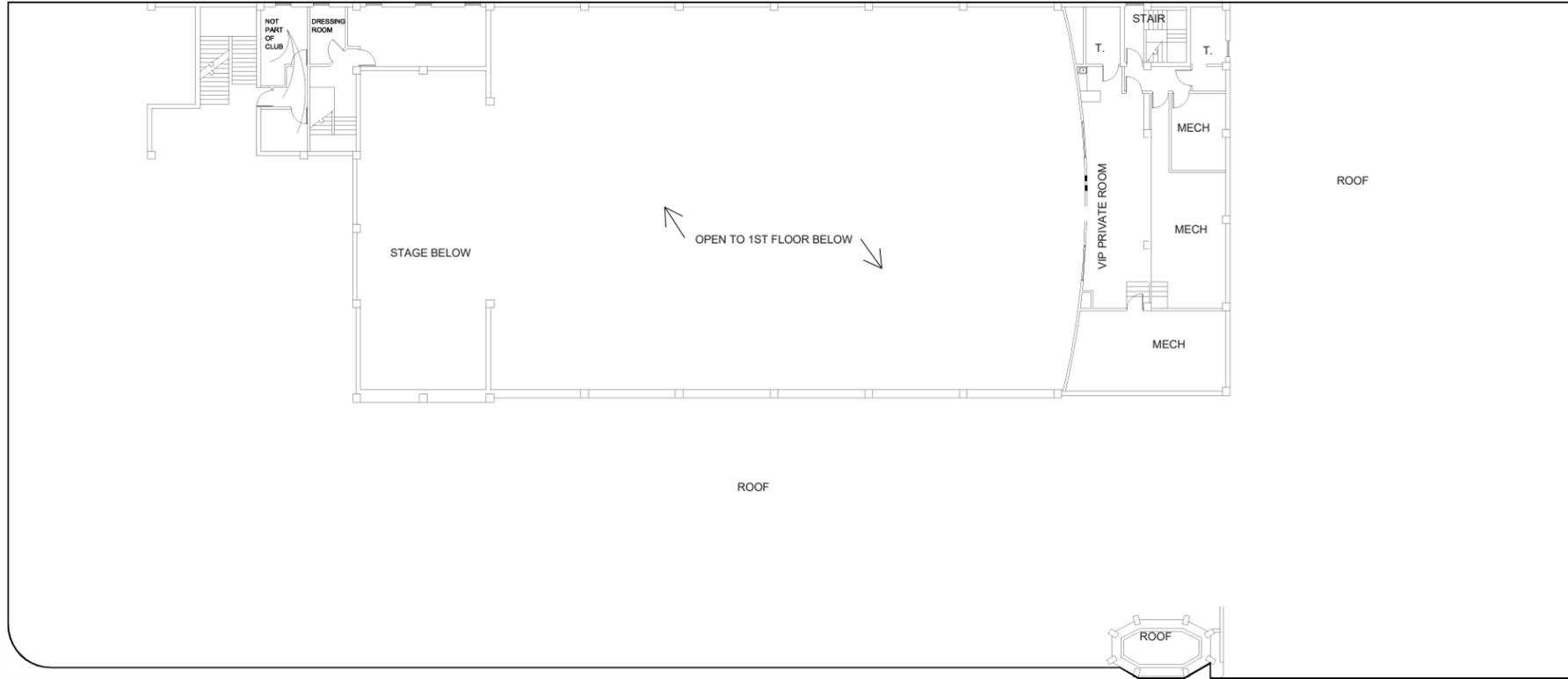
DATE: 4/22/24
 CHECKED BY: [Signature]
 APPROVED BY: [Signature]
 CAD ID NAME: [Name]

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SITE PLAN
SCALE - 1/16" = 1'-0"

<p>Giller & Giller, Inc. <small>Office: 1200 Brickell Avenue, Suite 1200, Miami Beach, Florida 33140 Phone: 305.698.6000 ARCHITECTS INTERIOR DESIGNERS CONSTRUCTION MANAGERS</small></p>	
<p>NIGHT CLUB C.U.P. FOR 1235 REDUX, LLC 1235 WASHINGTON AVE, WASHINGTON AVE MIAMI BEACH, FL</p>	
<p>SHEET TITLE SITE PLAN</p>	<p>DATE 02/23/24</p>
<p>DATE 02/23/24</p>	<p>REVISION DESCRIPTION</p>
<p>SHEET # A-2</p>	<p>DATE 02/23/24</p>
<p>OF TOTAL 21/03A</p>	<p>APPROVED BY: [Signature]</p>
<p>DATE 02/23/24</p>	<p>DESIGNED BY: [Signature]</p>
<p>DATE 02/23/24</p>	<p>PROJECT NO. 1235</p>



2ND FLOOR PLAN



MEZZANINE FLOOR PLAN



Giller & Giller, Inc.
 The Giller Building
 1235 Washington Ave., 2nd Floor
 Miami Beach, Florida 33140
 (305) 658-6324
 ARCHITECTS - INTERIOR DESIGNERS - CONSTRUCTION MANAGERS

**NIGHT CLUB C.U.P.
 FOR 1235 REDUX, LLC**

1235 WASHINGTON AVE., WASHINGTON AVE MIAMI BEACH, FL

DATE	REVISION DESCRIPTION

SHEET #	MEZZANINE & 2ND FLOOR PLANS
NO. OF SHEETS	21/20
DATE	6/27/24
CHECKED BY	APPROVED BY
LOAD ID NAME	

EXIT CAPACITY ANALYSIS

1ST FLOOR EXIT CALCULATION DETAILS		
EXIT #	NOM WIDTH	NET WIDTH CAPACITY
1	6 DOORS, 3' EACH	204 INCHES / 0.20 340 PERSONS
2	2 DOORS, 3' EACH	68 INCHES / 0.20 340 PERSONS
3	1 DOOR, 3'	34 INCHES / 0.20 170 PERSONS
4	2 DOORS, 3' EACH	68 INCHES / 0.20 340 PERSONS
5	2 DOORS, 3' EACH	68 INCHES / 0.20 340 PERSONS
6	2 DOORS, 3' EACH	68 INCHES / 0.20 340 PERSONS
		2550 PERSONS
7	1 DOOR, 3'	34 INCHES / 0.20 170 PERSONS
8	1 DOOR, 3'	34 INCHES / 0.20 170 PERSONS
		340 PERSONS

MEZZ FLOOR EXIT CALCULATION DETAILS		
EXIT #	NOM WIDTH	NET WIDTH CAPACITY
9	48" WIDE STAIRS	48 INCHES / 0.30 160 PERSONS
10	44" WIDE STAIRS	44 INCHES / 0.30 147 PERSONS
11	50" WIDE STAIRS	50 INCHES / 0.30 167 PERSONS
12	50" WIDE STAIRS	50 INCHES / 0.30 167 PERSONS
		640 PERSONS

OCCUPANT LOAD AT MEZZANINE = 4,157 / 15 = 277 PERSONS OK!!!

2ND FLOOR EXIT CALCULATION DETAILS		
EXIT #	NOM WIDTH	NET WIDTH CAPACITY
15	44" WIDE STAIRS	44 INCHES / 0.30 147 PERSONS
		147 PERSONS

OCCUPANT LOAD AT 2ND FLOOR = 1,635 / 15 = 109 PERSONS OK!!!

OVERALL OCCUPANT LOAD ANALYSIS

- EXIT CAPACITY BY DOORS & CORRIDORS @ 1ST FL ALLOWS FOR 2,550 PERSONS
- OCCUPANT LOAD BY SF ALLOWS FOR 2,471 PERSONS
- 2,550 > 2,471, THEREFORE OCCUPANT LOAD SHALL BE 2,471 PERSONS

MAX OCCUPANT LOAD SHALL BE 2,471 PERSONS

- NORTH MEZZANINE & 2ND FLOOR EXIT ANALYSIS:** OCC LOAD BY SF ALLOWS FOR 1,449/15=97 PERSONS
- DOORS 7 & 8 ALLOW FOR 340 PERSONS
- 340 > 97, THEREFORE OCCUPANT LOAD AT MEZZ & 2ND FLOOR NORTH SHALL BE 97

TRAVEL DISTANCE

- MAX TRAVEL DISTANCE IN AN A-2 OCCUPANCY WITH AUTOMATIC SPRINKLERS IS 250'
- MAX TRAVEL DISTANCE PROVIDED IS 171' (2ND FLOOR TO EXTERIOR DOOR AT EAST)

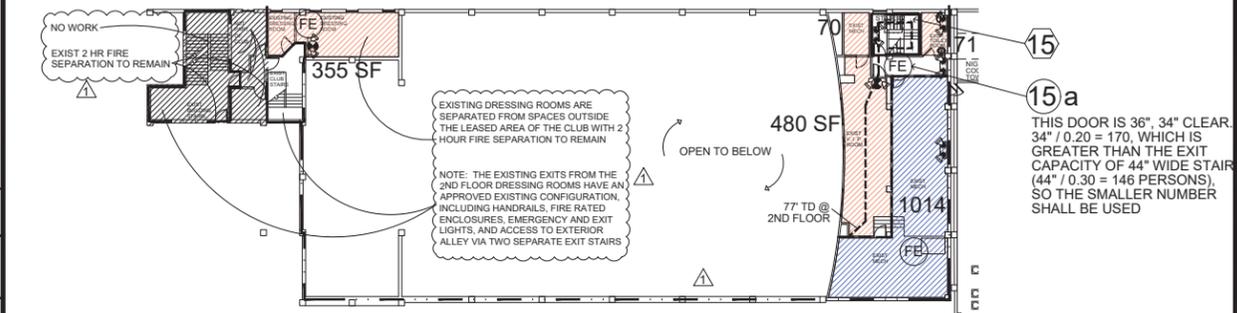
LIFE SAFETY NOTES

- DESIGN SHALL COMPLY WITH THE FLORIDA FIRE PREVENTION CODE 8TH ED
- AUTOMATIC FIRE SPRINKLERS** ARE EXISTING TO REMAIN AT ALL EXISTING LAYOUTS.
- FIRE ALARM SYSTEM** IS EXISTING TO REMAIN AT ALL EXISTING LAYOUTS.
- PORTABLE FIRE EXTINGUISHERS** (AS PER 37.3.5.3) SHALL BE PROVIDED IN ALL ASSEMBLY OCCUPANCIES IN ACCORDANCE WITH 9.7.4.1. (EVERY 75', MIN - SEE PLAN FOR LOCATIONS)
- EXISTING EMERGENCY LIGHTING AND EXIT LIGHTS** SHALL REMAIN, SEE PLAN FOR LOCATIONS THERE SHALL BE NO CHANGES OF **FLOOR ELEVATION** GREATER THAN 1/2", ALL FLOORING SHALL SLIP RESISTANT
- ALL INTERIOR FURNISHINGS & FINISHES** SHALL COMPLY WITH THE FFPC 7TH ED 101-10.2, CHAP 10; TABLE A.10.2.2; AND FBCB TABLE 803.11 & 805 - CLASS "A" OR CLASS "B" (BLDG IS FULLY SPRINKLERED SO CLASS "B" FINISHES AT THE EXIT COMPONENTS ARE ALLOWED)
- THE RATING OF ANY EXISTING SURROUNDING DEMISING WALLS SHALL BE MAINTAINED AS A 2 HOUR FIRE RATED WALL, IN COMPLIANCE WITH THE FFPC 7TH ED TABLES 6.1.14.4.1(A)(B)
- THE FRONT ENTRY DOORS (#1) SHALL BE FREE SWINGING, HAVE A KEY OPERATED LOCK ON BOTH SIDES AND SHALL HAVE A SIGN POSTED AT DOORS THAT THEY SHALL REMAIN UNLOCKED DURING BUSINESS HOURS. SIGN COPY SHALL READ, "THESE DOORS SHALL REMAIN UNLOCKED DURING BUSINESS HOURS".
- ALL OTHER EXIT DOORS (#2 THROUGH #8) HAVE PANIC DEVICES AND SHALL REMAIN

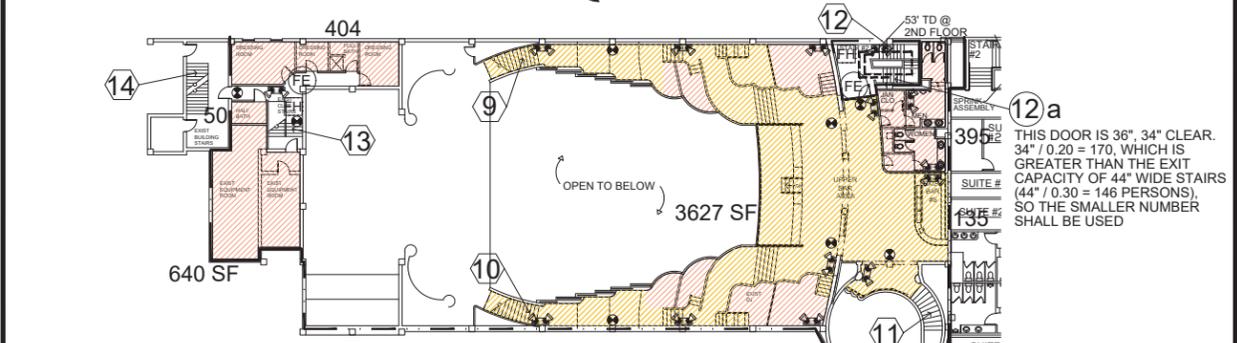
NET SF & OCCUPANT LOAD OVERVIEW (PER FFPC 14.8.1.2)

	PUBLIC	BARS	STAGE	STAGE	DRESS ROOMS	TOILETS	MECH / EQUIP	BACK OF HOUSE	OFFICE	BASEMENT & STORAGE	CORRIDORS	STAIRS		
1ST FLOOR	9,585	1,079	2,028			1,051	590	1,917	623	241	-	-	17,114	1ST FLOOR SUBTOTAL NSF
MEZZANINE	3,627	135			404	445	640						5,251	MEZZ FLOOR SUBTOTAL NSF
2ND FLOOR	480				355	71	1,084						1,990	2ND FLOOR SUBTOTAL NSF
SUBTOTALS	13,692	1,214	2,028		759	1,567	2,314	1,917	623	241			24,355	TOTAL NSF
OCCUPANT LOAD FACTOR	7	7	15	15	15	15	100	100	100	100				
OCCUPANT LOAD BY AREA	1,956	173	135	51	104	23	19	6					2,471	TOTAL OCC LOAD

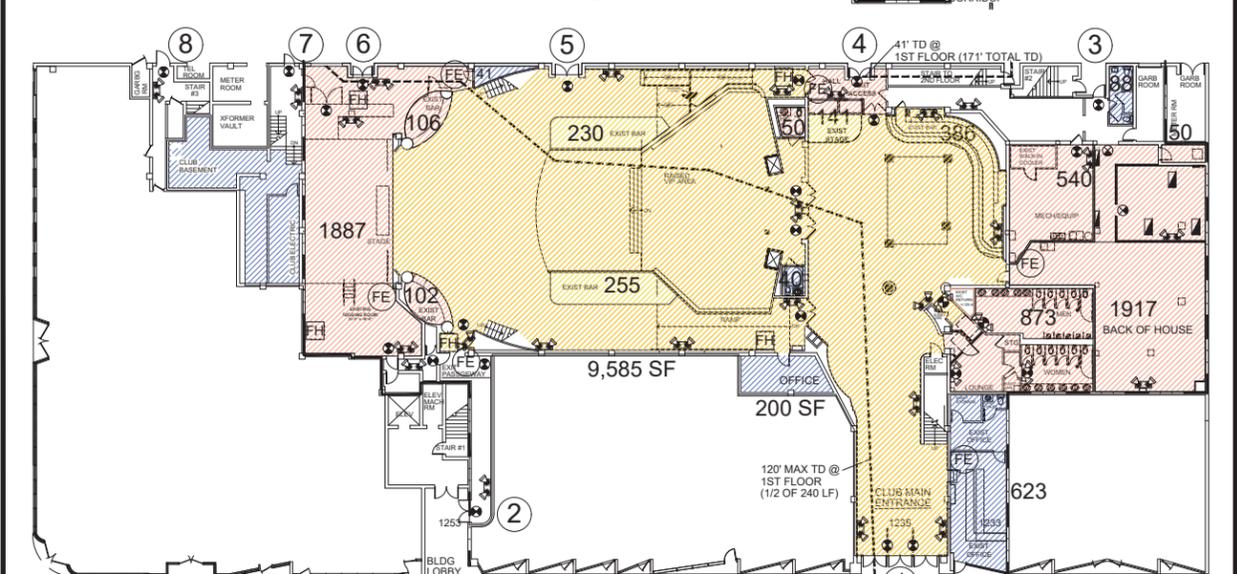
NSF AREA LEGEND 	LIFE SAFETY DEVICES LEGEND 	LIFE SAFETY GRAPHIC LEGEND
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2ND FLOOR PLAN - LIFE SAFETY PLAN
SCALE: 1/16" = 1'-0"



MEZZANINE PLAN - LIFE SAFETY PLAN
SCALE: 1/16" = 1'-0"



1ST FLOOR PLAN - LIFE SAFETY PLAN
SCALE: 1/16" = 1'-0"



Giller & Giller, Inc.
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Miami Beach, Florida 33140
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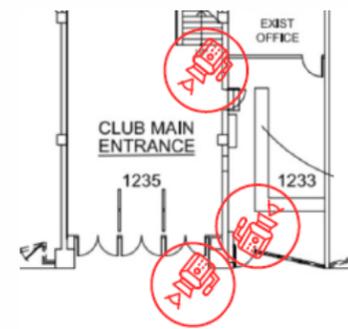
NIGHT CLUB C.U.P.
FOR 1235 REDUX, LLC
1235 WASHINGTON AVE, WASHINGTON AVE
MIAMI BEACH, FL

DATE	REVISION DESCRIPTION

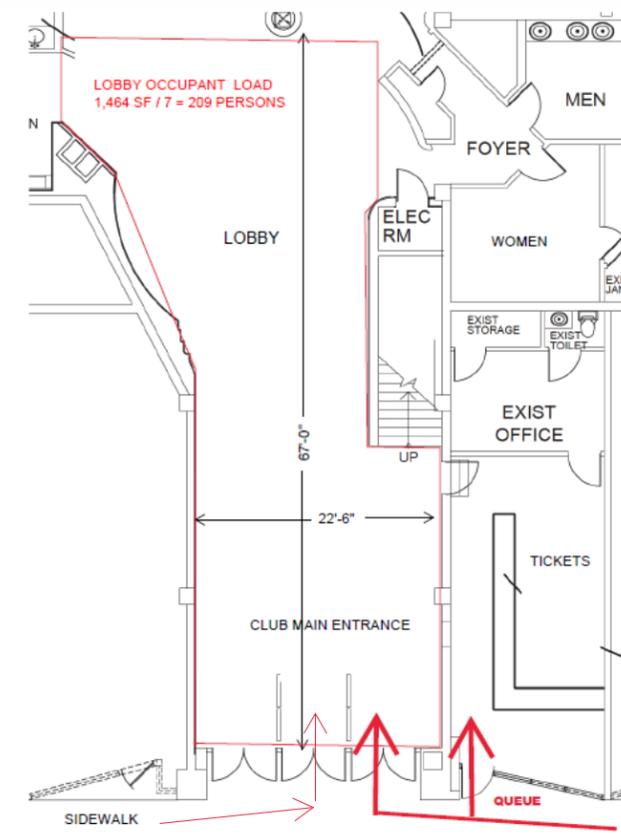
LIFE SAFETY PLANS
SHEET # **A-6**
OF TOTAL **2**
DATE: 02/24/24
CHECKED BY: [Signature]
APPROVED BY: [Signature]
LOAD ID NAME: [Blank]
PERMIT DRAWINGS

ENTRY LINE PROCEDURES:

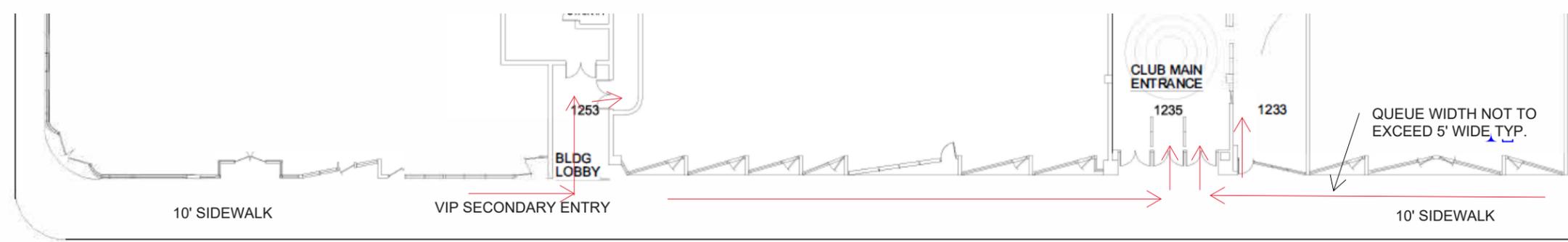
1. MAIN ENTRANCE WILL BE AT THE FRONT DOORS TO THE LOBBY. TICKETS WILL BE CHECKED AT THE DOOR. MOST TICKETING IS ELECTRONIC VIA SMARTPHONES.
2. LINES WILL BE FORMED IN FRONT OF THE MAIN ENTRANCE AS NEEDED AND EXTEND NORTH AND SOUTH ALONG THE STOREFRONTS AS SHOWN. THE LINE WILL BE MAINTAINED NEXT TO THE STOREFRONTS SO THAT 5' OF THE SIDEWALK IS CLEAR.
3. A SECONDARY/V.I.P. ENTRANCE WILL BE PROVIDED AT BUILDING LOBBY (1253) TO RELIEVE THE MAIN ENTRANCE LINE BACK-UP.
4. SECURITY WILL BE POSTED AT BOTH ENTRANCES (7 @ MAIN AND 3@ V.I.P.) TO MANAGE THE DOOR AS WELL AS THE SIDEWALK QUEUES.
5. TICKETS CAN BE PURCHASED AT THE OFFICE WITH INTERNAL ACCESS TO THE LOBBY. THIS IS LIMITED AS MOST TICKETS ARE PRE-PURCHASED AND SMARTPHONE BASED.
6. TEMPORARY REMOVEABLE, ROPE & STANCHIONS MAY BE PROVIDED TO DIRECT THE LINES PARALLEL WITH THE STOREFRONTS.
7. SECURITY CAMERAS ARE PROVIDED AT THE ENTRY AS SHOWN.



ENTRY CAMERAS



ENTRY DETAIL



1ST FLOOR PLAN - 1235 WASHINGTON AVENUE



VALET DROP
WASHINGTON AVENUE



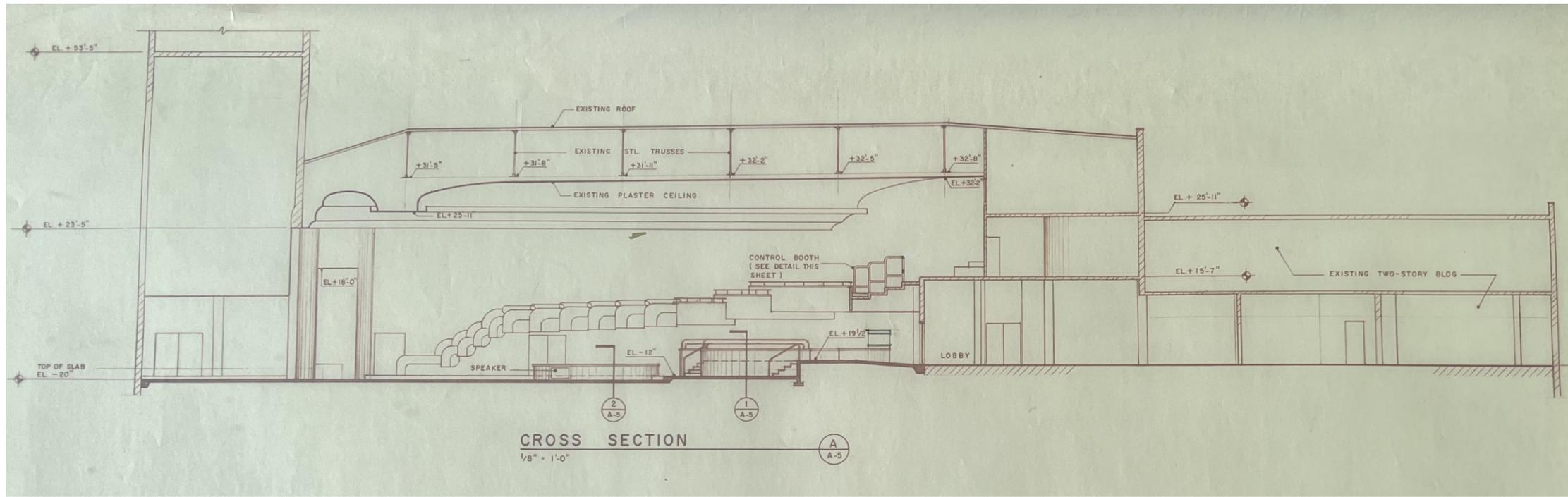
Giller & Giller, Inc.
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1000 Biscayne Blvd.
Miami Beach, Florida 33134
(305) 658-6324
ARCHITECTS INTERIOR DESIGNERS CONSTRUCTION MANAGERS

NIGHT CLUB C.U.P.
FOR 1235 REDUX, LLC

1235 WASHINGTON AVE, WASHINGTON AVE MIAMI BEACH, FL

DATE	REVISION DESCRIPTION

SHEET # A-7	TOTAL OF 21 SHEETS	DESIGNED BY	DATE
		CHECKED BY	4/22/24
ENTRY DETAILS		APPROVED BY	LOG ID NAME



CROSS SECTION

1/8" = 1'-0"

A
A-5



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The Giller Building
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Miami Beach, Florida 33140
(305) 658-6324

ARCHITECTS INTERIOR DESIGNERS CONSTRUCTION MANAGERS

**NIGHT CLUB C.U.P.
FOR 1235 REDUX, LLC**

1235 WASHINGTON AVE, WASHINGTON AVE MIAMI BEACH, FL

NO.	DATE	REVISION DESCRIPTION

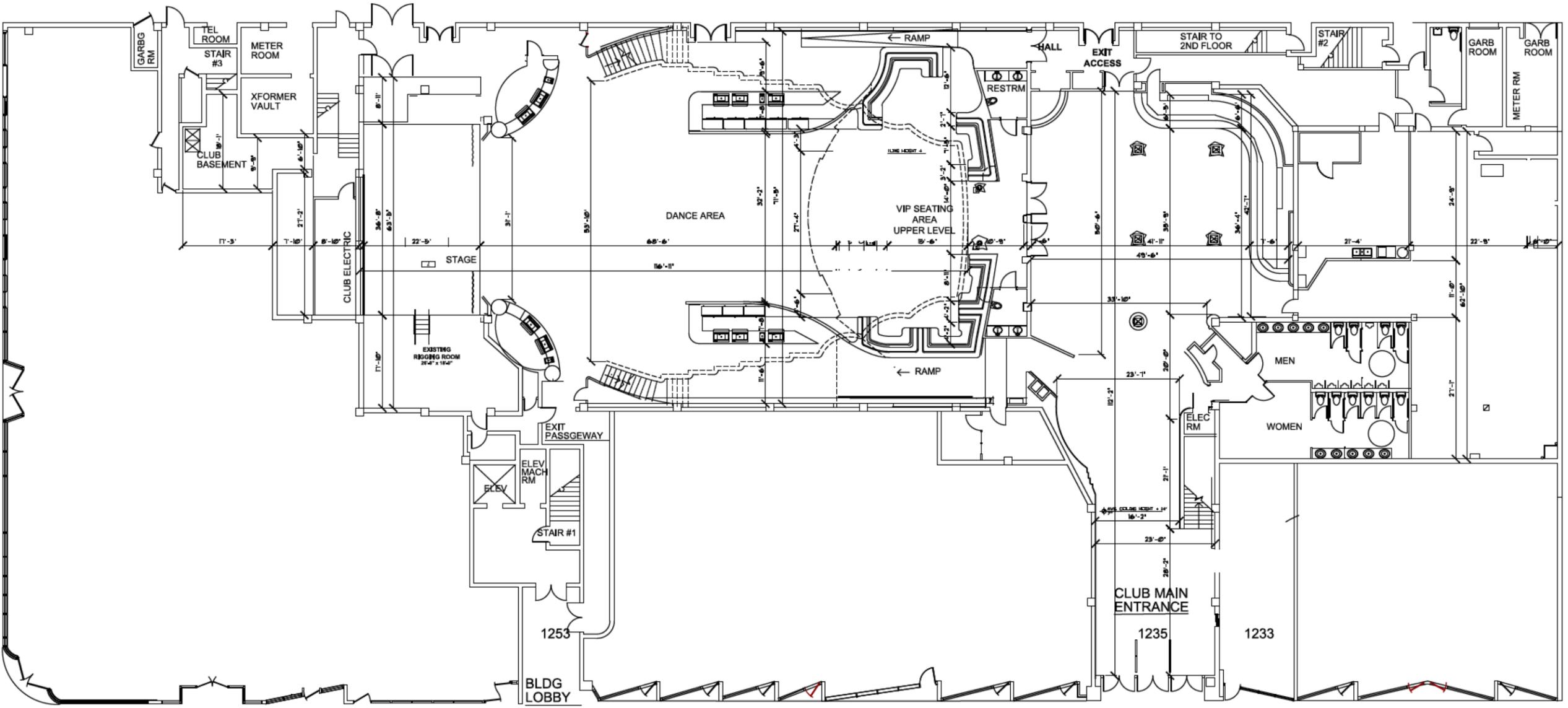
SHEET # A-8	SECTION	DATE	02/24
		TOTAL	21/105A

1ST FLOOR PLAN

SCALE: 1/8" = 1'-0"



NOTE: DIMENSIONS SHOWN ARE APPROXIMATE AND SHOULD BE FIELD VERIFIED





Giller & Giller, Inc.
The Art of Building Better
 1261 Washington Ave. Suite 100
 Miami, FL 33139
 Phone: 305.375.1234
 Fax: 305.375.1235
 ARCHITECTS INTERIOR DESIGNERS CONSTRUCTION MANAGERS

**NIGHTCLUB
 ROUGH DIMENSIONS**
FOR PIX REALTY LP

ADDRESS:
 1261 WASHINGTON AVE. at 1235 WASHINGTON AVE. MB, FL

DATE	REVISION DESCRIPTION

SHEET #
A-1

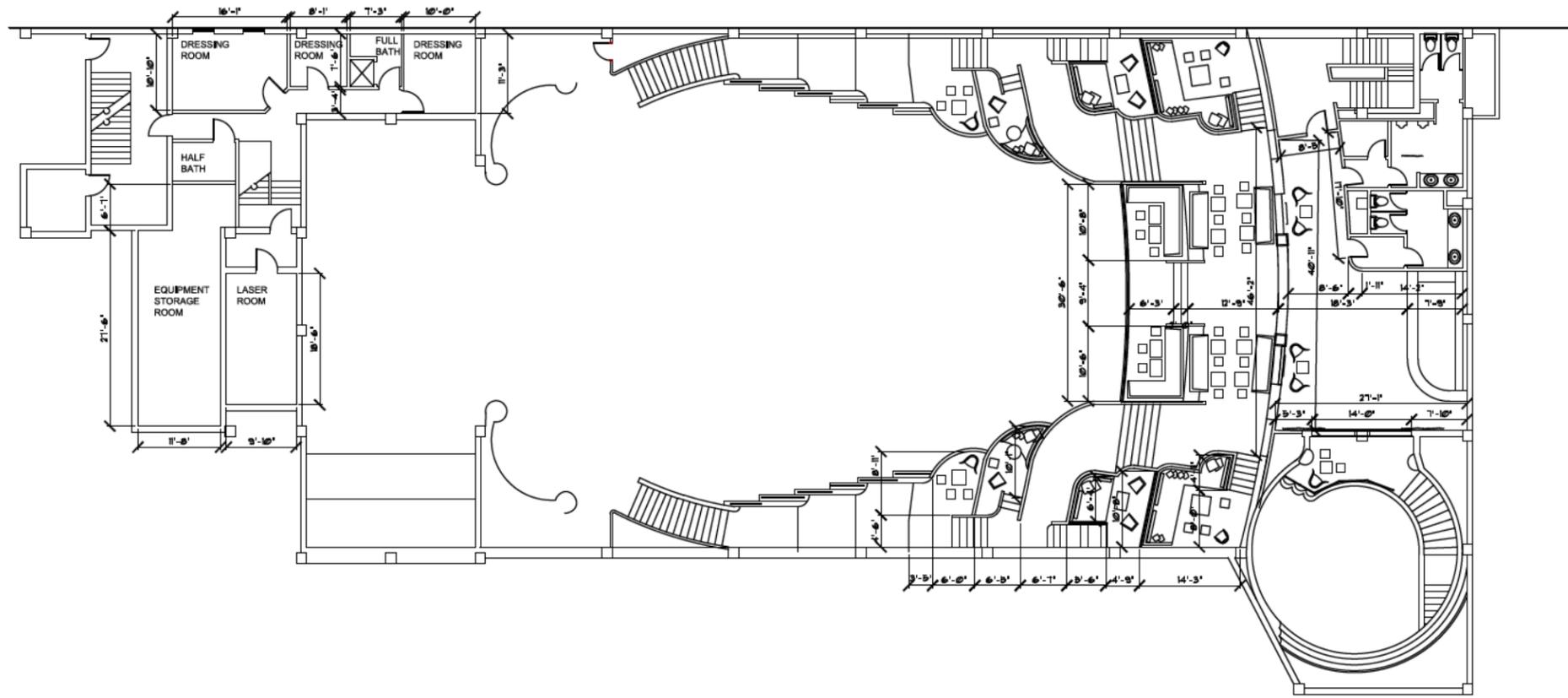
ARCH. COMM #
XXXXX

CHECKED BY: _____

APPROVED BY: _____

DATE: 10/1/18

2ND FLOOR PLAN
SCALE: 1/8" = 1'-0"



NOTE: DIMENSIONS SHOWN ARE APPROXIMATE AND SHOULD BE FIELD VERIFIED



Giller & Giller, Inc.

The Arthur W. Giller Firm
1261 Washington Ave., Suite 100
Tampa, FL 33604
813-288-2200
www.giller.com

ARCHITECTS INTERIOR DESIGNERS CONSTRUCTION MANAGERS

**NIGHTCLUB
ROUGH DIMENSIONS**
FOR PIX REALTY LP

1261 WASHINGTON AVE at 1235 WASHINGTON AVE MB, FL

REVISION DESCRIPTION

DATE	REVISION DESCRIPTION

SHEET # **A-2**
OF TOTAL

DATE: 10/1/18
CHECKED BY: [Signature]
APPROVED BY: [Signature]

PROJECT: Giller & Giller, Inc. ALL RIGHTS RESERVED

ADDRESS: 1261 Washington Ave

PROJECT: NIGHTCLUB



Giller & Giller, Inc.
 The Giller Group
 975 Alhambra Parkway
 Miami Beach, Florida 33140
 (305) 539-6400 FAX (305) 539-6921
 ARCHITECTS INTERIOR DESIGNERS CONSTRUCTION MANAGERS

NIGHT CLUB C.U.P.
 FOR 1235 REDUX, LLC
 1235 WASHINGTON AVE, WASHINGTON AVE MIAMI BEACH, FL

DATE	REVISION DESCRIPTION

PHOTOS - EXTERIOR

SHEET # **PH-1**
 OF TOTAL 211/024
 CHECKED BY: [Signature]
 APPROVED BY: [Signature]
 DATE: 4/23/24

1235 WASHINGTON AVE, WASHINGTON AVE MIAMI BEACH, FL

1235 WASHINGTON AVE, WASHINGTON AVE MIAMI BEACH, FL

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CAD ID NAME: [Blank]



NIGHT CLUB



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 975 Arthur Godfrey Road
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 ARCHITECTS INTERIOR DESIGNERS CONSTRUCTION MANAGERS

**NIGHT CLUB C.U.P.
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1235 WASHINGTON AVE, WASHINGTON AVE MIAMI BEACH, FL

DATE	REVISION DESCRIPTION

SHEET #	PHOTOS - AERIAL	APPROVED BY:	LOAD ID NAME:
PH-2			
OF TOTAL		CHECKED BY:	DATE:
2111024			4/23/24

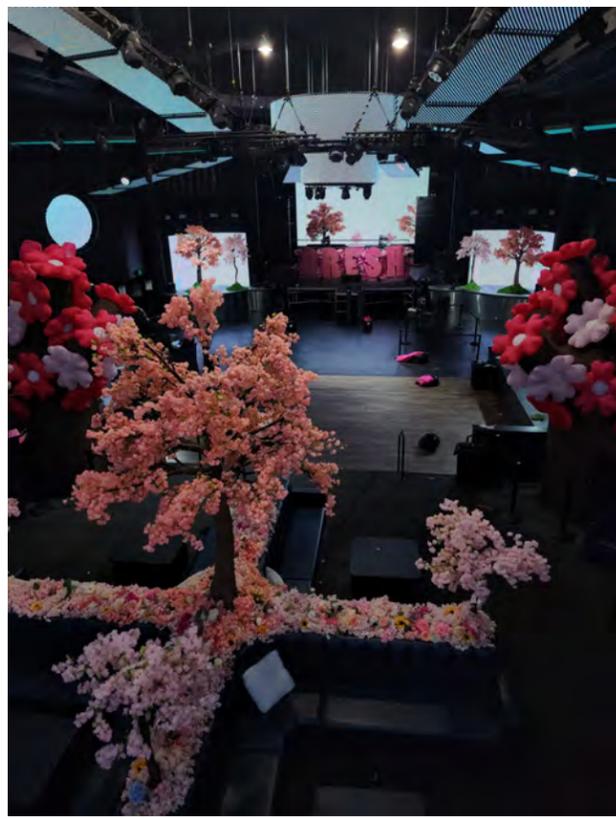
2111024

ARCHITECT

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ENTRY LOBBY



MAIN ROOM FROM BALCONY



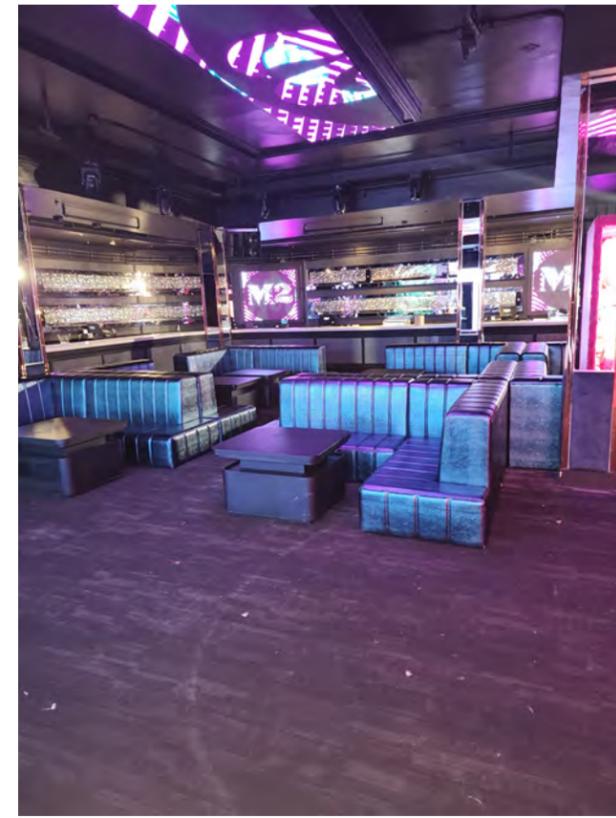
DANCE FLOOR & STAGE



BALCONY MEZZANINE



MAIN LEVEL VIP AREA



LOBBY BAR



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 The Giller Group
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 (305) 538-6400 FAX (305) 538-6921

NIGHT CLUB C.U.P.
 FOR 1235 REDUX, LLC
 1235 WASHINGTON AVE, WASHINGTON AVE MIAMI BEACH, FL

DATE	REVISION DESCRIPTION

SHEET # PH-3
 OF TOTAL 211024
 SHEET TITLE PHOTOS - INTERIOR
 CHECKED BY: APPROVED BY: CAD ID NAME:
 4/23/24 4/23/24

ARCHITECTS INTERIOR DESIGNERS CONSTRUCTION MANAGERS

APPROVED

IN CHARGE

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